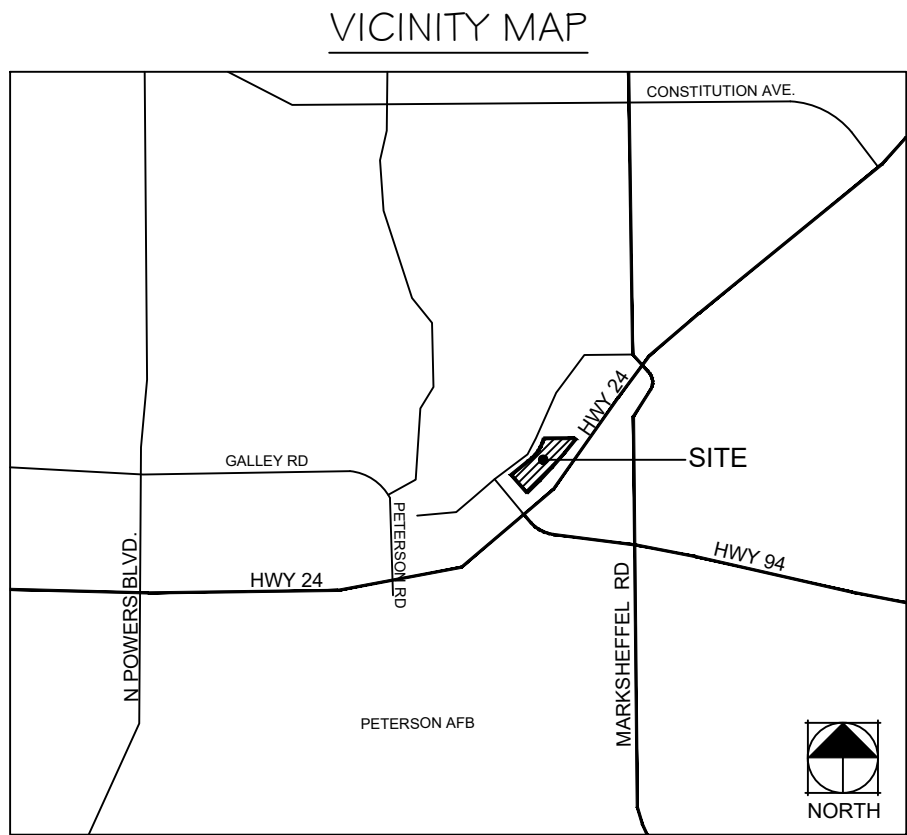


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MEADOWBROOK PARK

PLANNED UNIT DEVELOPMENT (PUD) AND PRELIMINARY PLAN

LOCATED IN THE SOUTHEAST 1/4 OF SECTION 8, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO



LEGAL DESCRIPTION:

THAT PORTION OF LAND LOCATED IN THE SOUTHEAST 1/4 OF SECTION 8 TOWNSHIP 14 SOUTH, RANGE 65 WEST, OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO:

BEING, TRACT A, 24/94 BUSINESS PARK FILING NO 1;

AND

TRACT I, MEADOWBROOK CROSSING FILING NO 1, AS AMENDED BY AFFIDAVIT OF CORRECTION REC #218068301;

AND

THAT TRACT OF LAND LOCATED IN THE SOUTHEAST 1/4 OF SECTION 8 TOWNSHIP 14 SOUTH, RANGE 65 WEST, OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO:

COMMENCING AT A POINT ON THE NORTH BOUNDARY LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 8; BEARINGS ARE BASED ON SAID NORTH BOUNDARY LINE, S89°33'00"E, A DISTANCE OF 2023.0 FEET; THENCE S89°33'00"E, A DISTANCE OF 598.6 FEET; THENCE LEAVING SAID NORTH LINE, S33°35'00"W, A DISTANCE OF 508.5 FEET; THENCE, S55°25'00"E, A DISTANCE OF 30.0; THENCE S37°48'00"W, A DISTANCE OF 375.0 FEET; THENCE, S17°06'00"W, A DISTANCE OF 148.2 FEET; THENCE N02°16'00"W, A DISTANCE OF 417.0 FEET; THENCE N06°38'00"E, A DISTANCE OF 358.0 FEET; THENCE N17°04'00"E, A DISTANCE OF 15.7 FEET, TO THE POINT OF BEGINNING.

EXCEPT THAT PT PLATTED TO CLAREMONT BUSINESS PARK FIL NO 2, AND THAT PART CONVEYED TO D.O.T. FOR R/W BY REC # 205077959.

SAID DESCRIPTION TO CONTAIN 8.01 ACRES, MORE OR LESS.

DEVELOPMENT STANDARDS AND GUIDELINES

RESIDENTIAL USE STANDARDS:

- PRINCIPAL USE(S) SHALL BE LIMITED TO ONE (1) SINGLE-FAMILY RESIDENCE PER LOT.
- PERMITTED USES WITHIN THE MEADOWBROOK PARK PUD INCLUDE: SINGLE FAMILY RESIDENTIAL, MAIL KIOSKS, TRAIL CORRIDORS, DEVELOPMENT SIGNAGE, PEDESTRIAN PATHS, WALKWAYS, & PUBLIC SIDEWALKS, DECORATIVE & SPLIT RAIL FENCING, UTILITIES, STORM WATER FACILITIES, DRAINAGE IMPROVEMENTS, OPEN SPACE AND LANDSCAPE IMPROVEMENTS, PARKS AND ASSOCIATED PARK RELATED EQUIPMENT, AND PUBLIC AND PRIVATE ROADS.
- ACCESSORY STRUCTURES ARE PROHIBITED ON INDIVIDUAL LOTS REGARDLESS OF PLACEMENT OR SIZE.
- MODEL HOME/ SUBDIVISION SALES OFFICE ARE PERMITTED TEMPORARY USES. TEMPORARY USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE SECTION 5.3.1, AS AMENDED.
- RESIDENTIAL HOME OCCUPATIONS ARE PERMITTED PURSUANT TO APPLICANT COMPLIANCE WITH THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED. COMPLIANCE WITH VISITOR/GUEST PARKING REQUIREMENTS NECESSARY TO OBTAIN A HOME OCCUPATION PERMIT SHALL BE THE SOLE RESPONSIBILITY OF THE HOME OWNER/APPLICANT. HOME OCCUPATIONS MAY BE LIMITED OR OTHERWISE RESTRICTED BASED ON APPLICANT'S ABILITY TO MEET ALL REQUIRED STANDARDS AND COMPLIANCE WITH ANY APPLICABLE STATE OF COLORADO REQUIREMENTS.
- RESIDENTIAL DAY CARES TO BE PERMITTED PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED AND COMPLIANCE WITH ALL STATE OF COLORADO PERMITTING REQUIREMENTS AND/OR RESTRICTIONS.
- PRIVATE RESIDENTIAL SOLAR ENERGY SYSTEMS ARE PERMITTED AS PART OF THE MAIN STRUCTURE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
- PERIMETER FENCING: THERE WILL BE A 6' SCREEN WALL IN THE LANDSCAPE BUFFER ALONG MEADOWBROOK PARKWAY, AS WELL AS, COMMON BOUNDARIES BETWEEN AND ALONG ADJACENT PROPERTIES. FENCES USED FOR BUFFERING, SCREENING, OR LANDSCAPE ENHANCEMENT, SHALL IN NO WAY BE OR SITED OR OTHERWISE CONSTRUCTED IN A MANNER WHICH MAY IMPEDE SURFACE DRAINAGE, STORMWATER RUNOFF, OR PLANNED DRAINAGE FACILITIES IN ANY WAY.
- INDIVIDUAL SINGLE-FAMILY LOT FENCING: FENCING FOR INDIVIDUAL SINGLE-FAMILY LOTS SHALL BE LIMITED TO SPLIT RAIL FENCING.
- REFUSE AND GARBAGE DISPOSAL SERVICES TO BE PROVIDED BY PRIVATE GARBAGE SERVICE COMPANIES. SOLE RESPONSIBILITY FOR GARBAGE COLLECTION SERVICES SHALL REST INDIVIDUALLY AND SOLELY WITH THE INDIVIDUAL LOT OWNER.
- PRIOR TO BUILDING PERMIT APPROVAL, A FINAL SUBDIVISION PLAT SHALL BE SUBMITTED FOR REVIEW BY THE EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT, AND APPROVAL BY THE BOARD OF COUNTY COMMISSIONERS, AND THE PLAT MUST BE RECORDED.
- A SIX FOOT TALL DECORATIVE FENCE MAY BE CONSTRUCTED AS NOTED ON THE PLAN.
- ALL STREETS SHALL BE NAMED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS AND ANY APPROVED DEVIATIONS IN THE PUD ROAD DESIGN MODIFICATIONS. PRIVATE STREETS SHALL BE MAINTAINED BY THE MEADOWBROOK CROSSING METROPOLITAN DISTRICT.
- NOTWITHSTANDING ANYTHING DEPICTED IN THIS PLAN IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL, SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE (LDC), THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL (DCM), AND DCM VOLUME 2. ANY DEVIATIONS FROM THESE STANDARDS MUST BE SPECIFICALLY REQUESTED AND APPROVED IN WRITING TO BE ACCEPTABLE. THE APPROVAL OF THIS PUD PLAN DOES NOT IMPLICITLY ALLOW ANY DEVIATIONS OR WAIVERS THAT HAVE NOT BEEN OTHERWISE APPROVED THROUGH THE DEVIATION APPROVAL PROCESS.
- DEVELOPMENT OF THE PROPERTY WILL BE IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE EL PASO COUNTY LAND DEVELOPMENT CODE FOR PUD ZONING, AND THE CRITERIA ESTABLISHED BY THIS PUD DEVELOPMENT PLAN.
- WATER AND WASTEWATER SERVICES FOR THIS SUBDIVISION WILL BE PROVIDED BY THE CHEROKEE METROPOLITAN DISTRICT (CHEROKEE) SUBJECT TO THE DISTRICT'S RULES, REGULATION AND SPECIFICATIONS. A LETTER OF COMMITMENT FROM THE DISTRICT, DATED 09/21/20, WAS PROVIDED INDICATING THAT THE DISTRICT IS COMMITTED TO PROVIDED 18.70 ACRE-FEET/YR TO THE PROPOSED SUBDIVISION. THE COLORADO DIVISION OF WATER RESOURCES, THROUGH THE STATE ENGINEER'S OFFICE HAS ISSUED AN OPINION THAT WAS PROPOSED WATER SUPPLY CAN BE PROVIDED WITHOUT CAUSING INJURY TO DECREE WATER RIGHTS, AND THAT THE WATER SUPPLY IS EXPECTED TO BE ADEQUATE.
- THE PROPERTY IS LOCATED IN THE AIRPORT OVERLAY ZONE. THIS SERVES AS NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACTS ON THIS PROPERTY DUE TO ITS CLOSE PROXIMITY TO AN AIRPORT, WHICH IS BEING DISCLOSED TO ALL PROSPECTIVE PURCHASERS CONSIDERING THE USE OF THIS PROPERTY FOR RESIDENTIAL AND OTHER PURPOSES. THIS PROPERTY IS SUBJECT TO THE OVERFLIGHT AND ASSOCIATED NOISE OF ARRIVING AND DEPARTING AIRCRAFT DURING THE COURSE OF NORMAL AIRPORT OPERATIONS. ALL PROPERTY WITHIN THIS SUBDIVISION IS SUBJECT TO AN AVIGATION EASEMENT AS RECORDED IN BOOK 2478 AT PAGE 304, OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER.
- INDOOR NOISE REDUCTION TO AN INTERIOR NOISE LEVEL OF 40DB SHALL BE ACHIEVED BY APPROVED CONSTRUCTION TECHNIQUES AS EVIDENCED BY A NOISE REDUCTION CERTIFICATE PROVIDED DURING THE BUILDING PERMIT, INSPECTION, AND CERTIFICATE OF OCCUPANCY PROCESS AS ADMINISTERED BY THE REGIONAL BUILDING DEPARTMENT.
- A TITLE 32 SPECIAL DISTRICT ANNUAL REPORT AND DISCLOSURE FORM SATISFACTORY TO THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE RECORDED WITH EACH PLAT OF INDIVIDUAL LOTS.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF MEADOWBROOK CROSSING METROPOLITAN DISTRICT NO. 1.
- LANDSCAPING SHALL CONFORM TO THE REQUIREMENTS OF CHAPTER 6 OF THE COUNTY CODE TOGETHER WITH ALL APPLICABLE CONDITIONS OF APPROVAL IMPOSED BY THE BOARD OF COUNTY COMMISSIONERS.
- DEVELOPMENT OF THE PROPERTY WILL BE IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE EL PASO COUNTY LAND DEVELOPMENT CODE FOR PUD ZONING, AND THE CRITERIA ESTABLISHED BY THIS PUD DEVELOPMENT PLAN.
- DESIGNATED TRACTS (SHEET 4) ARE ALLOWED TO HAVE PARK/LAND EQUIPMENT, PLAYGROUNDS, GAZEBOS, ETC. WITH APPROVAL BY THE MEADOWBROOK CROSSING METROPOLITAN DISTRICT NO. 1.
- ALL BUILDINGS, LOTS 1-47, WILL BE CONSTRUCTED WITH CRAWL SPACES SLAB ON GRADE FOUNDATIONS. NO BASEMENTS ALLOWED.
- SIDE LOT SWALES ARE REQUIRED WITHIN EACH 5 FT CORRIDOR BETWEEN HOMES, PER THE TYPICAL DETAIL SHOWN HEREON. CORRIDORS BETWEEN HOMES SHALL NOT BE GRADED FLAT. NO EXTENSIONS OF ROOF DRAINS ARE ALLOWED PAST THE ORIGINALLY CONSTRUCTED ROOF DRAIN OUTFALLS FROM EACH HOME.
- SIDE LOT SWALES WILL BE LOCATED WITHIN THE 5' SIDE YARD SETBACK AND CORRESPONDING 1' SIDE YARD SETBACK ON THE ADJACENT LOT FOR A COMBINED 6' SETBACK CORRIDOR. (REFER TO DETAIL ON SHEET 11)
- LOW POINT OF ELEVATION OF SIDE LOT SWALES MAY BE LOCATED ON ADJACENT LOTS WITHIN THE COMBINED 6' SETBACK CORRIDOR. (REFER TO DETAIL ON SHEET 11)
- SECOND AND THIRD FLOOR PERGOLAS, AWNINGS, PATIOS/DECKS, COVERED DECKS, CANTILEVERS AND/OR BAY WINDOWS MAY PROJECT INTO SIDE, FRONT AND REAR YARD SETBACKS AND EASEMENTS.
- FINISH EYES SHALL NOT EXCEED TWELVE (12) INCHES AND MAY ENCR OACH ONTO ANY YARD SETBACK AS PERMITTED.
- GROUND LEVEL PATIOS AND PATIO COVERING MAY EXTEND INTO THE REAR LOT SETBACK UP TO 10' IF THE REAR LOT ABUTS COMMON OPEN SPACE TRACTS.
- LOT 21 WITHIN THE PUD WILL ALLOW UP TO 0.8 FEET OF STRUCTURAL ENCR OACHMENT ADJACENT TO TRACT C.

