

MEADOWBROOK PARK PLANNED UNIT DEVELOPMENT (PUD) AND PRELIMINARY PLAN LOCATED IN THE SOUTHEAST 1/4 OF SECTION 8, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO

PUD PLAN NOTES

1. THE FOLLOWING REPORTS HAVE BEEN SUBMITTED IN ASSOCIATION WITH THE PUD PLAN FOR THIS SUBDIVISION AND ARE ON FILE AT THE COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT: TRANSPORTATION IMPACT STUDY; DRAINAGE REPORT; WATER RESOURCES REPORT; WASTEWATER DISPOSAL REPORT; GEOLOGY AND SOILS REPORT; FIRE PROTECTION REPORT; NATURAL FEATURES REPORT.
2. ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE LOT OWNERS UNLESS OTHERWISE INDICATED. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPED THE FLOW OR RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.
3. UNLESS OTHERWISE INDICATED, ALL FRONT, SIDE AND REAR LOT LINES ARE HEREBY PLATTED WITH AN ALTERNATING 1' AND 5' SIDE, 20' FRONT AND 10' REAR, PUBLIC UTILITY AND DRAINAGE EASEMENT. ALL EXTERIOR SUBDIVISION BOUNDARIES ARE HEREBY PLATTED WITH A 10 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT. THE SOLE RESPONSIBILITY FOR MAINTENANCE OF THESE EASEMENTS IS HEREBY VESTED WITH THE INDIVIDUAL PROPERTY OWNERS.
4. DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEW AND PERMIT REQUIREMENTS, AND OTHER AGENCY REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO DIVISION OF WILDLIFE, COLORADO DEPARTMENT OF TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS, AND THE U.S. FISH AND WILDLIFE SERVICE REGARDING THE ENDANGERED SPECIES ACT, PARTICULARLY AS RELATED TO THE LISTED SPECIES IDENTIFIED IN THE PROJECTS ENVIRONMENTAL ASSESSMENT.
5. NO DRIVEWAY SHALL BE ESTABLISHED UNLESS AN ACCESS PERMIT WAIVER HAS BEEN GRANTED BY EL PASO COUNTY. PRIVATE ROADS ARE SUBJECT TO BOCC APPROVAL OF PUD MODIFICATION TO AUTHORIZE USE OF PRIVATE ROADS, FOR DRIVEWAYS ACCESSING STATED PRIVATE ROAD.
6. MAILBOXES SHALL BE INSTALLED IN ACCORDANCE WITH EL PASO COUNTY AND US POSTAL SERVICE REGULATIONS.
7. EXCEPT AS OTHERWISE NOTED ON THE PUD PLAN, INDIVIDUAL LOT PURCHASERS ARE RESPONSIBLE FOR CONSTRUCTING DRIVEWAYS.
8. AT THE TIME OF APPROVAL OF THIS PROJECT, THIS PROPERTY IS LOCATED WITHIN THE CIMARRON HILLS FIRE PROTECTION DISTRICT, WHICH HAS ADOPTED A FIRE CODE WITH FIRE MITIGATION REQUIREMENTS DEPENDING UPON THE LEVEL OF FIRE RISK ASSOCIATED WITH THE PROPERTY AND STRUCTURES. THE OWNER OF ANY LOT SHOULD CONTACT THE FIRE DISTRICT TO DETERMINE THE EXACT DEVELOPMENT REQUIREMENTS RELATIVE TO THE ADOPTED FIRE CODE.
9. NO-BUILD AREAS ARE AS SHOWN ON THE PLANS. NO-BUILD AREAS INCLUDE, BUT ARE NOT LIMITED TO, DESIGNATED DRAINAGE EASEMENTS, NO-BUILD AREAS WITHIN INDIVIDUAL LOTS ARE THE RESPONSIBILITY OF THE PROPERTY OWNER. ALL OTHER NO-BUILD AREAS SHALL BE THE RESPONSIBILITY OF THE METRO DISTRICT.
10. THIS PROPERTY MAY BE ADVERSELY IMPACTED BY NOISE, DUST, FUMES, AND LIGHT POLLUTION CAUSED BY ADJACENT INDUSTRIAL PROPERTIES AND ADJACENT US HIGHWAY 24 (MAJOR EXPRESSWAY). THE BUYER SHOULD RESEARCH AND BE AWARE OF THIS POTENTIALITY AND THE RAMIFICATIONS THEREOF.
11. SIGNAGE IS NOT APPROVED WITH THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT AT 2880 INTERNATIONAL CIRCLE FOR A SIGN PLAN APPLICATION.
12. RETAINING WALLS EXCEEDING 4-FEET WILL NEED TO BE STRUCTURALLY ENGINEERED.
13. ALL "STOP SIGNS" AND OTHER TRAFFIC CONTROL SIGNAGE SHALL BE INSTALLED BY THE DEVELOPER AT LOCATIONS SHOWN ON THE SITE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS.
14. LOT AND ARCHITECTURE OPTIONS A-D REFLECT THE GENERAL CONFIGURATIONS TO THE UNIT TYPES. WITHIN EACH FOOTPRINT OF UNIT TYPE (A-D) THE FINAL ARCHITECTURAL UNITS WILL VARY IN COLOR, MATERIAL MIX AND FENESTRATION.
15. LOT AND ARCHITECTURE OPTIONS A-D REFLECT THE GENERAL CONFIGURATION OF UNIT TYPES, BUILDINGS WILL BE CONSTRUCTION AS SLAB ON GRADE OR WITH CRAWL SPACE ONLY. BASEMENTS ARE NOT ALLOWED.
16. SECOND AND THIRD FLOOR PERGOLAS, AWNINGS, PATIOS/DECKS, COVERED DECKS, CANTILEVERS AND/OR BAY WINDOWS MAY PROJECT INTO SIDE, FRONT AND REAR YARD SETBACKS AND EASEMENTS.
17. FINISH EAVES SHALL NOT EXCEED TWELVE (12) INCHES AND MAY ENCRACH ONTO ANY YARD SETBACK AS PERMITTED.
18. GROUND LEVEL PATIOS AND PATIO COVERING MAY EXTEND INTO THE REAR LOT SETBACK UP TO 10' IF THE REAR LOT ABUTS COMMON OPEN SPACE TRACTS.
19. LOT 21 WITHIN THE PUD WILL ALLOW UP TO 0.8 FEET OF STRUCTURAL ENCRACHMENT ADJACENT TO TRACT C.

