

# THE SHOP'S FILING NO. 1A AT MERIDIAN RANCH LOT 2B

## SITE DEVELOPMENT PLAN EL PASO COUNTY, COLORADO. FALCON, COLORADO

Shop's with an apostrophe is either a contraction or possessive. "The Shop is" or something belongs to the Shop.

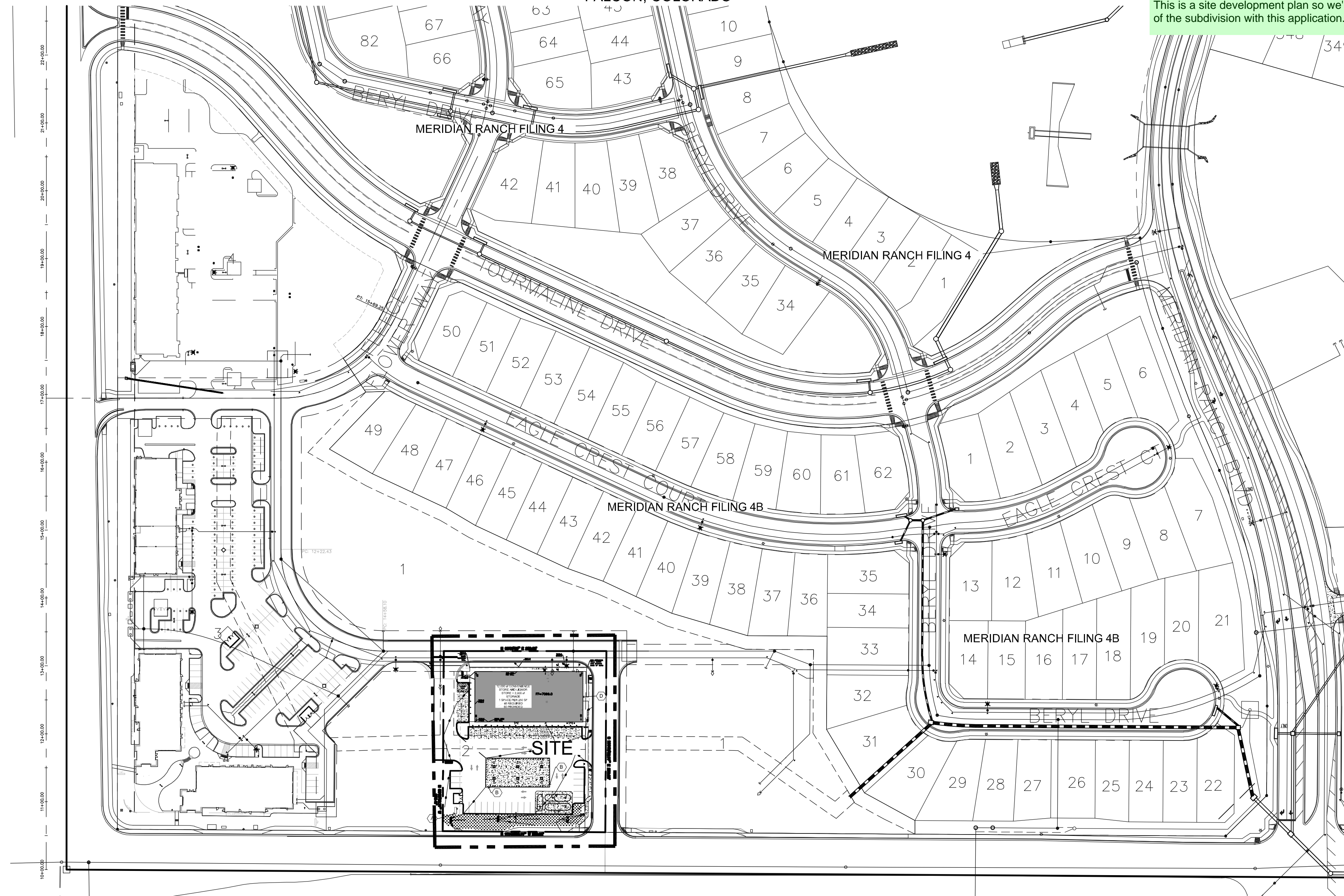
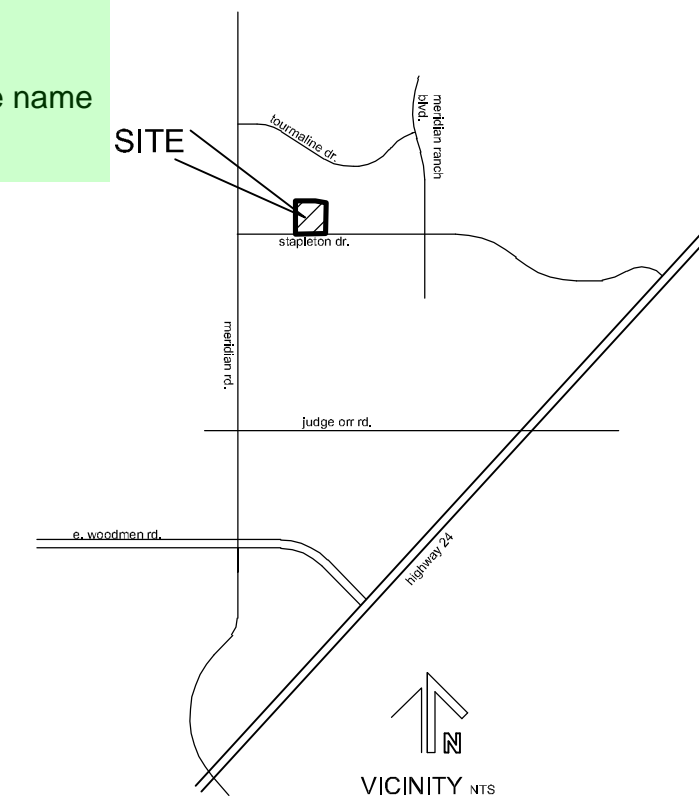
The Shops (plural) does not need apostrophe.

