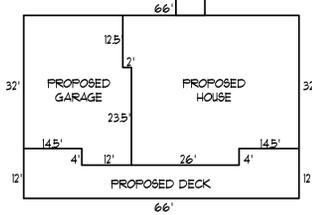


VICINITY MAP

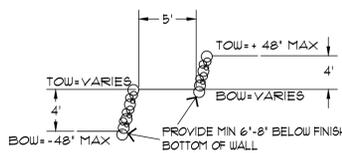
NO SCALE



HOUSE FOOTPRINT

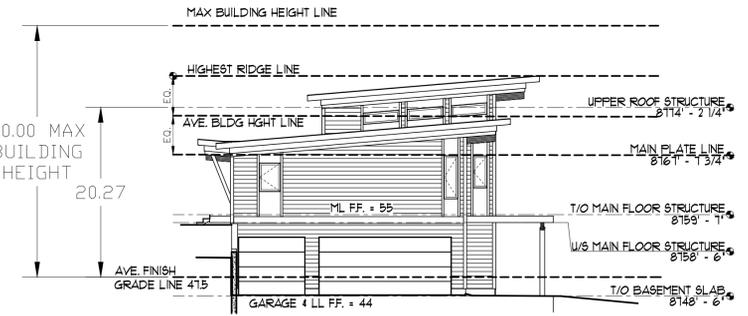
NO SCALE

NOTE: IN MOST CASES THE RETAINING WALLS ARE ONLY ONE TIER. TWO TIERS SHOWN FOR WORST CASE SCENARIO.



