

SF 01005
2645

SUNSET VILLAGE FILING NO. 4

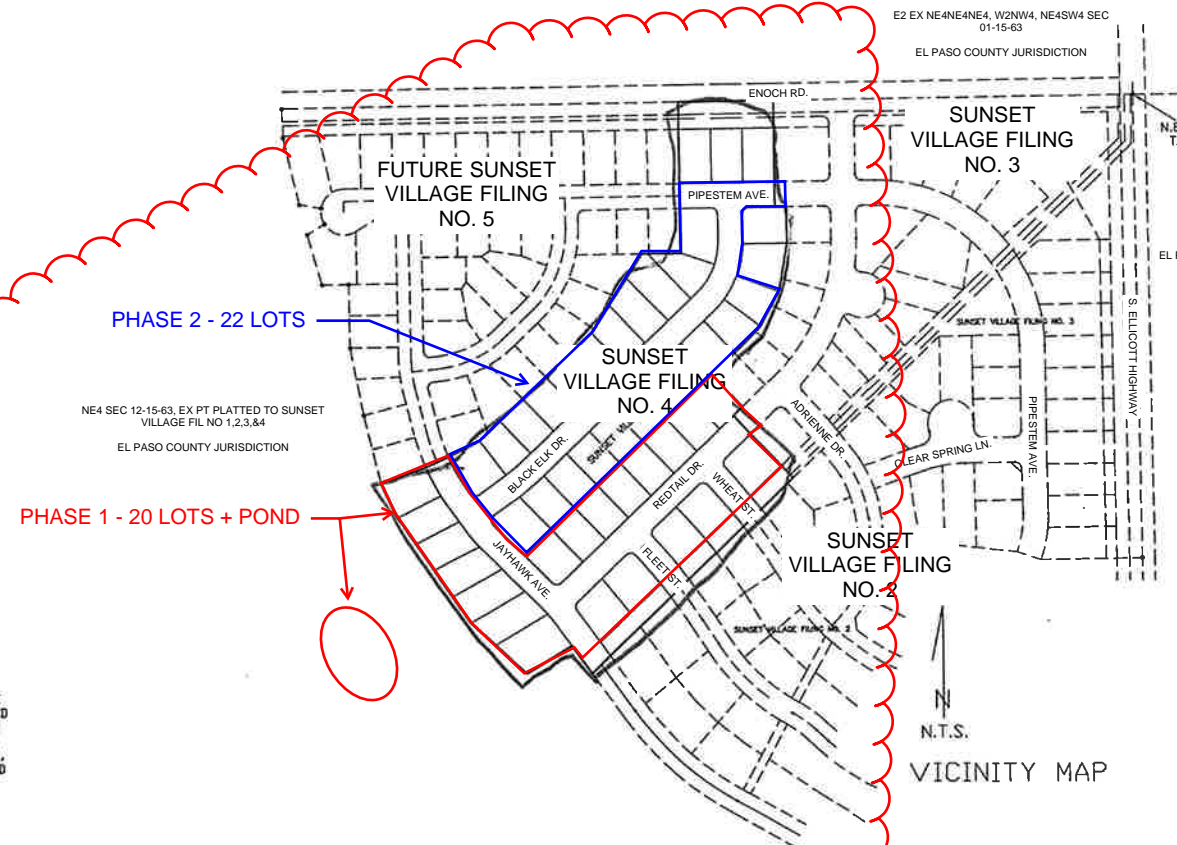
CONSTRUCTION PLANS



Contacts List:
El Paso County Planning and Community Development
Gilbert LaForce, PE
719-520-7945
gilbertlaforce@elpasoco.com
Ryan Howser
719-520-6049; ryanhowser@elpasoco.com

Owner/Developer
Scott Van Whye
Sunset Village View, LLC.
303-519-5100

Civil Engineer
Richard Lyon, PE
Atwell, LLC.
rlyon@atwell-group.com



INDEX

- 1) COVER SHEET
- 2) GENERAL NOTES AND DETAILS
- 3) STREET & SANITARY SEWER PLAN (PIPESTEM)
- 4) STREET & SANITARY SEWER PLAN (REDTAIL DRIVE)
- 5) STREET & SANITARY SEWER PLAN (BLACK ELK DRIVE)
- 6) STREET & SANITARY SEWER PLAN (JAYHAWK AVE.)
- 7) STREET PLAN (WHEAT DRIVE)
- 8) STREET PLAN (FLEET STREET)
- 9) STREET PLAN (ENOCH ROAD)
- 10) UTILITY PLAN
- D-1) DEVELOPED DRAINAGE AND EROSION CONTROL PLAN
- D-2) STORM DRAIN PLAN AND PROFILE
- D-3) DETENTION POND PLAN AND DETAILS
- HW-1) ELLICOTT HIGHWAY IMPROVEMENT PLAN AND PROFILE

- 15) SIGNAGE AND STRIPING PLAN
- 16) CDOT S-614-1 DETAILS
- 17) POND PLAN
- 18) POND DETAILS
- 19) POND DETAILS
- 20) DETAILS
- 21) DETAILS
- 22) DETAILS

ENGINEER'S STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID DETAILED PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED DRAINAGE PLANS AND SPECIFICATIONS, AND SAID DETAILED PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE MASTER PLAN OF THE DRAINAGE BASIN. SAID DETAILED PLANS AND SPECIFICATIONS MEET THE PURPOSE FOR WHICH THE PARTICULAR DRAINAGE FACILITIES ARE DESIGNED. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED DRAINAGE PLANS AND SPECIFICATIONS.



JOHN P. SCHWAB, P.E. NO. 29891

DISCLAIMER:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH THE COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

Engineer's Statement:

These detailed plans and specifications were prepared under my direction and supervision. Said plans and specifications have been prepared according to the criteria established by the County for detailed roadway, drainage, grading and erosion control plans and specifications, and said plans and specifications are in conformity with applicable master drainage plans and master transportation plans. Said plans and specifications meet the purposes for which the particular roadway and drainage facilities are designed and are correct to the best of my knowledge and belief. I accept responsibility for any liability caused by any negligent acts, errors or omissions on my part in preparation of these detailed plans and specifications.

Richard D. Lyon
Richard Lyon, P.E. #29921
01-07-2022
Date

Owner/Developer's Statement:

I, the owner/developer have read and will comply with all of the requirements of the grading and erosion control plan and all of the requirements specified in these detailed plans and specifications.

Scott Van Whye
Scott Van Whye, President
Sunset Village View, LLC.
300 Windchime Pl #301 Colorado Springs, CO
01-07-2022
Date

El Paso County:

County plan review is provided only for general conformance with County Design Criteria. The County is not responsible for the accuracy and adequacy of the design, dimensions, and/or elevations which shall be confirmed at the job site. The County through the approval of this document assumes no responsibility for completeness and/or accuracy of this document.

Filed in accordance with the requirements of the El Paso County Land Development Code, Drainage Criteria Manual, Volumes 1 and 2, and Engineering Criteria Manual as amended.

In accordance with EGM Section 1.12, these construction documents will be valid for construction for a period of 2 years from the date signed by the El Paso County Engineer. If construction has not started within those 2 years, the plans will need to be resubmitted for approval, including payment of review fees at the Planning and Community Development Directors discretion.

Jennifer Irvine, P.E.
County Engineer / ECM Administrator
Date

THE FOLLOWING STANDARD DETAILS ARE INCLUDED IN THIS PLAN SET:

- EL PASO COUNTY DETAILS:
- EPC DETAIL SD_2-20 TYPICAL CURB AND GUTTER
 - EPC DETAIL SD_2-26 TYPICAL CROSS PAN LAYOUT
 - EPC DETAIL SD_2-41 PEDESTRIAN INTERSECTION RAMP
 - EPC DETAIL SD_2-42 DETECTABLE WARNING SURFACE
 - EPC DETAIL SD_2-50 PARALLEL PEDESTRIAN CURB RAMP
- EROSION CONTROL MEASURES:
- CONCRETE WASHOUT AREA
 - VEHICLE TRACKING CONTROL
 - ROCK SOCKS
 - INLET PROTECTION
 - SEEDING AND MULCHING
 - STRAW BALE BARRIER / CHECK DAM
 - SILT FENCE



4575 GALLEY ROAD SUITE 200
COLORADO SPRINGS COLORADO
(719) 597-9900 80915

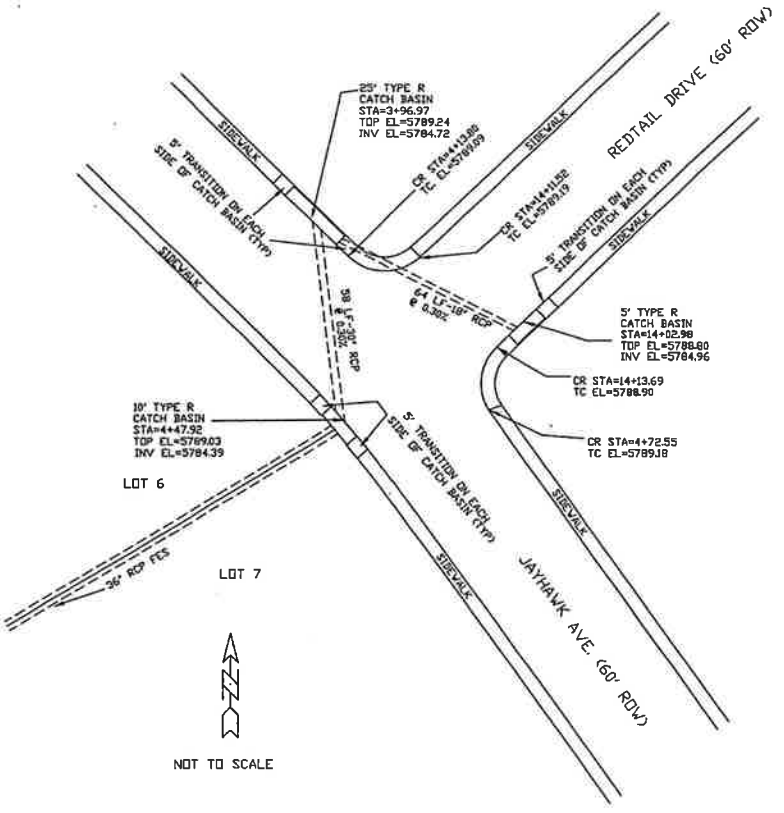
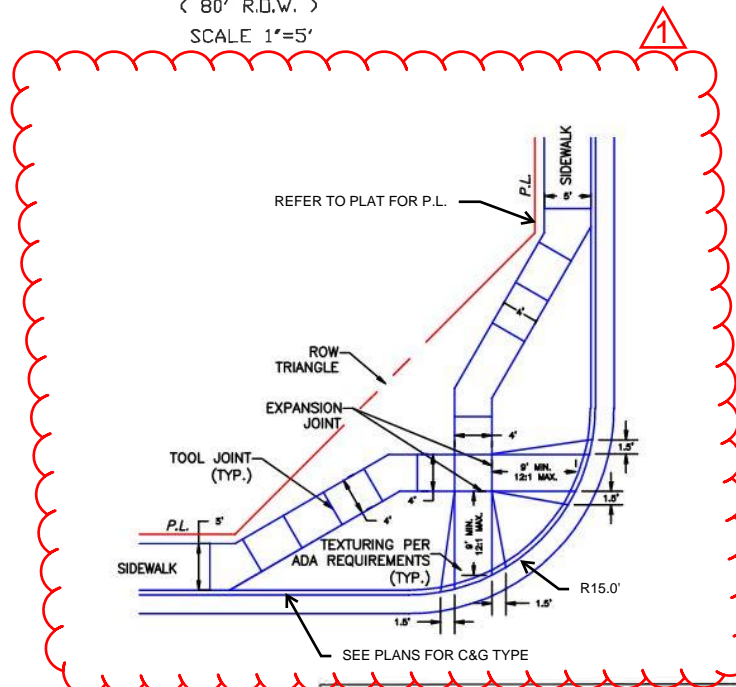
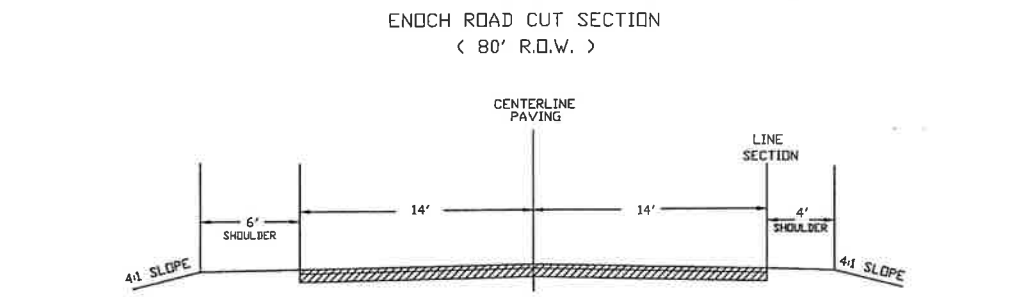
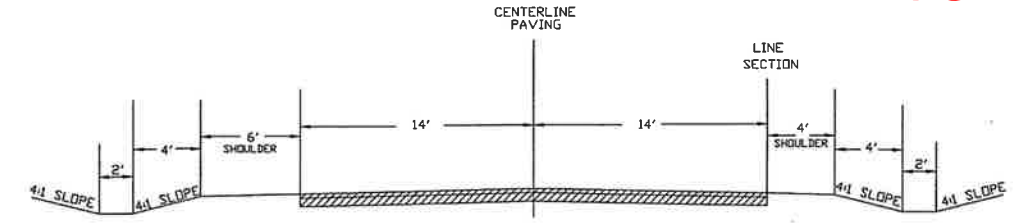
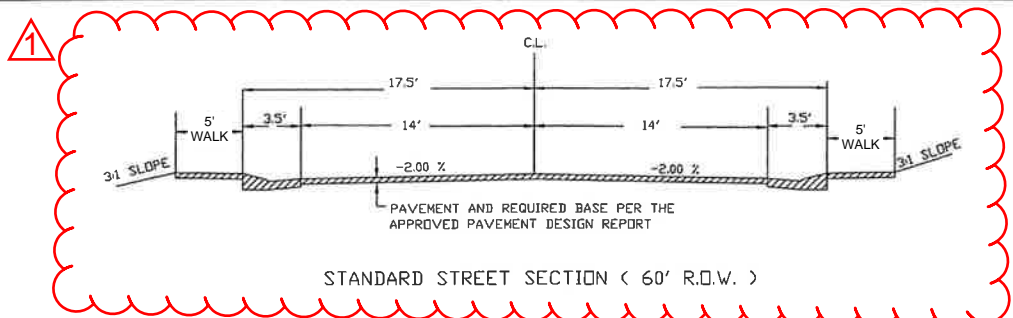
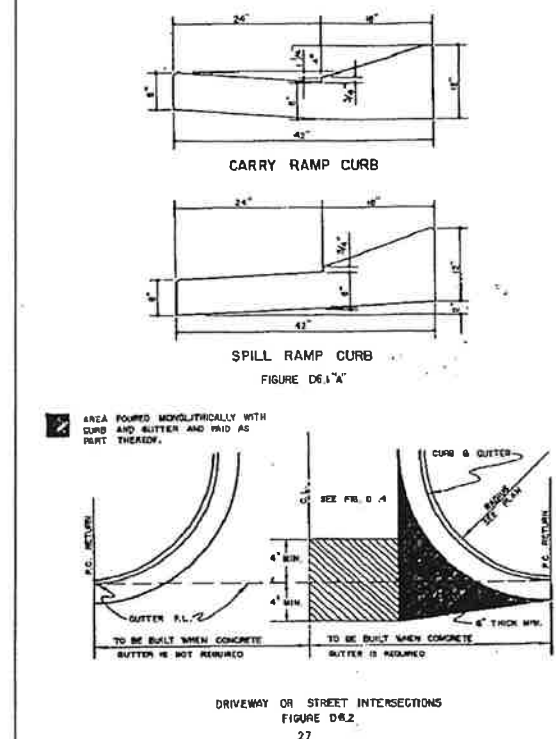
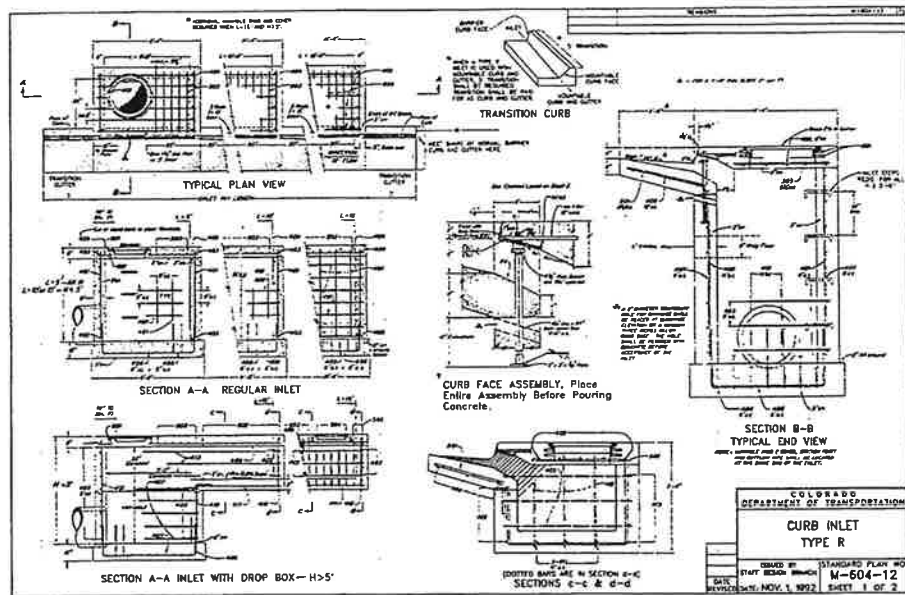
PROJECT 00-0908 DATE 10-08-01 DRAWN J.L.K.

SHEET 1 OF 22

MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008

Sunset Village

REVISION 1: 01/07/2022



- GENERAL NOTES**
- THERE SHALL BE A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF TRANSPORTATION PRIOR TO BEGINNING CONSTRUCTION.
 - ALL DISTURBED AREAS SHALL BE RE-VEGETATED AS SOON AS POSSIBLE TO PREVENT EROSION. SEE NOTE 8.
 - ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CRITERIA OF EL PASO COUNTY.
 - THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION COLORADO DEPARTMENT OF HIGHWAYS, AND THE ASSOCIATED M&S STANDARDS LATEST EDITIONS, SHALL APPLY TO THIS PROJECT.
 - ADDITIONAL STRUCTURES MAY BE NEEDED AT THE TIME OF CONSTRUCTION.
 - ALL NECESSARY PERMITS SUCH AS A GENERAL CONSTRUCTION NPDES OR OTHERS SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION, AND ANY FEES ASSOCIATED WITH THOSE PERMITS SHALL BE PAID BY THE CONTRACTOR.
 - ALL EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE PLOTTED FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD LOCATION AND VERIFICATION OF ALL UTILITIES WITHIN THE LIMITS OF THE PROJECT AREA.
 - SEEDING SHALL INCLUDE SOIL PREPARATION, FERTILIZATION AND MULCHING. THESE WORK ITEMS SHALL NOT BE MEASURED FOR PAYMENT SEPARATELY, BUT SHALL BE INCLUDED IN THE ASSOCIATED WORK. THE FOLLOWING SEED TYPES AND APPLICATION RATES SHALL BE USED:
 COMMON NAME RATE(LBS/ACRE)
 SMOOTH BROME 16
 BLUE GRAMA 3.0
 TOTAL 19.0
 FERTILIZER: AVAILABLE N-40 LBS./ACRE AVAILABLE P-40 LBS./ACRE
 MULCHING 2 TONS/ACRE (CRIMP)
 - THE CONTRACTOR SHALL COORDINATE WITH ALL AFFECTED UTILITIES IN REGARD TO LOCATION, ADJUSTMENT OR OTHER MEASURES DURING CONSTRUCTION TO ACCOMPLISH THE WORK IN A TIMELY FASHION WITH MINIMUM DISRUPTION IN SERVICE. SUCH WORK WILL NOT BE MEASURED AND PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE WORK.
 - PAVING WILL NOT BEGIN UNTIL A SOILS REPORT AND PAVEMENT DESIGN IS ACCEPTED BY THE EL PASO COUNTY DEPARTMENT OF TRANSPORTATION AND SUBGRADE COMPACTION TESTS ARE TAKEN AND ACCEPTED BY AN INSPECTOR FOR EL PASO COUNTY.

- ALL DISTURBED PAVEMENT EDGES SHALL BE CUT TO NEAT LINES. THE THICKNESS OF H&P AND ABC REPAIRS SHALL EQUAL OR EXCEED EXISTING; HOWEVER IT SHALL NOT BE LESS THAN 2 INCHES AND 6 INCHES, RESPECTIVELY.
- SLOPES STEEPER THAN 3:1 (H:V) WILL BE REQUIRED TO HAVE A SOIL RETENTION BLANKET.
- EXISTING PIPE, H&P AND EXCESS EXCAVATION, AS WELL AS UNSUITABLE MATERIAL SHALL BECOME PROPERTY OF THE CONTRACTOR AND THE CONTRACTOR'S RESPONSIBILITY TO DISPOSE OF AT NO ADDITIONAL COST TO THE PROJECT.
- ALL EXISTING APPURTENANCES AFFECTED BY THE CONSTRUCTION SHALL BE REMOVED AND REPLACED AS NEEDED. ALL SAID APPURTENANCES SHALL BE LEFT IN AS GOOD AS OR BETTER CONDITION THAN EXISTS. SUCH WORK SHALL NOT BE MEASURED AND PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE WORK EXCEPT AS PROVIDED FOR IN THE STANDARD SPECIFICATIONS.
- TRENCHES OVER 5 FEET IN DEPTH SHALL EITHER BE SHORED OR THE TRENCH WALLS SHALL BE SLOPED AT THE ANGLE OF REPOSE IF SLOPED, THE BOTTOM OF THE SLOPE SHALL BE A MINIMUM OF 1 FOOT ABOVE THE TOP OF PIPE. SLOPING SHALL BE LIMITED TO STAY WITHIN CONSTRUCTION EASEMENT LINES.
- TOPSOIL SHALL BE REMOVED, AND SUITABLE TOPSOIL STOCKPILED AND REPLACED UPON COMPLETION OF ROUGH GRADING. SUCH WORK SHALL NOT BE MEASURED AND PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE WORK.
- STORM DRAIN PIPE SHALL BE RCP.
- STORM SEWER PIPING AND BOX CULVERT BEDDING SHALL BE CLASS 'C'. PIPES ASSOCIATED WITH THE WATER AND SANITARY SEWER SYSTEM SHALL HAVE PIPE BEDDING PLACED PER THE CHEROKEE METROPOLITAN DISTRICT REQUIREMENTS GOVERNING THE INSTALLATION OF WATER AND SANITARY SEWER LINES.
- 25' BY 25' SIGHT TRIANGLES ARE REQUIRED AT ALL INTERSECTIONS.
- STREET SIGNS WILL BE IN ACCORDANCE WITH EPC STANDARDS.
- STREET LIGHTING IF USED, MUST BE LOCATED ON PRIVATE PROPERTY.
- MAILBOXES SHOULD BE CLUSTERED AND LOCATED 12 FEET FROM ASPHALT.
- ALL CONCRETE CROSS PANS SHALL BE CONSTRUCTED WITH 8" MINIMUM THICKNESS.
- CONTRACTOR IS RESPONSIBLE TO ENSURE POSITIVE DRAINAGE (0.5% MINIMUM SLOPE) IN ALL CONCRETE GUTTERS ALONG ROADWAYS. CONTRACTOR SHALL REMOVE AND REPLACE ALL DEVIANT SECTIONS AT HIS OWN EXPENSE. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CONFLICTS FOUND ON THE PLANS BEFORE CONSTRUCTION.
- USE **ADA** STANDARD ADA HANDICAP RAMPS.
 EL PASO COUNTY
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAW LIES WITH THE PROPERTY OWNER.



MODIFIED FOR S.I.A. CD SET
 RICHARD D. LYON, PE
 ATWELL, LLC
 DECEMBER, 2021
 EPC PROJ. CDR-21-008

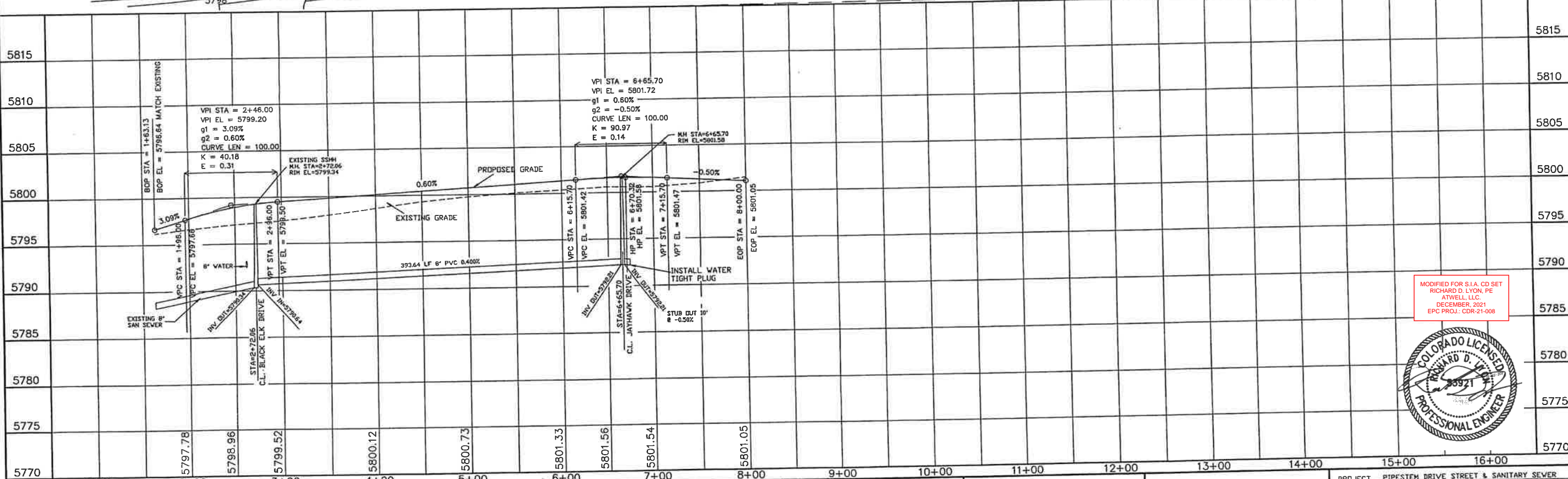
DATE	12/03/2021	DESCRIPTION	SIA CD UPDATES	BY	RDL
NO.		REVISIONS			
SHEET TITLE: GENERAL NOTES AND DETAILS FOR SUNSET VILLAGE FILING NO.4					
PROJECT: EL PASO COUNTY, COLORADO					
SCALE:		DATE:	10-12-01	DESIGNER:	J.L.K.
PROJECT NO.:	00-0908	DWG. NO.:	00-0908	PROJECT FILE:	00-0908
<small>4000 GALLEY ROAD SUITE 300 COLORADO SPRINGS COLORADO (719) 597-8600</small>					

PHASE 2 (BLACK ELK DRIVE AND PIPESTEM DRIVE)



- NOTES:
1. ROUGH CUT ROAD AND CONSTRUCT SANITARY SEWER TO STATION 6+65.70
 2. ALL CURB RETURN RADII ARE 15.00'
 3. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14

* CURB AND GUTTER MARKED IN THE FIELD TO BE REPLACED IN-KIND, ESTIMATED TO BE APPROXIMATELY 900 LF IN TOTAL.