Apologies for last round of review comment re: the title, but it was issued in error.

The title should be consistent with the subdivision name according to plat # 13659:

"The Shops Filing No. 1 at Meridian Ranch Lot 2B"

This is a site development plan so we're not changing the name of the subdivision with this application.



LEGAL:  
THE SHOPS AT MERIDIAN RANCH LOT 2 FILING NO. 1A

**SITE DATA**

tax schedule no.:	4230319056
area	1.46ac
ex zone	n/a
proposed zone	CR
ex use	vacant
proposed use	commercial center
master plan	Falcon/Peyton Small Area Plan
development schedule	FALL 2023
area	1.46ac
proposed use	commercial center
bdg area	12,000sf
max. bdg height	45'
prop. bdg height	44'
bdg setbacks	
front	25'
side	25'
rear	25'
%lot coverage	
bdg's	19% (12,000sf)
impervious	66% (42,472sf)
landscaping	15% (9,300sf)
use	retail F commercial center
bdg area	12,000sf
ratio	1/250sf
required (incl h/c)	48 (incl 2hc)
provided	50 (incl 2hc)

LOT INFO  
PARKING

**ADA DESIGN PROFESSIONAL STANDARD NOTE:**

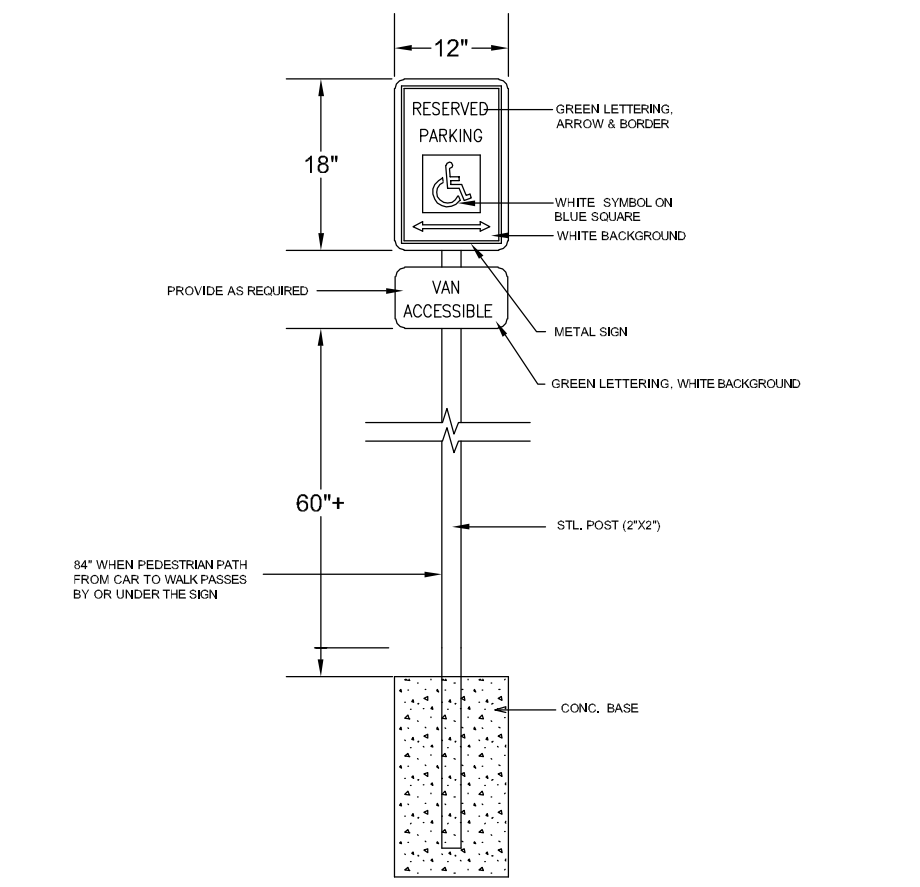
The party responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA Design Standards and Guidelines as published by the United States Department of Justice. Approval of this plan by the County of El Paso Colorado does not assure compliance with the ADA or any other Federal or State accessibility laws or any regulations or guidelines enacted or promulgated under or with respect to such laws. Sole responsibility for compliance with Federal and State accessibility laws lies with the property owner.