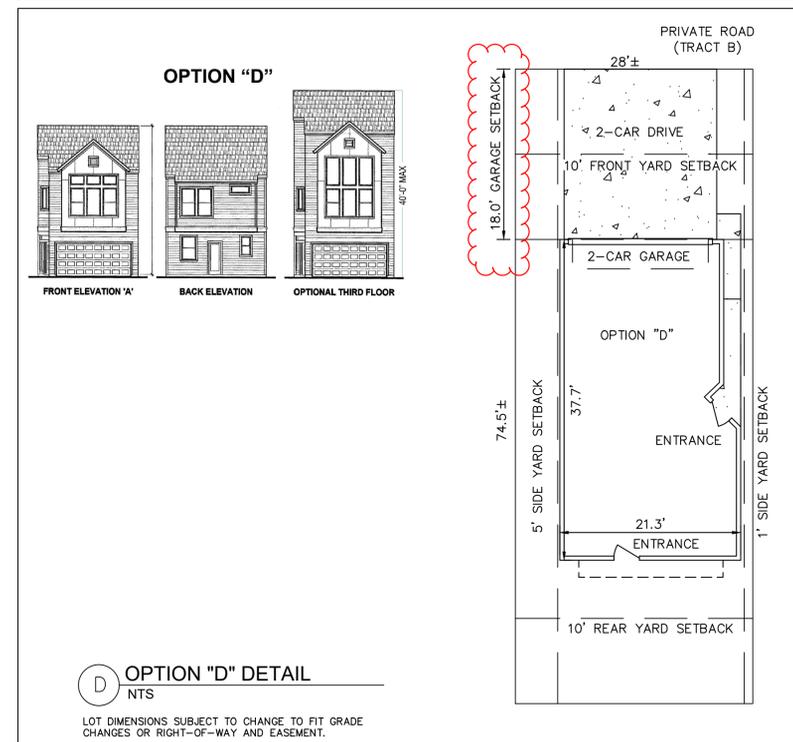
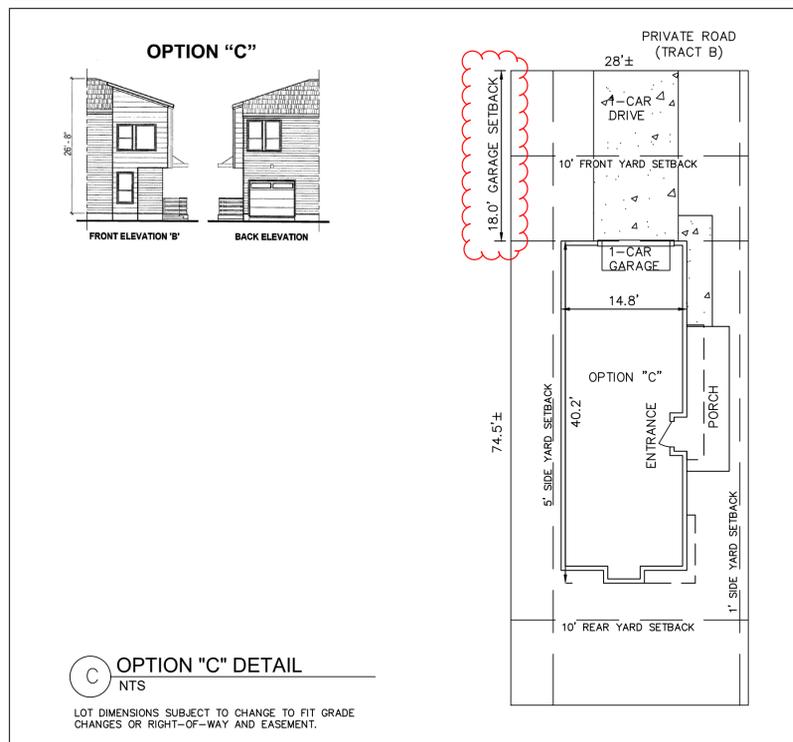
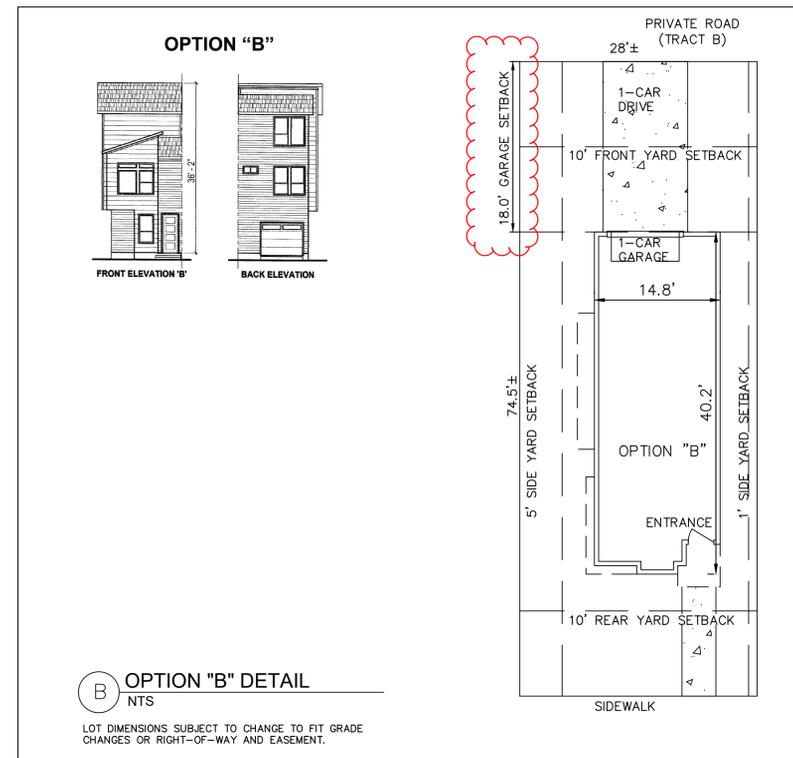
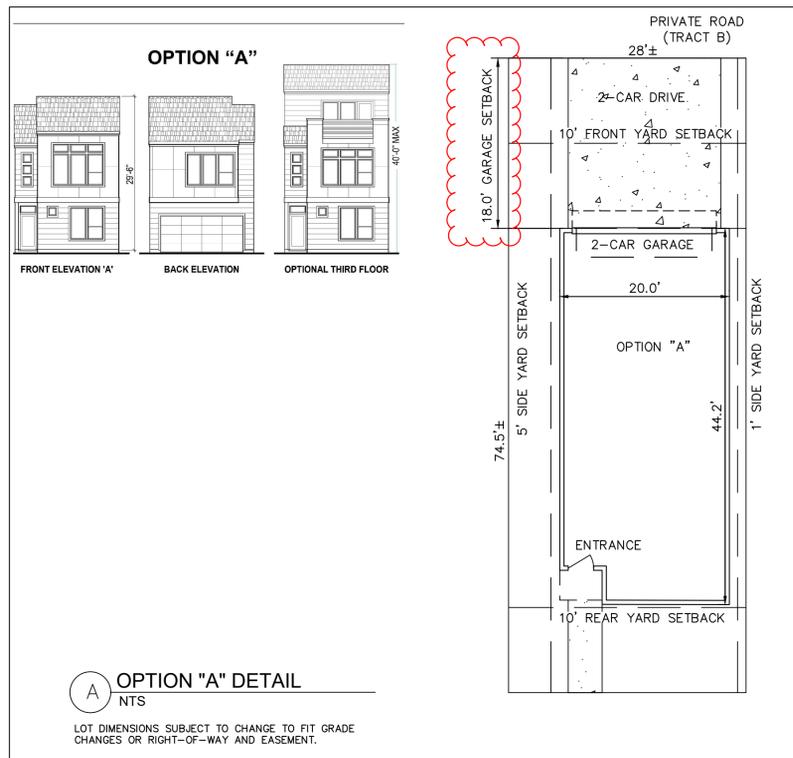
DRIVEWAY & GARAGE PARKING NOTES:

- ALL PLANNED DRIVEWAYS WITHIN THE PUD ARE FOR THE PURPOSE OF FACILITATING VEHICULAR PASSAGE FROM PRIVATE STREETS TO THE INDIVIDUAL LOTS, SPECIFICALLY, TO THE DESIGNATED PARKING AREAS FOR EACH LOT WHICH IS LOCATED WITHIN THE DETACHED 1-CAR OR 2-CAR GARAGE.
- ALL PLANNED DRIVEWAYS WITHIN THE PUD WILL HAVE A EIGHTEEN-FOOT (18') MINIMUM LENGTH, FROM FACE OF GARAGE TO SIDEWALK.
- PARKING IS PERMITTED ON DRIVEWAYS WHICH ARE EIGHTEEN-FOOT (18') IN LENGTH AND HAVE BEEN IDENTIFIED ON THE PLAN.
- PARKING OR ANY FORM OF VEHICLE STORAGE IS NOT PERMITTED ON DRIVEWAYS LESS THAN EIGHTEEN FEET (18') IN LENGTH, AS RESTRICTED BY THE PUD AND ASSOCIATED NOTES.
- ALL GARAGE UNITS ARE TO BE ADA ACCESSIBLE PARKING AND MEET ADA PARKING CRITERIA.

PARKING TABLE

NUMBER OF LOTS: 70 (HOMES RANGE FROM 2 TO 4 BEDROOMS WITH 1 OR 2 CAR GARAGE)						
	DU	SPACES/ UNIT REQUIRED	SPACES REQUIRED	GARAGE PARKING PROVIDED	DRIVEWAY PARKING PROVIDED	TOTAL PARKING PROVIDED
**2 CAR GARAGE	38	2/DU	76 SPACES (38*2/DU)	76 SPACES (38*2/DU)	76 SPACES (38*2/DU)	152 SPACES
**1 CAR GARAGE	29	2/DU	58 SPACES (30*2/DU)	29 SPACES (29*1/DU)	29 SPACES (29*1/DU)	58 SPACES
ADDITIONAL SHARED/ADA SPACES						19 GUEST/ 2ADA
**TOTAL	67		134 SPACES (67*2/DU)	105	105	231 SPACES
ALL GARAGE SPACES WILL PROVIDE ACCESSIBLE UNIT PARKING ALONG WITH 2 GUEST ADA SPACES.						

** SUBTOTAL PARKING SPACES MAY BE SUBJECT TO CHANGE BASED OFF OF FINAL BUILDING DEVELOPMENT COUNT.



2024 KIMLEY-HORN AND ASSOCIATES, INC.
20 NORTH NEWDALE AVE., SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

DESIGNED BY: AJV
DRAWN BY: AJV
CHECKED BY: JEH
DATE: 10/14/2024

MEADOWBROOK PARK
PLANNED UNIT DEVELOPMENT (PUD) PLAN

PROJECT NO. 096956009
SHEET OF

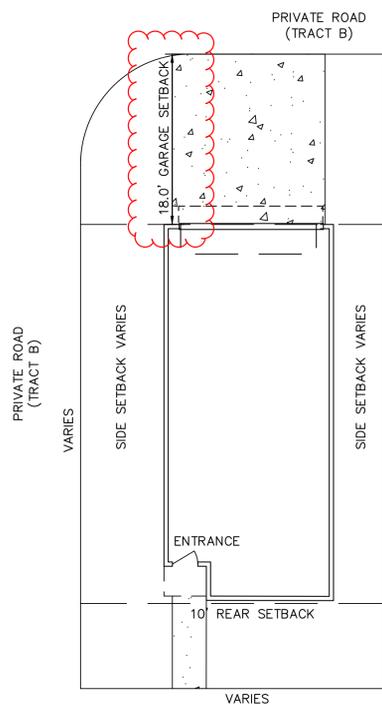
	BY: _____ DATE: _____
	REVISION: _____ NO. _____

