

PLOT PLAN

ACCEPTED FOR FILE

06/29/2026 3:32:37 PM

Mikayla Hartford

EPC Department of Public Works

Released for Permit
07/09/2026 3:01:20 PM
EPC Department of Public Works
Brent
ENUMERATION



SCALE : 1" = 80'



WYANDOTT DRIVE

N 00°03'36" E 330.00'

20' UTILITY EASEMENT
25' REAR SETBACK

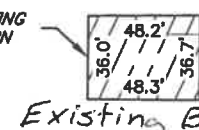
LOT 9

N 89°56'24" W 622.14'

10' UTILITY EASEMENT

25' SIDE SETBACK

EXISTING BARN



Existing Barn

529.9'

LOT 10
5.12 ACRESS

S 89°56'24" E 660.00'

25' SIDE SETBACK

10' UTILITY EASEMENT

Concrete Wash out

Tracking Pad

SNOW MASS DRIVE

N 48°44'20" E 52.58'

S 41°15'40" E 100.00'

25' FRONT SETBACK

10' UTILITY EASEMENT

25' SIDE SETBACK

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LOT 8

S 48°44'20" W 90.08'

25' SIDE SETBACK

10' UTILITY EASEMENT

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PROPOSED RESIDENTIAL FRAME

PINE TREE

WELL

WATER SPOCKET

PROFILE PITS

EXISTING RET WALL

Leach Field

Silt Fence

25' SIDE SETBACK

10' UTILITY EASEMENT

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SFD26690

APPROVED
Plan Review

07/27/2026 10:01:02 AM

Advantage

EPC Planning & Community
Development Department

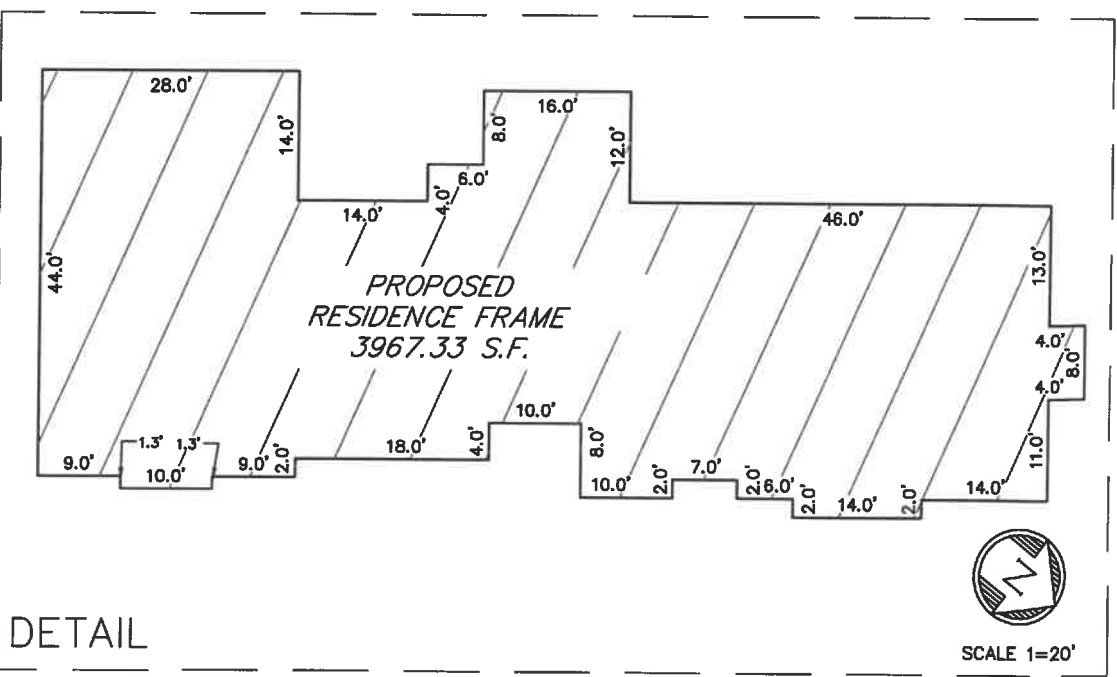
It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.

ANY APPROVAL GIVEN BY EL PASO COUNTY DOES NOT ORVATE THE NEED TO COMPLY WITH APPLICABLE FEDERAL, STATE OR LOCAL LAWS AND/OR REGULATION.

An access permit must be granted by the Planning & Community Development Department prior to the establishment of any driveway onto a County road.

Division of backage of any drainage way is not permitted without approval of the Planning & Community Development Department.

This parcel is in a low to moderate high intensity fire risk area. Please reach out to the local fire district regarding recommendations for compliance with the WRC code.



DETAIL



SCALE 1"=20'

House 2704 ☒
Garage 1270 ☒
Covered Deck, sidewalk
& Patios 1200 ☒

Driveway 4300 ☒ Pavement & Concrete
to house

Barn 1776 ☒

Driveway 3800 ☒ Gravel
to Barn

15,050 ☒ of Disturbed Property % = 6.75% total

DATE: 1/21/26

JOB No. 260102

Address 7085 SNOW MASS COLORADO
SPRINGS CITY, COLORADO
LEGAL DESCRIPTION: LOT 10 WILDWOOD
RANCH ESTATES FILING NO.8
EL PASO COUNTY, CO
SCHEDULE NO. 5205214002

RR-5
PLAT 2580

LOT AREA:
223,027.2 SF
PROPOSED HOUSE AREA:
3,967.33
COVERED %:
1.8%

7085 SNOW MASS

POLARIS SURVEYING, INC.

1903 Lelaray Street, Suite 102
COLORADO SPRINGS, CO 80909
(719)448-0844 FAX (719)448-9225



SCALE 1"=80'

TIFFANY HOMES

RESIDENTIAL



2023 PPRBC
2021 IECC

Address: 7085 SNOW MASS DR, COLORADO SPRINGS

Parcel: 5205214002

Plan Track #: 215011

Received: 09-Jul-2026 (MELISSAF)

Description:

RESIDENCE

Contractor: TIFFANY HOMES, LLC.

Type of Unit:

Garage	1270	
Lower Level 1	1722	
Lower Level 2	766	
Main Level	2704	
	6462	Total Square Feet

Required PPRBD Departments (6)

Enumeration

Released for Permit
07/09/2026 3:02:11 PM

brent
ENUMERATION

Floodplain

(N/A) RBD GIS

Construction

Electrical

Mechanical

Plumbing

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations.
This plan set must be present on the job site for every inspection.

7/2026 10:02
dsdyounge
Planning & Co
lopment Dep

07/27/2026 10:02:38 AM
dsdyounger
EPC Planning & Community
Development Department