BULK, DENSITY, & DIMENSIONAL STANDARDS

- PROJECTIONS INTO SETBACKS ARE GOVERNED BY THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
- MAXIMUM IMPERVIOUS COVERAGE (PER RESIDENTIAL LOT): NO MAXIMUM (100% IMPERVIOUSNESS)
- MAXIMUM STRUCTURAL HEIGHT: FORTY FEET (40').
- FRONT YARD SETBACK: 10' FROM PRIVATE ROAD/TRACT.
- REAR YARD SETBACK: 10' FROM REAR PROPERTY LINE.
- GARAGE SETBACK: 18' FROM PRIVATE ROAD/TRACT/SIDEWALK
- LOTS WILL HAVE ONE 1' AND ONE 5' SIDE YARD SETBACK, ILLUSTRATED ON LOT DETAIL, UNLESS OTHERWISE DEPICTED
- CORNER LOTS WILL HAVE A MINIMUM OF A 1' SIDE YARD SETBACK IN CORRESPONDENCE WITH ADJACENT PROPERTY
- ALL LOTS ARE SETBACK A MINIMUM OF 20 FEET FROM ALL PERIMETER BOUNDARIES AND ROADWAY LANDSCAPE SETBACKS AND ARE OUTSIDE OF LINES OF SIGHT AND SIGHT TRIANGLES, AS DEPICTED ON THE PUD.

GENERAL PROVISIONS & NOTES

STATEMENT OF INTENT: THE PURPOSE OF THIS PUD (PLANNED UNIT DEVELOPMENT) PLAN IS TO PROVIDE FOR 67 SINGLE-FAMILY DETACHED RESIDENTIAL UNITS IN A MANNER CONSISTENT WITH THE APPROVED MEADOWBROOK PARK PUD PLAN WHICH IDENTIFIES A DENSITY OF 8.36 DU/AC, IN ADDITION TO THE FOLLOWING STATED PURPOSES FOR PUD ENCOURAGED BY EL PASO COUNTY:

- TO PERMIT ADJUSTMENT TO CHANGING PUBLIC AND PRIVATE NEEDS, FOSTER THE ABILITY TO PROVIDE DEVELOPMENT PATTERNS WHICH ARE MORE COMPATIBLE WITH AND EFFECTIVE IN MEETING SUCH NEEDS;
- TO IMPROVE THE DESIGN, CHARACTER AND QUALITY OF NEW DEVELOPMENT WITH FLEXIBILITY BY VARYING LOT SIZE, BUILDING HEIGHTS, SETBACK CONTROLS AND OTHER SITE DEVELOPMENT REQUIREMENTS
- TO ENCOURAGE MORE EFFICIENT USE OF LAND SERVICES REFLECTING CHANGES IN THE TECHNOLOGIES AND ECONOMIES OF LAND DEVELOPMENT
- TO PROVIDE HOUSING OF ALL TYPES AND DESIGNS TO BE LOCATED IN PROXIMITY TO EMPLOYMENT AND ACTIVITY CENTERS SUCH AS SHOPPING, RECREATIONAL, AND COMMUNITY CENTERS, HEALTHCARE FACILITIES, AND PUBLIC TRANSIT;
- TO ACHIEVE DEVELOPMENT ECONOMIES TO MINIMIZE IMPACTS ON EXISTING INFRASTRUCTURE AND TO ENCOURAGE THE MOST EFFICIENT USE OF PUBLIC INFRASTRUCTURE WHILE LIMITING THE COSTS OF PROVIDING SERVICES AND TO REDUCE THE BURDEN ON EXISTING STREETS AND UTILITIES BY MORE EFFICIENT DEVELOPMENT;

AUTHORITY: THIS PUD IS AUTHORIZED BY CHAPTER 4 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED, ADOPTED PURSUANT TO THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED.

APPLICABILITY: THE PROVISIONS OF THIS PUD SHALL RUN WITH THE LAND. THE LANDOWNERS, THEIR SUCCESSORS, HEIRS, OR ASSIGNS SHALL BE BOUND BY THIS DEVELOPMENT PLAN, AS AMENDED AND APPROVED BY THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DIRECTOR OR BOARD OF COUNTY COMMISSIONERS.

ADOPTION: THE ADOPTION OF THIS DEVELOPMENT PLAN SHALL EVIDENCE THE FINDINGS AND DECISIONS OF THE EL PASO COUNTY BOARD OF COUNTY COMMISSIONERS THAT THIS DEVELOPMENT PLAN FOR MEADOWBROOK PARK IS IN GENERAL CONFORMITY WITH THE EL PASO COUNTY MASTER PLAN, EL PASO COUNTY POLICY PLAN AND APPLICABLE SMALL AREA PLAN(S); IS AUTHORIZED UNDER THE PROVISION OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED, AND THIS DEVELOPMENT PLAN COMPLIES WITH THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED.

RELATIONSHIP TO COUNTY REGULATIONS: THE PROVISIONS OF THIS DEVELOPMENT PLAN SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF MEADOWBROOK PARK PROVIDED, HOWEVER, THAT WHERE THE PROVISIONS OF THIS DEVELOPMENT PLAN DO NOT ADDRESS A PARTICULAR SUBJECT, THE RELEVANT PROVISIONS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED, ADMINISTRATIVE DETERMINATION BY THE PCD DIRECTOR, OR ANY OTHER APPLICABLE RESOLUTIONS OR REGULATIONS OF EL PASO COUNTY, SHALL BE APPLICABLE.

ENFORCEMENT: TO FURTHER THE MUTUAL INTEREST OF THE RESIDENTS, OCCUPANTS, AND OWNERS OF THE PUD AND OF THE PUBLIC IN THE PRESERVATION OF THE INTEGRITY OF THIS DEVELOPMENT PLAN, THE PROVISIONS OF THIS PLAN RELATING TO THE USE OF LAND AND THE LOCATION OF COMMON OPEN SPACE SHALL RUN IN FAVOR OF EL PASO COUNTY AND SHALL BE ENFORCEABLE AT LAW OR IN EQUITY BY THE COUNTY WITHOUT LIMITATION ON ANY POWER OR REGULATION OTHERWISE GRANTED BY LAW.

CONFLICT: WHERE THERE IS MORE THAN ONE PROVISION WITHIN THE DEVELOPMENT PLAN THAT COVERS THE SAME SUBJECT MATTER, THE PROVISION WHICH IS MOST RESTRICTIVE OR IMPOSES HIGHER STANDARDS OR REQUIREMENTS SHALL GOVERN.

FLOODPLAIN NOTES

THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBER '08041C0752G', EFFECTIVE DATE 12/7/2018.

SITE DATA TABLE:

TOTAL SITE ACREAGE	8.01 AC
PROPOSED SINGLE-FAMILY ATTACHED DWELLING UNITS	67 D.U.
FINAL PROPOSED (GROSS) DENSITY	8.36 D.U./AC.
MAX BUILDING HEIGHT	40'
TYPE OF USE	# ACRES PROVIDED
SINGLE-FAMILY RESIDENTIAL (67 LOTS)	3.537 AC±
LANDSCAPE	1.370 AC±
OPEN SPACE *	1.506 AC±
PRIVATE STREETS	1.597 AC±
TOTAL	8.01 AC±

NOTE: TOTAL OPEN SPACE REQUIRED IS 10% OF TOTAL ACREAGE, 8.01 AC X 10 = 0.801 ACRES
* OPEN SPACE CALCULATION INCLUDES 5% OF TRACT J

Land Owner(s) Certification

COLORADO SPRINGS EQUITIES LLC

MEADOWBROOK CROSSING LLC

MEADOWBROOK DEVELOPMENT LLC

AUTHORIZED AGENT

AUTHORIZED AGENT

AUTHORIZED AGENT

STATE OF COLORADO

}SS.

EL PASO COUNTY

}

THE ABOVE AND FOREGOING STATEMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF ____ 20__ A.D. BY

_____, WITNESS MY HAND AND SEAL:

NOTARY PUBLIC _____ MY COMMISSION EXPIRES: _____

County Certification

THIS REZONING REQUEST TO PUD HAS BEEN REVIEWED AND FOUND TO BE

COMPLETE AND IN ACCORDANCE WITH THE (BOARD RESOLUTION OR MOTION

_____ AND DATE _____) APPROVING THE PUD AND ALL

APPLICABLE EL PASO COUNTY REGULATIONS.

CHAIR, BOARD OF COUNTY COMMISSIONERS

DATE

DIRECTOR, PLANNING AND COMMUNITY DEVELOPMENT

DATE

Clerk and Recorder Certification

STATE OF COLORADO

)

}SS.

EL PASO COUNTY

)

I HEREBY CERTIFY THAT THIS PLAN WAS FILED IN MY OFFICE ON

THIS ____ OF ____, 20__ AT ____ O'CLOCK A.M./P.M. AND

WAS RECORDED PER

RECEPTION NO. _____

EL PASO COUNTY CLERK AND RECORDER

SOILS & GEOLOGY, CONDITIONS, CONSTRAINTS, & GEOLOGIC HAZARDS NOTE

A "Soils and Geology Study for the Meadowbrook Park, 67 Single Family Residential Development, El Paso County, Colorado", was completed by RMG - Rocky Mountain Group, last dated August 26, 2020, Job No. 17164. No lots have been identified by the referenced RMG report as being impacted by geologic hazards. The overall development area has been found to be impacted by the geologic constraints listed below.

- hydrocompactive soils (moisture sensitive soils)
- isolated steep slopes
- erosion
- faults and seismicity
- radon

The constraints listed are not considered hazards, nor are they considered unusual for the Front Range region of Colorado. Appropriate planning and engineering practices have been followed in design of the project to minimize risk associated with the listed constraints. The development is to utilize conventional shallow foundations. Basements are not proposed. No lots have been identified by the referenced RMG report as being adversely impacted by springs or groundwater; groundwater was not encountered in test borings during the field exploration. The RMG report indicates that the site soil appears to be well drained, and natural moisture contents were low. Therefore, no perimeter drains are recommended or proposed. Appropriate surface grading and drainage should be established during construction, per the approved civil construction documents, and maintained over the life of the structure by the homeowner. Additional mitigation measures can be found in said report, File PUDSP208, available at the El Paso County Planning and Community Development Department.

