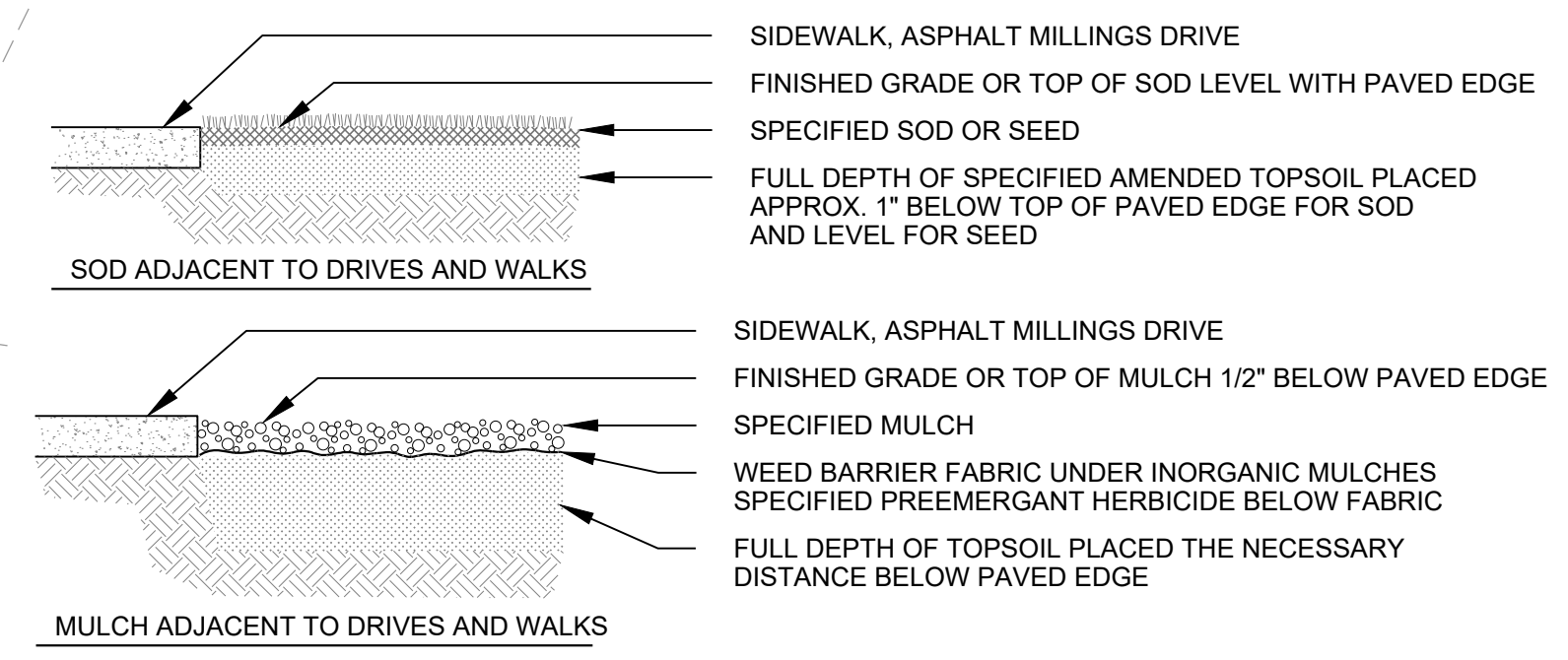


### PLANT LIST

SHADE TREES			
1	SWO	SWAMP WHITE OAK Quercus bicolor	1 1/2" CAL. SINGLE TRUNK
ORNAMENTAL TREES			
2	GIN	AMUR MAPLE Acer ginnala	1" CAL. SINGLE TRUNK
EVERGREEN SHRUBS			
18	TAM	TAMMY JUNIPER Juniperus sabina 'Tamariscifolia'	5 GAL. 18"-24" SPREAD
DECIDUOUS SHRUBS			
6	MCL	MISS CANADA LILAC Syringa x prestoriae 'Miss Canada'	5 GAL. 18"-24" HT.
11	PBS	PAWNEE BUTTES SAND CHERRY Prunus besseyi 'Pawnee Buttes'	5 GAL. 18"-24" SPREAD
3	RAB	RABBITBRUSH Chrysothamnus nauseosus	5 GAL. 18"-24" HT.