RETAINING WALL SECTION

NTS

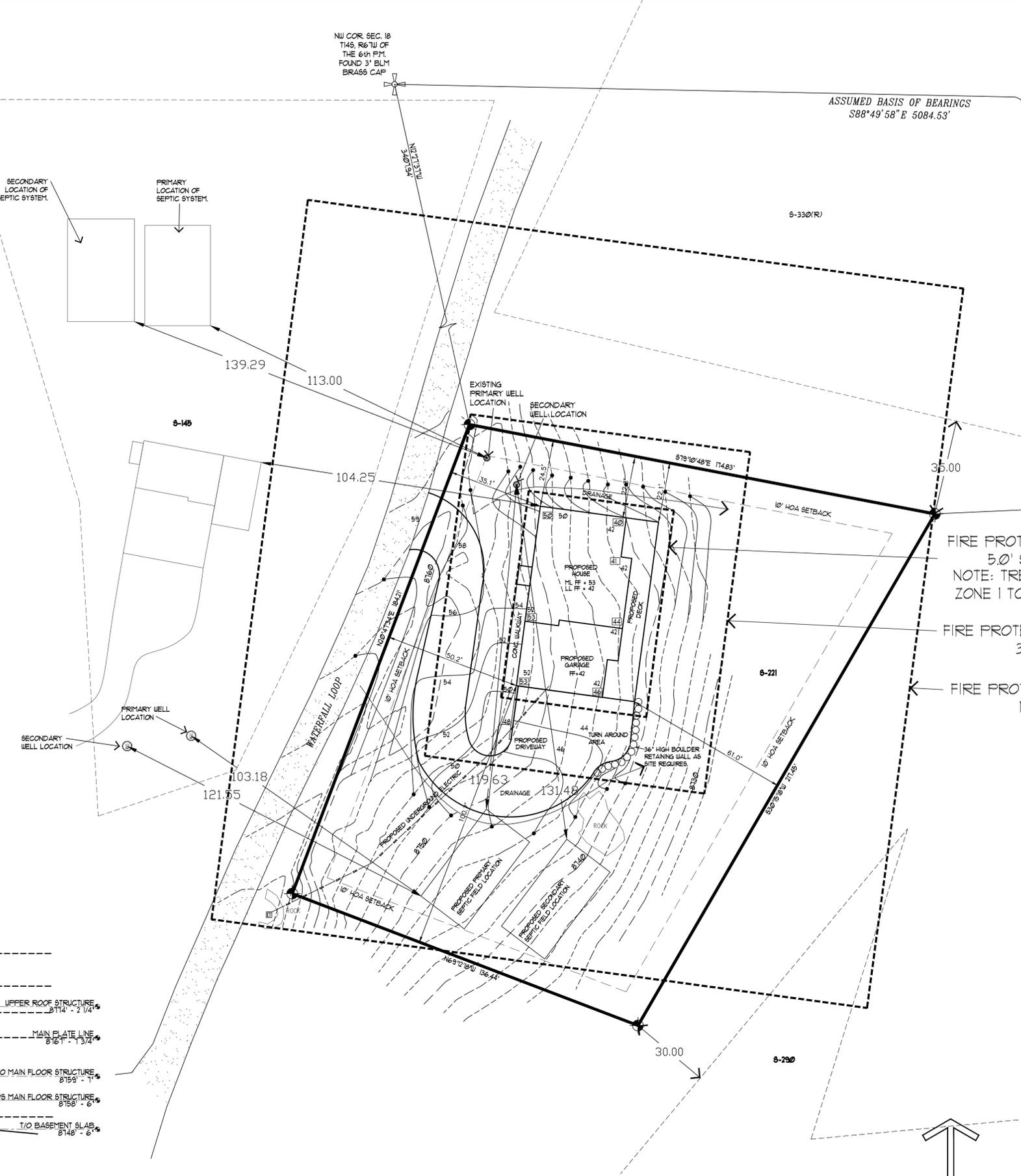


AVERAGE GRADE CALCULATION

54x1 = 54
32x1 = 32
20x1 = 20
44x2 = 88
33x7 = 231
474

HOUSE ELEVATION/HEIGHT

SCALE: 1" = 10'



SITE PLAN

SCALE: 1" = 20'

SITE INFO:

ADDRESS:
6165 SPRUCE ROAD (WATERFALL LOOP)
MANTOU SPRINGS, COLORADO 80829

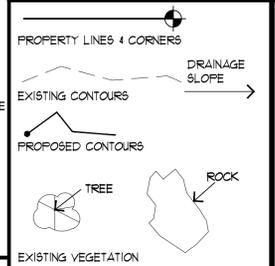
LEGAL:
S-221(R) SITE ADDITION TO CRYSTAL PARK SUBDIVISION NO. 2 LOCATED IN THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER (NW1/4 SW1/4) OF SECTION 18, TOWNSHIP 14 SOUTH, RANGE 61 WEST OF THE 6th P.M., COUNTY OF EL PASO, STATE OF COLORADO.

SITE DATA:
LOT SIZE = 30492 SQFT
BUILDING FOOTPRINT =
HOUSE = 2340 SQFT
GARAGE = 841 SQFT
DECK = 646 SQFT
TOTAL = 0000 SQFT
LOT COVERAGE = 7.6%
ZONING = FUD
TAX SCHEDULE #:
BUILDING HEIGHT = SEE ELEVATIONS

SITE NOTES:

- 1) Topographic information is to be supplied by others. See below for info.
- 2) Dashed lines indicate existing contours. Solid lines indicate proposed contours.
- 3) Contractor to verify easements.
- 4) Contractor to limit cut and fill areas and limit material and vehicle storage to the building areas in order to minimize vegetation and site disturbance.
- 5) Flag "Limits of Disturbance" prior to excavation.
- 6) Final landscaping to be determined by the Contractor/Owner(s). It shall minimize impact to the site. All landscaping to be completed by the Contractor/Owner(s).
- 7) Use wattles and silt fencing to minimize erosion during construction. And also stabilize area with seeded blankets for erosion control as necessary.
- 8) Earth materials are not to be stockpiled on streets or sidewalks, but on site or staging areas.
- 9) Contractor is required to provide positive drainage away from and around structure in all directions as shown.
- 10) Any boulder retaining walls shown shall be 48" max high and 48"-60" min apart laterally if (2) or more retaining walls exist. Or retaining walls shall be engineered by a licensed CO soils engineer.
- 11) General Contractor, Subcontractors, Suppliers, and Owner(s) shall familiarize themselves & verify all notes, dimensions and information on drawing(s) prior to starting construction. It shall be the responsibility of those parties to report any changes and/or discrepancies to the Designer. Questions regarding these drawings such as: drawing interpretation, dimensions, notes, scale and other similar questions shall be brought to the attention of the Designer immediately in writing. Failure to do any of the above shall relieve the designer of any errors. Designer shall not be responsible for any changes not noted in writing to this plan.

