

SF 01005  
2645



# SUNSET VILLAGE FILING NO. 4

## CONSTRUCTION PLANS

1

**Contacts List:**

El Paso County Planning and Community Development  
Gilbert LaForce, PE  
719-520-7945  
gilbertlaforce@elpasoco.com  
Ryan Howser  
719-520-6049; ryanhowser@elpasoco.com

**Owner/Developer**  
Scott Van Whye  
Sunset Village View, LLC.  
303-519-5100

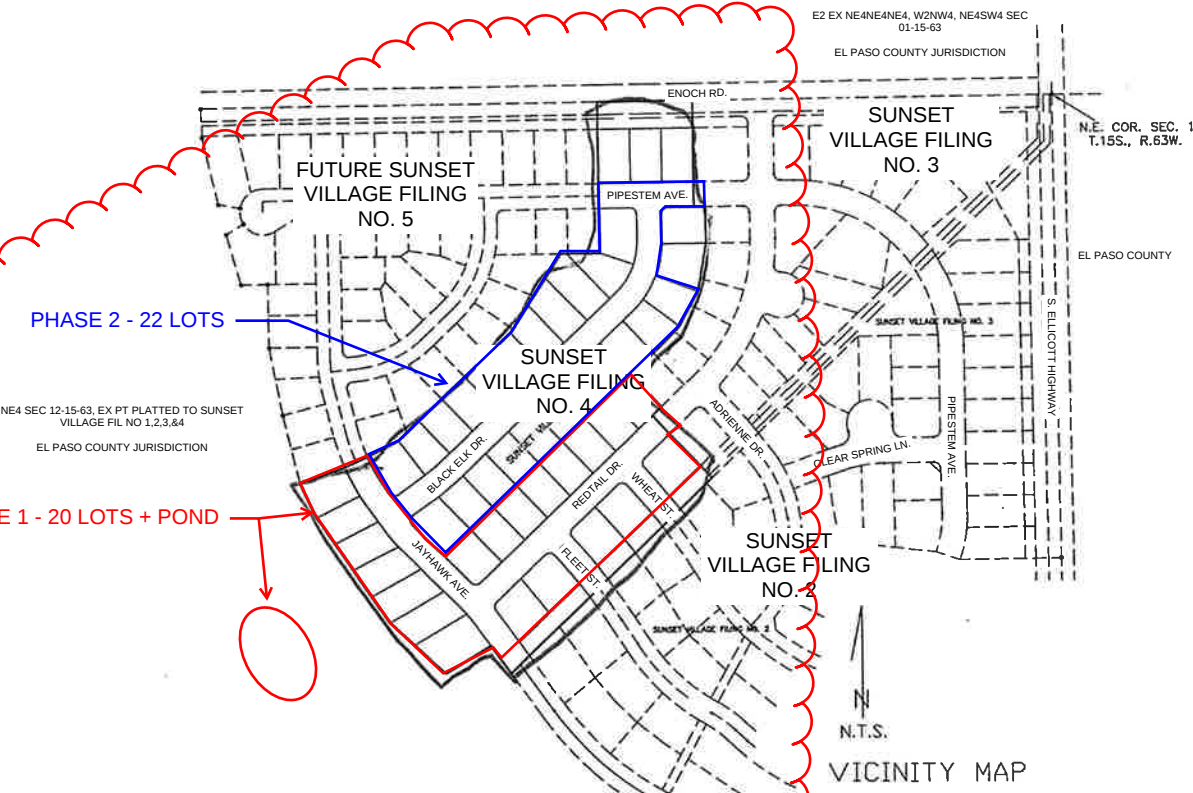
**Civil Engineer**  
Richard Lyon, PE  
Atwell, LLC.  
rlyon@atwell-group.com

Per the County Attorney's Office, a Condition of Approval will be included with the Construction Plans.

Approval will be limited to Phase 1 improvements only.

The Construction Plans will need to be resubmitted for review/approval once the Developer intends to proceed with Phase 2.

Financial Assurances for Phase 2 improvements will be required at that time.



2

**CONSTRUCTION DRAWINGS AMENDMENT, DATED APRIL 4, 2026 BY ENGINEERING LOCAL XPERTS, LLC.**

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- 2) GENERAL NOTES AND DETAILS
- 3) STREET & SANITARY SEWER PLAN (PIPESTEM)
- 4) STREET & SANITARY SEWER PLAN (REDTAIL DRIVE)
- 5) STREET & SANITARY SEWER PLAN (BLACK ELK DRIVE)
- 6) STREET & SANITARY SEWER PLAN (JAYHAWK AVE.)
- 7) STREET PLAN (WHEAT DRIVE)
- 8) STREET PLAN (FLEET STREET)
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- 17) POND PLAN
- 18) POND DETAILS
- 19) POND DETAILS
- 20) REVISED FOREBAY DETAILS
- 21) REVISED OUTLET STRUCTURE DETAILS
- 22) REVISED OUTLET STRUCTURE DETAILS
- 23) DETAILS
- 24) DETAILS
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2

THE FOLLOWING STANDARD DETAILS ARE INCLUDED IN THIS PLAN SET:

EL PASO COUNTY DETAILS:

- EPC DETAIL SD\_2-20 TYPICAL CURB AND GUTTER
- EPC DETAIL SD\_2-26 TYPICAL CROSS PAN LAYOUT
- EPC DETAIL SD\_2-41 PEDESTRIAN INTERSECTION RAMP
- EPC DETAIL SD\_2-42 DETECTABLE WARNING SURFACE
- EPC DETAIL SD\_2-50 PARALLEL PEDESTRIAN CURB RAMP

EROSION CONTROL MEASURES:

- CONCRETE WASHOUT AREA
- VEHICLE TRACKING CONTROL
- ROCK SOCKS
- INLET PROTECTION
- SEEDING AND MULCHING
- STRAW BALE BARRIER / CHECK DAM
- SILT FENCE



4575 GALLEY ROAD SUITE 200  
COLORADO SPRINGS COLORADO  
(719) 597-9900 80915

PROJECT 00-0908 DATE 10-08-01 DRAWN J.L.K.

SHEET 1 OF 22

MODIFIED FOR S.I.A. CD SET  
RICHARD D. LYON, PE  
ATWELL, LLC  
DECEMBER, 2021  
EPC PROJ.: CDR-21-008

REVISION 1: 01/07/2022  
COR218 REVISION 2 (ELX JULY 2026)

### ENGINEER'S STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID DETAILED PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED DRAINAGE PLANS AND SPECIFICATIONS, AND SAID DETAILED PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE MASTER PLAN OF THE DRAINAGE BASIN. SAID DETAILED PLANS AND SPECIFICATIONS MEET THE PURPOSE FOR WHICH THE PARTICULAR DRAINAGE FACILITIES ARE DESIGNED. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED DRAINAGE PLANS AND SPECIFICATIONS.

JOHN P. SCHWAB, P.E. NO. 29891



### DISCLAIMER:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH THE COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

### DEVELOPER'S STATEMENT:

I, RODNEY PRIESSER, THE DEVELOPER HAS READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THIS DRAINAGE REPORT AND PLAN.

BY: *[Signature]*

TITLE: OWNER  
ADDRESS: 90 S. CASCADE AVE. # 950  
COLORADO SPRINGS, CO. 80903

### EL PASO COUNTY:

FILED IN ACCORDANCE WITH SECTION 51.1 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.

*[Signature]* 12-19-01 DATE

CONDITIONS:

### Engineer's Statement:

These detailed plans and specifications were prepared under my direction and supervision. Said plans and specifications have been prepared according to the criteria established by the County for detailed roadway, drainage, grading and erosion control plans and specifications, and said plans and specifications are in conformity with applicable master drainage plans and master transportation plans. Said plans and specifications meet the purposes for which the particular roadway and drainage facilities are designed and are correct to the best of my knowledge and belief. I accept responsibility for any liability caused by any negligent acts, errors or omissions on my part in preparation of these detailed plans and specifications.

*[Signature]* 01-07-2022  
Richard Lyon, P.E. #29921 Date

### Owner/Developer's Statement:

I, the owner/developer have read and will comply with all of the requirements of the grading and erosion control plan and all of the requirements specified in these detailed plans and specifications.

*[Signature]* 01-07-2022  
Scott Van Whye, President  
Sunset Village View, LLC.  
300 Windchime Pl #301, Colorado Springs, CO

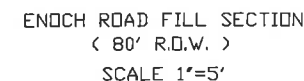
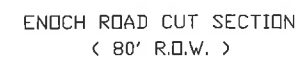
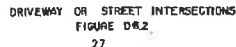
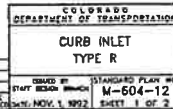
### El Paso County:

County plan review is provided only for general conformance with County Design Criteria. The County is not responsible for the accuracy and adequacy of the design, dimensions, and/or elevations which shall be confirmed at the job site. The County through the approval of this document assumes no responsibility for completeness and/or accuracy of this document.

Filed in accordance with the requirements of the El Paso County Land Development Code, Drainage Criteria Manual, Volumes 1 and 2, and Engineering Criteria Manual as amended.

In accordance with ECM Section 1.12, these construction documents will be valid for construction for a period of 2 years from the date signed by the El Paso County Engineer. If construction has not started within those 2 years, the plans will need to be resubmitted for approval, including payment of review fees at the Planning and Community Development Directors discretion.

Jennifer Irvine, P.E.  
County Engineer / ECM Administrator Date



1. THERE SHALL BE A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF TRANSPORTATION PRIOR TO BEGINNING CONSTRUCTION.
2. ALL DISTURBED AREAS SHALL BE RE-VEGETATED AS SOON AS POSSIBLE TO PREVENT EROSION. SEE NOTE 8.
3. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CRITERIA OF EL PASO COUNTY.
4. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION COLORADO DEPARTMENT OF HIGHWAYS, AND THE ASSOCIATED M&S STANDARDS LATEST EDITIONS, SHALL APPLY TO THIS PROJECT.
5. ADDITIONAL STRUCTURES MAY BE NEEDED AT THE TIME OF CONSTRUCTION.
6. ALL NECESSARY PERMITS SUCH AS A GENERAL CONSTRUCTION NPDES OR OTHERS SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION, AND ANY FEES ASSOCIATED WITH THOSE PERMITS SHALL BE PAID BY THE CONTRACTOR.
7. ALL EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE OMITTED FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD LOCATION AND VERIFICATION OF ALL UTILITIES WITHIN THE LIMITS OF THE PROJECT AREA.
8. SEEDING SHALL INCLUDE SOIL PREPARATION, FERTILIZATION AND MULCHING. THESE WORK ITEMS SHALL NOT BE MEASURED FOR PAYMENT SEPARATELY, BUT SHALL BE INCLUDED IN THE ASSOCIATED WORK. THE FOLLOWING SEED TYPES AND APPLICATION RATES SHALL BE USED:

|                                                                                            |                |
|--------------------------------------------------------------------------------------------|----------------|
| COMMON NAME                                                                                | RATE(LBS/ACRE) |
| SMOOTH BROME                                                                               | 16             |
| BLUE GRAMA                                                                                 | 3.0            |
| TOTAL 19.0                                                                                 |                |
| FERTILIZER: AVAILABLE N-40 LBS./ACRE AVAILABLE P-40 LBS./ACRE MULCHING 2 TONS/ACRE (CRIMP) |                |
9. THE CONTRACTOR SHALL COORDINATE WITH ALL AFFECTED UTILITIES IN REGARD TO LOCATION, ADJUSTMENT OR OTHER MEASURES DURING CONSTRUCTION TO ACCOMPLISH THE WORK IN A TIMELY FASHION WITH MINIMUM DISRUPTION IN SERVICE; SUCH WORK WILL NOT BE MEASURED AND PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE WORK.
10. PAVING WILL NOT BEGIN UNTIL A SOILS REPORT AND PAVEMENT DESIGN IS ACCEPTED BY THE EL PASO COUNTY DEPARTMENT OF TRANSPORTATION AND SUBGRADE COMPACTION TESTS ARE TAKEN AND ACCEPTED BY AN INSPECTOR FOR EL PASO COUNTY.

11. ALL DISTURBED PAVEMENT EDGES SHALL BE CUT TO NEAT LINES. THE THICKNESS OF HBP AND ABC REPAIRS SHALL EQUAL OR EXCEED EXISTING; HOWEVER IT SHALL NOT BE LESS THAN 2 INCHES AND 6 INCHES, RESPECTIVELY.
12. SLOPES STEEPER THAN 3:1 (4% -1) WILL BE REQUIRED TO HAVE A SOIL RETENTION BLANKET.
13. EXISTING PIPE, HBP AND EXCESS EXCAVATION, AS WELL AS UNSUITABLE MATERIAL SHALL BECOME PROPERTY OF THE CONTRACTOR AND THE CONTRACTOR'S RESPONSIBILITY TO DISPOSE OF AT NO ADDITIONAL COST TO THE PROJECT.
14. ALL EXISTING APPURTENANCES AFFECTED BY THE CONSTRUCTION SHALL BE REMOVED AND REPLACED AS NEEDED. ALL SAID APPURTENANCES SHALL BE LEFT IN AS GOOD AS OR BETTER CONDITION THAN EXISTS. SUCH WORK SHALL NOT BE MEASURED AND PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE WORK EXCEPT AS PROVIDED FOR IN THE STANDARD SPECIFICATIONS.
15. TRENCHES OVER 5 FEET IN DEPTH SHALL EITHER BE SHORED OR THE TRENCH WALLS SHALL BE SLOPED AT THE ANGLE OF REPOSE IF SLOPED. THE BOTTOM OF THE SLOPE SHALL BE A MINIMUM OF 1 FOOT ABOVE THE TOP OF PIPE. SLOPING SHALL BE LIMITED TO STAY WITHIN CONSTRUCTION EASEMENT LINES.
16. TOPSOIL SHALL BE REMOVED, AND SUITABLE TOPSOIL STOCKPILED AND REPLACED UPON COMPLETION OF ROUGH GRADING. SUCH WORK SHALL NOT BE MEASURED AND PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE WORK.
17. STORM DRAIN PIPE SHALL BE RCP.
18. STORM SEWER PIPING AND BOX CULVERT BEDDING SHALL BE CLASS 'C'. PIPES ASSOCIATED WITH THE WATER AND SANITARY SEWER SYSTEM SHALL HAVE PIPE BEDDING PLACED PER THE CHEROKEE METROPOLITAN DISTRICT REQUIREMENTS GOVERNING THE INSTALLATION OF WATER AND SANITARY SEWER LINES.
19. 25' BY 25' SIGHT TRIANGLES ARE REQUIRED AT ALL INTERSECTIONS.
20. STREET SIGNAGE IN ACCORDANCE WITH RCD STANDARD SPECIFICATIONS.
21. STREET LIGHTING IF USED, MUST BE LOCATED ON PRIVATE PROPERTY.
22. MAILBOXES SHOULD BE CLUSTERED AND LOCATED 12 FEET FROM ASPHALT.
23. ALL CONCRETE CROSS PANS SHALL BE CONSTRUCTED WITH 8" MINIMUM THICKNESS.
24. CONTRACTOR IS RESPONSIBLE TO ENSURE POSITIVE DRAINAGE (0.5% MINIMUM SLOPE) IN ALL CONCRETE GUTTERS ALONG ROADWAYS. CONTRACTOR SHALL REMOVE AND REPLACE ALL DEVARIANT SECTIONS AT HIS OWN EXPENSE. CONTRACTOR SHALL NOTIFY THE OWNER OF ANY LOCATION FOUND ON THE PLANS BEFORE CONSTRUCTION.
25. USE ~~14"~~ STANDARD ADA HANDICAP RAMPS.

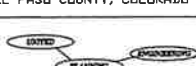


SEE PLANS FOR C&amp;G TYPE



MODIFIED FOR S.I.A. CD SE  
RICHARD D. LYON, PE  
ATWELL, LLC.  
DECEMBER, 2021  
EPC PROJ.: CDR-21-008

|                                                                                       |            |                |                        |
|---------------------------------------------------------------------------------------|------------|----------------|------------------------|
|  | 12/03/2021 | SIA CD UPDATES | RDL                    |
|                                                                                       |            |                |                        |
|                                                                                       |            |                |                        |
|                                                                                       |            |                |                        |
| NO.                                                                                   | DATE       | REVISIONS      | BY:                    |
| SHEET TITLE: GENERAL NOTES AND DETAILS<br>FOR<br>SUNSET VILLAGE FILING NO.4           |            |                | FIELD BOOK NO.         |
| PROJECT: EL PASO COUNTY, COLORADO                                                     |            |                | SCALE:                 |
|                                                                                       |            |                | DATE: 10-12-21         |
|                                                                                       |            |                | DRAWN: JLK             |
|                                                                                       |            |                | CHECKED:               |
|                                                                                       |            |                | DWG. NO-0908           |
|                                                                                       |            |                | PROJECT NO.<br>00-0908 |



4690 GALLEY ROAD SUITE 300  
COLORADO SPRINGS COLORADO  
719-577-8000 JKL

2 of 22 SH

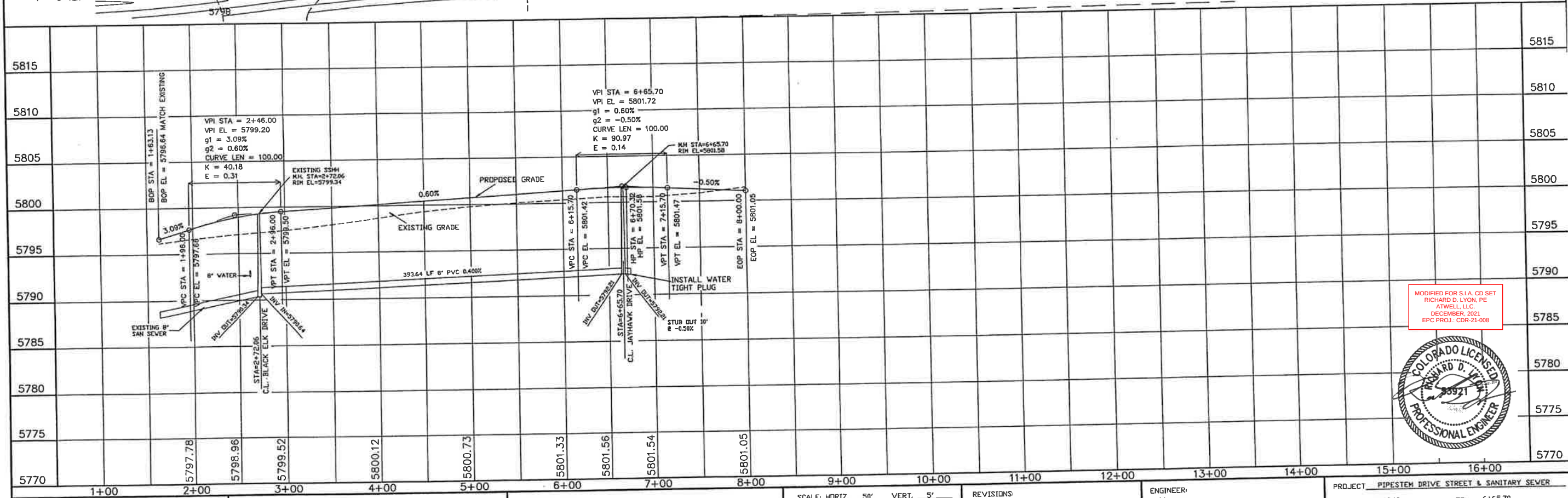
## PHASE 2 (BLACK ELK DRIVE AND PIPESTEM DRIVE)

NOTES:

1. ROUGH CUT ROAD AND CONSTRUCT SANITARY SEWER TO STATION 6+65.70
2. ALL CURB RETURN RADII ARE 15.00'
3. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14

\* CURB AND GUTTER  
MARKED IN THE FIELD TO  
BE REPLACED IN-KIND.  
ESTIMATED TO BE  
APPROXIMATELY 900 LF IN  
TOTAL.

SCALES:  
1" = 50' HOR  
1" = 5' VER



MODIFIED FOR S.I.A. CD SET  
RICHARD D. LYON, PE  
ATWELL, LLC.  
DECEMBER, 2021  
EPC PROJ.: CDR-21-008



STATEMENT:

THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN. THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

REVIEW: \_\_\_\_\_  
STREET DESIGN: \_\_\_\_\_  
ROUGH CUT REVIEW \_\_\_\_\_ DATE \_\_\_\_\_  
FINAL REVIEW \_\_\_\_\_ DATE \_\_\_\_\_  
DRAINAGE BASIN: \_\_\_\_\_

DESIGN DATA:

SIDEWALKS: WIDTH 5'  
LOCATION: Attached ☒  
Detached, 6' from P/L ☐  
CURB TYPE 102030  
R/W WIDTH 60' B/C-B/  
STREET TYPE            HVL

ASPHALT THICKNESS:  
AC Surface TBD  
AC Base \_\_\_\_\_  
AGG. BASE THICKNESS:  
Class 6 \_\_\_\_\_  
Class 5 \_\_\_\_\_  
Class 2 \_\_\_\_\_

SCALE: HORIZ. 50' VERT. 5'  
BENCHMARK: U.S.G.S. BRASS CAP  
114 JK (1953) ELEV=5752.00  
LOCATED AT THE SOUTHEAST CORNE  
OF SECTION 12, T.15S., R.63W.

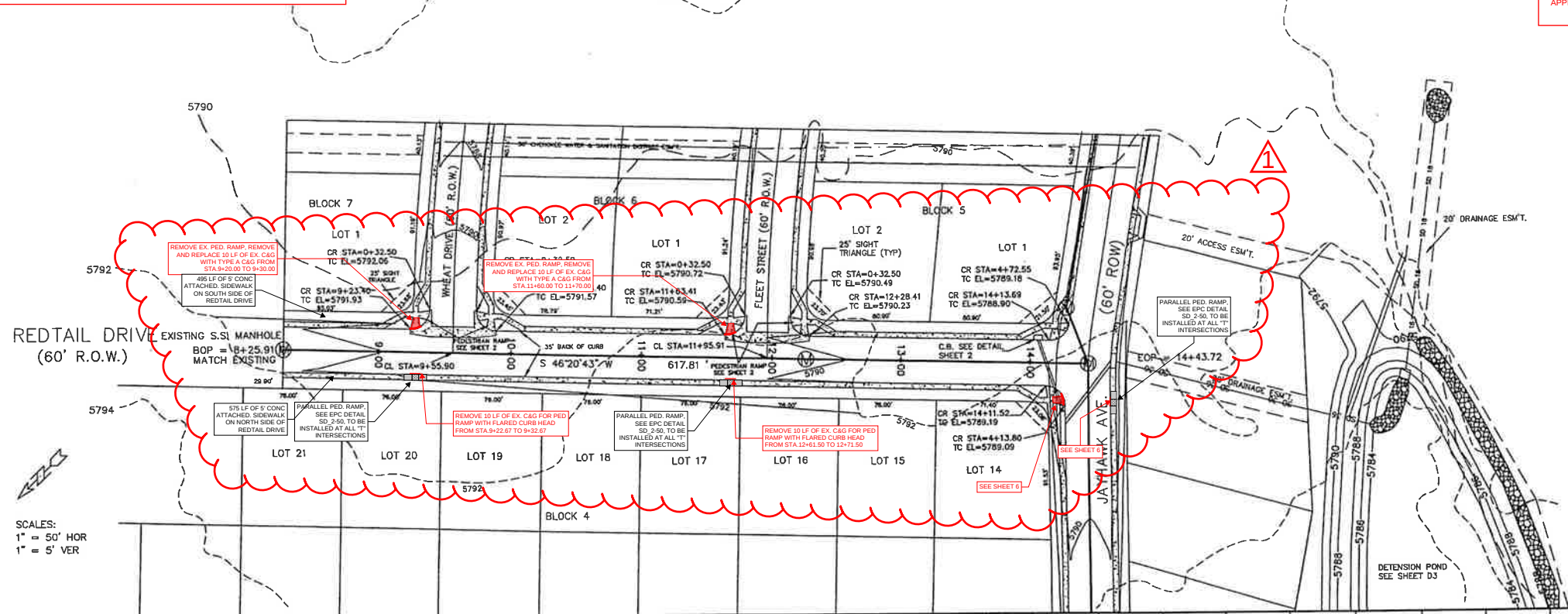
| NO. | DESCRIPTION    | DATE       |
|-----|----------------|------------|
| 1   | SIA CD UPDATES | 01/07/2022 |
|     |                |            |
|     |                |            |
|     |                |            |

ENGINEER:  
UNITED  
PLANNING  
ENGINEERING  
(719) 597-9900  
4575 GALLEY ROAD SUITE 200  
COLORADO SPRINGS, COLORADO 80915

DESIGNED BY: JLK DATE: 1  
DRAWN BY: JLK DATE: 1  
CHECKED BY: TLK DATE: 1

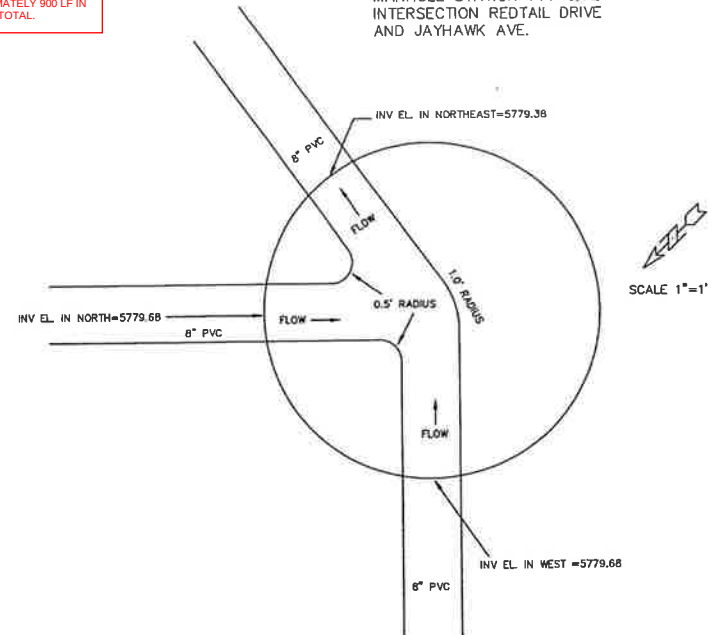
PROJECT PIPESTEM DRIVE STREET & SANITARY SEWER  
FROM 1+63.13 TO 6+65.70  
SUBDIVISION SUNSET VILLAGE FILING NO. 4  
DRAINAGE Basin TELEPHONE EXCHANGE  
JOB NO. D:\PROJECT\J00-0908\RCP\01001.DWG SHEET 3 OF 22

PHASE 1 (REDTAIL DRIVE, WHEAT DRIVE, FLEET STREET, JAYHAWK AVENUE)



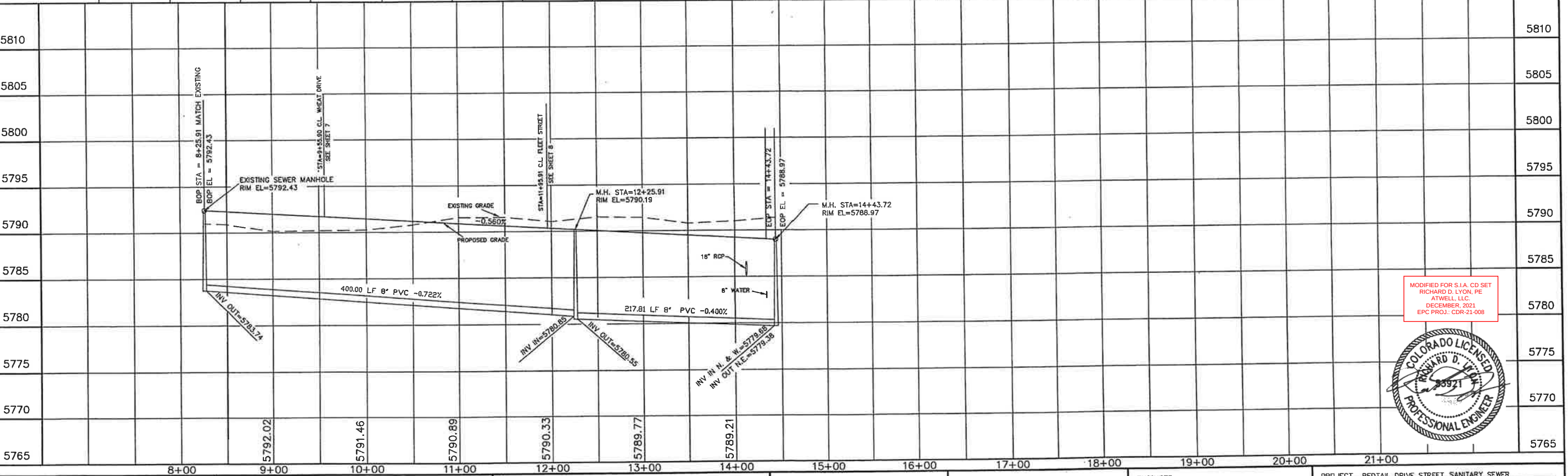
\* CURB AND GUTTER MARKED IN THE FIELD TO BE REPLACED IN-KIND. ESTIMATED TO BE APPROXIMATELY 900 LF IN TOTAL.

DETAIL  
MANHOLE STATION 14+43.72  
INTERSECTION REDTAIL DRIVE AND JAYHAWK AVE.



SCALES:  
1" = 50' HOR  
1" = 5' VER

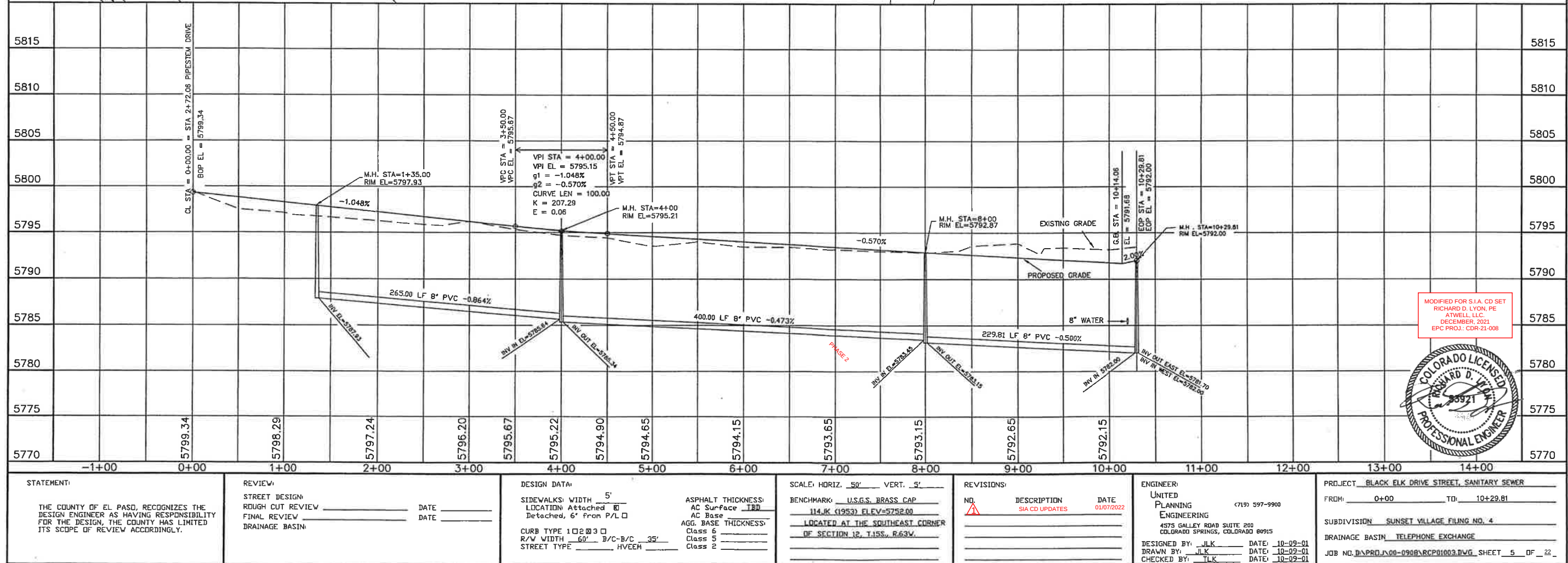
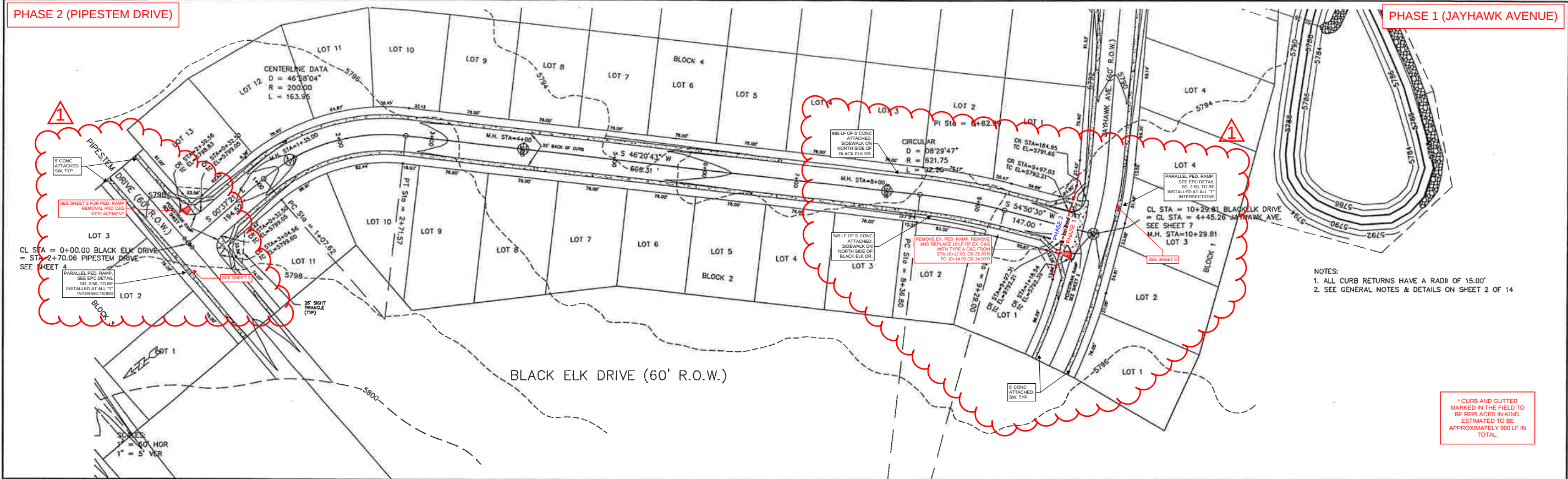
- NOTES:  
1. ALL CURB RETURNS HAVE A RADIUS OF 15.00'  
2. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14



