

PROJECT CONTACTS:

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PHASES TRUCK AND AUTO REPAIR
MINOR AMENDMENT
1670 PAONIA STREET
COLORADO SPRINGS, COLORADO

EL PASO COUNTY GRADING AND EROSION CONTROL STANDARD NOTES:

- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFFSITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS TO REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. DURING CONSTRUCTION THE SWMP IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR AND SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- ONCE THE ESQCP IS APPROVED AND A NOTICE TO PROCEED HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED SEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
- CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT MAY CONTRIBUTE POLLUTANTS TO STORMWATER. TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES IS NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN PRIOR TO IMPLEMENTATION.
- TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE STABILIZED.
- FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
- ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE HYDROLOGY OR HYDRAULICS OF A PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
- ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE, UNLESS INFEASIBLE.
- COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED.
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUT SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY.
- DEWATERING OPERATIONS: UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT MAY NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF.
- EROSION CONTROL BLANKETING IS TO BE USED ON SLOPES STEEPER THAN 3:1.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE OF PETROLEUM PRODUCTS OR OTHER LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL HAVE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR IN THE DITCH FLOW LINE.
- INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.), IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, OR COUNTY AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT: COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT WATER QUALITY CONTROL DIVISION WQCD - PERMITS 4300 CHERRY CREEK DRIVE SOUTH DENVER, CO 80246-1530 ATTN: PERMITS UNIT

PARKING SUMMARY: SEE 7.4.203

NEW PARKING REQUIRED: 1-STORY AUTOMOTIVE REPAIR GARAGE (9,030 SF)
1 SPACE PER 200 SF OF AUTO SERVICE = 42 SPACES
1 SPACE PER 400 SF OF OFFICE SPACE = 2 SPACES
ADA PARKING: 1 - 11' x 18' STALL (VAN ACCESSIBLE)
1 - 8' x 18' STALL
TOTAL REQUIRED = 44 SPACES

NOTE: NO PARKING IS PERMITTED WITHIN ACCESS DRIVE.

DEVELOPMENT DETAILS:

EXISTING LAND USE: AUTOMOTIVE REPAIR GARAGE (1-2 CAD-0)
PROPOSED LAND USE: BUILDING ADDITION INCLUDING COMMERCIAL AUTO REPAIR, OFFICE, AND WAREHOUSE (1-2 CAD-0)

PROPERTY DESCRIPTION:

LOT 5, BLOCK 1 OF THE PALMER PARK BUSINESS CENTER SUBDIVISION FILING NO. 3, IN THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO, ACCORDING TO THE SUBDIVISION PLAT NO. 6746 OF THE EL PASO COUNTY RECORDS

THE DESCRIBED TRACT CONTAINS 112,385 SQUARE FEET, BEING 2.58 ACRES, MORE OR LESS.

EXISTING ZONING: 1-2 CAD-0

SITE AREA: 112,385 SF (2.58 AC.)
PROPOSED BUILDING HEIGHT: MAX HEIGHT = 20 FEET
PROPOSED BUILDING FOOTPRINT: 9,030 SQUARE FEET
PERCENT LOT COVERAGE BY BUILDING: 8.03%
PERCENT LOT COVERAGE BY IMPERVIOUS SURFACES (LESS BUILDING): 1.05 ACRE / 2.58 LOT ACREAGE = 40.7%
APPROXIMATE SCHEDULE OF DEVELOPMENT: JUNE 2021 - OCTOBER 2021

SITE NOTES:

- THE DEVELOPER SHALL INSTALL ALL ON-SITE TRAFFIC CONTROL MEASURES SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS.
- PER CITY CODE SECTION 7.4.102.D, ALL LIGHTING FIXTURES SHALL HAVE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
- SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, LAYOUT, AND ELEVATIONS.
- ALL EXISTING CURB, GUTTER, SIDEWALK, PEDESTRIAN RAMPS OR CROSSPANS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG PAONIA STREET ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE OF ALL LANDSCAPE AREAS AND FENCES SHALL BE THE RESPONSIBILITY OF THE CURRENT OWNER.
- THE DRIVE ACCESS WILL BE THE RESPONSIBILITY OF THE CURRENT OWNER.
- DIRECT VEHICULAR ACCESS WILL BE ALLOWED ONLY FROM PAONIA STREET.
- NO PARKING ON THE ACCESS DRIVES IS PERMITTED.

SIGN INSTALLATION NOTES:

- SIGNS SHALL BE LOCATED AND INSTALLED PER CITY OF COLORADO SPRINGS ENGINEERING STANDARDS AND REFERENCES.
- BOTTOM OF ALL SIGNS SHALL BE INSTALLED AT LEAST 7' ABOVE THE ADJACENT FINISHED GRADE OR TOP BACK OF CURB, AS APPLICABLE.
- ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATION SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSISTANCE.
- SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE DEVELOPMENT REVIEW ENTERPRISE AT 719-385-5982 TO BEGIN A SIGN PERMIT APPLICATION.



VICINITY MAP

SCALE: N.T.S.

ENGINEER'S STATEMENT:
THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS ARE REQUIRED DUE TO THE SITE DISTURBING LESS THAN ONE ACRE.
GEC has been determined not to be required due to the site disturbing less than one acre.
08/15/2021
DATE
ENGINEER OF RECORD SIGNATURE

OWNER'S STATEMENT:
I, THE OWNER/DEVELOPER, HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.
8/20/21
OWNER SIGNATURE

EL PASO COUNTY:
COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.
IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

COUNTY ENGINEER/ECM ADMINISTRATOR DATE

SHEET LIST TABLE

Sheet Number	Sheet Title
C-01	COVER SHEET
C-02	GRADING & DRAINAGE PLAN
C-03	EROSION CONTROL PLAN
C-04	UTILITY SERVICE PLAN
C-05	EROSION CONTROL DETAILS
C-06	CONSTRUCTION DETAILS
A-1.01	FIRST FLOOR PLAN
A-1.02	EXTERIOR ELEVATIONS
E-110A	PHOTOMETRIC PLAN

A pre-construction conference will be required for this site prior to the start of construction. Please call Brad Walters at 719-332-3599 to schedule.

This site will be required to install a 4' wide, 4" thick sidewalk along the frontage of the lot adjacent to Paonia Street, this may be field fit due to the utility conflicts. An as-built drawing will be required upon completion.

Location of new sidewalk to be field fit with County inspector approval prior to placement of concrete.

Approved

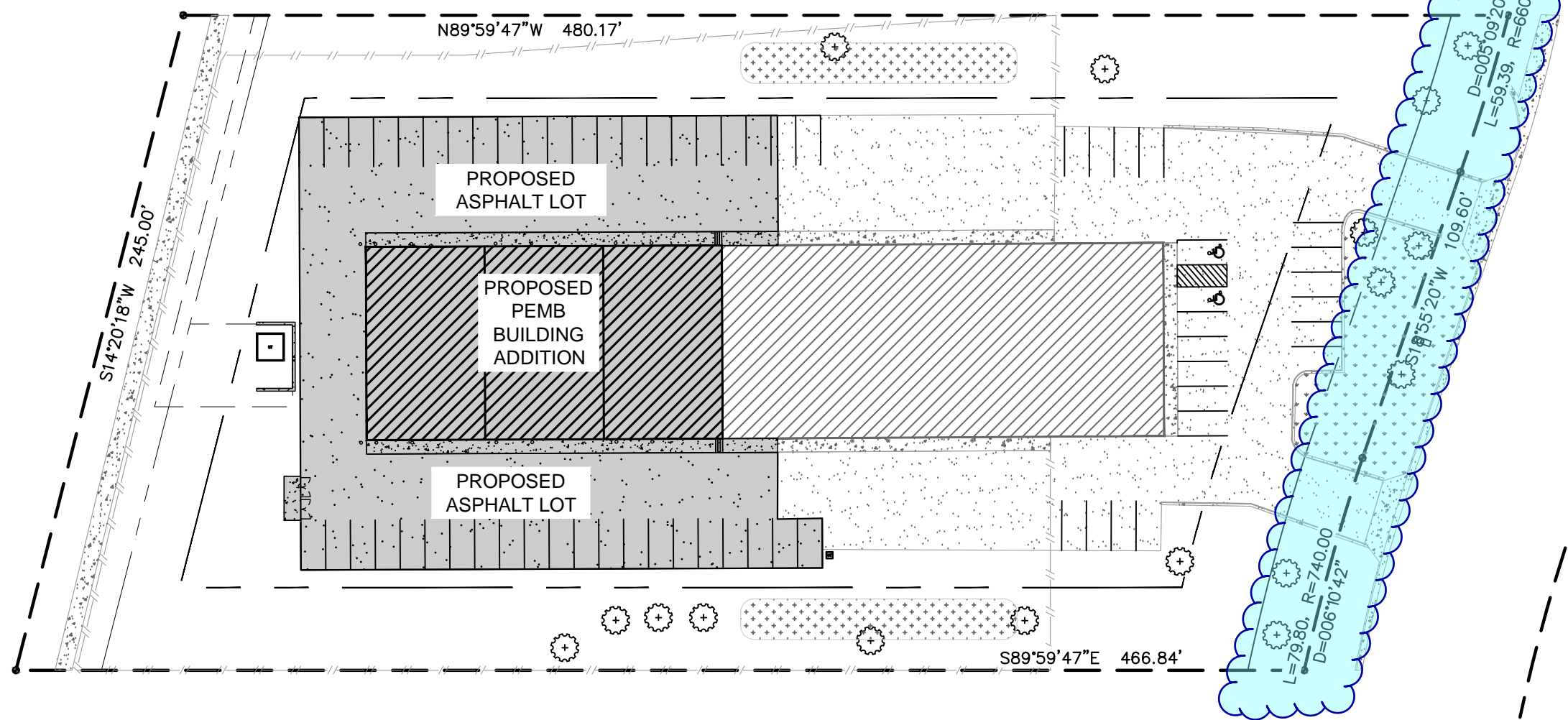
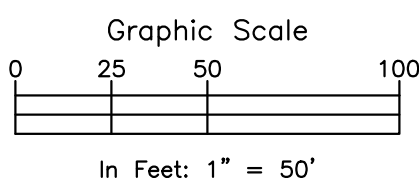
By: Craig Dossey, Executive Director

Date: 09/08/2021

El Paso County Planning & Community Development



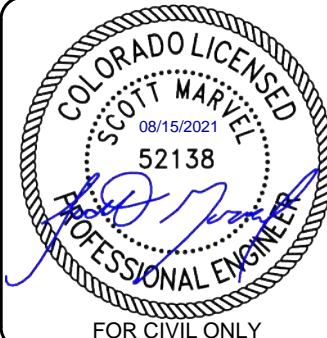
FEMA FLOODPLAIN STATEMENT:
FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP 08041C07526, EFFECTIVE DATE DECEMBER 1, 2018, INDICATES THE AREA IN THE VICINITY OF THIS PARCEL OF LAND TO NOT BE WITHIN A FLOOD ZONE (AREAS TO BE DETERMINED OUTSIDE 500 YEAR FLOODPLAIN.)