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County File Number: PUDSP208

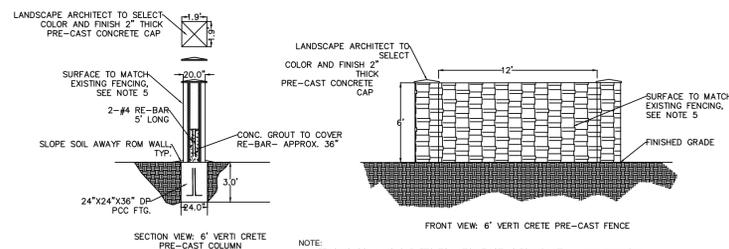
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LOCATED IN THE SOUTHEAST 1/4 OF SECTION 8, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO



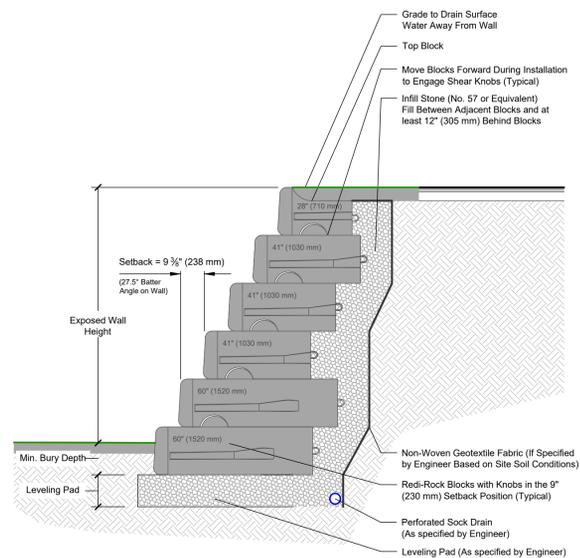
LOT DIMENSIONS SUBJECT TO CHANGE TO FIT GRADE CHANGES OR RIGHT-OF-WAY.

E CORNER LOT DETAIL
NTS



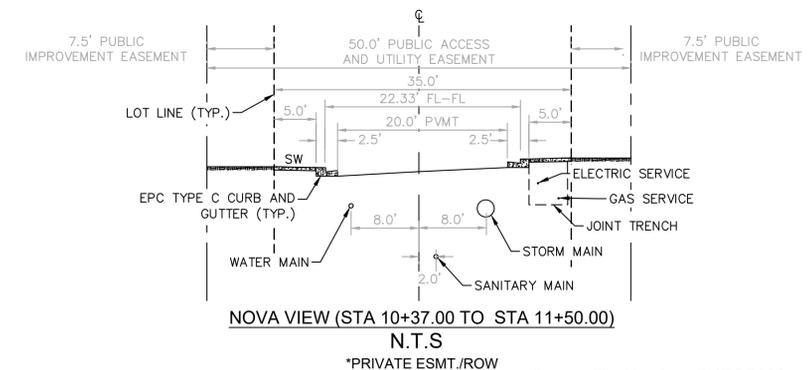
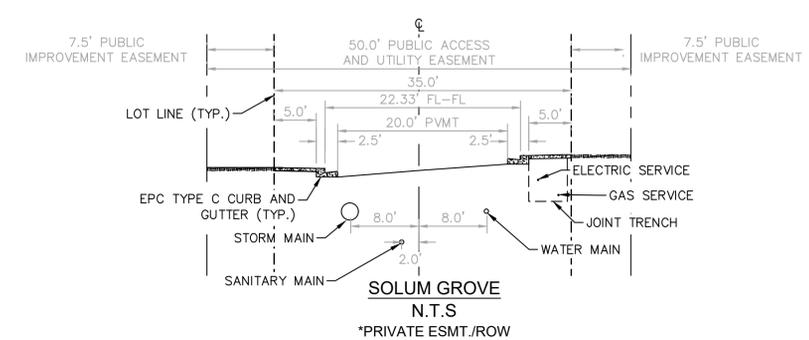
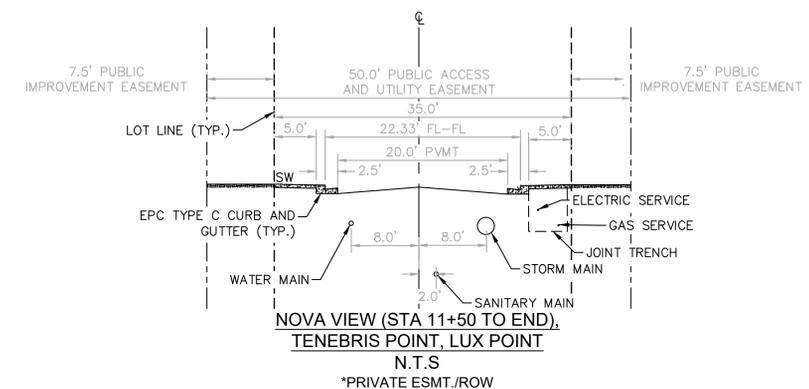
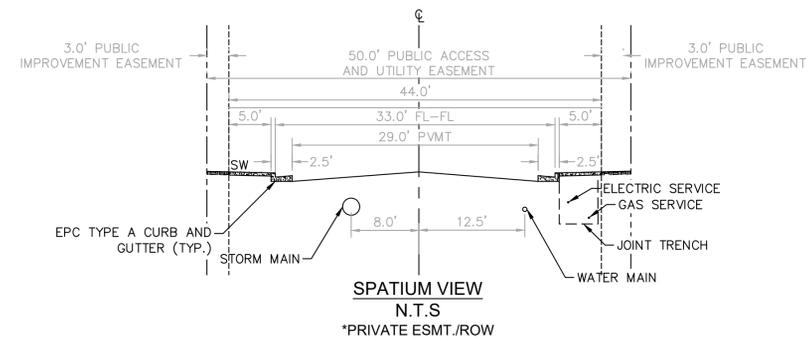
- NOTE:
- FENCING, COLUMNS, CAP, ETC. TO MATCH EXISTING FOUND WITHIN Meadowbrook Park, TYP.
 - FENCE AND COLUMN COLOR, TEXTURE, PATTERN, ETC. TO MATCH EXISTING FOUND WITHIN MEADOWBROOK PARK, TYP.
 - COLUMNS, WALL, STEEL FENCING PER MANUFACTURERS SPECIFICATIONS.
 - SCREEN WALL SHALL BE SETBACK ONE-FOOT (1') FROM PROPERTY ROW LINE, AS DEPICTED HEREBY.
 - FENCING SHALL BE CONSTRUCTED AND MAINTAINED BY THE MEADOWBROOK CROSSING METROPOLITAN DISTRICT NOS. 1 AND 2.