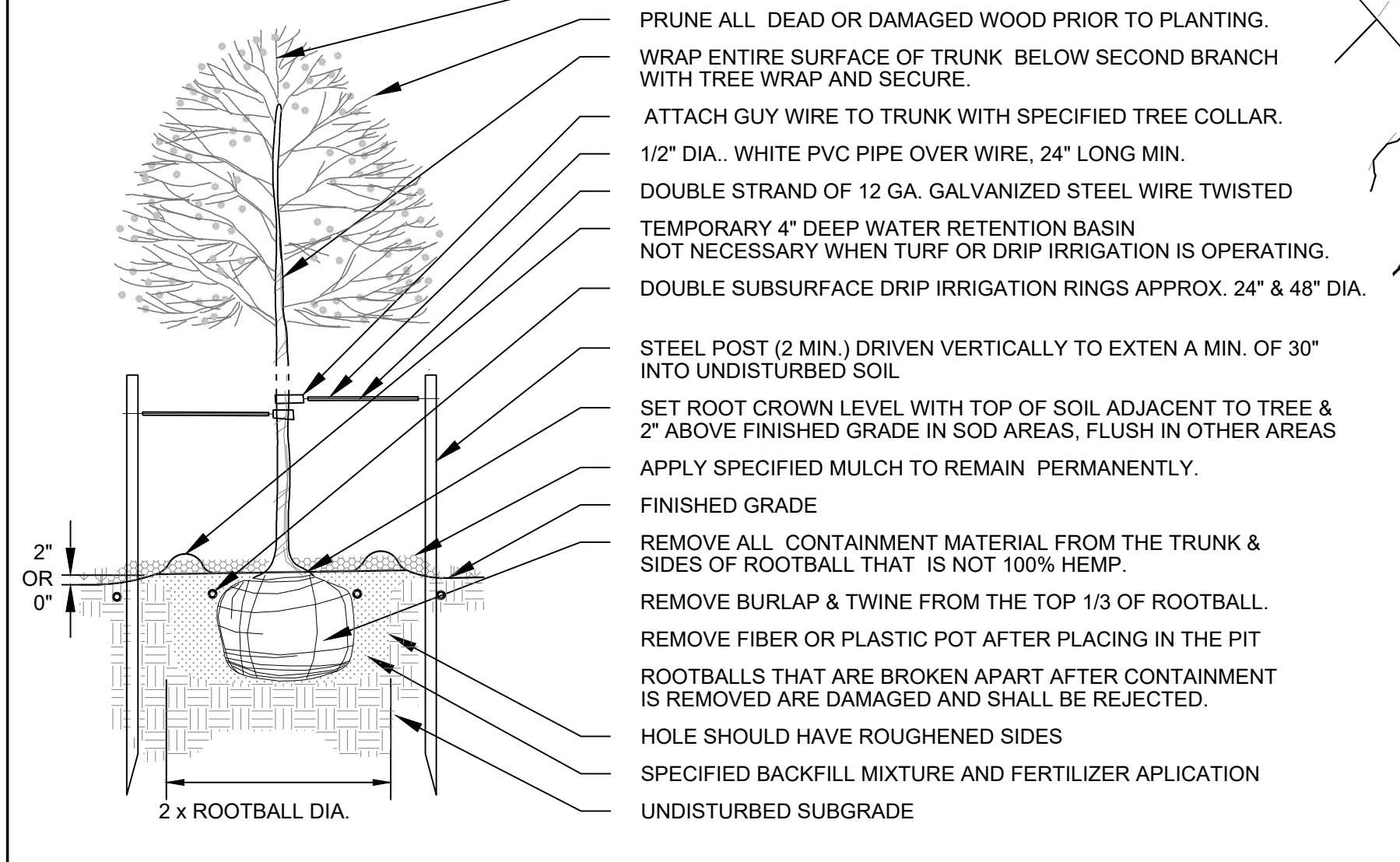
- ### LANDSCAPE NOTES
- THIS LANDSCAPE ARCHITECTURAL SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE CIVIL, IRRIGATION, MECHANICAL, ELECTRICAL, AND ARCHITECTURAL CONSTRUCTION DOCUMENTS AND SPECIFICATIONS TO FORM COMPLETE INFORMATION REGARDING THIS SITE. IF A DISCREPANCY OR CONFLICT EXISTS BETWEEN THESE NOTES, PLANS, DETAILS, SPECIFICATIONS, & CITY STANDARDS & SPECIFICATIONS THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT TO RESOLVE THE DISCREPANCY OR CONFLICT.
  - LANDSCAPE CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND SPECIFICATIONS.
  - ALL MATERIAL AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR, FROM DATE OF FINAL ACCEPTANCE.
  - LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
  - BEFORE COMMENCING WORK, LANDSCAPE CONTRACTOR SHALL CONTACT APPROPRIATE UTILITY COMPANIES FOR UTILITY LOCATIONS, AND COORDINATE WITH GENERAL CONTRACTOR IN REGARD TO LOCATION OF PROPOSED UTILITIES, IRRIGATION SLEEVES, CONDUITS, ETC.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE SUBMITTALS, CUT SHEETS OF MATERIALS & SOIL TEST RESULTS DIRECTLY TO THE OWNERS REPRESENTATIVE FOR APPROVAL. SEE SPECIFICATIONS FOR DETAILED SUBMITTAL INFORMATION.
  - REMOVE EXCESS SUB GRADE WHERE NECESSARY AND PLACE SPECIFIED TOP SOIL. A MINIMUM DEPTH OF SIX INCHES (6") IN TURF AND GRASS AREAS AND TWELVE (12") INCHES IN SHRUB BEDS. DISTRIBUTE STOCKPILED TOPSOIL AND PROVIDE ANY ADDITIONAL TOPSOIL NEEDED.
  - ORGANIC SOIL AMENDMENTS AND FERTILIZERS SHALL BE INCORPORATED IN TO ALL PLANTING PITS AS IN THE DETAILS.
  - SOIL PREPARATION:  
ORGANIC SOIL AMENDMENTS AND FERTILIZERS SHALL BE INCORPORATED IN TO ALL LANDSCAPE AREAS AND PLANTING PITS. PROVIDE NO LESS THAN THE FOLLOWING QUANTITIES OF THE SPECIFIED AMENDMENT MATERIAL. SODDED AREAS:  
Organic Soil Amendment: 4 cubic yards per 1000 s.f.  
Commercial Fertilizer (20-10-5): 10lbs. per 1000 s.f.  
Super Phosphate (0-46-0): 10lbs per 1000 s.f.  
BACKFILL FOR TREES & SHRUBS:  
Organic Soil Amendment: 1/4 by volume of backfill  