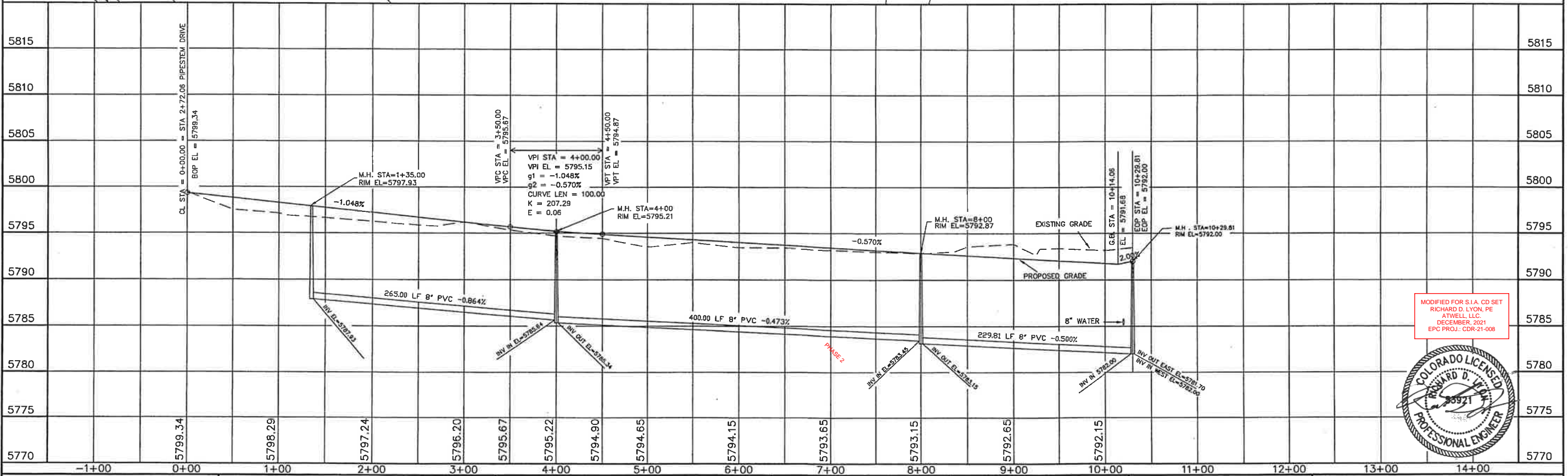
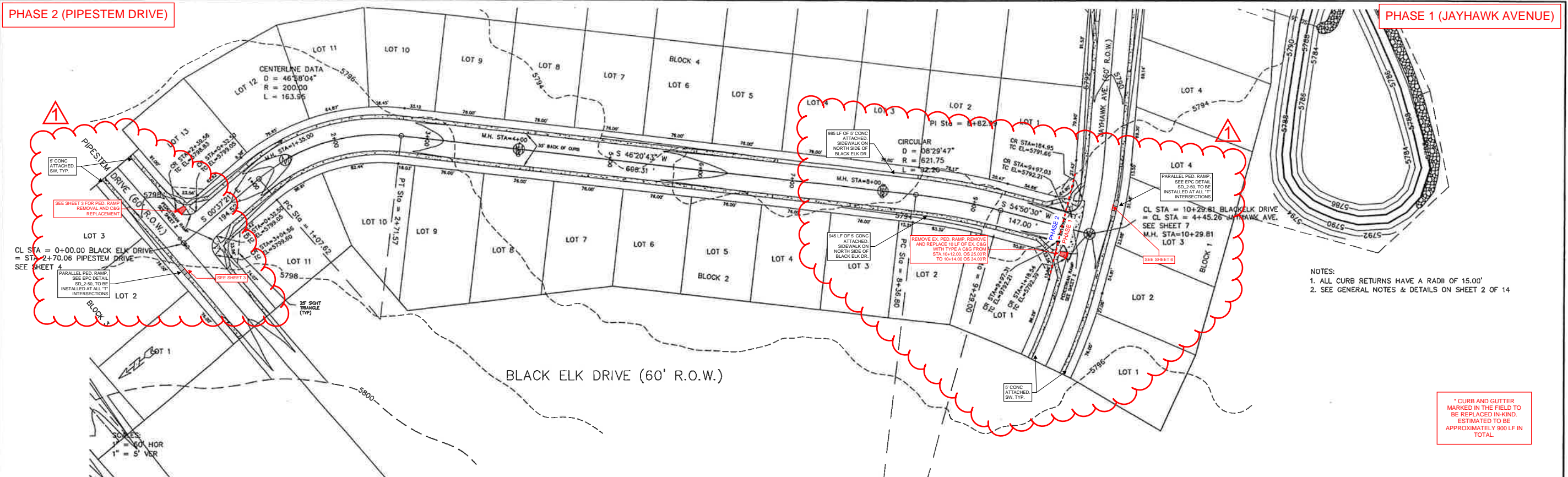
MODIFIED FOR S.I.A. CD SET
 RICHARD D. LYON, PE
 ATWELL, LLC
 DECEMBER, 2021
 EPC PROJ.: CDR-21-008



STATEMENT: THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN, THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.	REVIEW: STREET DESIGN: _____ DATE _____ ROUGH CUT REVIEW _____ DATE _____ FINAL REVIEW _____ DATE _____ DRAINAGE BASIN: _____	DESIGN DATA: SIDEWALKS: WIDTH 5' LOCATION: Attached <input checked="" type="checkbox"/> Detached, 6' from P/L/D	ASPHALT THICKNESS: AC Surface: TBD AC Base: _____ AGG. BASE THICKNESS: Class 6: _____ Class 5: _____ Class 2: _____	SCALE: HORIZ. 50' VERT. 5'	BENCHMARK: U.S.G.S. BRASS CAP 114.8 (1953) ELEV=5752.00 LOCATED AT THE SOUTHEAST CORNER OF SECTION 12, T.15S., R.63W.	REVISIONS: NO. DESCRIPTION DATE 1. SIA CD UPDATES 01/07/2022	ENGINEER: UNITED PLANNING ENGINEERING (719) 597-9900 4575 GALLEY ROAD SUITE 200 COLORADO SPRINGS, COLORADO 80915 DESIGNED BY: J.L.K. DATE: 10-09-01 DRAWN BY: J.L.K. DATE: 10-09-01 CHECKED BY: T.L.K. DATE: 10-09-01	PROJECT: PIPESTEM DRIVE STREET & SANITARY SEWER FROM: 1+63.13 TO: 6+65.70 SUBDIVISION: SUNSET VILLAGE FILING NO. 4 DRAINAGE BASIN: TELEPHONE EXCHANGE JOB NO.: \PROJ\00-0908\RCP01001.DWG SHEET 3 OF 22

PHASE 2 (PIPESTEM DRIVE)

PHASE 1 (JAYHAWK AVENUE)



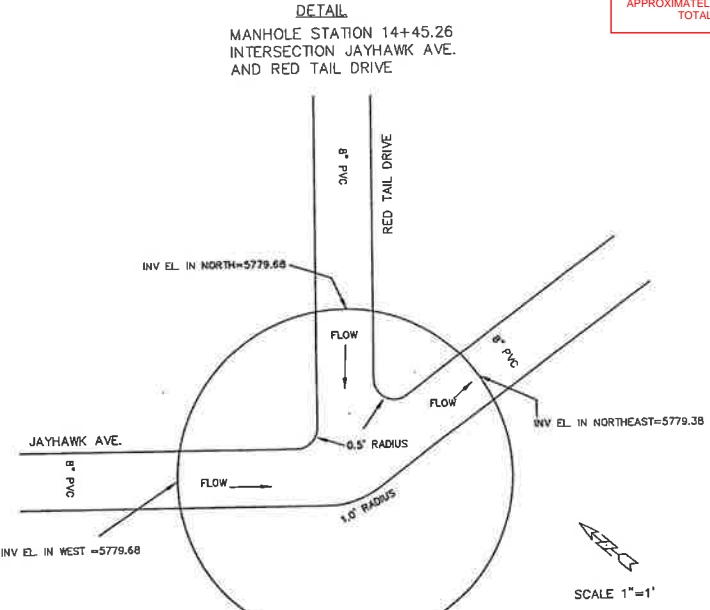
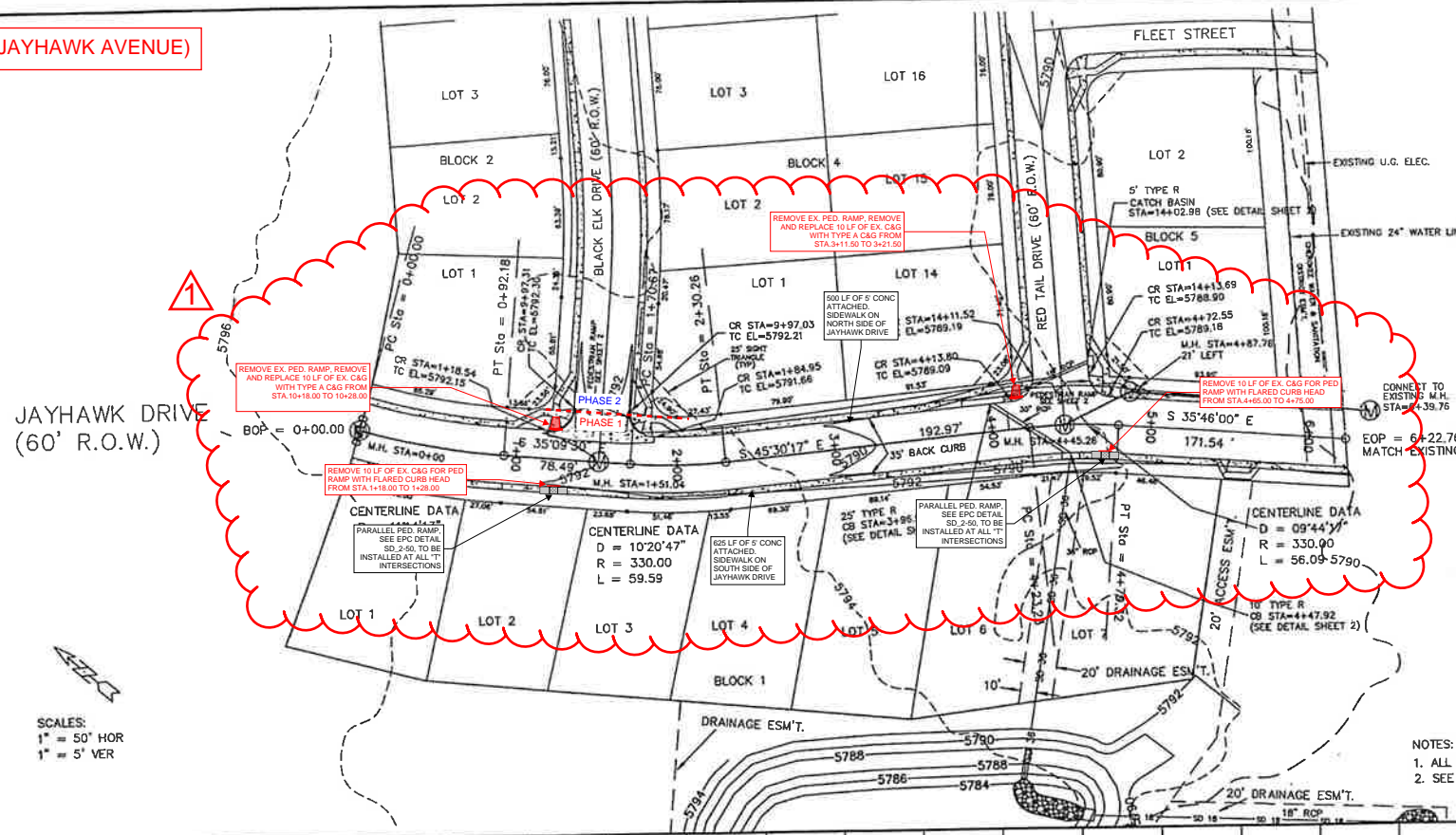
MODIFIED FOR S.I.A. CD SET
 RICHARD D. LYON, PE
 ATWELL, LLC
 DECEMBER 2021
 EPC PROJ.: CDR-21-008



<p>STATEMENT: THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN, THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.</p>	<p>REVIEW: STREET DESIGN _____ DATE _____ ROUGH CUT REVIEW _____ DATE _____ FINAL REVIEW _____ DATE _____ DRAINAGE BASIN: _____</p>	<p>DESIGN DATA: SIDEWALKS: WIDTH 5' LOCATION: Attached <input type="checkbox"/> Detached, 6' from P/L <input type="checkbox"/> CURB TYPE: 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> R/W WIDTH: 60' B/C-B/C 35' STREET TYPE: _____ HVEEM _____</p> <p>ASPHALT THICKNESS: AC Surface: 1.5" AC Base: _____ AGG. BASE THICKNESS: Class 6: _____ Class 5: _____ Class 2: _____</p>	<p>SCALE: HORIZ. 50' VERT. 5' BENCHMARK: U.S.G.S. BRASS CAP 114 JK (1953) ELEV = 5752.00 LOCATED AT THE SOUTHEAST CORNER OF SECTION 12, T.15S., R.63W.</p>	<p>REVISIONS: NO. DESCRIPTION DATE 1. SIA CD UPDATES 01/07/2022</p>	<p>ENGINEER: UNITED PLANNING ENGINEERING (719) 597-9900 4575 GALLEY ROAD SUITE 200 COLORADO SPRINGS, COLORADO 80915 DESIGNED BY: JLK DATE: 10-09-01 DRAWN BY: JLK DATE: 10-09-01 CHECKED BY: TLK DATE: 10-09-01</p>	<p>PROJECT: BLACK ELK DRIVE STREET, SANITARY SEWER FROM: 0+00 TO: 10+29.81 SUBDIVISION: SUNSET VILLAGE FILING NO. 4 DRAINAGE BASIN: TELEPHONE EXCHANGE JOB NO.: D:\PROJ\00-0908\RCP\01003.DWG SHEET 5 OF 22</p>
--	---	--	--	---	---	---

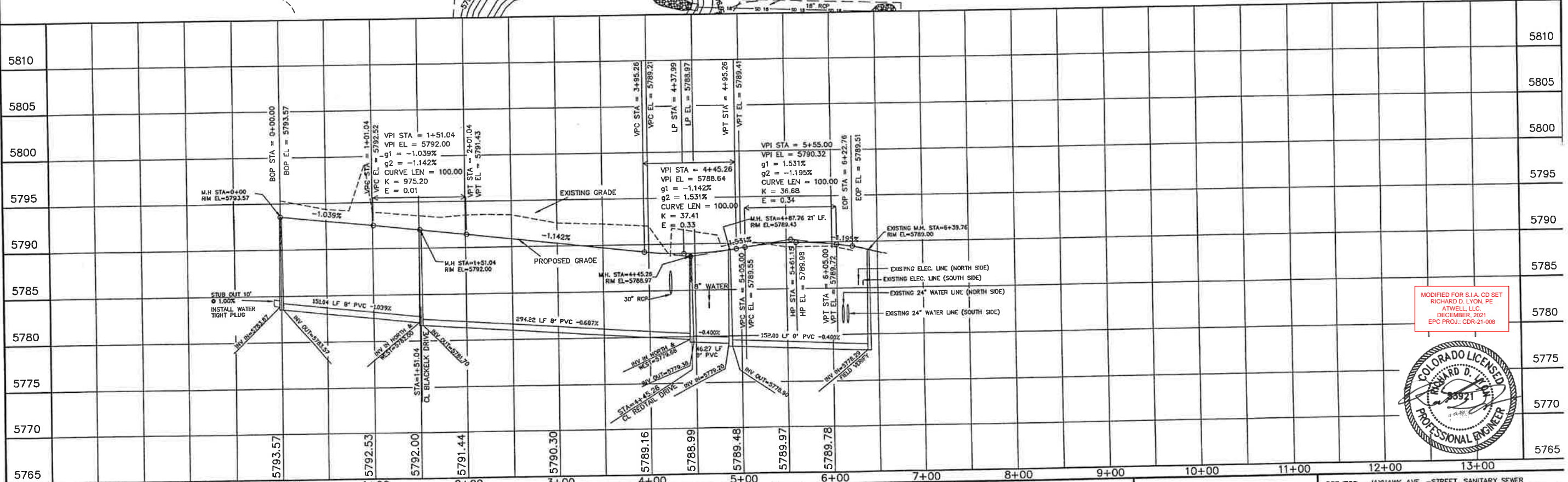
PHASE 1 (JAYHAWK AVENUE)

* CURB AND GUTTER MARKED IN THE FIELD TO BE REPLACED IN-KIND. ESTIMATED TO BE APPROXIMATELY 900 LF IN TOTAL.



SCALES:
1" = 50' HOR
1" = 5' VER

- NOTES:
1. ALL CURB RETURNS HAVE A RADIUS OF 15.00'
2. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14



MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ. CDR-21-008



STATEMENT:
THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN, THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

REVIEW:
STREET DESIGN _____ DATE _____
ROUGH CUT REVIEW _____ DATE _____
FINAL REVIEW _____ DATE _____

DESIGN DATA:
SIDEWALKS WIDTH 5'
ASPHALT THICKNESS: AC Surface 1.5", AC Base _____
AGG. BASE THICKNESS: Class 6, Class 5, Class 2
CURB TYPE 10200 3D
R/W WIDTH 60' B/C B/C 35'
STREET TYPE HVEEM

SCALE: HORIZ. 50', VERT. 5'
BENCHMARK: U.S.G.S. BRASS CAP
114.K (1953) ELEV=5752.00
LOCATED AT THE SOUTHEAST CORNER OF SECTION 18, T15S, R63W.

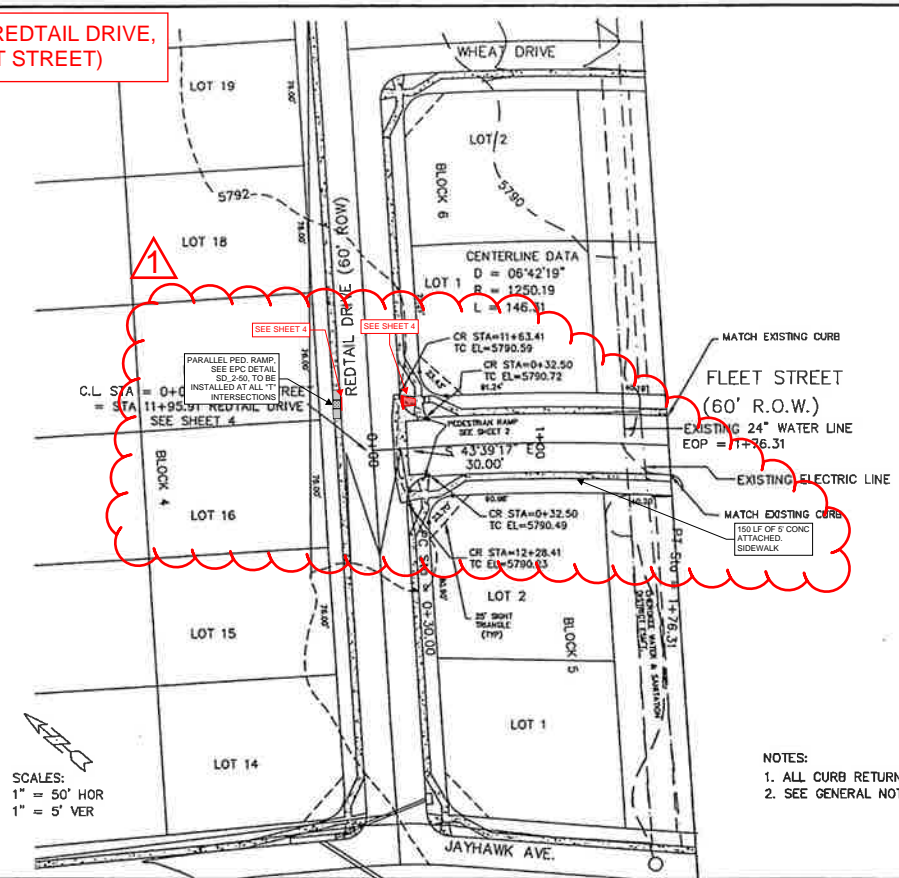
REVISIONS table with columns for NO., DESCRIPTION, and DATE.

ENGINEER: UNITED PLANNING ENGINEERING
4575 GALLEY ROAD SUITE 200
COLORADO SPRINGS, COLORADO 80915
DESIGNED BY: JLK DATE: 10-09-01
DRAWN BY: JLK DATE: 10-09-01
CHECKED BY: TLK DATE: 10-09-01

PROJECT: JAYHAWK AVE - STREET, SANITARY SEWER
FROM: 0+00 TO: 6+22.76
SUBDIVISION: SUNSET VILLAGE FILING NO. 4
DRAINAGE BASIN: TELEPHONE EXCHANGE
JOB NO. D:\PROJ\00-0908\RCP01004.DWG SHEET 6 OF 22

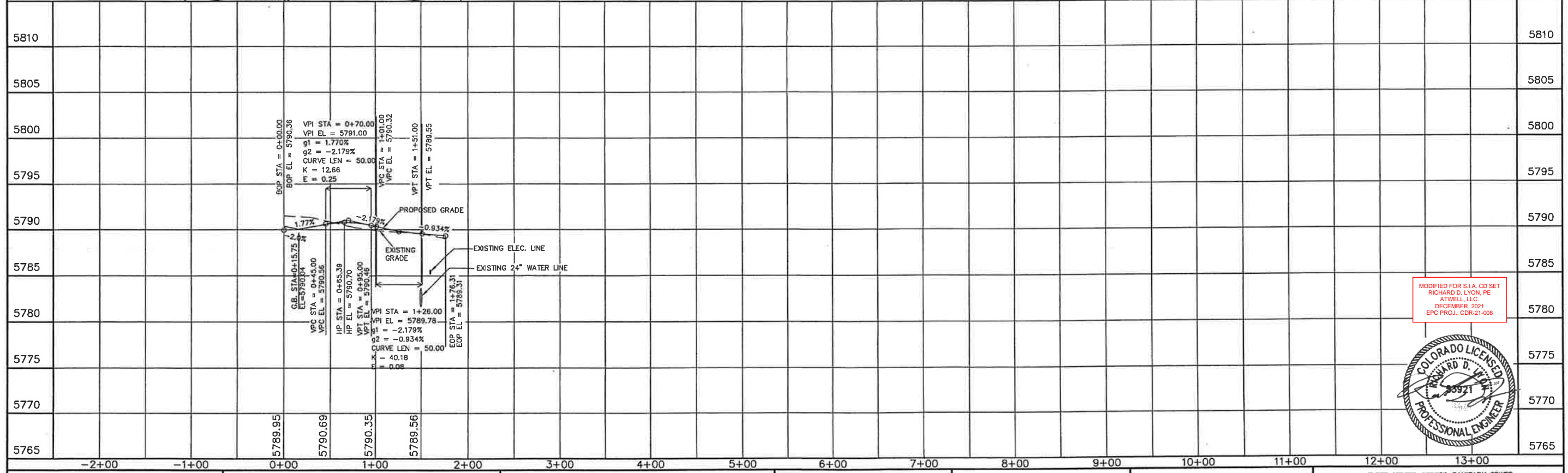
PHASE 1 (REDTAIL DRIVE, FLEET STREET)

* CURB AND GUTTER MARKED IN THE FIELD TO BE REPLACED IN-KIND. ESTIMATED TO BE APPROXIMATELY 900 LF IN TOTAL.



- NOTES:
 1. ALL CURB RETURNS HAVE A RADIUS OF 15.00'
 2. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14

SCALES:
 1" = 50' HOR
 1" = 5' VER



MODIFIED FOR S.I.A. CD SET
 RICHARD D. LYON, PE
 ATWELL, L.L.C.
 DECEMBER, 2021
 EPC PROJ.: CDR-21-008



STATEMENT:
 THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN, THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

REVIEW:
 STREET DESIGN _____ DATE _____
 ROUGH CUT REVIEW _____ DATE _____
 FINAL REVIEW _____ DATE _____
 DRAINAGE BASIN: _____

DESIGN DATA:
 SIDEWALKS: WIDTH 5'
 LOCATION: Attached Detached, 6' from P/L
 ASPHALT THICKNESS: AC Surface 1.5" AC Base _____
 AGG. BASE THICKNESS: Class 6 _____ Class 5 _____ Class 2 _____
 CURB TYPE 10 20 30
 R/W WIDTH 60' B/C-B/C 35'
 STREET TYPE _____ HVEEM _____

SCALE: HORIZ. 50' VERT. 5'
 BENCHMARK: U.S.G.S. BRASS CAP
 114 JK (1953) ELEV=5752.00
 LOCATED AT THE SOUTHEAST CORNER OF SECTION 12, T.15S, R.63W.