PUD MODIFICATON TABLE PER LDC SECTION 4.2.6.F.2.g

	LDC/ECM SECTION	STANDARD	MODIFICATION	JUSTIFICATION	APPROVAL CRITERIA
1	8.4.4.E PRIVATE ROAD ALLOWANCES	MODIFICATION REQUIRED	PERMIT USE		
2	8.4.4.E.3 DESIGNED TO COUNTY STANDARDS	BUILT TO EPC OR APPROVED MODIFICATION STANDARD	INCLUDES DESIGN FOR PRIVATE RD CROSS SECTION, INCLUDING PEDESTRIAN RAMPS		
3	8.4.4.C PUBLIC ROAD	DIVISION OF LAND, LOTS AND TRACTS SHALL BE SERVED BY PUBLIC ROADS	INCLUDES DESIGN FOR PRIVATE RD CROSS SECTION, INCLUDING PEDESTRIAN RAMPS		
4	ECM 2.1.3 STANDARD DRAWINGS	STANDARD URBAN LOCAL & LOCAL LOW VOLUME CROSS SECTIONS	USE OF MODIFIED CROSS SECTION DESIGN WITH ELEVATED CROWN (PER PUD DETAILS)		
5	ECM 2.3 ROADWAY DESIGN	100' CENTERLINE CURVE RADIUS, 12' LAND WIDTH, 24' LOW VOLUME PAVEMENT WIDTH	40' CENTERLINE RADIUS (NEAR SOLUM GROVE/MEADOWBROOK ACCESS), 10' TRAVEL LANE FOR LOW VOLUME ROADS; 20' & 20' PAVEMENT WIDTHS (PER PUD DETAILS)		
6	8.4.5.G.4 & 8.4.6.C.2 EASEMENT LOCATIONS AND DIMENSIONS (same criterion in for easements in Section 8.4.5 (Drainage) and Section 8.4.6 (Utilities)	EASEMENTS ALONG LOT/TRACT LINES	PERMIT 6' UTILITY EASEMENT CORRIDOR BETWEEN LOTS COMPRISED OF 1' AND 6' ALTERNATING EASEMENTS CORRESPONDING TO SIDE YARD SETBACKS BETWEEN LOTS/BUILDING ENVELOPES INSTEAD OF STANDARD 5' PER SIDE LOT LINE	ADEQUATE UTILITY EASEMENTS HAVE BEEN PROVIDED IN LOT/TRACT NETWORK AND ROADWAY CROSS SECTIONS FOR DESIGN, INSTALLATION, DELIVERY, AND MAINTENANCE. HOUSES WILL BE BUILT ON REINFORCED SLABS. NO WINDOW WELLS WILL BE PRESENT TO ENCR OACH SIDE YARD DRAINAGE EASEMENTS.	

PROJECT TEAM:

DEVELOPER:

MEADOWBROOK DEVELOPMENT LLC
90 SOUTH CASCADE AVENUE, SUITE 1500
COLORADO SPRINGS, CO 80903

CIVIL ENGINEER:

KIMLEY HORN
2 NORTH NEVADA AVENUE, SUITE 300
COLORADO SPRINGS, CO 80903

PLANNERS/LANDSCAPE ARCH.:

KIMLEY HORN
2 NORTH NEVADA AVENUE, SUITE 300
COLORADO SPRINGS, CO 80903

SHEET INDEX:

01	COVER SHEET
02	BUILDING DETAILS SHEET
03	STREET DETAILS SHEET
04	LOT TRACT DETAIL
05	PUD PLAN - 1
06	PUD PLAN - 2
07	LANDSCAPE PLAN SHEET 1
08	LANDSCAPE PLAN SHEET 2
09	LANDSCAPE NOTES
10	LANDSCAPE DETAILS
11	PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN

County File Number: PUDSP208

MEADOWBROOK PARK
PLANNED UNIT DEVELOPMENT (PUD) PLAN

PROJECT NO.
096956009

SHEET

OF

Kimley»Horn

2024 KIMLEY HORN AND ASSOCIATES, INC.
300 NORTH NEVADA AVE., SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

DESIGNED BY: AJV
DRAWN BY: AJV
CHECKED BY: JEH
DATE: 10/14/2024

BY DATE APPR

K:\COS_LA\096956009 - Meadowbrook Park\Working\096956009--PPUDSP--Amended--11.27.24.dwg Salazar, Larry 12/6/2024 1:43 PM

MEADOWBROOK PARK
PLANNED UNIT DEVELOPMENT (PUD) AND PRELIMINARY PLAN
LOCATED IN THE SOUTHEAST 1/4 OF SECTION 8, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO

PUD PLAN NOTES

- THE FOLLOWING REPORTS HAVE BEEN SUBMITTED IN ASSOCIATION WITH THE PUD PLAN FOR THIS SUBDIVISION AND ARE ON FILE AT THE COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT: TRANSPORTATION IMPACT STUDY; DRAINAGE REPORT; WATER RESOURCES REPORT; WASTEWATER DISPOSAL REPORT; GEOLOGY AND SOILS REPORT; FIRE PROTECTION REPORT; NATURAL FEATURES REPORT.
- ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE LOT OWNERS UNLESS OTHERWISE INDICATED. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OR RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.
- UNLESS OTHERWISE INDICATED, ALL FRONT, SIDE AND REAR LOT LINES ARE HEREBY PLATTED WITH AN ALTERNATING 1' AND 5' SIDE, 20' FRONT AND 10' REAR, PUBLIC UTILITY AND DRAINAGE EASEMENT. ALL EXTERIOR SUBDIVISION BOUNDARIES ARE HEREBY PLATTED WITH A 10 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT. THE SOLE RESPONSIBILITY FOR MAINTENANCE OF THESE EASEMENTS IS HEREBY VESTED WITH THE INDIVIDUAL PROPERTY OWNERS.
- DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEW AND PERMIT REQUIREMENTS, AND OTHER AGENCY REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO DIVISION OF WILDLIFE, COLORADO DEPARTMENT OF TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS, AND THE U.S. FISH AND WILDLIFE SERVICE REGARDING THE ENDANGERED SPECIES ACT, PARTICULARLY AS RELATED TO THE LISTED SPECIES IDENTIFIED IN THE PROJECTS ENVIRONMENTAL ASSESSMENT.
- NO DRIVEWAY SHALL BE ESTABLISHED UNLESS AN ACCESS PERMIT WAIVER HAS BEEN GRANTED BY EL PASO COUNTY. PRIVATE ROADS ARE SUBJECT TO BOCC APPROVAL OF PUD MODIFICATION TO AUTHORIZE USE OF PRIVATE ROADS, FOR DRIVEWAYS ACCESSING STATED PRIVATE ROAD.
- MAILBOXES SHALL BE INSTALLED IN ACCORDANCE WITH EL PASO COUNTY AND US POSTAL SERVICE REGULATIONS.
- EXCEPT AS OTHERWISE NOTED ON THE PUD PLAN, INDIVIDUAL LOT PURCHASERS ARE RESPONSIBLE FOR CONSTRUCTING DRIVEWAYS.
- AT THE TIME OF APPROVAL OF THIS PROJECT, THIS PROPERTY IS LOCATED WITHIN THE CIMARRON HILLS FIRE PROTECTION DISTRICT, WHICH HAS ADOPTED A FIRE CODE WITH FIRE MITIGATION REQUIREMENTS DEPENDING UPON THE LEVEL OF FIRE RISK ASSOCIATED WITH THE PROPERTY AND STRUCTURES. THE OWNER OF ANY LOT SHOULD CONTACT THE FIRE DISTRICT TO DETERMINE THE EXACT DEVELOPMENT REQUIREMENTS RELATIVE TO THE ADOPTED FIRE CODE.
- NO-BUILD AREAS ARE AS SHOWN ON THE PLANS. NO-BUILD AREAS INCLUDE, BUT ARE NOT LIMITED TO, DESIGNATED DRAINAGE EASEMENTS, NO-BUILD AREAS WITHIN INDIVIDUAL LOTS ARE THE RESPONSIBILITY OF THE PROPERTY OWNER. ALL OTHER NO-BUILD AREAS SHALL BE THE RESPONSIBILITY OF THE METRO DISTRICT.
- THIS PROPERTY MAY BE ADVERSELY IMPACTED BY NOISE, DUST, FUMES, AND LIGHT POLLUTION CAUSED BY ADJACENT INDUSTRIAL PROPERTIES AND ADJACENT US HIGHWAY 24 (MAJOR EXPRESSWAY). THE BUYER SHOULD RESEARCH AND BE AWARE OF THIS POTENTIALITY AND THE RAMIFICATIONS THEREOF.
- SIGNAGE IS NOT APPROVED WITH THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT AT 2880 INTERNATIONAL CIRCLE FOR A SIGN PLAN APPLICATION.
- RETAINING WALLS EXCEEDING 4-FEET WILL NEED TO BE STRUCTURALLY ENGINEERED.
- ALL "STOP SIGNS" AND OTHER TRAFFIC CONTROL SIGNAGE SHALL BE INSTALLED BY THE DEVELOPER AT LOCATIONS SHOWN ON THE SITE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS.
- LOT AND ARCHITECTURE OPTIONS A-D REFLECT THE GENERAL CONFIGURATIONS TO THE UNIT TYPES. WITHIN EACH FOOTPRINT OF UNIT TYPE (A-D) THE FINAL ARCHITECTURAL UNITS WILL VARY IN COLOR, MATERIAL MIX AND FENESTRATION.
- LOT AND ARCHITECTURE OPTIONS A-D REFLECT THE GENERAL CONFIGURATION OF UNIT TYPES, BUILDINGS WILL BE CONSTRUCTION AS SLAB ON GRADE OR WITH CRAWL SPACE ONLY. BASEMENTS ARE NOT ALLOWED.
- SECOND AND THIRD FLOOR PERGOLAS, AWNINGS, PATIOS/DECKS, COVERED DECKS, CANTILEVERS AND/OR BAY WINDOWS MAY PROJECT INTO SIDE, FRONT AND REAR YARD SETBACKS AND EASEMENTS.
- FINISH EAVES SHALL NOT EXCEED TWELVE (12) INCHES AND MAY ENCR OACH ONTO ANY YARD SETBACK AS PERMITTED.
- GROUND LEVEL PATIOS AND PATIO COVERING MAY EXTEND INTO THE REAR LOT SETBACK UP TO 10' IF THE REAR LOT ABUTS COMMON OPEN SPACE TRACTS.
- LOT 21 WITHIN THE PUD WILL ALLOW UP TO 0.8 FEET OF STRUCTURAL ENCR OACHMENT ADJACENT TO TRACT C.

DRIVEWAY & GARAGE PARKING NOTES:

- ALL PLANNED DRIVEWAYS WITHIN THE PUD ARE FOR THE PURPOSE OF FACILITATING VEHICULAR PASSAGE FROM PRIVATE STREETS TO THE INDIVIDUAL LOTS. SPECIFICALLY, TO THE DESIGNATED PARKING AREAS FOR EACH LOT WHICH IS LOCATED WITHIN THE DETACHED 1-CAR OR 2-CAR GARAGE.
- ALL PLANNED DRIVEWAYS WITHIN THE PUD WILL HAVE A EIGHTEEN-FOOT (18') MINIMUM LENGTH, FROM FACE OF GARAGE TO SIDEWALK.
- PARKING IS PERMITTED ON DRIVEWAYS WHICH ARE EIGHTEEN-FOOT (18') IN LENGTH AND HAVE BEEN IDENTIFIED ON THE PLAN.
- PARKING OR ANY FORM OF VEHICLE STORAGE IS NOT PERMITTED ON DRIVEWAYS LESS THAN EIGHTEEN-FOET (18') IN LENGTH, AS RESTRICTED BY THE PUD AND ASSOCIATED NOTES.
- ALL GARAGE UNITS ARE TO BE ADA ACCESSIBLE PARKING AND MEET ADA PARKING CRITERIA.

PARKING TABLE

NUMBER OF LOTS: 70 (HOMES RANGE FROM 2 TO 4 BEDROOMS WITH 1 OR 2 CAR GARAGE)

	DU	SPACES/ UNIT REQUIRED	SPACES REQUIRED	GARAGE PARKING PROVIDED	DRIVEWAY PARKING PROVIDED	TOTAL PARKING PROVIDED
**2 CAR GARAGE	38	2/DU	76 SPACES (38*2/DU)	76 SPACES (38*2/DU)	76 SPACES (38*2/DU)	152 SPACES
**1 CAR GARAGE	29	2/DU	58 SPACES (30*2/DU)	29 SPACES (29*1/DU)	29 SPACES (29*1/DU)	58 SPACES
ADDITIONAL SHARED/ADA SPACES						19 GUEST/ 2ADA
**TOTAL	67		134 SPACES (67*2/DU)	105	105	231 SPACES

ALL GARAGE SPACES WILL PROVIDE ACCESSIBLE UNIT PARKING ALONG WITH 2 GUEST ADA SPACES.