F SCREEN WALL DETAIL
NTS



This drawing is for reference only. Determination of the suitability and/or manner of use of any details contained in this document is the sole responsibility of the design engineer of record. Final project designs, including all construction details, shall be prepared by a licensed professional engineer using the actual conditions of the proposed site. Final wall design must address both internal and external drainage and all modes of wall stability.

G RETAINING WALL DETAIL
NTS



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SHEET

OF

Kimley»Horn

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20 NORTH NEWLAND AVE., SUITE 900
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

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TRACT TABLE

TRACT	SIZE (ACRES)	OWNERSHIP	MAINTENANCE	USE
A	0.884	MCMD #1	MCMD #1	PARK/OPEN SPACE/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS & PEDESTRIAN EASEMENT
B	1.597	MCMD #1	MCMD #1	PRIVATE ACCESS/ROAD/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS & PEDESTRIAN EASEMENT
C	0.224	MCMD #1	MCMD #1	PARK/OPEN SPACE/HARDSCAPE/SIGNAGE/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS & PEDESTRIAN EASEMENT
D	0.216	MCMD #1	MCMD #1	DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS & PEDESTRIAN EASEMENT
E	0.128	MCMD #1	MCMD #1	PRIVATE ROAD, DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS & PEDESTRIAN EASEMENT
F	0.448	MCMD #1	MCMD #1	DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS & PEDESTRIAN EASEMENT
G	0.040	MCMD #1	MCMD #1	PARK/OPEN SPACE, ENTRY FEATURE, HARDSCAPING, SIGNAGE/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS & PEDESTRIAN EASEMENT
H	0.237	MCMD #1	MCMD #1	PARK/OPEN SPACE, ENTRY FEATURE, HARDSCAPING, SIGNAGE/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS & PEDESTRIAN EASEMENT
I	0.091	MCMD #1	MCMD #1	PARK/OPEN SPACE, ENTRY FEATURE, HARDSCAPING, SIGNAGE/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS & PEDESTRIAN EASEMENT
J	0.608	MCMD #1	MCMD #1	PARK/OPEN SPACE, ENTRY FEATURE, HARDSCAPING, SIGNAGE/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS & PEDESTRIAN EASEMENT
TOTAL	4.47			

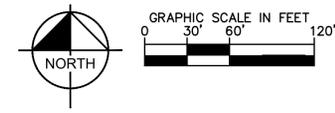
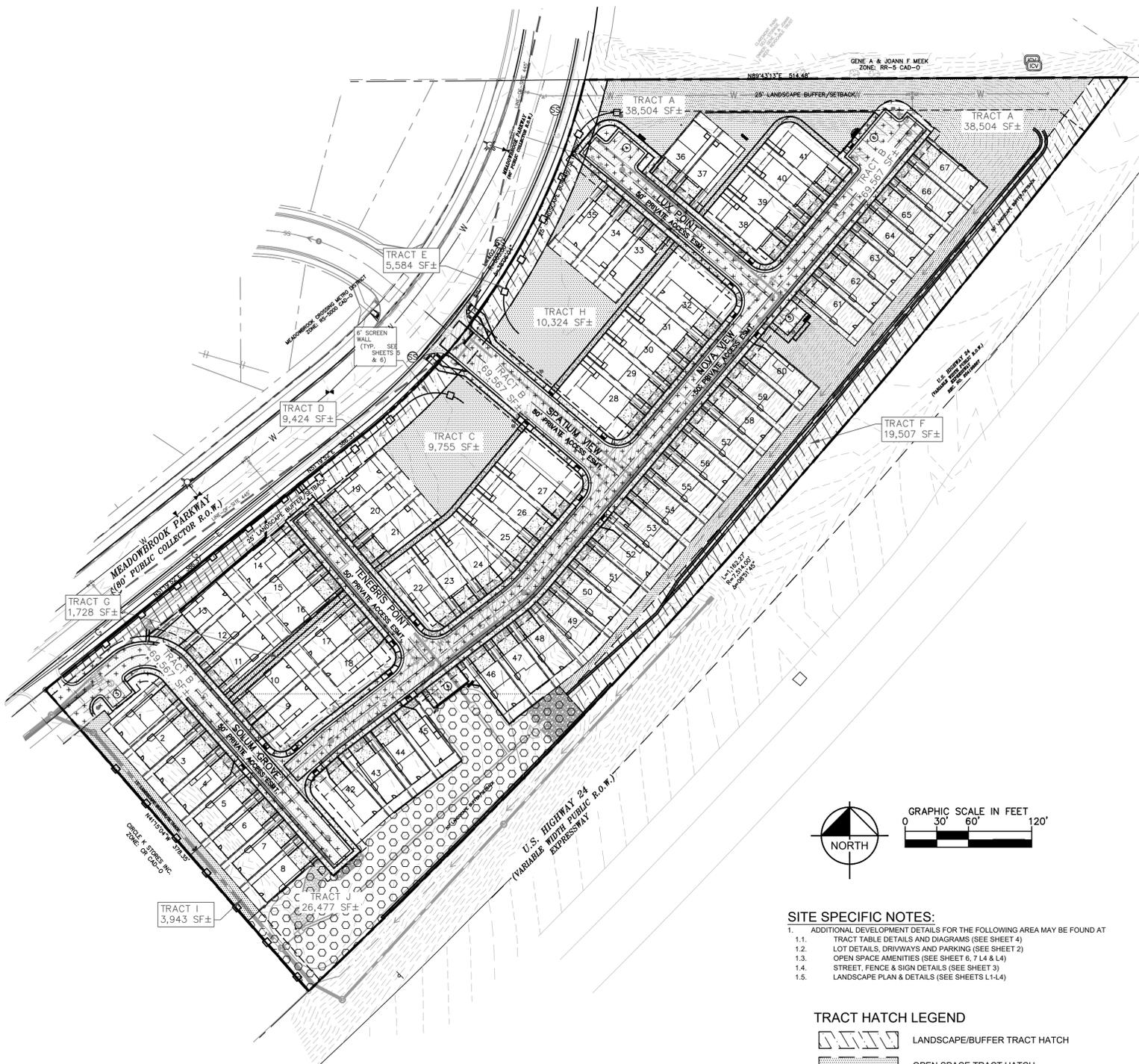
MCMD #1 = MEADOWBROOK CROSSING METROPOLITAN DISTRICT NO. 1
 DETENTION POND AREA (TRACT J): 26,477 SF (0.608 AC)
 5% OPEN SPACE ALLOWED IN DETENTION AREA (TRACT J) x 5% = 1,324 SF (0.030 AC)
 TOTAL OPEN SPACE TRACT AREA (TRACTS A, C, G, H, I & J): 65,578 SF (1.506 AC)
 NOTE: TOTAL OPEN SPACE REQUIRED IS 10% OF TOTAL ACREAGE (8.01 AC), 8.01 AC x 10% = 0.801 ACRES
 TOTAL OPEN SPACE PROVIDED: 1.506 ACRES OPEN SPACE/8.01 ACRE SITE= 18.8% OPEN SPACE PROVIDED