Planting Pit Excavated Material: 3/4 by volume  
Fertilizer Tablets: One 21 gram fertilizer tablet for each 1/2 inch of tree trunk caliper and on tablet per 12 inches height, or spread, whichever is greater, of each shrub per manufacturers recommendations.  
ORGANIC SOIL AMENDMENTS SHALL BE A COMPOSTED ORGANIC WOOD AND MANURE BASED PRODUCT WITH A CARBON TO NITROGEN RATIO BETWEEN 15:1 AND 30:1 WITH A PH OF 6 TO 8, AND A SALT CONTENT BELOW 6 MMHOS/CM. THE ORGANIC SOIL AMENDMENT SHALL BE FREE FROM ALL VIABLE WEED SEEDS, AND BE FINELY SHREDDED TO PASS 70% THROUGH A 1/8" MESH. SPREAD ORGANIC AMENDMENTS MATERIAL EVENLY OVER AREA.
  - ALL PLANT MATERIALS SHALL BE AS SPECIFIED AND MEET OR EXCEED SIZE IN SCHEDULES. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET THE QUALITY REQUIRED FOR THE PROJECT PER SPECIFICATIONS.  
ALL SHADE TREES MUST NOT HAVE LIMBS THAT ARE LESS THAN 6" FROM THE ROOT CROWN. AFTER TWO YEARS OF GROWTH SHADE TREES SHALL HAVE THE LOWER LIMBS REMOVED SO THAT THERE WILL BE 8' OF CLEARANCE ABOVE ANY PAVED SURFACE. EACH TREE THAT IS LIMBED UP MUST HAVE LIMBS REMOVED ALL THE WAY AROUND THE TREE SO THAT IT IS EVENLY BALANCED.
  - ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
  - ALL CONVENTIONAL PLANTING BEDS AND MULCH AREAS ARE TO BE CONTAINED WITH STEEL EDGER AS SHOWN ON THE PLANS AND DEFINED IN THE DETAILS AND SPECIFICATIONS. EDGER IS NOT REQUIRED ADJACENT TO CURBS, WALKS, BUILDINGS OR RETAINING WALLS.
  - 2"-3" WASHED ROUNDED RIVER ROCK IS TO BE SPREAD FOUR (4) INCHES DEEP FOR ALL PLANTING BEDS CONTAINING TREES, SHRUBS AND ORNAMENTAL GRASSES UNLESS NOTED OTHERWISE ON THE PLAN. PLACE SPECIFIED WEED BARRIER FABRIC OVER THE SOIL IN ALL PLANTING AREAS NOT TO BE SEEDED. APPLY SPECIFIED PRE-EMERGENT HERBICIDE UNDER THE FABRIC AS DEFINED IN THE SPECIFICATIONS.
  - THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED SITE PLAN OR LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT. ALL LANDSCAPING WILL BE INSTALLED AS DEFINED ON THE PLAN, PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.