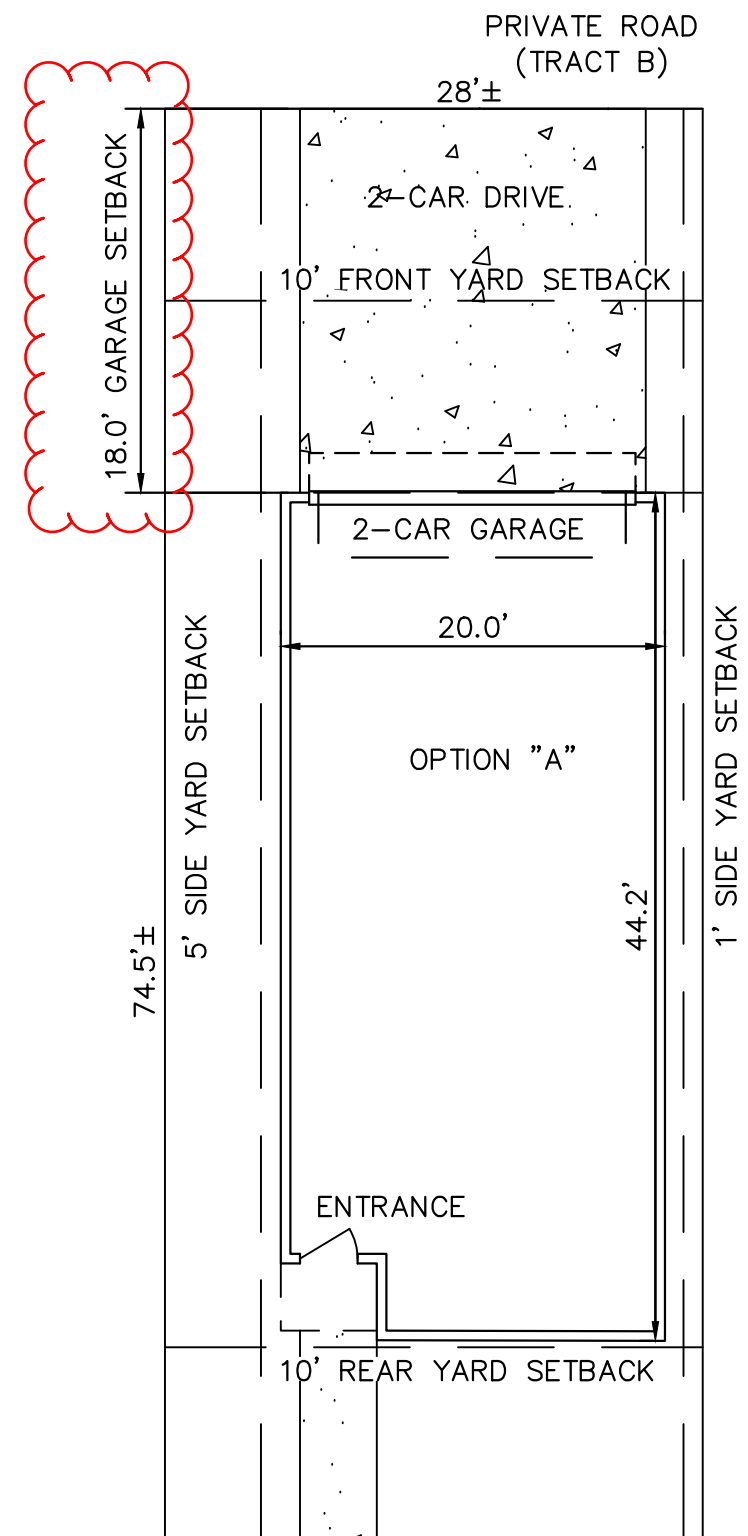
** SUBTOTAL PARKING SPACES MAY BE SUBJECT TO CHANGE BASED OFF OF FINAL BUILDING DEVELOPMENT COUNT.

OPTION "A"

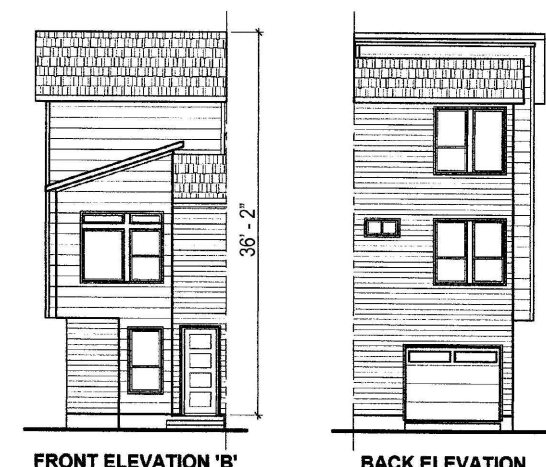


A OPTION "A" DETAIL
NTS

LOT DIMENSIONS SUBJECT TO CHANGE TO FIT GRADE CHANGES OR RIGHT-OF-WAY AND EASEMENT.

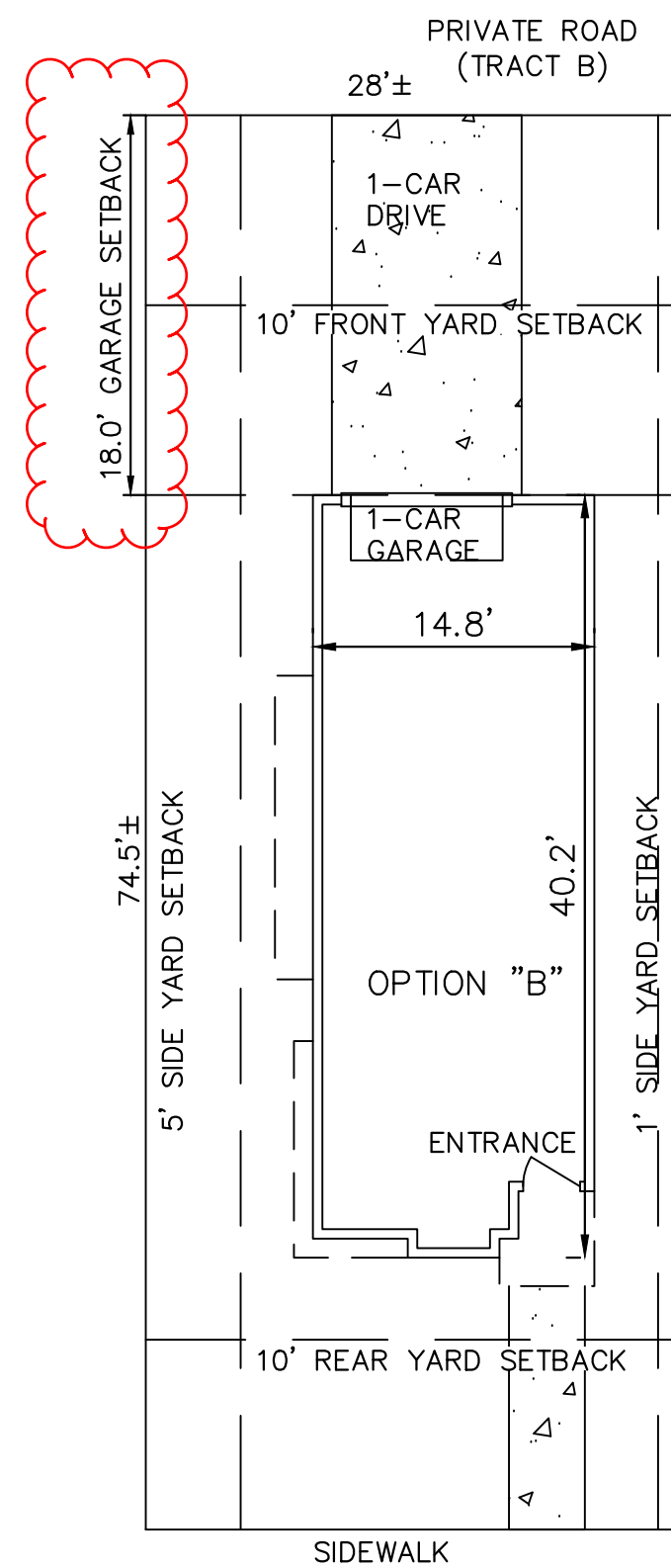


OPTION "B"



B OPTION "B" DETAIL
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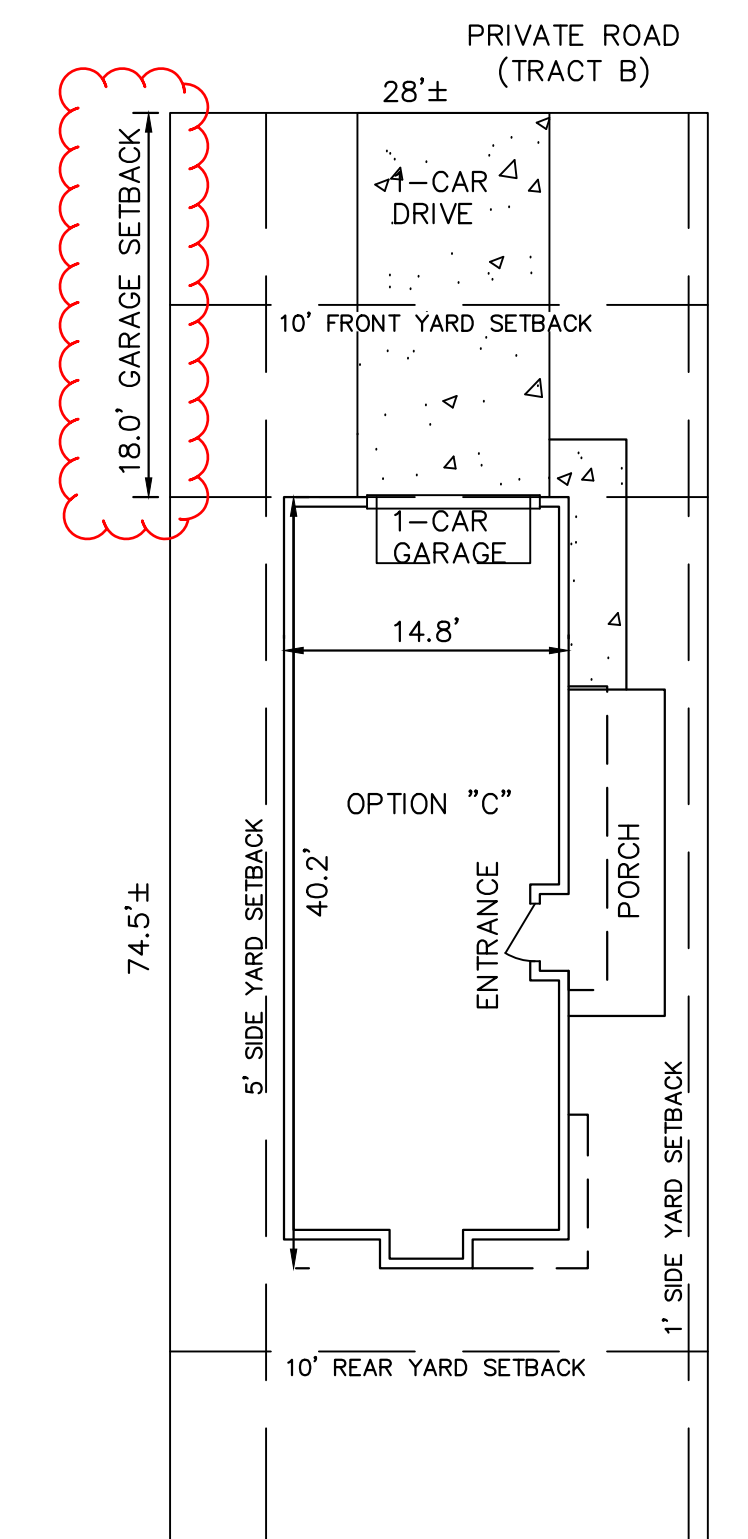


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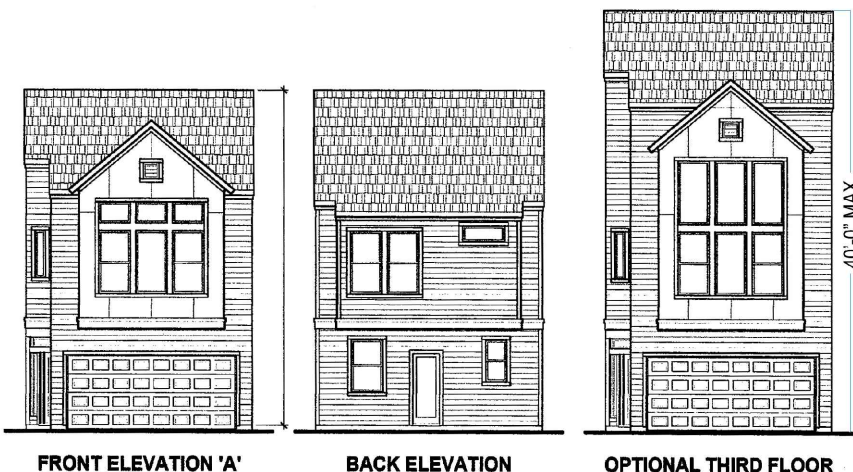