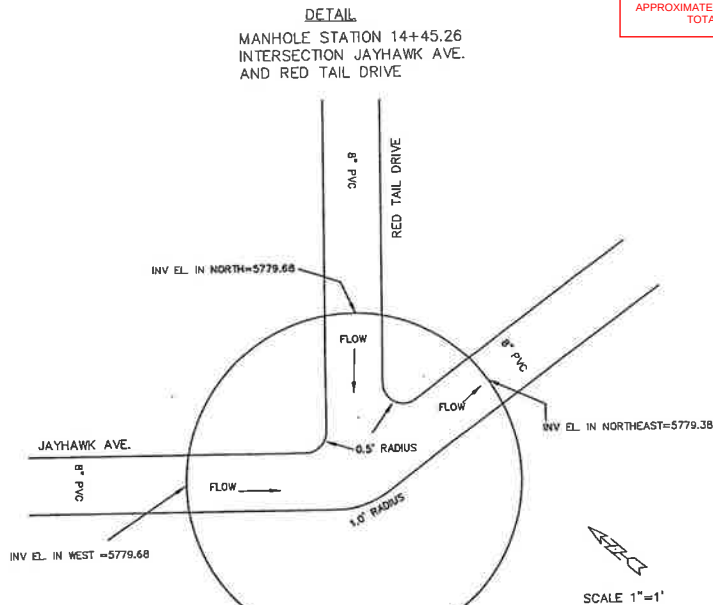
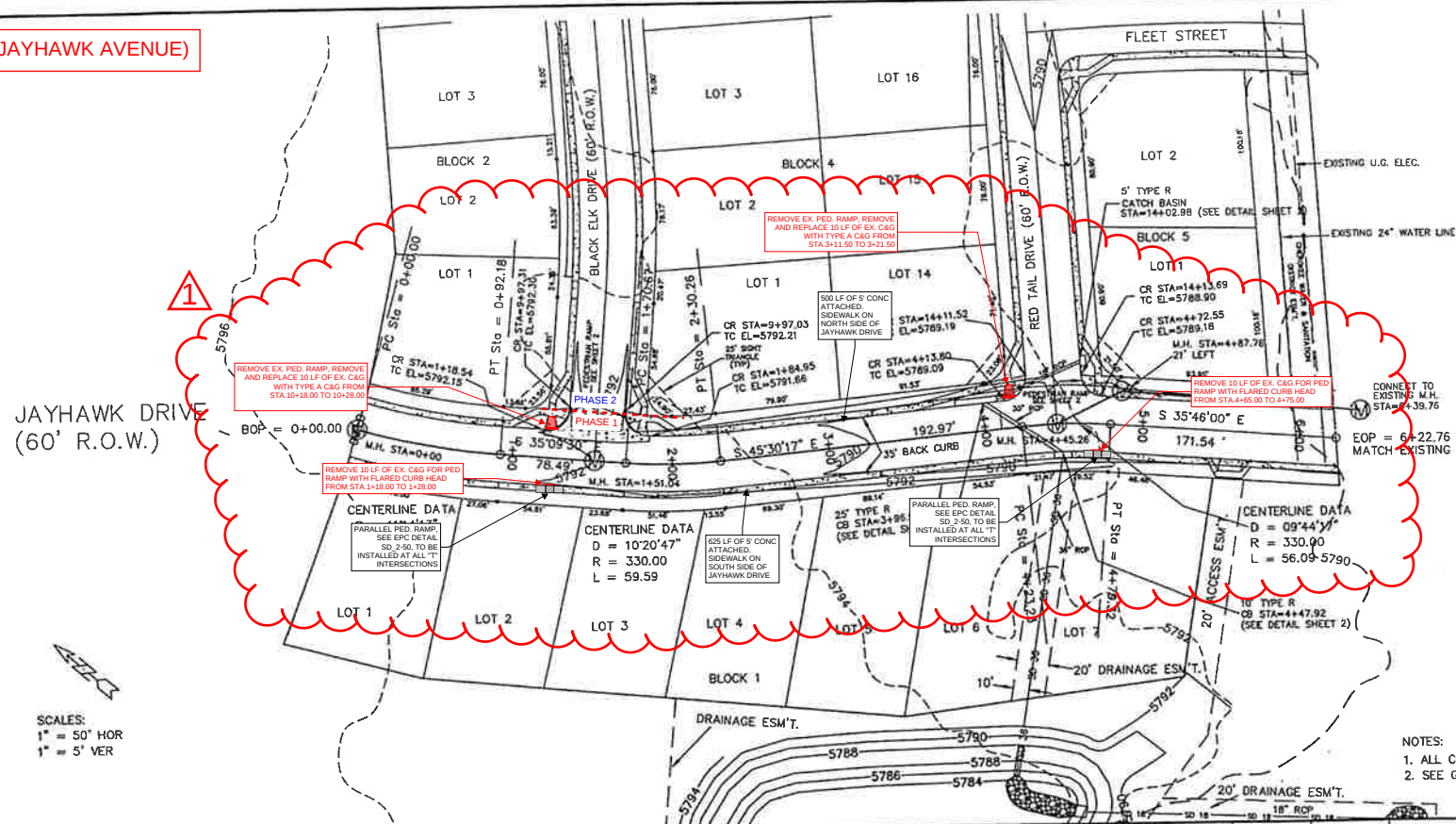
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RICHARD D. LYON, PE  
ATWELL, LLC  
DECEMBER, 2021  
EPC PROJ.: CDR-21-008



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|----------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| STATEMENT:<br>THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN. THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY. | REVIEW:<br>STREET DESIGN _____ DATE _____<br>ROUGH CUT REVIEW _____ DATE _____<br>FINAL REVIEW _____ DATE _____<br>DRAINAGE BASIN _____ | DESIGN DATA:<br>SIDEWALKS WIDTH 5'<br>LOCATION: Attached <input checked="" type="checkbox"/> Detached, 6' from P/L <input type="checkbox"/><br>CURB TYPE 102030<br>R/W WIDTH 60' B/C-B/C 35'<br>STREET TYPE _____<br>ASPHALT THICKNESS:<br>AC Surface 1BD<br>AC Base _____<br>AGG. BASE THICKNESS:<br>Class 6 _____<br>Class 5 _____<br>Class 2 _____ | SCALE: HORIZ. 50' VERT. 5'<br>BENCHMARK: U.S.G.S. BRASS CAP<br>114 JK (1953) ELEV=5752.00<br>LOCATED AT THE SOUTHEAST CORNER OF SECTION 12, T15S, R63W. | REVISIONS:<br>NO. DESCRIPTION DATE<br>1 SIA CD UPDATES 01/07/2022 | ENGINEER:<br>UNITED PLANNING ENGINEERING<br>4575 GALLEY ROAD SUITE 200<br>COLORADO SPRINGS, COLORADO 80915<br>DESIGNED BY: JLK DATE: 10-09-01<br>DRAWN BY: JLK DATE: 10-09-01<br>CHECKED BY: TLK DATE: 10-09-01 | PROJECT: REDTAIL DRIVE STREET, SANITARY SEWER<br>FROM: 8+25.91 TO: 14+43.72<br>SUBDIVISION: SUNSET VILLAGE FILING NO. 4<br>DRAINAGE BASIN: TELEPHONE EXCHANGE<br>JOB NO. D:\PROJ\A00-0908\RCP01002.DWG SHEET 4 OF 22 |
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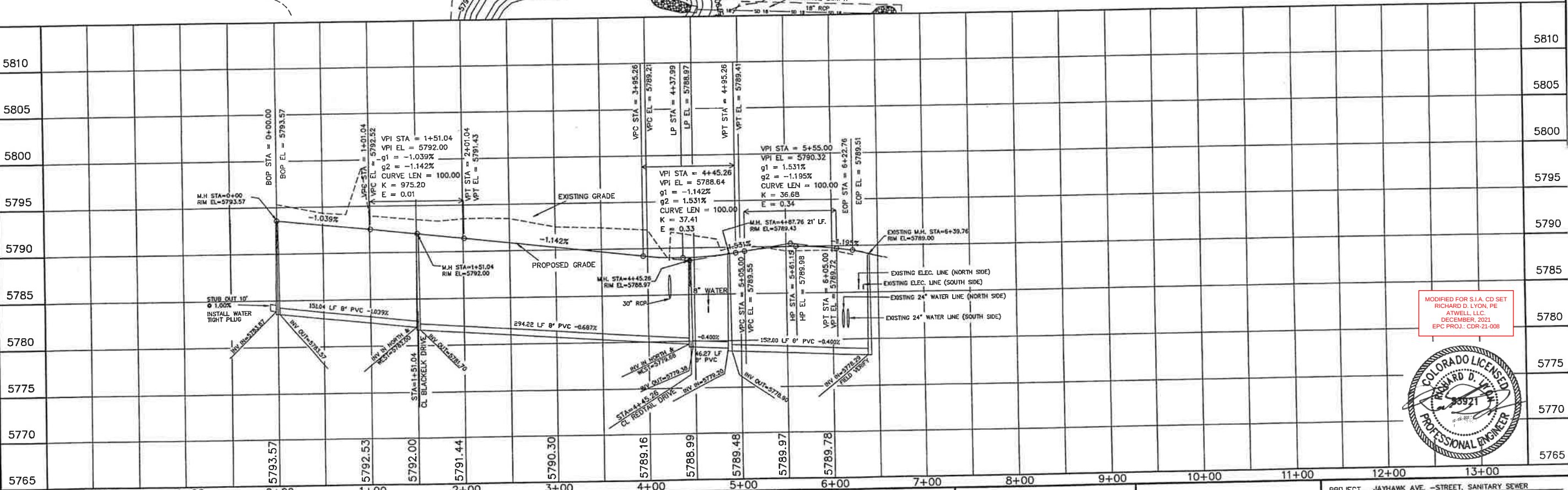


PHASE 1 (JAYHAWK AVENUE)



\* CURB AND GUTTER  
MARKED IN THE FIELD TO  
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ESTIMATED TO BE  
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- NOTES:
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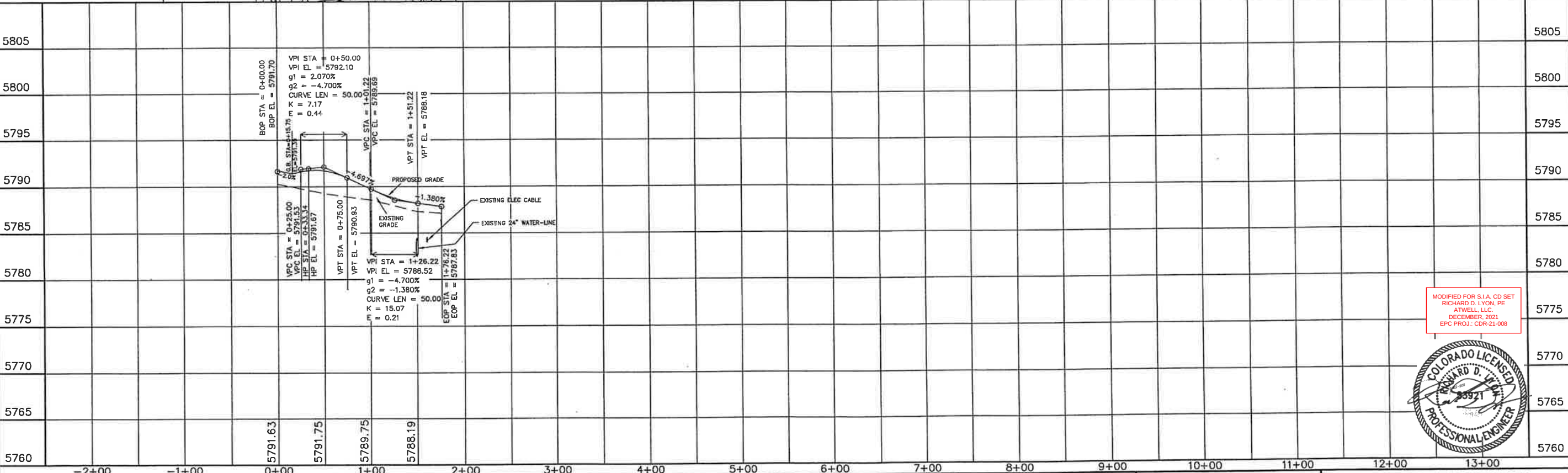
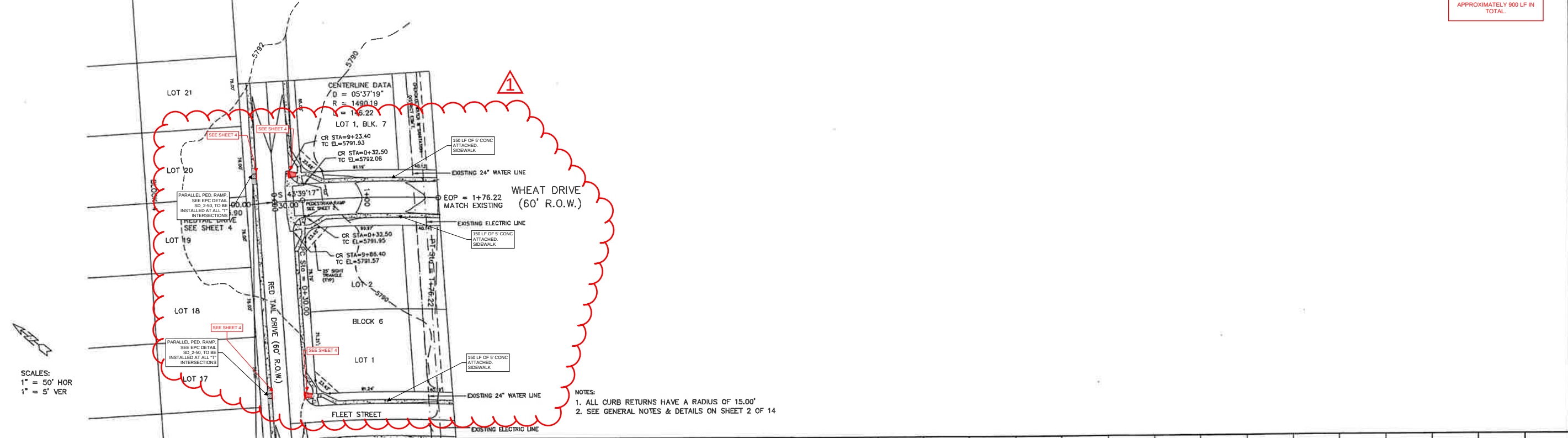
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|                                                                                                                                                                      |                                                                                                                 |                                                                                                                                                                                                                                                                         |                                                                                                                                                        |                                                                   |                                                                                                                                                                                                                                         |                                                                                                                                                                                                                   |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
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|----------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

PHASE 1 (REDTAIL DRIVE, WHEAT DRIVE, FLEET STREET, JAYHAWK AVENUE)

\* CURB AND GUTTER MARKED IN THE FIELD TO BE REPLACED IN-KIND. ESTIMATED TO BE APPROXIMATELY 900 LF IN TOTAL.



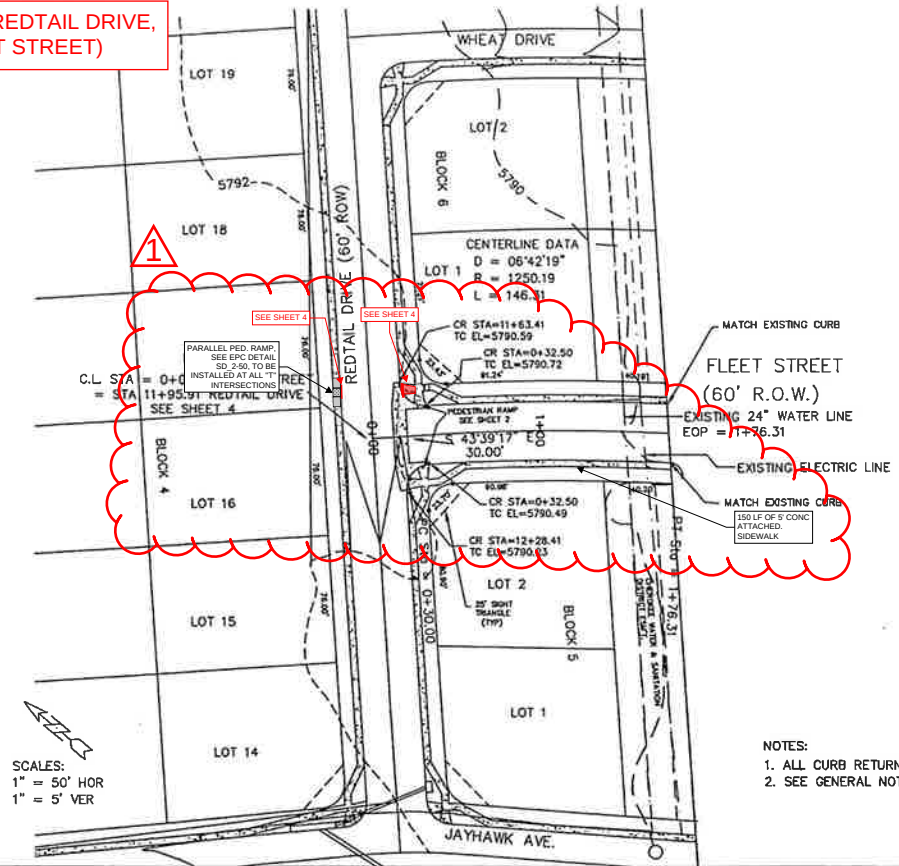
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ATWELL, LLC  
DECEMBER, 2021  
EPC PROJ: CDR-21-008



|                                                                                                                                                                      |                                                                                                                                         |                                                                                                                                                                                                                                                                                                     |                                                                                                                                                           |                                                                   |                                                                                                                                                                                                                 |                                                                                                                                                                                                                  |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| STATEMENT:<br>THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN. THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY. | REVIEW:<br>STREET DESIGN _____ DATE _____<br>ROUGH CUT REVIEW _____ DATE _____<br>FINAL REVIEW _____ DATE _____<br>DRAINAGE BASIN _____ | DESIGN DATA:<br>SIDEWALKS: WIDTH 5'<br>LOCATION: Attached to Detached, 6' from P/LD<br>CURB TYPE 102030<br>R/W WIDTH 60' B/C-B/C 35'<br>STREET TYPE _____ HVEEM _____<br>ASPHALT THICKNESS: AC Surface 180<br>AC Base _____<br>AGG. BASE THICKNESS: Class 6 _____<br>Class 5 _____<br>Class 2 _____ | SCALE: HORIZ. 50' VERT. 5'<br>BENCHMARK: U.S.G.S. BRASS CAP<br>114JK (1953) ELEV=5752.00<br>LOCATED AT THE SOUTHEAST CORNER OF SECTION 12, T.15S., R.63W. | REVISIONS:<br>NO. DESCRIPTION DATE<br>1 SIA CD UPDATES 01/07/2022 | ENGINEER:<br>UNITED PLANNING ENGINEERING<br>4575 GALLEY ROAD SUITE 200<br>COLORADO SPRINGS, COLORADO 80915<br>DESIGNED BY: JLK DATE: 10-02-01<br>DRAWN BY: JLK DATE: 10-02-01<br>CHECKED BY: TLK DATE: 10-02-01 | PROJECT: WHEAT DRIVE - STREET, SANITARY SEWER<br>FROM: 0+00 TO: 1+76.22<br>SUBDIVISION: SUNSET VILLAGE FILING NO. 4<br>DRAINAGE BASIN: TELEPHONE EXCHANGE<br>JOB NO. B:\PROJ\A00-0908\RCP01005.DWG SHEET 7 OF 15 |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

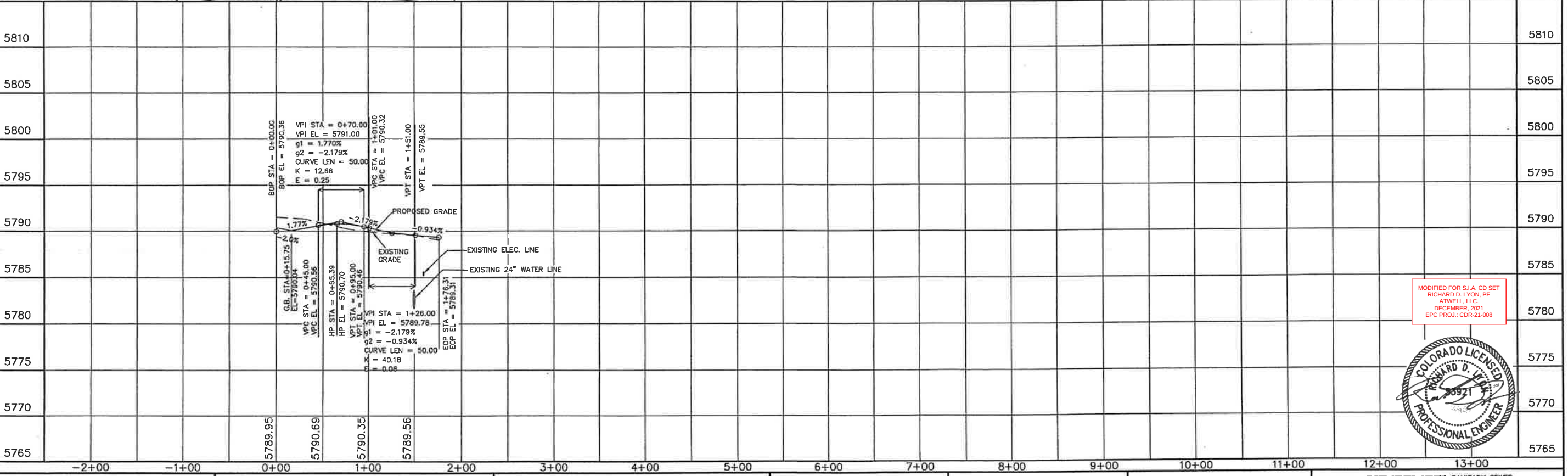
PHASE 1 (REDTAIL DRIVE, FLEET STREET)

\* CURB AND GUTTER MARKED IN THE FIELD TO BE REPLACED IN-KIND. ESTIMATED TO BE APPROXIMATELY 900 LF IN TOTAL.



SCALES:  
1" = 50' HOR  
1" = 5' VER

- NOTES:  
1. ALL CURB RETURNS HAVE A RADIUS OF 15.00'  
2. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14

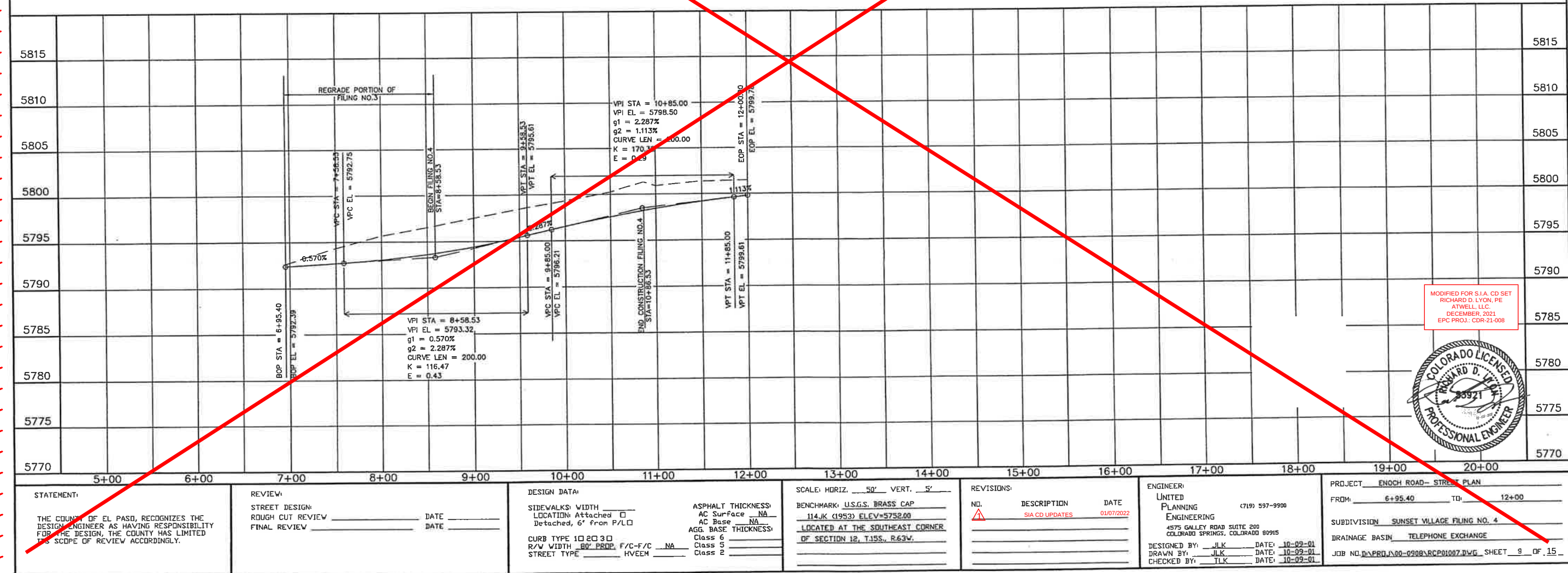
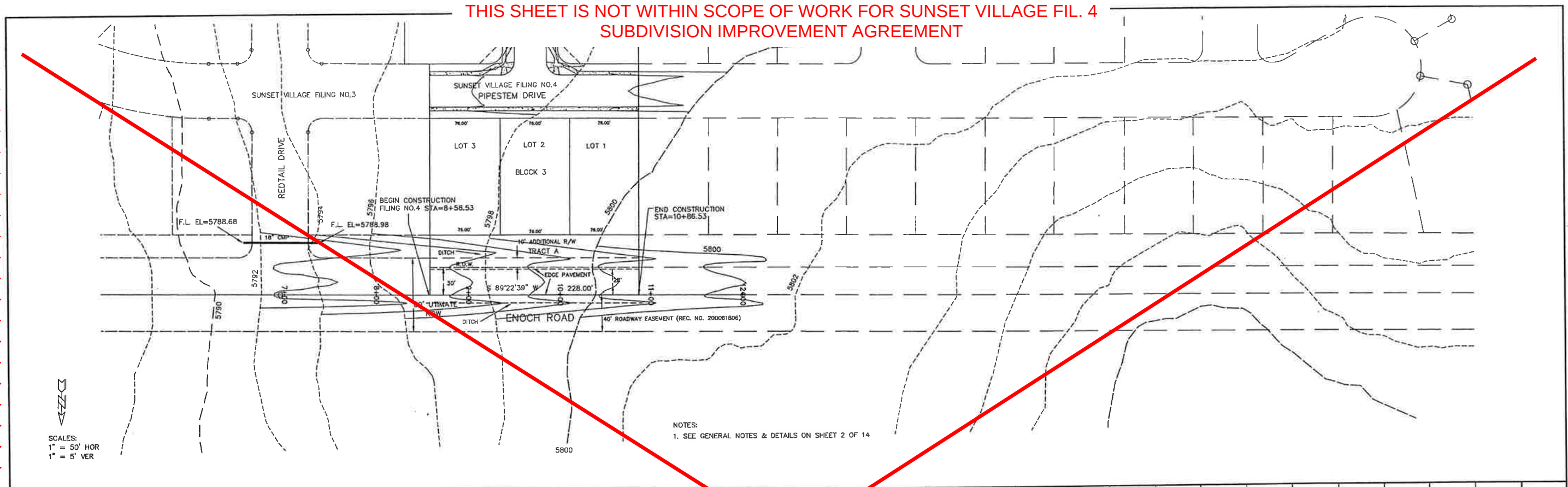


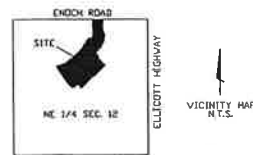
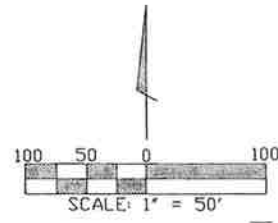
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DECEMBER, 2021  
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|                                                                                                                                                                      |                                                                                                                                          |                                                                                                                                                                                                                                                                                                       |                                                                                                                                                           |                                                                   |                                                                                                                                                                                                                                         |                                                                                                                                                                                                                  |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| STATEMENT:<br>THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN, THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY. | REVIEW:<br>STREET DESIGN _____ DATE _____<br>ROUGH CUT REVIEW _____ DATE _____<br>FINAL REVIEW _____ DATE _____<br>DRAINAGE BASIN: _____ | DESIGN DATA:<br>SIDEWALKS: WIDTH 5'<br>LOCATION: Attached to Detached, 6' from P/LD<br>CURB TYPE 10 20 30<br>R/W WIDTH 60' B/C-B/C 35'<br>STREET TYPE _____ HVEEM _____<br>ASPHALT THICKNESS: AC Surface 180<br>AC Base _____<br>AGG. BASE THICKNESS: Class 6 _____<br>Class 5 _____<br>Class 2 _____ | SCALE: HORIZ. 50' VERT. 5'<br>BENCHMARK: U.S.G.S. BRASS CAP<br>114 JK (1953) ELEV=5752.00<br>LOCATED AT THE SOUTHEAST CORNER OF SECTION 12, T.15S, R.63W. | REVISIONS:<br>NO. DESCRIPTION DATE<br>1 SIA CD UPDATES 01/07/2022 | ENGINEER:<br>UNITED PLANNING ENGINEERING (719) 597-9900<br>4575 GALLEY ROAD SUITE 200<br>COLORADO SPRINGS, COLORADO 80915<br>DESIGNED BY: J.L.K. DATE: 10-09-01<br>DRAWN BY: J.L.K. DATE: 10-09-01<br>CHECKED BY: T.L.K. DATE: 10-09-01 | PROJECT: FLEET STREET-STREET, SANITARY SEWER<br>FROM: 0+00 TO: 1+76.31<br>SUBDIVISION: SUNSET VILLAGE FILING NO. 4<br>DRAINAGE BASIN: TELEPHONE EXCHANGE<br>JOB NO. D:\PROJ\100-0908\RCPE01006.DWG SHEET 8 OF 15 |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

THIS SHEET IS NOT WITHIN SCOPE OF WORK FOR SUNSET VILLAGE FIL. 4  
SUBDIVISION IMPROVEMENT AGREEMENT





WATER STATEMENT  
THE UNDERSIGNED OWNER/DEVELOPER AGREES THAT THE INSTALLATION OF THESE PROPOSED WATER FACILITIES WILL BE MADE IN ACCORDANCE WITH CHEROKEE METROPOLITAN DISTRICT SPECIFICATIONS  
AND SHALL PROVIDE A MINIMUM OF FIVE (5) FEET AND A MAXIMUM OF SIX (6) FEET OF COVER OVER THE WATER MAINS. ANY CHANGES REQUIRED TO MEET THE ABOVE STIPULATION SHALL BE AT THE EXPENSE OF THE OWNER/DEVELOPER. COVER IN EXCESS OF SIX(6) FEET SHALL BE SUPPORTED BY PLAN AND PROFILE DRAWINGS APPROVED BY THE CHEROKEE METROPOLITAN DISTRICT.

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO THE CHEROKEE METROPOLITAN DISTRICT WATER SPECIFICATIONS. THE NUMBER OF HYDRANTS AND HYDRANT LOCATIONS AS SHOWN ON THIS WATER INSTALLATION PLAN ARE CORRECT AND ADEQUATE TO SATISFY THE FIRE PROTECTION REQUIREMENTS AS SPECIFIED BY THE ELLICOTT FIRE PROTECTION DISTRICT.

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_  
ELLCOTT FIRE PROTECTION DISTRICT

WATER INSTALLATION CORROSION CONTROL REQUIREMENTS:  
NONE REQUIRED

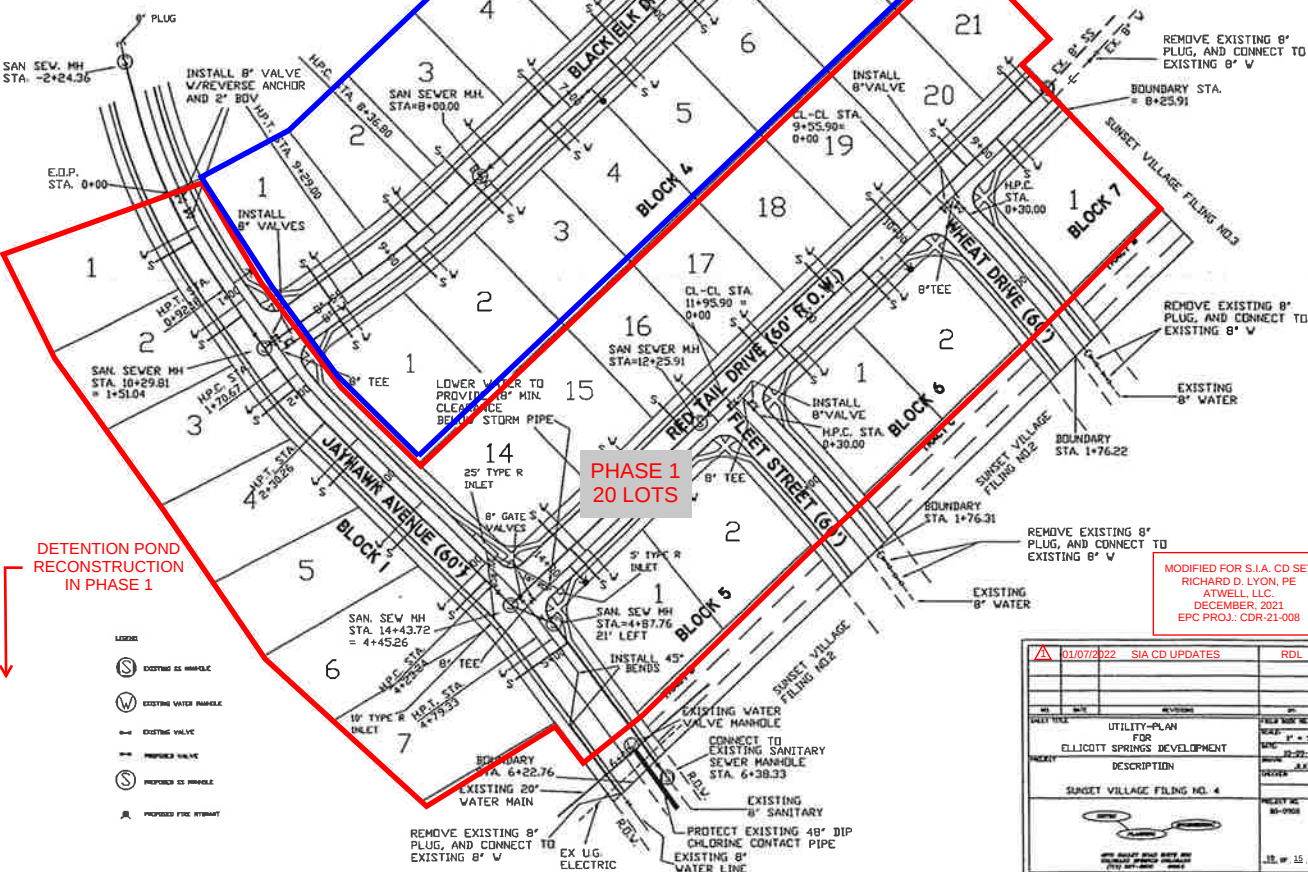
ALL FIRE HYDRANT AND FUTURE SERVICE STUBS HAVE BEEN LOCATED BY THE DEVELOPER OR HIS ENGINEER. ANY REQUIRED REALIGNMENT, EITHER HORIZONTAL OR VERTICAL, SHALL BE AT THE EXPENSE OF THE DEVELOPER. ALSO, ANY STUBS AND APPURTENANCES NOT USED AS PROPOSED SHALL BE REMOVED AND REPLACED WITH AN ACCEPTABLE SECTION OF PIPE AT THE EXPENSE OF THE DEVELOPER. THE CONTRACTOR IS REQUIRED TO NOTIFY THE CHICAGO DEPARTMENT OF PUBLIC WORKS, DIVISION OF WATER, 120 N. LAKE STREET, CHICAGO, ILL. 60602, AT LEAST FIVE (5) DAYS PRIOR TO BEGINNING CONSTRUCTION. IF THIS PROJECT INVOLVES A TAP, DO NOT CALL TO SCHEDULE THE TAP UNTIL THE ENGINEERING INSPECTION NOTIFICATION HAS BEEN MADE.

NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB.
2. ALL SPOT ELEVATIONS ARE FACE OF CURB AT FLOWLINE.
3. ALL BENDS SHALL BE FIELD STAKED PRIOR TO CONSTRUCTION.
4. FIRE HYDRANT ASSEMBLY SHALL INCLUDE LATERAL PIPING, GATE VALVE, CONCRETE THRUST REACTION BLOCK AND ANY REQUIRED FITTINGS.
5. MAINTAIN TEN (10) FOOT MINIMUM HORIZONTAL DISTANCE BETWEEN WATER MAIN AND SANITARY SEWER MAIN.