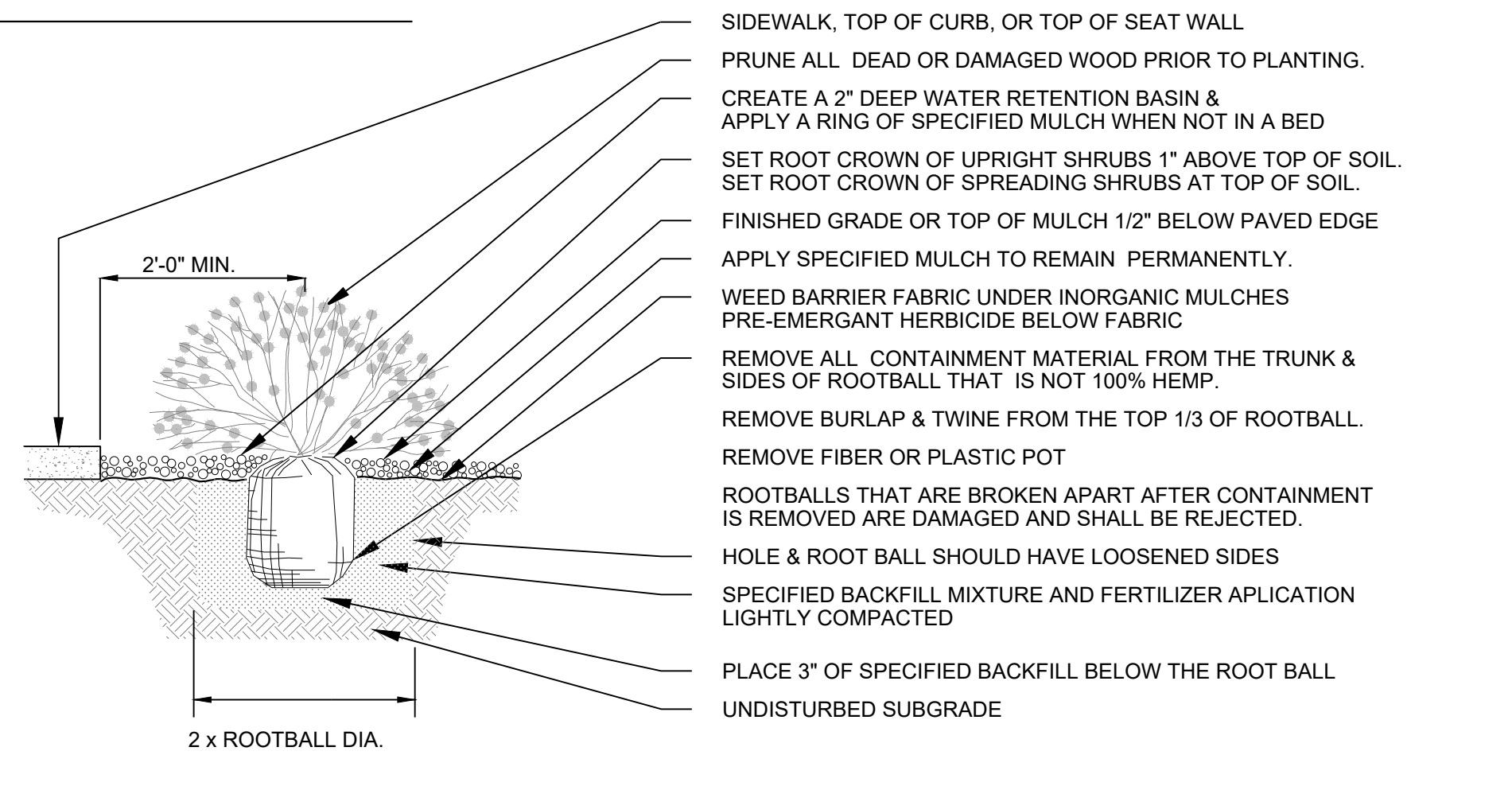
**2 EDGE TREATMENT**  
L1.0 NOT TO SCALE