C OPTION "C" DETAIL
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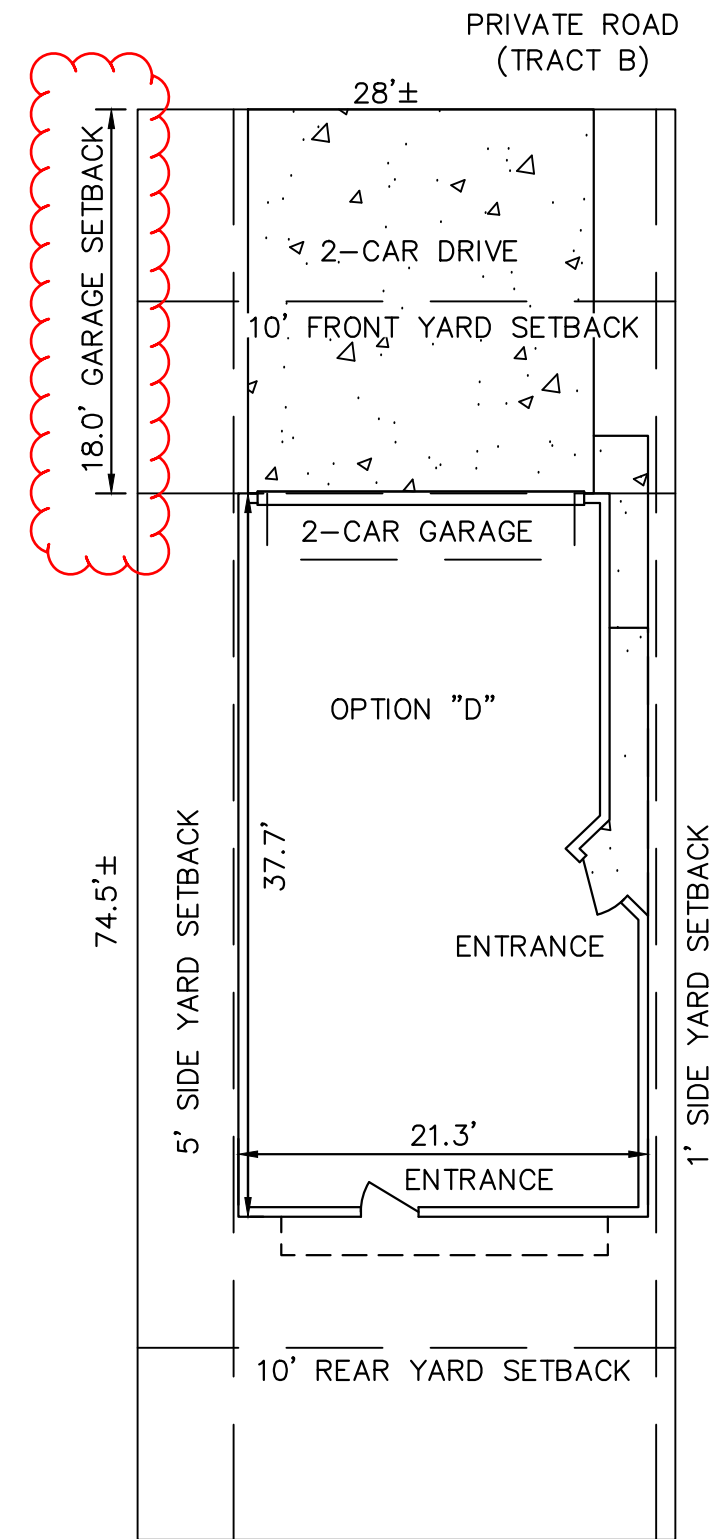


OPTION "D"



D OPTION "D" DETAIL
NTS

LOT DIMENSIONS SUBJECT TO CHANGE TO FIT GRADE CHANGES OR RIGHT-OF-WAY AND EASEMENT.



MEADOWBROOK PARK
PLANNED UNIT DEVELOPMENT (PUD) PLAN

Kimley»Horn

2024 KIMLEY-HORN AND ASSOCIATES, INC.
2024 NORTH NEWDAVE AVE., SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

DESIGNED BY: AJV
DRAWN BY: AJV
CHECKED BY: JEH
DATE: 10/14/2024

PROJECT NO.
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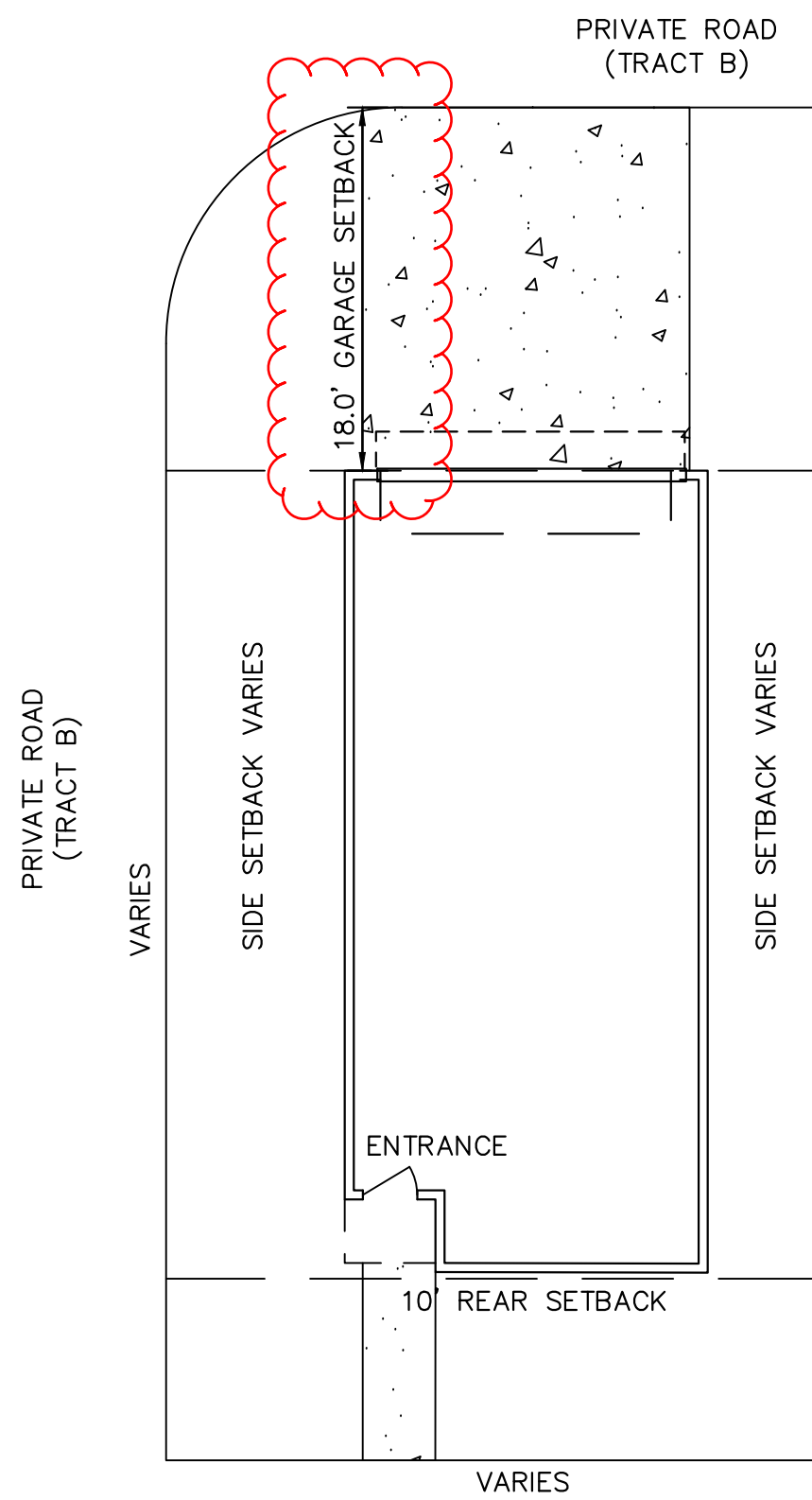
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County File Number: PUDSP208

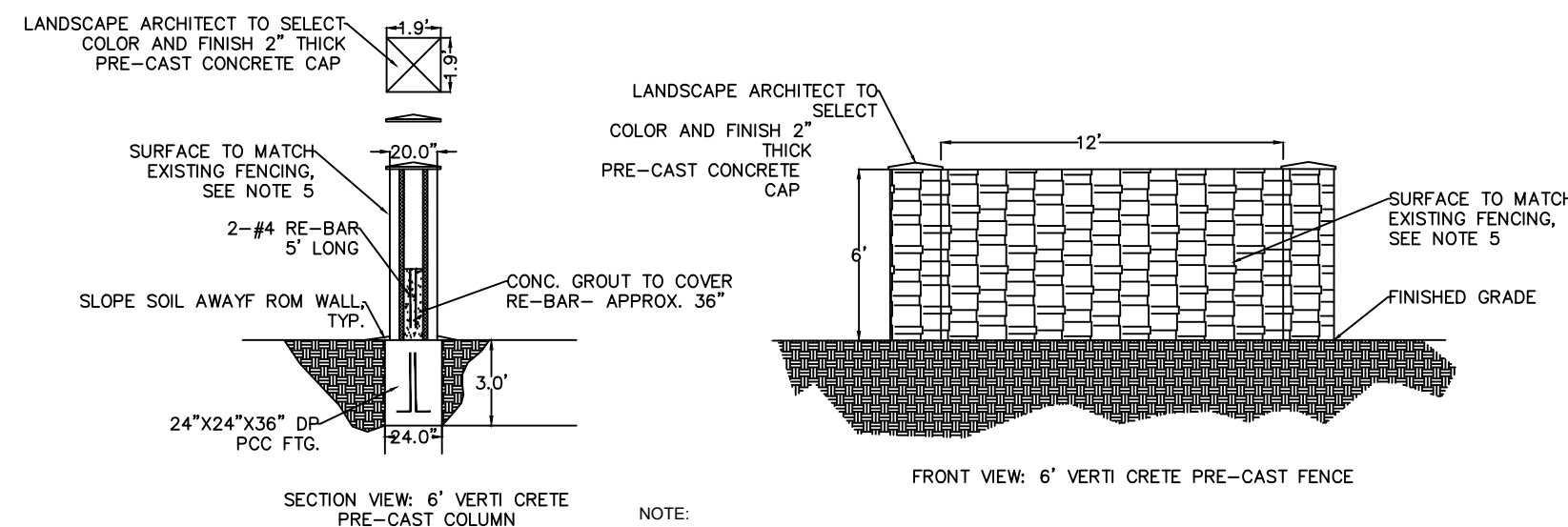
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MEADOWBROOK PARK
PLANNED UNIT DEVELOPMENT (PUD) AND PRELIMINARY PLAN
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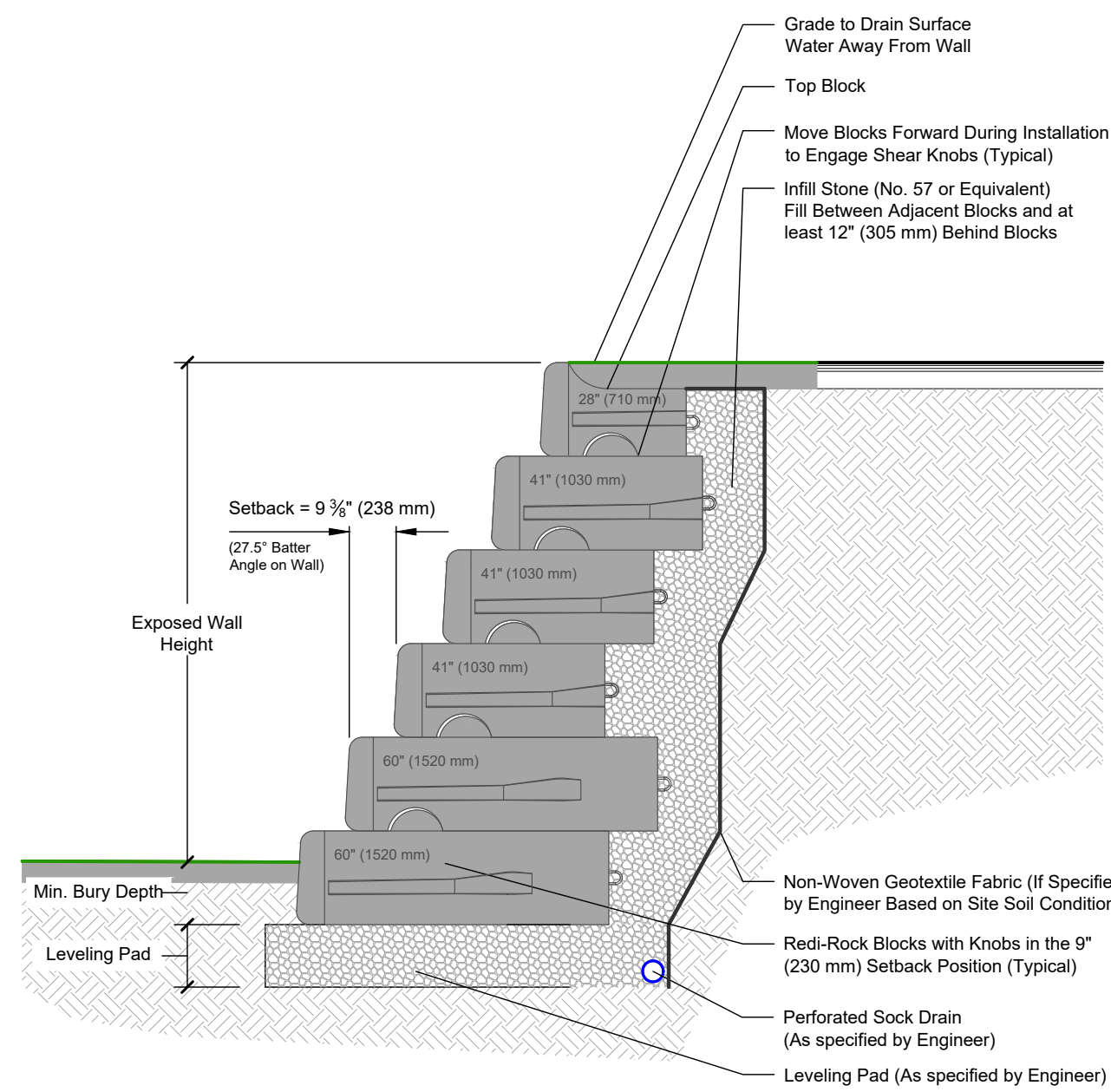


LOT DIMENSIONS SUBJECT TO CHANGE TO
FIT GRADE CHANGES OR RIGHT-OF-WAY.