ROCKY MOUNTAIN GROUP



Architectural
Structural
Forensics



FOR CIVIL ONLY

PHASES TRUCK AND AUTO REPAIR

1670 PAONIA STREET

COLORADO SPRINGS, COLORADO

CASCO CONSTRUCTION CORP.

SHEET NAME
COVER

ENG: RDL
DRAWN: AMC
CHECKED: RDL

DATE
08/15/2021

#	REVISION	DATE
1	---	---
2	---	---
3	---	---
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10	---	---

JOB NO.
179592

SHEET NO.
C-01

of 10

PROJECT STATUS
PERMIT

PCD FILING NO.: PPR-21-021

NOTE:

1. SURVEY LINEWORK AND TOPOGRAPHIC INFORMATION VIA SURVEY PROVIDED BY RMG-ROCKY MOUNTAIN GROUP. HORIZONTAL DATUM IS NAD83 COLORADO STATE PLANE CENTRAL U.S. FOOT (COBS-NF) AND VERTICAL DATUM IS NAVD83. THE CONTRACTOR SHALL CALIBRATE TO ELEVATION DATUM AS NEEDED.
2. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE OWNER OR ITS REPRESENTATIVE SHOULD DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.
3. NOT ALL UTILITIES MAY BE SHOWN, ESPECIALLY UTILITIES SUCH AS FIBER OPTIC CABLES, TELEPHONE, TELEVISION, PHONE, ETC.
4. THERE IS NO SITE LIGHTING PROPOSED. ALL PHOTOMETRICS TO BE VIA THE PRE-ENGINEERED METAL BUILDING LIGHTING AS DEPICTED ON THE ARCHITECTURAL PLANS AND/OR PEMB MANUFACTURER PLANS.
5. SEE TYPICAL PAVEMENT SECTION DETAILS ON SHEET C-06.
6. THERE ARE 42 PARKING SPACES LABELED AND ACCOUNTED FOR ON THE NORTH AND SOUTH SIDE OF THE PROPOSED PEMB (PER CITY CODE 7.4.203).
7. THE EAST END OF THE PARCEL CARRIES TWO ADDITIONAL 9'X18' HANDICAP STALLS TO BE STRIPED TO THE EXISTING TWO 11'X18' ADA VAN ACCESSIBLE STALL (PER CITY CODE 7.4.203).
8. REFER TO SHEET C-06 FOR PARKING STALL AND PAVEMENT DETAILS.
9. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL OR STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
10. SIGNAGE TO BE INSTALLED INDICATING THAT OUTSIDE DRIVE AISLE ARE FIRE ACCESS LANES AND PARKING IS NOT PERMITTED.
11. DISTURBED AREAS WITH EXISTING VEGETATION ARE TO BE REVEGETATED WITH SEEDING AND MULCHING WITH A DENSITY OF AT LEAST 70 PERCENT OF PRE-DISTURBANCE LEVELS.
12. ALL AREAS NOT COVERED BY SOD ARE TO BE SEED WITH DRY LAND GRASS MIXTURE. TO BE MOWED AND MAINTAINED.
13. PER EL PASO COUNTY'S LANDSCAPE POLICY AND DESIGN MANUAL, PART 3, SECTION 1, REQUIRES AN ADDITIONAL FOR EVERY 15 PARKING SPACES, WITH 42 PROPOSED PARKING SPOTS, 3 ADDITIONAL TREES HAVE BEEN ADDED.
14. AN EXISTING STORMWATER QUALITY STRUCTURE TOWARDS THE REAR OF THE LOT LOCATED ON THE WEST SIDE IS TO BE MAINTAINED AND CLEARED OF IMPOSING VEGETATION WITHIN 50 FEET OF THE DRAINAGE CHANNEL BY THE OWNER.
15. EXISTING LANDSCAPE IS FOUND AT THE FRONTAGE AND SIDES. THE REAR OF THE LOT IS SPARSELY COVERED IN NATIVE GRASSES AND SHRUBS.
16. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

Cut/Fill Volumes		
Cut volume (unadjusted)	288.70 Cu. Yd.	
Fill volume (unadjusted)	1369.46 Cu. Yd.	
Net volume (unadjusted)	1080.75 Cu. Yd.<Fill>	

Cut/Fill Volumes (33% SWELL/COMPACTION FACTORS)		
Cut volume (adjusted)	383.97 Cu. Yd.	
Fill volume (adjusted)	1821.38 Cu. Yd.	
Net volume (adjusted)	1437.40 Cu. Yd.<Fill>	

GENERAL NOTES:

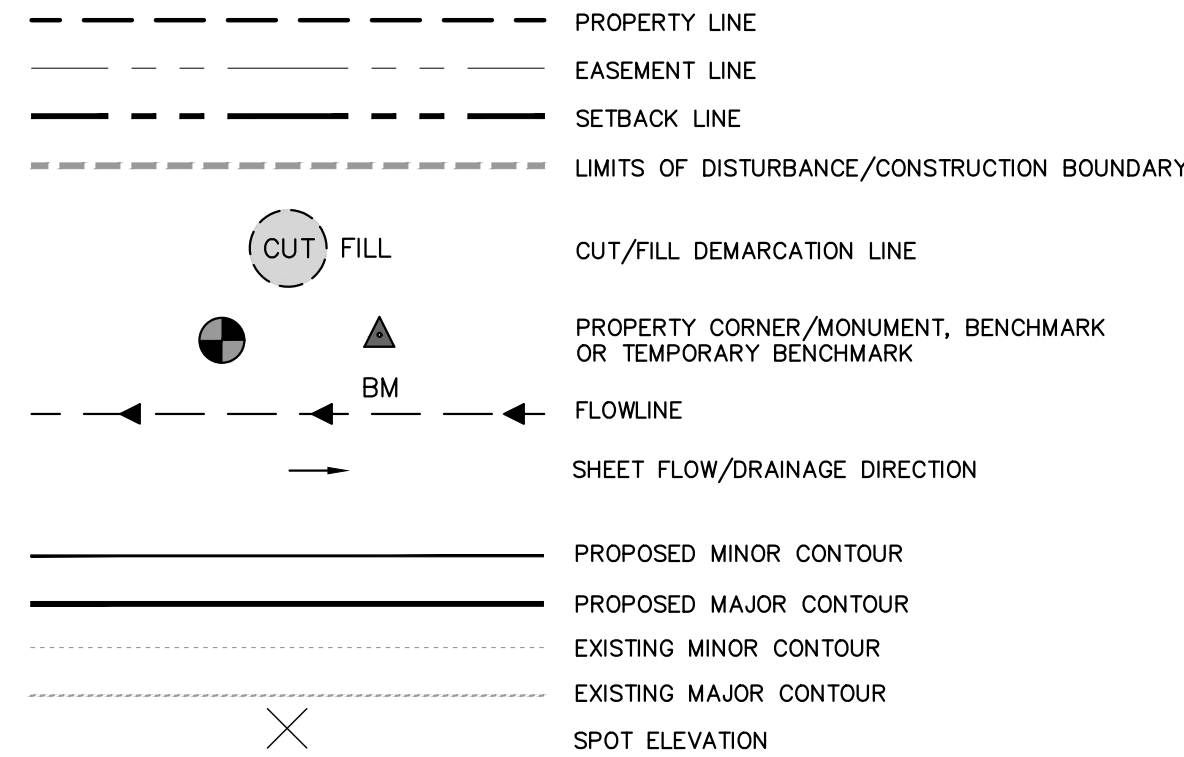
- A. ANTICIPATED START: BEGINNING OF MAY 2021
 - B. EXPECTED DATE ON WHICH THE FINAL STABILIZATION WILL BE COMPLETED: BEGINNING OF OCTOBER 2021.
 - C. TOTAL AREA TO BE CLEARED, EXCAVATED, OR GRADED: 37,800 SF (0.87 AC.)
 - D. RECEIVING WATERS: SAND CREEK
 - E. SOILS INFORMATION: USDA CLASSIFIED AS BLAKELAND LOAMY SAND AND BLENDON SANDY LOAM, HYDROLOGIC SOIL GROUP A AND B RESPECTIVELY.
- PHASING NOTES:
1. THE ANTICIPATED SEQUENCE OF CONSTRUCTION ARE AS FOLLOWS:
 - 1.1. INSTALLATION OF INITIAL CONTROL MEASURES, CLEARING AND GRUBBING, CONSTRUCTION STAKING, VEHICLE TRACKING ACCESS INSTALLATION (BASE COURSE OF DRIVE ACCESS TO VTC DETAILS STANDARDS) - MAY 2021, DURATION: 1 WEEK
 - 1.2. EXCAVATION FOR FOUNDATIONS AND UTILITIES COMMON TRENCHES - JUNE 2021, DURATION: 2 WEEKS
 - 1.3. FOUNDATION AND UTILITIES INSTALLATIONS INCLUDING TIE IN TO EXISTING MAINS - JUNE 2021, DURATION: 2 WEEKS
 - 1.4. INSTALLATION OF INTERIM CONTROL MEASURES, BACKFILL AND FINE GRADING, HARDSCAPE INSTALLATION INCLUDING WALKS - JULY 2021, DURATION: 4 WEEKS
 - 1.5. STRUCTURE ERECTIONS AND OFFICE BUILDING CONSTRUCTION - AUGUST 2021, DURATION: 6 WEEKS
 - 1.6. INSTALLATION OF FINAL CONTROL MEASURES, FINE GRADING, PERMANENT STABILIZATION AND SEEDING - SEPTEMBER 2021, DURATION: 2 WEEKS
 - 1.7. PROJECT CLOSE OUT - OCTOBER 2021.

*THIS PROPERTY DOES NOT FALL WITHIN THE CITY'S STREAM SIDE ZONE.