**SHEET INDEX**

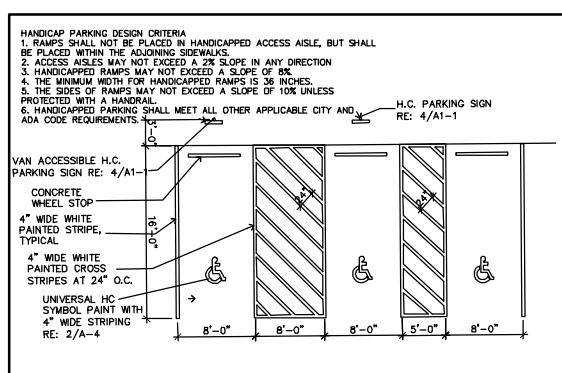
- 1..... Site development plan
- 2..... Landscape plan
- 3..... Landscape details
- 4..... Photometric plan
- 5..... Sign plan
- 6.....
- 7.....
- 8.....

OWNER INFO

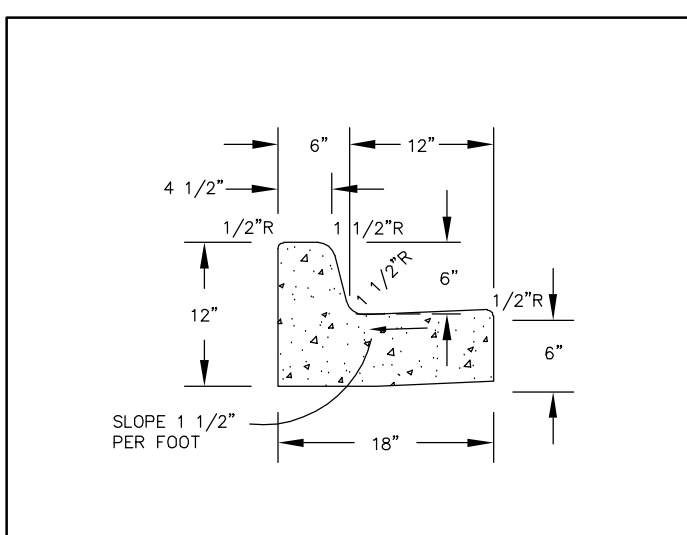
company name HUNJIAN GAS STATIONS LLC  
address 12599 MT. LINDSEY DR.  
city/state PEYTON, CO 80831  
phone no



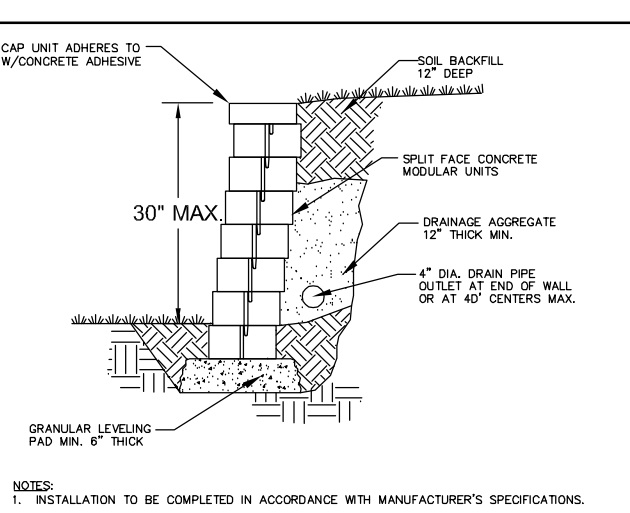
**A ACCESSIBLE SIGNAGE DETAIL**  
N.T.S.