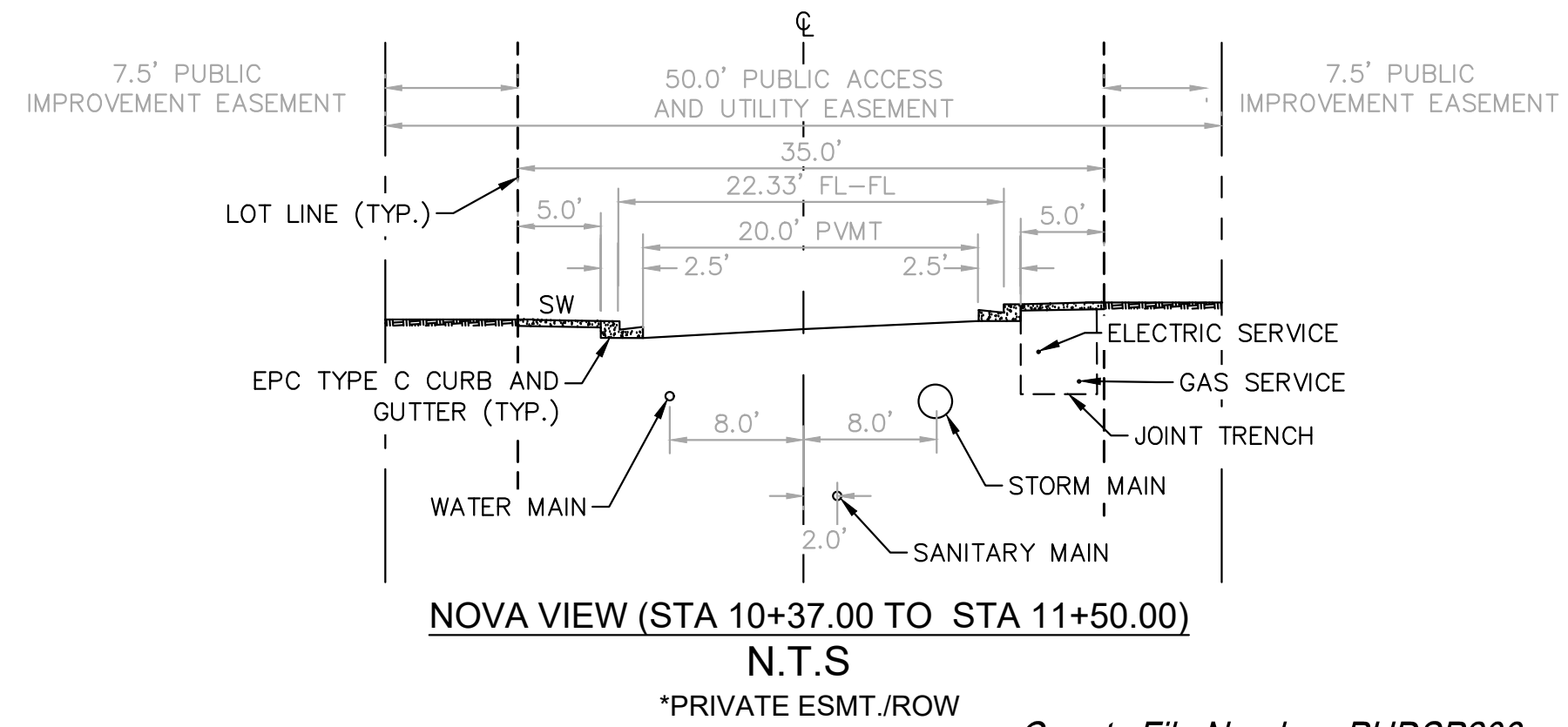
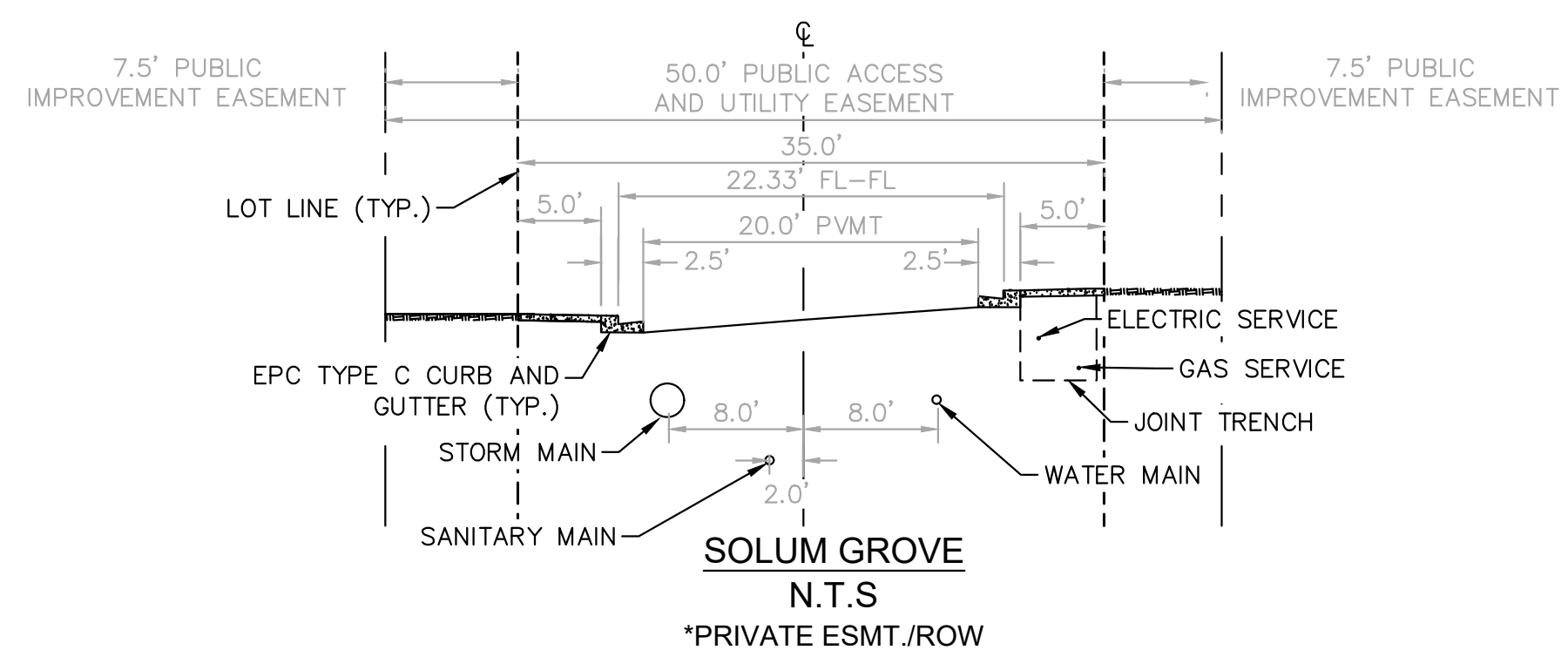
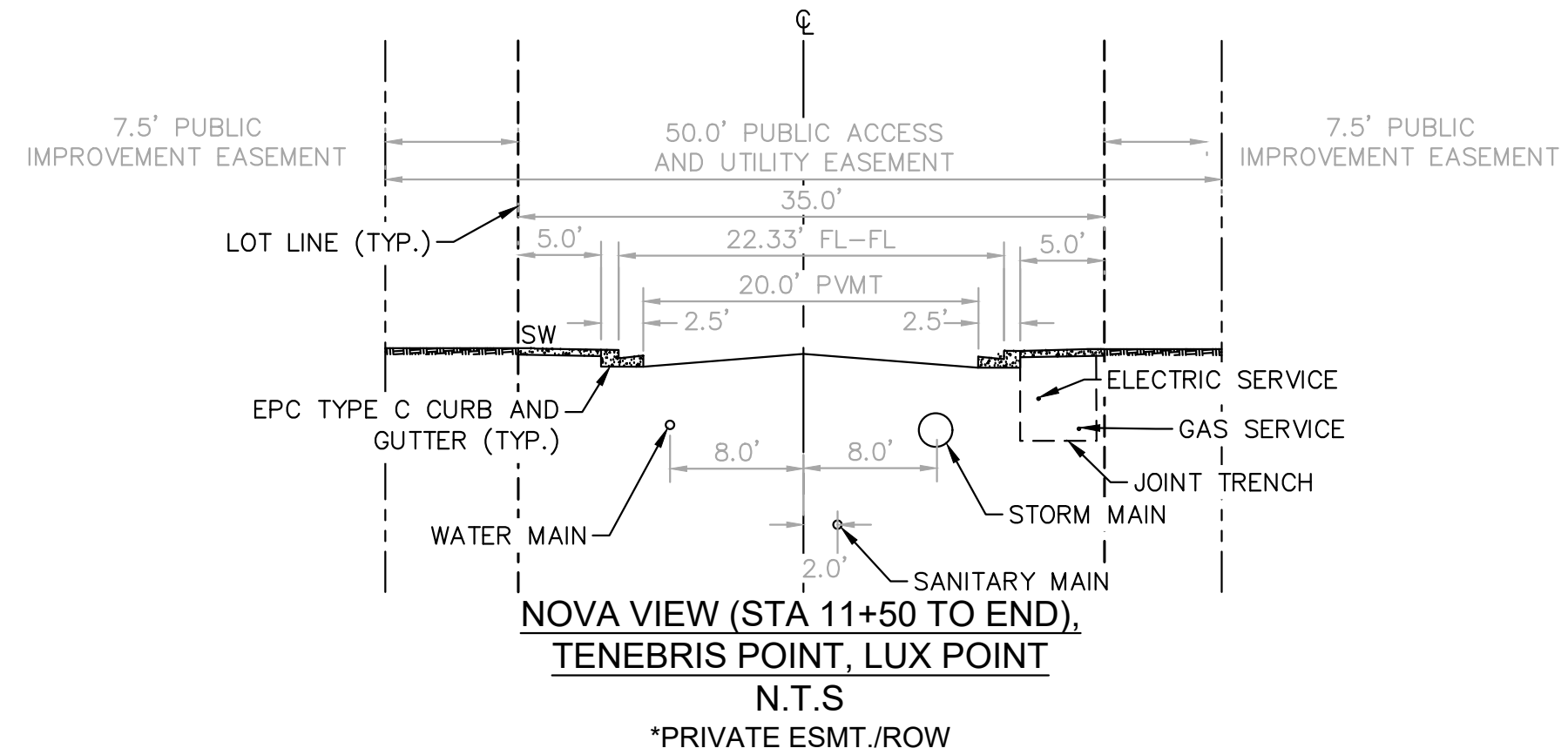
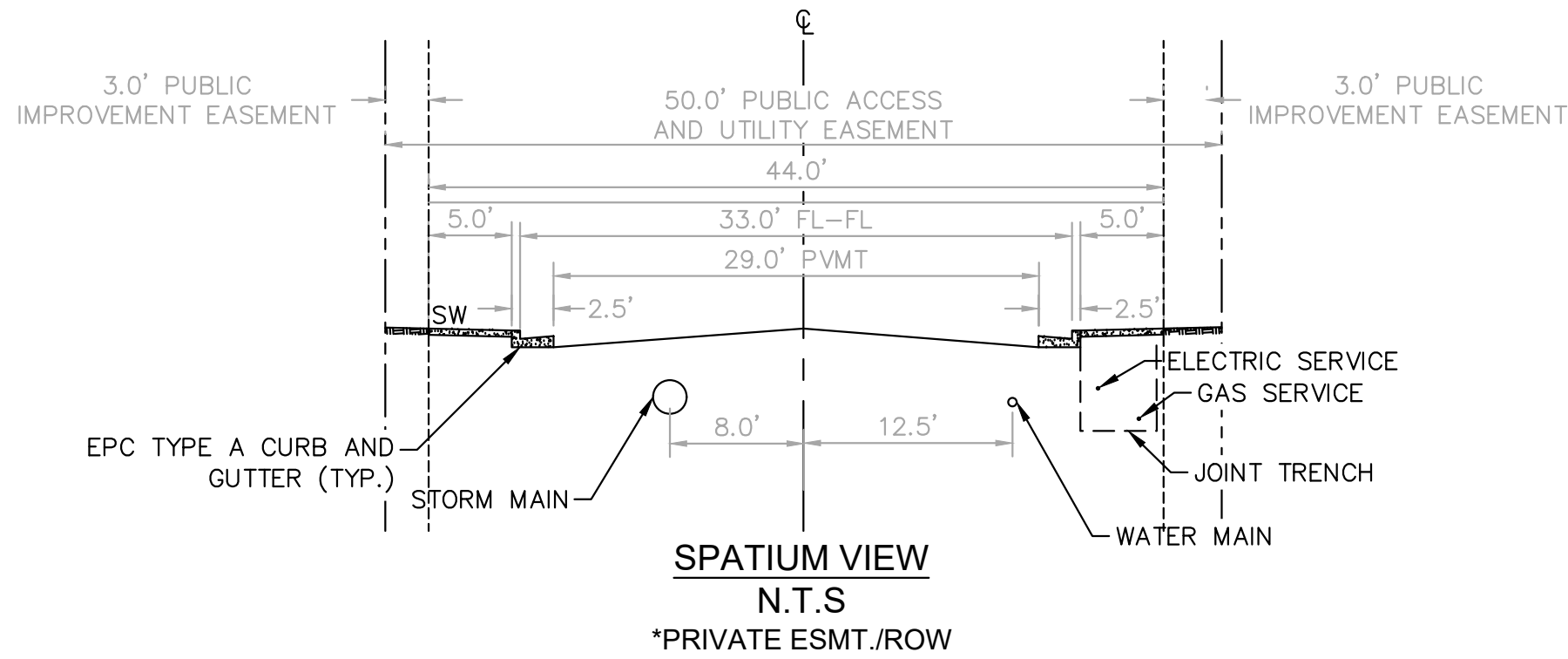
E CORNER LOT DETAIL
N.T.S