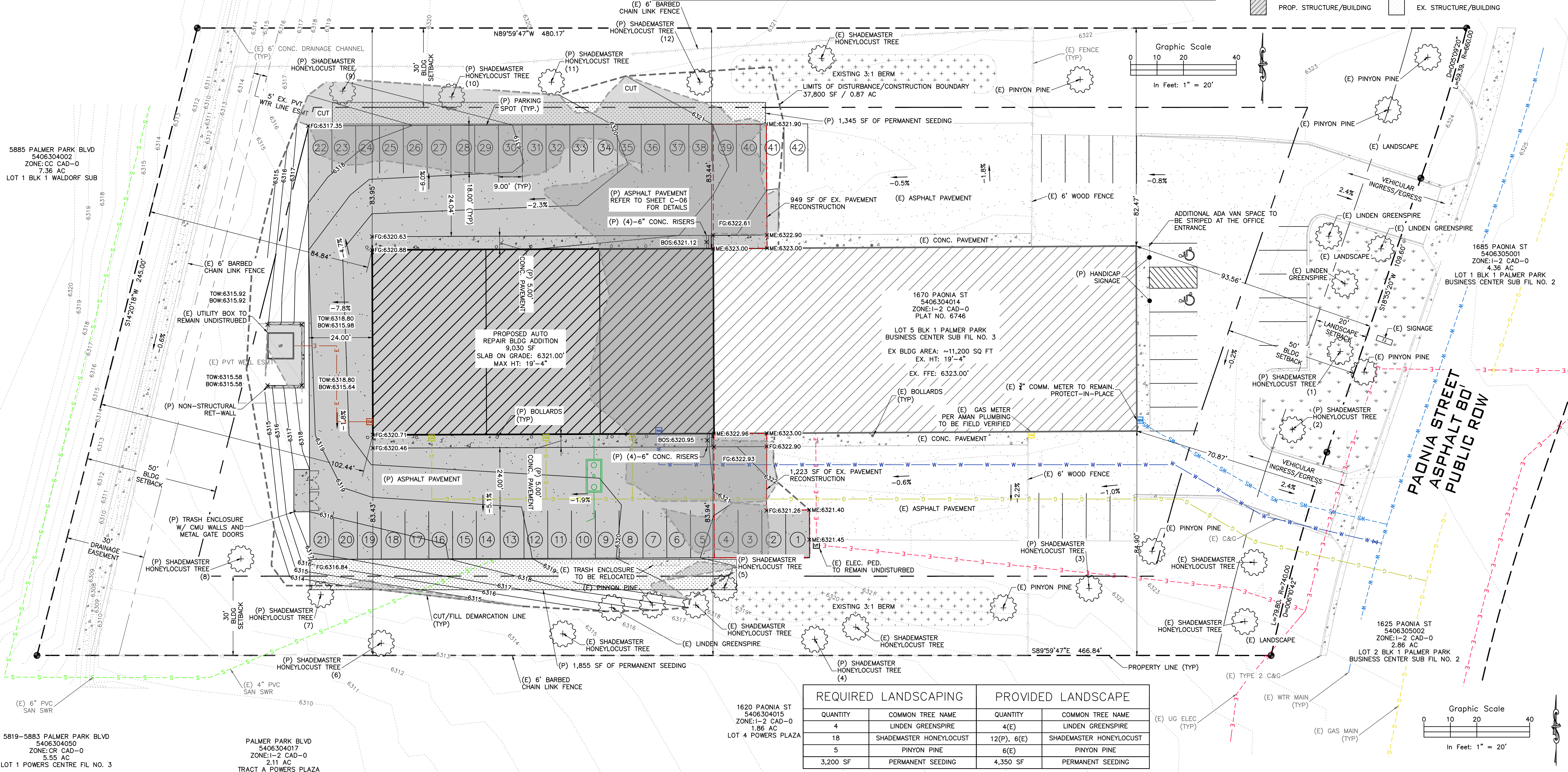
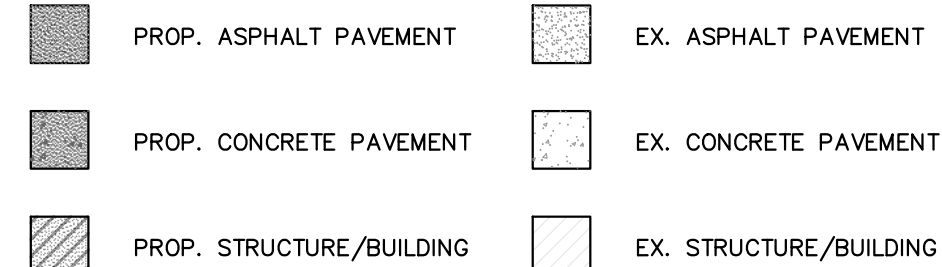
NOTES:

1. ANY LAND DISTURBANCE BY ANY OWNER, DEVELOPER, BUILDER, CONTRACTOR, OR OTHER PERSON SHALL COMPLY WITH THE BASIC GRADING, EROSION AND STORMWATER QUALITY CONTROL REQUIREMENTS AND GENERAL PROHIBITIONS NOTED IN THE DRAINAGE CRITERIA MANUAL VOLUME II.
2. NO CLEARING, GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBING ACTIVITIES SHALL BE PERMITTED UNTIL SIGNOFF AND ACCEPTANCE OF THE GRADING PLAN AND EROSION AND STORMWATER QUALITY CONTROL PLAN IS RECEIVED FROM EDRD.
3. THE INSTALLATION OF THE FIRST LEVEL OF TEMPORARY EROSION CONTROL FACILITIES AND BMP'S SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY EARTH DISTURBANCE OPERATIONS TAKING PLACE. CALL CITY STORMWATER INSPECTIONS, 385-5980, 48 HOURS PRIOR TO CONSTRUCTION.
4. SEDIMENT (MUD AND DIRT) TRANSPORTED ONTO A PUBLIC ROAD, REGARDLESS OF THE SIZE OF THE SITE, SHALL BE CLEANED IMMEDIATELY.
5. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
6. SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN TWENTY-ONE (21) CALENDAR DAYS AFTER FINAL GRADING OR FINAL EARTH DISTURBANCE HAS BEEN COMPLETED. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN THIRTY (30) DAYS SHALL ALSO BE MULCHED WITHIN TWENTY-ONE (21) DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN SIXTY (60) DAYS ALSO BE SEEDDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMP'S SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.
7. THE GRADING AND EROSION CONTROL PLAN WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY EDRD SHOULD ANY OF THE FOLLOWING OCCUR: GRADING DOES NOT COMMENCE WITHIN TWELVE (12) MONTHS OF THE CITY ENGINEER'S ACCEPTANCE OF THE PLAN, A CHANGE IN PROPERTY OWNERSHIP, PROPOSED DEVELOPMENT CHANGES, OR PROPOSED GRADING REVISIONS.
8. THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS EXISTING UTILITY LINES. ACCEPTANCE OF THIS PLAN DOES NOT CONSTITUTE APPROVAL TO GRADE IN ANY UTILITY EASEMENT OR RIGHT-OF-WAY. APPROVALS TO GRADE WITHIN UTILITY EASEMENTS MUST BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANY. IT IS NOT PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRAY OF THE EARTH ON ANY COLORADO SPRINGS UTILITIES EASEMENT OR UTILITY RIGHT-OF-WAY WITHOUT THEIR WRITTEN APPROVAL. THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO EXISTING UTILITY FACILITIES TO ACCOMMODATE THE PLAN MUST BE APPROVED BY THE AFFECTED UTILITY OWNER PRIOR TO IMPLEMENTING THE PLAN. THE COST TO RELOCATE OR PROTECT EXISTING UTILITIES OR TO PROVIDE INTERIM ACCESS IS THE APPLICANT'S EXPENSE.
9. STABILIZATION METHODS AND RECOMMENDATIONS ARE INCLUDED AS PART OF THE GEOTECHNICAL REPORT AND SHALL CONFORM TO ASTM STANDARDS FOR THE SOIL CONDITIONS AS WELL AS FOLLOW SECTION 3.7 GRADING AND COMPACTION OF THE DRAINAGE CRITERIA MANUAL VOLUME I, CHAPTER 14.
- 9.1. IN AREAS TO BE SEEDDED, THE UPPER 3 INCHES OF THE SOIL SHOULD NOT BE HEAVILY COMPACTED AND SHOULD BE IN A FRIABLE CONDITION. LESS THAN AN 85% STANDARD PROCTOR DENSITY IS ACCEPTABLE. DIFFERENCES IN TEXTURE AND DENSITY OF SUBSOIL AND TOPSOIL LAYERS CAN CREATE SOIL STRATIFICATION. THIS STRATIFICATION CAUSES POOR INTERNAL DRAINAGE FROM ONE TEXTURE TO ANOTHER AND CAN INHIBIT NORMAL ROOT GROWTH. LEFT TO CORRECT ITSELF NATURALLY, THIS CONDITION MAY TAKE DECADES AND MAY NEVER APPROACH AN IDEAL SITUATION. CONSEQUENTLY, AREAS OF COMPACTION OR GENERAL CONSTRUCTION ACTIVITY SHOULD BE SCARIFIED TO A DEPTH OF 6 TO 12 INCHES PRIOR TO SPREADING TOPSOIL TO BREAK UP COMPACTED LAYERS AND PROVIDE A BLENDING ZONE BETWEEN DIFFERENT SOIL LAYERS. THE IDEAL WOULD BE TO PRODUCE A SOIL SIMILAR TO THAT ENCOUNTERED IN A NATURAL, DESIRABLE SOIL CONDITION.
10. SEE GRADING AND EROSION CONTROL NARRATIVE REPORT FOR SOIL CONDITIONS.
11. CONTRACTOR TO LOCATE/VERIFY LOCATION OF EXISTING UTILITIES AND FIELD VERIFY ELEVATIONS PRIOR TO CONSTRUCTION.
12. ALL UTILITY INSTALLATIONS WITHIN THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN ARE COVERED UNDER THIS PLAN. LOCATIONS OF UTILITIES WITHIN THE LIMITS OF DISTURBANCE MAY BE MODIFIED AFTER PLAN APPROVAL AS A FIELD CHANGE. UTILITY INSTALLATIONS RELATED TO THE PRIVATE DEVELOPMENT THAT EXTEND BEYOND THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN ARE CONSIDERED TO BE PART OF THE LARGER DEVELOPMENT, AND THEREFORE REQUIRE A PLAN MODIFICATION OR SEPARATE PLAN FOR THE ADDITIONAL DISTURBANCE AREA.
13. APPLICANT REPRESENTS AND WARRANTS THAT THEY HAVE THE LEGAL AUTHORITY TO GRADE AND/OR CONSTRUCT IMPROVEMENTS ON ADJACENT PROPERTY. THE CITY HAS NOT REVIEWED THE DEVELOPER'S AUTHORITY TO MODIFY ADJACENT PROPERTY.
14. SEE SHEETS C-05, C-06 & C-07 FOR BMP DETAILS.

LEGEND



SITE HATCHING



REQUIRED LANDSCAPING		PROVIDED LANDSCAPE	
QUANTITY	COMMON TREE NAME	QUANTITY	COMMON TREE NAME
4	LINDEN GREENSPIRE	4(E)	LINDEN GREENSPIRE
18	SHADEMASTER HONEYLOCUST	12(P), 6(E)	SHADEMASTER HONEYLOCUST
5	PINYON PINE	6(E)	PINYON PINE
3,200 SF	PERMANENT SEEDING	4,350 SF	PERMANENT SEEDING

ROCKY MOUNTAIN GROUP

Geotechnical
Materials Testing
Civil Engineering

ARCHITECTURAL
Structural
Forensics

52138

FOR CIVIL ONLY

COLORADO LICENSED

SCOTT MARVEL

08/15/2021

52138

PROFESSIONAL ENGINEER

PHASES TRUCK AND AUTO REPAIR

1670 PAONIA STREET

COLORADO SPRINGS, COLORADO

CASCO CONSTRUCTION CORP.