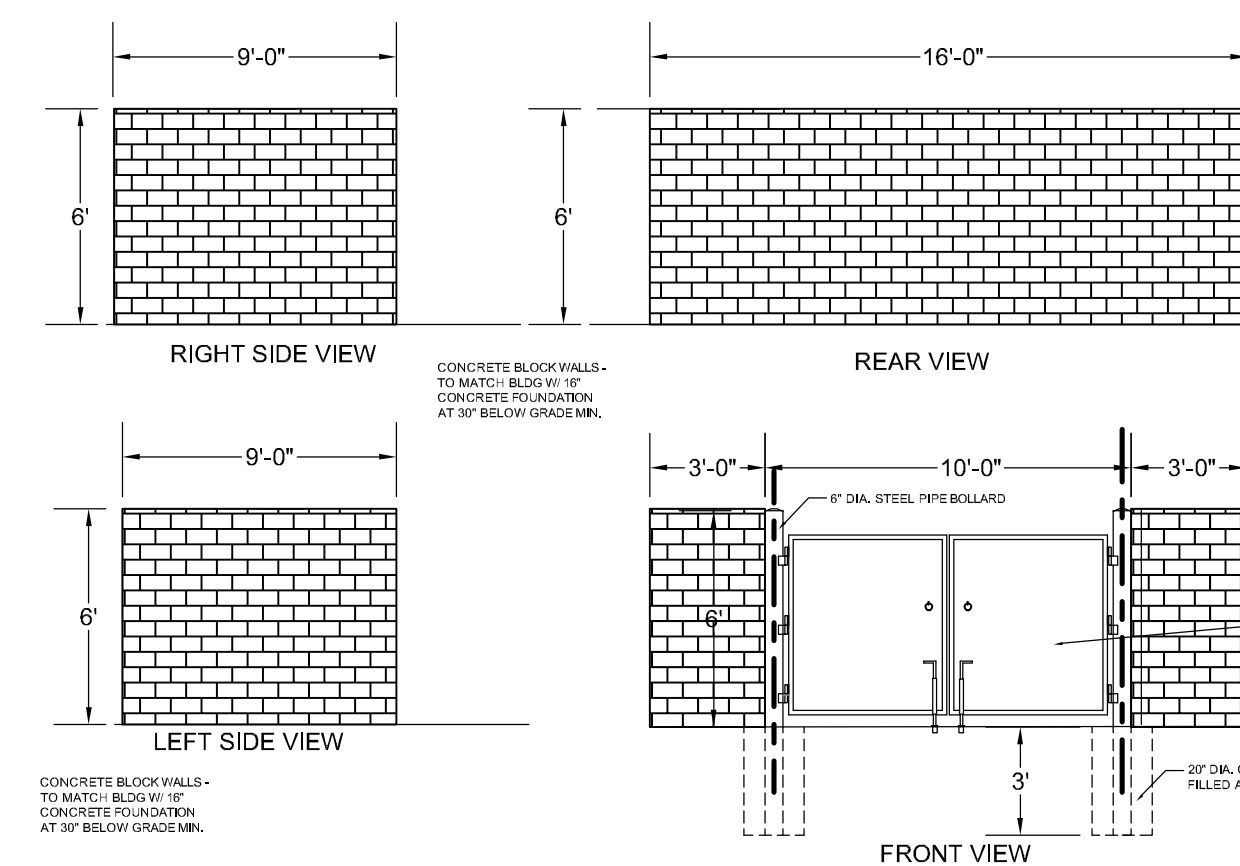
**B TYPICAL HANDICAP PARKING DETAIL**  
N.T.S.