REVISIONS:

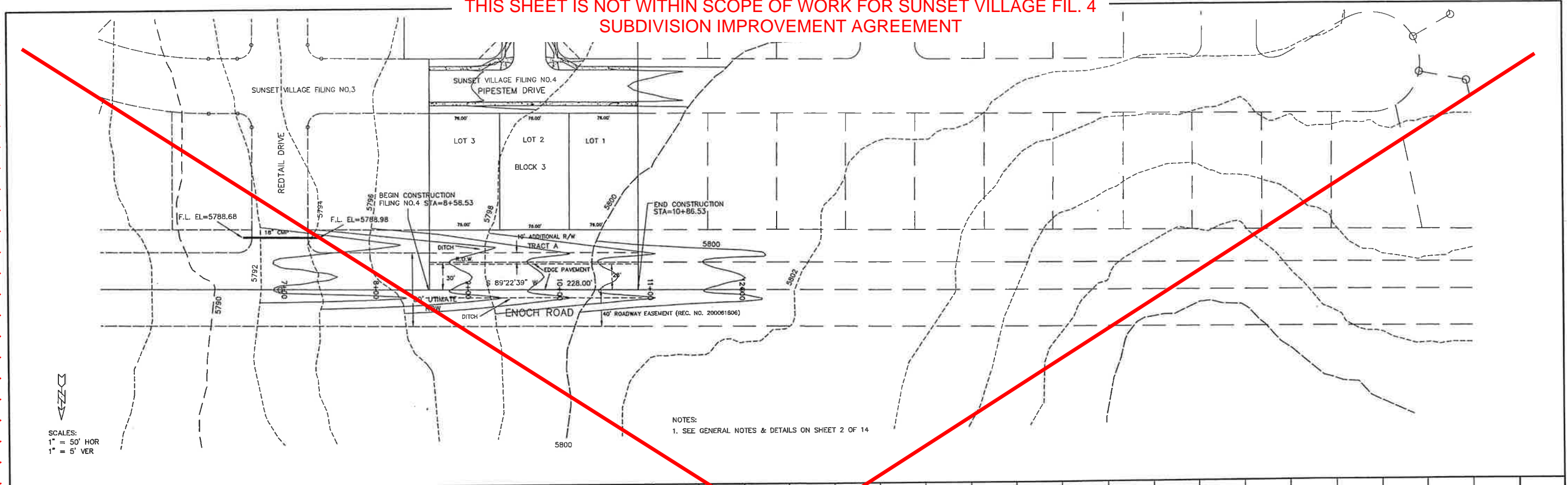
NO.	DESCRIPTION	DATE
1	SIA CD UPDATES	01/07/2022

ENGINEER:
 UNITED PLANNING ENGINEERING (719) 597-9900
 4575 GALLEY ROAD SUITE 200
 COLORADO SPRINGS, COLORADO 80915
 DESIGNED BY: J.K. DATE: 10-09-01
 DRAWN BY: J.K. DATE: 10-09-01
 CHECKED BY: T.L.K. DATE: 10-09-01

PROJECT: FLEET STREET-STREET, SANITARY SEWER
 FROM: 0+00 TO: 1+76.31
 SUBDIVISION: SUNSET VILLAGE FILING NO. 4
 DRAINAGE BASIN: TELEPHONE EXCHANGE
 JOB NO. D:\PROJ\100-0908\RCP\1006.DWG. SHEET 8 OF 15

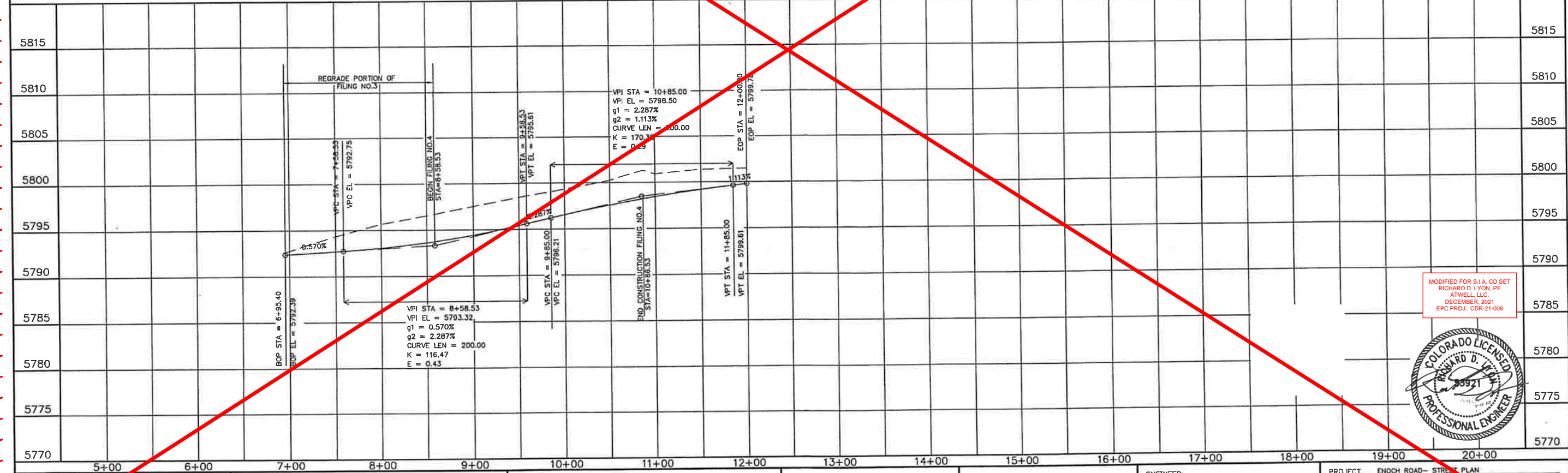


**THIS SHEET IS NOT WITHIN SCOPE OF WORK FOR SUNSET VILLAGE FIL. 4
SUBDIVISION IMPROVEMENT AGREEMENT**



SCALES:
1" = 50' HOR
1" = 5' VER

NOTES:
1. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14



MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL LLC
DECEMBER 2021
EPC PROJ.: CDR-21-008



STATEMENT:
THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN. THE COUNTY HAS LIMITED THE SCOPE OF REVIEW ACCORDINGLY.

REVIEW:
STREET DESIGN _____ DATE _____
ROUGH CUT REVIEW _____ DATE _____
FINAL REVIEW _____ DATE _____

DESIGN DATA:
SIDEWALKS: WIDTH _____
LOCATION: Attached Detached, 6' from P/L/O
CURB TYPE 10 20 30
R/W WIDTH 80' PROP. F/C-F/C _____
STREET TYPE _____ HVECH _____
ASPHALT THICKNESS:
AC Surface _____
AC Base _____
AGG. BASE THICKNESS:
Class 6 _____
Class 5 _____
Class 2 _____

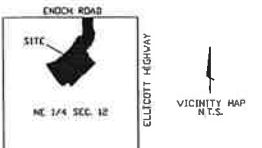
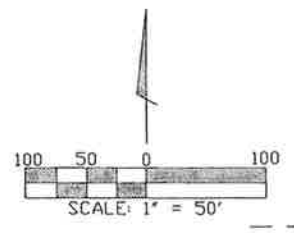
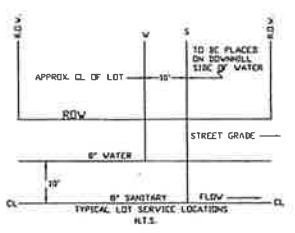
SCALE: HORIZ. 1" = 50' VERT. 1" = 5'
BENCHMARK: U.S.G.S. BRASS CAP
114JK (1953) ELEV=5752.00
LOCATED AT THE SOUTHEAST CORNER OF SECTION 12, T.15S., R.63W.

REVISIONS:

NO.	DESCRIPTION	DATE
1	SIA CD UPDATES	01/07/2022

ENGINEER:
UNITED PLANNING ENGINEERING (719) 597-9900
4575 GALLEY ROAD SUITE 200
COLORADO SPRINGS, COLORADO 80915
DESIGNED BY: JLK DATE: 10-02-01
DRAWN BY: JLK DATE: 10-09-01
CHECKED BY: TLK DATE: 10-09-01

PROJECT: ENOCH ROAD - STREET PLAN
FROM: 6+95.40 TO: 12+00
SUBDIVISION: SUNSET VILLAGE FILING NO. 4
DRAINAGE BASIN: TELEPHONE EXCHANGE
JOB NO. \P\PROJ\00-0908\RCP01007.DWG SHEET 9 OF 15



PUBLIC MAIN EXTENSIONS

WATER STATEMENT
 THE UNDERSIGNED OWNER/DEVELOPER AGREES THAT THE INSTALLATION OF THESE PROPOSED WATER FACILITIES WILL BE MADE IN ACCORDANCE WITH CHEROKEE METROPOLITAN DISTRICT SPECIFICATIONS AND SHALL PROVIDE A MINIMUM OF FIVE (5) FEET AND A MAXIMUM OF SIX (6) FEET OF COVER OVER THE WATER MAINS. ANY CHANGES REQUIRED TO MEET THE ABOVE STIPULATION SHALL BE AT THE EXPENSE OF THE OWNER/DEVELOPER. COVER IN EXCESS OF SIX (6) FEET SHALL BE SUPPORTED BY PLAN AND PROFILE DRAWINGS APPROVED BY THE CHEROKEE METROPOLITAN DISTRICT.

SIGNED: *[Signature]* DATE: 12-14-01
 OWNER/DEVELOPER: RODNEY PRESSER PIKES PEAK WATER COMPANY

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO THE CHEROKEE METROPOLITAN DISTRICT WATER SPECIFICATIONS. THE NUMBER OF HYDRANTS AND HYDRANT LOCATIONS AS SHOWN ON THIS WATER INSTALLATION PLAN ARE CORRECT AND ADEQUATE TO SATISFY THE FIRE PROTECTION REQUIREMENTS AS SPECIFIED BY THE ELICOTT FIRE PROTECTION DISTRICT.

SIGNED: _____ DATE: _____
 ELICOTT FIRE PROTECTION DISTRICT

WATER INSTALLATION CORROSION CONTROL REQUIREMENTS
 NONE REQUIRED

ALL FIRE HYDRANTS AND FUTURE SERVICE STUBS HAVE BEEN LOCATED BY THE DEVELOPER OR HIS ENGINEER. ANY REQUIRED REALIGNMENT, EITHER HORIZONTAL OR VERTICAL, SHALL BE AT THE EXPENSE OF THE DEVELOPER. ALSO, ANY STUBS AND APPURTENANCES NOT USED AS PROVIDED SHALL BE REMOVED AND REPLACED WITH AN ACCEPTABLE SECTION OF PIPE AT THE EXPENSE OF THE DEVELOPER. THE CONTRACTOR IS REQUIRED TO NOTIFY CHEROKEE METROPOLITAN DISTRICT (719-597-5669) TWO (2) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION. IF THIS PROJECT INVOLVES A TAP, DO NOT CALL TO SCHEDULE THE TAP UNTIL THE ENGINEERING INSPECTION NOTIFICATION HAS BEEN MADE.

- NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF CURB
 2. ALL SPOT ELEVATIONS ARE FACE OF CURB AT FLOWLINE
 3. ALL BENDS SHALL BE FIELD STAVED PRIOR TO CONSTRUCTION
 4. FIRE HYDRANT ASSEMBLY SHALL INCLUDE LATERAL PIPING, GATE VALVE, CONCRETE THRUST REACTION BLOCK AND ANY REQUIRED FITTINGS
 5. MAINTAIN TEN (10) FOOT MINIMUM HORIZONTAL DISTANCE BETWEEN WATER MAIN AND SANITARY SEWER MAIN

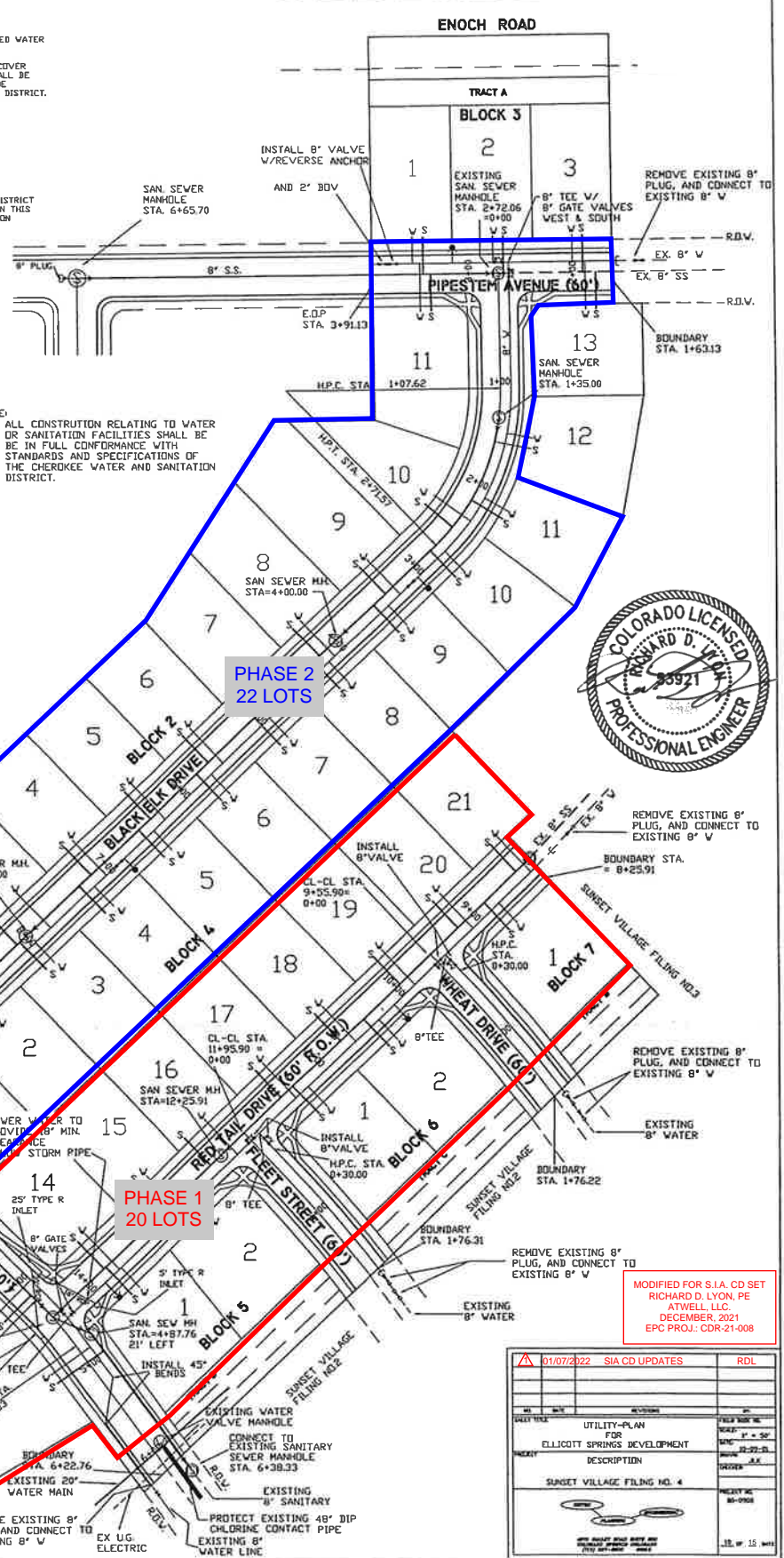
PRE-EXCAVATION CHECK LIST

- GAS AND OTHER UTILITY LINES SHOWN ON CONSTRUCTION PLANS
- UTILITIES UNDERGROUND LOCATING-CALL AT LEAST TWO (2) BUSINESS DAYS AHEAD 1-800-922-1987
- UTILITIES MARKED AND LOCATED ON THE GROUND
- EMPLOYEES BRIEFED ON MARKING AND COLOR CODES
- EMPLOYEES TRAINED ON EXCAVATION AND SAFETY PROCEDURES FOR NATURAL GAS LINES
- WHEN EXCAVATION APPROACHES GAS LINES, EMPLOYEES MUST EXPOSE LINES BY CAREFUL PROBING AND HAND DIGGING

UTILITIES	MARKING	CALL	DATE	BY
WATER	—	—	—	—
SEWER	—	—	—	—
ELECTRIC	—	—	—	—
TELEPHONE	—	—	—	—
OTHER	—	—	—	—

WATER PLAN APPROVAL

CHEROKEE METROPOLITAN DISTRICT DATE: _____



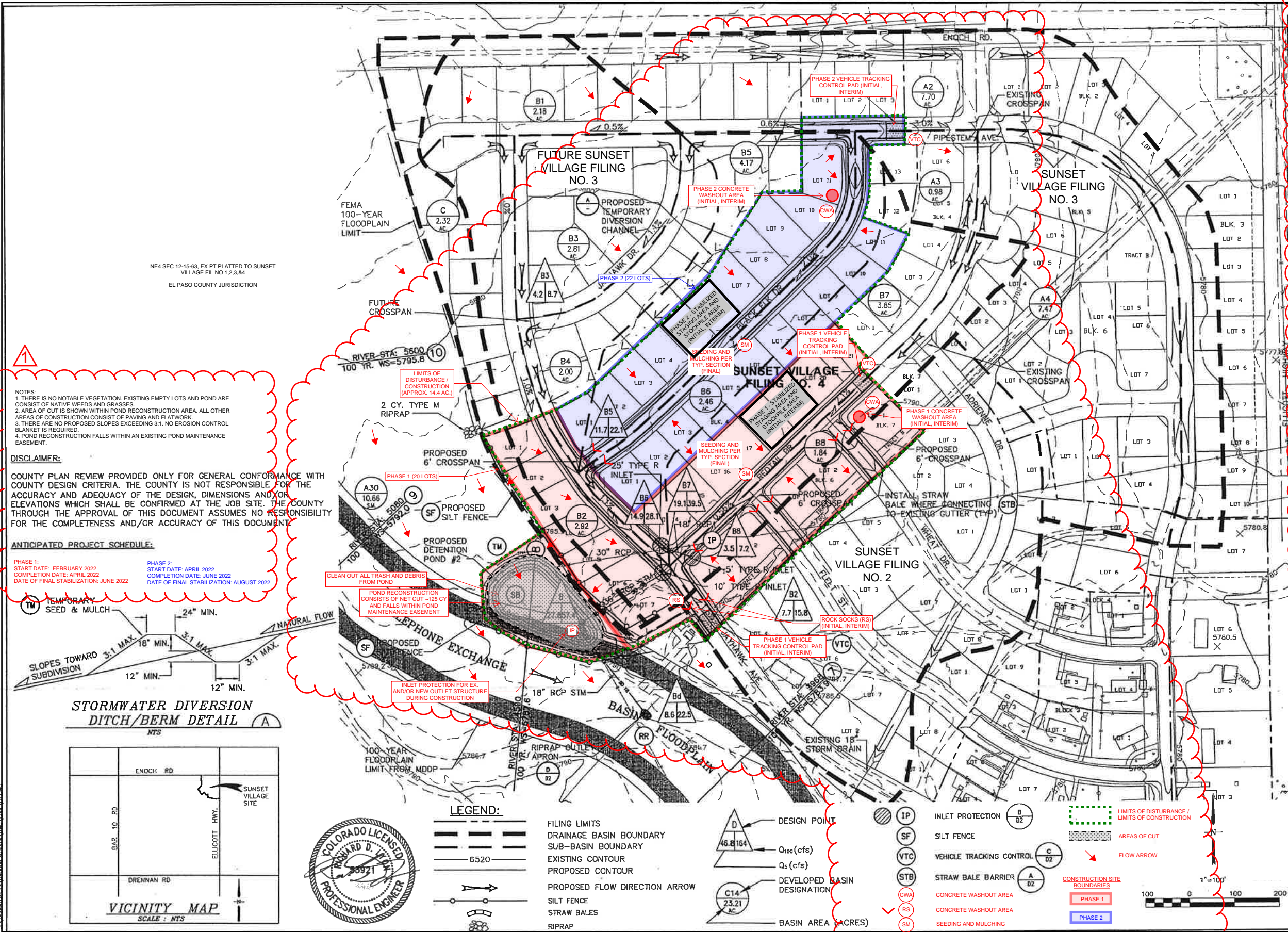
MODIFIED FOR S.I.A. CD SET
 RICHARD D. LYON, PE
 ATWELL, LLC
 DECEMBER, 2021
 EPC PROJ.: CDR-21-008

DATE	REVISION	BY
01/07/2022	SIA CD UPDATES	RDL

DATE	DESCRIPTION	BY
12-14-01	UTILITY-PLAN FOR ELICOTT SPRINGS DEVELOPMENT	RDP
12-29-01	DESCRIPTION	RDP
02-29-01	SUNSET VILLAGE FILING NO. 4	RDP

- LEGEND**
- EXISTING MANHOLE
 - EXISTING WATER MANHOLE
 - EXISTING VALVE
 - PROPOSED VALVE
 - PROPOSED MANHOLE
 - PROPOSED FIRE HYDRANT

D:\PROJECTS\CD\CD-21-008\UTILITY.dwg

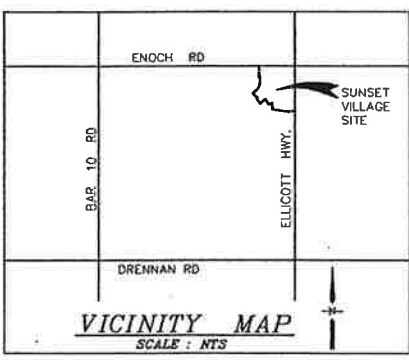
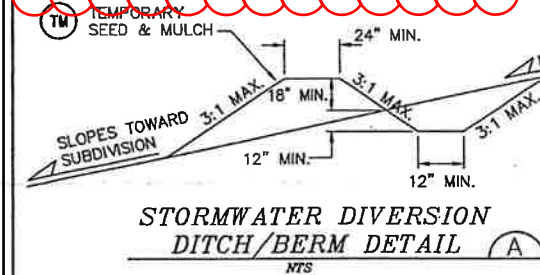


NOTES:
 1. THERE IS NO NOTABLE VEGETATION. EXISTING EMPTY LOTS AND POND ARE CONSIST OF NATIVE WEEDS AND GRASSES.
 2. AREA OF CUT IS SHOWN WITHIN POND RECONSTRUCTION AREA. ALL OTHER AREAS OF CONSTRUCTION CONSIST OF PAVING AND FLATWORK.
 3. THERE ARE NO PROPOSED SLOPES EXCEEDING 3:1. NO EROSION CONTROL BLANKET IS REQUIRED.
 4. POND RECONSTRUCTION FALLS WITHIN AN EXISTING POND MAINTENANCE EASEMENT.

DISCLAIMER:
 COUNTY PLAN REVIEW PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

ANTICIPATED PROJECT SCHEDULE:

PHASE 1: START DATE: FEBRUARY 2022 COMPLETION DATE: APRIL 2022 DATE OF FINAL STABILIZATION: JUNE 2022	PHASE 2: START DATE: APRIL 2022 COMPLETION DATE: JUNE 2022 DATE OF FINAL STABILIZATION: AUGUST 2022
---	---



- LEGEND:**
- FILING LIMITS
 - DRAINAGE BASIN BOUNDARY
 - SUB-BASIN BOUNDARY
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED FLOW DIRECTION ARROW
 - SILT FENCE
 - STRAW BALES
 - RIPRAP
 - DESIGN POINT
 - Q100 (cfs)
 - Q5 (cfs)
 - DEVELOPED BASIN DESIGNATION
 - BASIN AREA (ACRES)
 - INLET PROTECTION
 - SILT FENCE
 - VEHICLE TRACKING CONTROL
 - STRAW BALE BARRIER
 - CONCRETE WASHOUT AREA
 - CONCRETE WASHOUT AREA
 - SEEDING AND MULCHING
 - LIMITS OF DISTURBANCE / LIMITS OF CONSTRUCTION
 - AREAS OF CUT
 - FLOW ARROW
 - CONSTRUCTION SITE BOUNDARIES

STANDARD NOTES FOR EL PASO COUNTY GRADING AND EROSION CONTROL PLANS			
1	Stormwater discharges from construction sites shall not cause or threaten to cause pollution, contamination, or degradation of State Waters. All work and earth disturbance shall be done in a manner that minimizes pollution of any on-site or off-site waters, including wetlands.		
2	Notwithstanding anything depicted in these plans in words or graphic representation, all design and construction related to roads, storm drainage and erosion control shall conform to the standards and requirements of the most recent version of the relevant adopted El Paso County standards, including the Land Development Code, the Engineering Criteria Manual, the Drainage Criteria Manual, and the Drainage Criteria Manual Volume 2. Any deviations from regulations and standards must be requested, and approved, in writing.		
3	A separate Stormwater Management Plan (SMWP) for this project shall be completed and an Erosion and Stormwater Quality Control Permit (ESQCP) issued prior to commencing construction. The SMWP during construction is the responsibility of the design professional. The SMWP shall be located on-site at all times during construction and shall be kept up to date with work progress and changes in the field.		
4	Once the ESQCP is approved and a "Notice to Proceed" has been issued, the contractor may install the initial stage erosion and sediment control measures as indicated on the approved EEC. A Preconstruction Meeting between the contractor, engineer, and El Paso County will be held prior to any construction. It is the responsibility of the applicant to coordinate the meeting time and place with County staff.		
5	Control measures must be installed prior to commencement of activities that could contribute pollutants to stormwater. Control measures for all slopes, channels, ditches, and disturbed land areas shall be installed immediately upon completion of the disturbance.		
6	All temporary sediment and erosion control measures shall be maintained and remain in effective operation until permanent soil erosion control measures are implemented and final stabilization is established. All persons engaged in land disturbance activities shall assess the adequacy of control measures at the site and identify if changes to those control measures are needed to ensure the continued effective performance of the control measures. All changes to temporary sediment and erosion control measures must be incorporated into the Stormwater Management Plan.		
7	Temporary stabilization shall be implemented on disturbed areas and stockpiles where ground disturbing construction activity has permanently ceased or temporarily ceased for longer than 14 days.		
8	Final stabilization must be implemented at all applicable construction sites. Final stabilization is achieved when all ground disturbing activities are complete and all disturbed areas either have a uniform vegetative cover with individual plant density of 70 percent of pre-disturbance levels established or equivalent permanent alternative stabilization method is implemented. All temporary sediment and erosion control measures shall be removed upon final stabilization and before permit closure.		
9	All permanent stormwater management facilities shall be installed as designed in the approved plans. Any proposed changes that affect the design or function of permanent stormwater management structures must be approved by the ECM Administrator prior to implementation.		
10	Earth disturbances shall be conducted in such a manner so as to effectively minimize accelerated soil erosion and resulting sedimentation. All disturbances shall be designed, constructed, and completed so that the exposed area of any disturbed land shall be limited to the shortest practical period of time. Pre-existing vegetation shall be protected and maintained within 50 horizontal feet of a waters of the state unless shown to be infeasible and specifically requested and approved.		
11	Compaction of soil must be prevented in areas designated for infiltration control measures or where final stabilization will be achieved by vegetative cover. Areas designated for infiltration control measures shall also be protected from sedimentation during construction until final stabilization is achieved. If compaction prevention is not feasible due to site constraints, all areas designated for infiltration and vegetation control measures must be loosened prior to installation of the Stormwater Management Plan.		
12	Any temporary or permanent facility designed and constructed for the conveyance of stormwater around, through, or from the earth disturbance area shall be a stabilized conveyance designed to minimize erosion and the discharge of sediment off-site.		
13	Concrete wash water shall be contained and disposed of in accordance with the SMWP. No wash water shall be discharged to or allowed to enter State Waters, including any surface or subsurface storm drainage system or facilities. Concrete washouts shall not be located in an area where shallow groundwater may be present, or within 50 feet of a surface water body, creek or stream.		
14	During dewatering operations, uncontrolled groundwater method is discharged on-site, but shall not leave the site in the form of surface runoff unless an approved State dewatering permit is in place.		
15	Erosion control blanketing or other protective covering shall be used on slopes steeper than 3:1.		
16	Contractor shall be responsible for the removal of all wastes from the construction site for disposal in accordance with local and State regulatory requirements. No construction debris, tree slash, building materials or unused building materials shall be buried, dumped, or discharged at the site.		
17	Waste materials shall not be temporarily placed or stored in the street, alley, or other public way, or in accordance with local and State regulatory requirements. No construction debris, tree slash, building materials or unused building materials shall be buried, dumped, or discharged at the site.		
18	Tracking of soils and construction debris off-site shall be minimized. Materials tracked off-site shall be cleaned up and properly disposed of immediately.		
19	The owner/developer shall be responsible for the removal of all construction debris, dirt, trash, rock, sediment, soil, and sand that may accumulate in roads, storm drains and other drainage conveyance systems and stormwater appurtenances as a result of site development.		
20	The quantity of materials stored on the project site shall be limited, as much as practical, to that quantity required to perform the work in an orderly sequence. All materials stored on-site shall be stored in a neat, orderly manner, in their original containers, with original manufacturer's labels.		
21	No chemical(s) having the potential to be released in stormwater are to be stored or used on-site unless permission for the use of such chemical(s) is granted in writing by the ECM Administrator. In granting approval for the use of such chemical(s), special conditions and monitoring may be required.		
22	Bulk storage of allowed petroleum products or other allowed liquid chemicals in excess of 55 gallons shall require adequate secondary containment protection to contain all spills on-site and to prevent any spilled materials from entering State Waters, any surface or subsurface storm drainage system or other facilities.		
23	No person shall cause the impediment of stormwater flow in the curb and gutter or ditch except with approved sediment control measures.		
24	Owner/developer and their agents shall comply with the "Colorado Water Quality Control Act" (Title 25, Article 8, CRS), and the "Clean Water Act" (33 USC 1344), in addition to the requirements of the Land Development Code, DCM Volume II and the ECM Appendix I. All appropriate permits must be obtained by the contractor prior to construction (1041, NPDES, Floodplain, 404, fugitive dust, etc.). In the event of conflicts between these requirements and other laws, rules, or regulations of other Federal, State, local, or County agencies, the most restrictive laws, rules, or regulations shall apply.		
25	All construction traffic must enter/exit the site only at approved construction access points.		
26	Prior to construction the permittee shall verify the location of existing utilities.		
27	A water source shall be available on-site during earthwork operations and shall be utilized as required to minimize dust from earthwork equipment and wind.		
28	The soils report for this site has been prepared by www.sosreport.com and shall be considered a part of these plans.		
29	At least ten (10) days prior to the anticipated start of construction, for projects that will disturb one (1) acre or more, the owner or operator of construction activity shall submit a permit application for stormwater discharge to the Colorado Department of Public Health and Environment, Water Quality Division. The application contains certification of completion of a stormwater management plan (SMWP) of which this Grading and Erosion Control Plan may be a part. For information or application materials contact: Colorado Department of Public Health and Environment Water Quality Control Division WQCD - Permits 4300 Cherry Creek Drive South Denver, CO 80246-1530 Attn: Permits Unit		