SHEET NAME

SITE & GRADING PLAN

PERMIT

ENG: RDL

DRAWN: AMC

CHECKED: RDL

DATE

08/15/2021

#

REVISION

DATE

JOB NO.

179592

SHEET NO.

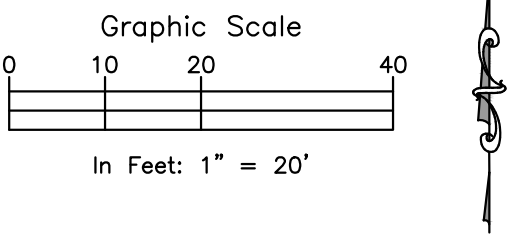
C-02

of 10

PROJECT STATUS

PERMIT

PCD FILING NO.: PPR-21-021



5885 PALMER PARK BLVD
5406304002
ZONE: CC CAD-0
7.36 AC
LOT 1 BLK 1 WALDORF SUB

5819-5883 PALMER PARK BLVD
5406304050
ZONE: CR CAD-0
5.55 AC
LOT 1 POWERS CENTRE FIL NO. 3

PALMER PARK BLVD
5406304017
ZONE: I-2 CAD-0
2.11 AC
TRACT A POWERS PLAZA

1720 PAONIA ST
5406304013
ZONE: I-2 CAD-0
2.48 AC
LOT 6 BLK 1 PALMER PARK
SINCE CENTER SUB FIL NO. 3

1670 PAONIA ST
5406304014
ZONE: I-2 CAD-0
PLAT NO. 6746
LOT 5 BLK 1 PALMER PARK
BUSINESS CENTER SUB FIL NO. 3
EX BLDG AREA: ~11,200 SQ FT
EX. HT: 19'-4"

1685 PAONIA ST
5406305001
ZONE: I-2 CAD-0
4.36 AC
LOT 1 BLK 1 PALMER PARK
BUSINESS CENTER SUB FIL NO. 2

1625 PAONIA ST
5406305002
ZONE: I-2 CAD-0
2.86 AC
LOT 2 BLK 1 PALMER PARK
BUSINESS CENTER SUB FIL NO. 2

1620 PAONIA ST
5406304015
ZONE: I-2 CAD-0
1.86 AC
LOT 4 POWERS PLAZA

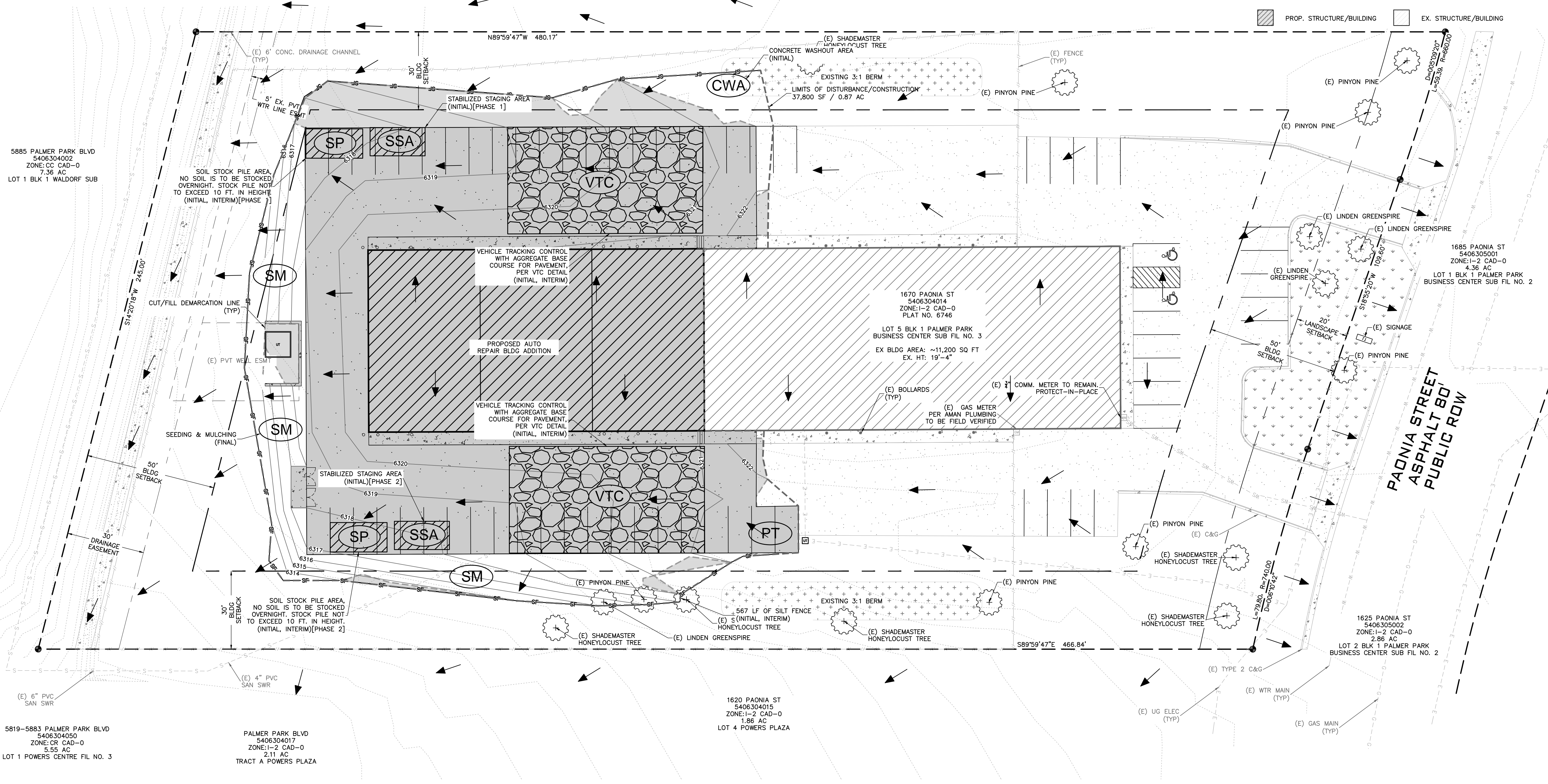
FEMA FLOODPLAIN STATEMENT:
ACCORDING TO FEMA FLOODPLAIN MAP 08041C0752G
DATED 12/07/2018, THE PROPERTY FALLS WITHIN
ZONE X, AREA OF MINIMAL FLOOD HAZARD.

EROSION CONTROL LEGEND

- SSA STABILIZED STAGING AREA
- CWA CONCRETE WASHOUT AREA
- SCL SEDIMENT CONTROL LOGS
- SM SEEDING & MULCHING
- SP STOCKPILE AREA
- VTC VEHICLE TRACKING CONTROL
- PT PORTABLE TOILET

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- LIMITS OF DISTURBANCE
- CUT/FILL DEMARCATION LINE
- PROPERTY CORNER/MONUMENT, BENCHMARK OR TEMPORARY BENCHMARK
- FLOWLINE
- SHEET FLOW/DRAINAGE DIRECTION
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- SPOT ELEVATION
- SITE HATCHING
 - PROP. ASPHALT PAVEMENT
 - EX. ASPHALT PAVEMENT
 - PROP. CONCRETE PAVEMENT
 - EX. CONCRETE PAVEMENT
 - PROP. STRUCTURE/BUILDING
 - EX. STRUCTURE/BUILDING



PHASES TRUCK AND AUTO REPAIR

EROSION CONTROL PLAN

#	REVISION	DATE
1		
2		
3		
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7		
8		
9		
10		

C-03
of 10

ROCKY MOUNTAIN GROUP
ARCHITECTS
STRUCTURAL
ENGINEERS
1719 ALBERTA BLVD
DENVER, CO 80202
303.733.8888
WWW.RMG-ENGINEERS.COM

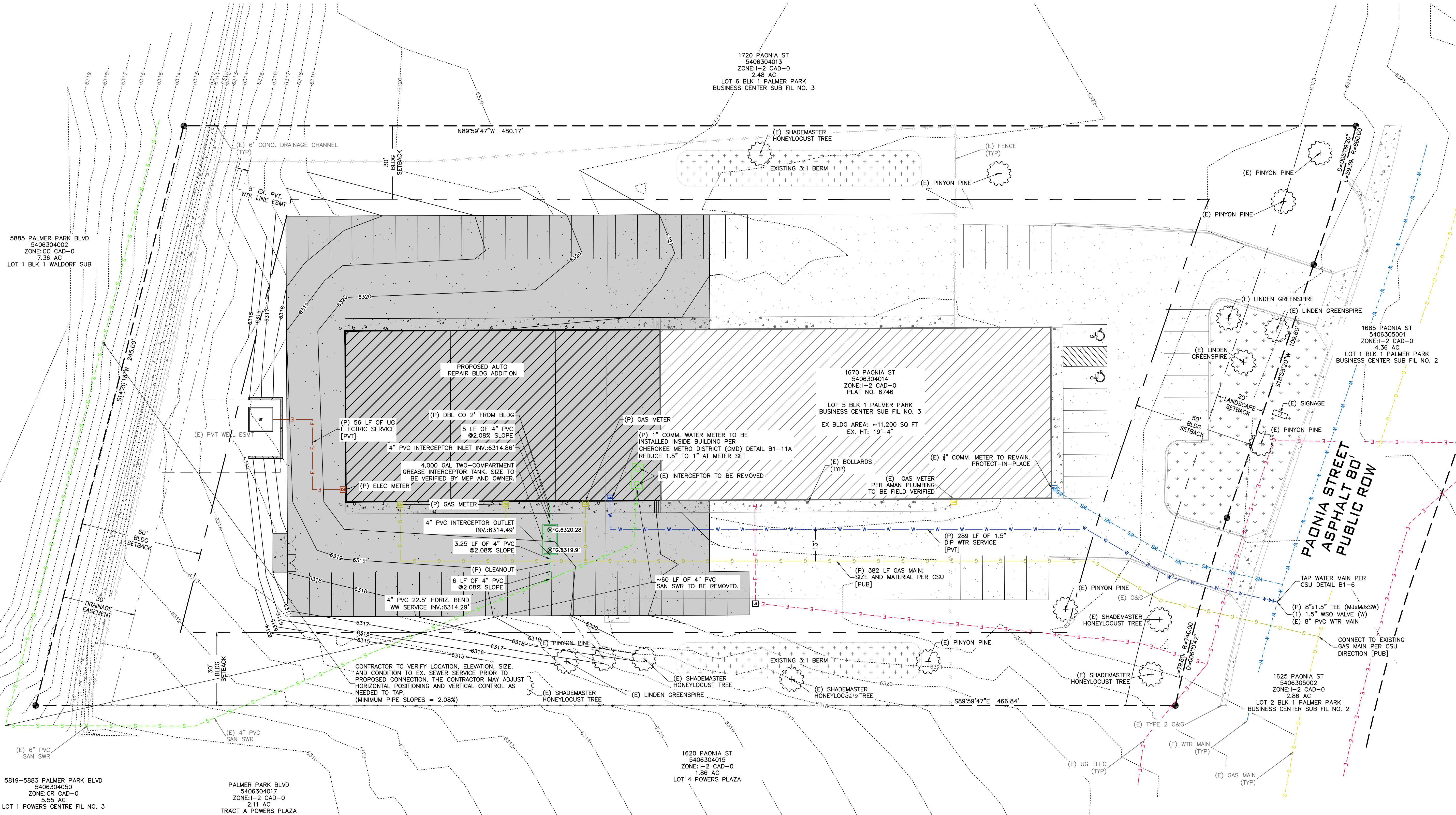
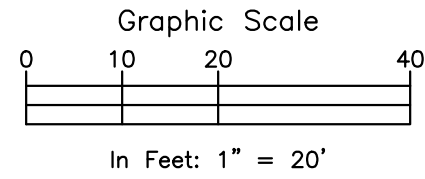
COLORADO LICENSED
SCOTT MARVEL
PROFESSIONAL ENGINEER
52138
FOR CIVIL ONLY