F SCREEN WALL DETAIL
N.T.S



G RETAINING WALL DETAIL
N.T.S



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MEADOWBROOK PARK
PLANNED UNIT DEVELOPMENT (PUD) AND PRELIMINARY PLAN
LOCATED IN THE SOUTHEAST 1/4 OF SECTION 8, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO

TRACT TABLE				
TRACT	SIZE (ACRES)	OWNERSHIP	MAINTENANCE	USE
A	0.884	MCMD #1	MCMD #1	PARK/OPEN SPACE/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS & PEDESTRIAN EASEMENT
B	1.597	MCMD #1	MCMD #1	PRIVATE ACCESS/ROAD/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS & PEDESTRIAN EASEMENT
C	0.224	MCMD #1	MCMD #1	PARK/OPEN SPACE/HARDSCAPE/SIGNAGE/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS & PEDESTRIAN EASEMENT
D	0.216	MCMD #1	MCMD #1	DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS & PEDESTRIAN EASEMENT
E	0.128	MCMD #1	MCMD #1	PRIVATE ROAD, DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS & PEDESTRIAN EASEMENT
F	0.448	MCMD #1	MCMD #1	DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS & PEDESTRIAN EASEMENT
G	0.040	MCMD #1	MCMD #1	PARK/OPEN SPACE, ENTRY FEATURE, HARDSCAPING, SIGNAGE/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS & PEDESTRIAN EASEMENT
H	0.237	MCMD #1	MCMD #1	PARK/OPEN SPACE, ENTRY FEATURE, HARDSCAPING, SIGNAGE/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS & PEDESTRIAN EASEMENT
I	0.091	MCMD #1	MCMD #1	PARK/OPEN SPACE, ENTRY FEATURE, HARDSCAPING, SIGNAGE/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS & PEDESTRIAN EASEMENT
J	0.608	MCMD #1	MCMD #1	PARK/OPEN SPACE, ENTRY FEATURE, HARDSCAPING, SIGNAGE/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS & PEDESTRIAN EASEMENT
TOTAL	4.47			

MCMD #1 = MEADOWBROOK CROSSING METROPOLITAN DISTRICT NO. 1

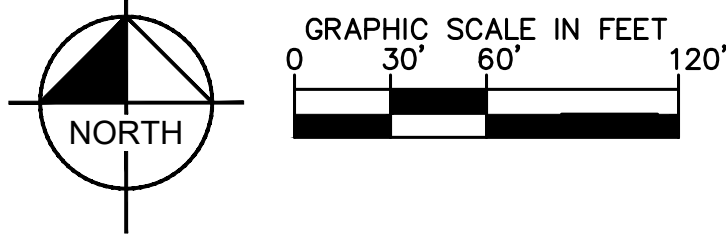
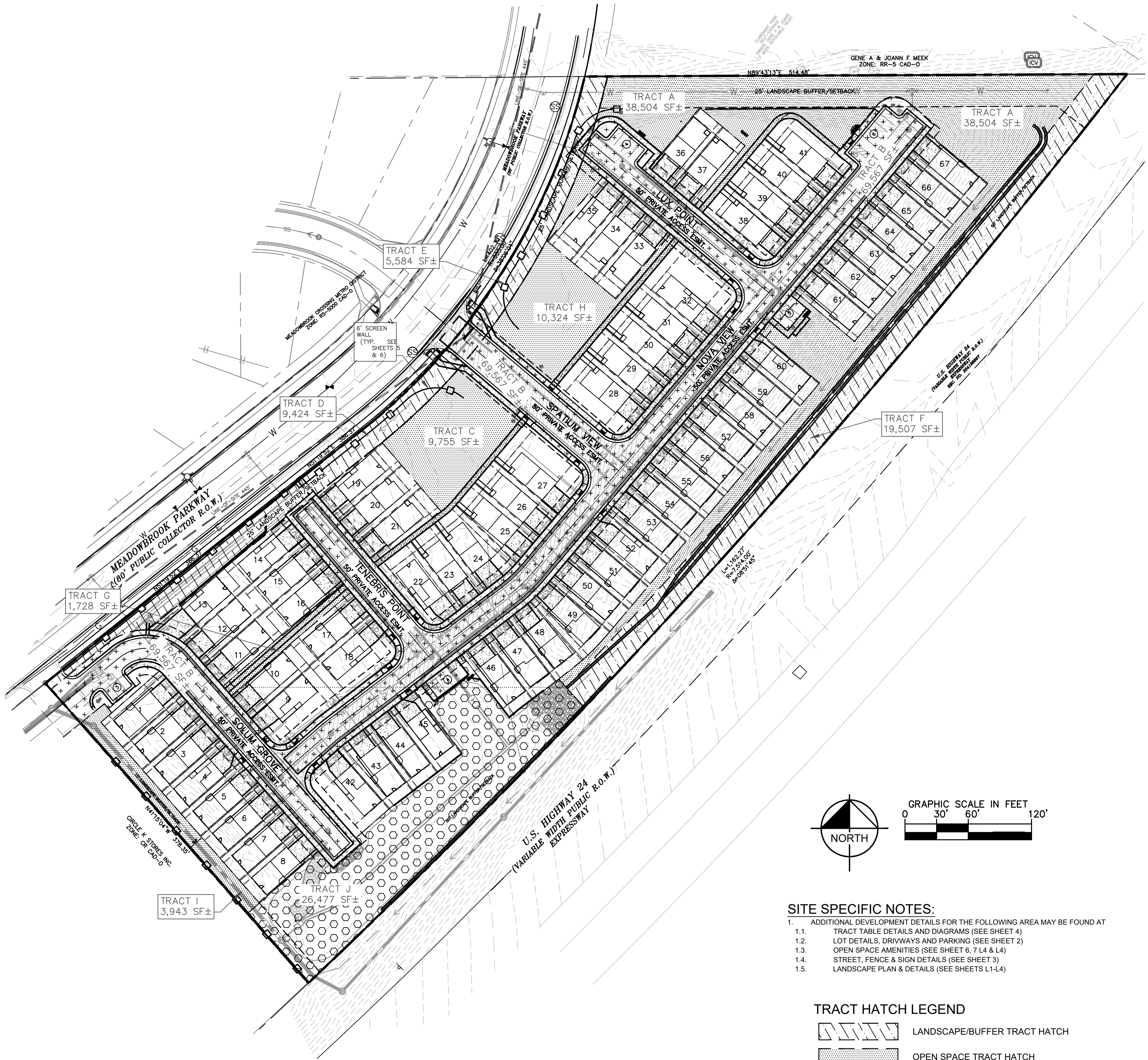
DETENTION POND AREA (TRACT J): 26,477 SF (0.608 AC)
5% OPEN SPACE ALLOWED IN DETENTION AREA (TRACT J) x 5% = 1,324 SF (0.030 AC)
TOTAL OPEN SPACE TRACT AREA (TRACTS A, C, G, H, I & 5% J): 65,578 SF (1.506 AC)
NOTE: TOTAL OPEN SPACE REQUIRED IS 10% OF TOTAL ACREAGE (8.01 AC), 8.01 AC x 10% = 0.801 ACRES
TOTAL OPEN SPACE PROVIDED: 1.506 ACRES OPEN SPACE/8.01 ACRE SITE= 18.8% OPEN SPACE PROVIDED

LANDSCAPE

- LANDSCAPING AREAS, TRAILS, COMMON OPEN SPACE AND BUFFERS SHALL BE INSTALLED BY THE DEVELOPER WITH PRIVATE/PUBLIC IMPROVEMENTS REQUIRED BY THIS PUD AND ASSOCIATED FINAL PLATS. LANDSCAPING SHALL BE OWNED AND MAINTAINED BY THE MEADOWBROOK CROSSINGS METROPOLITAN DISTRICT.
- NO LANDSCAPING SHALL OBSTRUCT SIGHT DISTANCE TRIANGLES OR PEDESTRIAN FACILITIES PER ENGINEERING CRITERIA MANUAL REFERENCE 2.3.6 G.2 & 2.5.3 H AS AMENDED RESPECTIVELY. THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FURNITURE, AND OTHER ENCROACHMENTS SHALL BE 4 FEET OR GREATER TO PROVIDE SAFE CONDITIONS FOR PEDESTRIANS AND BICYCLISTS PER THE ENGINEERING CRITERIA MANUAL.
- ROADWAY LANDSCAPE BUFFERS: A TWENTY-FOOT (20') LANDSCAPE BUFFER ADJACENT TO MEADOWBROOK PARKWAY FOR MINOR ARTERIAL ROAD/STREET LANDSCAPING AND BUFFERING. REQUIRED ROADWAY TREES TO BE INSTALLED WITHIN THE BUFFER AT A RATIO OF 1/25 FEET OF LINEAR FRONTAGE ALONG THE MEADOWBROOK PARKWAY FRONTAGE. A TWENTY-FIVE-FOOT (25') LANDSCAPE BUFFER IS REQUIRED ADJACENT TO US HIGHWAY 24 FOR EXPRESSWAY/PRINCIPAL ARTERIAL ROAD/STREET LANDSCAPING AND BUFFERING. A FIFTY-FOOT (50') BUFFER HAS BEEN PROVIDED. REQUIRED ROADWAY TREES TO BE INSTALLED WITHIN THE BUFFER AT A RATIO OF 1/20 FEET OF LINEAR FRONTAGE ALONG THE US HIGHWAY 24 FRONTAGE.
- ZONING DISTRICT BOUNDARY LANDSCAPE BUFFER: A FIFTEEN-FOOT (15') ZONING DISTRICT (RS 5000 ZONED) LOTS TO THE NORTH IN MEADOWBROOK CROSSING FILING NO 1 ADJACENT TO THE NORTH SIDE OF MEADOWBROOK PARKWAY AND THE PROPOSED PUDSP, REQUIRED LANDSCAPE BUFFER TREES IS 1/30 LINEAR FEET OF AFFECTED PROPERTY BOUNDARY. CIRCLE K (CR ZONE) TO THE SOUTH/WEST, AND MINI WAREHOUSE STORAGE FACILITY (CS ZONE) TO THE NORTH/EAST, AND US HIGHWAY 24 (EXPRESSWAY) LOCATED ON THE SOUTHERN PROPERTY BOUNDARY.
- A MINIMUM 1/3 OF ALL LANDSCAPE BUFFER TREES IN ALL LANDSCAPE BUFFER CATEGORIES SHALL BE EVERGREEN.