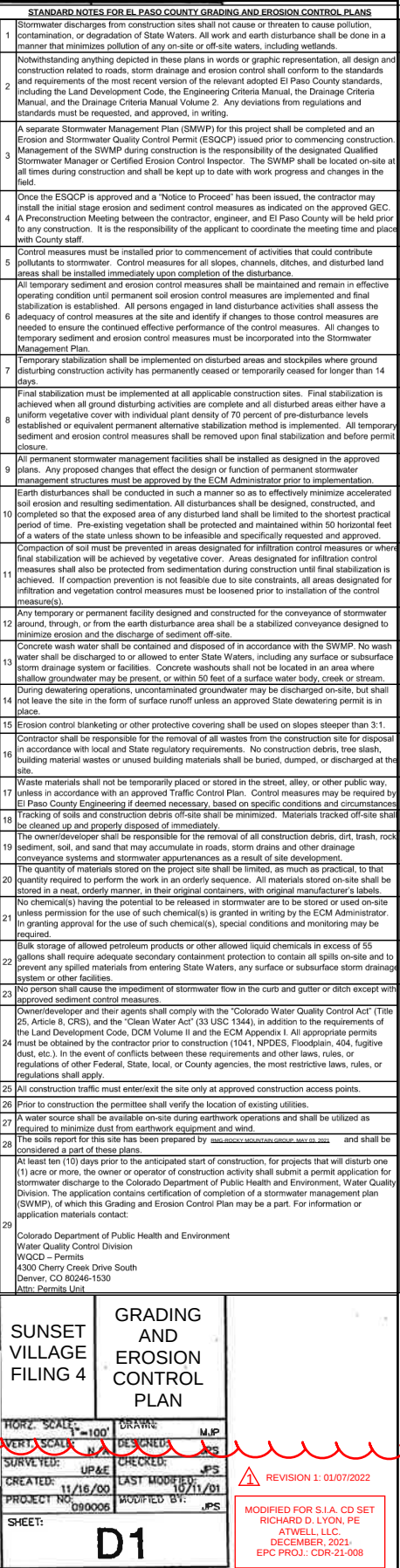
- GAS AND OTHER UTILITY LINES SHOWN ON CONSTRUCTION PLANS
- UTILITIES UNDERGROUND LOCATING-CALL AT LEAST TWO (2)
- BUSINESS DAYS AHEAD 1-800-922-1987.
- UTILITIES MARKED AND LOCATED ON THE GROUND
- EMPLOYEES BRIEFED ON MARKING AND COLOR CODES
- EMPLOYEES TRAINED ON EXCAVATION AND SAFETY PROCEDURES FOR NATURAL GAS LINES
- WHEN EXCAVATION APPROACHES GAS LINES, EMPLOYEES MUST EXPOSE LINES BY CAREFUL PROBING AND HAND DIGGING

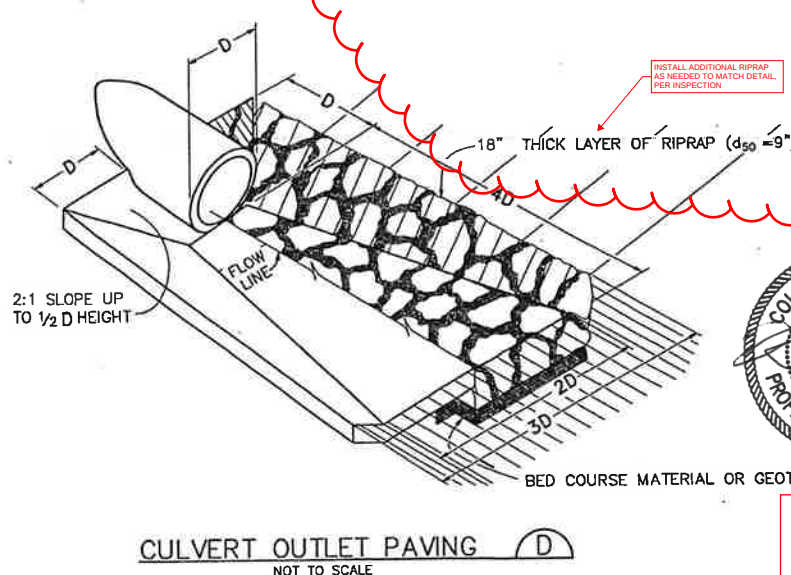
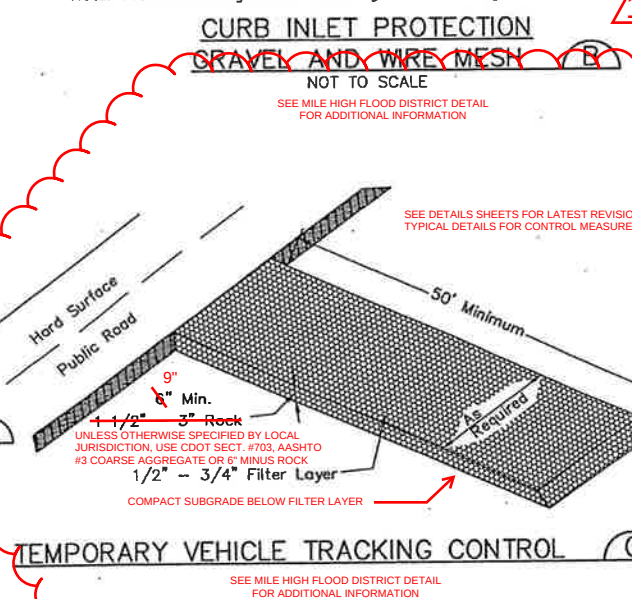
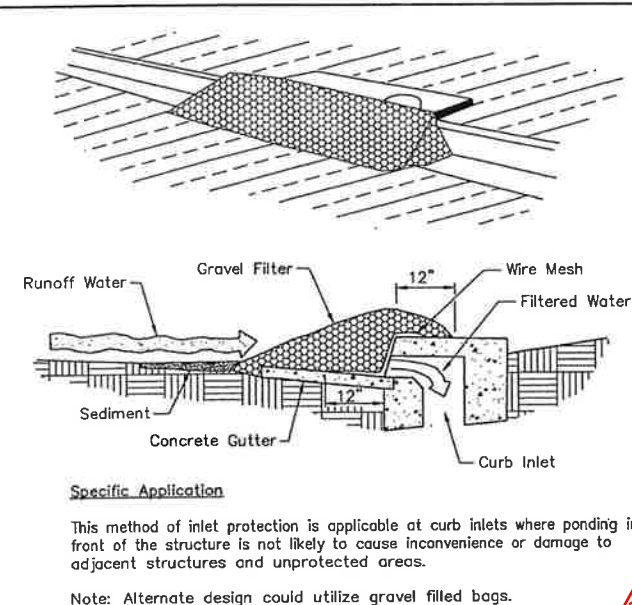
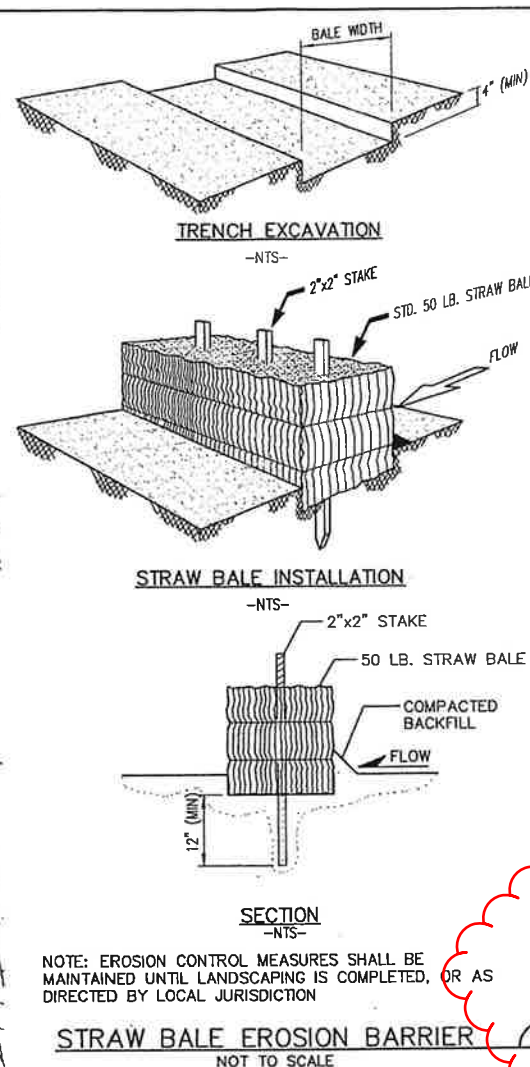
CHEROKEE METROPOLITAN DISTRICT



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RICHARD D. LYON, PE  
ATWELL, LLC.  
DECEMBER, 2021  
EPC PROJ.: CDR-21-008

|                                                                                       |            |                                                                                       |                         |
|---------------------------------------------------------------------------------------|------------|---------------------------------------------------------------------------------------|-------------------------|
|  | 01/07/2022 | SIA CD UPDATES                                                                        | RDJ                     |
|                                                                                       |            |                                                                                       |                         |
|                                                                                       |            |                                                                                       |                         |
| NO                                                                                    | DATE       | DESCRIPTION                                                                           | BY                      |
|                                                                                       |            | UTILITY-PLAN<br>FOR<br>ELICOTT SPRINGS DEVELOPMENT                                    |                         |
| PRIORITY                                                                              |            | DESCRIPTION                                                                           |                         |
|                                                                                       |            | SUNSET VILLAGE FILING NO. 4                                                           |                         |
|                                                                                       |            |  |                         |
|                                                                                       |            | <p>ANY REQUEST MADE MUST BE<br/>FORWARDED THROUGH PROJECT<br/>FILE TO THE OWNER</p>   |                         |
|                                                                                       |            |                                                                                       | PRIORITY NO.<br>80-0108 |
|                                                                                       |            |                                                                                       | JL W 15                 |





Sanitary Sewerage System Plan View

Stationing: 7+00 to 13+00

Key Features:

- DETENTION POND
- STORM OUTFALL 36" RCP FES STA. 9+67.00 INV. OUT=5784.00
- EXIST. GRADE @ PIPE C
- 60 LF 30" RCP @ 0.28%
- 64 LF 18" RCP @ 0.31%
- 202 LF 36" RCP @ 0.19%
- 10" TYPE R INLET B2 FL=5788.53 INV. IN=5784.49 INV. OUT=5784.19
- 25" TYPE R INLET B7 FL=5788.50 INV. IN=5784.76 INV. OUT=5784.66
- 15" TYPE R INLET B8 FL=5788.30 INV. OUT=5784.96
- PROP. GRADE @ PIPE C
- 18" MIN. CLEAR
- 8" SS CROSSING
- 8" WT CROSSING
- 8" SS CROSSING
- 8" WT CROSSING

NOTE: WATER LINES SHALL BE LOWERED AS REQUIRED TO PROVIDE MINIMUM 18" CLEARANCE BELOW STORM SEWER



**JPS**  
ENGINEERING

518 N. Nevada Ave.  
Suite 303  
Colorado Springs, CO  
80903

PH: 719-477-9429  
FAX: 719-471-0766

SUNSET VILLAGE – FILING NO. 4

# STORM DRAIN PLAN & PROFILE

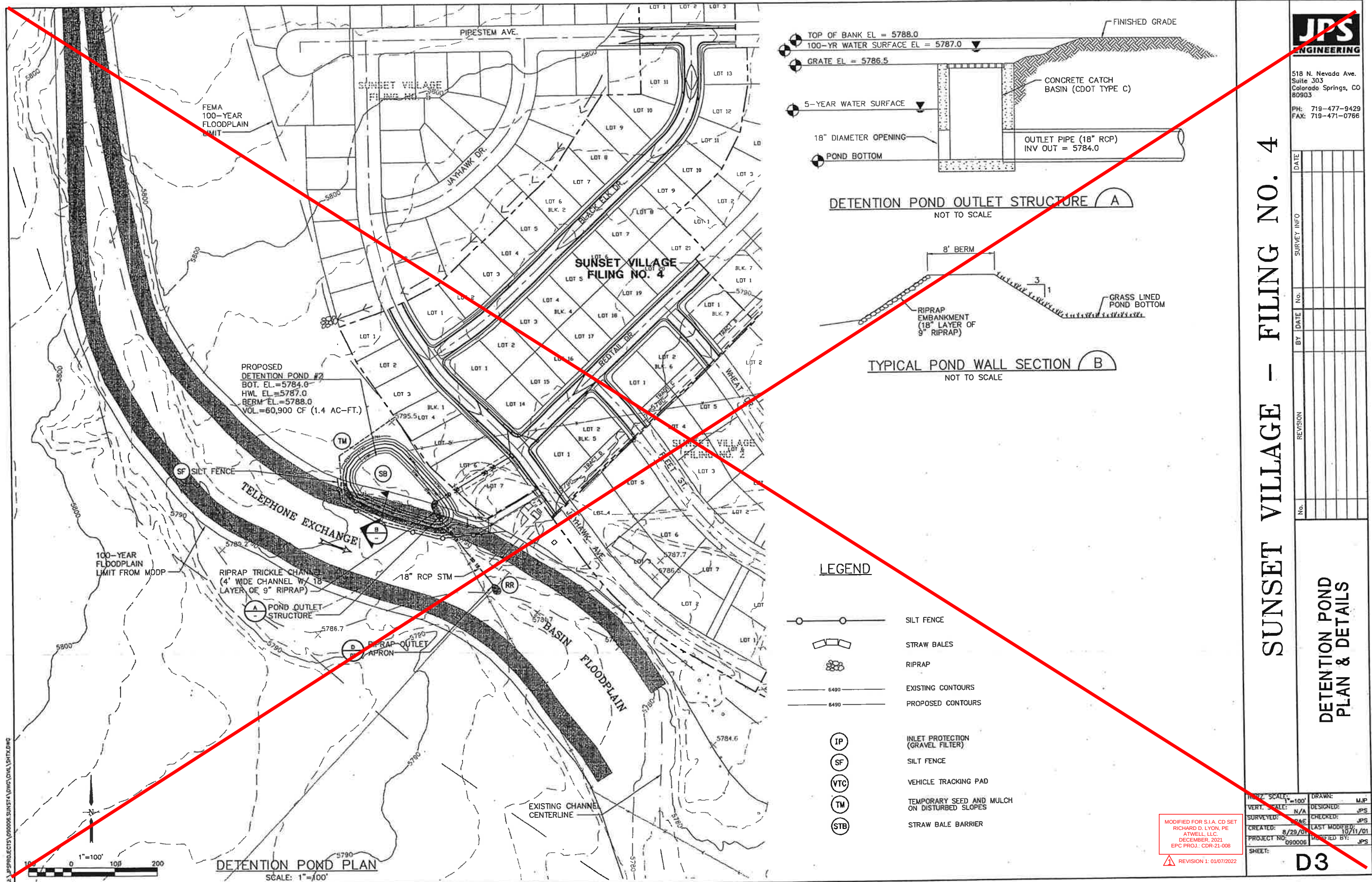
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|               |         |                |          |
|---------------|---------|----------------|----------|
| HORIZ. SCALE: | 1"=50'  | DRAWN:         | MA       |
| VERT. SCALE:  | 1"=5'   | DESIGNED:      | JP       |
| SURVEYED:     | UP&E    | CHECKED:       | JP       |
| CREATED:      | 2/26/01 | LAST MODIFIED: | 10/11/01 |
| PROJECT NO:   | 090006  | MODIFIED BY:   | JP       |
| SHEET:        |         |                |          |

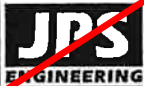
D2

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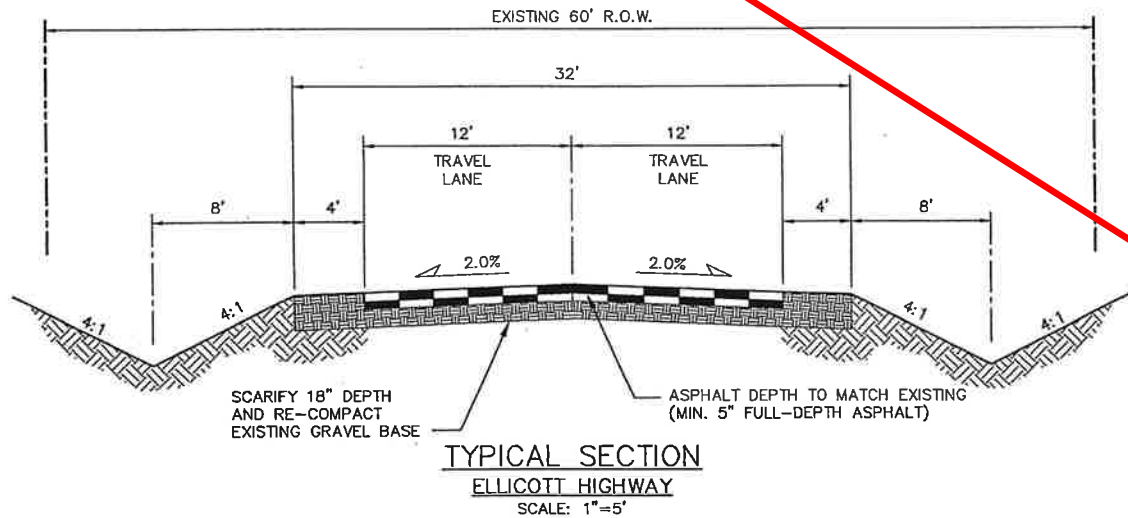
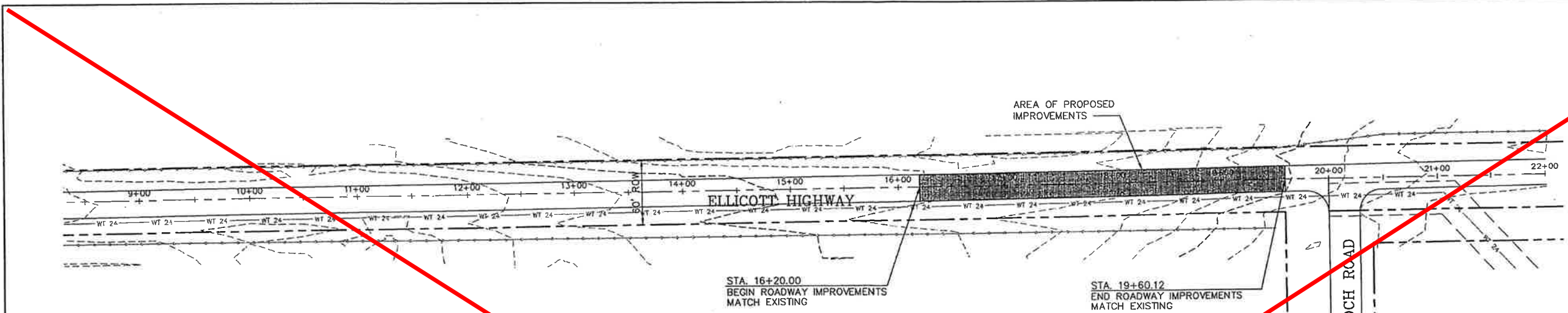
1 REVISION 1: 01/07/2022



THIS SHEET IS NOT WITHIN SCOPE OF WORK FOR SUNSET VILLAGE FIL. 4  
SUBDIVISION IMPROVEMENT AGREEMENT

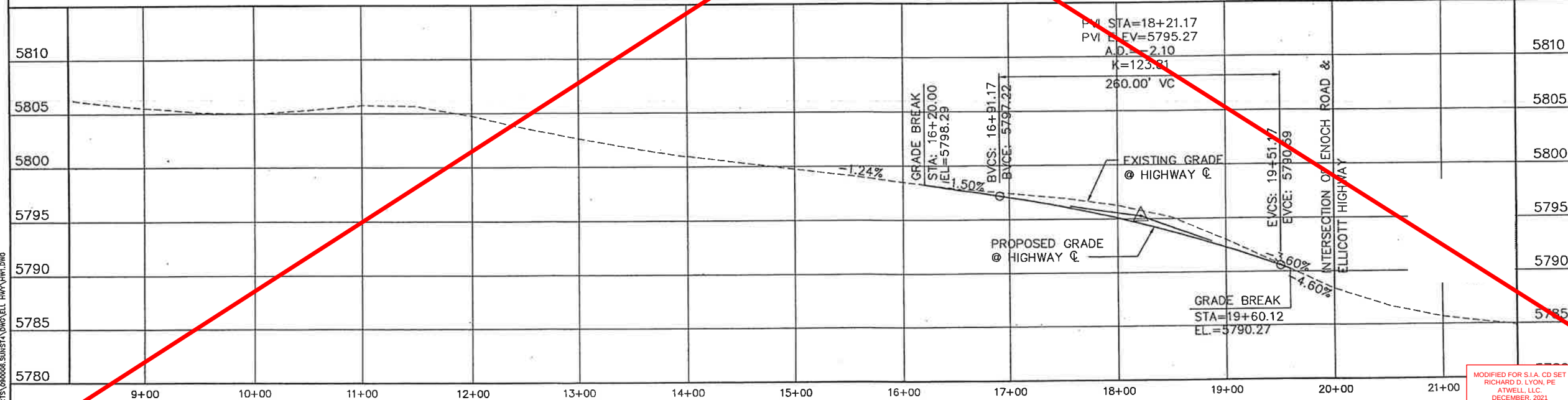
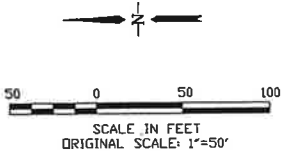


518 N. Nevada Ave.  
Suite 303  
Colorado Springs, CO  
80903  
PH: 719-477-9429  
FAX: 719-471-0766



GENERAL NOTES

1. CONFORM TO EL PASO COUNTY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
2. THE CONTRACTOR SHALL CONTACT ALL UTILITIES FOR LOCATIONS TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AS A RESULT OF HIS ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF THE UTILITY.
4. CONTRACTOR SHALL SUBMIT DETAILED TRAFFIC CONTROL PLANS AND OBTAIN PERMITS AS REQUIRED BY EL PASO COUNTY.
5. PROVIDE REQUIRED SIGNING AND TRAFFIC CONTROL DEVICES MEETING MUTCD, CDOT, AND EL PASO COUNTY STANDARDS.
6. CONTRACTOR SHALL FIELD VERIFY GRADES TO ENSURE POSITIVE DRAINAGE TRANSITION TO ADJACENT PAVEMENT.
7. REMOVE & DISPOSE OF EXISTING ASPHALT WITHIN LIMITS OF PROPOSED WORK.
8. ROADSIDE DITCHES SHALL BE RESTORED TO THE ORIGINAL CONDITION. DITCH RESTORATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
9. NEW PAVEMENT ON ELLICOTT HIGHWAY SHALL BE TAPERED INTO EXISTING PAVEMENT WITH FINE MIX ASPHALT.
10. CONTRACTOR SHALL TAKE CORE SAMPLES ON AN UNDISTURBED SECTION OF ELLICOTT HIGHWAY TO DETERMINE EXISTING ASPHALT AND GRAVEL BASE THICKNESS.



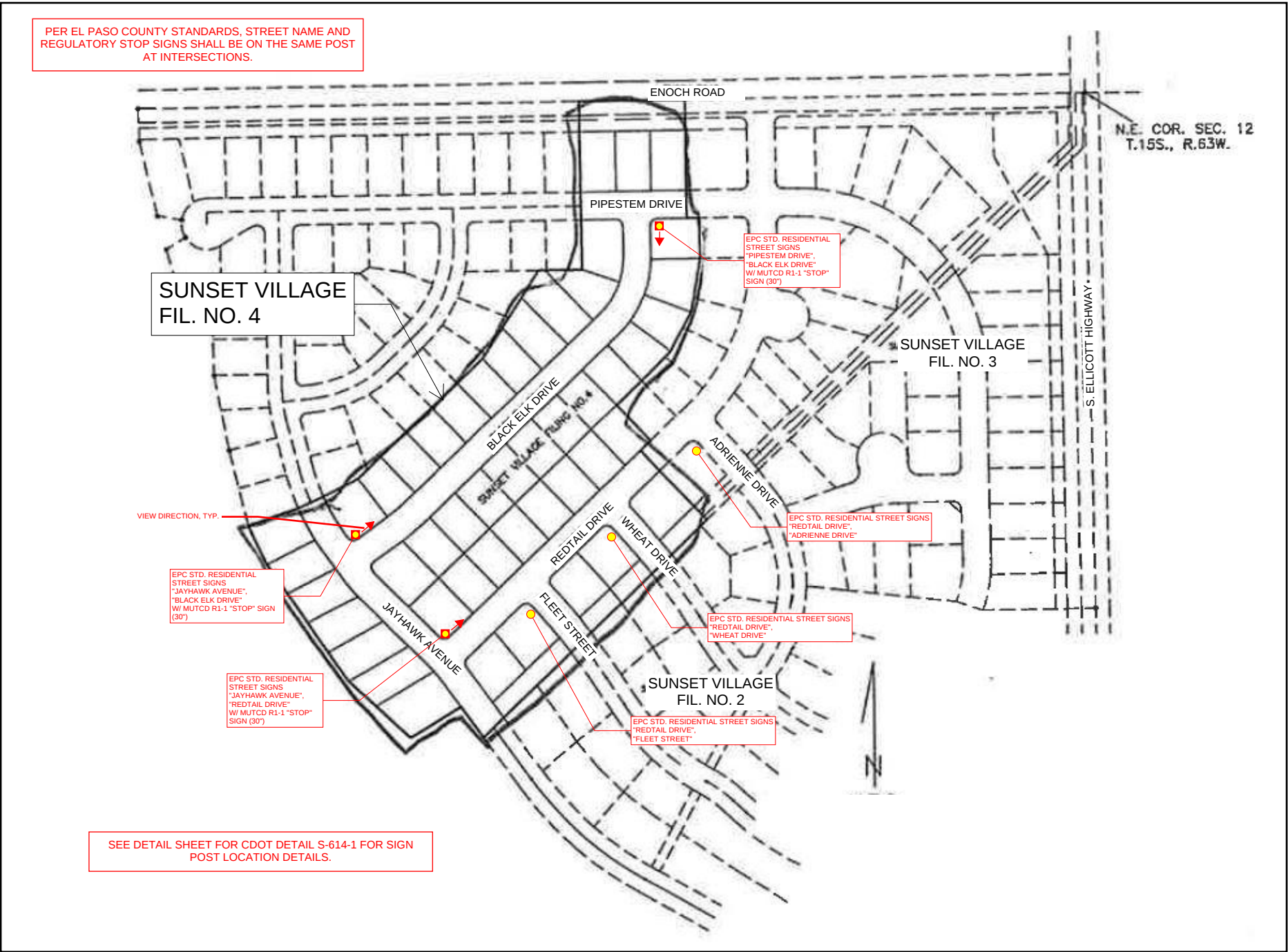
ELLICOTT HIGHWAY

HIGHWAY  
IMPROVEMENT PLAN

|              |         |                |         |
|--------------|---------|----------------|---------|
| HOZ. SCALE:  | 1"=50'  | DRAWN:         | MJP     |
| VERT. SCALE: | 1"=5'   | DESIGNED:      | JPS     |
| SURVEYED:    | DATE    | CHECKED:       | JPS     |
| CREATED:     | 7/10/01 | LAST MODIFIED: | 9/11/01 |
| PROJECT NO:  | 090006  | MODIFIED BY:   | MJP     |
| SHEET:       |         |                |         |

SHEET: **HW1**

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RICHARD D. LYON, PE  
ATWELL, LLC  
DECEMBER, 2021  
EPC PROJ.: CDR-21-008  
REVISION 1: 01/07/2022



**PROJECT DESCRIPTION**  
STRIPING AND SIGNAGE MODIFICATIONS WITHIN SUNSET VILLAGE FILING NO. 4.

**GENERAL NOTES**  
1. THE CONTRACTOR SHALL HAVE A COPY OF ALL APPLICABLE STANDARDS ON SITE FO TEH DURATION OF THE PROJECT.  
2. THE CONTRACTOR SHALL ACQUIRE ALL NECESSARY PERMITS AND INSPECTIONS REQUIRED TO COMPLETE THE SCOPE OF WORK PRESENTED HEREIN.

**TRAFFIC CONTROL**  
1. ALL SIGNAGE AND STRIPING SHALL FOLLOW THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", MUTCD, CURRENT EDITION, AND ALL APPLICABLE CDOT M&S STANDARDS.  
2. THE CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN TEMPORARY TRAFFIC CONTROL DEVICES NECESSARY THROUGHOUT THE DURATION OF CONSTRUCTION IN CONFORMANCE WITH TRAFFIC CONTROL PLANS AND/OR APPROVED MHT.  
3. THE TRAFFIC CONTROL SUPERVISOR SHALL COORDINATE CONSTRUCTION ZONE TRAFFIC CONTROL ACTIVITIES WITH ALL APPROPRIATE OFFICIALS.  
4. THE CONTRACTOR SHALL MAINTAIN FULL COMPLIANCE PAVEMENT MARKINGS OR APPROVED DECIVES ON THE ROADWAYS DURING ALL PHASES OF THE CONSTRUCTION PERIOD.

**EL PASO COUNTY SIGNING AND STRIPING NOTES:**  
1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).  
2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.  
3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.  
4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.  
5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.

6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.

7. ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS"

8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.

9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.

10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.

11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.

12. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.

13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.

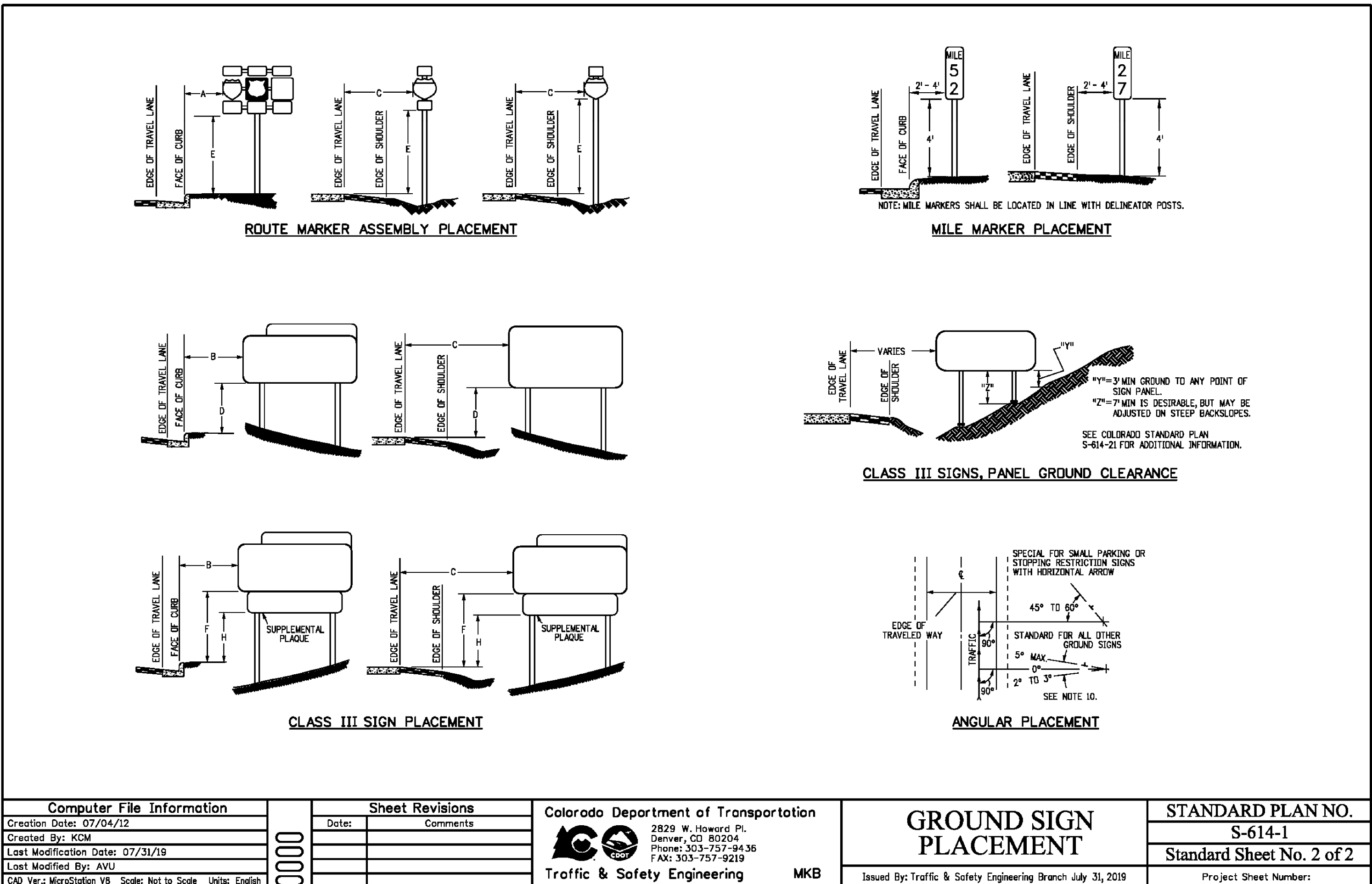
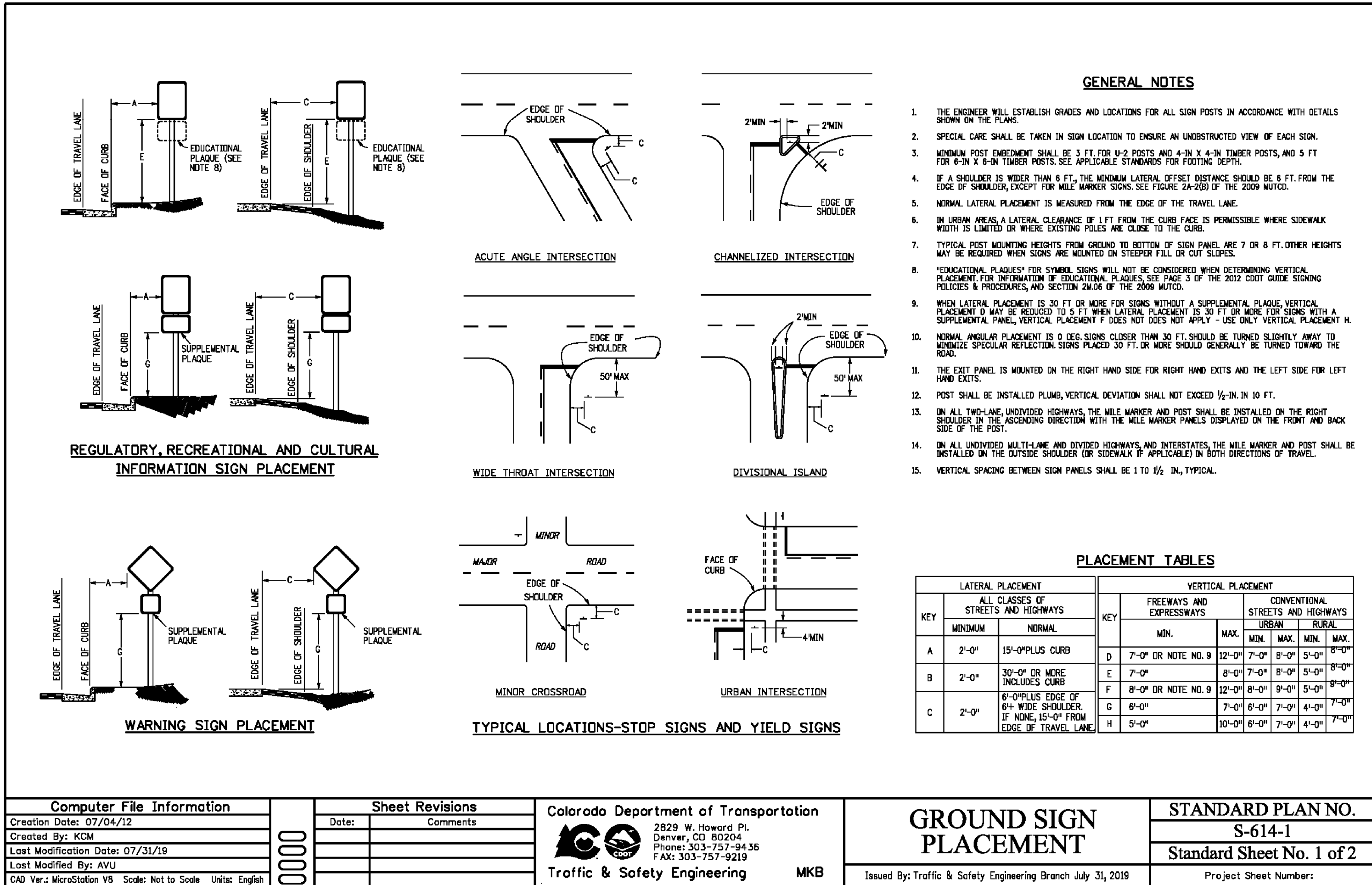
14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

MODIFIED FOR S.I.A. CD SET  
RICHARD D. LYON, PE  
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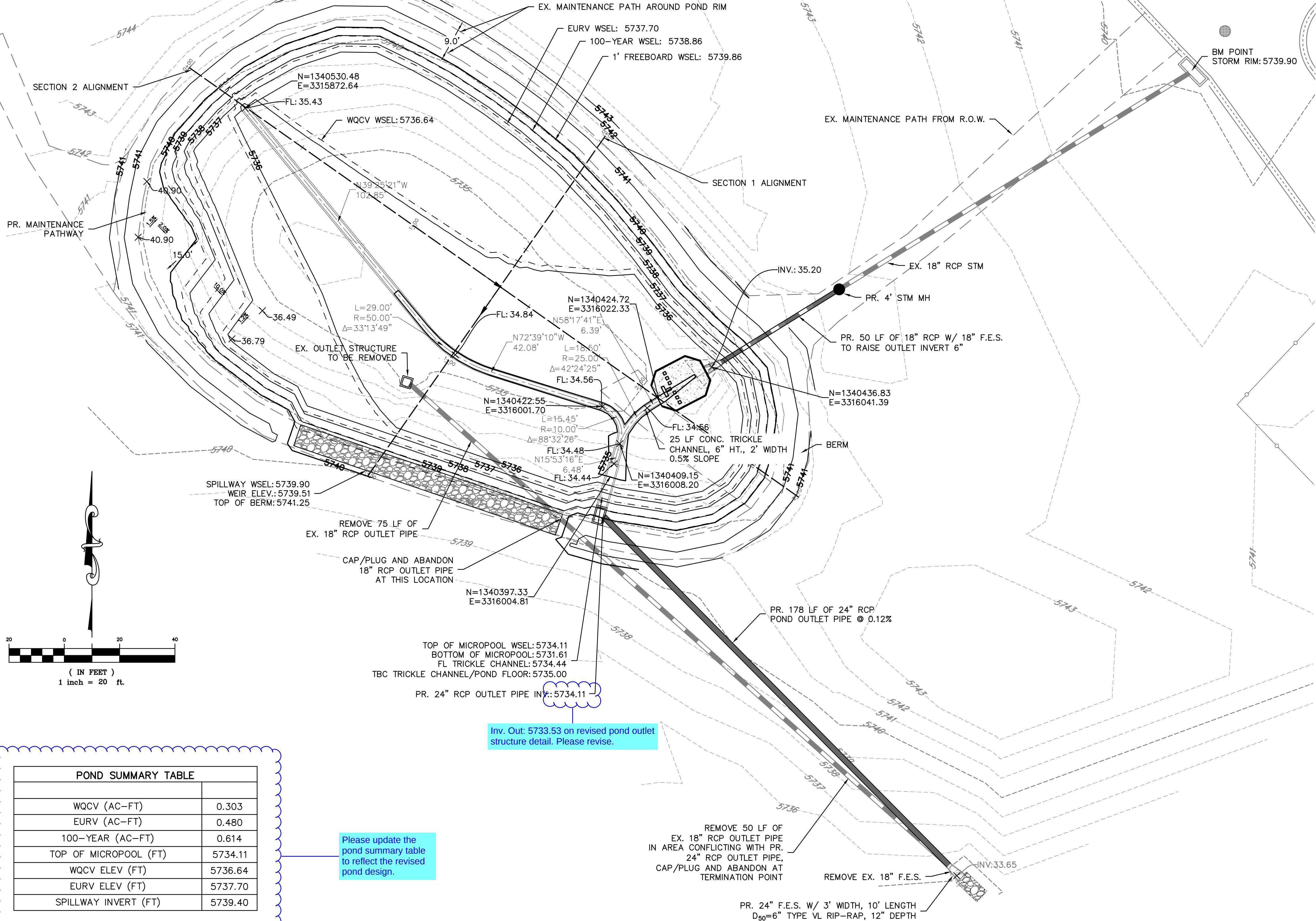
REVISION 1: 01/07/2022



**SUBDIVISION: SUNSET VILLAGE FIL. NO. 4**  
**SHEET: 15**  
**STRIPING AND SIGNAGE PLAN**  
**EPC PLAN NO. CDR-21-008**



Please update the Pond 2 plan to be consistent with the revised pond outlet structure and forebay details shown on Sheets 20-22. Several elevations on the current Pond 2 sheet—including top of micropool, WQCV WSEL, EURV WSEL, and 100-year WSEL—do not match the updated design information.