PHASES TRUCK AND AUTO REPAIR

COLORADO CONSTRUCTION CORP.
1670 PAONIA STREET
COLORADO SPRINGS, COLORADO

PERMIT
DATE: 08/15/2021
JOB NO.: 179592
SHEET NO.: C-03
of 10

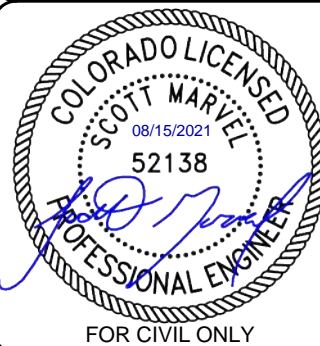
- NOTE:
- EXISTING SANITARY SEWER LINEWORK INFORMATION WAS PROVIDED VIA SITE & GRADING PLAN BY HAMMERS CONSTRUCTION, INC. DATED APRIL 19, 1999. THE OWNER OR ITS REPRESENTATIVE SHOULD DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.
 - AN EXISTING ELECTRIC PHASE 3 TRANSFORMER WAS FOUND ON SITE. THE ELECTRIC TRANSFORMER IS TO REMAIN UNDISTURBED WITH A MINIMUM OF 10 FEET OF ACCESS SPACE IN FRONT OF THE ACCESS DOOR.
 - SURVEY LINEWORK AND TOPOGRAPHIC INFORMATION VIA SURVEY PROVIDED BY RMG-ROCKY MOUNTAIN GROUP. HORIZONTAL DATUM IS NAD83 COLORADO STATE PLANE CENTRAL U.S. FOOT (C083-NF) AND VERTICAL DATUM IS NAVD88. THE CONTRACTOR SHALL CALIBRATE TO ELEVATION DATUM AS NEEDED.
 - THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE OWNER OR ITS REPRESENTATIVE SHOULD DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.
 - NOT ALL UTILITIES MAY BE SHOWN, ESPECIALLY UTILITIES SUCH AS FIBER OPTIC CABLES, TELEPHONE, TELEVISION, PHONE, ETC.
 - REFER TO THE MEP PLANS FOR INTERNAL WATER, GAS AND ELECTRICAL UTILITY SERVICE.



ROCKY MOUNTAIN GROUP



2910 ALSTON BLVD
SUITE 200
DENVER, CO 80202
TEL: 303.733.1111
WWW.RMG-ENGINEERS.COM



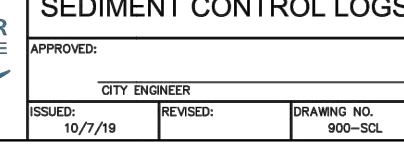
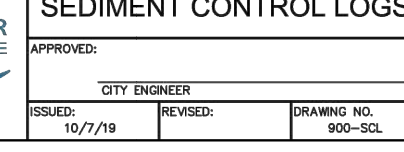
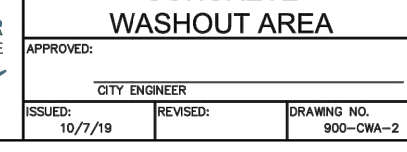
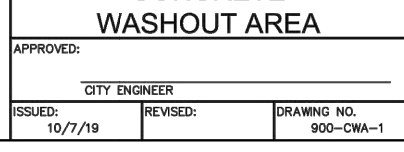
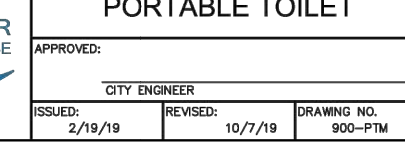
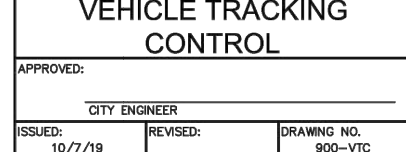
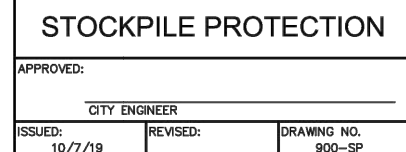
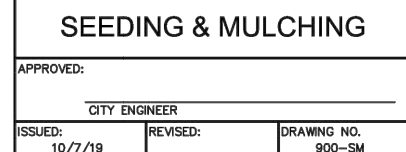
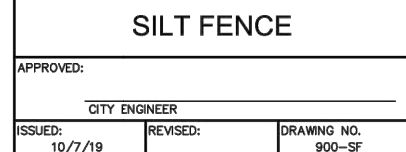
PHASES TRUCK AND AUTO REPAIR

1670 PAONIA STREET
COLORADO SPRINGS, COLORADO
CASCO CONSTRUCTION CORP.

UTILITY SERVICE PLAN

PERMIT

ENG:	RDL	
DRAWN:	AMC	
CHECKED:	RDL	
DATE		
08/15/2021		
#	REVISION	DATE
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JOB NO.		
179592		
SHEET NO.		
C-04		
of 10		

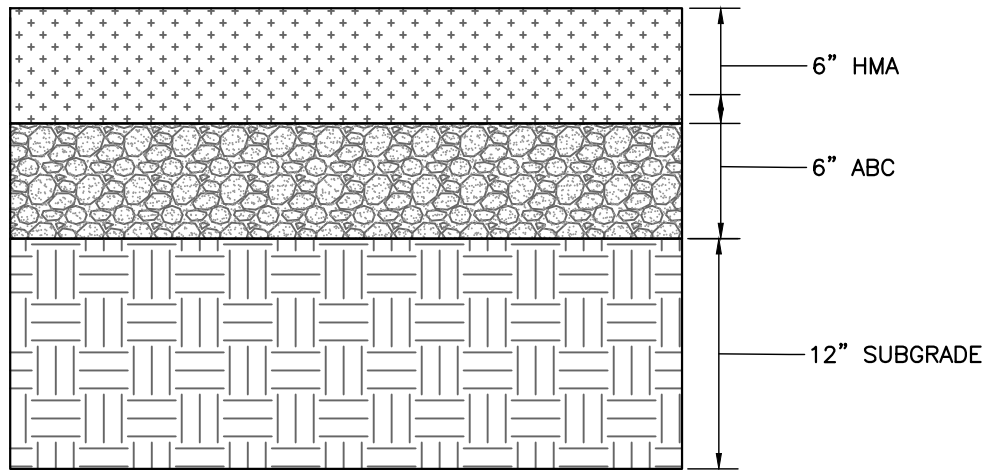


PAVEMENT MATERIALS

PAVEMENT MATERIALS SHOULD BE SELECTED, PREPARED, AND PLACED IN ACCORDANCE WITH THE GEOTEHCNICAL REPORT PREPARED BY RMG—ROCKY MOUNTAIN GROUP DATED JANUARY 29, 2021 AS WELL AS THE CITY OF COLORADO SPRINGS ENGINEERING DEPARTMENT AND THE PIKES PEAK REGION ASPHALT PAVING SPECIFICATIONS. TESTS SHOULD BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE PROCEDURES PRESENTED IN THE REPORT AND SPECIFICATIONS.

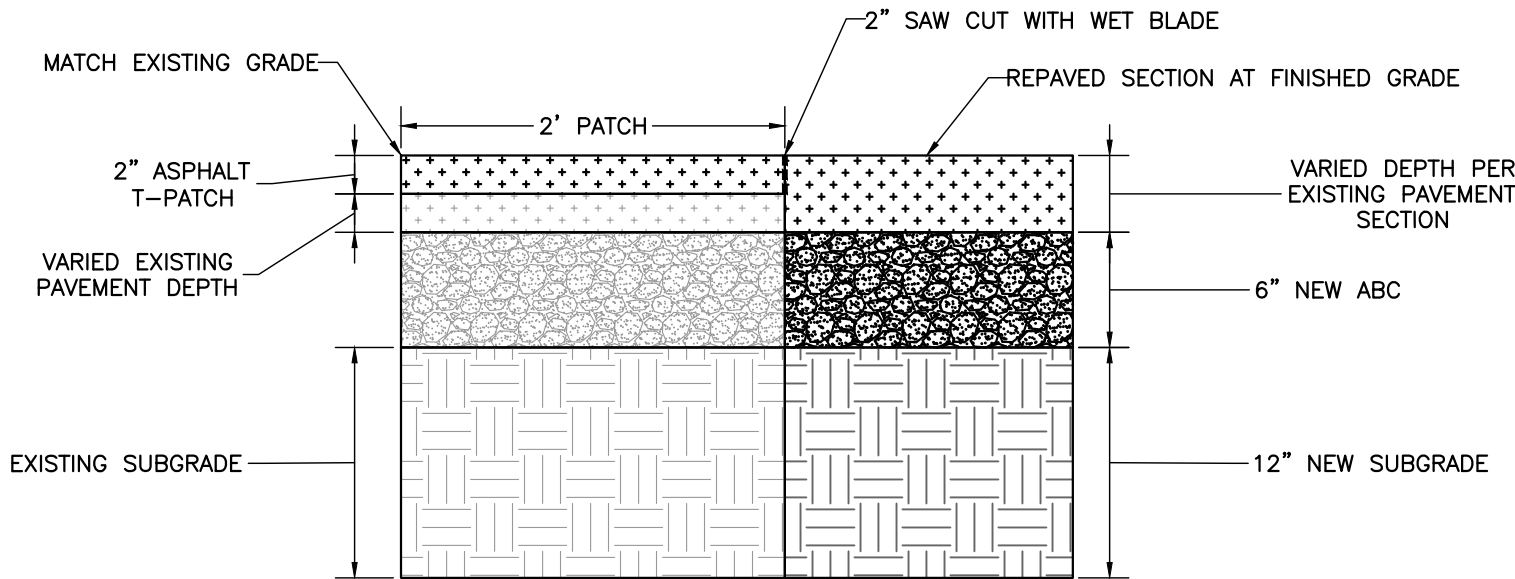
SUBGRADE PREPARATION

ALL SUBGRADE MATERIAL PLACED BELOW PAVEMENTS SHOULD BE MOISTURE CONDITIONED AND COMPACTED IN ACCORDANCE WITH THE STRUCTURAL FILL—GENERAL SECTION OF THE GEOTECHNICAL REPORT PREPARED BY RMG—ROCKY MOUNTAIN GROUP. PRIOR TO PLACEMENT OF THE PAVEMENT SECTION, THE FINAL SUBGRADE SHOULD BE SCARIFIED TO A DEPTH OF 6—INCHES, ADJUSTED TO WITHIN 2 PERCENT OF THE OPTIMUM MOISTURE CONTENT AND RECOMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D—1557). THE SUBGRADE SHOULD THEN BE PROOF—ROLLED WITH A HEAVY, PNEUMATIC TIRED VEHICLE.