TRACT USE STANDARDS:

- PERMITTED TRACT USES INCLUDE: ACCESS (INGRESS/EGRESS), MAIL KIOSKS, DEVELOPMENT SIGNAGE, FENCING, UTILITIES, STORMWATER FACILITIES, DRAINAGE IMPROVEMENTS, OPEN SPACE/PARK AND LANDSCAPE IMPROVEMENTS, PARKS AND ASSOCIATED PARK RELATED EQUIPMENT, TRAIL CORRIDORS, PRIVATE PEDESTRIAN WALKWAYS & PUBLIC SIDEWALKS, AND ON-STREET PARKING WHERE DESIGNATED.
- TRACTS "A" THROUGH "G" INCLUSIVE, SHALL BE DEDICATED AS AND PLATTED WITH UTILITY EASEMENTS FOR ADDITIONAL UTILITY LINES AND APPURTENANCE WITHIN THE PROPOSED TRACTS. ALL PRELIMINARY FINAL UTILITY DESIGN SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY SERVICE PROVIDER AND SUBJECT TO REVIEW BY THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT AND PUBLIC WORKS (COUNTY ENGINEER) FOR COMPLIANCE WITH ESTABLISHED LDC AND ECM CRITERIA. UTILITY PROVIDERS INCLUDE: COLORADO SPRINGS UTILITIES, AND CHEROKEE METRO DISTRICT. ALL ENTITIES HAVE REVIEWED THIS PUD WITH RESPECT TO THE LOCATION OF PROPOSED UTILITIES WITHIN THE PROPOSED LOT, TRACT, STREET AND DRIVE NETWORK.
- STRUCTURES SHALL BE SETBACK A MINIMUM 10' FROM OPEN SPACES AND TRAILS. THE REQUIRED 10' SEPARATION IS PROVIDED VIA LANDSCAPE BUFFER/SETBACK TRACTS "A" THROUGH "G", INCLUSIVE.
- ALL OPEN SPACE AMENITIES, INCLUDING OUTDOOR FURNITURE AND ASSOCIATED EQUIPMENT, SHALL BE OWNED AND MAINTAINED BY THE MEADOWBROOK CROSSING METRO DISTRICT NO. 1.
- PRIVATE ROAD (INGRESS/EGRESS): TRACT "B" IS DESIGNATED FOR USE AS PRIVATE ROADS TO PROVIDE ACCESS INTO THE SUBDIVISION AND TO (FRONT/REAR) LOADED GARAGES ATTACHED TO EACH DETACHED UNIT. ALL ROADS SHALL BE CONSTRUCTED TO THE APPROVED CROSS SECTION LOCATED ON THE STREET/ROAD DETAIL SHEET OF THIS PLAN. THE USE OF PRIVATE ROADS AND PRIVATE ROADS WHICH DO NOT MEET ECM STANDARDS WITHIN THE PUD REQUIRES AUTHORIZATION BY THE BOCC.
- THE FOLLOWING TRACTS HAVE BEEN PLANNED FOR USE AS PRIVATE ROADS AND WILL BE OWNED AND MAINTAINED BY THE MEADOWBROOK CROSSING METRO DISTRICT NO. 1:
 - TRACT B: SOLUM GROVE
 - TRACT B: TENEBRIS POINT
 - TRACT B: NOVA VIEW
 - TRACT B & TRACT E: LUX POINT
 - TRACT B: SPATIUM VIEW
- ON-STREET PARKING IS NOT PERMITTED ON PRIVATE ROADS WITHIN TRACT "B" (SOLUM GROVE, TENEBRIS POINT, NOVA VIEW, LUX POINT AND SPATIUM VIEW), DESIGNATED PARKING OFF VIA STRIPED GUEST PARKING AREAS WHICH ARE LOCATED WITHIN TRACT "B" BUT OUTSIDE OF THE PRIVATE ROAD CROSS SECTIONS.
- TRACT "B" IS TO BE OWNED ENTIRELY BY THE MEADOWBROOK CROSSING METROPOLITAN DISTRICT NO. 1, TO INCLUDE DETENTION AND LANDSCAPING LOCATED THEREIN. A LICENSE AGREEMENT FOR LANDSCAPE MAINTENANCE AND DETENTION POND MAINTENANCE AGREEMENT SHALL BE ESTABLISHED WITH THE METRO DISTRICT WITH ANY ASSOCIATED FINAL PLATS.
- TRACT "B" IS TO BE OWNED ENTIRELY BY MEADOWBROOK CROSSING METROPOLITAN DISTRICT NO. 1, TO INCLUDE DETENTION AND LANDSCAPING LOCATED THEREIN. A LICENSE AGREEMENT FOR LANDSCAPE MAINTENANCE AND DETENTION POND MAINTENANCE AGREEMENT SHALL BE ESTABLISHED WITH THE MEADOWBROOK CROSSING METROPOLITAN DISTRICT NO. 1 WITH ANY ASSOCIATED FINAL PLATS.
- GAZEBOES, PAVILIONS, PLAY GROUND EQUIPMENT, OUTDOOR SEATING AND OTHER ACCESSORY STRUCTURES SHALL BE EXCLUDED FROM RESTRICTIONS IN ANY OPEN SPACE AND LANDSCAPE TRACTS, AND IS TO BE INSTALLED AND MAINTAINED BY THE DEVELOPER, OR MEADOWBROOK CROSSING METROPOLITAN DISTRICT NO. 1, ARE PERMITTED.
- OPEN SPACE/LANDSCAPING IMPROVEMENTS LOCATED IN TRACTS WHICH MEET THE CLASSIFICATION OF STRUCTURES AS DEFINED IN THE LDC MAY BE SUBJECT TO A BUILDING PERMIT, PRIOR TO CONSTRUCTION.



- SITE SPECIFIC NOTES:**
- ADDITIONAL DEVELOPMENT DETAILS FOR THE FOLLOWING AREA MAY BE FOUND AT
 - TRACT TABLE DETAILS AND DIAGRAMS (SEE SHEET 4)
 - LOT DETAILS, DRIVEWAYS AND PARKING (SEE SHEET 2)
 - OPEN SPACE AMENITIES (SEE SHEET 6, 7 L4 & L4)
 - STREET, FENCE & SIGN DETAILS (SEE SHEET 3)
 - LANDSCAPE PLAN & DETAILS (SEE SHEETS L1-L4)

TRACT HATCH LEGEND	
	LANDSCAPE/BUFFER TRACT HATCH
	OPEN SPACE TRACT HATCH
	PRIVATE ROAD TRACT HATCH
	DETENTION POND TRACT HATCH

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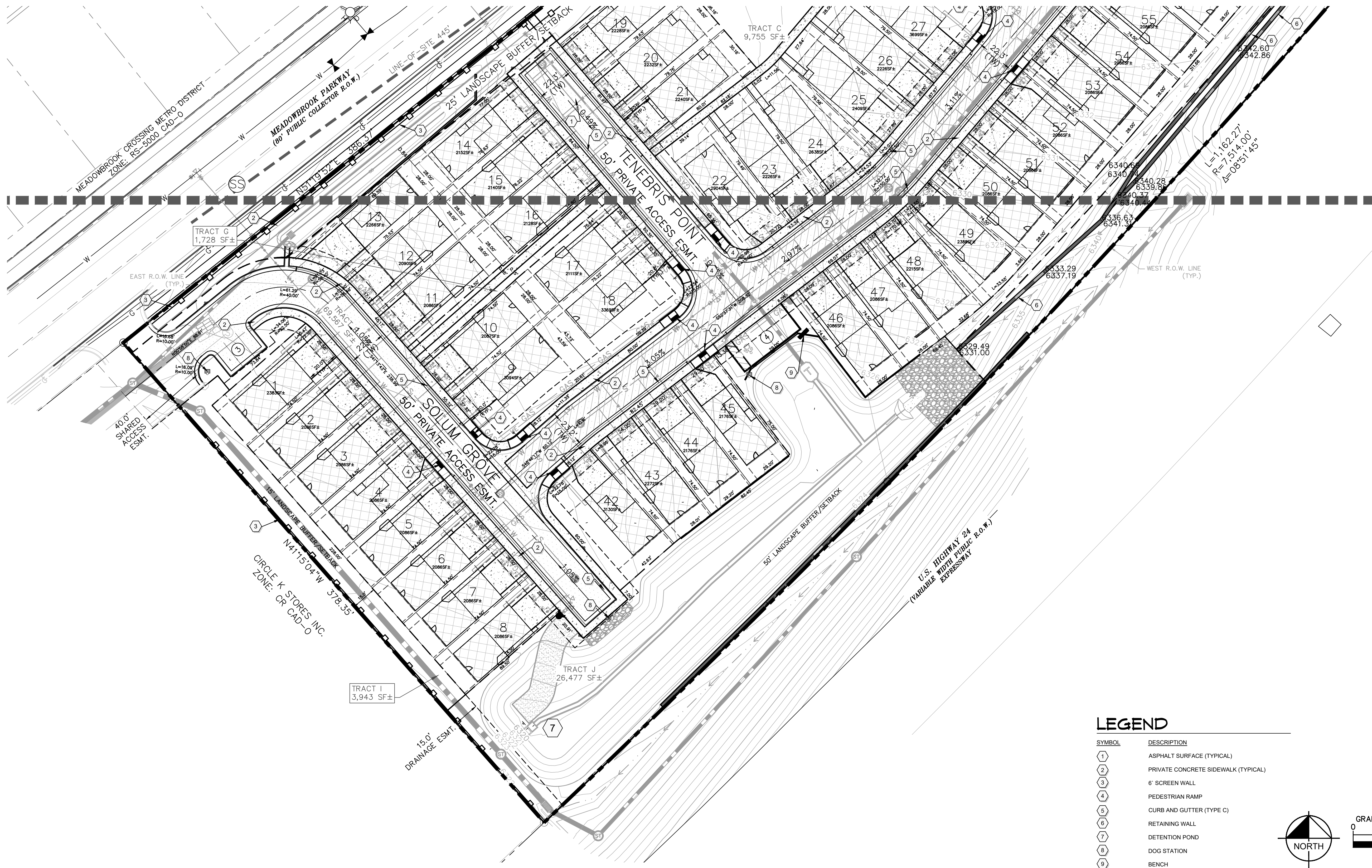
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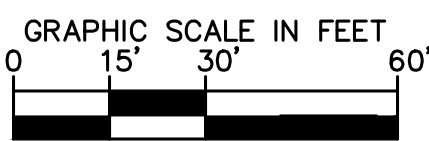
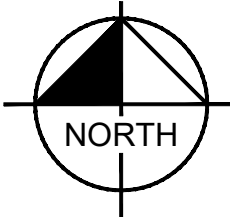
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LEGEND

SYMBOL	DESCRIPTION
1	ASPHALT SURFACE (TYPICAL)
2	PRIVATE CONCRETE SIDEWALK (TYPICAL)
3	6' SCREEN WALL
4	PEDESTRIAN RAMP
5	CURB AND GUTTER (TYPE C)
6	RETAINING WALL
7	DETENTION POND
8	DOG STATION
9	BENCH



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20 NORTH NEWADA AVE., SUITE 900
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

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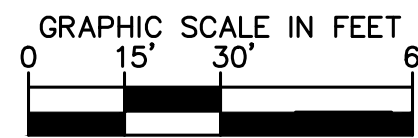
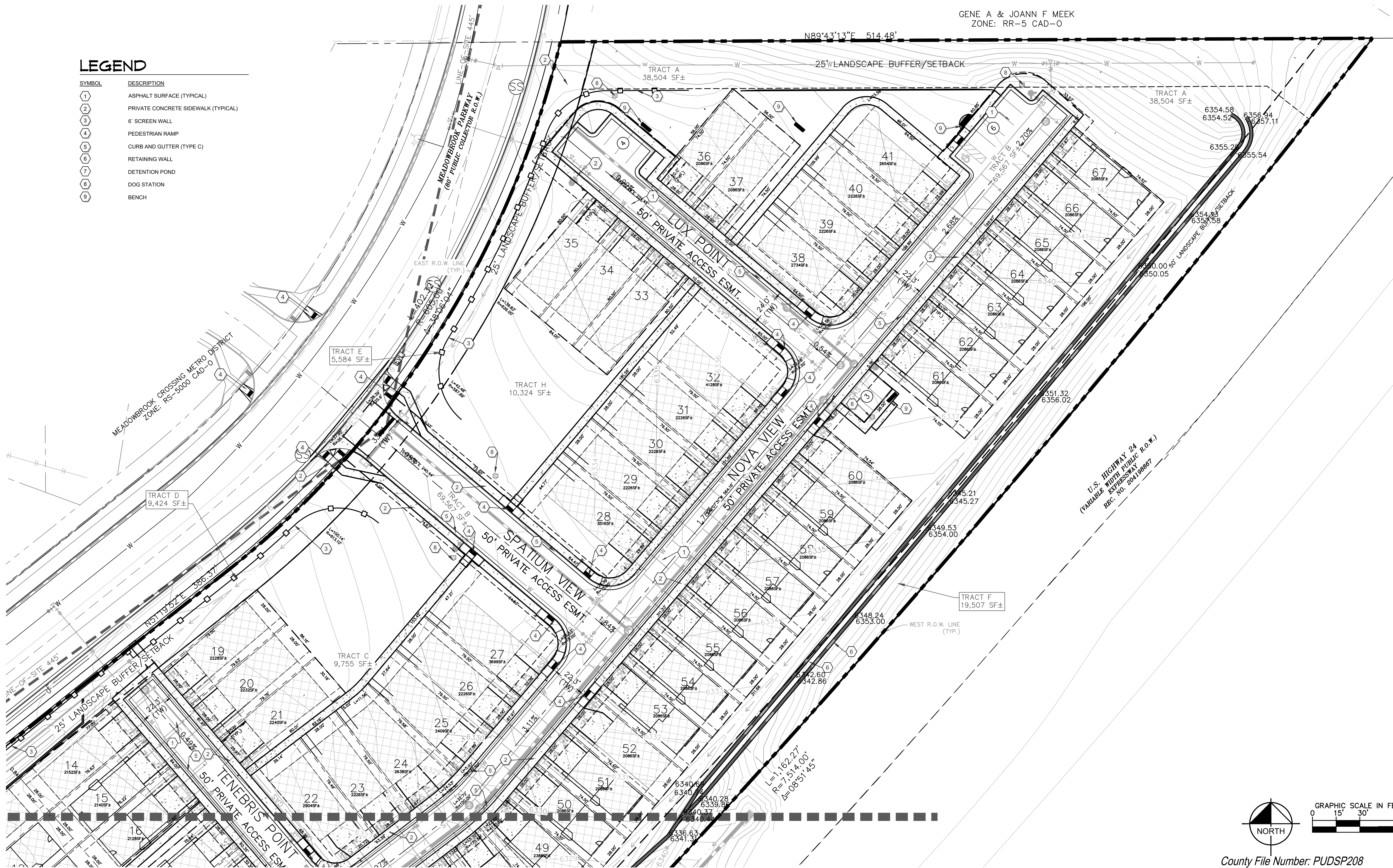
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GENE A & JOANN F MEEK
ZONE: RR-5 CAD-O

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