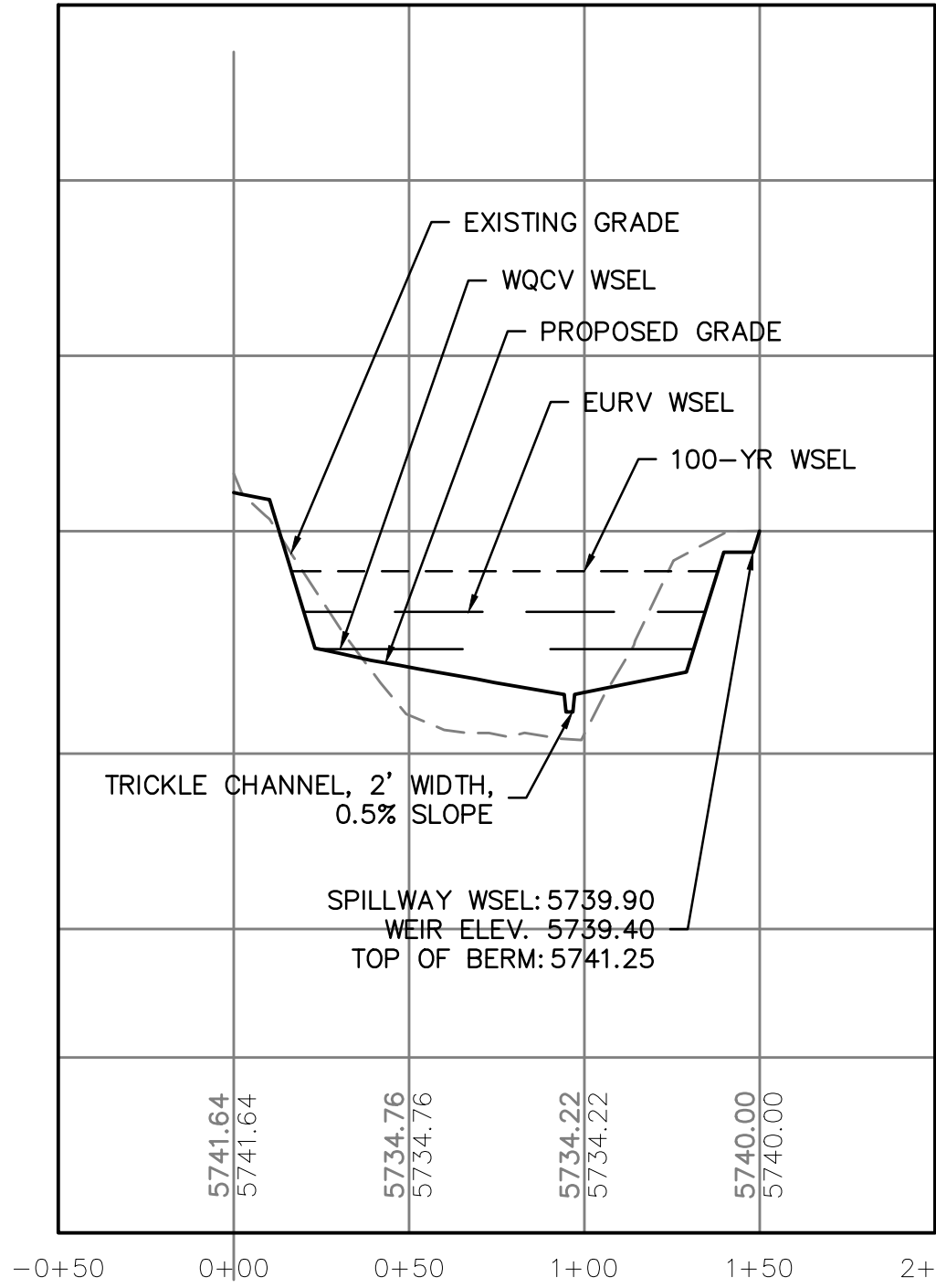
| POND SUMMARY TABLE    |         |
|-----------------------|---------|
| WQCV (AC-FT)          | 0.303   |
| EURV (AC-FT)          | 0.480   |
| 100-YEAR (AC-FT)      | 0.614   |
| TOP OF MICROPOOL (FT) | 5734.11 |
| WQCV ELEV (FT)        | 5736.64 |
| EURV ELEV (FT)        | 5737.70 |
| SPILLWAY INVERT (FT)  | 5739.40 |

Please update the pond summary table to reflect the revised pond design.

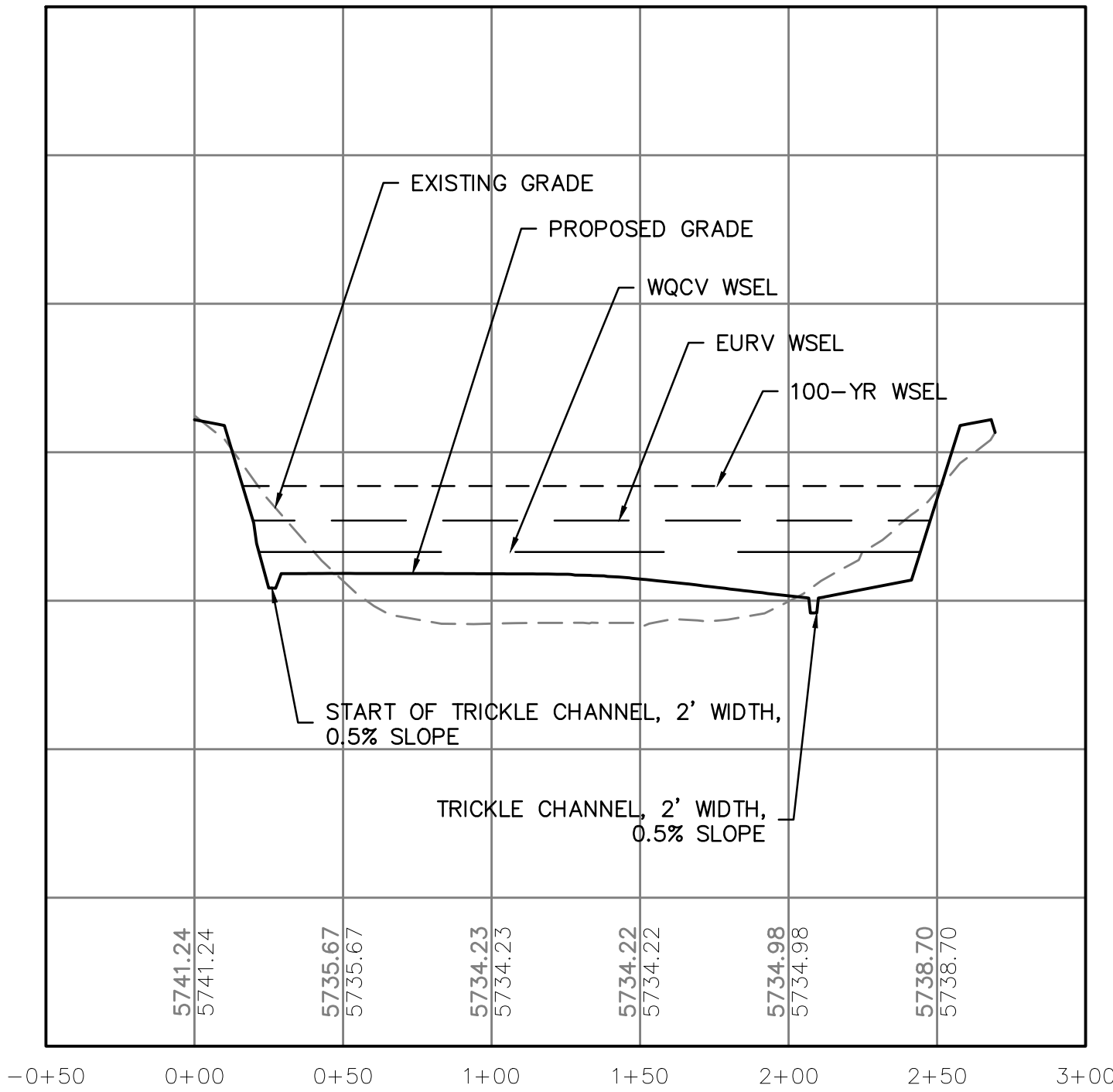
NOTE:

- THE DEVELOPER SHALL HAVE A LICENSED PROFESSIONAL ENGINEER CERTIFY EACH STORMWATER DETENTION POND AND/OR WATER QUALITY BMP IS BUILT ACCORDING TO THE APPROVED PLANS AND SPECIFICATIONS AND THE REQUIRED DETENTION VOLUME, INCLUDING THE WQCV WHEN USED, IS MET. THE CERTIFICATION SHALL ALSO VERIFY ALL PERTINENT DIMENSIONS, ELEVATIONS, REQUIRED OUTLET ORIFICE PLATES FOR DETENTION AND WQCV AND OTHER PERMANENT BMPS REQUIREMENTS ARE INSTALLED PER THE APPROVED PLANS AND SPECIFICATIONS, AND SHALL SHOW THE AS-BUILT DESIGN VOLUMES (WQCV, 10-YEAR, 100-YEAR, EURV) AND OTHER PERTINENT DIMENSIONS, ELEVATIONS AND CAPACITY REQUIREMENTS ASSOCIATED WITH THE WQ BMP USED. THE CERTIFICATION SHALL BE PROVIDED TO EL PASO COUNTY ENGINEERING. AN APPROVED POND CERTIFICATE SHALL BE REQUIRED PRIOR TO THE RETURN OF ANY FISCAL SECURITY DEPOSIT (AS WELL AS SATISFYING OTHER CONDITIONS OF THE STORMWATER PERMIT) FOR SITES THAT DO NOT REQUIRE A CERTIFICATE OF OCCUPANCY. EXAMPLES OF THESE SITES INCLUDE BUT ARE NOT LIMITED TO: SITES WITHOUT VERTICAL CONSTRUCTION, OIL AND GAS WELL PADS, OUTDOOR STORAGE, AND TOW YARDS. AN APPROVED POND CERTIFICATE SHALL BE REQUIRED PRIOR TO COMMENCEMENT OF BUSINESS OPERATIONS. IN NO CASE SHALL A CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY BE ISSUED WITHOUT AN APPROVED POND CERTIFICATE.

POND A – SECTION 1  
N.T.S.



POND A – SECTION 2  
N.T.S.



811

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NOTICE:  
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PUNCHLIST CONNECTIONS LLC

300 WINDCHIME PLACE #301  
COLORADO SPRINGS, COLORADO 80919

303.519.5100  
SCOTT VAN WYHE

PUNCHLIST CONNECTIONS LLC

SUNSET VILLAGE FILING 4 – DRAINAGE  
EL PASO COUNTY, COLORADO

CONSTRUCTION DRAWINGS  
POND 2

CLIENT

DATE

1/7/2022

REVISIONS

DR. RDL

CH. RDL

P.M. RDL

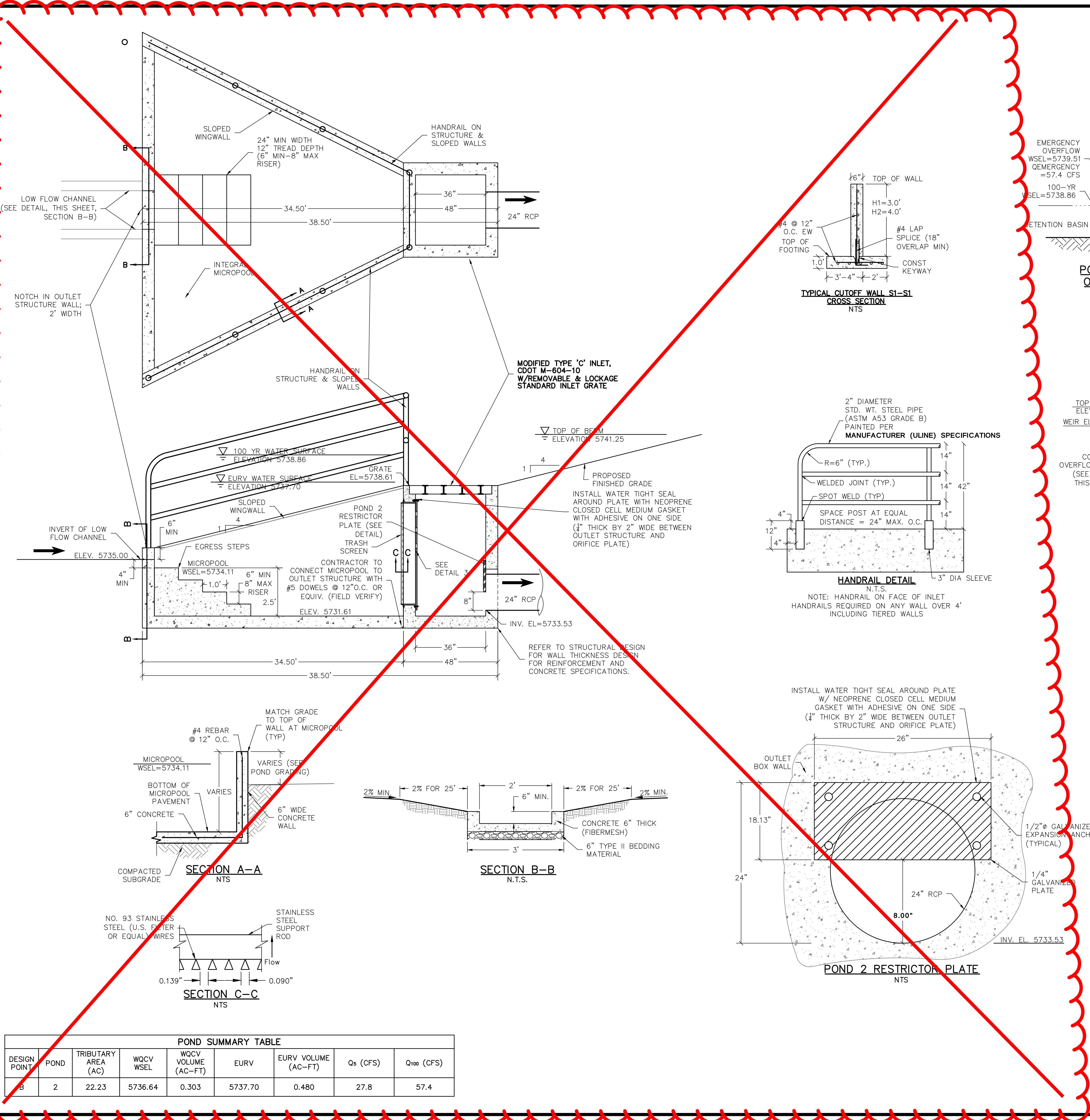
JOB # 21004166

SHEET NO.

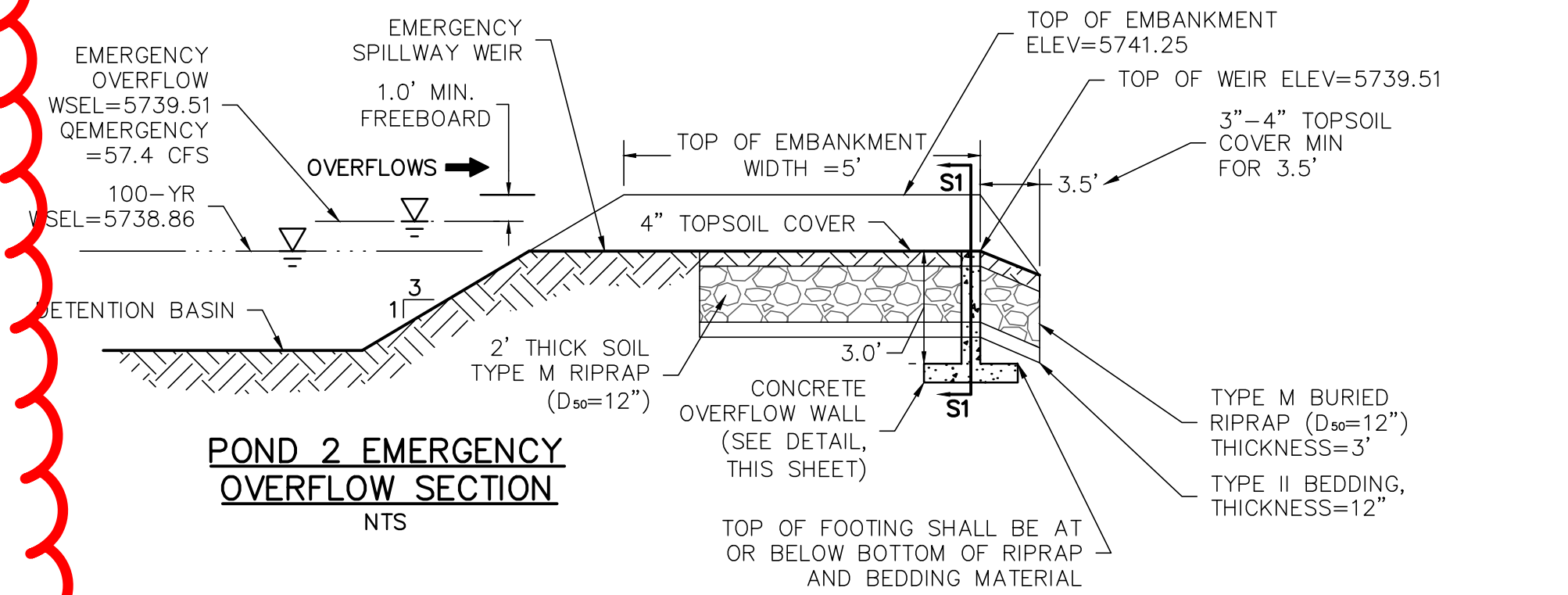
COLORADO LICENSED PROFESSIONAL ENGINEER

80921

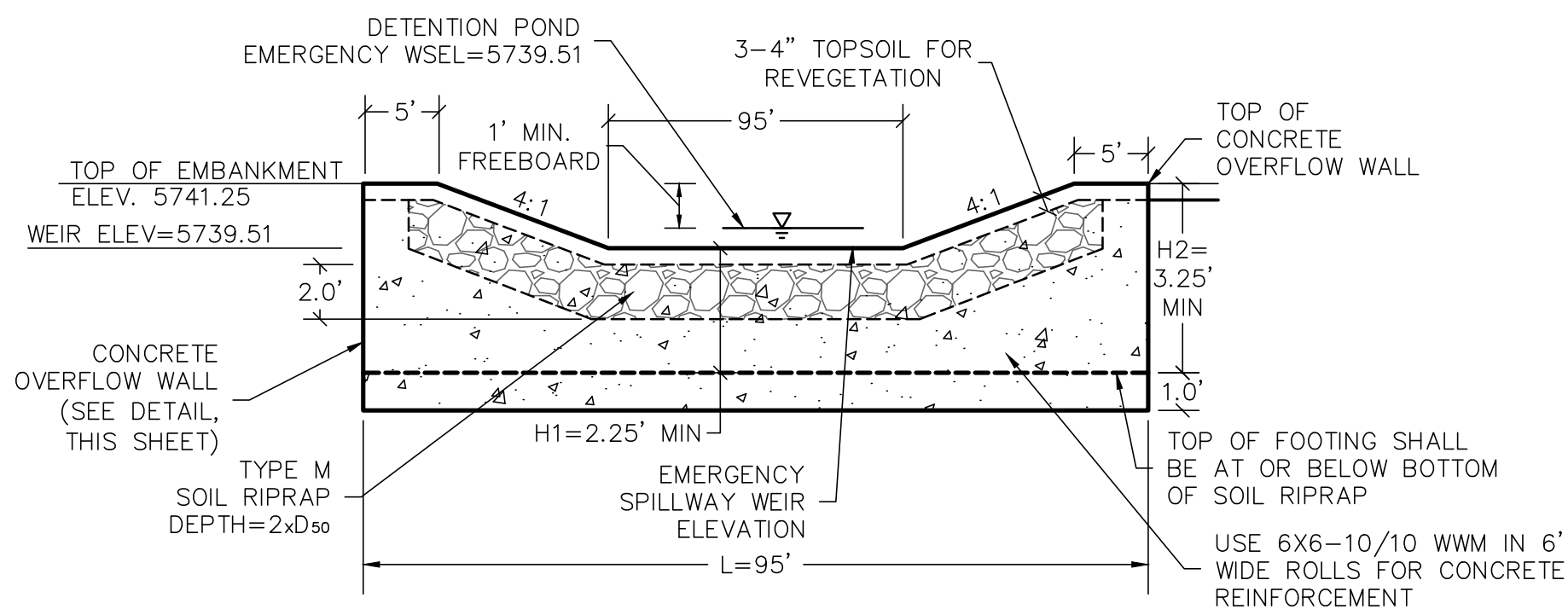
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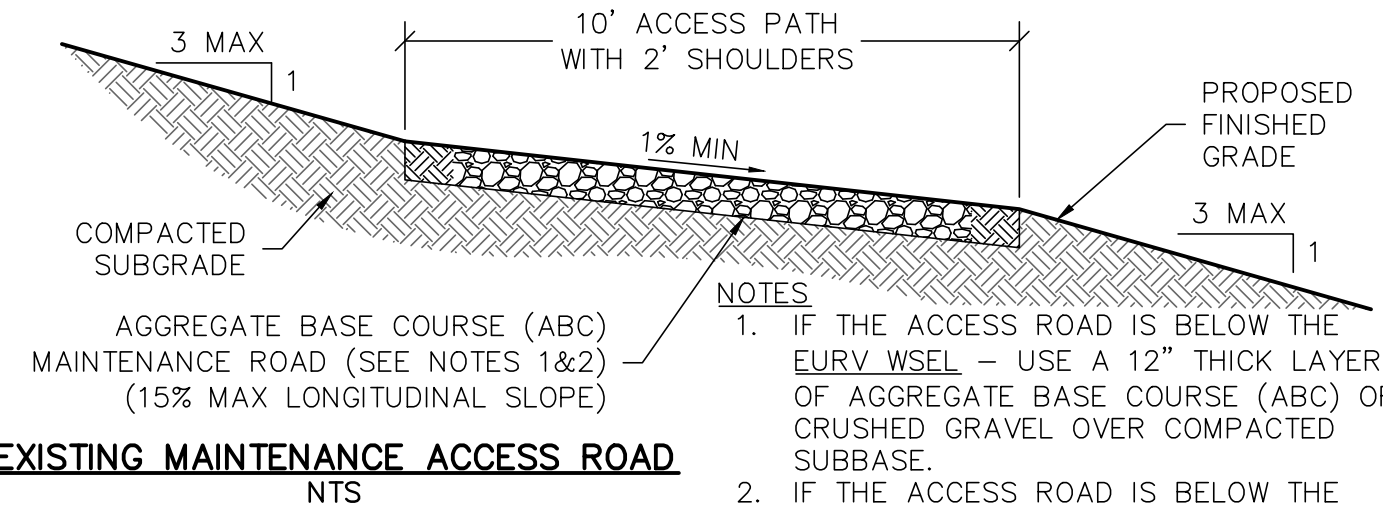
| POND SUMMARY TABLE |      |                     |           |                     |         |                     |                        |
|--------------------|------|---------------------|-----------|---------------------|---------|---------------------|------------------------|
| DESIGN POINT       | POND | TRIBUTARY AREA (AC) | WQCV WSEL | WQCV VOLUME (AC-FT) | EURV    | EURV VOLUME (AC-FT) | Q <sub>5</sub> (CFS)   |
| B                  | 2    | 22.23               | 5736.64   | 0.303               | 5737.70 | 0.480               | 27.8                   |
|                    |      |                     |           |                     |         |                     | Q <sub>100</sub> (CFS) |
|                    |      |                     |           |                     |         |                     | 57.4                   |



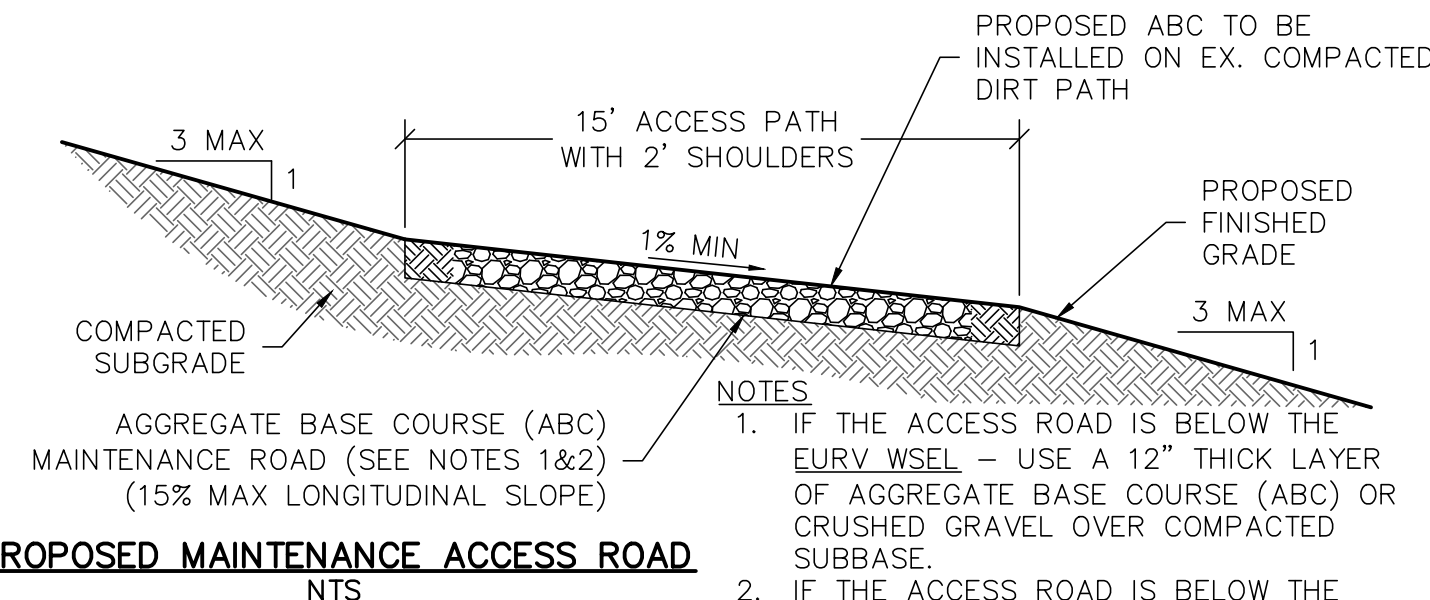
POND 2 EMERGENCY OVERFLOW SECTION  
NTS



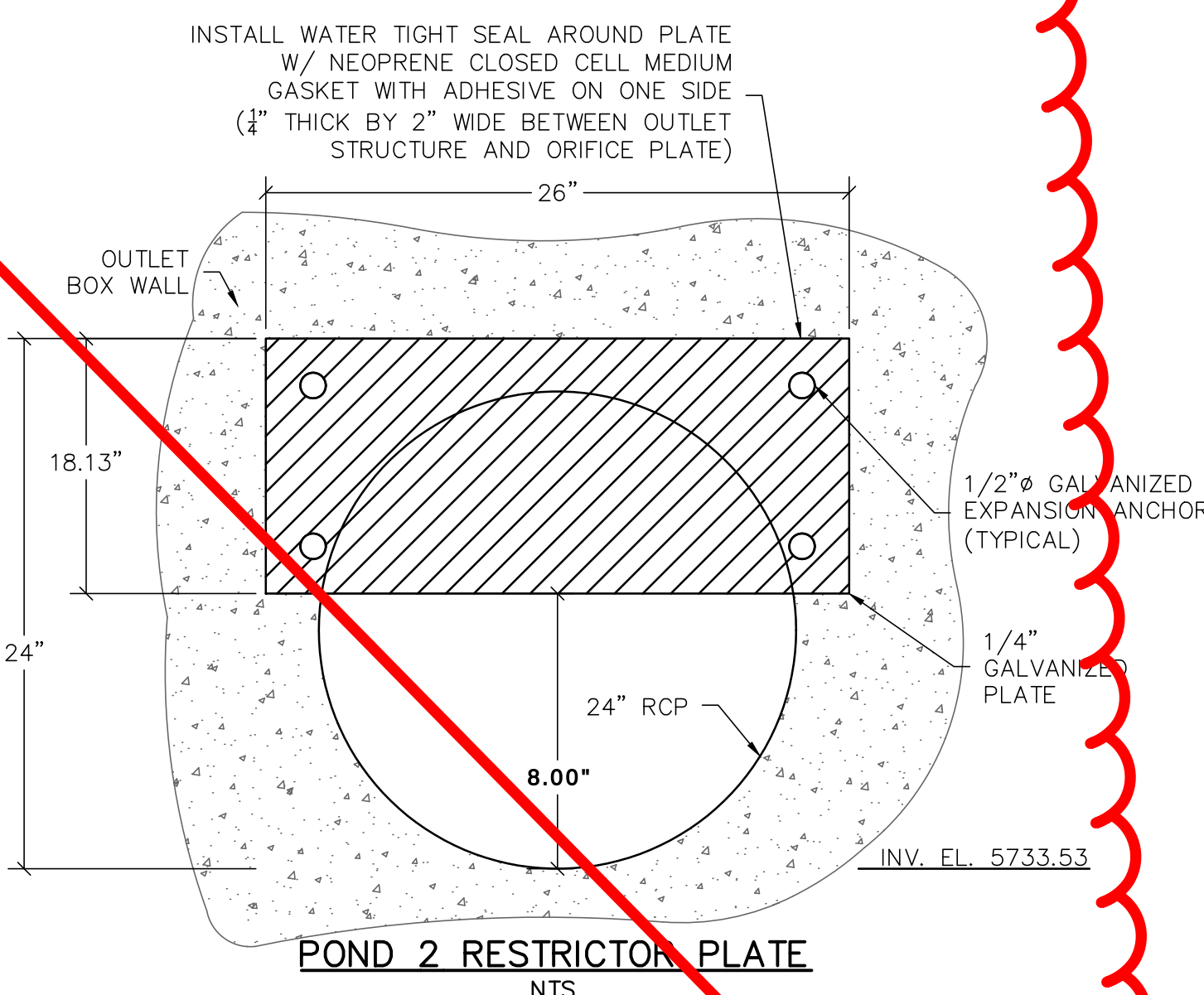
POND 2 EMERGENCY OVERFLOW WEIR  
NTS



EXISTING MAINTENANCE ACCESS ROAD  
NTS



PROPOSED MAINTENANCE ACCESS ROAD  
NTS



POND 2 RESTRICTOR PLATE  
NTS

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COLORADO SPRINGS, COLORADO 80919  
303.519.5100  
SCOTT VAN WYHE