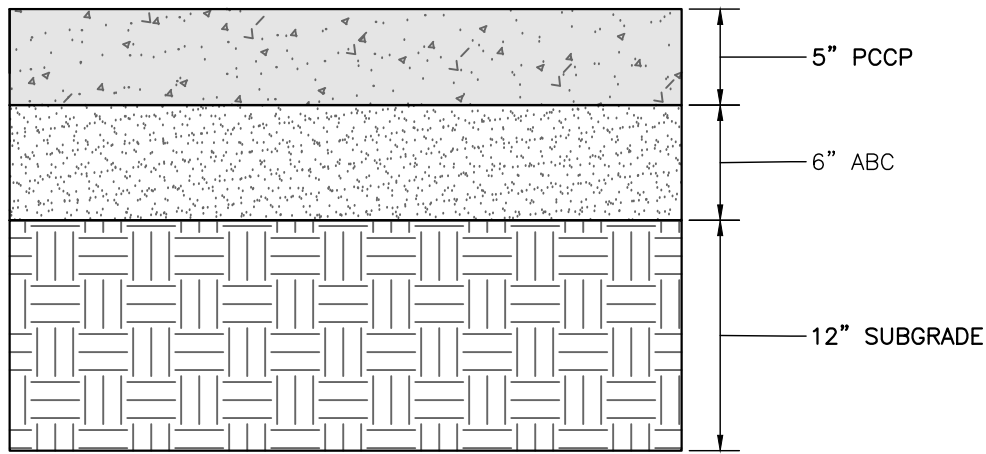


*RECOMMENDED PAVEMENT SECTION FOR HEAVY USE AREAS, DUMPSTER PADS, EQUIPMENT AREAS, AND AREAS WITH TURNING MOTIONS

A TYPICAL HEAVY LOADING ASPHALT PAVEMENT SECTION
NOT TO SCALE

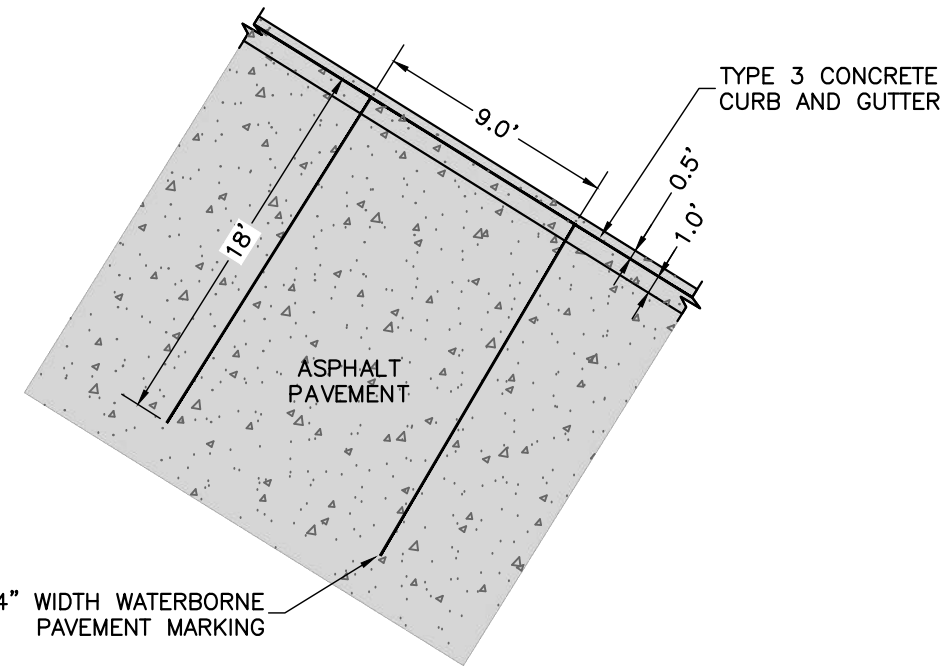


B ASPHALT PATCH PAVEMENT SECTION
NOT TO SCALE

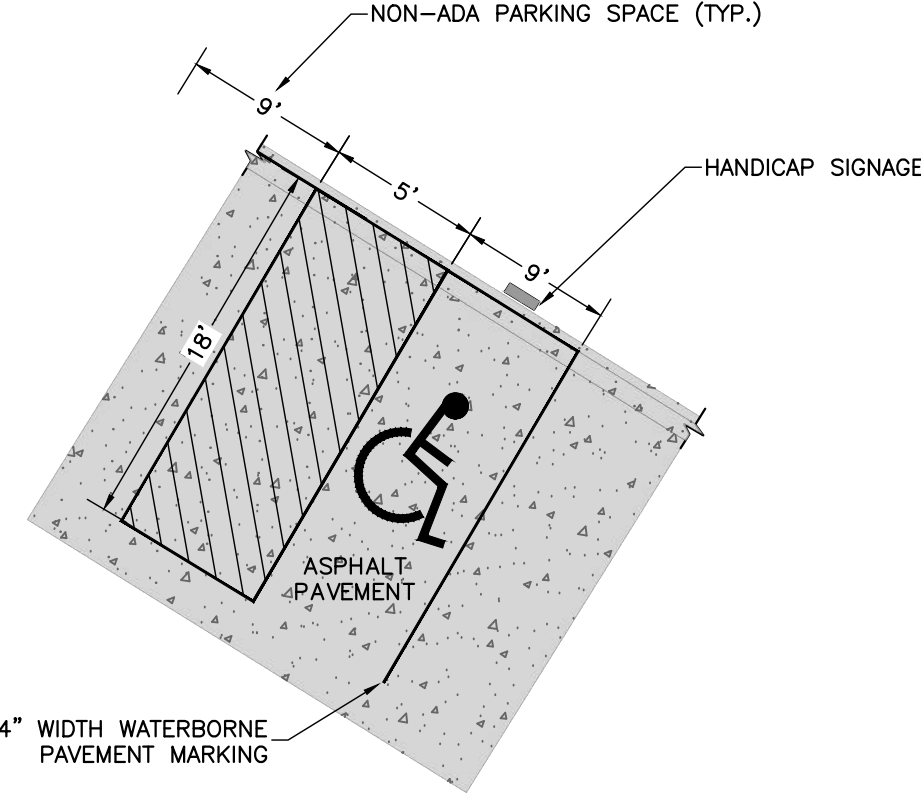


C TYPICAL CONCRETE PAVEMENT SECTION
NOT TO SCALE

*CONTRACTOR SHALL ADHERE TO AND BE FAMILIAR WITH ACI 330R—08 (LATEST REVISION) STANDARDS FOR CONCRETE JOINTING AND PLACEMENT (INCLUDING BUT NOT LIMITED TO SECTIONS 3.7, 3.8, 3.9).

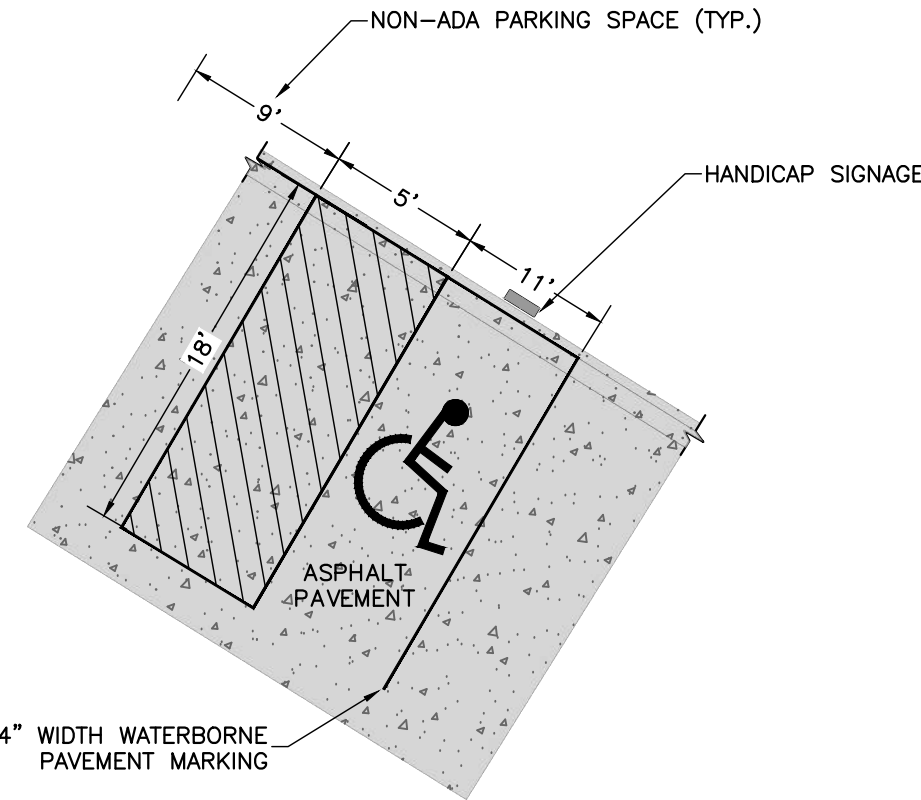


TYPICAL NON-HANDICAP PARKING STALL



TYPICAL HANDICAP PARKING STALL

*REFER TO CITY OF COLORADO SPRINGS CODE OF ORDINANCES SECTION 7.4.205 F FOR DIMENSIONAL REQUIREMENTS.



TYPICAL HANDICAP PARKING STALL
(VAN ACCESSIBLE)

*REFER TO CITY OF COLORADO SPRINGS CODE OF ORDINANCES SECTION 7.4.205 F, AND EL PASO COUNTY STANDARDS, FOR DIMENSIONAL REQUIREMENTS.