SITE LEGEND:



PROJECT BENCHMARK: RAMPART'S SURVEY CONTROL POINT 31 DERIVED FROM AN OPUS SOLUTION ELEVATION = 8495.02'

SITE BENCHMARK: SURVEY CONTROL POINT AS SHOWN HEREON.

ALL ELEVATIONS ARE BASED UPON NAVD83 VERTICAL DATUM.

NOTE: ALL LINEAL UNITS DEPICTED ON THIS TOPOGRAPHIC SITE PLAN ARE U.S. SURVEY FEET.

THE PROPERTY LINES AS DEPICTED ON THIS TOPOGRAPHIC SITE PLAN ARE BASED ON THE LOT DIMENSIONS SHOWN ON THE PLAT CREATED BY MONUMENT VALLEY ENGINEERS INC. OF SITE-221(R) SITE ADDITION TO CRYSTAL PARK SUBDIVISION NO. 2, RECORDED AT RECEPTION NO. 22318141 ON MAY 12, 2023.

NO BOUNDARY SURVEY OR LAND SURVEY PLAT WAS COMPLETED AS PART OF THIS SERVICE.

PROJECT COLORS:

ROOF: CMG CHARCOAL
GUTTERS & DOWNSPOUTS: CMG DEEP BLACK SIDING (CEMENT BOARD); CMG MOUNTAIN CEDAR TRIM/FASCIA/WINDOWS/GARAGE DOOR: CMG BLACK FASCIA/EXP. BEAMS/FRONT DOOR: CMG NATURAL DOUGLAS FIR DECK BOARDS (COMPOSITE); CMG CYPRESS RAILINGS; STAINLESS STEEL CMG CABLE POSTS FOR RAILINGS; BLACK CMG ALUMINUM

REFERENCE INFO:

TOPO INFO:
RAMPART SURVEYS, LLC
1050 TAMARAC PKWY, WOODLAND PARK, CO 80903
(719) 687-0930
RUS@RAMPARTLS.COM
BELLEAU SITE

CLIENT/OWNER INFO:
CLIENT NAME: JON BELLEAU
ADDRESS: 6165 SPRUCE ROAD (WATERFALL LOOP) MANTOU SPRINGS, COLORADO 80829
PHONE: 662-103-1615
EMAIL: JONTER@MAIL.COM

SITE TERMS:

ABBREVIATIONS:
BOW=BOTTOM OF RETAINING WALL
(E)=EXISTING TO REMAIN
LL=LOWER LEVEL
ML=MAIN LEVEL
(N)=NEW CONSTRUCTION
(R)=REMOVE
R/O=RIGHT OF WAY
SB=SETBACK
SQ. FT. OR SF=SQUARE FEET
TOP=TOP OF FOUNDATION
TOW=TOU OF RETAINING WALL
UL=UPPER LEVEL
UO=WALKOUT

REVISIONS

LGA STUDIOS
201 E. Las Animas Street Suite 113
Colorado Springs, CO. 80903
Phone: (719) 635-0880
Email: Office@LGAstudios.com
Website: www.lgastudios.com

CONTRACTOR
PALACE HOMES INC.
228 W. COLORADO AVE #700
Colorado Springs, CO 80904
Phone: (719) 467-9636
EMAIL: GORDON@PALACEHOMESINC.COM

THE BELLEAU RESIDENCE
6165 Waterfall Loop
COMPUTER FILE 24-2406

DRAWN BY: NB
CHECKED BY: LGAstudios

SITE PLAN
VICINITY MAP
SITE NOTES

Sheet #
SP1
OF 1 Sheets