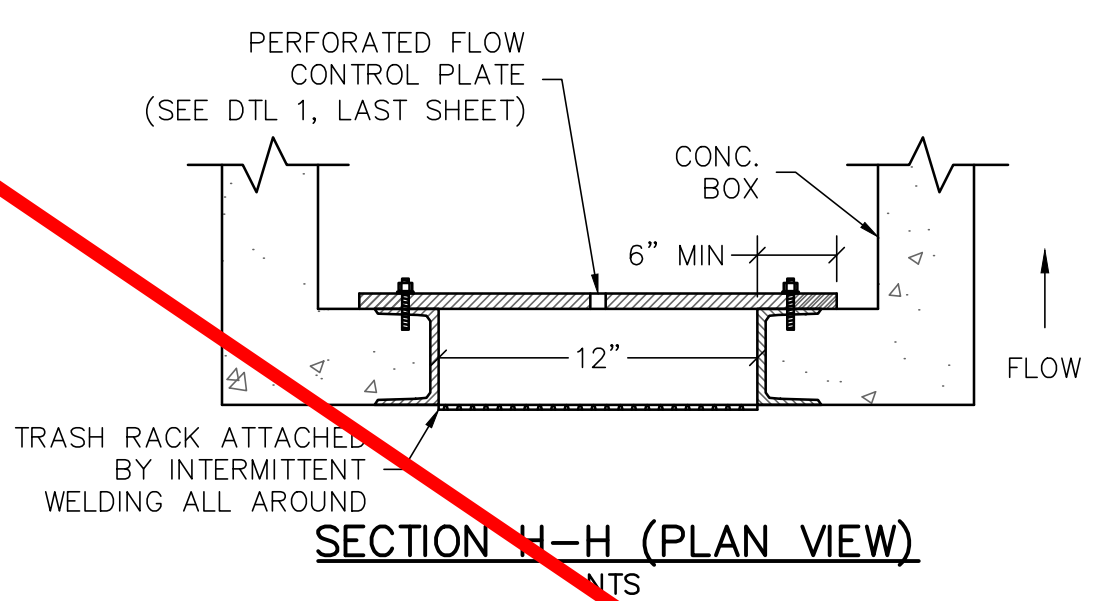
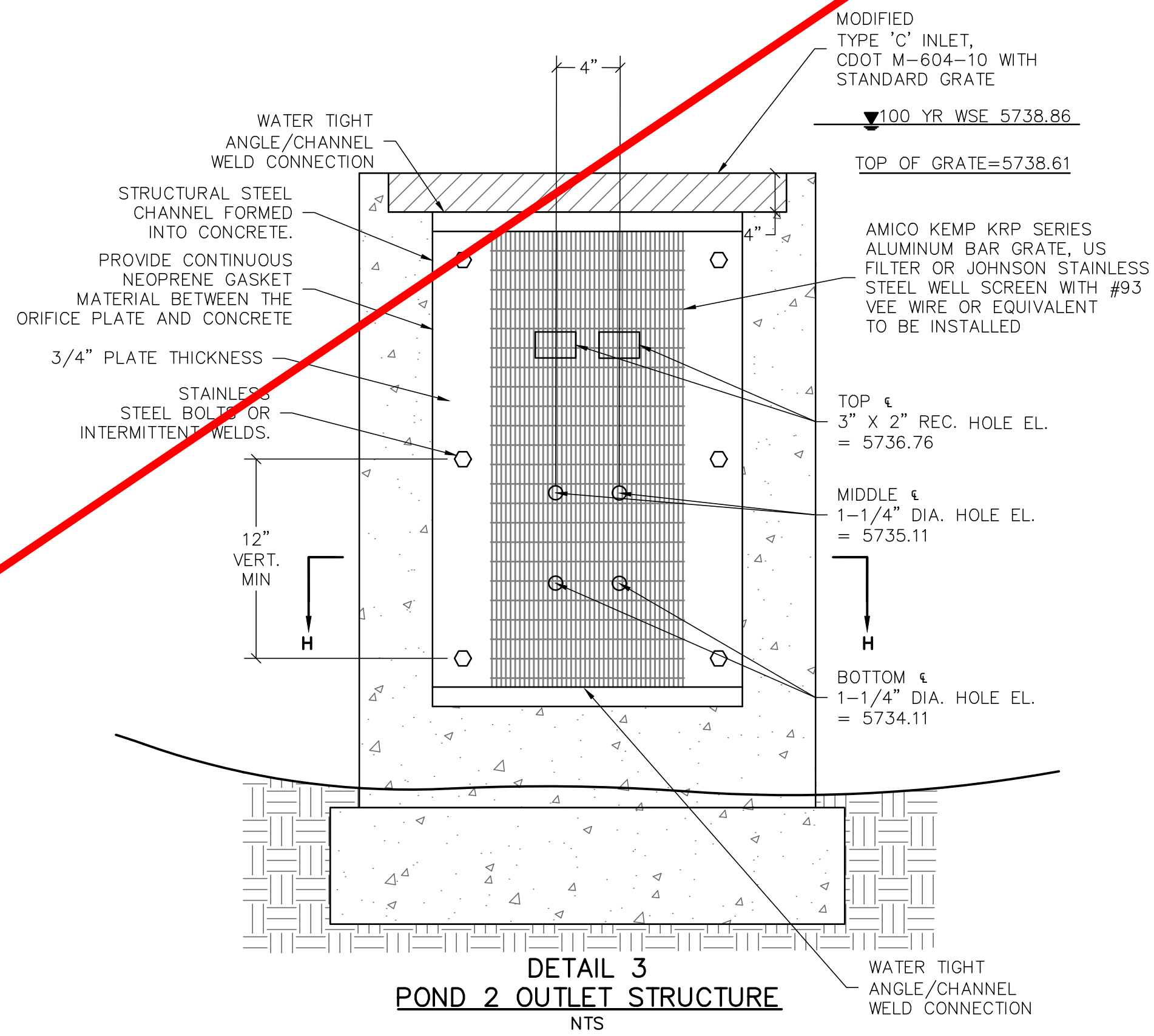
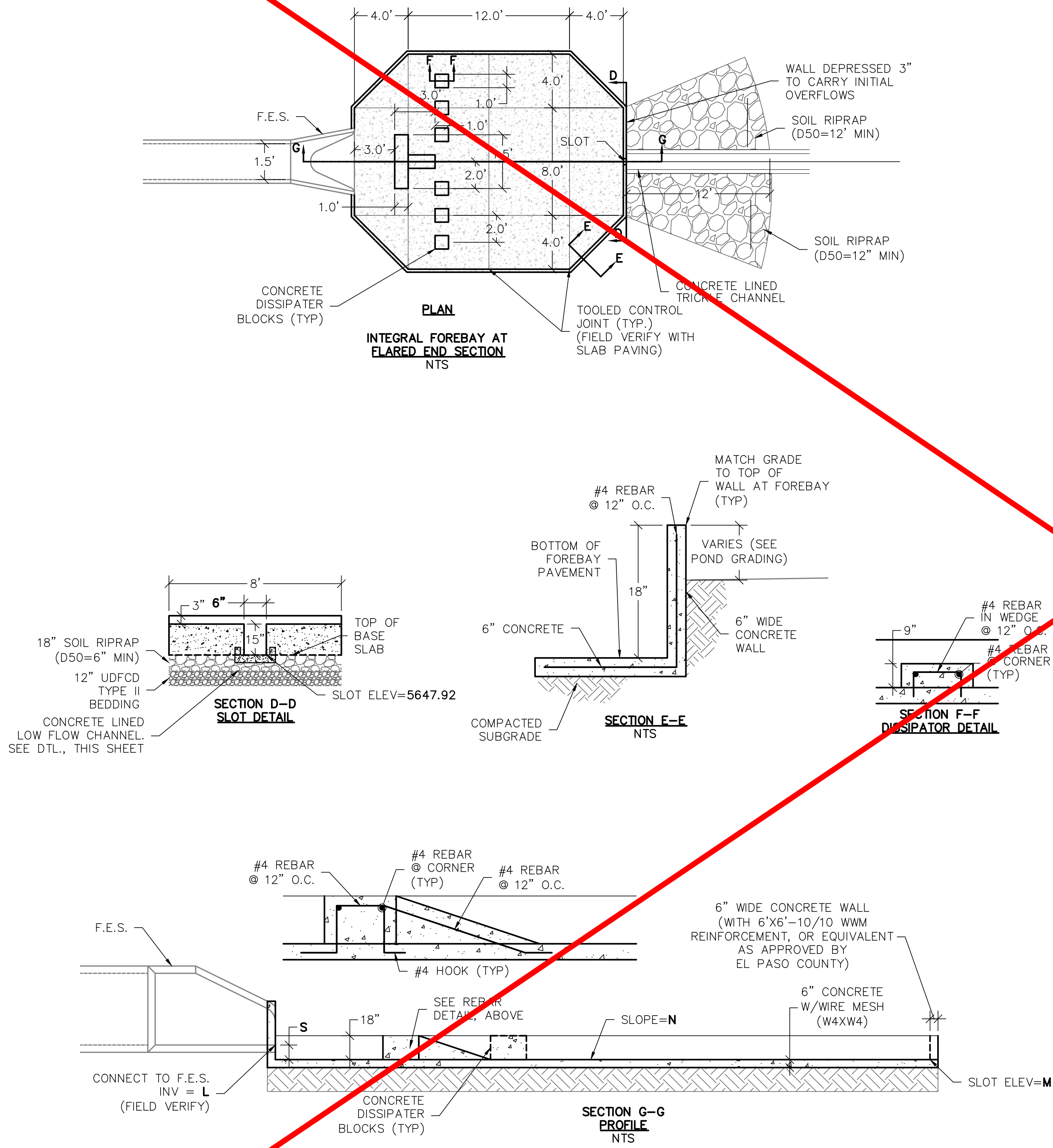
PUNCHLIST CONNECTIONS LLC  
SUNSET VILLAGE FILING 4 - DRAINAGE  
EL PASO COUNTY, COLORADO 80919  
CONSTRUCTION DRAWINGS  
POND 2

CLIENT  
DATE 1/7/2022

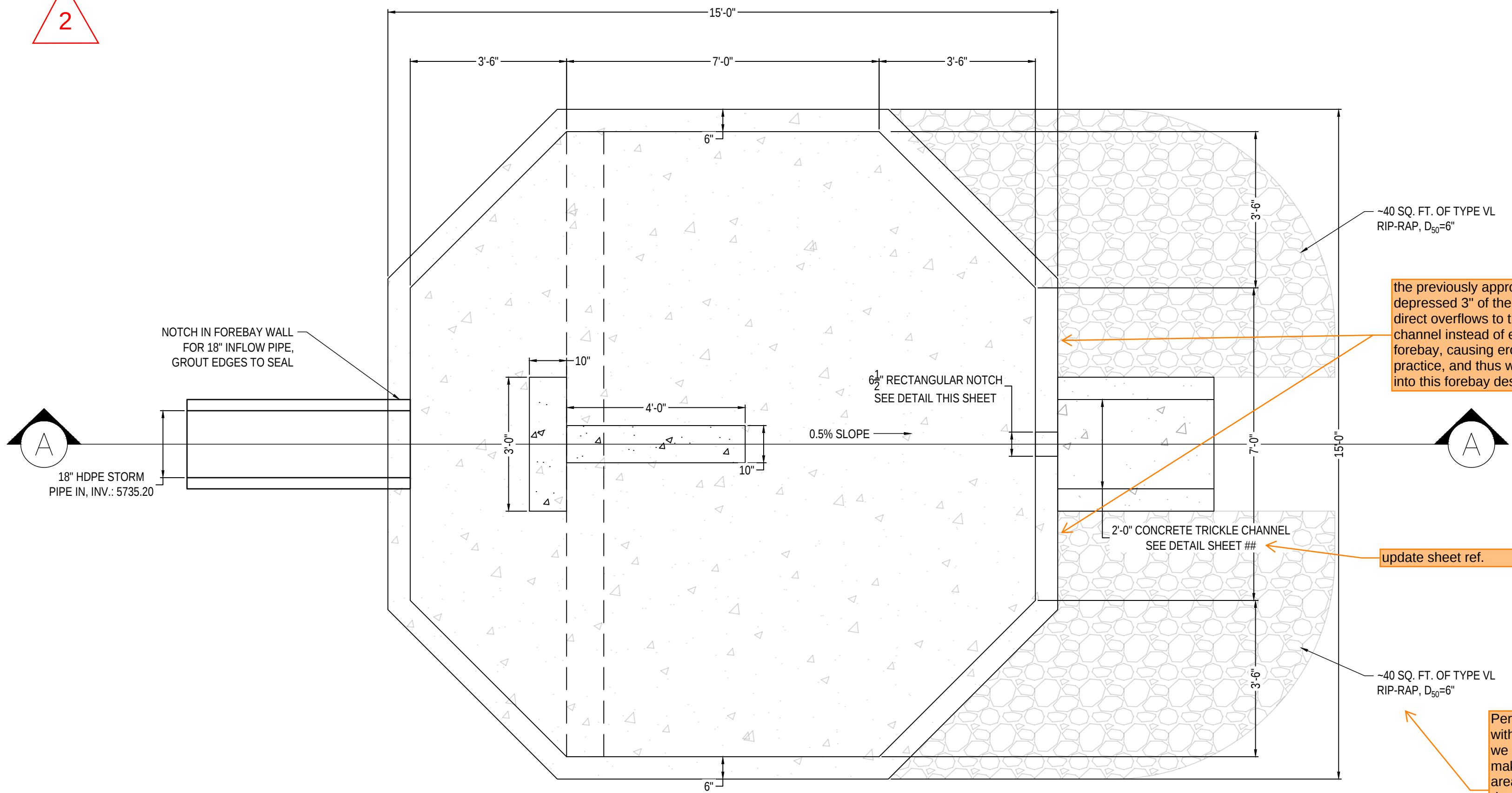
|           |
|-----------|
| REVISIONS |
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|----------|---------|
| DR. RDL  | CH. RDL |
| P.M. RDL |         |

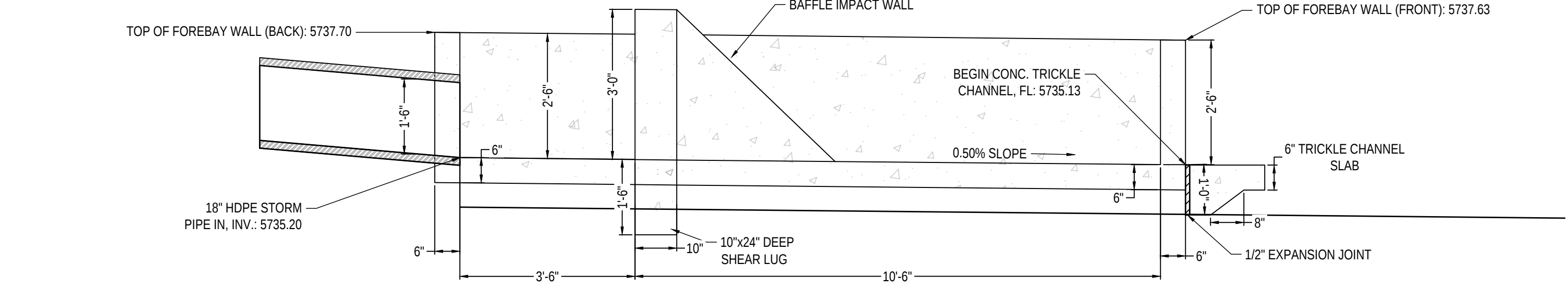
JOB 21004166  
SHEET NO.



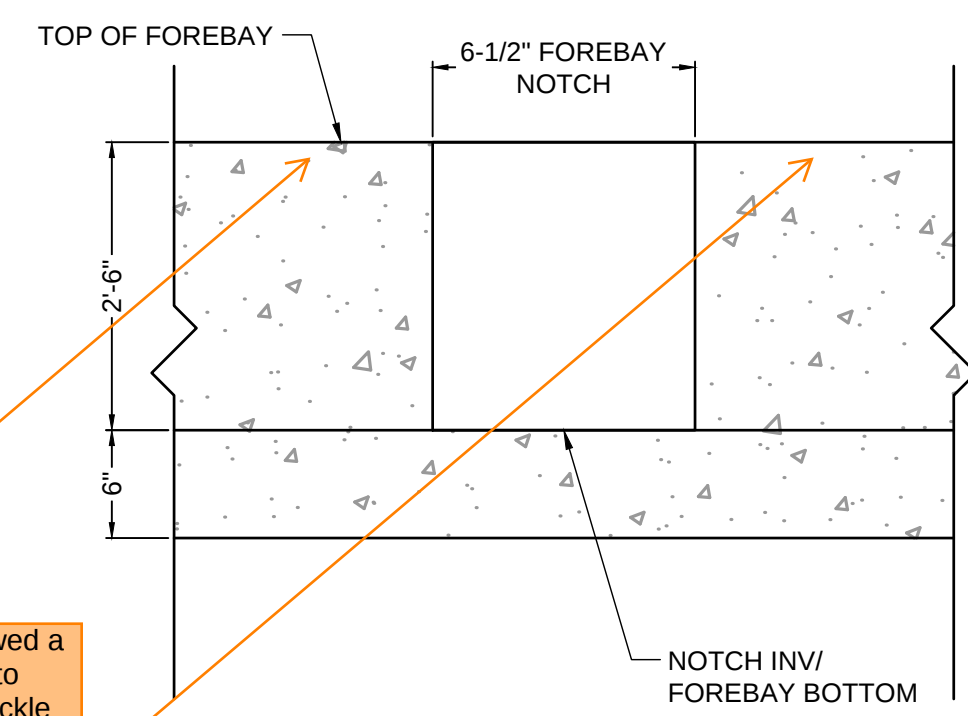
| FOREBAY SIZE TABLE |           |         |         |       |      |    |
|--------------------|-----------|---------|---------|-------|------|----|
| FOREBAY NAME       | PIPE SIZE | L       | M       | N     | S    | T  |
| A1                 | 18"       | 5648.22 | 5647.92 | 0.50% | 2.5" | 6" |



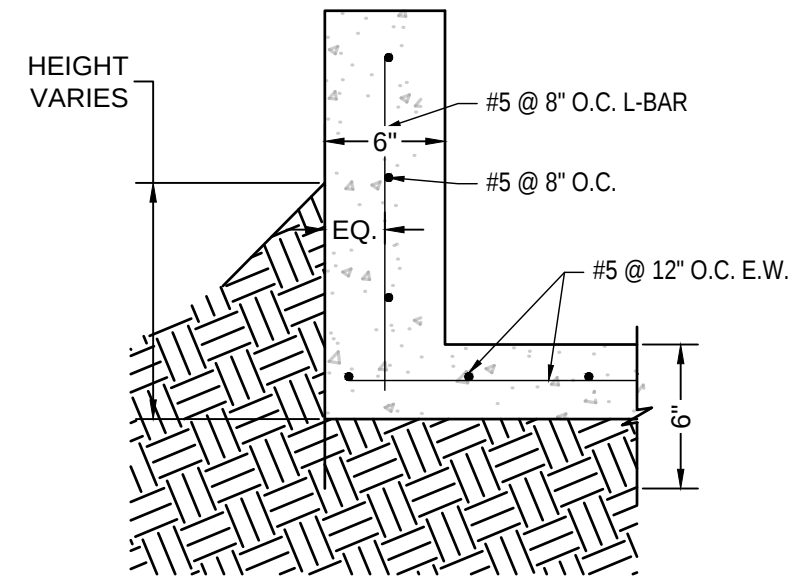
FOREBAY PLAN VIEW  
SCALE: 1" = 2"



FOREBAY ELEVATION VIEW  
(SECTION A-A)  
SCALE: 1" = 2"



FOREBAY NOTCH DETAIL  
SCALE: N.T.S.



FOREBAY REINFORCING DETAIL  
SCALE: N.T.S.

the previously approved plans showed a depressed 3" of the front wall here to direct overflows to the riprap and trickle channel instead of elsewhere around the forebay, causing erosion. This is good practice, and thus would be good to add into this forebay design.

update sheet ref.

Per recent in-person meeting with Richie about another site, we discussed the advantages of making most (if not all) riprap areas in and around ponds soil riprap instead of plain riprap. So please discuss with Richie if you have any questions and consider revising this to soil riprap.

EL

Phone: 719.308.9146  
Email: info@localxpertsllc.com  
Habitados Español

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FILING NO. 4

**PROJECT LOCATION:**  
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EL PASO COUNTY, COLORADO

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SCOTT ALLEN HOMES

**CONTACT INFO:**  
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scott@punchlistconnection.com

**PROFESSIONAL SEAL:**

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| 04/04/26 | CDR218 REV. 1 |
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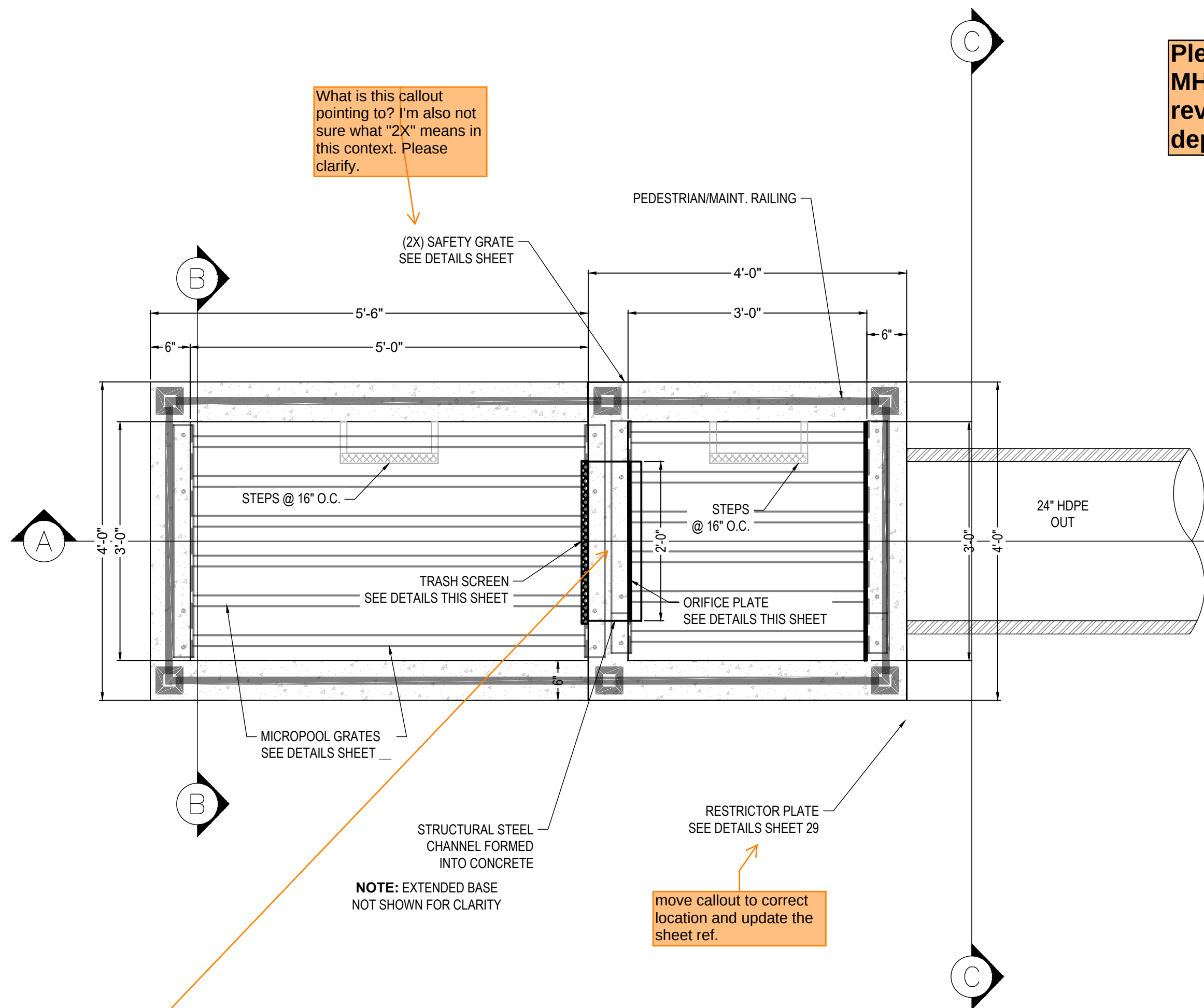
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DRAWN BY: CDS  
REVIEWED BY: CDS  
PROJ. MNGR.: CDS

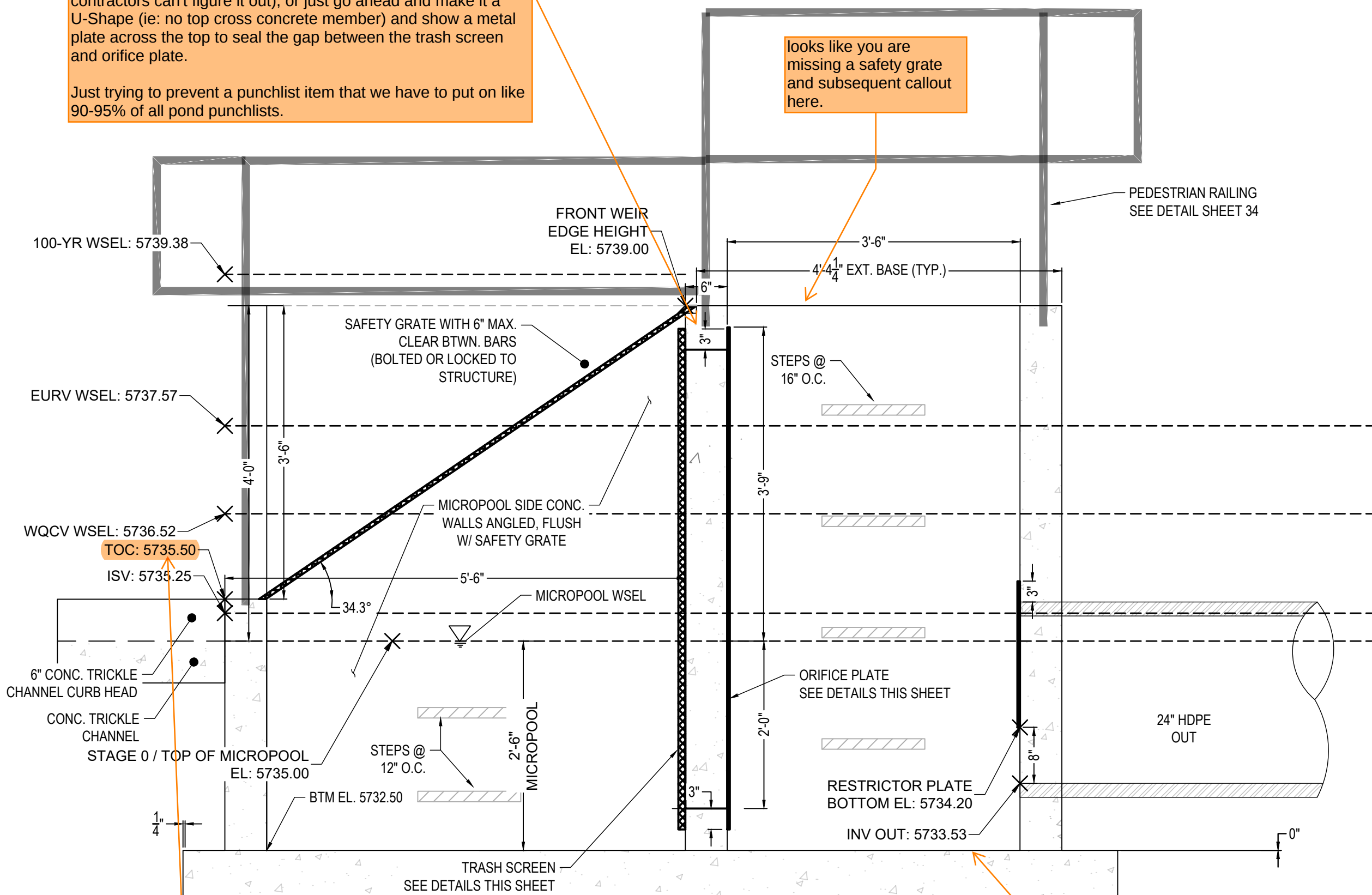
**PLAN SET:**  
SUNSET VILLAGE  
FILING NO. 4  
PERMANENT CONTROL MEASURE  
INFRASTRUCTURE DETAILS

**SHEET TITLE:**  
FOREBAY DETAILS

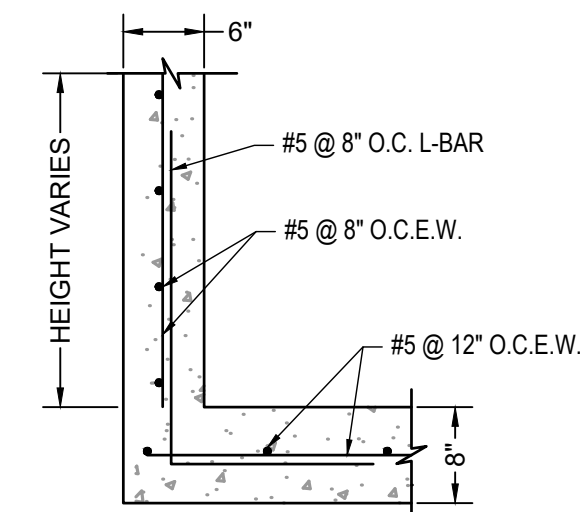
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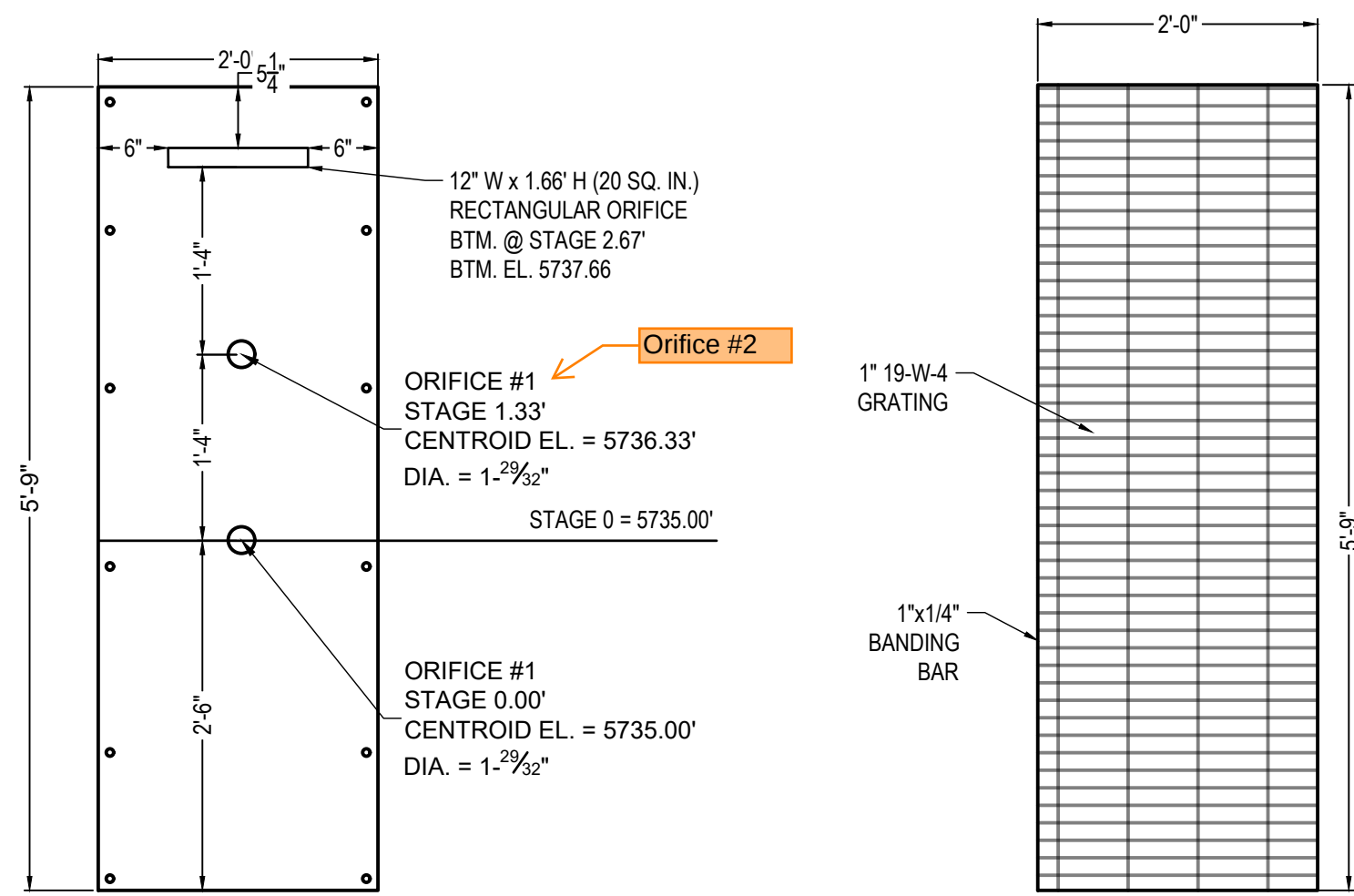
POND OUTLET STRUCTURE  
(PLAN VIEW)  
SCALE: 1" = 1-1/4'



POND OUTLET STRUCTURE  
(ELEVATION VIEW, SECTION A-A)  
SCALE: 1" = 1-1/4'



OUTLET STRUCTURE  
REINFORCEMENT DETAIL  
SCALE: NTS



ORIFICE PLATE DETAIL  
(ELEVATION VIEW)  
SCALE: 1" = 1-1/4'

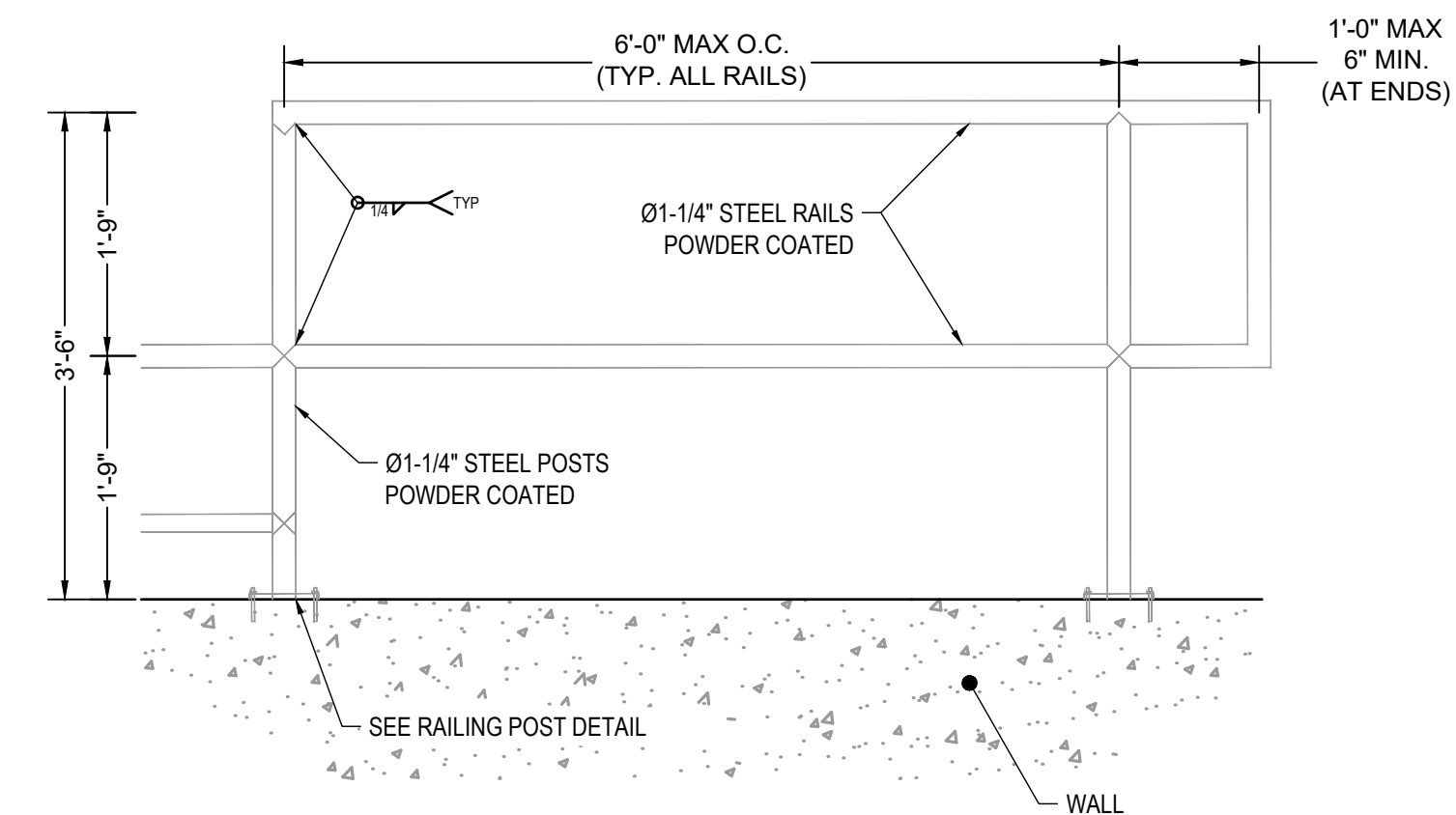
TRASH SCREEN DETAIL  
(ELEVATION VIEW)  
SCALE: 1" = 1-1/4'

TRASH SCREEN NOTES:

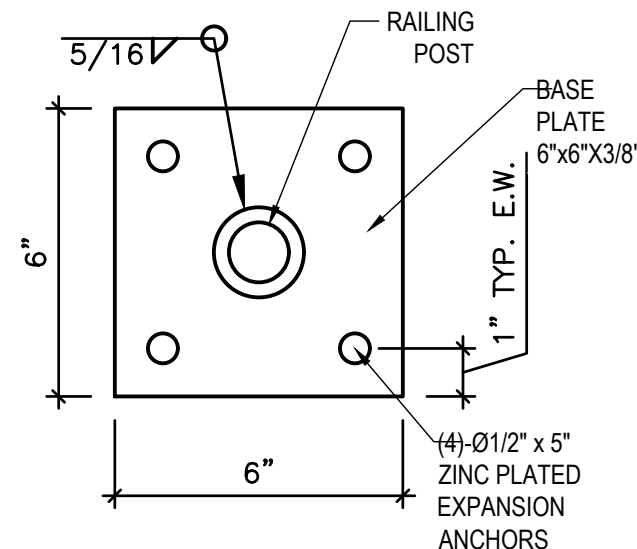
1. TRASH SCREEN SHALL BE CONSTRUCTED OF 1" THICK 19-W-4 GRATING WITH 1"x1/4" BANDING BARS ON EACH SIDE AND GALVANIZED OR APPROVED EQUIVALENT AND SHALL BE ATTACHED BY INTERMITTENT WELDS.
2. TRASH SCREEN OPEN AREAS ARE FOR SPECIFIED TRASH RACK MATERIALS. TOTAL TRASH RACK SIZE MAY NEED TO BE ADJUSTED FOR MATERIALS HAVING DIFFERENT OPEN AREA/GROSS AREA RATIO (R VALUE).
3. STRUCTURAL DESIGN OF TRASH RACKS SHALL BE BASED ON FULL HYDROSTATIC HEAD WITH ZERO HEAD DOWNSTREAM OF THE RACK.
4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR TRASH SCREEN FOR ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION.

ORIFICE PLATE NOTES:

1. PLATE TO BE 3/8" THICK GALVANIZED STEEL.
2. BOLT PLATE TO CONCRETE 16" O.C. MAX.
3. PROVIDE CONTINUOUS NEOPRENE GASKET MATERIAL BETWEEN THE ORIFICE PLATE AND CONCRETE.
4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ORIFICE PLATE FOR ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION.
5. PROVIDE GASKET MATERIAL BETWEEN THE ORIFICE PLATE AND CONCRETE. GASKET SHALL BE MADE OF 1/4-INCH THICK, 60 DUROMETER EPDM RUBBER (OR EQUIVALENT GASKET APPROVED BY EPC) IN A CONTINUOUS SHEET THE SIZE OF THE ORIFICE PLATE. THE SHEET SHALL BE PLACED BETWEEN THE ORIFICE PLATE AND CONCRETE WALL, WITH THE WIDTH OF THE OVERLAP BETWEEN THE PLATE AND THE CONCRETE. OPENINGS SHALL BE CUT INTO THE SHEET CORRESPONDING TO THE PLATE BOLT HOLES AND THE CONCRETE WALL OPENING, CUTS MADE EITHER BY THE CONTRACTOR IN THE FIELD OR BY THE MANUFACTURER.