ROCKY MOUNTAIN GROUP

ARCHITECTS
STRUCTURAL
FORENSICS

GEOTECHNICAL
MATERIALS TESTING
CIVIL PLANNING

ENGINEERS

SOUTHERN COLORADO
2910 ALBERTA BLUFFS PARKWAY, COLORADO SPRINGS, CO 80918
(719) 488-2145 - WWW.RMENGINEERS.COM
SOUTHERN COLORADO BRANCH OFFICE, NORTHERN COLORADO

COLORADO LICENSED

SCOTT MARVEL

08/15/2021

52138

PROFESSIONAL ENGINEER

FOR CIVIL ONLY

PHASES TRUCK AND AUTO REPAIR

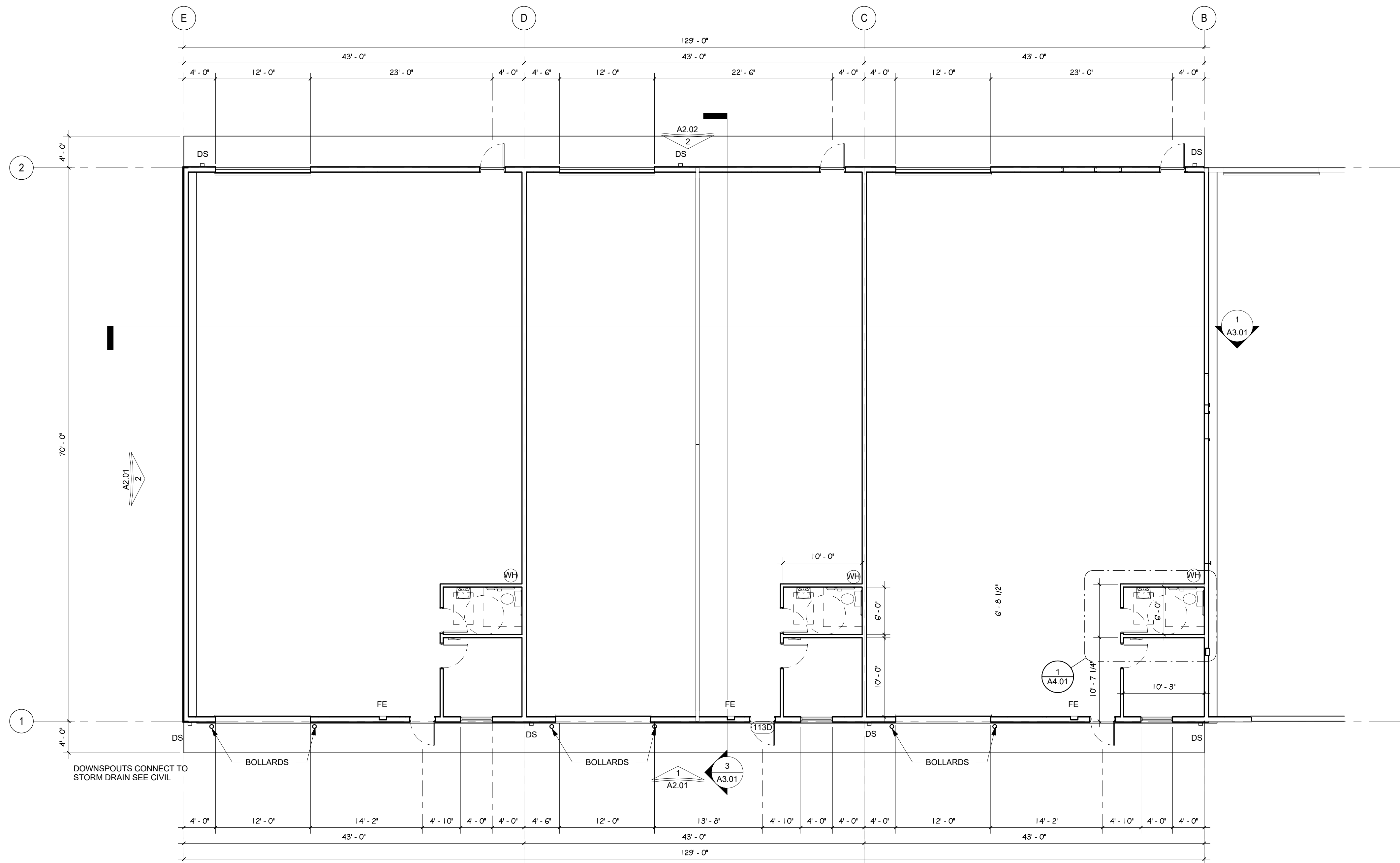
1670 PAONIA STREET
COLORADO SPRINGS, COLORADO
CASCO CONSTRUCTION CORP.

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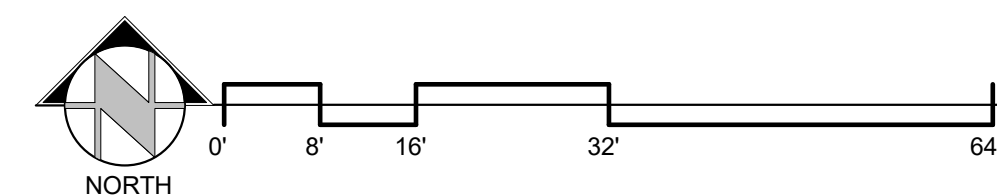
CONSTRUCTION DETAILS

PERMIT

ENG:	SAM	
DRAWN:	AMC	
CHECKED:	RDL	
DATE		
08/15/2021		
#	REVISION	DATE
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JOB NO.		
179592		
SHEET NO.		
C-06		
of 10		



1 FIRST FLOOR PLAN
A1.01 SCALE: 1/8" = 1'-0"



PCD FILING NO: PPR-21-021

ROCKY MOUNTAIN GROUP

ENGINEERS-ARCHITECTS
Geotechnical
Mechanical
Electrical
Civil/Planning

RMG
ENGINEERS-ARCHITECTS
EMPLOYEE OWNED

19375 BLAZEN LITE RD., HIGHLAND, CO 80132
(719)488-2145 - WWW.RMGENG.COM
SOUTH PLATON, COLORADO, DENVER METRO, NORTHERN COLORADO

PAONIA WAREHOUSE

1670 PAONIA STREET, COLORADO SPRINGS, CO 80915

CASCO CONSTRUCTION CORP.

SHEET NAME
FIRST FLOOR PLAN

PROJECT STATUS
PRELIMINARY SET

ARCH/ENG: KEM
DRAWN: JID
CHECKED: km

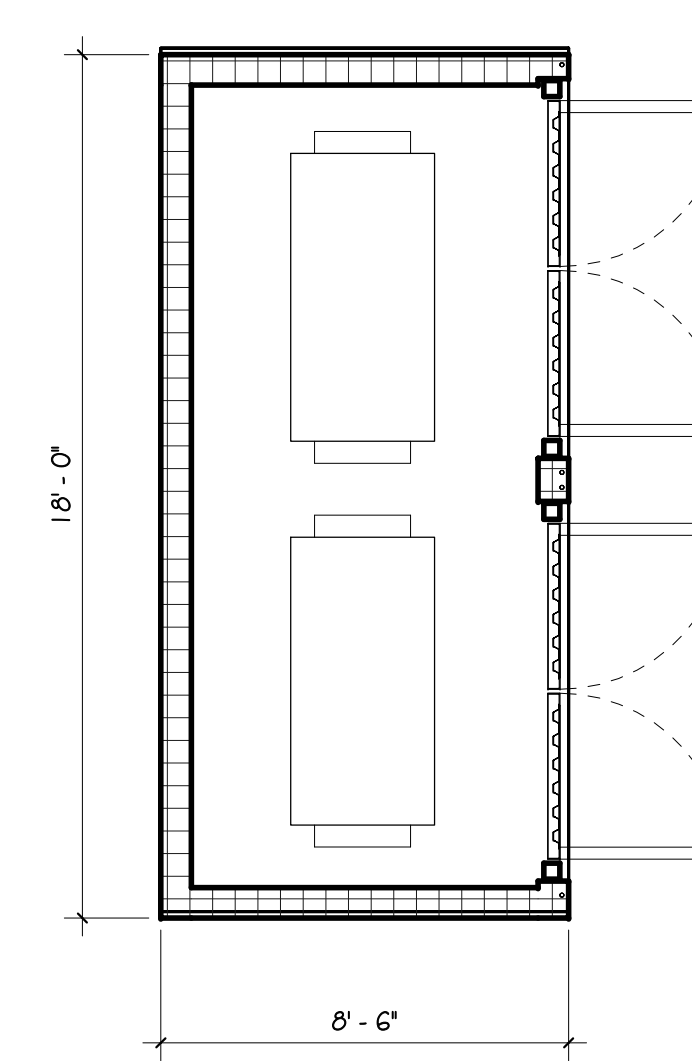
DATE
12.29.2020

REVISION
DATE

JOB NO.
179592

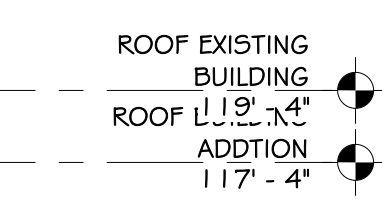
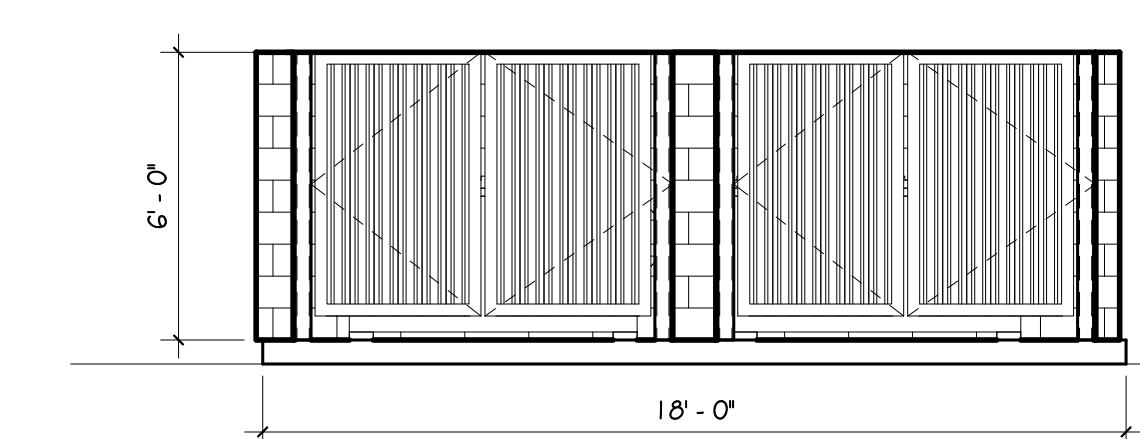
SHEET NO.
A1.01




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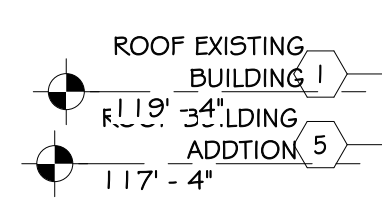