SUNSET VILLAGE FILING 4 GRADING AND EROSION CONTROL PLAN

HORIZ. SCALE: 1"=100'
 VERT. SCALE: 1"=10'
 SURVEYED: []
 CREATED: 11/16/20 []
 PROJECT NO: 090006
 SHEET: **D1**

REVISION 1: 01/07/2022
 MODIFIED FOR S.I.A. CD SET
 RICHARD D. LYON, PE
 ATWELL, LLC.
 DECEMBER, 2021
 EPC PROJ. - CR-21-008

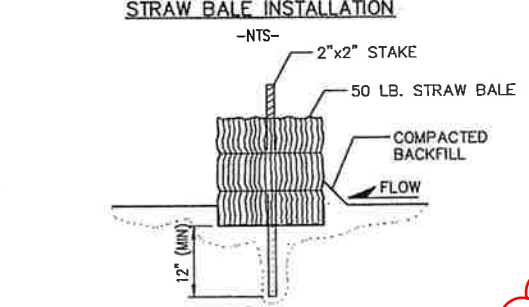
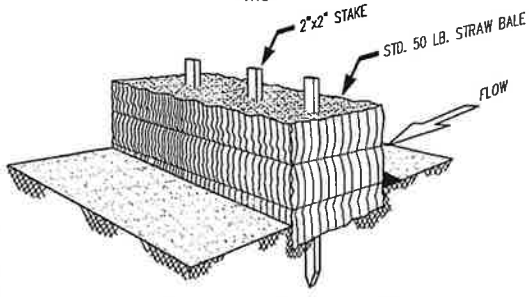
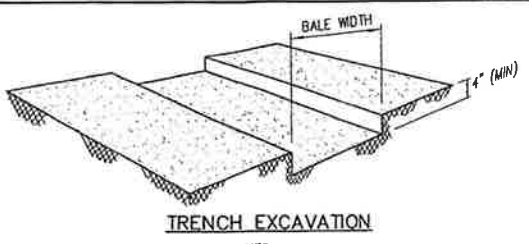
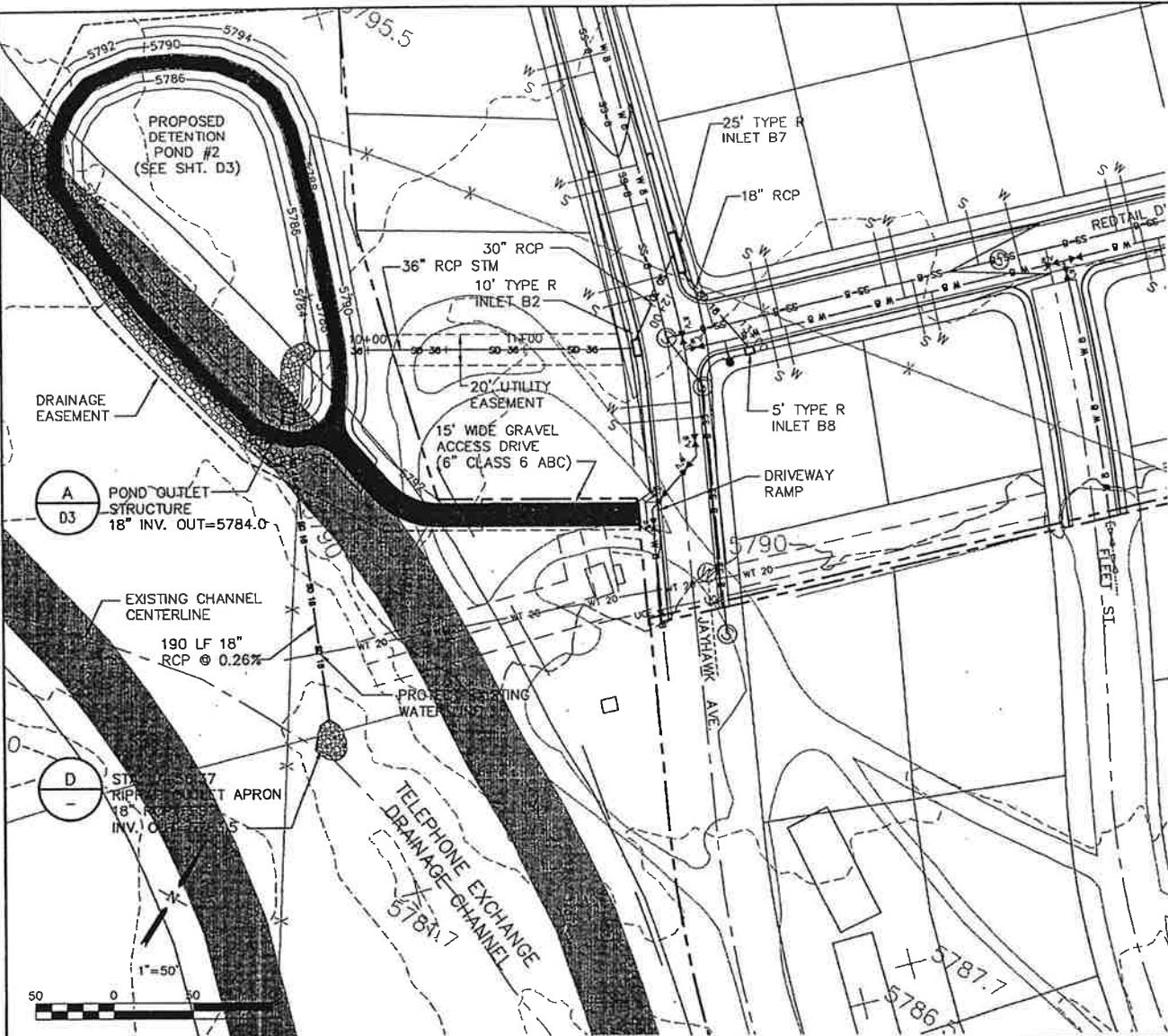
SUNSET VILLAGE - FILING NO. 4

DATE	BY	REVISION

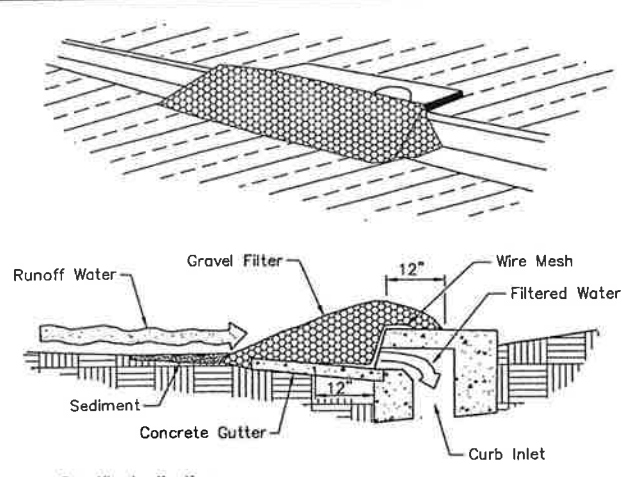
STORM DRAIN PLAN & PROFILE

HORIZ. SCALE: 1"=50'	DRAWN: M.P.
VERT. SCALE: 1"=5'	DESIGNED: JPS
SURVEYED: UP&E	CHECKED: JPS
CREATED: 2/28/01	LAST MODIFIED: 10/11/01
PROJECT NO: 090006	MODIFIED BY: JPS
SHEET:	

D2



STRAW BALE EROSION BARRIER
NOT TO SCALE

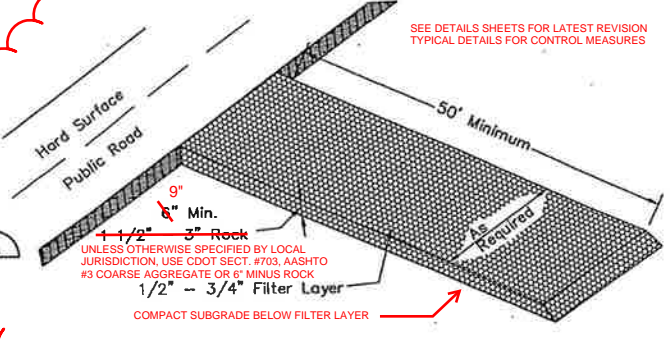


Specific Application

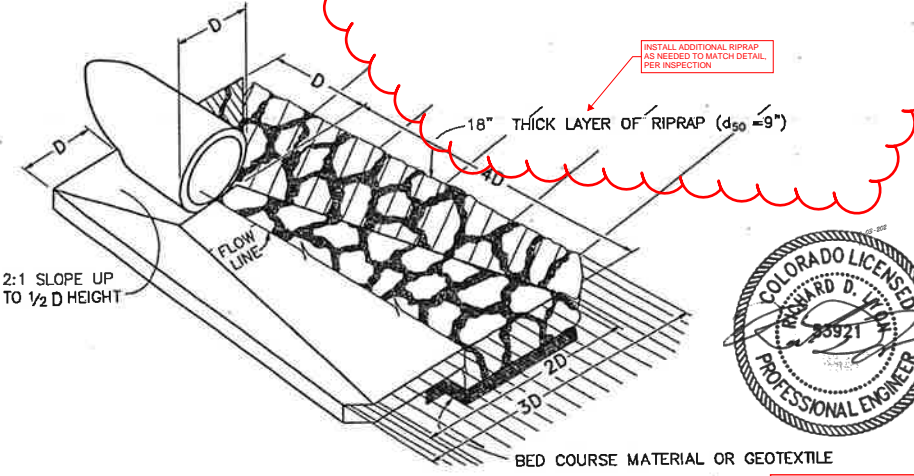
This method of inlet protection is applicable at curb inlets where ponding in front of the structure is not likely to cause inconvenience or damage to adjacent structures and unprotected areas.

Note: Alternate design could utilize gravel filled bags.

CURB INLET PROTECTION
GRAVEL AND WIRE MESH
NOT TO SCALE



TEMPORARY VEHICLE TRACKING CONTROL
SEE MILE HIGH FLOOD DISTRICT DETAIL FOR ADDITIONAL INFORMATION



CULVERT OUTLET PAVING
NOT TO SCALE

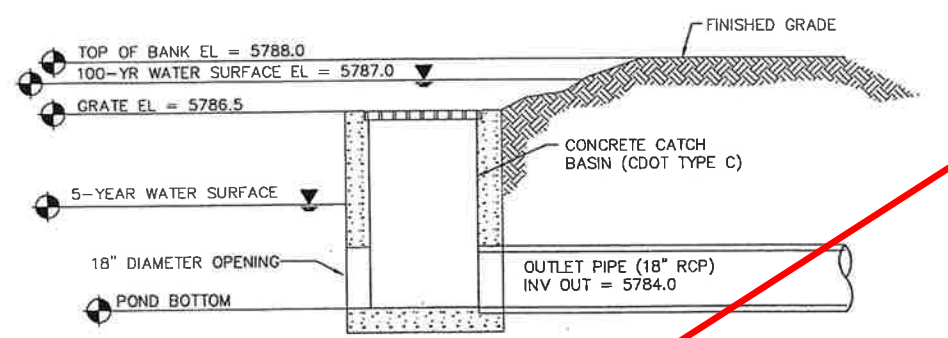
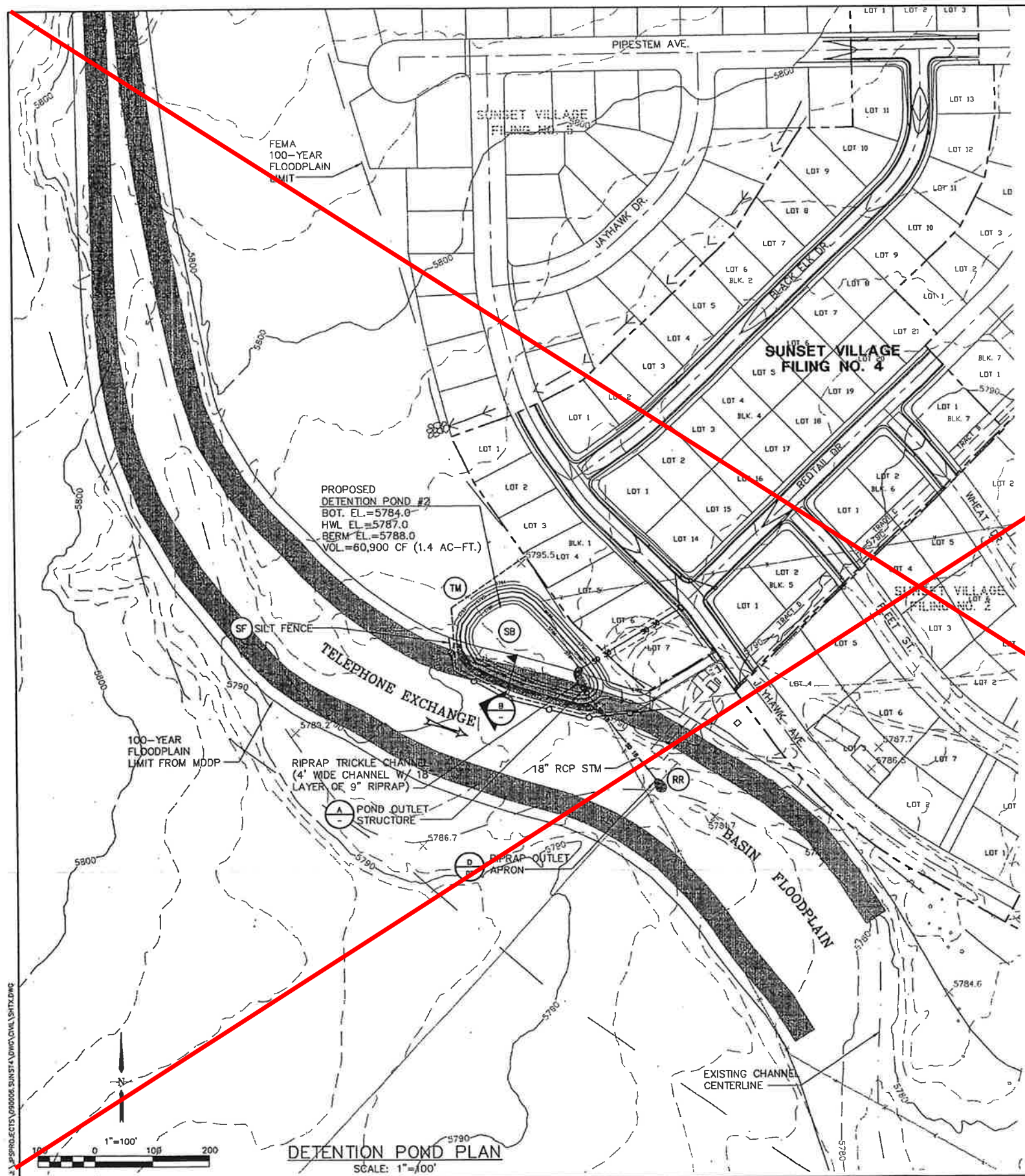


MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ: CDR-21-008
REVISION 1: 01/07/2022

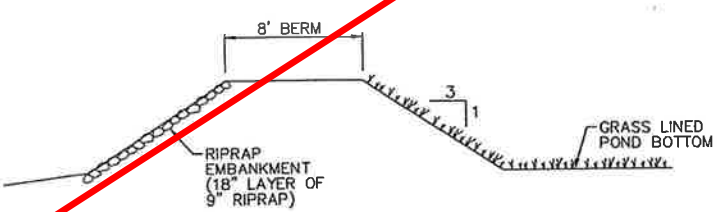
ELEVATION	STATION	DESCRIPTION
5800	7+00	
5795	8+00	
5790	9+00	
5785	10+00	
5780	11+00	
5775	12+00	

PIPE	INVERT	OUTVERT	LENGTH	GRADE	CLEARANCE
10" TYPE R INLET B2	FL=5788.53	INV. IN=5784.49	60 LF	@ 0.28%	18" MIN. CLEAR
25" TYPE R INLET B7	FL=5788.50	INV. IN=5784.76	64 LF	@ 0.31%	18" MIN. CLEAR
15" TYPE R INLET B8	FL=5788.30	INV. OUT=5784.95	60 LF	@ 0.28%	18" MIN. CLEAR
36" RCP	FL=5788.53	INV. OUT=5784.00	202 LF	@ 0.19%	

NOTE: WATER LINES SHALL BE LOWERED AS REQUIRED TO PROVIDE MINIMUM 18" CLEARANCE BELOW STORM SEWER



DETENTION POND OUTLET STRUCTURE (A)
NOT TO SCALE



TYPICAL POND WALL SECTION (B)
NOT TO SCALE

LEGEND

- SILT FENCE
- STRAW BALES
- RIPRAP
- EXISTING CONTOURS
- PROPOSED CONTOURS
- INLET PROTECTION (GRAVEL FILTER)
- SILT FENCE
- VEHICLE TRACKING PAD
- TEMPORARY SEED AND MULCH ON DISTURBED SLOPES
- STRAW BALE BARRIER

JPS ENGINEERING

518 N. Nevada Ave.
Suite 303
Colorado Springs, CO 80903
PH: 719-477-9429
FAX: 719-471-0786

SUNSET VILLAGE - FILING NO. 4

DETENTION POND PLAN & DETAILS

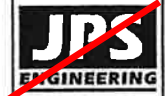
NO.	REVISION	BY	DATE	SURVEY INFO

VERT. SCALE: 1"=100'	DRAWN: MJP
HORIZ. SCALE: N/A	DESIGNED: JPS
SURVEYED: N/A	CHECKED: JPS
CREATED: 8/29/01	LAST MODIFIED: 10/11/01
PROJECT NO: 090006	DRAWN BY: JPS
SHEET: D3	

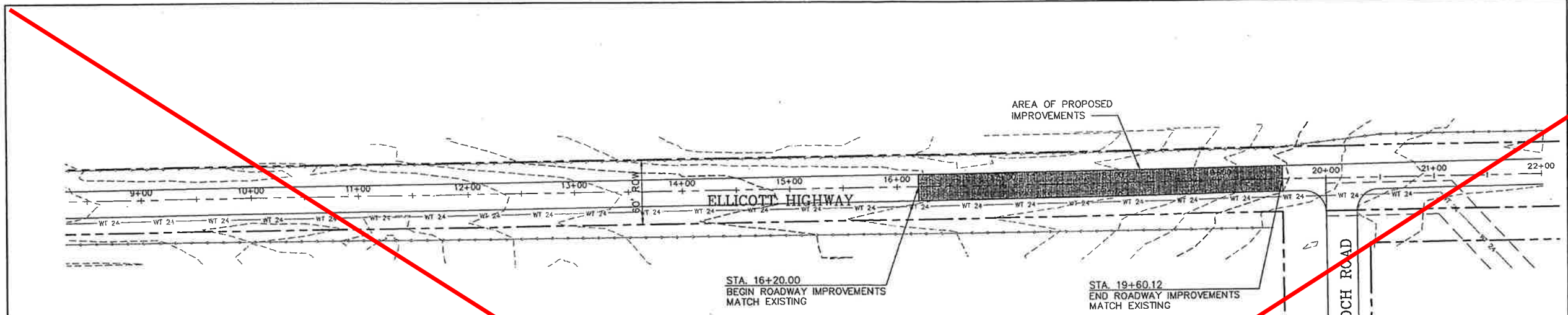
MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008

REVISION 1: 01/07/2022

THIS SHEET IS NOT WITHIN SCOPE OF WORK FOR SUNSET VILLAGE FIL. 4
SUBDIVISION IMPROVEMENT AGREEMENT

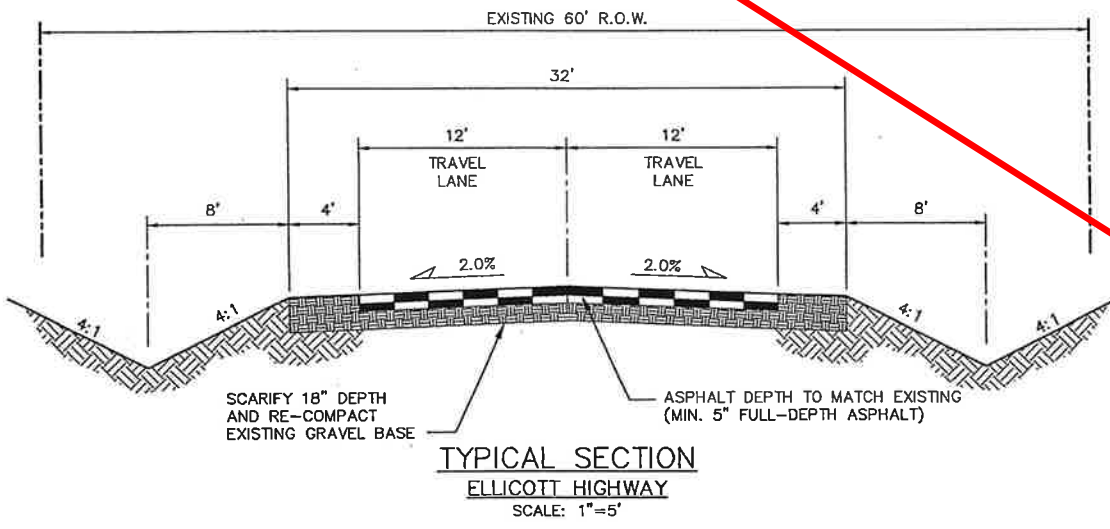


518 N. Nevada Ave.
Suite 303
Colorado Springs, CO
80903
PH: 719-477-9429
FAX: 719-471-0766



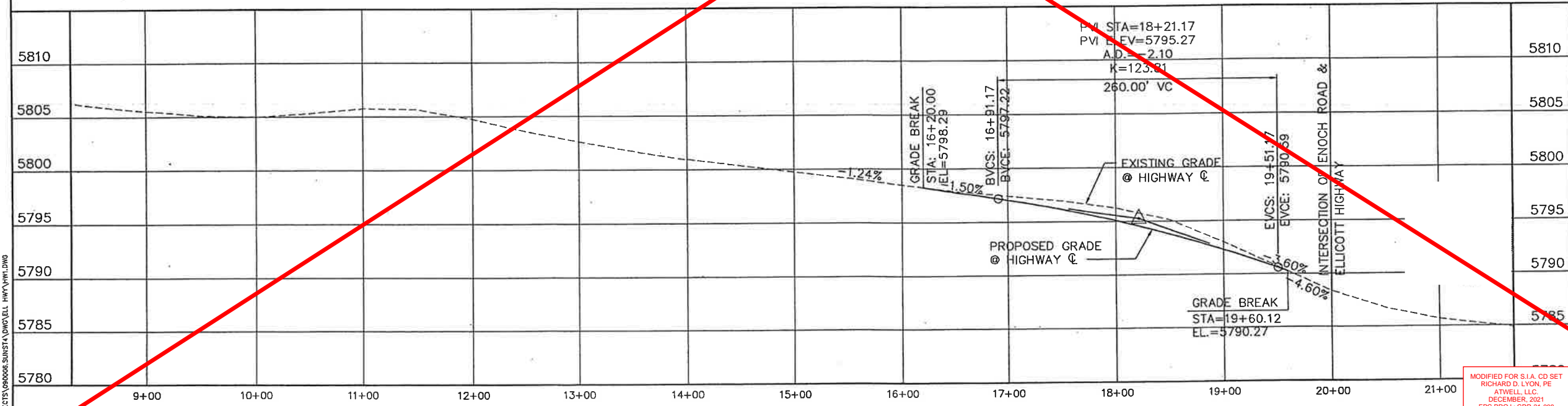
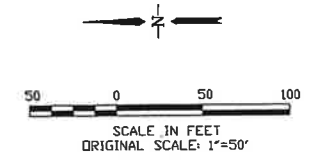
STA. 16+20.00
BEGIN ROADWAY IMPROVEMENTS
MATCH EXISTING

STA. 19+60.12
END ROADWAY IMPROVEMENTS
MATCH EXISTING



GENERAL NOTES

1. CONFORM TO EL PASO COUNTY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
2. THE CONTRACTOR SHALL CONTACT ALL UTILITIES FOR LOCATIONS TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AS A RESULT OF HIS ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF THE UTILITY.
4. CONTRACTOR SHALL SUBMIT DETAILED TRAFFIC CONTROL PLANS AND OBTAIN PERMITS AS REQUIRED BY EL PASO COUNTY.
5. PROVIDE REQUIRED SIGNING AND TRAFFIC CONTROL DEVICES MEETING MUTCD, CDOT, AND EL PASO COUNTY STANDARDS.
6. CONTRACTOR SHALL FIELD VERIFY GRADES TO ENSURE POSITIVE DRAINAGE TRANSITION TO ADJACENT PAVEMENT.
7. REMOVE & DISPOSE OF EXISTING ASPHALT WITHIN LIMITS OF PROPOSED WORK.
8. ROADSIDE DITCHES SHALL BE RESTORED TO THE ORIGINAL CONDITION. DITCH RESTORATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
9. NEW PAVEMENT ON ELLICOTT HIGHWAY SHALL BE TAPERED INTO EXISTING PAVEMENT WITH FINE MIX ASPHALT.
10. CONTRACTOR SHALL TAKE CORE SAMPLES ON AN UNDISTURBED SECTION OF ELLICOTT HIGHWAY TO DETERMINE EXISTING ASPHALT AND GRAVEL BASE THICKNESS.