PEDESTRIAN / MAINTENANCE RAILING  
(ELEVATION VIEW)  
SCALE: 3/4" = 1'



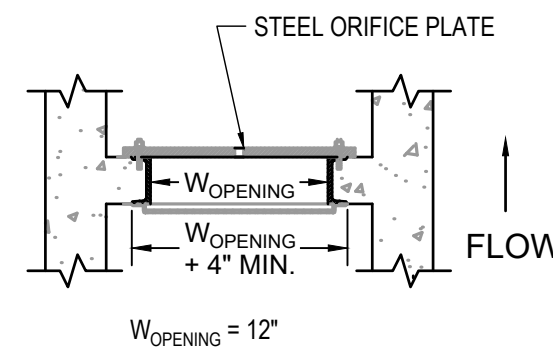
PEDESTRIAN / MAINTENANCE RAILING POST  
(PLAN VIEW)  
SCALE: 3/4" = 1'

TWO SIGNS SHALL BE INSTALLED AROUND THE POND PERIMETER. THE SIGNS SHALL BE CONSTRUCTED OF A DURABLE MATERIAL SUCH AS METAL OR PLASTIC AND HAVE RED LETTERING ON A WHITE BACKGROUND WITH THE BELOW MESSAGE.

**WARNING:**  
THIS AREA IS A  
STORMWATER  
FACILITY AND  
IS SUBJECT TO  
PERIODIC  
FLOODING

MIN. SIGN AREA: 3 SQ. FT.

POND WARNING SIGN  
DETAIL  
SCALE: N.T.S.



TRASH SCREEN & ORIFICE  
PLATE  
SCALE: NTS

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PROJECT NAME:

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FILING NO. 4

PROJECT LOCATION:

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FILING NO. 4  
EL PASO COUNTY, COLORADO

CLIENT:

SCOTT ALLEN HOMES

CONTACT INFO:

SCOTT VAN WYHE  
SCOTT ALLEN HOMES  
scott@punchlistconnection.com

PROFESSIONAL SEAL:

DATE: DESCRIPTION:

04/04/26 CDR218 REV. 1

JOB #: 101544

DRAWN BY: CDS

REVIEWED BY: CDS

PROJ. MNGR.: CDS

PLAN SET:

SUNSET VILLAGE  
FILING NO. 4

PERMANENT CONTROL MEASURE  
INFRASTRUCTURE DETAILS

SHEET TITLE:

OUTLET STRUCTURE DETAILS

SHEET NO.:

21

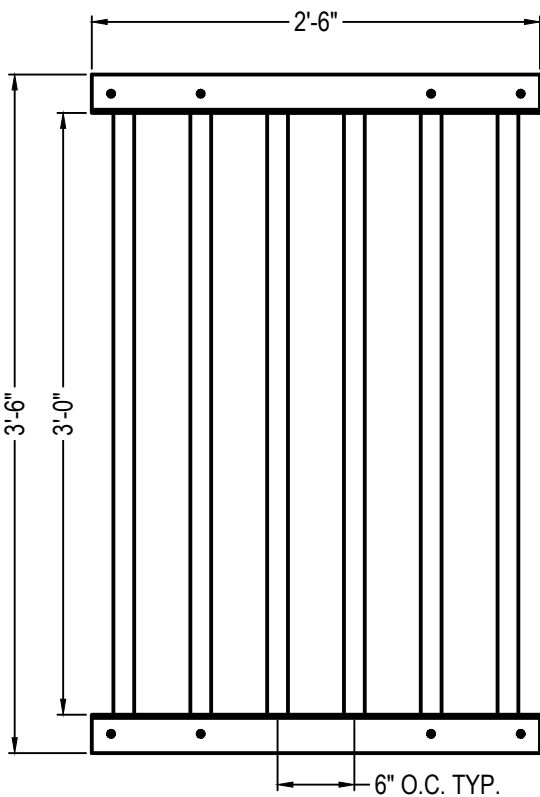
PCD FILE NO.: CDR-218

SAFETY GRATES/TRASH RACK NOTES:

1. TRASH RACKS AND SAFETY GRATES SHALL BE 1- $\frac{1}{4}$ " SCH. 40 STEEL PIPE, @ 6" CENTERS BOUNDED BY 3"x3"x1/4" ANGLE IRON. ALL GRATES SHALL BE MOUNTED USING ZINC PLATED STEEL HARDWARE.
2. REMOVABLE GRATE SECTIONS SHALL BE MOUNTED USING ZINC PLATED STEEL HARDWARE AND PROVIDED WITH HINGED & LOCKABLE OR BOLTABLE ACCESS PANELS AS SHOWN ON THE PLANS.
3. STEEL GRATES SHALL BE HOT DIP GALVANIZED AND MAY BE HOT POWDER COATED AFTER GALVANIZING.
4. STRUCTURAL STEEL FOR GRATES SHALL BE GALVANIZED AND SHALL BE IN ACCORDANCE WITH CDOT STANDARD SPECIFICATIONS, SUBSECTION 712.06.
5. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR GRATING FOR ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION.

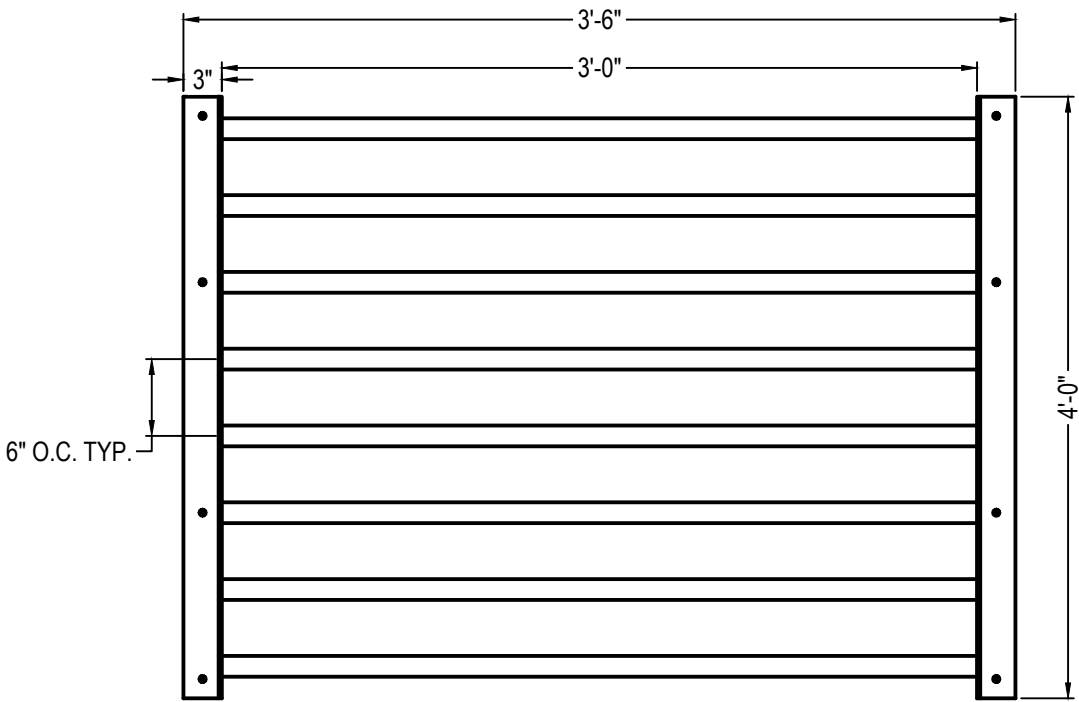
RESTRICTOR PLATE NOTES:

1.  $\frac{3}{8}$ " THICK RESTRICTOR PLATE, GALVANIZED STEEL.
2. BOLT PLATE TO CONCRETE @ 12" O.C. MAX.
3. PROVIDE CONTINUOUS NEOPRENE GASKET MATERIAL BETWEEN PLATE AND CONCRETE.
5. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR RESTRICTOR PLATE FOR ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION.

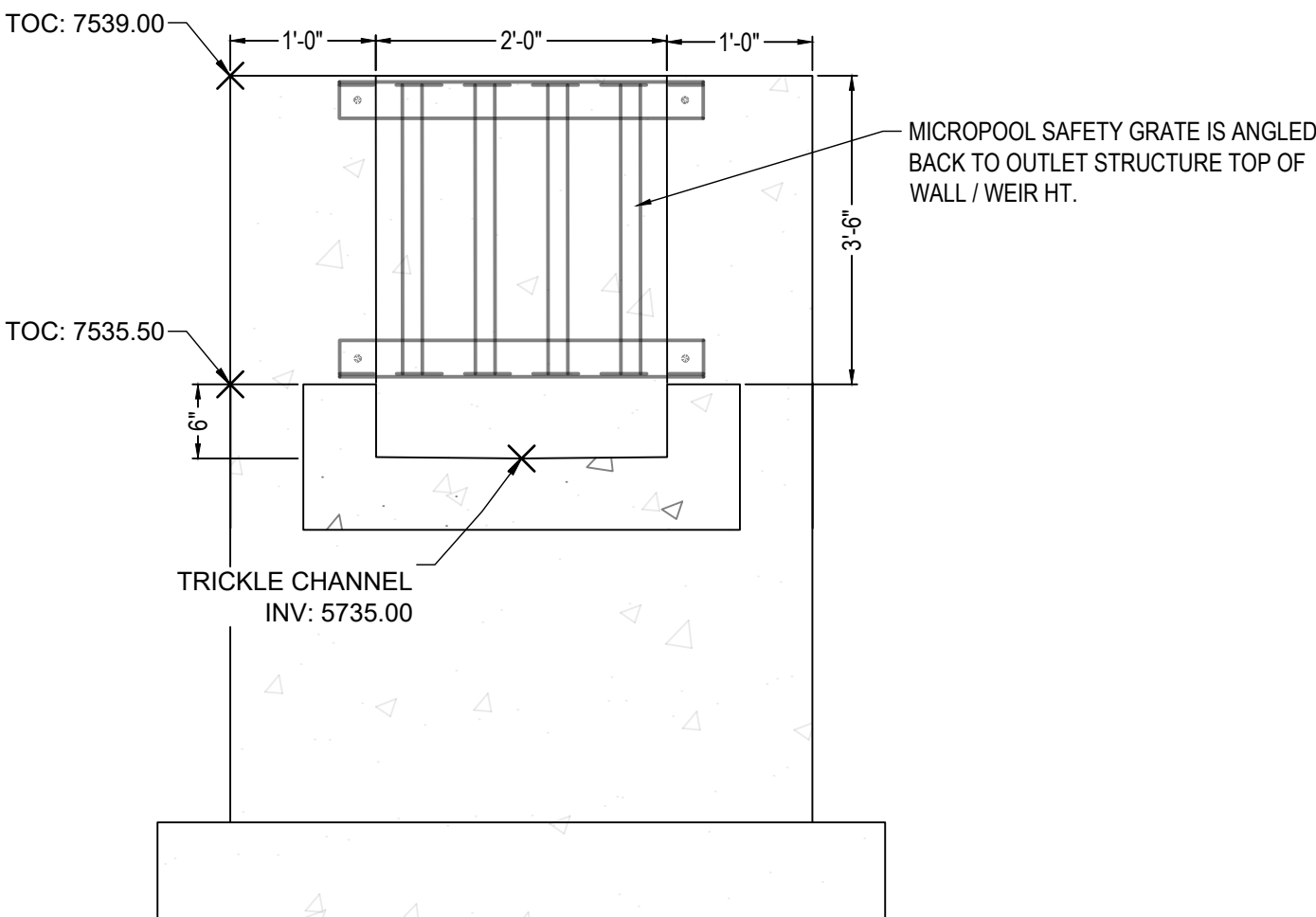


MICROPOOL FRONT/TOP  
ANGLED GRATE  
(ELEVATION VIEW)  
SCALE: NTS

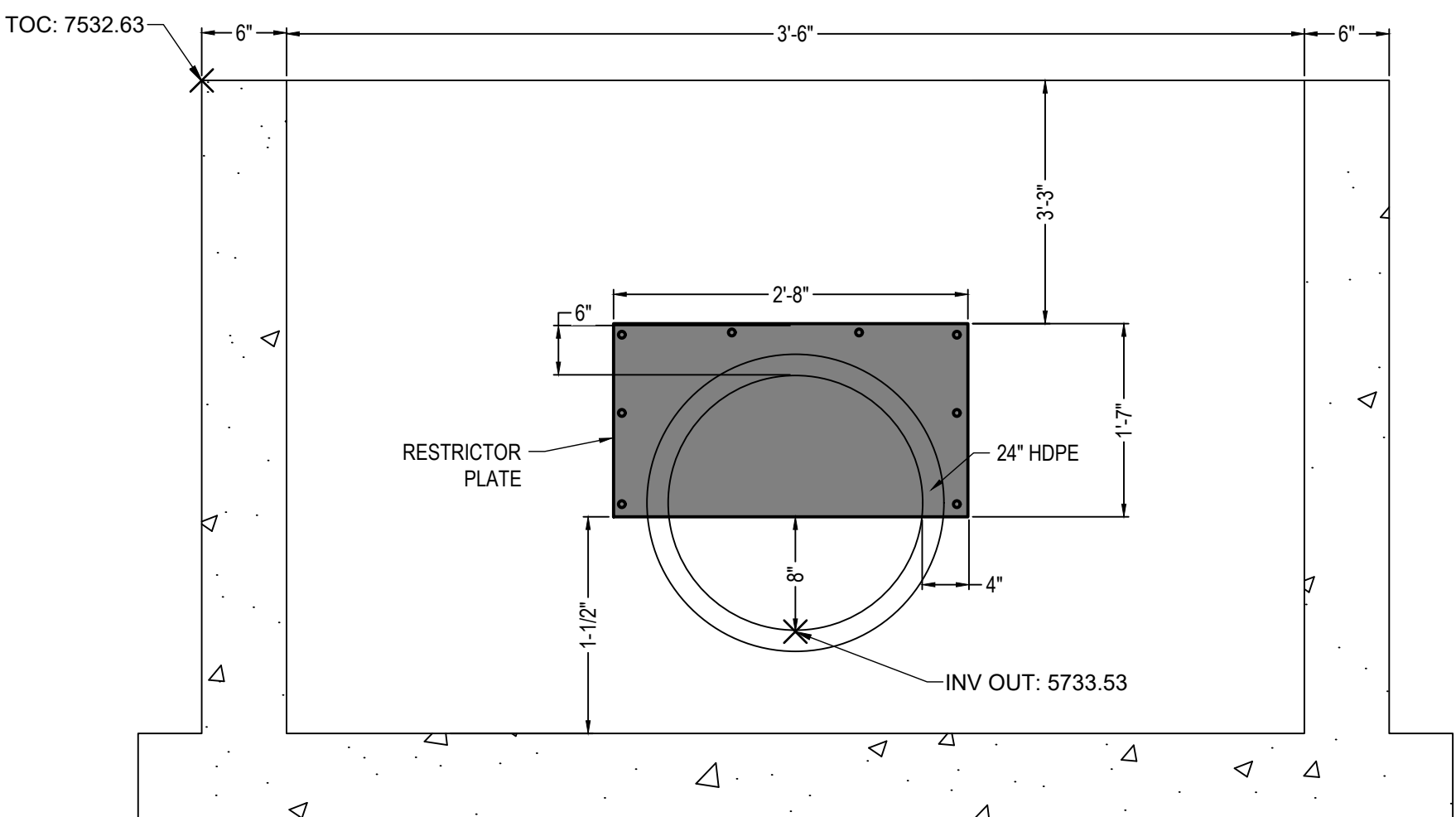
NOTE: TOTAL LENGTH OF FRONT/TOP MICROPOOL SAFETY GRATE IS 46'23" ACCOUNTING FOR ANGLED.



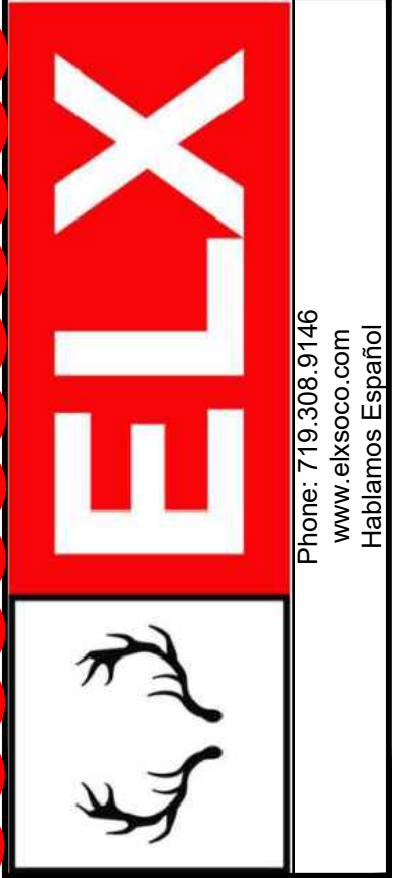
SAFETY GRATE (PLAN VIEW)  
SCALE: NTS



FRONT FACE OF STRUCTURE  
(SECTION VIEW B-B)  
SCALE: NTS



RESTRICTOR PLATE  
(SECTION VIEW C-C)  
SCALE: 1" = 1'-1/4"



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JOB #: 101544

DRAWN BY: CDS  
REVIEWED BY: CDS  
PROJ. MNGR.: CDS

PLAN SET:

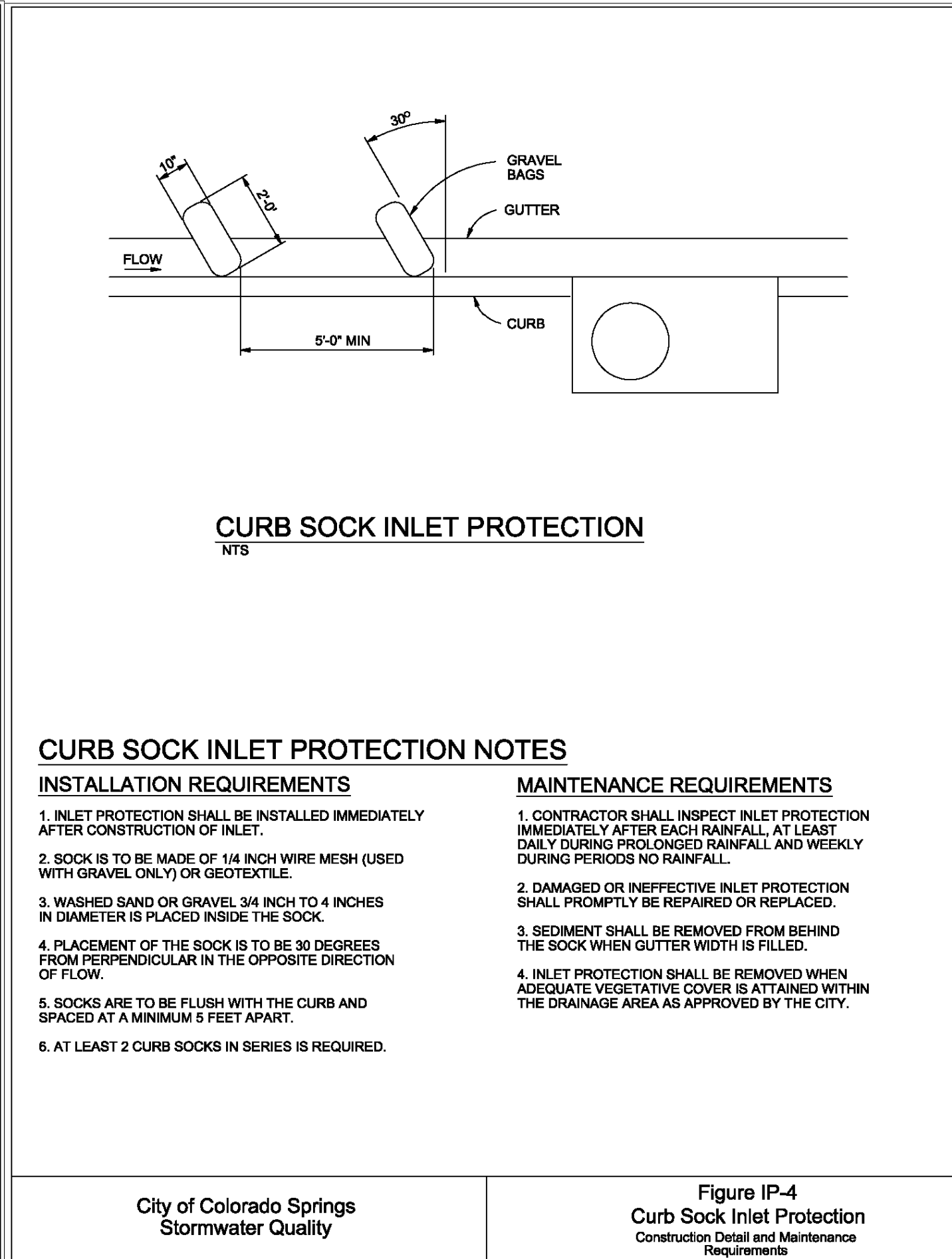
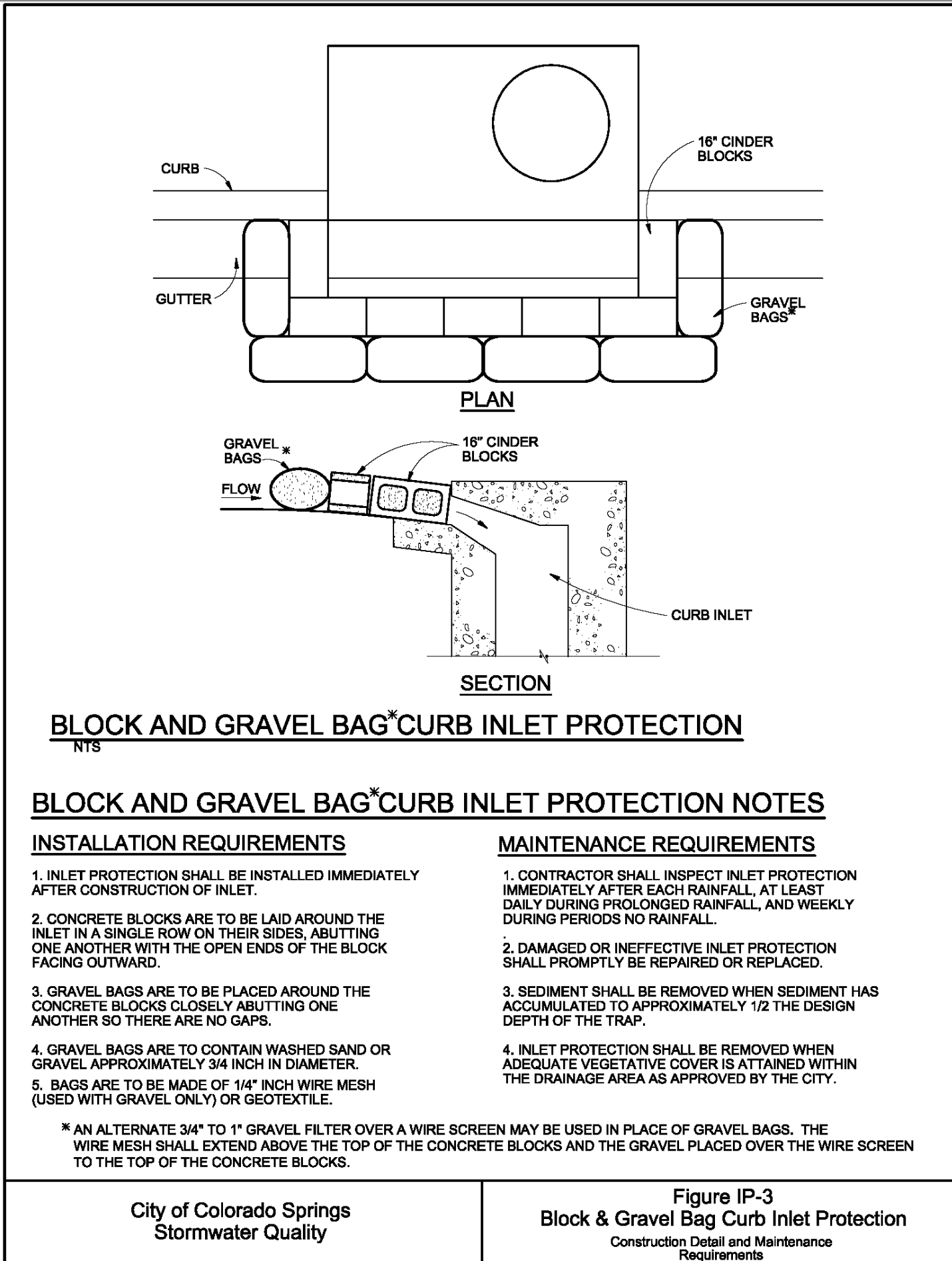
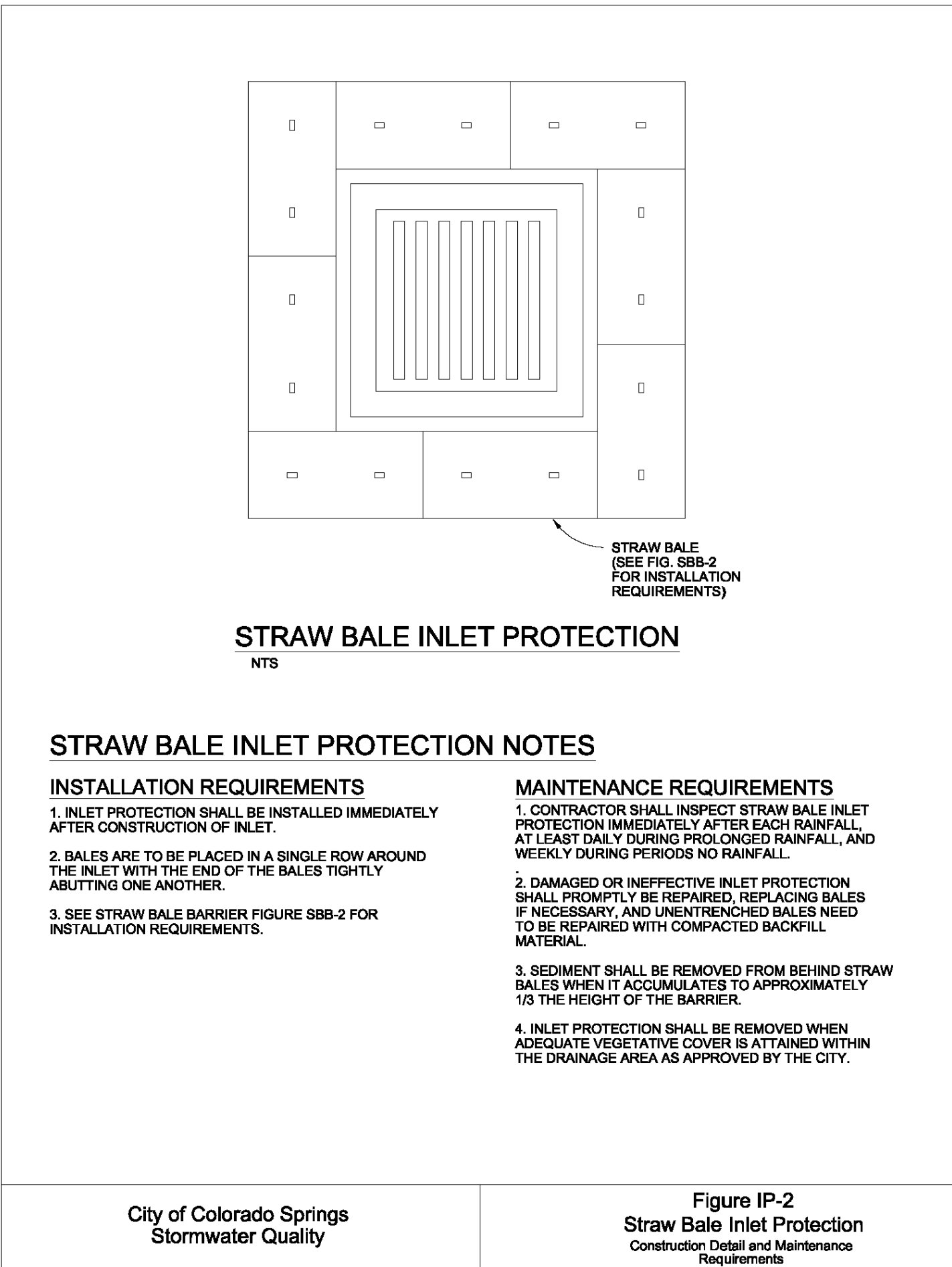
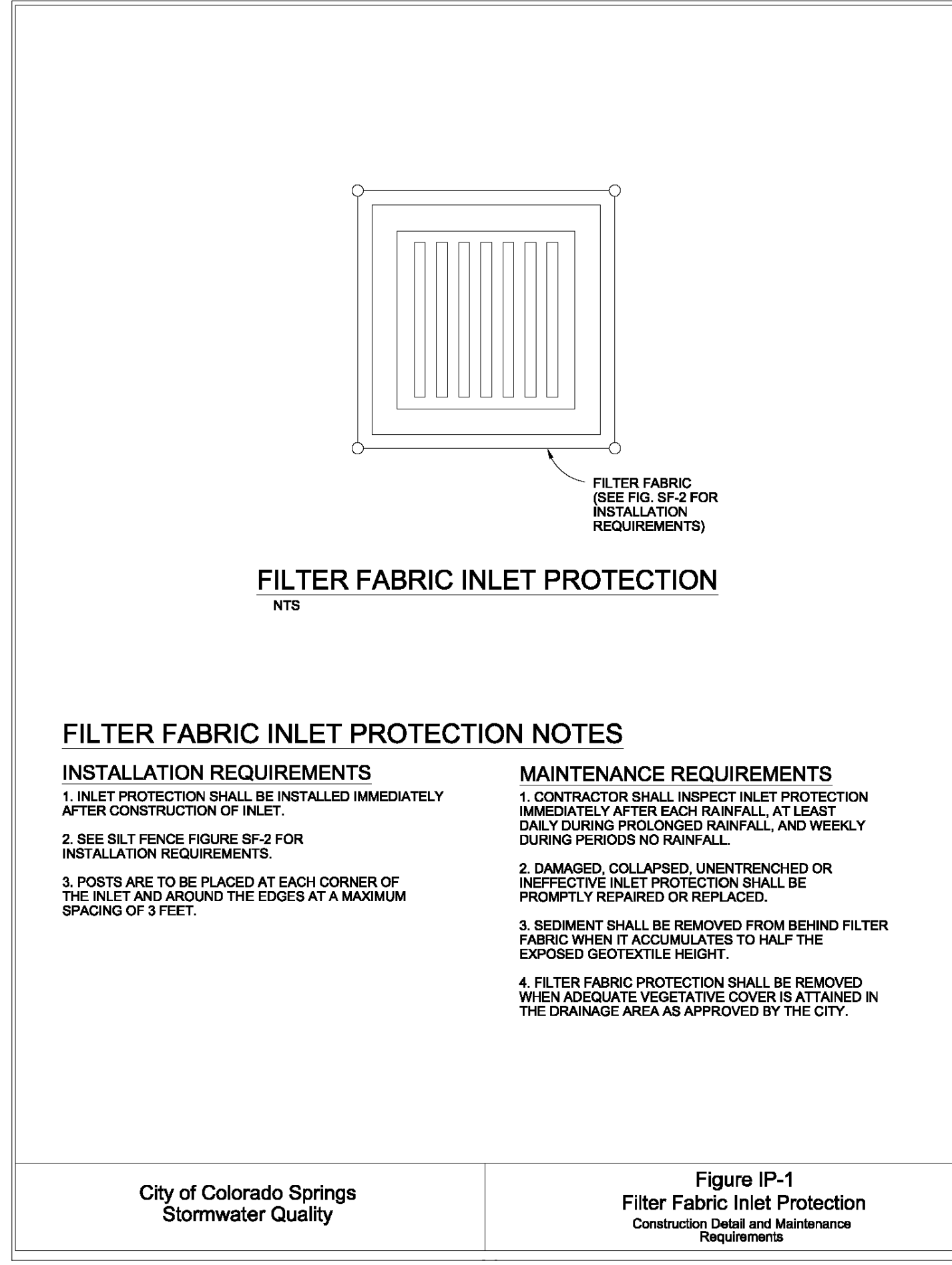
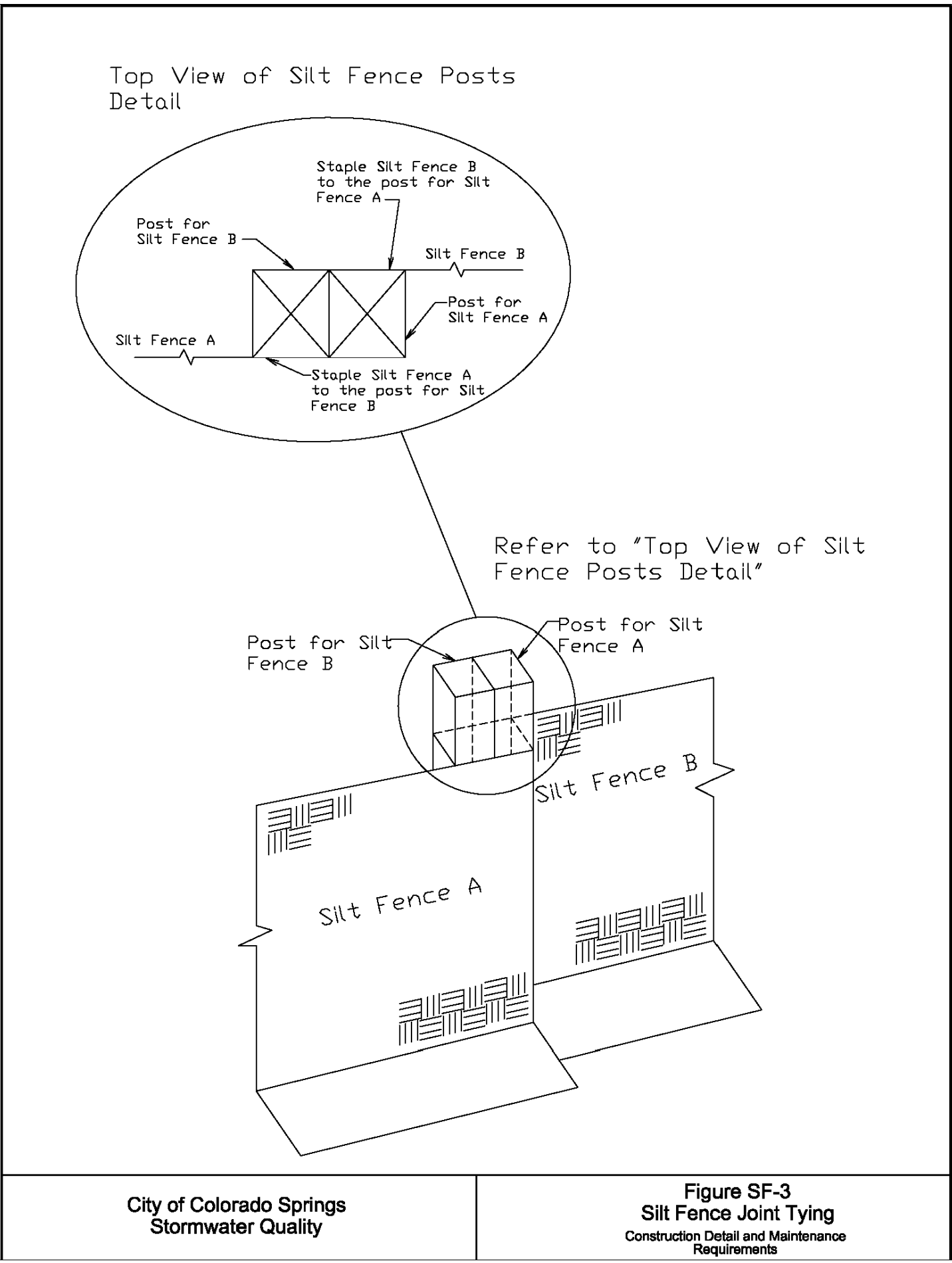
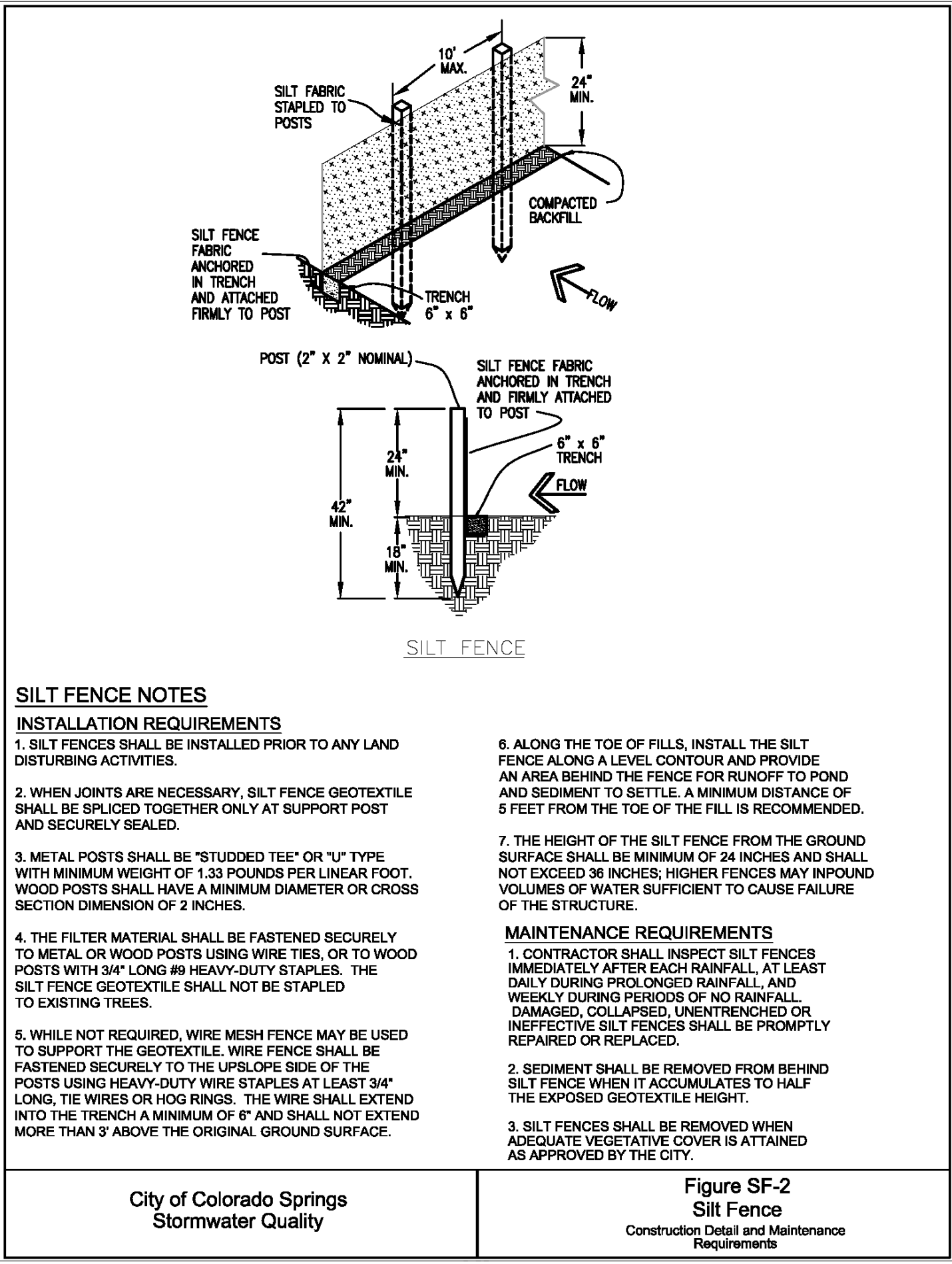
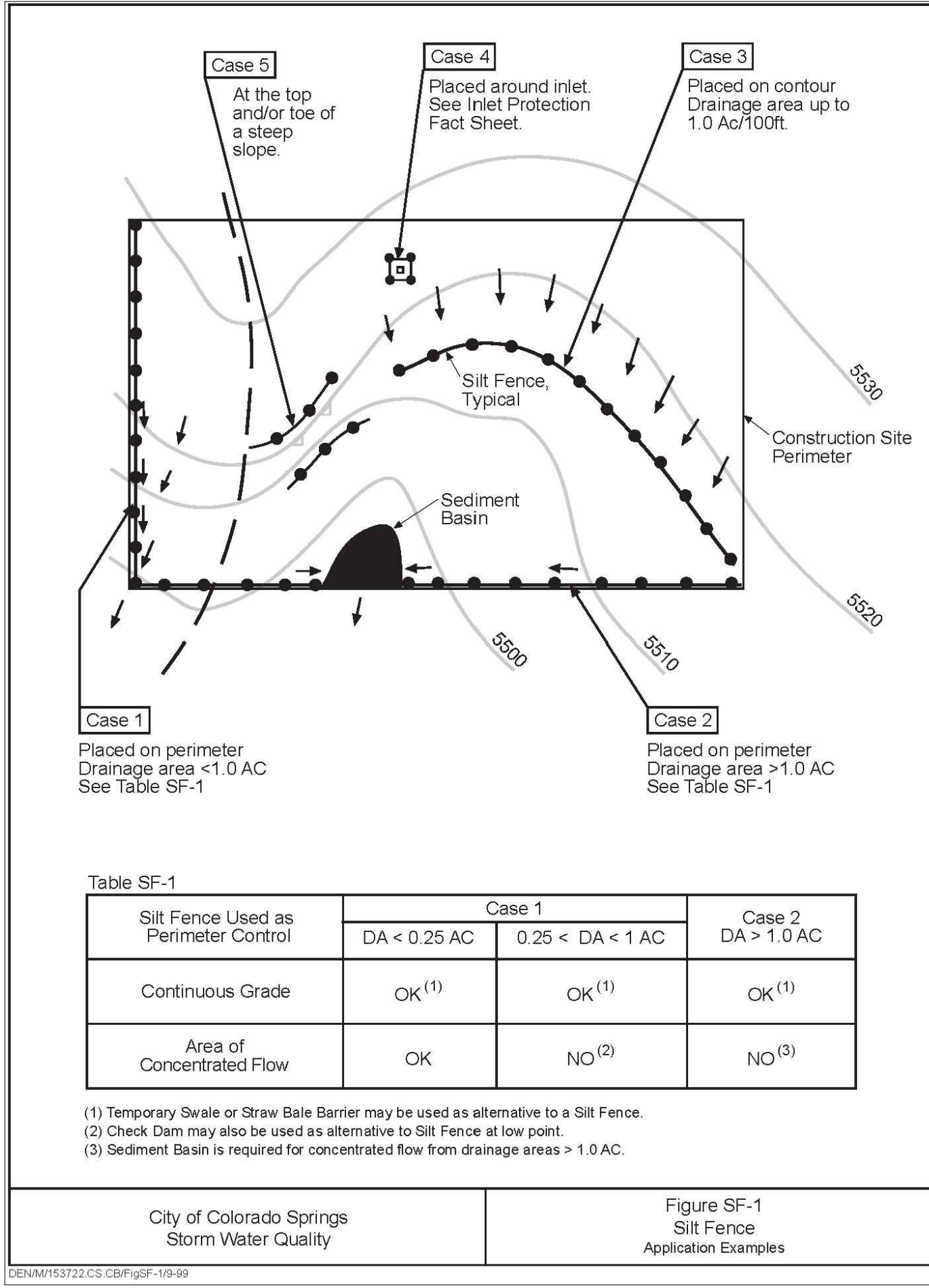
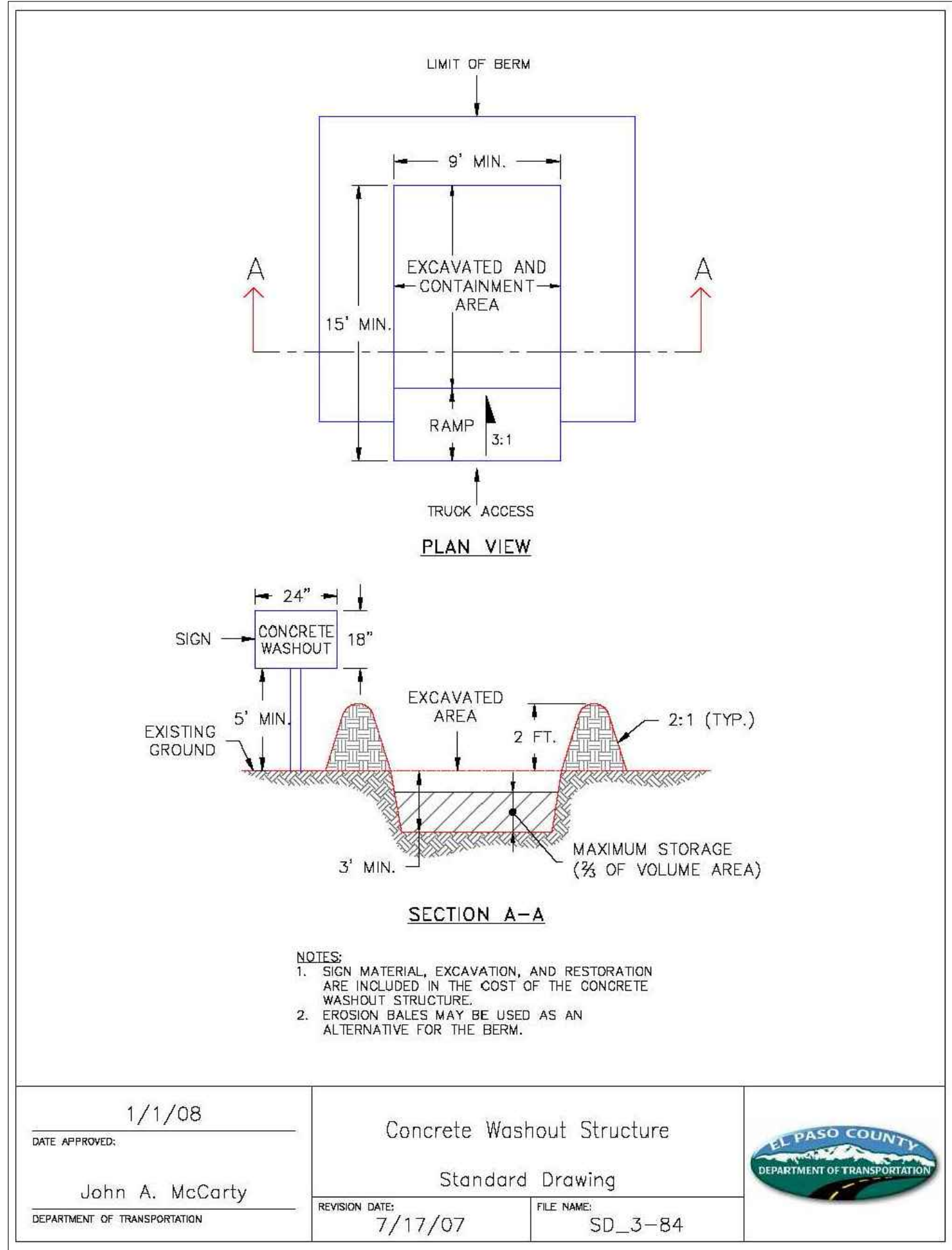
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FILING NO. 4  
PERMANENT CONTROL MEASURE  
INFRASTRUCTURE DETAILS