5 TRASH ENCLOSURE PLAN
DP.03 SCALE: 1/4" = 1'-0"

4 TRASH ENCLOSURE
DP.03 SCALE: 1/4" = 1'-0"



EXISTING MAIN LEVEL	100' - 0"	
ADDITION MAIN LEVEL	98' - 0"	
T.O. FTG.	95' - 6"	



3 SOUTH DEVELOPMENT ELEVATION
DP.03 SCALE: 3/16" = 1'-0"

6' - 0"

18' - 0"

SHEET NAME

EXTERIOR ELEVATIONS

PROJECT STATUS

DEVELOPMENT

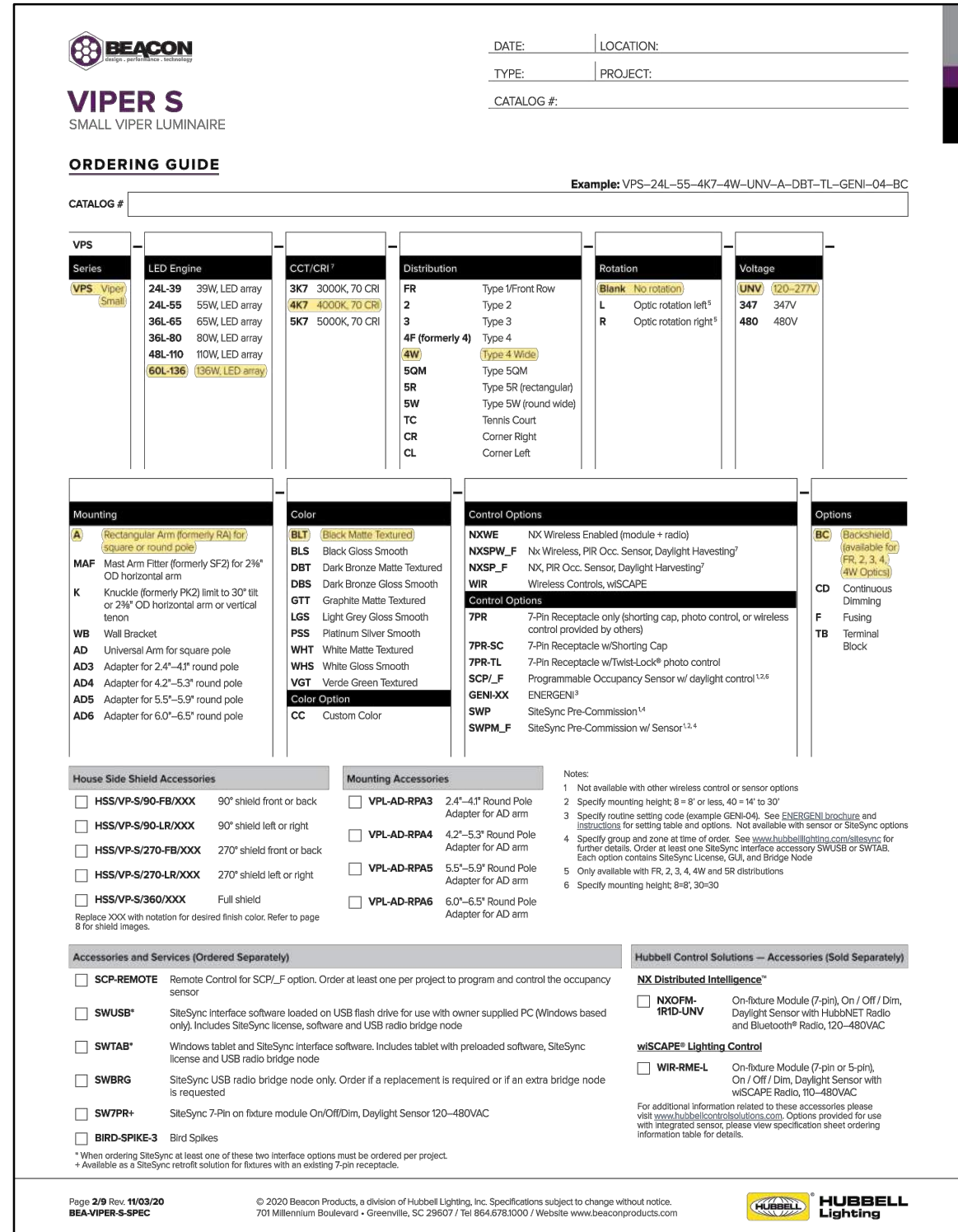
ARCHENG:	KEM	
DRAWN:	JDZ	
CHECKED:	km	
DATE		
04.12.2021		
/A	REVISION	DATE
JOB NO.		
179592		
SHEET NO.		
DP.03		
3 OF 19		

LIGHTING FIXTURE SCHEDULE						
TYPE	MANUFACTURER/CATALOG NO.	LAMP TYPE	FINISH	MOUNTING	VOLTAGE	DESCRIPTION
EX1	BEACON VP-S-60L-136-4K7-4W-BC OR APPROVED EQUAL	(60) LED 4000K 15,000 LUMENS	BLACK	POLE 17'-8" AFF	120-277V	POLE MOUNT AREA LIGHT WITH TYPE 4 HEAD WITH BACK SHIELD

CALCULATION SUMMARY							
LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PARKING LOT	ILLUMINANCE	FC	2.31	14.7	0.1	22.10	147.00
PROPERTY LINE	ILLUMINANCE	FC	0.00	0.1	0.0	N/A	N/A

CALCULATION SUMMARY							
LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PARKING LOT	ILLUMINANCE	FC	2.31	14.7	0.1	22.10	147.00
PROPERTY LINE	ILLUMINANCE	FC	0.00	0.1	0.0	N/A	N/A

LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PARKING LOT	ILLUMINANCE	FC	2.21	14.7	0.1	22.10	147.00
PROPERTY LINE	ILLUMINANCE	FC	0.00	0.1	0.0	N/A	N/A



GENERAL NOTES

- A. DRAWINGS ARE BASED ON RECORD DRAWINGS (NOT GUARANTEED TO BE CURRENT AT TIME OF CONSTRUCTION) AND FIELD INVESTIGATION WITH DEMOLITION. EXAMINE PLANS AND VISIT THE SITE TO FIELD VERIFY ACTUAL CONDITIONS AND COORDINATE SAME WITH OTHER TRADES PRIOR TO STARTING WORK.
- B. A LICENSED AND BONDED CONTRACTOR SHALL BE USED FOR INSTALLATION. ALL LOCAL CODES SHALL BE FOLLOWED DURING INSTALLATION.
- C. OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL REMOVED EQUIPMENT AND MATERIAL.



KEYNOTES

- 1 LIGHTING FOR THE WALKWAYS WILL BE PROVIDED BY WALL-MOUNTED DOWN CASTING FIXTURES LOCATED ON PROPOSED BUILDING.
- 2 EXTERIOR LIGHTING, EXCEPT SECURITY LIGHTING, WILL BE CONTROLLED BY A TIME CLOCK TO BE TURNED OFF DURING NON-OPERATING HOURS.



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	DP PLAN COMMENTS	05/15/2021
	ISSUED FOR PERMIT	04/12/2021
NO.	REVISION	DATE

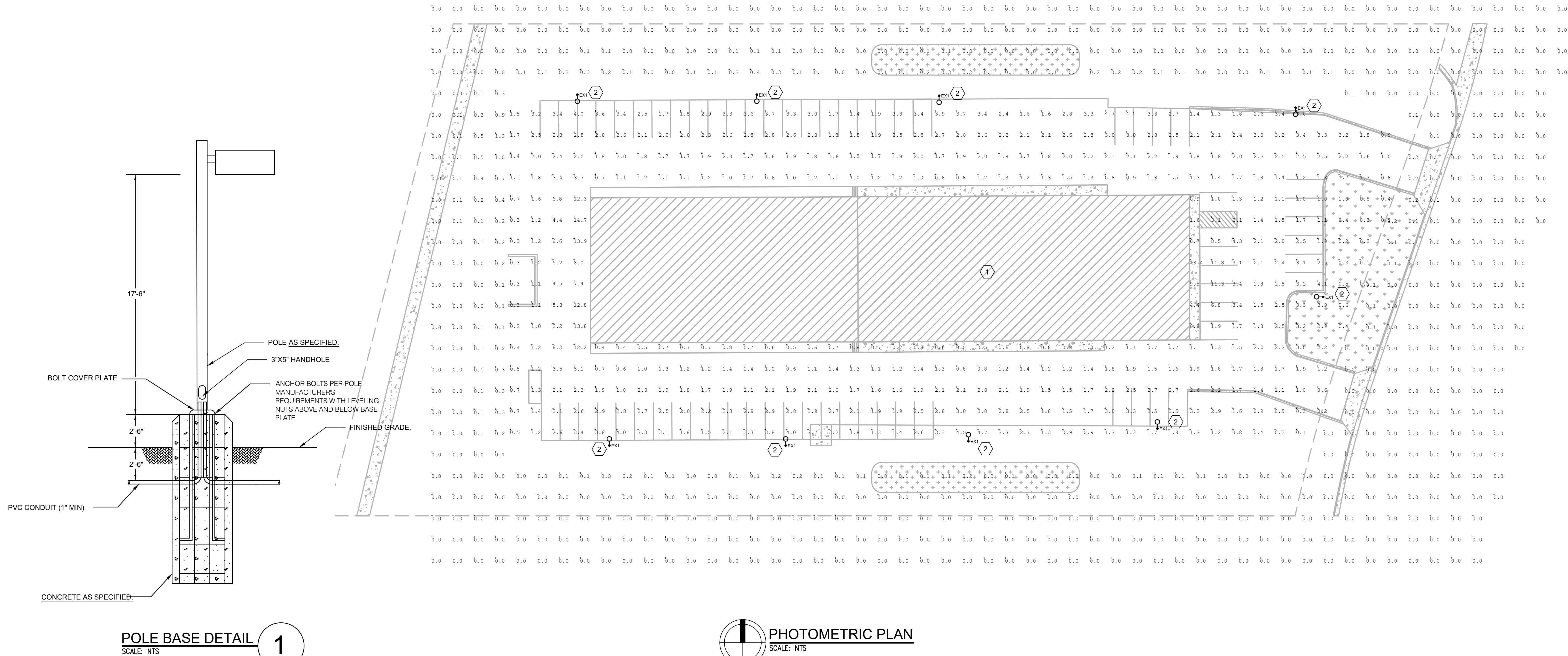
PROJECT NO: 0009
DRAWN BY: MPC
CHECKED BY: MPC
DATE: 01/23/2021

SHEET CONTENTS

PHOTOMETRIC PLAN

SHEET NUMBER

E110A



ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ENGINEER OF RECORD. THEY ARE ONLY TO BE USED FOR THIS PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN AGREEMENT AND APPROPRIATE COMPENSATION TO THE ENGINEER OF RECORD.