ELLICOTT HIGHWAY

NO.	REVISION	BY	DATE

HIGHWAY IMPROVEMENT PLAN

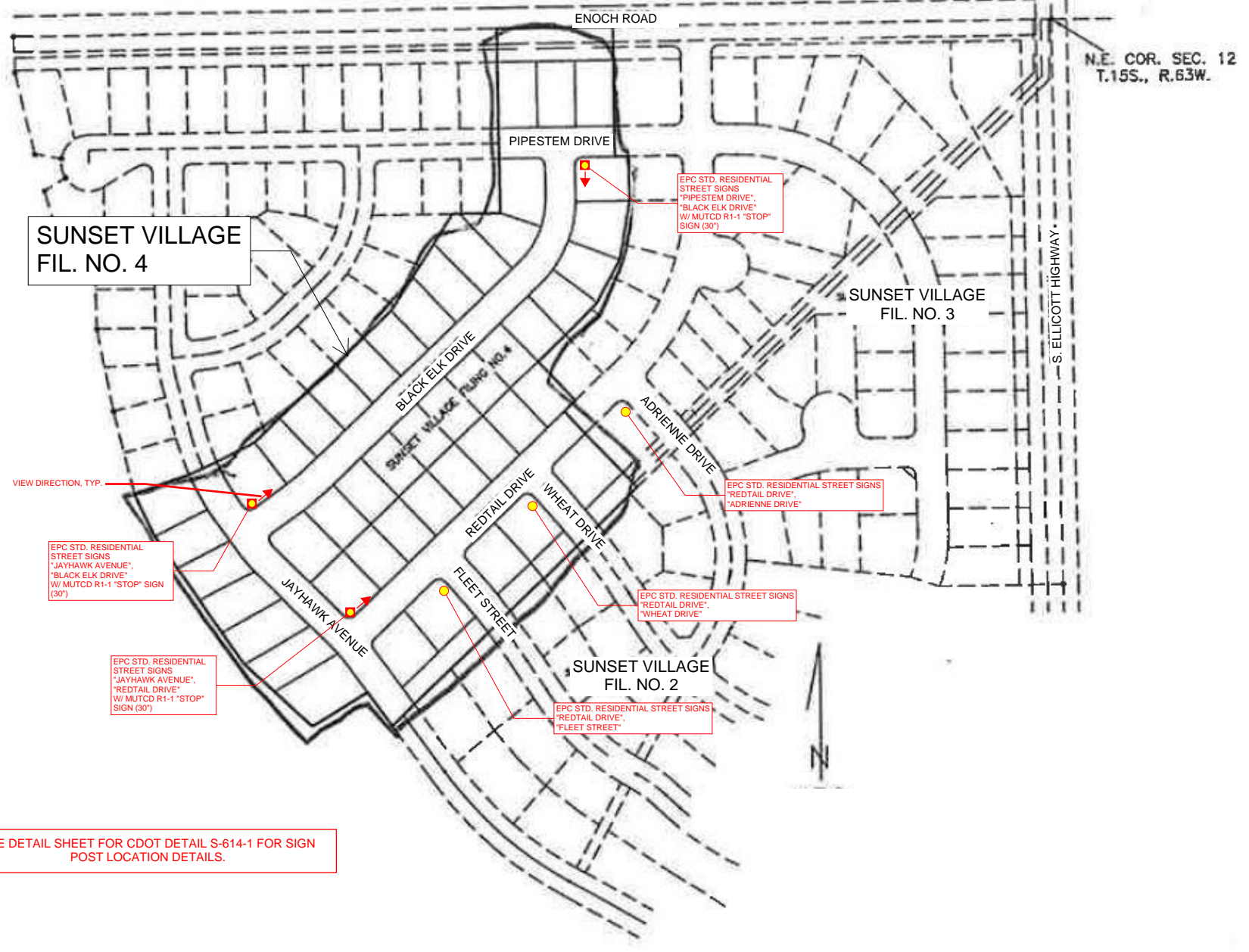
MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008

PROJECT SCALE: 1"=50'	DRAWN: MJP
VERT. SCALE: 1"=5'	DESIGNED: JPS
SURVEYED: 7/10/01	CHECKED: JPS
PROJECT NO: 090006	LAST MODIFIED: 9/11/01
SHEET: HW1	MODIFIED BY: MJP

REVISION 1: 01/07/2022

J:\PROJECTS\090006\SUBSTA\DWG\EL_HHW1.PLT.DWG

PER EL PASO COUNTY STANDARDS, STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.



SEE DETAIL SHEET FOR CDOT DETAIL S-614-1 FOR SIGN POST LOCATION DETAILS.

PROJECT DESCRIPTION
STRIPING AND SIGNAGE MODIFICATIONS WITHIN SUNSET VILLAGE FILING NO. 4.

GENERAL NOTES
1. THE CONTRACTOR SHALL HAVE A COPY OF ALL APPLICABLE STANDARDS ON SITE FOR THE DURATION OF THE PROJECT.
2. THE CONTRACTOR SHALL ACQUIRE ALL NECESSARY PERMITS AND INSPECTIONS REQUIRED TO COMPLETE THE SCOPE OF WORK PRESENTED HEREIN.

TRAFFIC CONTROL
1. ALL SIGNAGE AND STRIPING SHALL FOLLOW THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", MUTCD, CURRENT EDITION, AND ALL APPLICABLE CDOT M&S STANDARDS.
2. THE CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN TEMPORARY TRAFFIC CONTROL DEVICES NECESSARY THROUGHOUT THE DURATION OF CONSTRUCTION IN CONFORMANCE WITH TRAFFIC CONTROL PLANS AND/OR APPROVED MHT.
3. THE TRAFFIC CONTROL SUPERVISOR SHALL COORDINATE CONSTRUCTION ZONE TRAFFIC CONTROL ACTIVITIES WITH ALL APPROPRIATE OFFICIALS.
4. THE CONTRACTOR SHALL MAINTAIN FULL COMPLIANCE PAVEMENT MARKINGS OR APPROVED DEVICES ON THE ROADWAYS DURING ALL PHASES OF THE CONSTRUCTION PERIOD.

EL PASO COUNTY SIGNING AND STRIPING NOTES:
1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.

4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.

5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.

6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.

7. ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS"

8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.

9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.

10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.

11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.

12. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.

13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.

14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008

REVISION 1: 01/07/2022



SUBDIVISION: SUNSET VILLAGE FIL. NO. 4
SHEET: 15
STRIPING AND SIGNAGE PLAN
EPC PLAN NO. CDR-21-008

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2021 ATWELL, LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL, LLC.

ATWELL
866.850.4200 www.atwell-group.com
143 UNION BOULEVARD, SUITE 700
LAKEWOOD, CO 80228
303.462.1100

SUNSET VILLAGE VIEW, LLC.
487 WINDCHIME PL. STE. #300
303-519-5100
SCOTT VAN WHYE

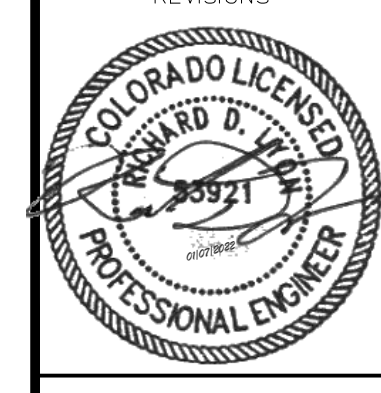
SUNSET VILLAGE VIEW, LLC.
SUNSET VILLAGE FIL. NO. 4
JAYHAWK AVENUE AND REDTAIL DRIVE
EL PASO COUNTY, COLORADO
CDOT S-615-1 DETAILS

CLIENT: SUNSET VILLAGE VIEW, LLC.

DATE: 12/03/2021

A	1st SUBMITTAL TO EPIC	10/12/2021	- RDL
B	2nd SUBMITTAL TO EPIC	12/03/2021	- RDL

REVISIONS	



DR. RDL CH. RDL
P.M. RDL

JOB: 21004166
SHEET NO.

REGULATORY, RECREATIONAL AND CULTURAL INFORMATION SIGN PLACEMENT

WARNING SIGN PLACEMENT

ACUTE ANGLE INTERSECTION
CHANNELIZED INTERSECTION
WIDE THROAT INTERSECTION
DIVISIONAL ISLAND
MINOR CROSSROAD
URBAN INTERSECTION

TYPICAL LOCATIONS-STOP SIGNS AND YIELD SIGNS

GENERAL NOTES

- THE ENGINEER WILL ESTABLISH GRADES AND LOCATIONS FOR ALL SIGN POSTS IN ACCORDANCE WITH DETAILS SHOWN ON THE PLANS.
- SPECIAL CARE SHALL BE TAKEN IN SIGN LOCATION TO ENSURE AN UNOBSTRUCTED VIEW OF EACH SIGN.
- MINIMUM POST EMBELEMMENT SHALL BE 3 FT FOR 4-2 POSTS AND 4-IN X 4-IN TIMBER POSTS, AND 5 FT FOR 6-IN X 6-IN TIMBER POSTS. SEE APPLICABLE STANDARDS FOR FOOTING DEPTH.
- IF A SHOULDER IS WIDER THAN 6 FT, THE MINIMUM LATERAL OFFSET DISTANCE SHOULD BE 6 FT FROM THE EDGE OF SHOULDER, EXCEPT FOR MILE MARKER SIGNS. SEE FIGURE 5A-2010 OF THE 2009 MUTCD.
- NORMAL LATERAL PLACEMENT IS MEASURED FROM THE EDGE OF THE TRAVEL LANE.
- IN URBAN AREAS, A LATERAL CLEARANCE OF 1 FT FROM THE CURB FACE IS PERMISSIBLE WHERE SIDEWALK WIDTH IS LIMITED OR WHERE EXISTING POLES ARE CLOSE TO THE CURB.
- TYPICAL POST MOUNTING HEIGHTS FROM GROUND TO BOTTOM OF SIGN PANEL ARE 7 OR 8 FT. OTHER HEIGHTS MAY BE REQUIRED WHEN SIGNS ARE MOUNTED ON STEEP HILL OR CUT SLOPES.
- FOR ADDITIONAL PLACEMENT FOR STOP SIGNS WILL NOT BE CONSIDERED WHEN DETERMINING VERTICAL PLACEMENT. FOR INFORMATION OF EDUCATIONAL PLAQUES, SEE PAGE 3 OF THE 2012 CDOT GUIDE SIGNING POLICIES & PROCEDURES, AND SECTION 2808 OF THE 2009 MUTCD.
- WHEN LATERAL PLACEMENT IS 30 FT OR MORE FOR SIGNS WITHOUT A SUPPLEMENTAL PLAQUE, VERTICAL PLACEMENT H MAY BE REDUCED TO 5 FT. WHEN LATERAL PLACEMENT IS 30 FT OR MORE FOR SIGNS WITH A SUPPLEMENTAL PLAQUE, VERTICAL PLACEMENT F DOES NOT APPLY - USE ONLY VERTICAL PLACEMENT H.
- NORMAL ANGULAR PLACEMENT IS 0 DEG. SIGNS CLOSER THAN 30 FT SHOULD BE TURNED SLOWLY AWAY TO MINIMIZE SPECULAR REFLECTION. SIGNS PLACED 30 FT OR MORE SHOULD GENERALLY BE TURNED TOWARD THE ROAD.
- THE COT PANEL IS MOUNTED ON THE RIGHT HAND SIDE FOR RIGHT HAND EXITS AND THE LEFT SIDE FOR LEFT HAND EXITS.
- POST SHALL BE INSTALLED PLUMB, VERTICAL DEVIATION SHALL NOT EXCEED 1/2-IN IN 10 FT.
- ON ALL TWO-LANE UNDIVIDED HIGHWAYS, THE MILE MARKER AND POST SHALL BE INSTALLED ON THE RIGHT SHOULDER IN THE ASCENDING DIRECTION WITH THE MILE MARKER PANELS DISPLAYED ON THE FRONT AND BACK SIDE OF THE POST.
- ON ALL UNDIVIDED MULTI-LANE AND DIVIDED HIGHWAYS AND INTERSTATES, THE MILE MARKER AND POST SHALL BE INSTALLED ON THE OUTSIDE SHOULDER (OR SIDEWALK IF APPLICABLE) IN BOTH DIRECTIONS OF TRAVEL.
- VERTICAL SPACING BETWEEN SIGN PANELS SHALL BE 1 TO 1 1/2 IN, TYPICAL.

PLACEMENT TABLES

KEY	LATERAL PLACEMENT ALL CLASSES OF STREETS AND HIGHWAYS		VERTICAL PLACEMENT						
	MINIMUM	NORMAL	KEY	FREEWAYS AND EXPRESSWAYS		CONVENTIONAL STREETS AND HIGHWAYS			
				MIN.	MAX.	MIN.	MAX.	MIN.	MAX.
A	2'-0"	15'-0" PLUS CURB	D	7'-0" OR NOTE NO. 9	12'-0"	7'-0"	8'-0"	5'-0"	9'-0"
B	2'-0"	30'-0" OR MORE (INCLUDES CURB)	E	7'-0"	8'-0"	7'-0"	8'-0"	5'-0"	9'-0"
C	2'-0"	6'-0" PLUS EDGE OF 8'-0" WIDE SHOULDER, IF MORE IS 4'-0" FROM EDGE OF TRAVEL LANE	F	8'-0" OR NOTE NO. 9	12'-0"	8'-0"	9'-0"	5'-0"	9'-0"
			G	8'-0"	7'-0"	8'-0"	7'-0"	4'-0"	7'-0"
			H	5'-0"	10'-0"	8'-0"	7'-0"	4'-0"	7'-0"

<p>Computer File Information</p> <p>Creation Date: 07/04/12 Created By: KCM Last Modification Date: 07/31/19 Last Modified By: AVU CAD Ver.: MicroStation V8 Scale: Not to Scale Units: English</p>	<p>Sheet Revisions</p> <table border="1"> <tr> <th>Date:</th> <th>Comments:</th> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	Date:	Comments:					<p>Colorado Department of Transportation</p> <p>2829 W. Howard Pl. Denver, CO 80204 Phone: 303-757-9436 Fax: 303-757-9219</p> <p>Traffic & Safety Engineering MKB</p>	<p>GROUND SIGN PLACEMENT</p> <p>STANDARD PLAN NO. S-614-1 Standard Sheet No. 1 of 2</p> <p>Issued By: Traffic & Safety Engineering Branch July 31, 2019 Project Sheet Number:</p>
Date:	Comments:								

ROUTE MARKER ASSEMBLY PLACEMENT

CLASS III SIGN PLACEMENT

MILE MARKER PLACEMENT

NOTE: MILE MARKERS SHALL BE LOCATED IN LINE WITH DELINEATOR POSTS.

CLASS III SIGNS, PANEL GROUND CLEARANCE

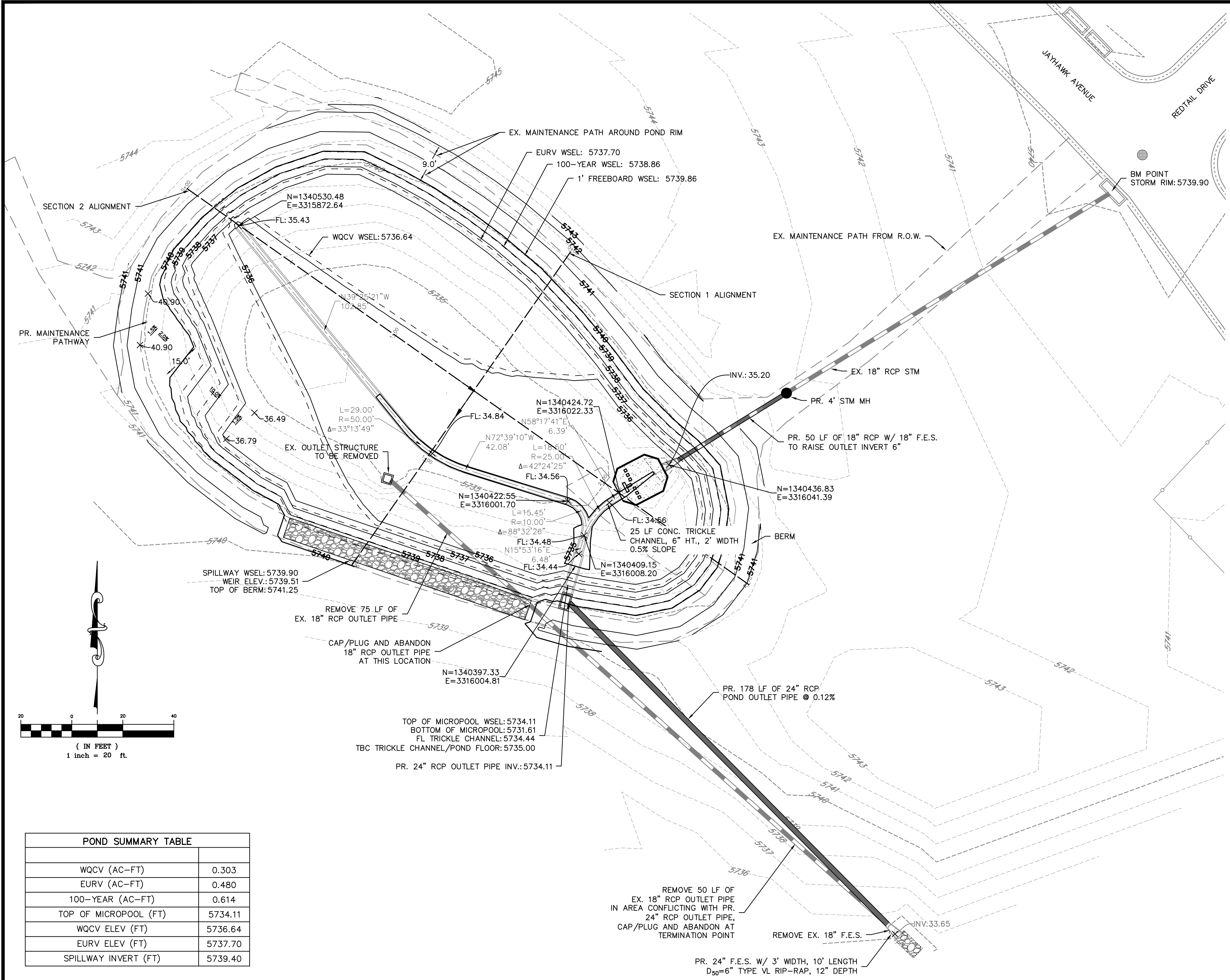
NOTE: 3" MIN GROUND TO ANY POINT OF SIGN PANEL.
2" IS DESIRABLE, BUT MAY BE ADJUSTED ON STEEP BACKSLOPES.
SEE COLORADO STANDARD PLAN S-614-21 FOR ADDITIONAL INFORMATION.

ANGULAR PLACEMENT

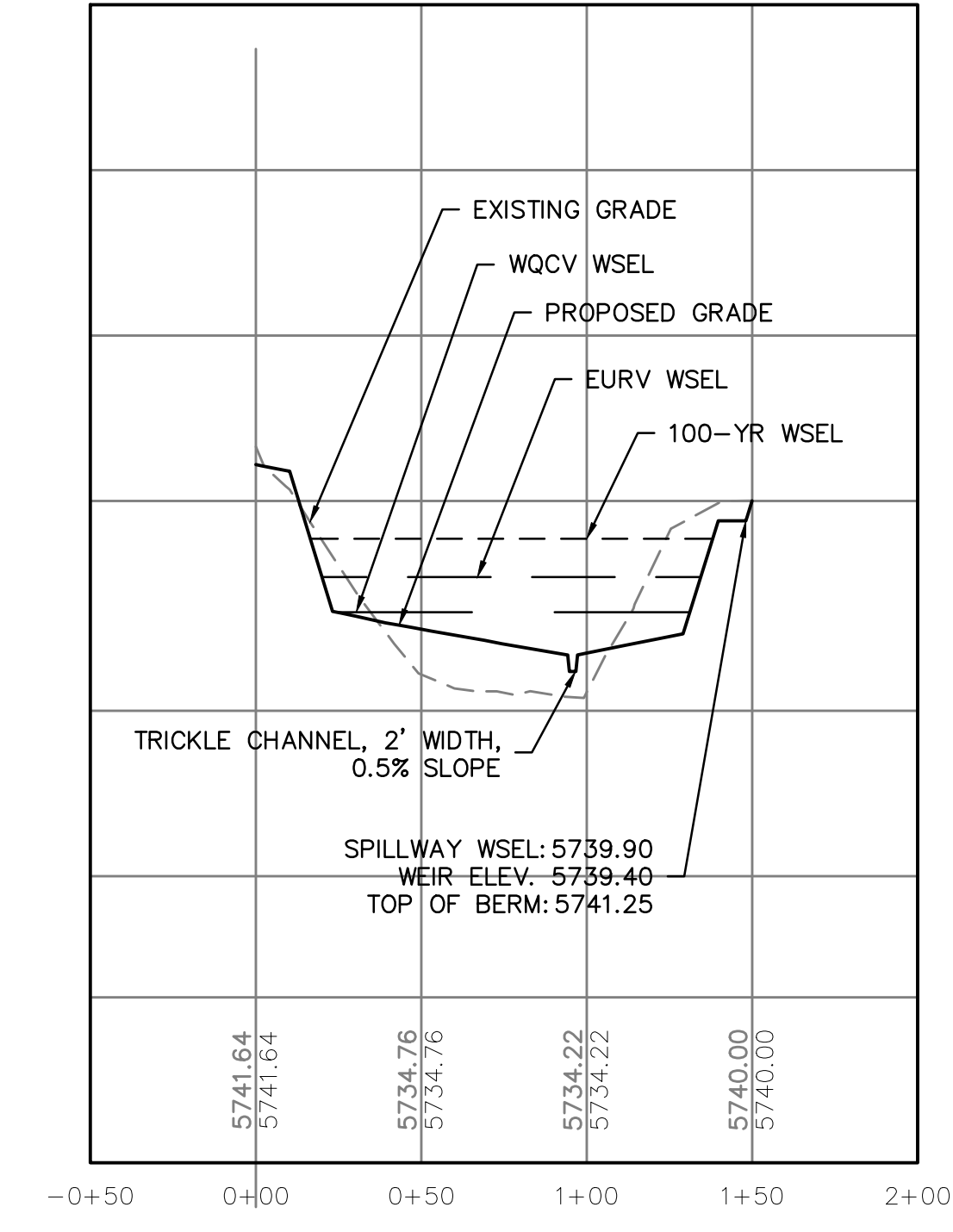
SPECIAL FOR SMALL PARKING OR SLEEPING RESTRICTION SIGNS WITH HORIZONTAL ARROW

45° TO 60°
STANDARD FOR ALL OTHER GROUND SIGNS
5" MAX.
2" TO 3"
SEE NOTE 10.

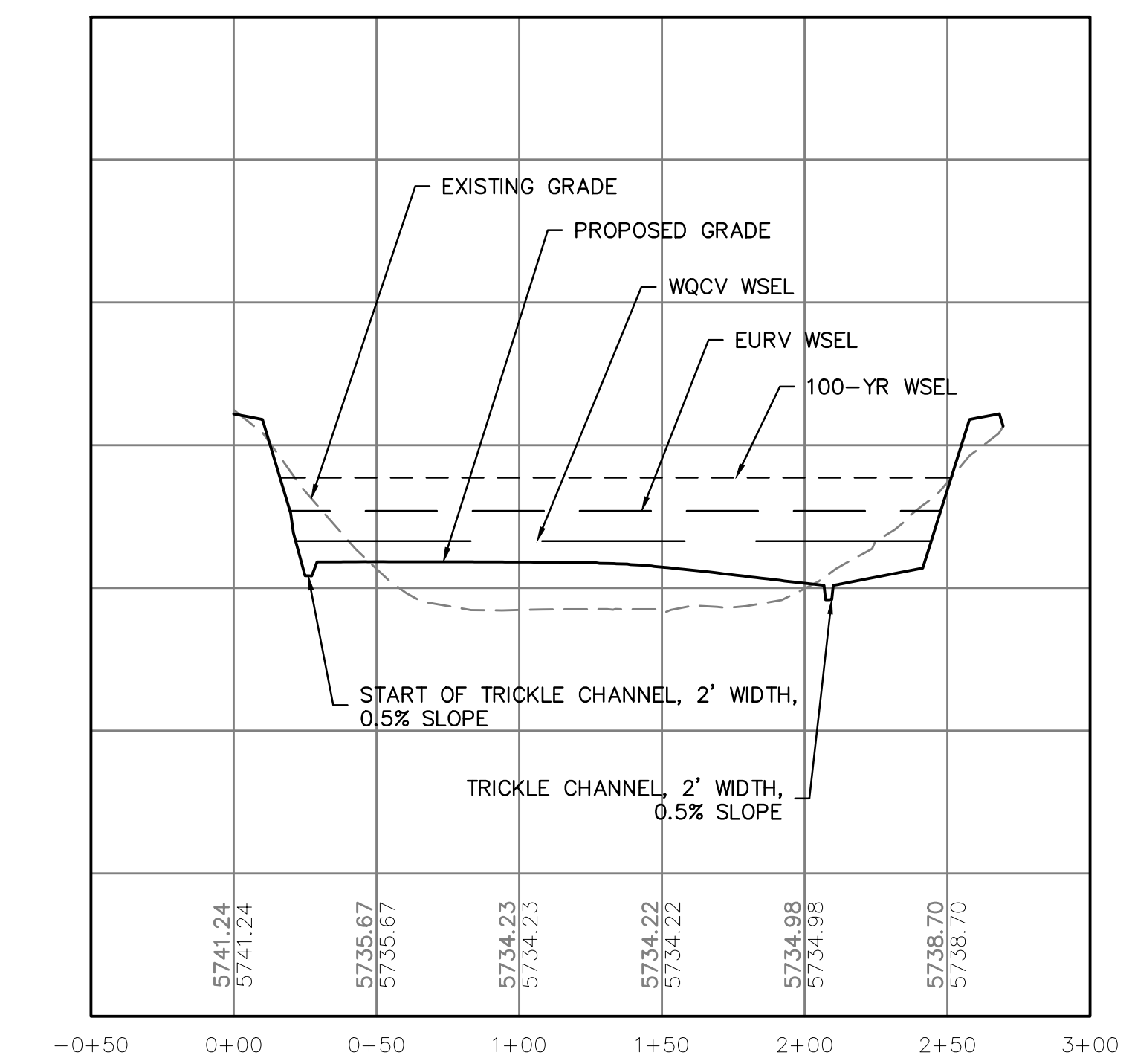
<p>Computer File Information</p> <p>Creation Date: 07/04/12 Created By: KCM Last Modification Date: 07/31/19 Last Modified By: AVU CAD Ver.: MicroStation V8 Scale: Not to Scale Units: English</p>	<p>Sheet Revisions</p> <table border="1"> <tr> <th>Date:</th> <th>Comments:</th> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	Date:	Comments:					<p>Colorado Department of Transportation</p> <p>2829 W. Howard Pl. Denver, CO 80204 Phone: 303-757-9436 Fax: 303-757-9219</p> <p>Traffic & Safety Engineering MKB</p>	<p>GROUND SIGN PLACEMENT</p> <p>STANDARD PLAN NO. S-614-1 Standard Sheet No. 2 of 2</p> <p>Issued By: Traffic & Safety Engineering Branch July 31, 2019 Project Sheet Number:</p>
Date:	Comments:								



POND A - SECTION 1
N.T.S.