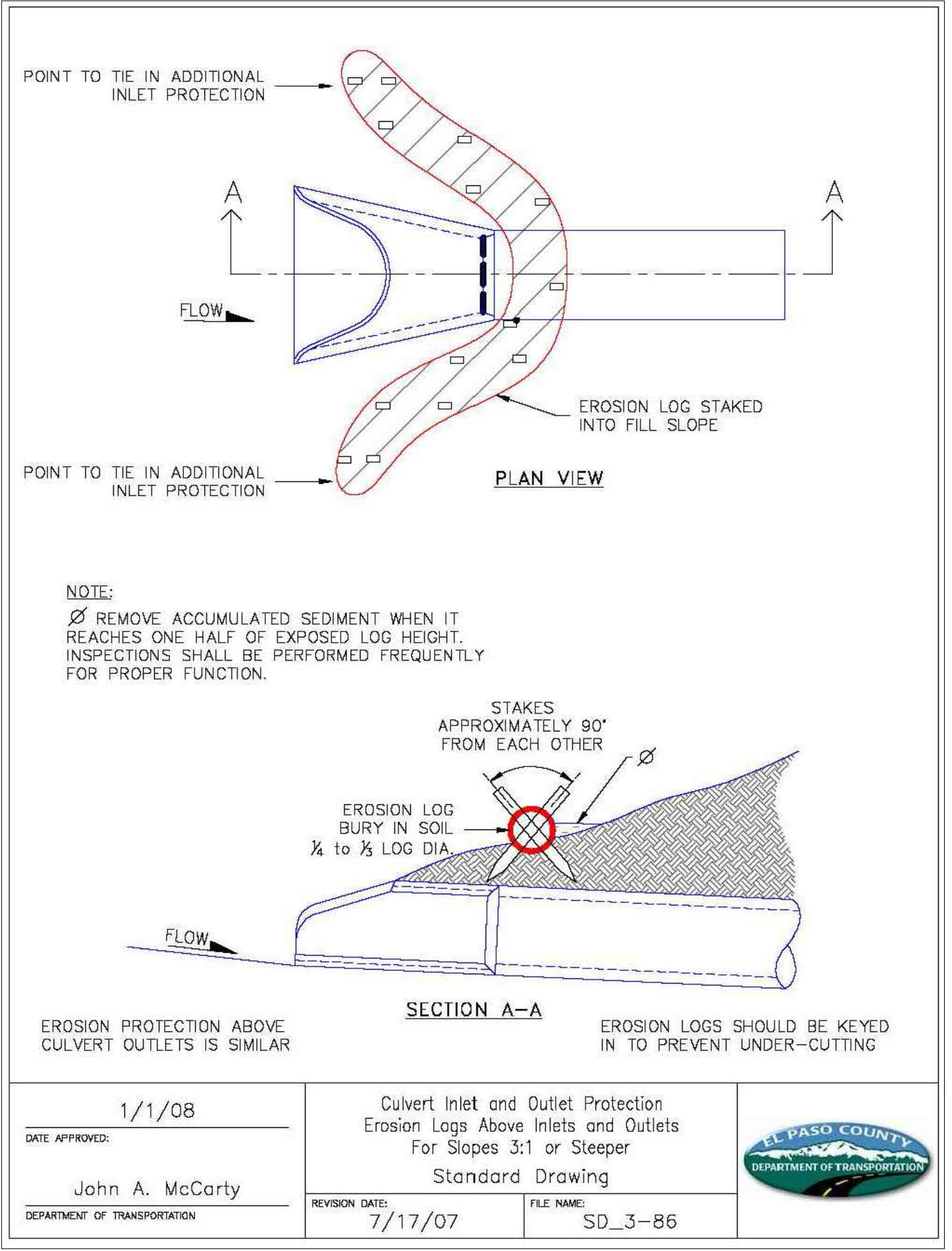
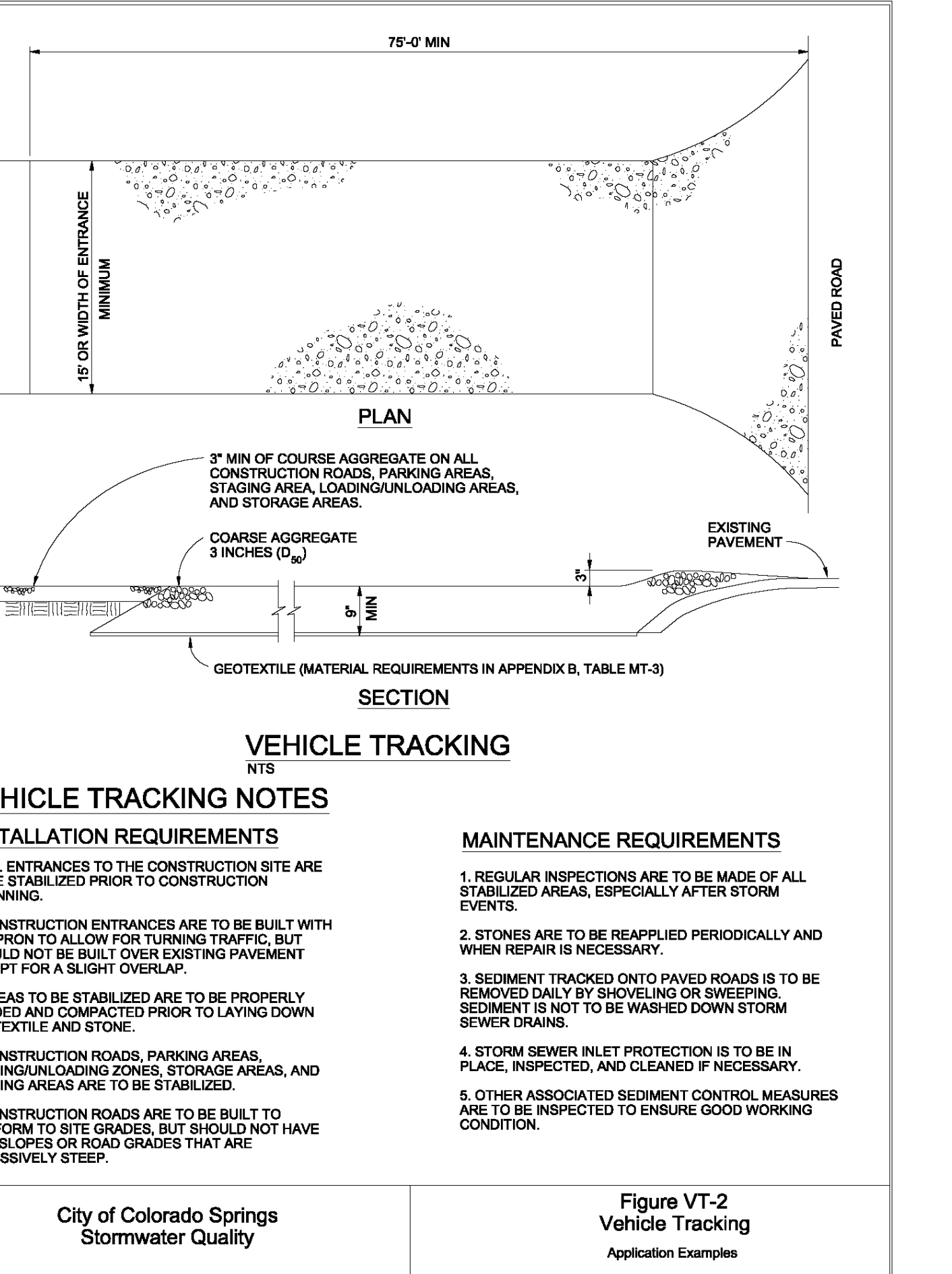
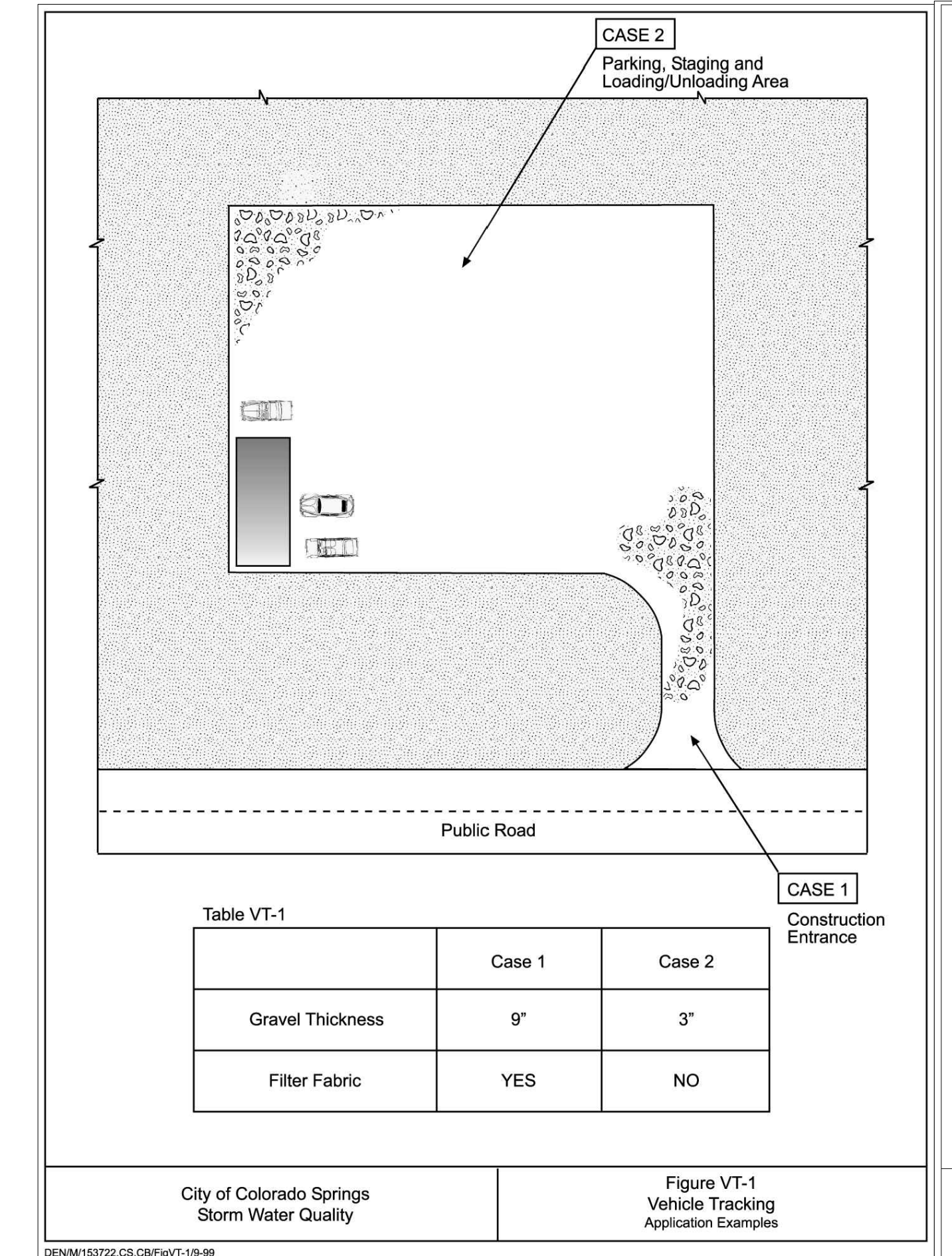
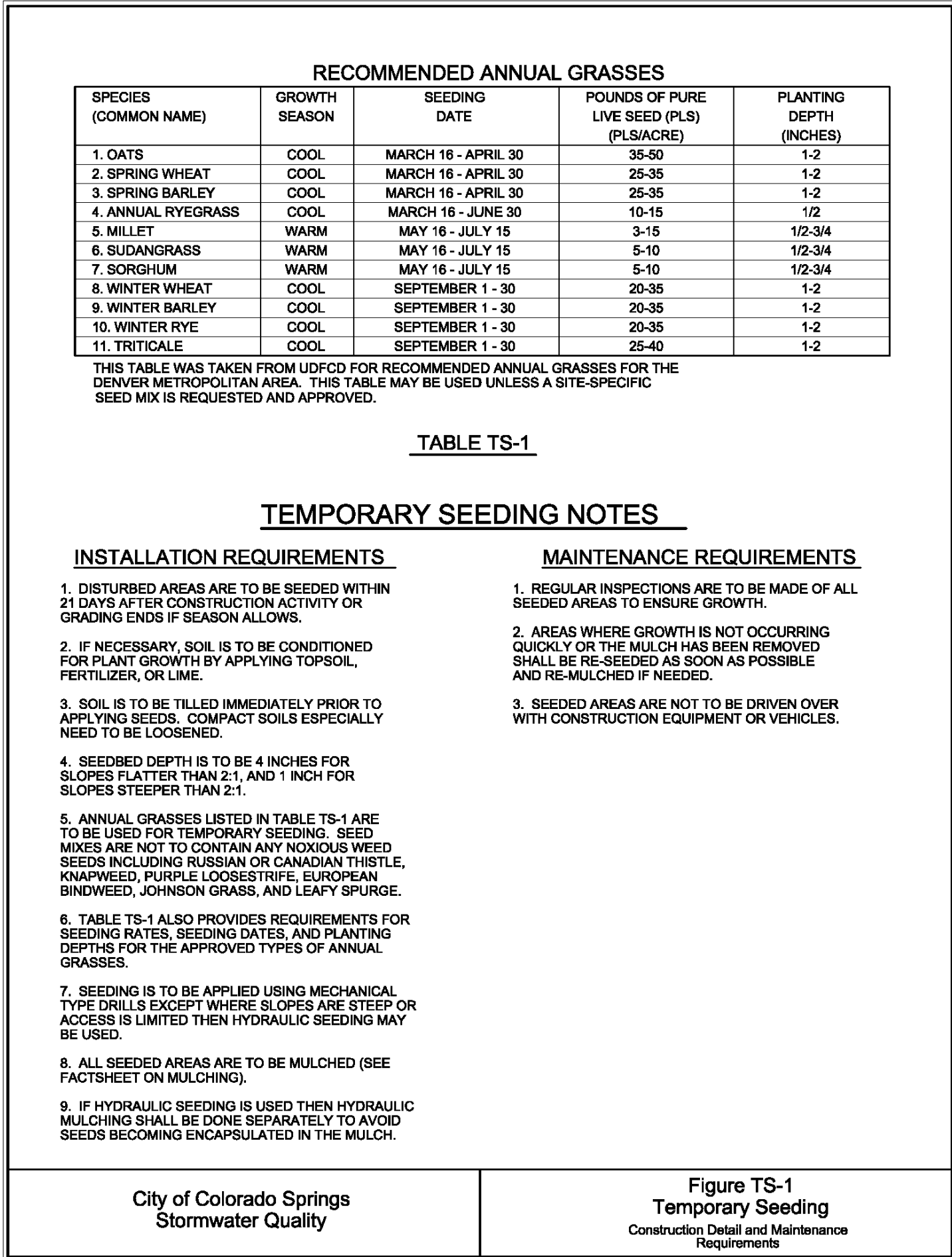
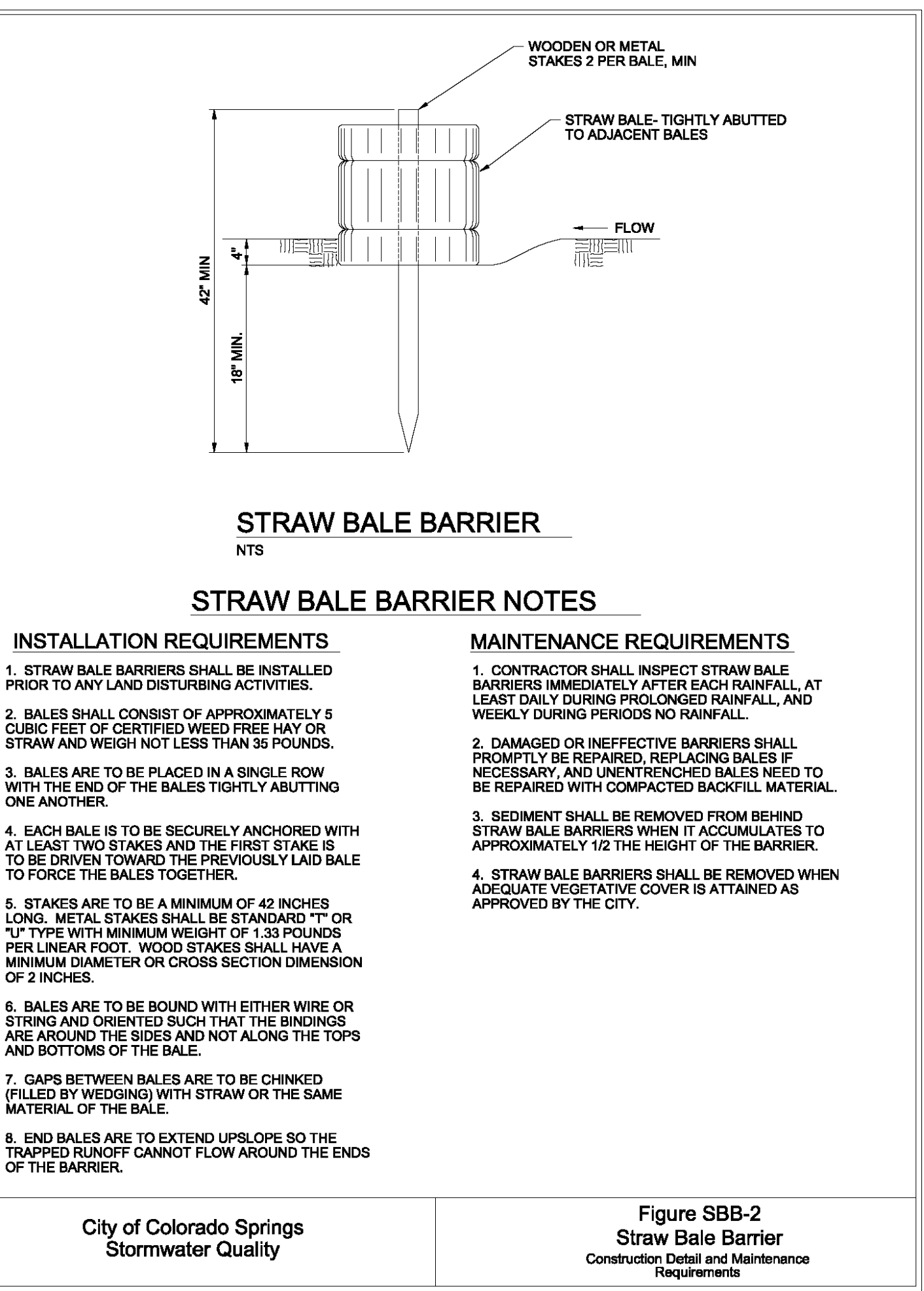
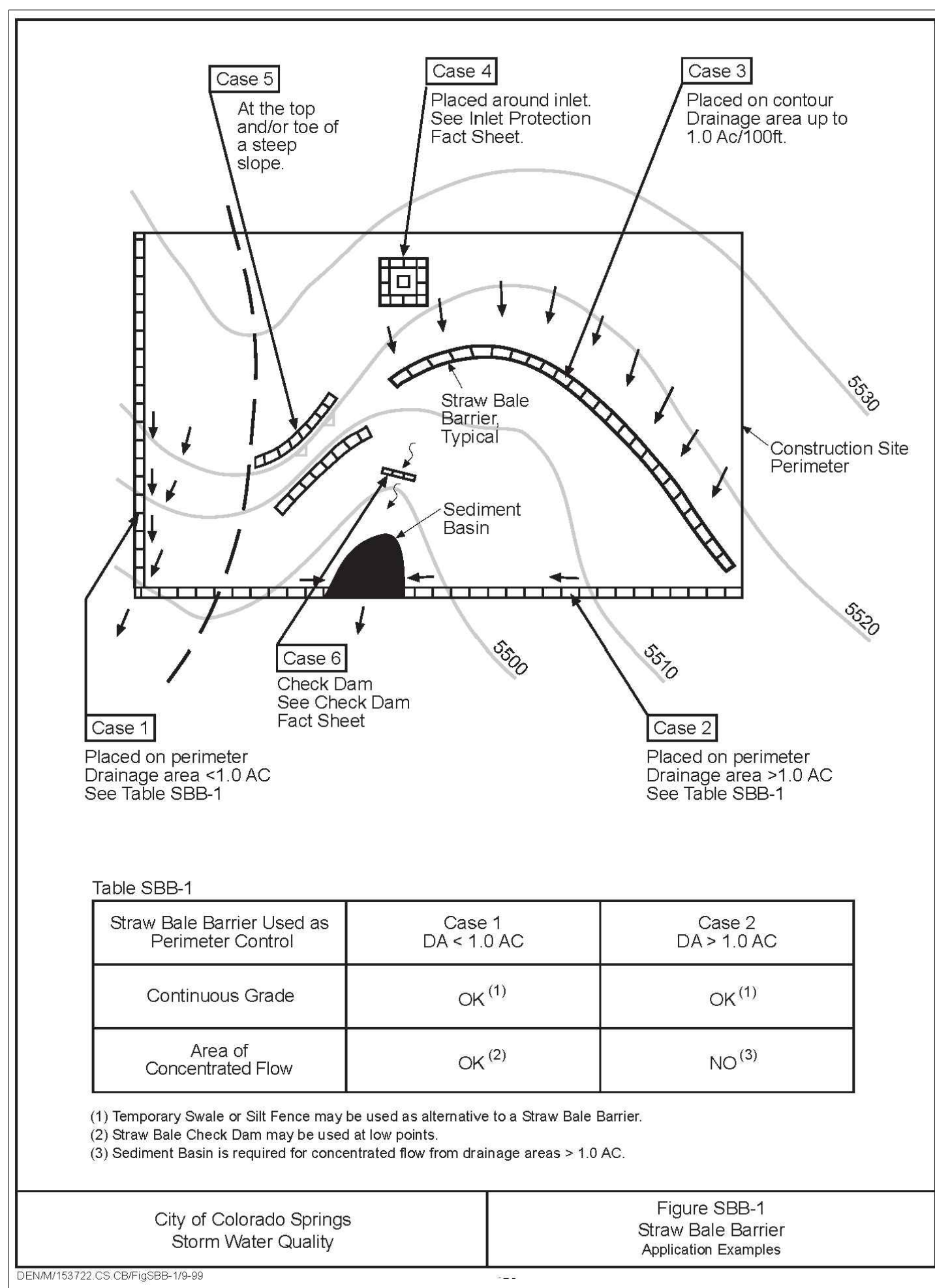
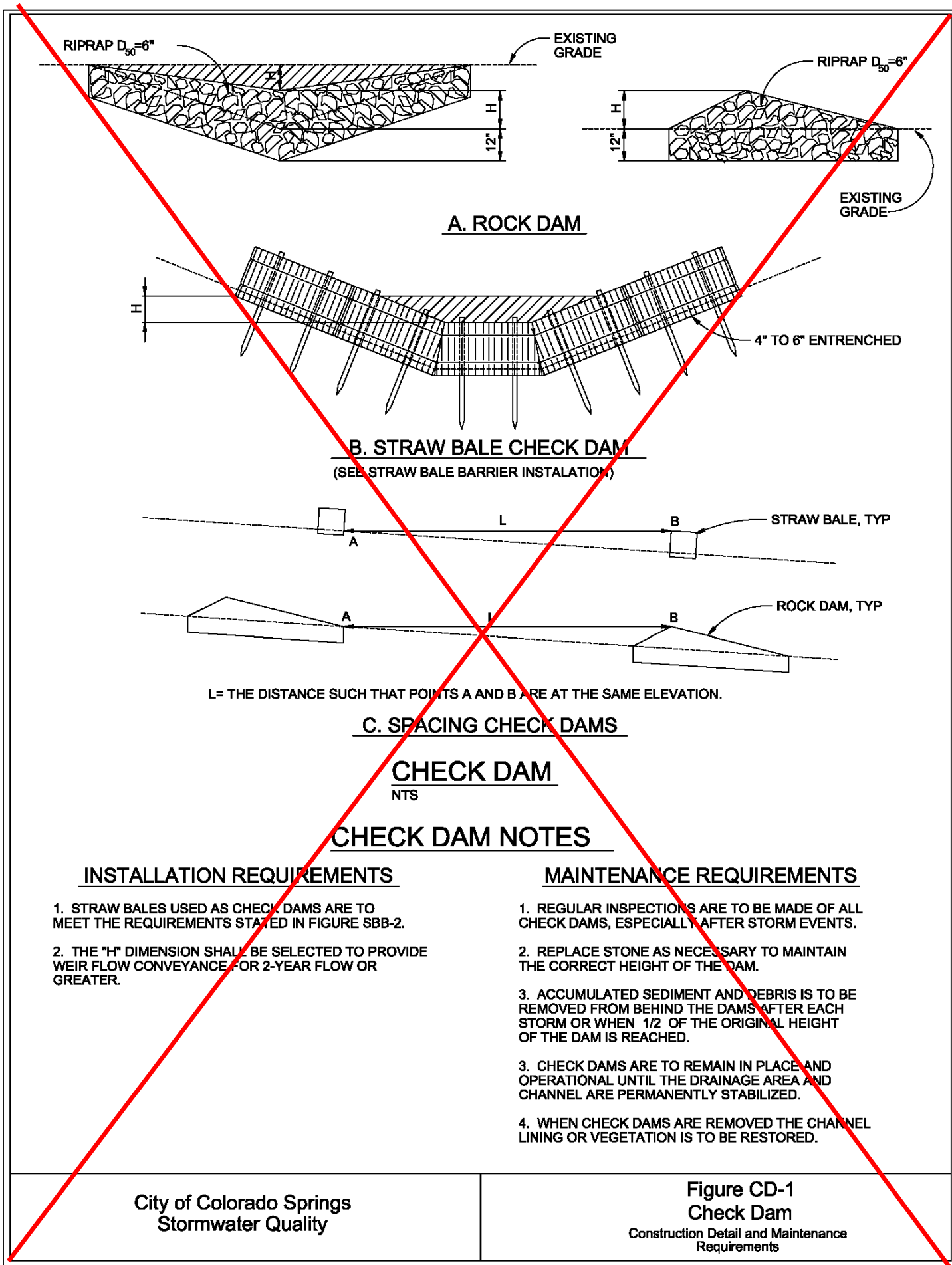
SHEET TITLE:

OUTLET STRUCTURE DETAILS

SHEET NO.:

22





**811**

Know what's below.  
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:  
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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SCOTT VAN WHYE

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JAYHAWK AVENUE AND REDTAIL DRIVE  
EL PASO COUNTY, COLORADO

**DETAILS**

DATE: 12/03/2021

REVISIONS

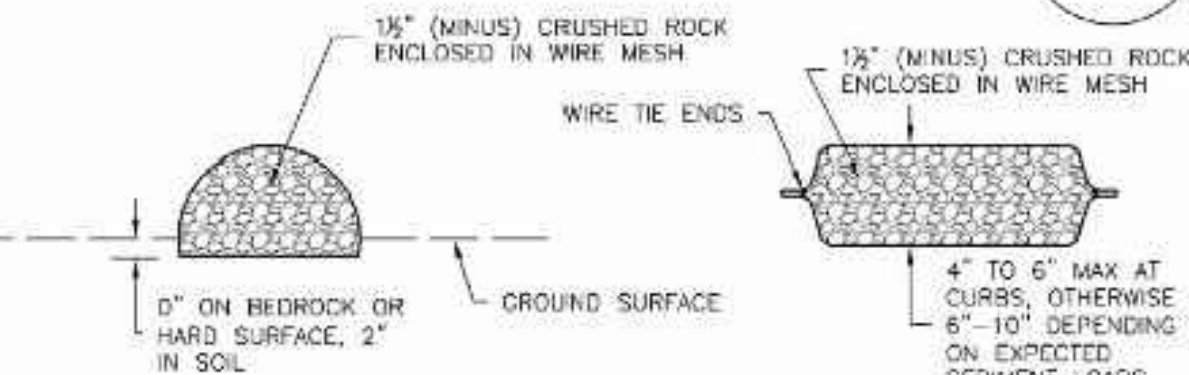
**COLORADO LICENSED PROFESSIONAL ENGINEER**

DR. RDL CH. RDL  
P.M. RDL

JOB: 21004166  
SHEET NO. 21

## SC-5

## Rock Sock (RS)



ROCK SOCK SECTION

ROCK SOCK PLAN



ROCK SOCK JOINTING

## ROCK SOCK INSTALLATION NOTES

- SEE PLAN VIEW FOR: -LOCATION(S) OF ROCK SOCKS.
- CRUSHED ROCK SHALL BE 1/2" (MINUS) IN SIZE WITH A FRACTURED FACE (ALL SIDES) AND SHALL COMPLY WITH GRADATION SHOWN ON THIS SHEET (1/2" MINUS).
- WIRE MESH SHALL BE FABRICATED OF 10 GAGE POULTRY MESH, OR EQUIVALENT, WITH A MAXIMUM OPENING OF 1/2", RECOMMENDED MINIMUM ROLL WIDTH OF 48"
- WIRE MESH SHALL BE SECURED USING "HOC RINGS" OR WIRE TIES AT 6" CENTERS ALONG ALL JOINTS AND AT 2" CENTERS ON ENDS OF SOCKS.
- SOME MUNICIPALITIES MAY ALLOW THE USE OF FILTER FABRIC AS AN ALTERNATIVE TO WIRE MESH FOR THE ROCK ENCLOSURE.