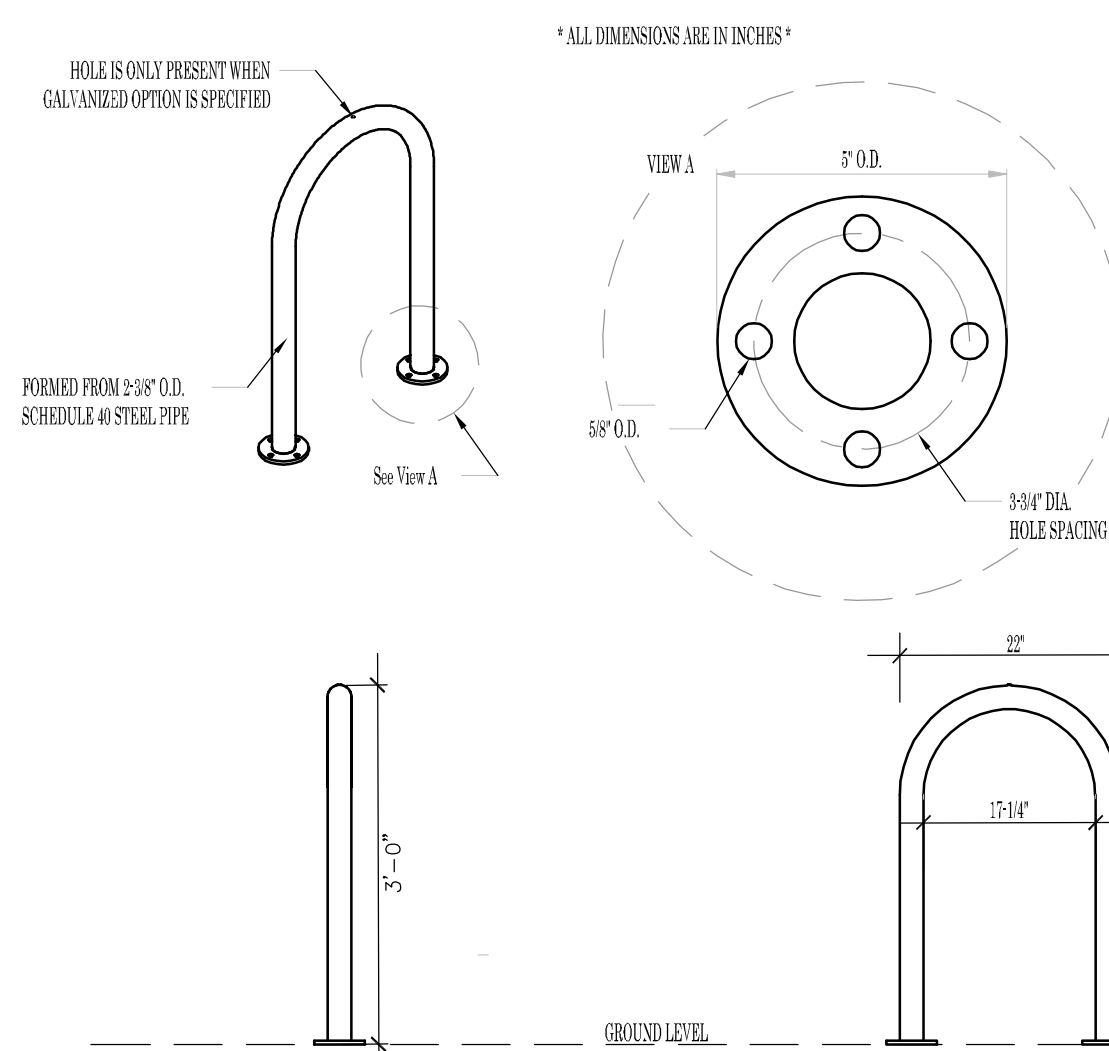
**C TYPICAL CURB AND GUTTER**  
N.T.S.