POND A - SECTION 2
N.T.S.



POND SUMMARY TABLE	
WQCV (AC-FT)	0.303
EURV (AC-FT)	0.480
100-YEAR (AC-FT)	0.614
TOP OF MICROPOOL (FT)	5734.11
WQCV ELEV (FT)	5736.64
EURV ELEV (FT)	5737.70
SPILLWAY INVERT (FT)	5739.40

NOTE:

- THE DEVELOPER SHALL HAVE A LICENSED PROFESSIONAL ENGINEER CERTIFY EACH STORMWATER DETENTION POND AND/OR WATER QUALITY BMP IS BUILT ACCORDING TO THE APPROVED PLANS AND SPECIFICATIONS AND THE REQUIRED DETENTION VOLUME, INCLUDING THE WQCV WHEN USED, IS MET. THE CERTIFICATION SHALL ALSO VERIFY ALL PERTINENT DIMENSIONS, ELEVATIONS, REQUIRED OUTLET ORIFICE PLATES FOR DETENTION AND WQCV AND OTHER PERMANENT BMPS REQUIREMENTS ARE INSTALLED PER THE APPROVED PLANS AND SPECIFICATIONS, AND SHALL SHOW THE AS-BUILT DESIGN VOLUMES (WQCV, 10-YEAR, 100-YEAR, EURV) AND OTHER PERTINENT DIMENSIONS, ELEVATIONS AND CAPACITY REQUIREMENTS ASSOCIATED WITH THE WQ BMP USED. THE CERTIFICATION SHALL BE PROVIDED TO EL PASO COUNTY ENGINEERING. AN APPROVED POND CERTIFICATE SHALL BE REQUIRED PRIOR TO THE RETURN OF ANY FISCAL SECURITY DEPOSIT (AS WELL AS SATISFYING OTHER CONDITIONS OF THE STORMWATER PERMIT) FOR SITES THAT DO NOT REQUIRE A CERTIFICATE OF OCCUPANCY. EXAMPLES OF THESE SITES INCLUDE BUT ARE NOT LIMITED TO: SITES WITHOUT VERTICAL CONSTRUCTION, OIL AND GAS WELL PADS, OUTDOOR STORAGE, AND TOW YARDS. AN APPROVED POND CERTIFICATE SHALL BE REQUIRED PRIOR TO COMMENCEMENT OF BUSINESS OPERATIONS. IN NO CASE SHALL A CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY BE ISSUED WITHOUT AN APPROVED POND CERTIFICATE.

Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2022 ATWELL LLC

866.850.4200 www.atwell-group.com
143 UNION BOLLIVARD, SUITE 700
LAKEWOOD, CO 80228
303.462.1100

CLIENT PUNCHLIST CONNECTIONS LLC 300 WINDCHIME PLACE #301 COLORADO SPRINGS, COLORADO 80919 303.519.5100 SCOTT VAN WYHE	PROJECT PUNCHLIST CONNECTIONS LLC SUNSET VILLAGE FILING 4 - DRAINAGE EL PASO COUNTY, COLORADO CONSTRUCTION DRAWINGS POND 2
DATE	1/7/2022
REVISIONS	
DR. RDL	CH. RDL
P.M. RDL	
JOB	21004166
SHEET NO.	

CAD FILE: 21004166-POND_PLANS.DWG

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2022 ATWELL LLC

PUNCHLIST CONNECTIONS LLC
300 WINDCHIME PLACE #301
COLORADO SPRINGS, COLORADO 80919
303.519.5100
SCOTT VAN WYHE

PUNCHLIST CONNECTIONS LLC
SUNSET VILLAGE FILING 4 - DRAINAGE
EL PASO COUNTY, COLORADO
CONSTRUCTION DRAWINGS
POND 2

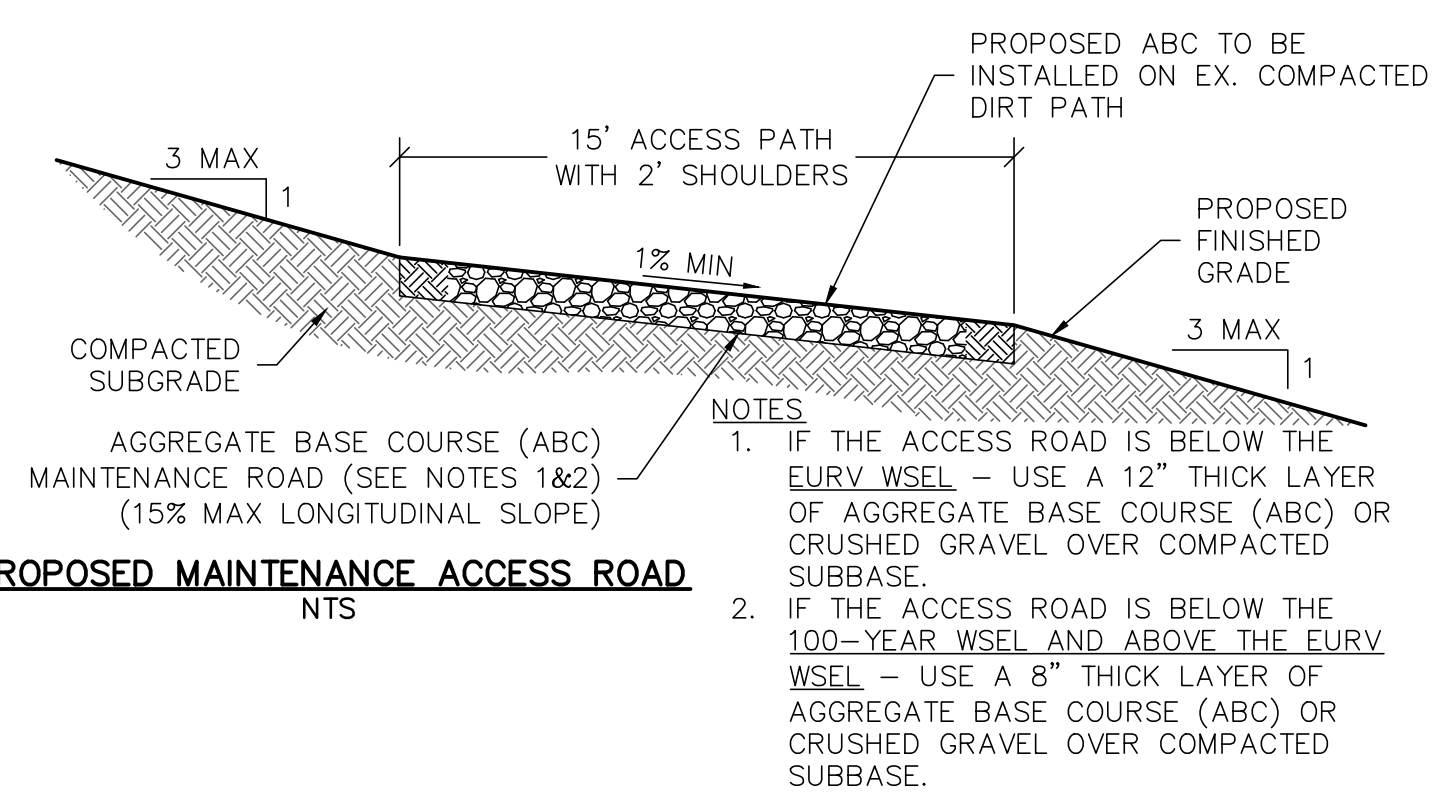
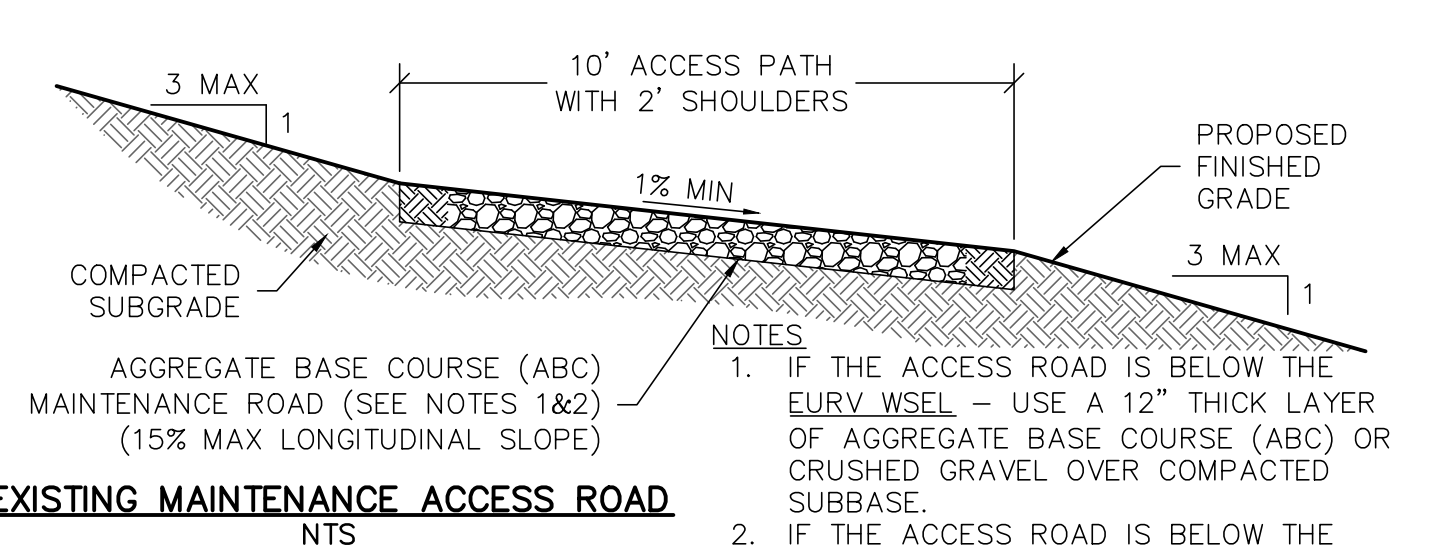
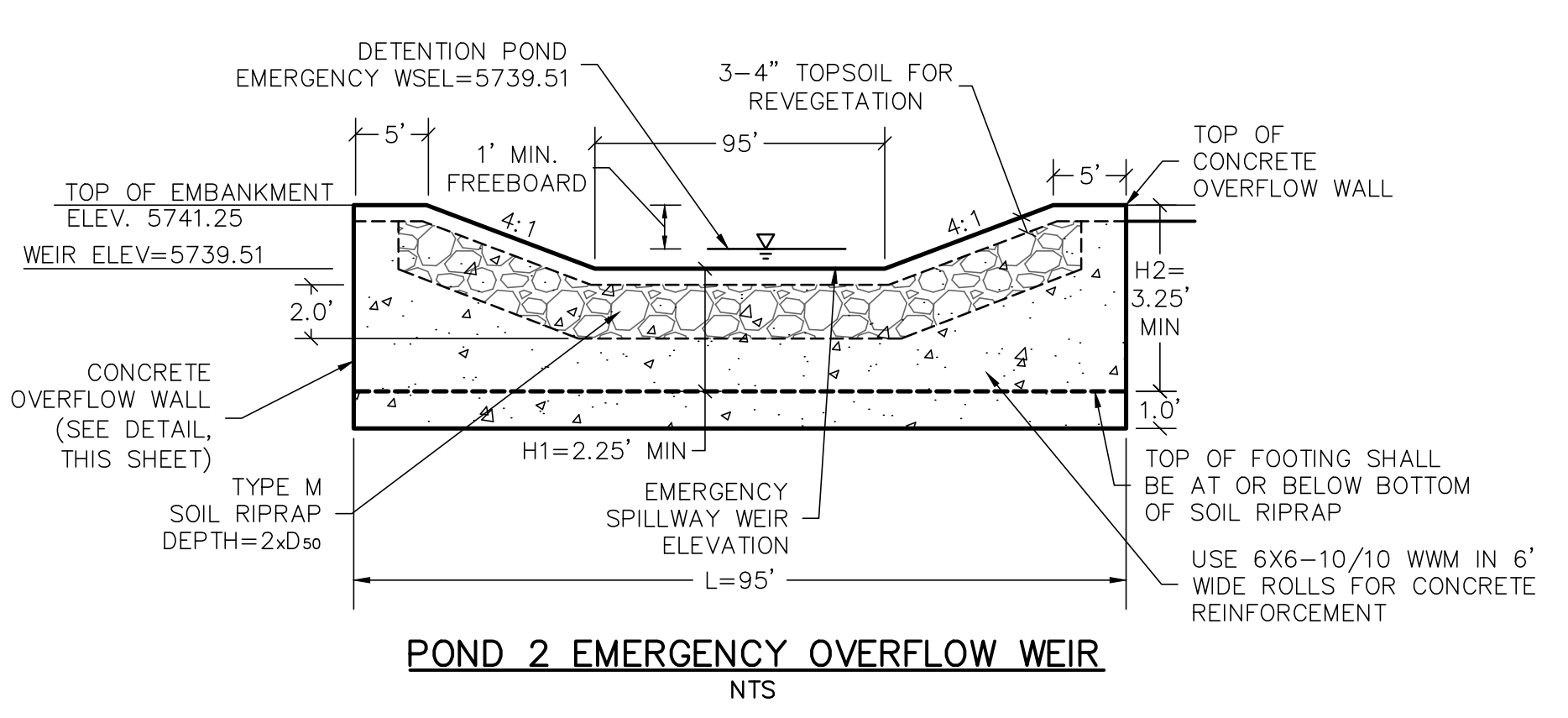
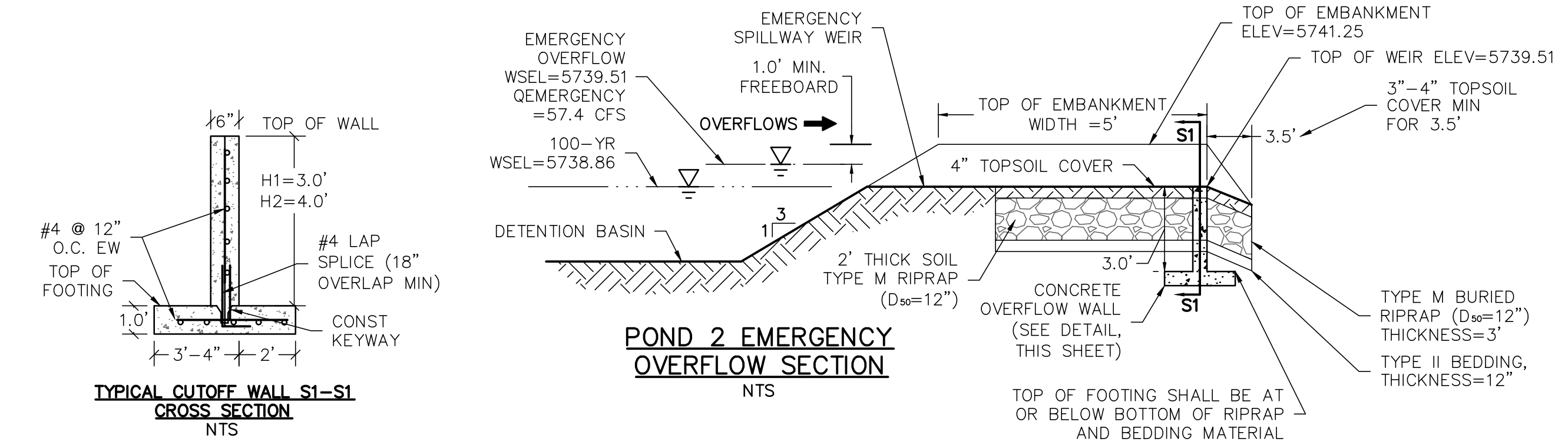
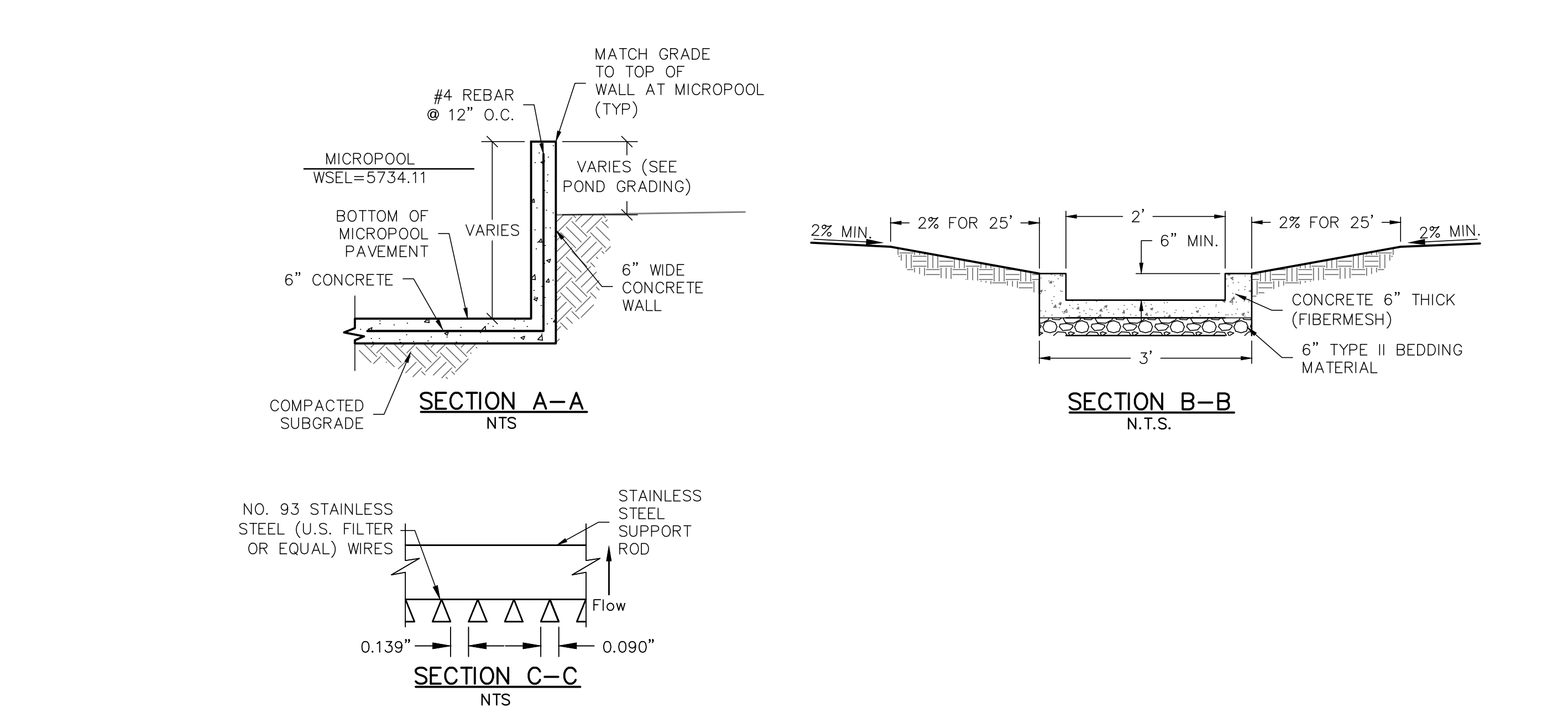
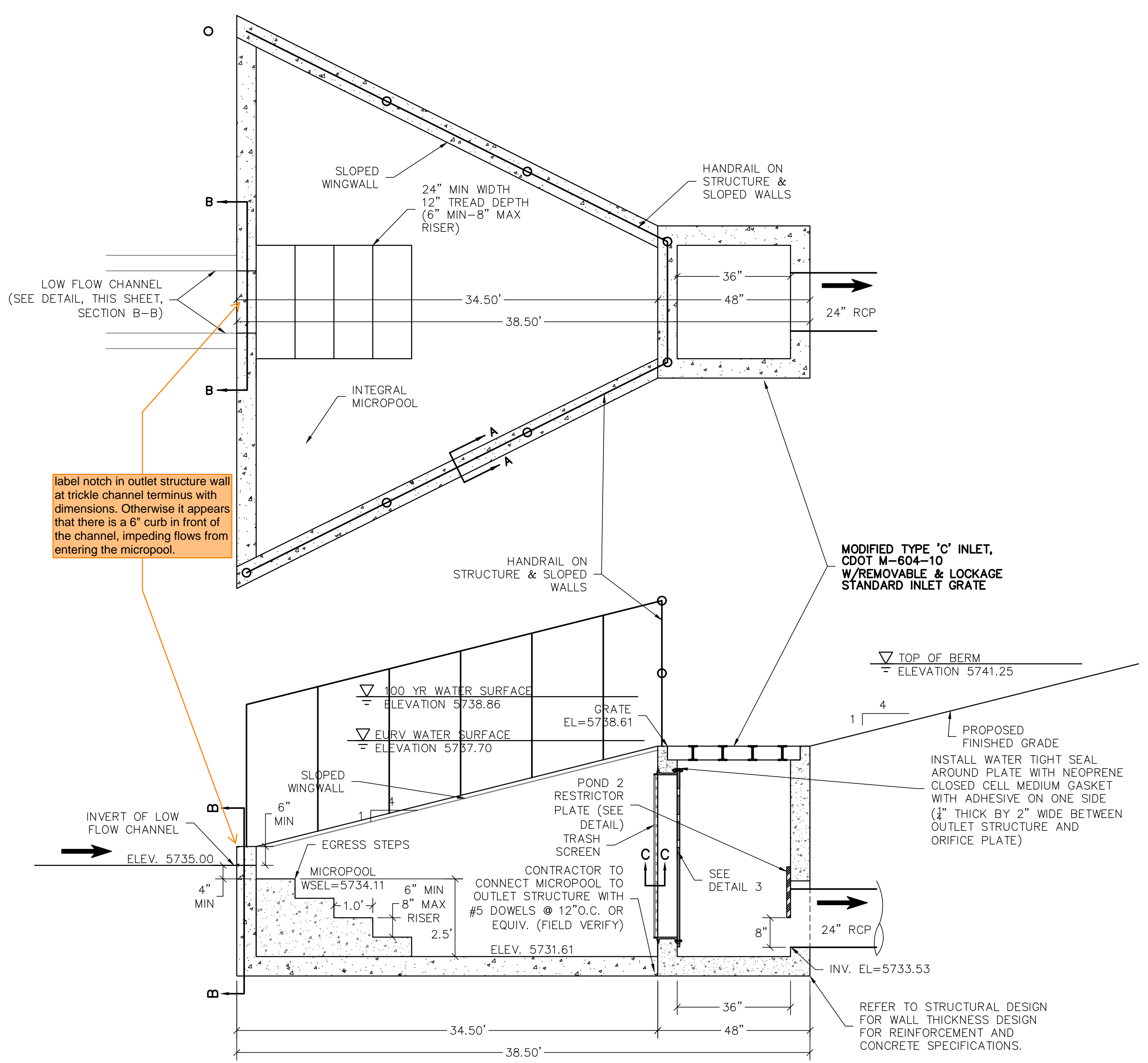
CLIENT: SUNSET VILLAGE FILING 4 - DRAINAGE
EL PASO COUNTY, COLORADO

DATE: 1/7/2022

NO.	REVISIONS



DR. RDL CH. RDL
P.M. RDL
JOB: 21004166
SHEET NO.