LANDSCAPE

- LANDSCAPING AREAS, TRAILS, COMMON OPEN SPACE AND BUFFERS SHALL BE INSTALLED BY THE DEVELOPER WITH PRIVATE/PUBLIC IMPROVEMENTS REQUIRED BY THIS PUD AND ASSOCIATED FINAL PLATS. LANDSCAPING SHALL BE OWNED AND MAINTAINED BY THE MEADOWBROOK CROSSING METROPOLITAN DISTRICT.
- NO LANDSCAPING SHALL OBSTRUCT SIGHT DISTANCE TRIANGLES OR PEDESTRIAN FACILITIES PER ENGINEERING CRITERIA MANUAL REFERENCE 2.3.6.G.2 & 2.5.3.H AS AMENDED RESPECTIVELY. THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FURNITURE, AND OTHER ENCROACHMENTS SHALL BE 4 FEET OR GREATER TO PROVIDE SAFE CONDITIONS FOR PEDESTRIANS AND BICYCLISTS PER THE ENGINEERING CRITERIA MANUAL.
- ROADWAY LANDSCAPE BUFFERS: A TWENTY-FOOT (20') LANDSCAPE BUFFER ADJACENT TO MEADOWBROOK PARKWAY FOR MINOR ARTERIAL ROAD/STREET LANDSCAPING AND BUFFERING. REQUIRED ROADWAY TREES TO BE INSTALLED WITHIN THE BUFFER AT A RATIO OF 1/25 FEET OF LINEAR FRONTAGE ALONG THE MEADOWBROOK PARKWAY FRONTAGE. A TWENTY-FIVE-FOOT (25') LANDSCAPE BUFFER IS REQUIRED ADJACENT TO US HIGHWAY 24 FOR EXPRESSWAY/PRINCIPAL ARTERIAL ROAD/STREET LANDSCAPING AND BUFFERING. A FIFTY-FOOT (50') BUFFER HAS BEEN PROVIDED. REQUIRED ROADWAY TREES TO BE INSTALLED WITHIN THE BUFFER AT A RATIO OF 1/20 FEET OF LINEAR FRONTAGE ALONG THE US HIGHWAY 24 FRONTAGE.
- ZONING DISTRICT BOUNDARY LANDSCAPE BUFFER: A FIFTEEN-FOOT (15') ZONING DISTRICT (RS 5000 ZONED LOTS) TO THE NORTH IN MEADOWBROOK CROSSING FILING NO. 1 ADJACENT TO THE NORTH SIDE OF MEADOWBROOK PARKWAY AND THE PROPOSED PUD(S). REQUIRED LANDSCAPE BUFFER TREES IS 1/30 LINEAR FEET OF AFFECTED PROPERTY BOUNDARY. CIRCLE K (CR ZONE) TO THE SOUTHWEST, AND MINI WAREHOUSE STORAGE FACILITY (CS ZONE) TO THE NORTH EAST, AND US HIGHWAY 24 EXPRESSWAY LOCATED ON THE SOUTHERN PROPERTY BOUNDARY.
- A MINIMUM 1/3 OF ALL LANDSCAPE BUFFER TREES IN ALL LANDSCAPE BUFFER CATEGORIES SHALL BE EVERGREEN.