## RS-1. ROCK SOCK PERIMETER CONTROL

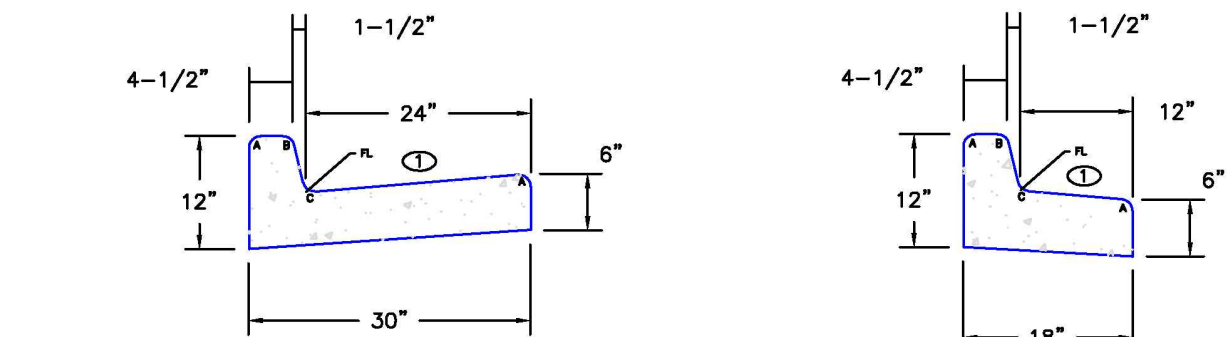
## ROCK SOCK MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED, OR DAMAGED BEYOND REPAIR.
- SEDIMENT ACCUMULATED UPSTREAM OF ROCK SOCKS SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENT IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE ROCK SOCK.
- ROCK SOCKS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
- WHEN ROCK SOCKS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

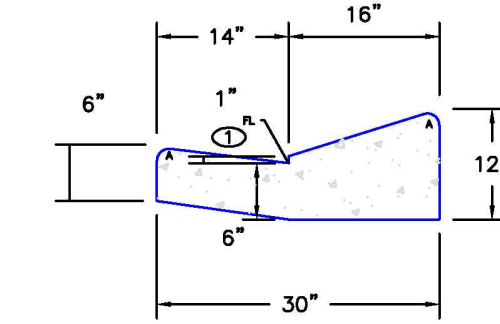
(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

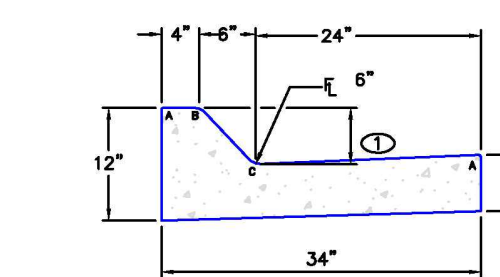
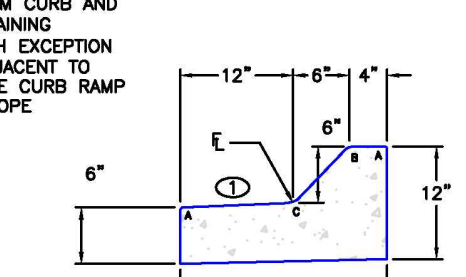
NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF ROCK SOCK INSTALLATION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY OTHER SIMILAR PROPRIETARY PRODUCTS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY PROTECTION PRODUCTS; HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

EPC TYPE A  
(REVERSE SLOPE OF PAN FOR SPILL CURB)

EPC TYPE B

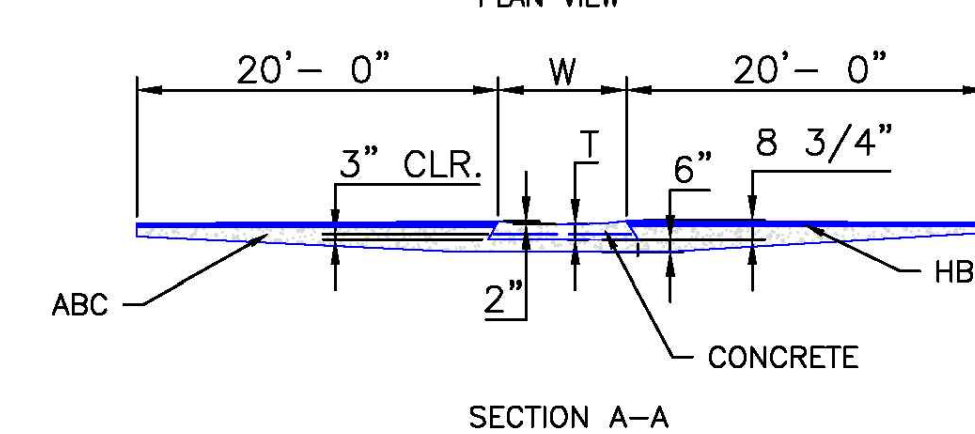
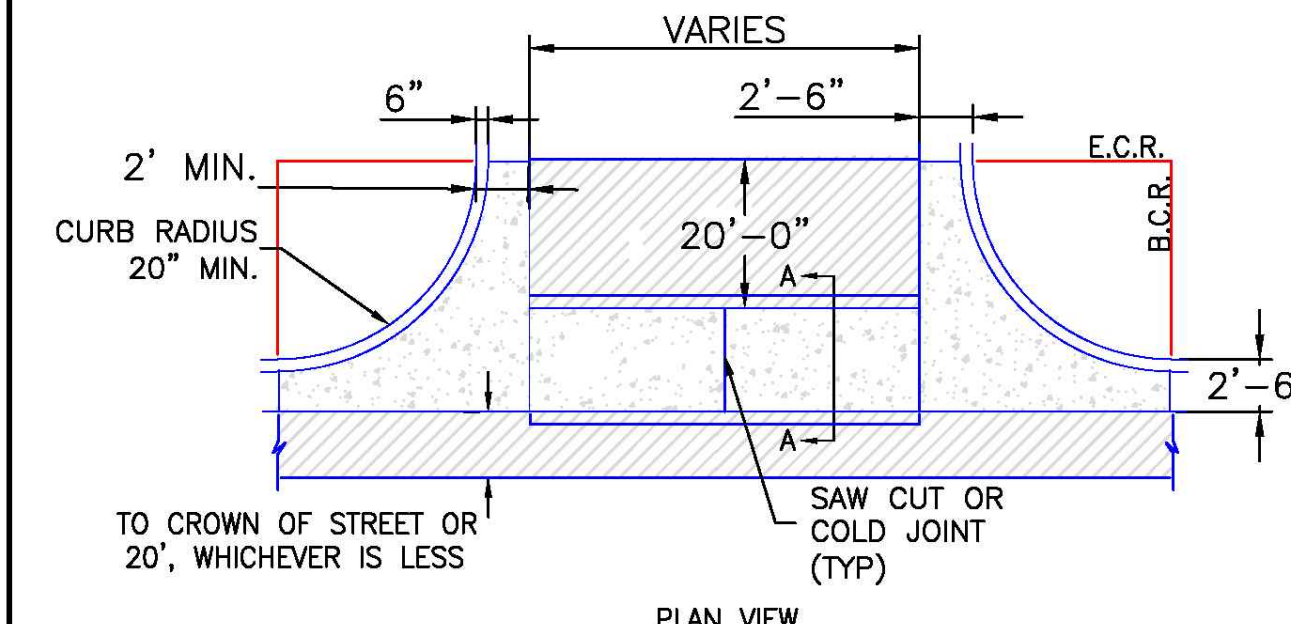
EPC TYPE C  
(REVERSE SLOPE OF PAN FOR SPILL CURB)

EPC OPTIONAL TYPE C

EPC TYPE D  
(6" RAMP CURB)EPC TYPE E  
(6" RAMP CURB)

SCALE: NOT TO SCALE

|                |                                 |            |                            |
|----------------|---------------------------------|------------|----------------------------|
| 6/23/20        | Typical Curb and Gutter Details |            | DEPARTMENT OF PUBLIC WORKS |
| DATE APPROVED: | Jennifer E. Irvine              |            |                            |
| REVISION DATE: | 6/23/20                         | FILE NAME: | SD_2-20                    |

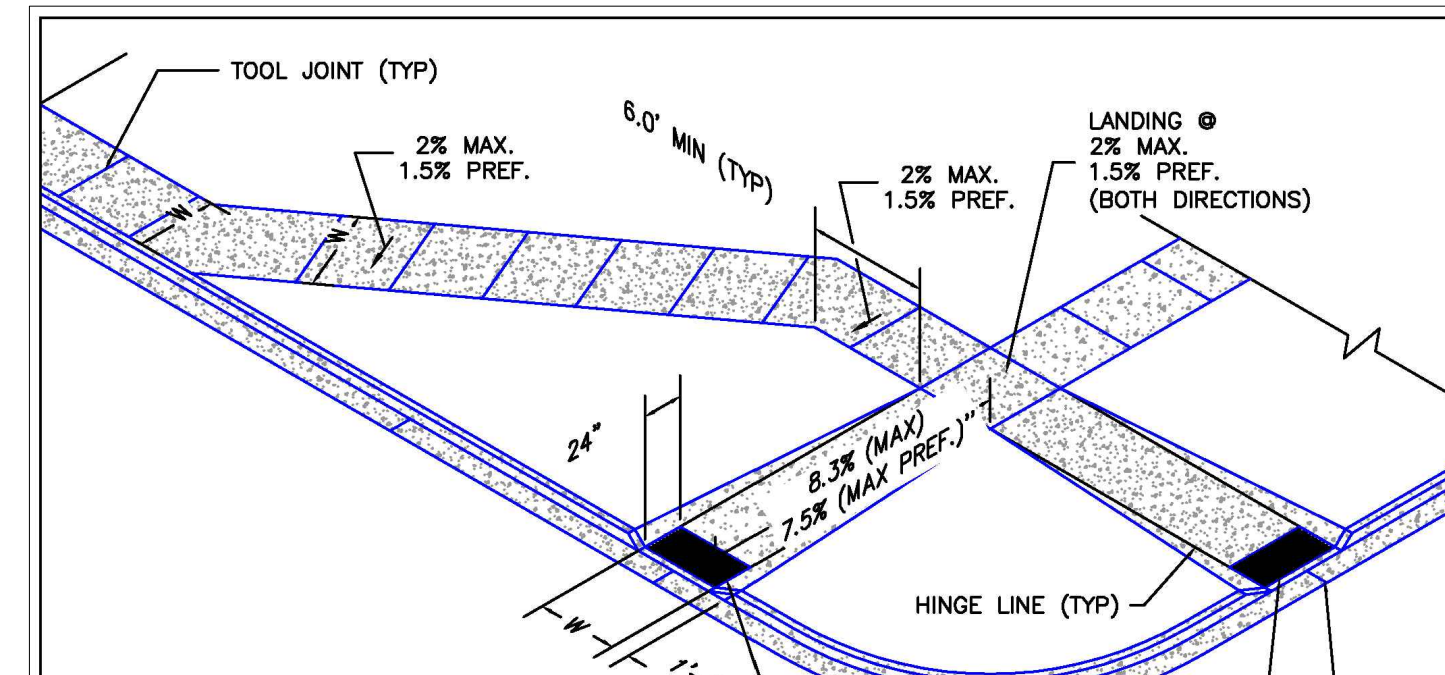


## NOTES

- W - WIDTH SHALL BE 6' FOR LOCAL, 8' FOR COLLECTORS, AND 10' FOR ARTERIAL ROADS.
- T - SQUARED-OFF RETURN TO BE POURED MONOLITHICALLY, 8" PCC FOR LOCAL ROADS, 9" FOR COLLECTORS WITH 6x6 - 4.4 W.W.F. OR #4 REINFORCING BAR @ 18" EACH WAY.
- 3" MINIMUM ASPHALT DEPTH (2 LIFTS).
- DESIGN TO SPECIFY ELEVATIONS AT PI AND PCR.

SCALE: NOT TO SCALE

|                |                                 |            |                |
|----------------|---------------------------------|------------|----------------|
| 8/11/11        | Typical Cross Pan Layout Detail |            | EL PASO COUNTY |
| DATE APPROVED: | André P. Brackin                |            |                |
| REVISION DATE: | 12/8/15                         | FILE NAME: | SD_2-26        |



W=SAME WIDTH AS THE APPROACHING SIDEWALK, BUT NOT LESS THAN 4.0 FEET

## PEDESTRIAN RAMP NOTES

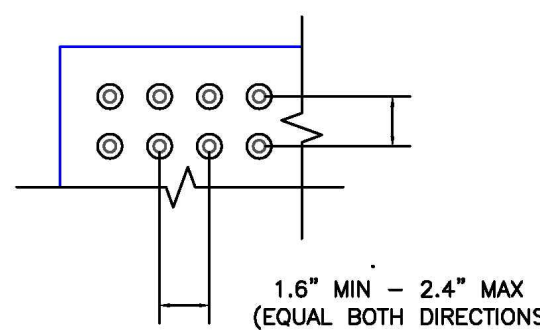
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT ENGINEERING CRITERIA MANUAL AND ADA REQUIREMENTS.
- CONTRACTOR TO NOTIFY ENGINEERING DIVISION INSPECTION STAFF 48 HOURS PRIOR TO CONCRETE PLACEMENT.
- PEDESTRIAN CURB RAMP CONSTRUCTION SHALL BE A MINIMUM 4,500 PSI CONCRETE, MINIMUM 4" THICK, NON-COLORED, NON-SCORED, COARSE BROOM FINISH.
- PEDESTRIAN CURB RAMP LOCATION AND LENGTH MAY REQUIRE MODIFICATION TO MAINTAIN THE 8.3% MAXIMUM RUNNING RAMP SLOPE DUE TO STREET INTERSECTION GRADES AND/OR ALIGNMENTS. SEE EGM SECTION 6.3.5 FOR PEDESTRIAN PUSHBUTTON LOCATION REQUIREMENTS.
- DETECTABLE WARNING SURFACE SHALL START A MINIMUM OF 6" BUT NOT MORE THAN 8" FROM THE FLOWLINE OF THE CURB AT ANY POINT.
- DETECTABLE WARNING SURFACE SHALL BE PREFABRICATED, CAST IRON (OPTIMA NATURAL FINISH) AND IN ACCORDANCE WITH EGM CHAPTER 8 AND SD-2-42. THERMOPLASTIC TRUNCATED DOMES AND PAVERS WILL NOT BE ACCEPTED.
- THE DETECTABLE WARNING SURFACE SHALL BE 24" IN LENGTH AND THE FULL WIDTH OF THE RAMP.
- PEDESTRIAN CURB RAMP WIDTH REQUIRED IS SAME AS APPROACHING SIDEWALK, 4' MINIMUM.
- ALL PEDESTRIAN CURB RAMPs WILL BE PERPENDICULAR TO TRAFFIC WITH THE EXCEPTION OF MID-BLOCK OR TERMINAL RAMPs WHICH MAY BE PARALLEL, SUBJECT TO APPROVAL.
- DRAINAGE STRUCTURES, TRAFFIC SIGNAL/BOXES, UTILITIES/JUNCTION BOXES, OR OTHER OBSTRUCTIONS WITHIN PROPOSED PEDESTRIAN CURB RAMP AREAS AND LANDINGS ARE PROHIBITED.
- THE COUNTER SLOPE OF THE GUTTER OR ROAD AT THE FOOT OF A RAMP SHALL NOT EXCEED 3%.

## GENERAL NOTES

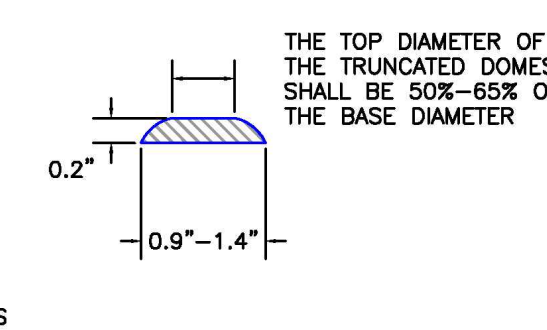
- WHERE THE 1'-6" FLARED SIDE(S) OF A PERPENDICULAR CURB RAMP IS (ARE) CONTIGUOUS WITH A PEDESTRIAN OR HARD SURFACE AREA (PEDESTRIAN CIRCULATION PATH), THE MAXIMUM FLARE SLOPE SHALL NOT EXCEED 10:1.
- PEDESTRIAN WALKWAY (PEDESTRIAN ACCESS ROUTE) AND/OR LOCATION OF EXISTING OR FUTURE PEDESTRIAN RAMPs ON OPPOSITE CORNERS SHALL BE REVIEWED BEFORE CONSTRUCTING NEW RAMPs.
- AT MARKED PEDESTRIAN CROSSINGS, THE BOTTOM OF THE RAMPs, EXCLUSIVE OF THE FLARE SIDES, SHALL BE TOTALLY CONTAINED WITHIN THE MARKINGS.

|                |                             |            |                            |
|----------------|-----------------------------|------------|----------------------------|
| 6/23/20        | Pedestrian Curb Ramp Detail |            | DEPARTMENT OF PUBLIC WORKS |
| DATE APPROVED: | Jennifer E. Irvine          |            |                            |
| REVISION DATE: | 6/23/20                     | FILE NAME: | SD_2-41                    |

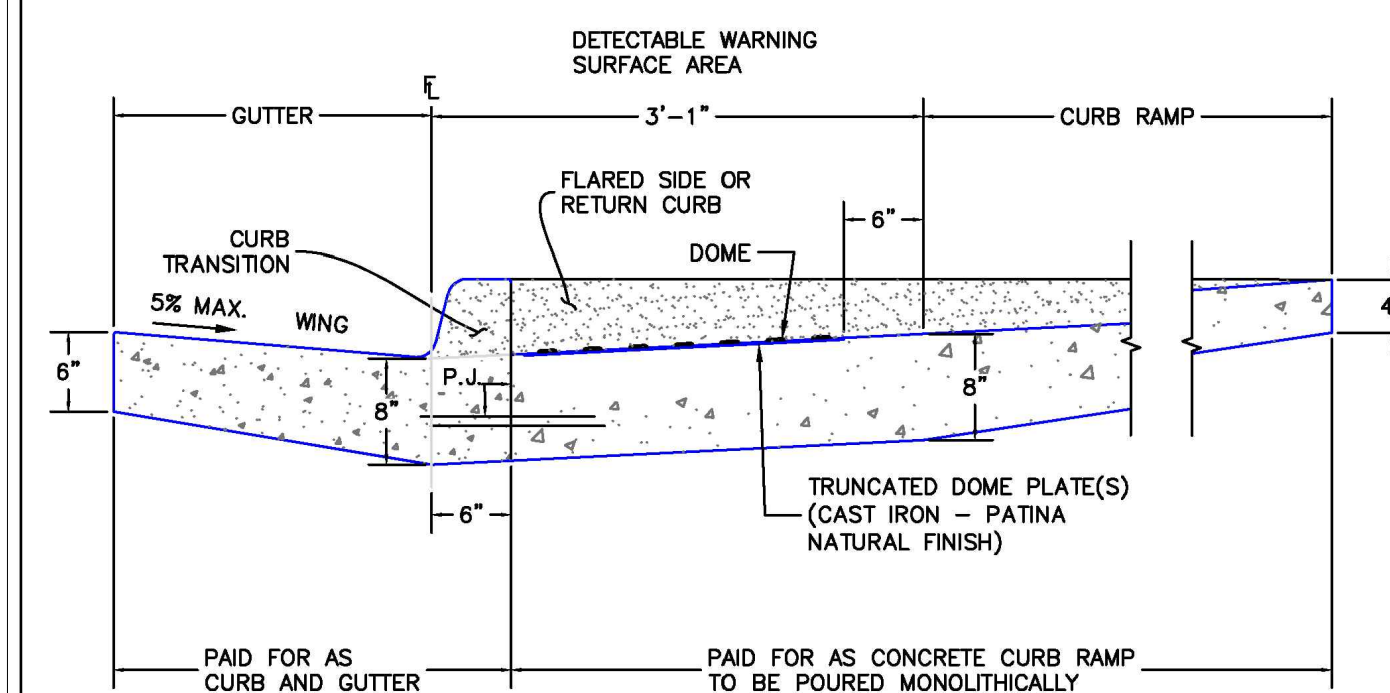
## TRUNCATED DOME DETAILS



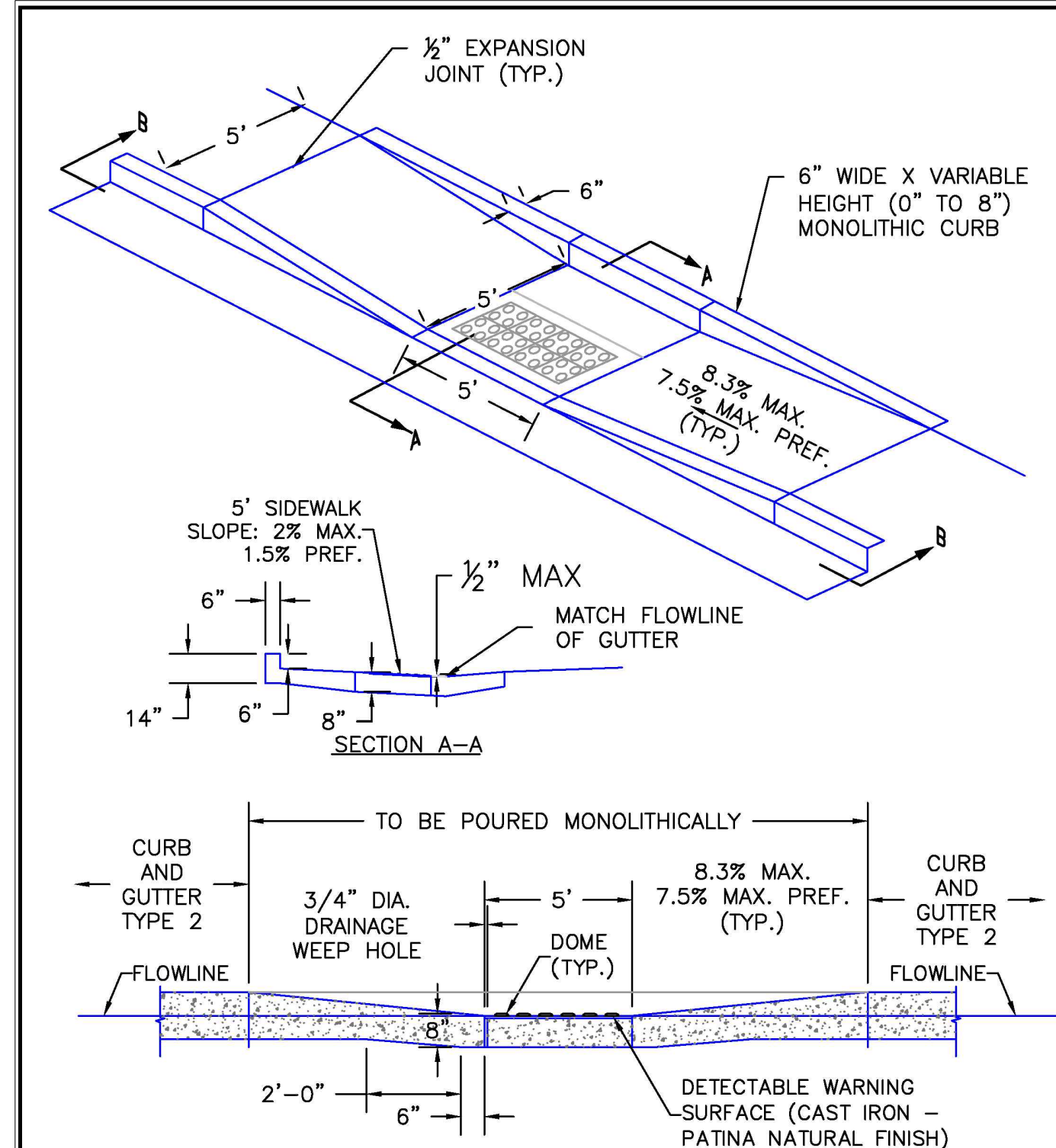
DOME SPACING



ELEVATION VIEW

SIDE CROSS SECTION VIEW OF  
DETECTABLE WARNING SURFACE, CURB AND GUTTER

|                |                                    |            |                            |
|----------------|------------------------------------|------------|----------------------------|
| 6/23/20        | Detectable Warning Surface Details |            | DEPARTMENT OF PUBLIC WORKS |
| DATE APPROVED: | Jennifer E. Irvine                 |            |                            |
| REVISION DATE: | 6/23/20                            | FILE NAME: | SD_2-42                    |



SECTION B-B SCALE: NOT TO SCALE

|                |                                      |            |                            |
|----------------|--------------------------------------|------------|----------------------------|
| 6/23/20        | Parallel Pedestrian Curb Ramp Detail |            | DEPARTMENT OF PUBLIC WORKS |
| DATE APPROVED: | Jennifer E. Irvine                   |            |                            |
| REVISION DATE: | 6/23/20                              | FILE NAME: | SD_2-50                    |

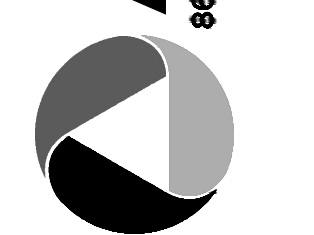


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SUNSET VILLAGE FIL. NO. 4  
JAYHAWK AVENUE AND REDTAIL DRIVE  
EL PASO COUNTY, COLORADO  
DETAILS

CLIENT

DATE 12/03/2021

A 1st SUBMITTAL TO EPC 10/27/2021 - RDL  
B 2nd SUBMITTAL TO EPC 12/03/2021 - RDL

REVISIONS



DR. RDL CH. RDL

P.M. RDL

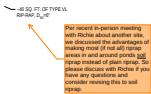
JOB #21004166

SHEET NO.

22

# V7\_Construction Drawings Comments.pdf Markup Summary

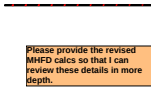
8/11/2026 10:58:05 AM (1)



**Subject:** SW - Textbox with Arrow  
**Page Label:** 20  
**Author:** Glenn Reese - EPC Stormwater  
**Date:** 8/11/2026 10:58:05 AM  
**Status:**  
**Color:**    
**Layer:**  
**Space:**

Per recent in-person meeting with Richie about another site, we discussed the advantages of making most (if not all) riprap areas in and around ponds soil riprap instead of plain riprap. So please discuss with Richie if you have any questions and consider revising this to soil riprap.

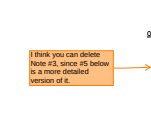
8/11/2026 11:02:01 AM (1)



**Subject:** SW - Textbox  
**Page Label:** 21  
**Author:** Glenn Reese - EPC Stormwater  
**Date:** 8/11/2026 11:02:01 AM  
**Status:**  
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Please provide the revised MHFD calcs so that I can review these details in more depth.

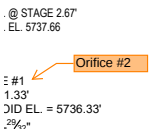
8/11/2026 11:03:01 AM (1)



**Subject:** SW - Textbox with Arrow  
**Page Label:** 21  
**Author:** Glenn Reese - EPC Stormwater  
**Date:** 8/11/2026 11:03:01 AM  
**Status:**  
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I think you can delete Note #3, since #5 below is a more detailed version of it.

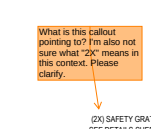
8/11/2026 11:03:24 AM (1)



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**Page Label:** 21  
**Author:** Glenn Reese - EPC Stormwater  
**Date:** 8/11/2026 11:03:24 AM  
**Status:**  
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**Space:**

Orifice #2

8/11/2026 11:04:55 AM (1)



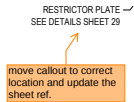
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**Page Label:** 21  
**Author:** Glenn Reese - EPC Stormwater  
**Date:** 8/11/2026 11:04:55 AM  
**Status:**  
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**Space:**

What is this callout pointing to? I'm also not sure what "2X" means in this context. Please clarify.

---

8/11/2026 11:05:58 AM (1)

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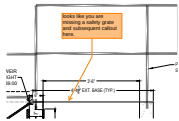
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**Page Label:** 21  
**Author:** Glenn Reese - EPC Stormwater  
**Date:** 8/11/2026 11:05:58 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

move callout to correct location and update the sheet ref.

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8/11/2026 11:10:21 AM (1)

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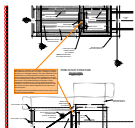
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**Page Label:** 21  
**Author:** Glenn Reese - EPC Stormwater  
**Date:** 8/11/2026 11:10:21 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

looks like you are missing a safety grate and subsequent callout here.

---

8/11/2026 11:10:48 AM (1)

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**Subject:** SW - Textbox with Arrow  
**Page Label:** 21  
**Author:** Glenn Reese - EPC Stormwater  
**Date:** 8/11/2026 11:10:48 AM  
**Status:**  
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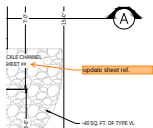
Basically every contractor constructs this opening for the orifice plate without the top concrete cross piece, creating a U-shaped opening, not a rectangular opening. This causes field fixes to be installed that are not ideal because it's better to do it correctly and per design than a retrofit. So either highlight this and call it out as something install carefully or in a particular way to make it clear how it's to be installed (because for whatever reason contractors can't figure it out), or just go ahead and make it a U-Shape (ie: no top cross concrete member) and show a metal plate across the top to seal the gap between the trash screen and orifice plate.

Just trying to prevent a punchlist item that we have to put on like 90-95% of all pond punchlists.

---

8/11/2026 11:11:29 AM (1)

---



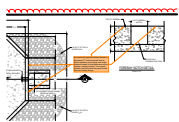
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**Page Label:** 20  
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**Space:**

update sheet ref.

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8/11/2026 11:13:13 AM (1)

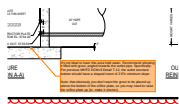
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**Subject:** SW - Textbox with Arrow  
**Page Label:** 20  
**Author:** Glenn Reese - EPC Stormwater  
**Date:** 8/11/2026 11:13:13 AM  
**Status:**  
**Color:** ■  
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**Space:**

the previously approved plans showed a depressed 3" of the front wall here to direct overflows to the riprap and trickle channel instead of elsewhere around the forebay, causing erosion. This is good practice, and thus would be good to add into this forebay design.

8/11/2026 11:16:51 AM (1)



**Subject:** SW - Textbox with Arrow  
**Page Label:** 21  
**Author:** Glenn Reese - EPC Stormwater  
**Date:** 8/11/2026 11:16:51 AM  
**Status:**  
**Color:**    
**Layer:**  
**Space:**

It's not ideal to have this area hold water. Recommend showing it filled with grout, angled towards the outlet pipe. Specifically: Per previous MHFD DCMv3 Detail T-12, the outlet structure bottom should have a shaped invert of 2.5% minimum slope.

Note: that obviously you don't want the grout to be placed up above the bottom of the orifice plate, so you may need to raise the orifice plate up (ie: make it shorter).

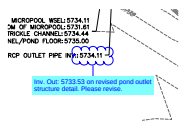
8/11/2026 3:22:55 PM (1)



**Subject:** Cloud+  
**Page Label:** 17  
**Author:** Laura Besler  
**Date:** 8/11/2026 3:22:55 PM  
**Status:**  
**Color:**    
**Layer:**  
**Space:**

Please update the pond summary table to reflect the revised pond design.

8/11/2026 3:24:42 PM (1)



**Subject:** Cloud+  
**Page Label:** 17  
**Author:** Laura Besler  
**Date:** 8/11/2026 3:24:42 PM  
**Status:**  
**Color:**    
**Layer:**  
**Space:**

Inv. Out: 5733.53 on revised pond outlet structure detail. Please revise.

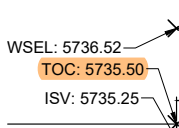
8/12/2026 9:40:56 AM (1)



**Subject:** Callout  
**Page Label:** 17  
**Author:** Laura Besler  
**Date:** 8/12/2026 9:40:56 AM  
**Status:**  
**Color:**    
**Layer:**  
**Space:**

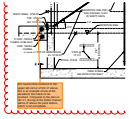
Please update the Pond 2 plan to be consistent with the revised pond outlet structure and forebay details shown on Sheets 20–22. Several elevations on the current Pond 2 sheet—including top of micropool, WQCV WSEL, EURV WSEL, and 100-year WSEL—do not match the updated design information.

8/12/2026 10:41:03 AM (1)



**Subject:** SW - Highlight  
**Page Label:** 21  
**Author:** Glenn Reese - EPC Stormwater  
**Date:** 8/12/2026 10:41:03 AM  
**Status:**  
**Color:**    
**Layer:**  
**Space:**

TOC: 5735.50



**Subject:** SW - Textbox with Arrow  
**Page Label:** 21  
**Author:** Glenn Reese - EPC Stormwater  
**Date:** 8/12/2026 10:42:48 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Per Laura's blue comment in the upper left corner of Sht 17 above, this is an example of one of the elevations that needs to be resolved. Compared to the plan on Sht 17, the top of the trickle channel will be 6" above the pond bottom, which is not acceptable.