DESIGN POINT	POND	TRIBUTARY AREA (AC)	WQCV WSEL	WQCV VOLUME (AC-FT)	EURV	EURV VOLUME (AC-FT)	Q ₅ (CFS)	Q ₁₀₀ (CFS)
B	2	22.23	5736.64	0.303	5737.70	0.480	27.8	57.4

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2022 ATWELL LLC

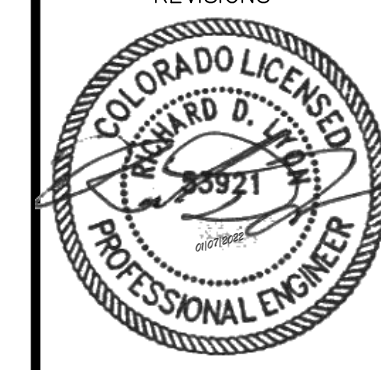
ATWELL
www.atwell-group.com
866.850.4200
143 UNION BOULEVARD, SUITE 700
LAKEWOOD, CO 80228
303.462.1100

PUNCHLIST CONNECTIONS LLC
300 WINDCHIME PLACE #301
COLORADO SPRINGS, COLORADO 80919
303.519.5100
SCOTT VAN WYHE

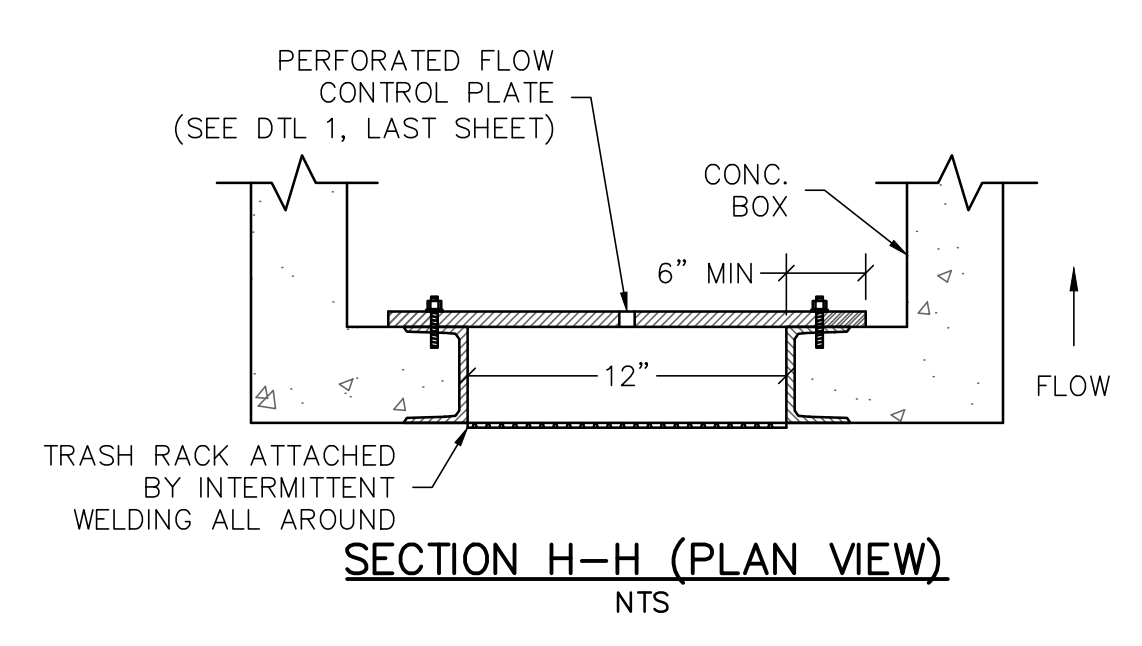
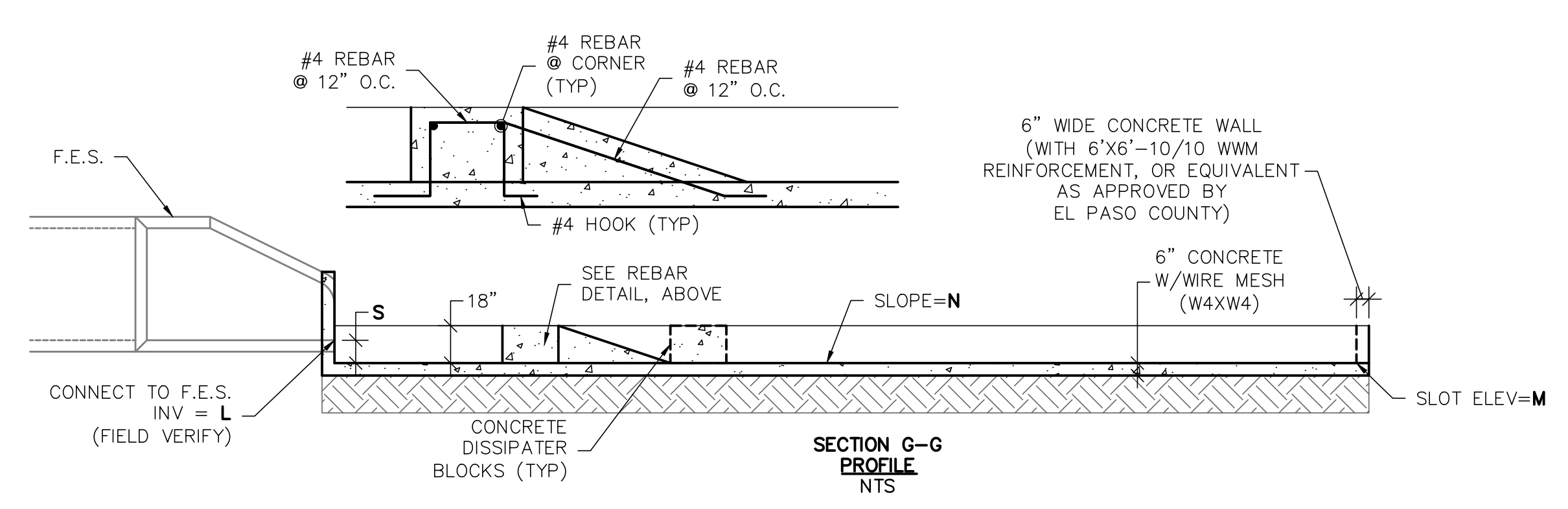
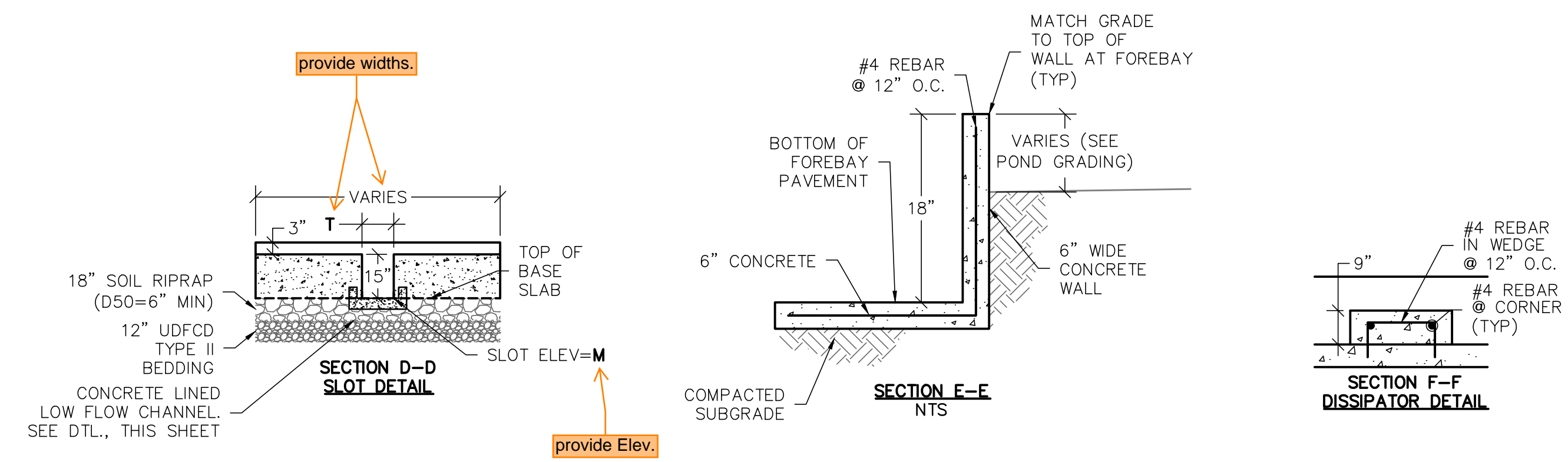
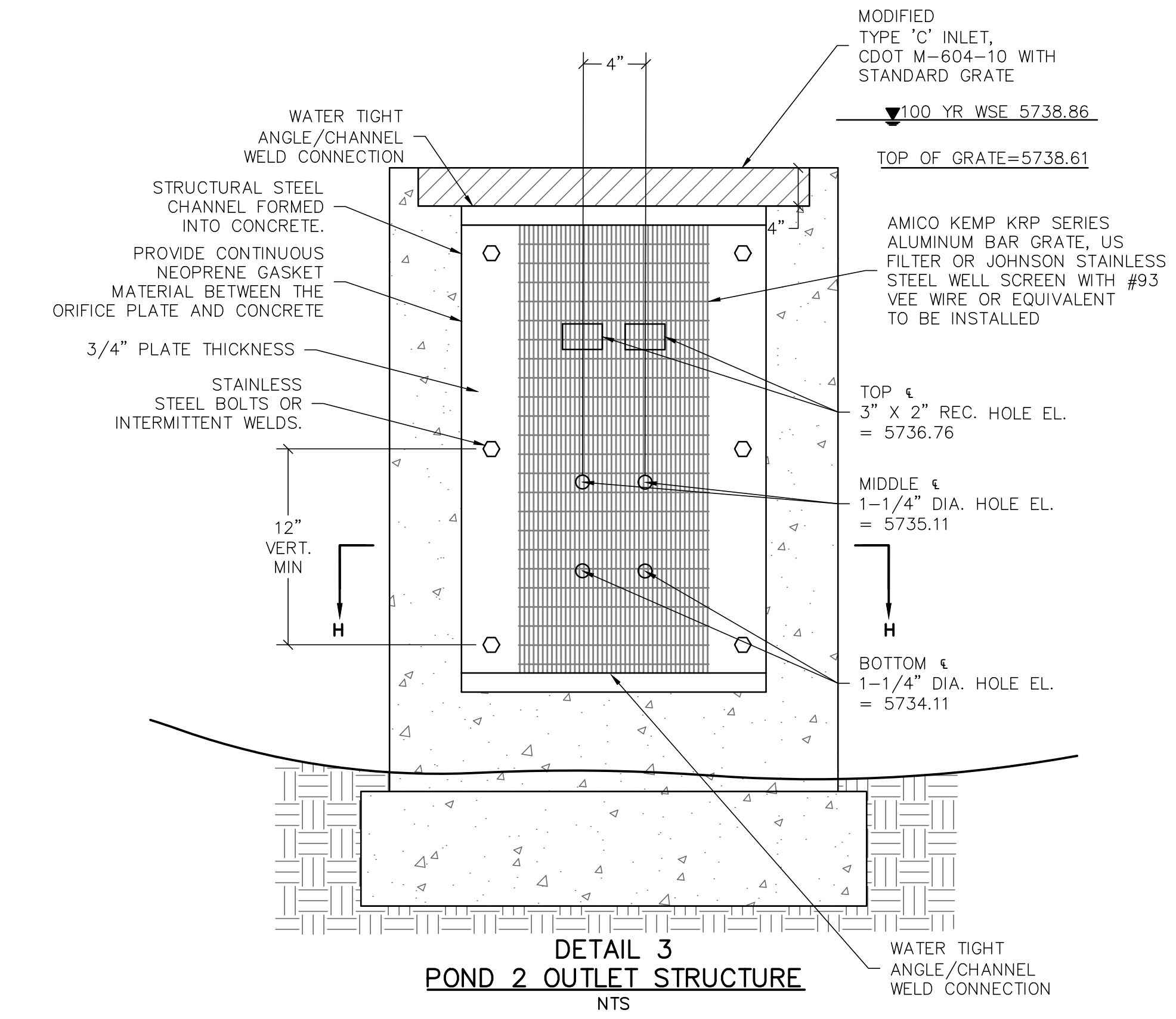
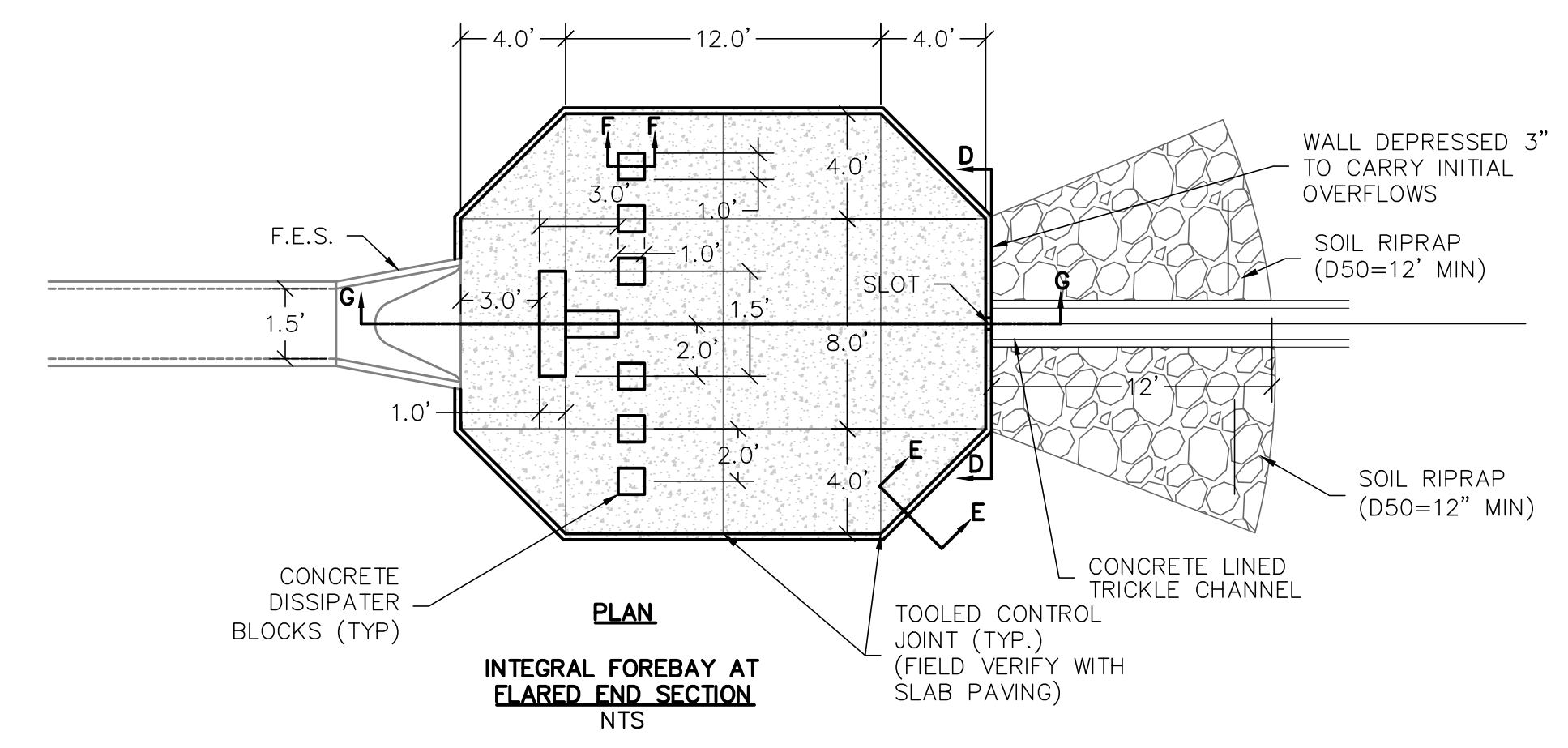
PUNCHLIST CONNECTIONS LLC
SUNSET VILLAGE FILING 4 - DRAINAGE
EL PASO COUNTY, COLORADO
CONSTRUCTION DRAWINGS
POND 2

CLIENT: SUNSET VILLAGE FILING 4 - DRAINAGE
DATE: 1/7/2022

REVISIONS

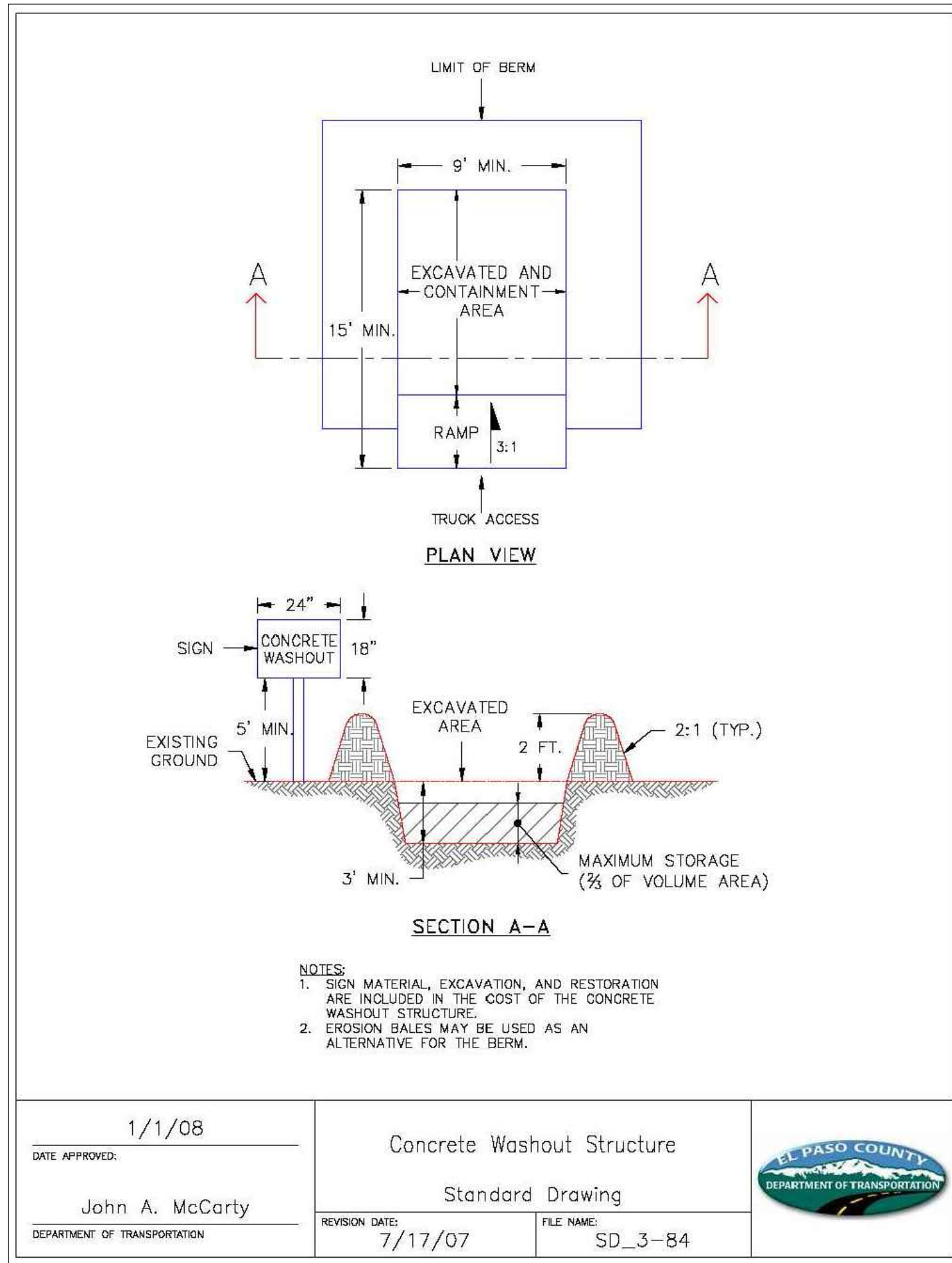


DR. RDL | CH. RDL
P.M. RDL
JOB: 21004166
SHEET NO.



FOREBAY SIZE TABLE

FOREBAY NAME	PIPE SIZE	L	M	N	S	T
A1	18"	5648.22	5647.92	0.50%	2.5"	6"



DATE APPROVED: 1/1/08	Concrete Washout Structure	
DESIGNED BY: John A. McCarty	Standard Drawing	
DEPARTMENT OF TRANSPORTATION	REVISION DATE: 7/17/07	FILE NAME: SD_3-84

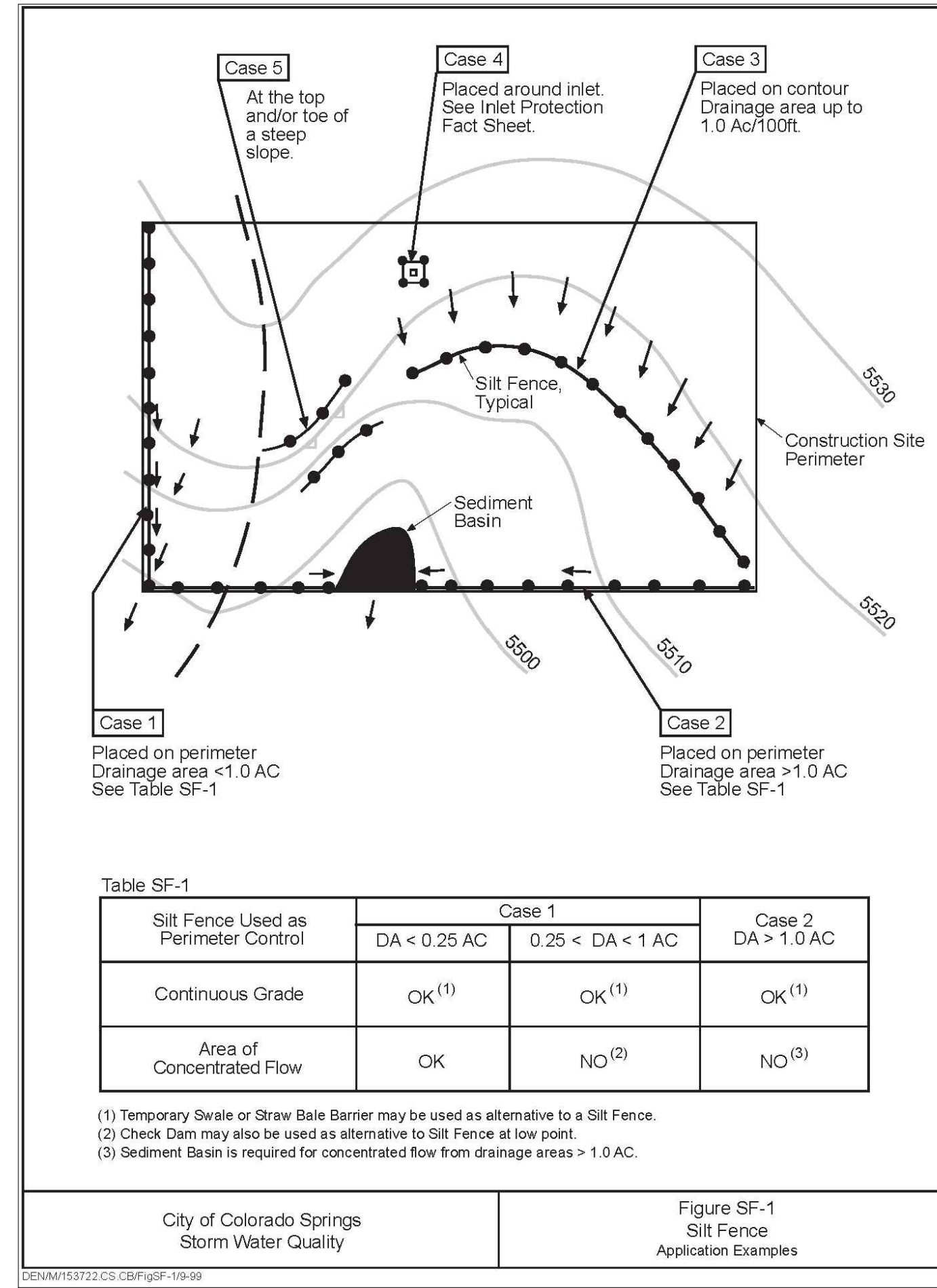
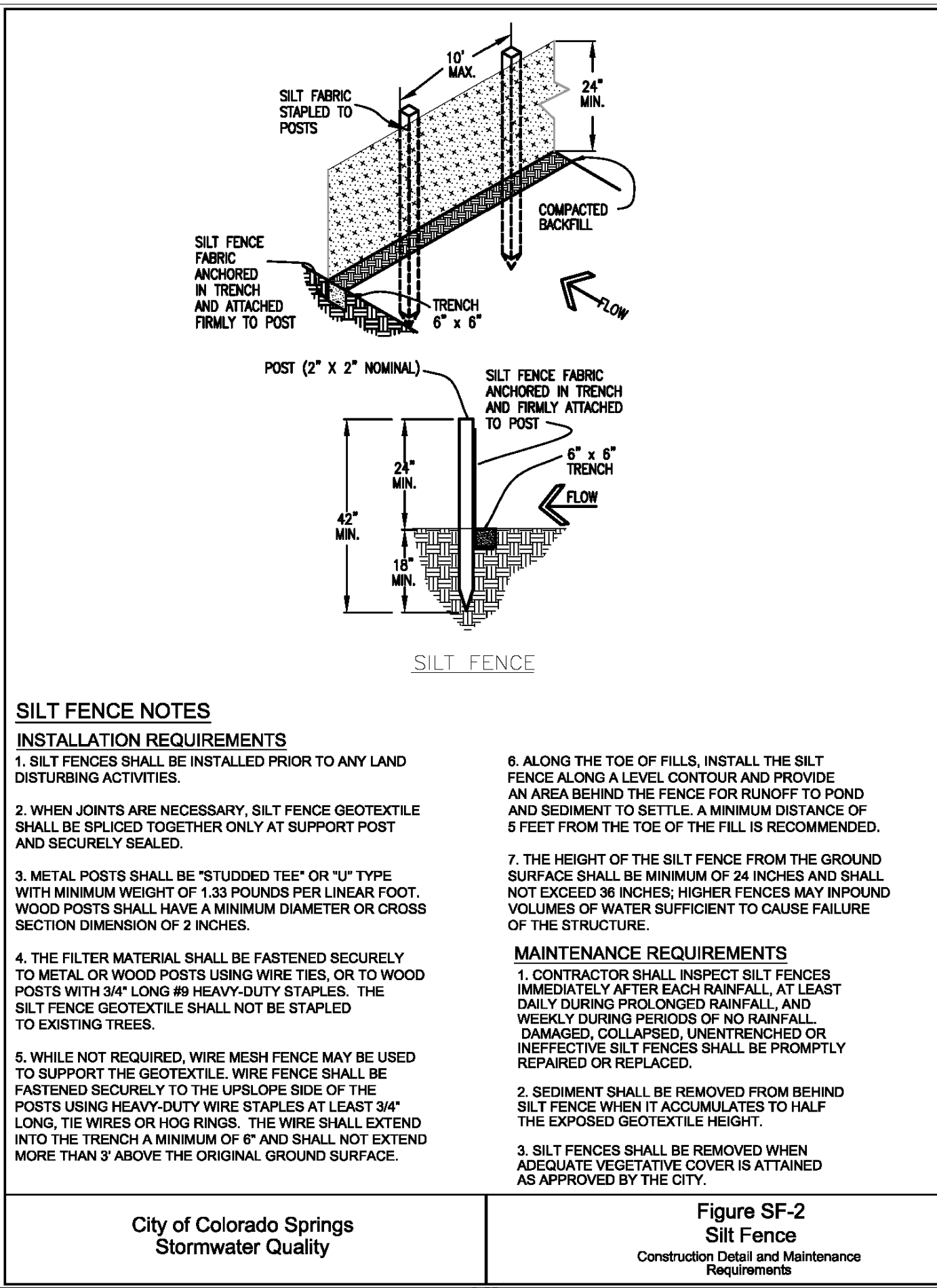


Table SF-1

Silt Fence Used as	Case		
	Case 1 DA < 0.25 AC	Case 2 0.25 < DA < 1 AC	Case 3 DA > 1.0 AC
Continuous Grade	OK ⁽¹⁾	OK ⁽¹⁾	OK ⁽¹⁾
Area of Concentrated Flow	OK	NO ⁽²⁾	NO ⁽³⁾