TRACT USE STANDARDS:

- PERMITTED TRACT USES INCLUDE: ACCESS (INGRESS/EGRESS), MAIL KIOSKS, DEVELOPMENT SIGNAGE, FENCING, UTILITIES, STORMWATER FACILITIES, DRAINAGE IMPROVEMENTS, OPEN SPACE/PARK AND LANDSCAPE IMPROVEMENTS, PARKS AND ASSOCIATED PARK RELATED EQUIPMENT, TRAIL CORRIDORS, PRIVATE PEDESTRIAN WALKWAYS & PUBLIC SIDEWALKS, AND ON-STREET PARKING WHERE DESIGNATED.
- TRACTS "A" THROUGH "G" INCLUSIVE, SHALL BE DEDICATED AS AND PLATTED WITH UTILITY EASEMENTS FOR ADDITIONAL UTILITY LINES AND APPURTENANCES WITHIN THE PROPOSED TRACTS. ALL PRELIMINARY FINAL UTILITY DESIGN SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY SERVICE PROVIDER AND SUBJECT TO REVIEW BY THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT AND PUBLIC WORKS (COUNTY ENGINEER) FOR COMPLIANCE WITH ESTABLISHED LDC AND ECM CRITERIA. UTILITY PROVIDERS INCLUDE: COLORADO SPRINGS UTILITIES, AND CHEROKEE METRO DISTRICT. ALL ENTITIES HAVE REVIEWED THIS PUD WITH RESPECT TO THE LOCATION OF PROPOSED UTILITIES WITHIN THE PROPOSED LOT, TRACT, STREET AND DRIVE NETWORK.
- STRUCTURES SHALL BE SETBACK A MINIMUM 10' FROM OPEN SPACES AND TRAILS. THE REQUIRED 10' SEPARATION IS PROVIDED VIA LANDSCAPE BUFFER/SETBACK TRACTS "A" THROUGH "G", INCLUSIVE.
- ALL OPEN SPACE AMENITIES, INCLUDING OUTDOOR FURNITURE AND ASSOCIATED EQUIPMENT, SHALL BE OWNED AND MAINTAINED BY THE MEADOWBROOK CROSSING METRO DISTRICT NO. 1.
- PRIVATE ROAD (INGRESS/EGRESS): TRACT "B" IS DESIGNATED FOR USE AS PRIVATE ROADS TO PROVIDE ACCESS INTO THE SUBDIVISION AND TO (FRONT/REAR) LOADED GARAGES ATTACHED TO EACH DETACHED UNIT. ALL ROADS SHALL BE CONSTRUCTED TO THE APPROVED CROSS SECTION LOCATED ON THE STREET/ROAD DETAIL SHEET OF THIS PLAN. THE USE OF PRIVATE ROADS AND PRIVATE ROADS WHICH DO NOT MEET ECM STANDARDS WITHIN THE PUD REQUIRES AUTHORIZATION BY THE BOCC.
- THE FOLLOWING TRACTS HAVE BEEN PLANNED FOR USE AS PRIVATE ROADS AND WILL BE OWNED AND MAINTAINED BY THE MEADOWBROOK CROSSING METRO DISTRICT NO. 1:
 - TRACT B: SOLIUM GROVE
 - TRACT B: TENEBRIS POINT
 - TRACT B: NOVA VIEW
 - TRACT B & TRACT E: LUX POINT
 - TRACT B: SPATIUM VIEW
- ON-STREET PARKING IS NOT PERMITTED ON PRIVATE ROADS WITHIN TRACT "B" (SOLIUM GROVE, TENEBRIS POINT, NOVA VIEW, LUX POINT AND SPATIUM VIEW), DESIGNATED PARKING OFF VIA STRIPED GUEST PARKING AREAS WHICH ARE LOCATED WITHIN TRACT "B" BUT OUTSIDE OF THE PRIVATE ROAD CROSS SECTIONS.
- TRACT "B" IS TO BE OWNED ENTIRELY BY THE MEADOWBROOK CROSSING METROPOLITAN DISTRICT NO. 1, TO INCLUDE DETENTION AND LANDSCAPING LOCATED THEREIN. A LICENSE AGREEMENT FOR LANDSCAPE MAINTENANCE AND DETENTION POND MAINTENANCE AGREEMENT SHALL BE ESTABLISHED WITH THE METRO DISTRICT WITH ANY ASSOCIATED FINAL PLATS.
- TRACT "B" IS TO BE OWNED ENTIRELY BY MEADOWBROOK CROSSING METROPOLITAN DISTRICT NO. 1, TO INCLUDE DETENTION AND LANDSCAPING LOCATED THEREIN. A LICENSE AGREEMENT FOR LANDSCAPE MAINTENANCE AND DETENTION POND MAINTENANCE AGREEMENT SHALL BE ESTABLISHED WITH THE MEADOWBROOK CROSSING METROPOLITAN DISTRICT NO. 1 WITH ANY ASSOCIATED FINAL PLATS.
- GAZEBOES, PAVILIONS, PLAY GROUND EQUIPMENT, OUTDOOR SEATING AND OTHER ACCESSORY STRUCTURES SHALL BE EXCLUDED FROM RESTRICTIONS IN ANY OPEN SPACE AND LANDSCAPE TRACTS, AND IS TO BE INSTALLED AND MAINTAINED BY THE DEVELOPER, OR MEADOWBROOK CROSSING METROPOLITAN DISTRICT NO. 1, ARE PERMITTED.
- OPEN SPACE/LANDSCAPING IMPROVEMENTS LOCATED IN TRACTS WHICH MEET THE CLASSIFICATION OF STRUCTURES AS DEFINED IN THE LDC MAY BE SUBJECT TO A BUILDING PERMIT, PRIOR TO CONSTRUCTION.