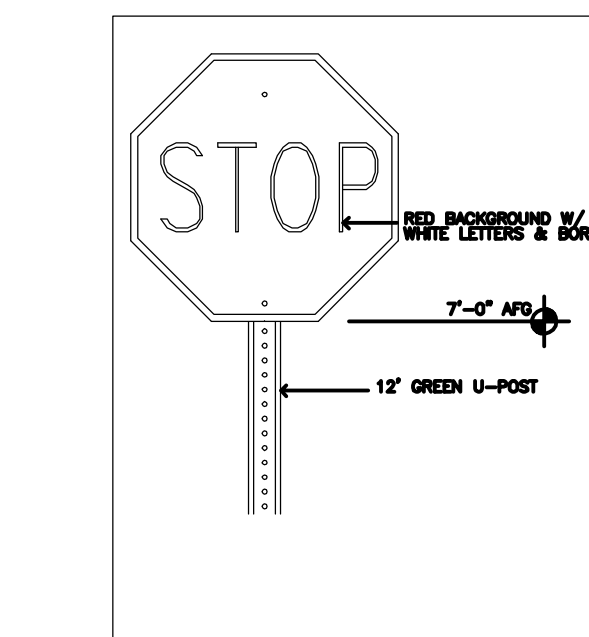
**D RETAINING WALL DETAIL**  
N.T.S.



**E TRASH ENCLOSURE**  
N.T.S.



**F BIKE LOOP**  
N.T.S.



**E STOP SIGN DETAIL**



YOW ARCHITECTS PC  
ARCHITECTURE & PLANNING  
Colorado Springs, Colorado 475-8133  
115 S. Weber

Shop's @ Meridian  
Ranch  
Meridian Road  
Falcon, CO

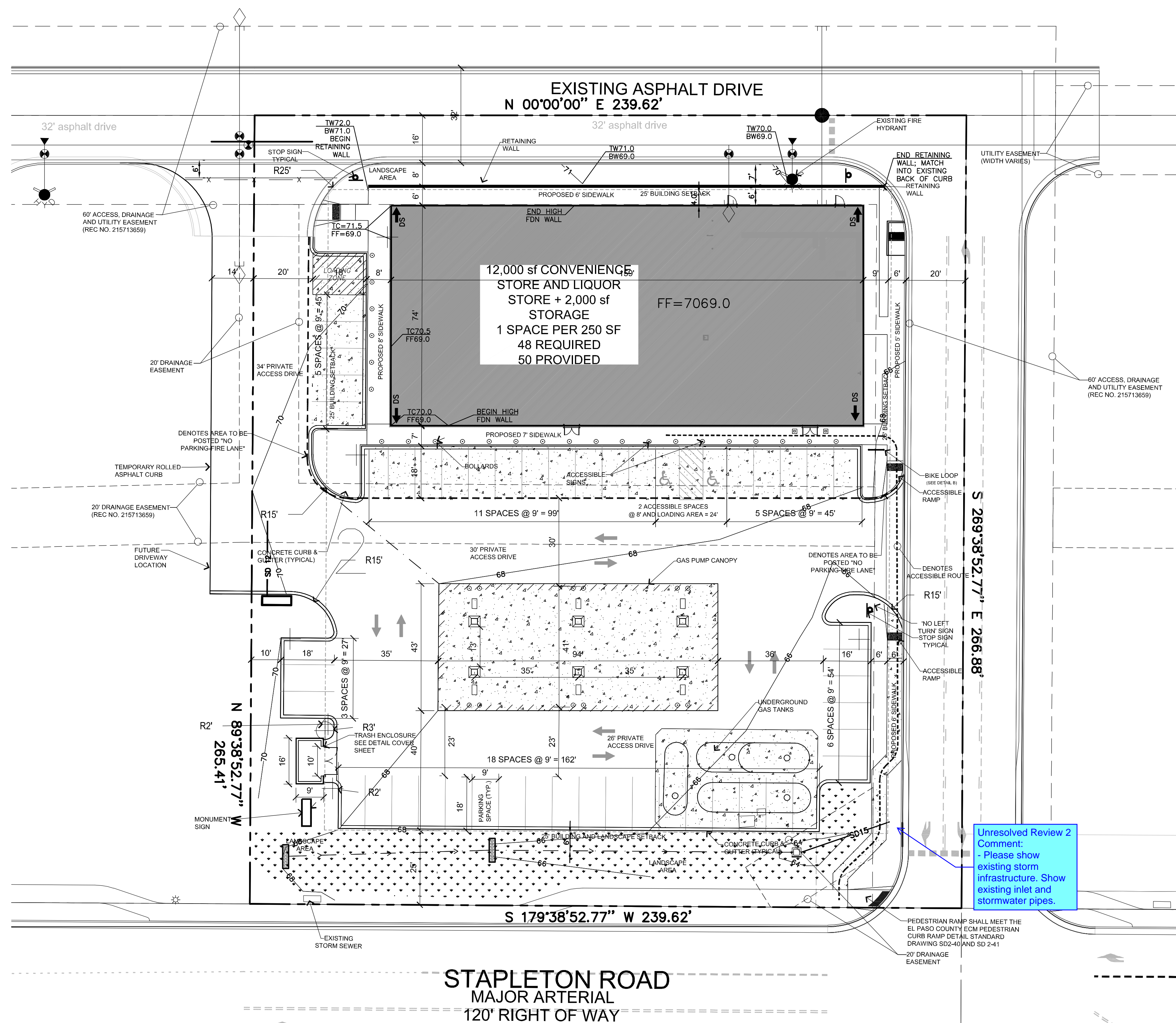
Job No: 18.115  
Directory: Planning  
File: Site development plan 1-5-2024  
Drawn By: DEN  
Date: 10/12/2022  
Revised:

DRAWING NO.  
**COVER**  
SITE DEVELOPMENT PLAN

# THE SHOP'S FILING NO. 1A AT MERIDIAN RANCH LOT 2B

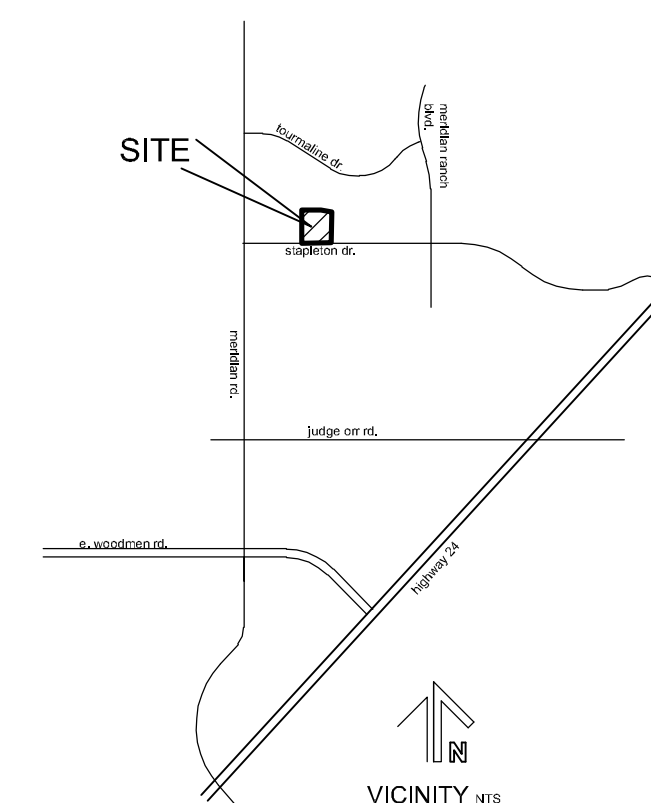
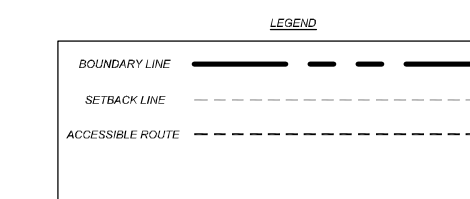
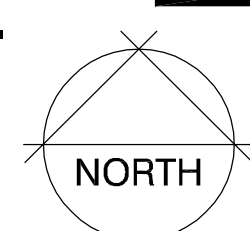
SITE DEVELOPMENT PLAN  
EL PASO COUNTY, COLORADO.  
FALCON, COLORADO

Please coordinate with traffic engineer and reflect any striping and signage required on the site development plan.



0 20' 40' 60' 80' feet

SCALE: 1" = 20'



LEGAL:  
THE SHOPS AT MERIDIAN RANCH LOT 2 FILING NO. 1A

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provided	50 (incl 2h/c)

PARKING LOT INFO

Structural: ---  
Electrical: ---  
Mechanical: ---  
Plumbing: ---



YOW ARCHITECTS PC

ARCHITECTURE & PLANNING  
Colorado Springs, Colorado 475-8133

Shop's @ Meridian Ranch  
11810 Stapleton Drive  
Falcon, CO

Job No. 18115  
Directory Planning  
File Site Development plan 1-5-2024  
Drawn By DIN  
Date 12/12/2022  
Revised

DRAWING NO. 1  
SITE DEVELOPMENT PLAN

OWNER INFO  
company name HUNJIAN GAS STATIONS LLC  
address 12599 MT. LINDSEY DR.  
city/state PEYTON, CO 80831  
phone no

FILE NUMBER: PPR2322