**ALTERNATIVE LANDSCAPE REQUEST:**

PURSUANT TO SECTION 6.2.2.A.4 OF THE LAND DEVELOPMENT CODE (LDC), THE DIRECTOR MAY APPROVE AN ALTERNATIVE LANDSCAPE PLAN, PROVIDED THE PROPOSED LANDSCAPING PROVIDES AN EQUIVALENT. THE LDC REQUIRES PERIMETER LANDSCAPING OF ONE TREE PER 15 FEET WHEN A COMMERCIAL USE IS ADJACENT TO A RESIDENTIAL USE/ZONING DISTRICT ALONG WITH A SOLID PRIVACY FENCE. THE NORTHEASTERN PORTION OF THE SITE IS HEAVILY FORESTED WITH THE TOTAL TREE COUNT EXCEEDING THE CODE REQUIREMENT. ALL SURROUNDING PROPERTIES ARE RURAL RESIDENTIAL WITH OPEN FENCING IN PLACE OF PRIVACY FENCING. THE INSTALLATION OF A PRIVACY FENCE ALONG THE PERIMETER OF THE PROPERTY WOULD RESULT IN THE COMMERCIAL BUSINESS STANDING OUT IN PLACE OF BLENDING INTO THE SURROUNDING DEVELOPED AREA, AS IS THE PURPOSE OF THE LANDSCAPING REQUIREMENTS. THE PROPERTY IS 28.52 ACRES IN SIZE. THE RELIGIOUS INSTITUTION ACTIVITIES WILL TAKE PLACE IN AN OPEN FIELD AREA SURROUNDED BY VEGETATION ON ALL SIDES WITH THE MAJORITY OF THE LOT REMAINING OPEN, NATIVE GRASS AND TREES. THE ALTERNATIVE LANDSCAPE PLAN IS TO PROVIDE LANDSCAPING TO COMPLEMENT THE EXISTING NATURAL VEGETATION AND TO PRESERVE THE MAJORITY OF THE LOT AS NATIVE LAND.



**1 DECIDUOUS TREE PLANTING**  
L1.0 NOT TO SCALE



**3 SHRUB PLANTING**  
L1.0 NOT TO SCALE

# SMH CONSULTANTS

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## 3980 WALKER ROAD

SITE PLAN DOCUMENTS  
EL PASO COUNTY, COLORADO

REVISION DESCRIPTION (DESCRIPTION)

REVISION DATE (000000)

NORTH

SCALE: 1" = 20'

PROJECT #: 2310-0398  
CHECKED BY: KML  
DRAWN BY: KML

DATE: 06/27/2024

SHEET # **L1.0**

TOTAL SHEETS

### LANDSCAPE PLAN