- #### SITE SPECIFIC NOTES:
- ADDITIONAL DEVELOPMENT DETAILS FOR THE FOLLOWING AREA MAY BE FOUND AT
 - TRACT TABLE DETAILS AND DIAGRAMS (SEE SHEET 4)
 - LOT DETAILS, DRIVEWAYS AND PARKING (SEE SHEET 2)
 - OPEN SPACE AMENITIES (SEE SHEET 6, 7 L4 & L4)
 - STREET, FENCE & SIGN DETAILS (SEE SHEET 3)
 - LANDSCAPE PLAN & DETAILS (SEE SHEETS L1-L4)

TRACT HATCH LEGEND

	LANDSCAPE/BUFFER TRACT HATCH
	OPEN SPACE TRACT HATCH
	PRIVATE ROAD TRACT HATCH
	DETENTION POND TRACT HATCH

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 2024 KIMLEY-HORN AND ASSOCIATES, INC.
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 COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

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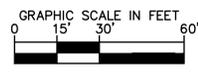
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LEGEND

SYMBOL	DESCRIPTION
1	ASPHALT SURFACE (TYPICAL)
2	PRIVATE CONCRETE SIDEWALK (TYPICAL)
3	6' SCREEN WALL
4	PEDESTRIAN RAMP
5	CURB AND GUTTER (TYPE C)
6	RETAINING WALL
7	DETENTION POND
8	DOG STATION
9	BENCH



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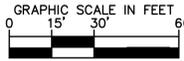
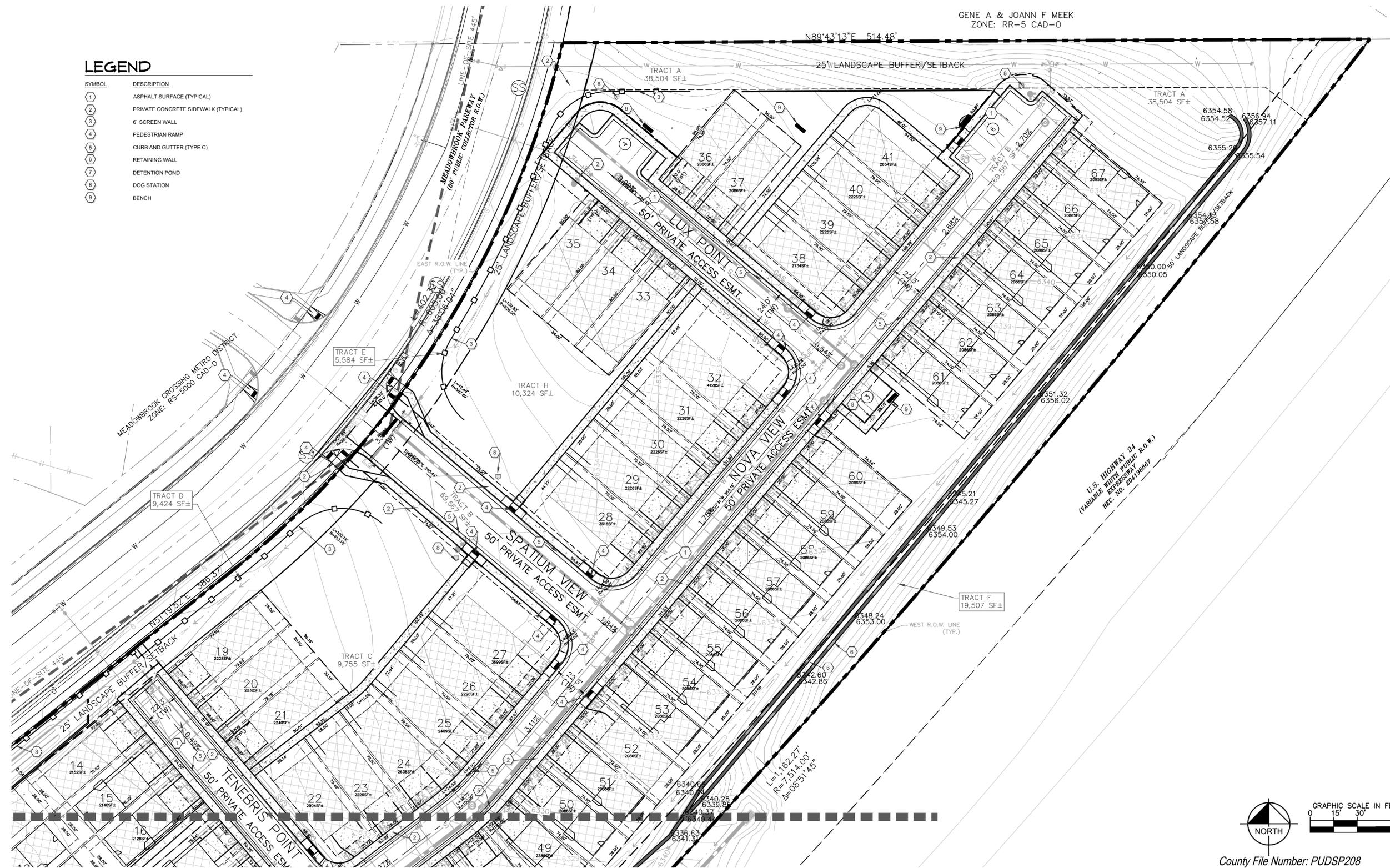
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LOCATED IN THE SOUTHEAST 1/4 OF SECTION 8, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO

GENE A & JOANN F MEEK
ZONE: RR-5 CAD-0

LEGEND

SYMBOL	DESCRIPTION
①	ASPHALT SURFACE (TYPICAL)
②	PRIVATE CONCRETE SIDEWALK (TYPICAL)
③	6" SCREEN WALL
④	PEDESTRIAN RAMP
⑤	CURB AND GUTTER (TYPE C)
⑥	RETAINING WALL
⑦	DOG POND
⑧	DOG STATION
⑨	BENCH



County File Number: PUDSP208

Kimley»Horn

2024 KIMLEY-HORN AND ASSOCIATES, INC.
20 NORTH NEWLAND AVE., SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

DESIGNED BY: AJV
DRAWN BY: AJV
CHECKED BY: JEH
DATE: 10/14/2024

MEADOWBROOK PARK
PLANNED UNIT DEVELOPMENT (PUD) PLAN

PROJECT NO.
096956009
SHEET
OF

NO.	REVISION	BY	DATE	APPR.

K:\COS_LA\096956009 - Meadowbrook Park\Working\096956009--PUDSP--Amended--11.27.24.dwg Salazar, Larry 12/6/2024 1:44 PM