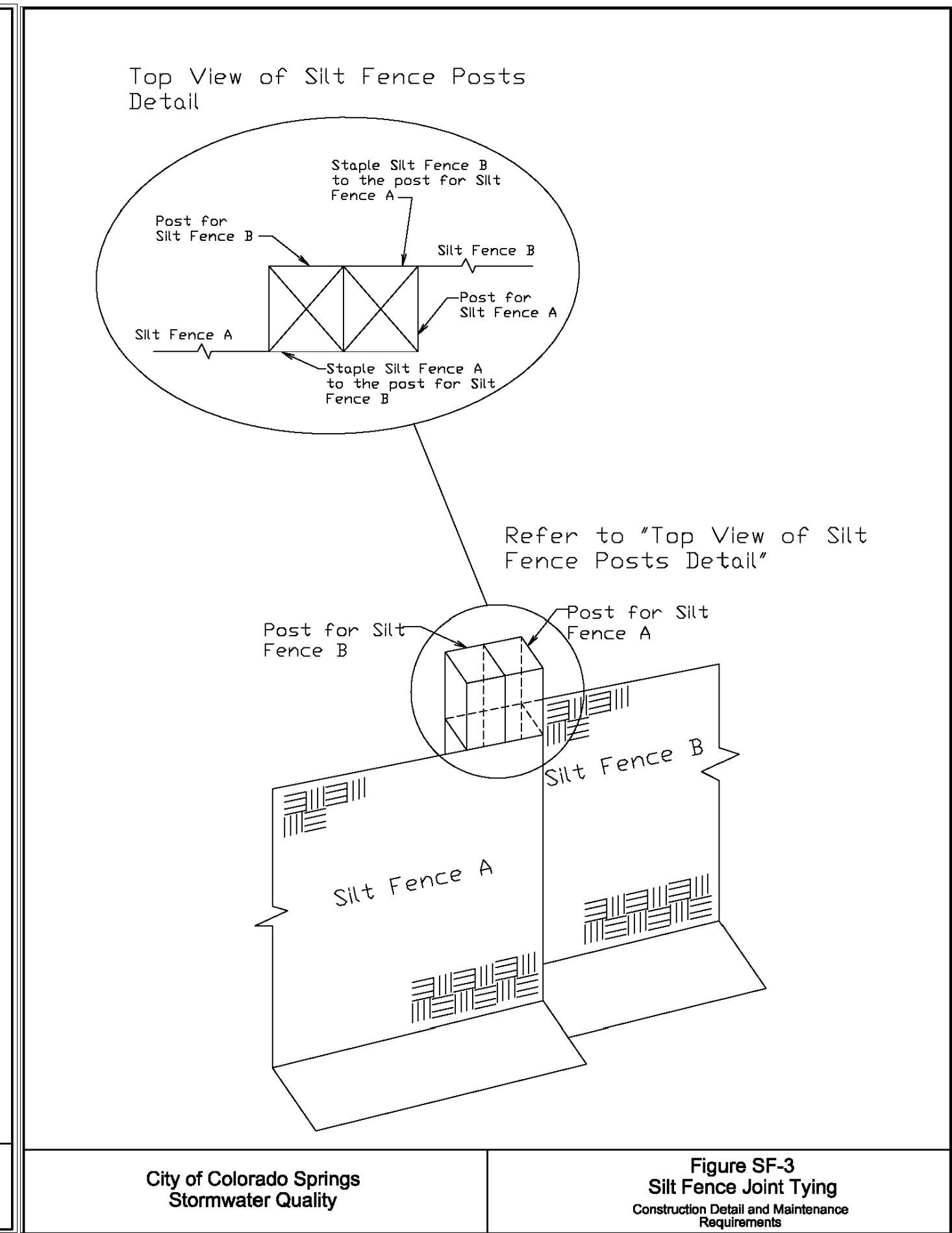
- (1) Temporary Swale or Straw Bale Barrier may be used as alternative to a Silt Fence at low point.
 (2) Check Dam may also be used as alternative to Silt Fence at low point.
 (3) Sediment Basin is required for concentrated flow from drainage areas > 1.0 AC.

City of Colorado Springs Stormwater Quality	Figure SF-1 Silt Fence Application Examples
--	---

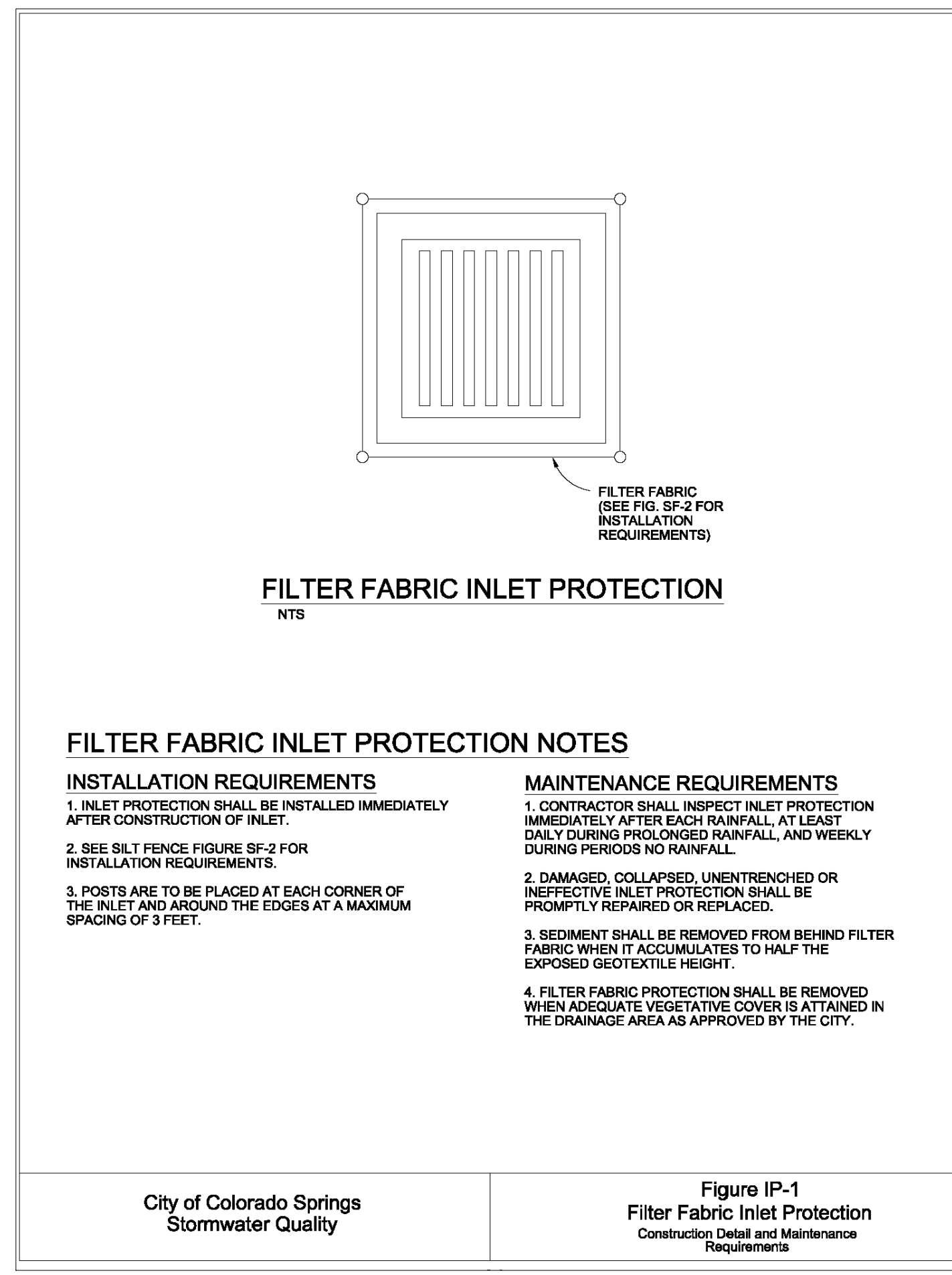


- SILT FENCE NOTES**
- INSTALLATION REQUIREMENTS**
- SILT FENCES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
 - WHEN JOINTS ARE NECESSARY, SILT FENCE GEOTEXTILE SHALL BE SPLICED TOGETHER ONLY AT SUPPORT POST AND SECURELY SEALED.
 - METAL POSTS SHALL BE "STUDDED TEE" OR 1" TYPE WITH MINIMUM WEIGHT OF 1.33 POUNDS PER LINEAR FOOT. WOOD POSTS SHALL HAVE A MINIMUM DIAMETER OR CROSS SECTION DIMENSION OF 2 INCHES.
 - THE FILTER MATERIAL SHALL BE FASTENED SECURELY TO METAL OR WOOD POSTS USING WIRE TIES, OR TO WOOD POSTS WITH 3/4" LONG 8# HEAVY-DUTY STAPLES. THE SILT FENCE GEOTEXTILE SHALL NOT BE STAPLED TO EXISTING TREES.
 - WHILE NOT REQUIRED, WIRE MESH FENCE MAY BE USED TO SUPPORT THE GEOTEXTILE. WIRE FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST 3/4" LONG, THE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 6" AND SHALL NOT EXTEND MORE THAN 3' ABOVE THE ORIGINAL GROUND SURFACE.
 - ALONG THE TOE OF FILLS, INSTALL THE SILT FENCE ALONG A LEVEL CONTOUR AND PROVIDE AN AREA BEHIND THE FENCE FOR RUNOFF TO POND AND SEDIMENT TO SETTLE. A MINIMUM DISTANCE OF 5 FEET FROM THE TOE OF THE FILL IS RECOMMENDED.
 - THE HEIGHT OF THE SILT FENCE FROM THE GROUND SURFACE SHALL BE MINIMUM OF 24 INCHES AND SHALL NOT EXCEED 36 INCHES. HIGHER FENCES MAY INPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE.
- MAINTENANCE REQUIREMENTS**
- CONTRACTOR SHALL INSPECT SILT FENCES IMMEDIATELY AFTER EACH RAINFALL, AT LEAST DAILY DURING PROLONGED RAINFALL, AND WEEKLY DURING PERIODS OF NO RAINFALL. DAMAGED, COLLAPSED, UNENTRENCHED OR INEFFECTIVE SILT FENCES SHALL BE PROMPTLY REPAIRED OR REPLACED.
 - SEDIMENT SHALL BE REMOVED FROM BEHIND SILT FENCE WHEN IT ACCUMULATES TO HALF THE EXPOSED GEOTEXTILE HEIGHT.
 - SILT FENCES SHALL BE REMOVED WHEN ADEQUATE VEGETATIVE COVER IS ATTAINED AS APPROVED BY THE CITY.

City of Colorado Springs Stormwater Quality	Figure SF-2 Silt Fence Construction Detail and Maintenance Requirements
--	---

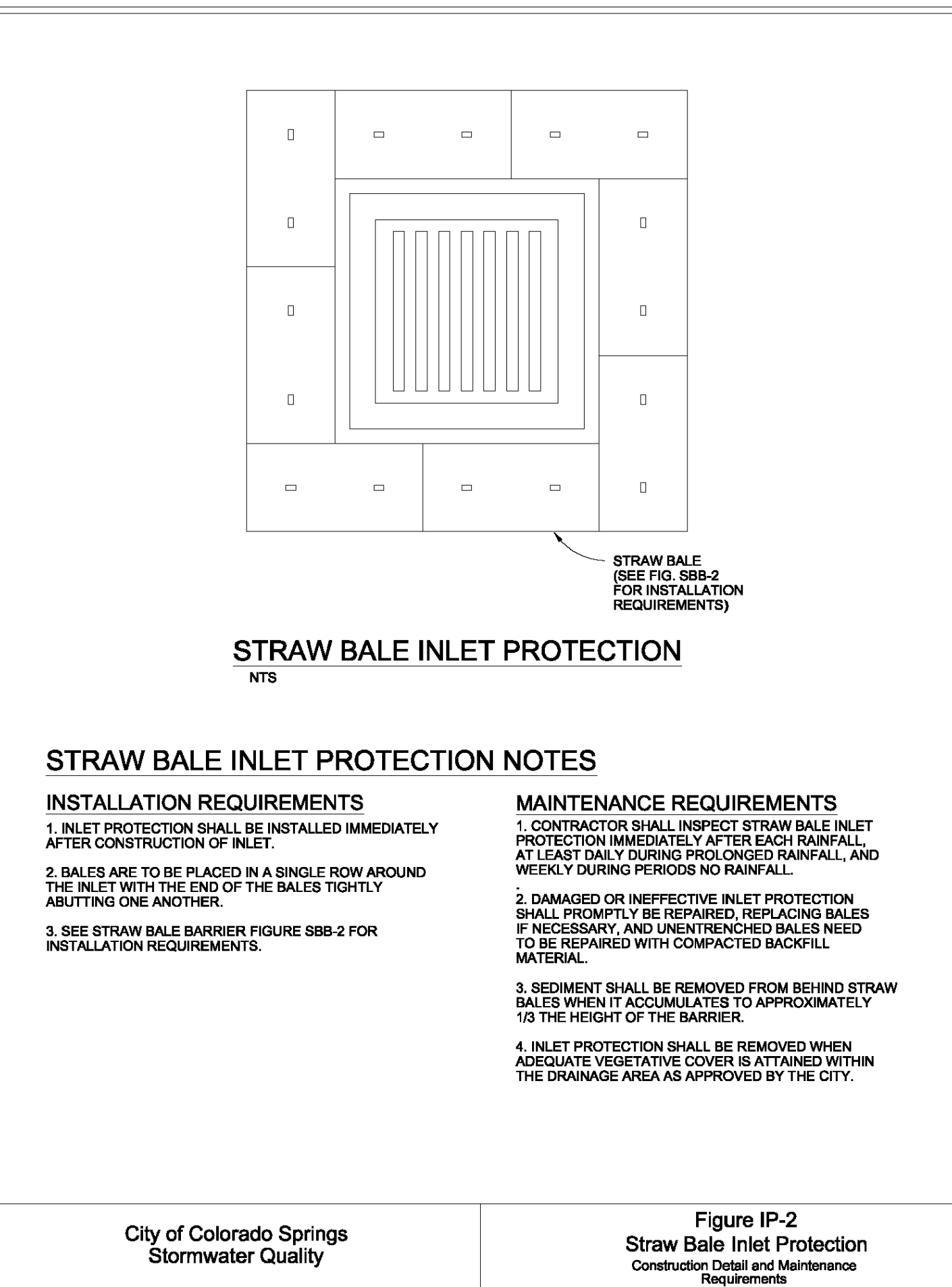


City of Colorado Springs Stormwater Quality	Figure SF-3 Silt Fence Joint Tying Construction Detail and Maintenance Requirements
--	---



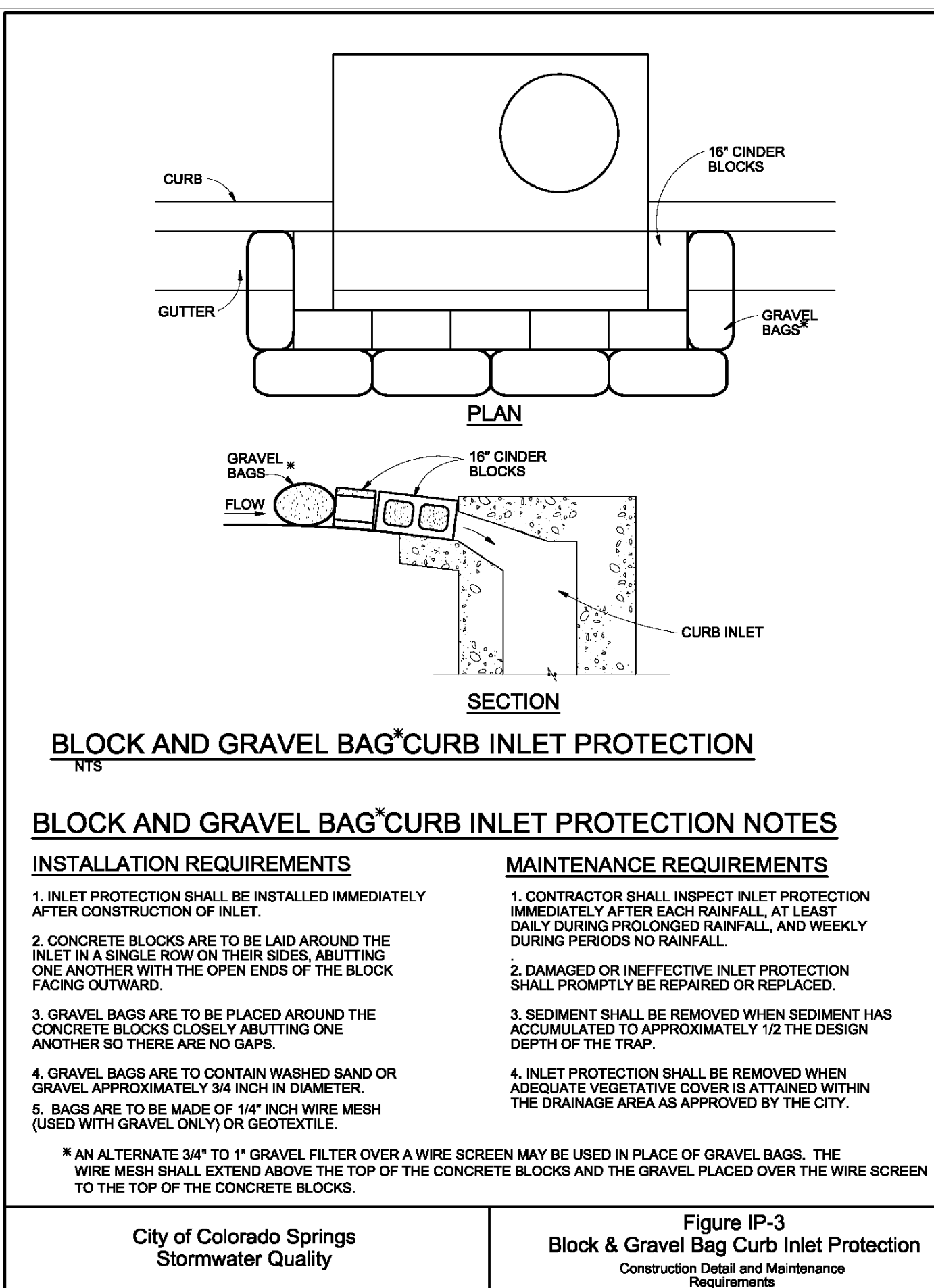
- FILTER FABRIC INLET PROTECTION NOTES**
- INSTALLATION REQUIREMENTS**
- INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY AFTER CONSTRUCTION OF INLET.
 - SEE SILT FENCE FIGURE SF-2 FOR INSTALLATION REQUIREMENTS.
 - POSTS ARE TO BE PLACED AT EACH CORNER OF THE INLET AND AROUND THE EDGES AT A MAXIMUM SPACING OF 3 FEET.
- MAINTENANCE REQUIREMENTS**
- CONTRACTOR SHALL INSPECT INLET PROTECTION IMMEDIATELY AFTER EACH RAINFALL, AT LEAST DAILY DURING PROLONGED RAINFALL, AND WEEKLY DURING PERIODS OF NO RAINFALL.
 - DAMAGED, COLLAPSED, UNENTRENCHED OR INEFFECTIVE INLET PROTECTION SHALL BE PROMPTLY REPAIRED OR REPLACED.
 - SEDIMENT SHALL BE REMOVED FROM BEHIND FILTER FABRIC WHEN IT ACCUMULATES TO HALF THE EXPOSED GEOTEXTILE HEIGHT.
 - INLET PROTECTION SHALL BE REMOVED WHEN ADEQUATE VEGETATIVE COVER IS ATTAINED WITHIN THE DRAINAGE AREA AS APPROVED BY THE CITY.

City of Colorado Springs Stormwater Quality	Figure IP-1 Filter Fabric Inlet Protection Construction Detail and Maintenance Requirements
--	---



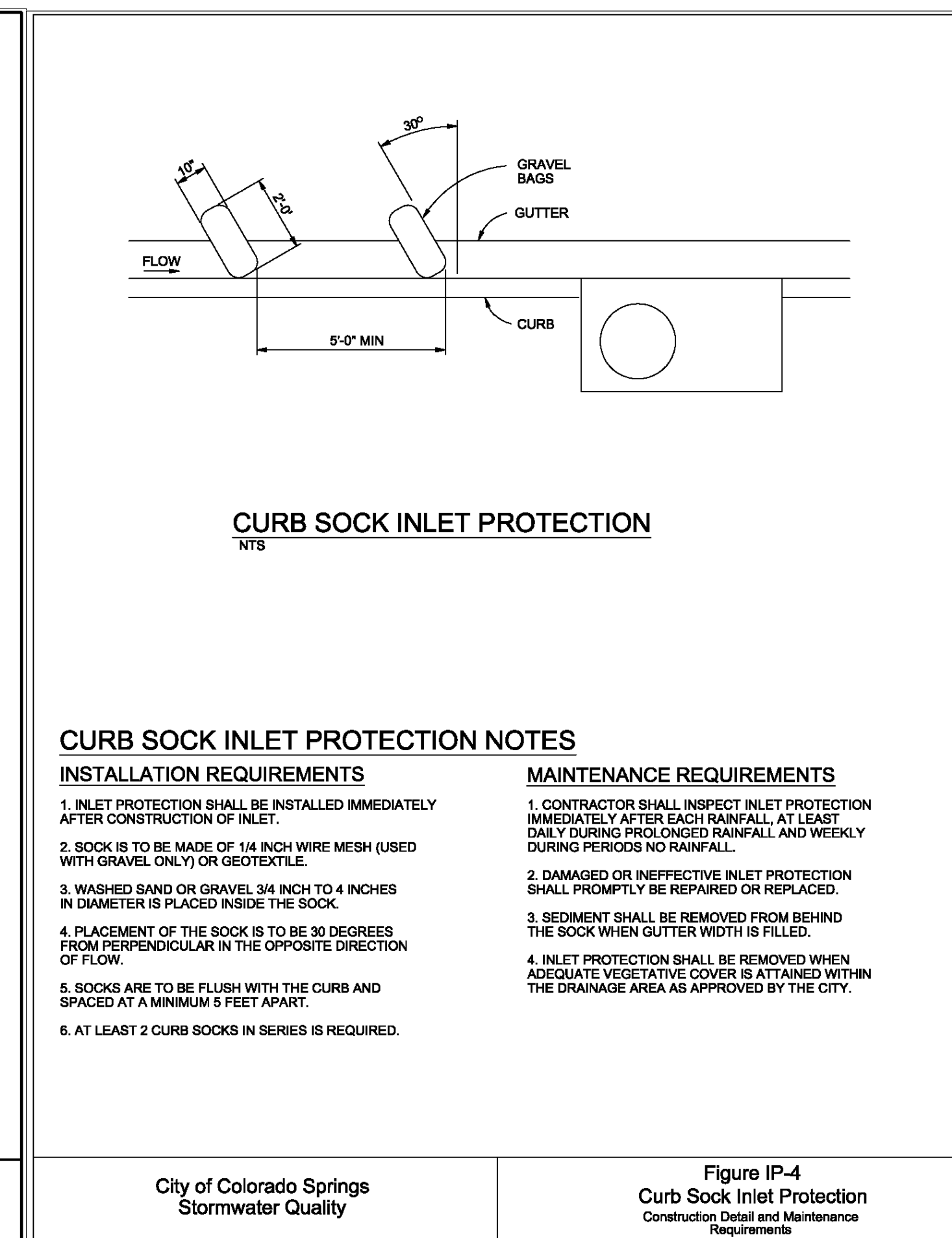
- STRAW BALE INLET PROTECTION NOTES**
- INSTALLATION REQUIREMENTS**
- INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY AFTER CONSTRUCTION OF INLET.
 - BALES ARE TO BE PLACED IN A SINGLE ROW AROUND THE INLET WITH THE END OF THE BALES TIGHTLY ABUTTING ONE ANOTHER.
 - SEE STRAW BALE BARRIER FIGURE SBB-2 FOR INSTALLATION REQUIREMENTS.
- MAINTENANCE REQUIREMENTS**
- CONTRACTOR SHALL INSPECT STRAW BALE INLET PROTECTION IMMEDIATELY AFTER EACH RAINFALL, AT LEAST DAILY DURING PROLONGED RAINFALL, AND WEEKLY DURING PERIODS OF NO RAINFALL.
 - DAMAGED OR INEFFECTIVE INLET PROTECTION SHALL PROMPTLY BE REPAIRED, REPLACING BALES IF NECESSARY, AND UNENTRENCHED BALES NEED TO BE REPAIRED WITH COMPACTED BACKFILL MATERIAL.
 - SEDIMENT SHALL BE REMOVED FROM BEHIND STRAW BALES WHEN IT ACCUMULATES TO APPROXIMATELY 1/3 THE HEIGHT OF THE BARRIER.
 - INLET PROTECTION SHALL BE REMOVED WHEN ADEQUATE VEGETATIVE COVER IS ATTAINED WITHIN THE DRAINAGE AREA AS APPROVED BY THE CITY.

City of Colorado Springs Stormwater Quality	Figure IP-2 Straw Bale Inlet Protection Construction Detail and Maintenance Requirements
--	--



- BLOCK AND GRAVEL BAG CURB INLET PROTECTION NOTES**
- INSTALLATION REQUIREMENTS**
- INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY AFTER CONSTRUCTION OF INLET.
 - CONCRETE BLOCKS ARE TO BE LAID AROUND THE INLET IN A SINGLE ROW ON THEIR SIDES, ABUTTING ONE ANOTHER WITH THE OPEN ENDS OF THE BLOCK FACING OUTWARD.
 - GRAVEL BAGS ARE TO BE PLACED AROUND THE CONCRETE BLOCKS CLOSELY ABUTTING ONE ANOTHER SO THERE ARE NO GAPS.
 - GRAVEL BAGS ARE TO CONTAIN WASHED SAND OR GRAVEL APPROXIMATELY 3/4 INCH IN DIAMETER.
 - BAGS ARE TO BE MADE OF 1/4" WIRE MESH (USED WITH GRAVEL ONLY) OR GEOTEXTILE.
- MAINTENANCE REQUIREMENTS**
- CONTRACTOR SHALL INSPECT INLET PROTECTION IMMEDIATELY AFTER EACH RAINFALL, AT LEAST DAILY DURING PROLONGED RAINFALL, AND WEEKLY DURING PERIODS OF NO RAINFALL.
 - DAMAGED OR INEFFECTIVE INLET PROTECTION SHALL PROMPTLY BE REPAIRED OR REPLACED.
 - SEDIMENT SHALL BE REMOVED WHEN SEDIMENT HAS ACCUMULATED TO APPROXIMATELY 1/2 THE DESIGN DEPTH OF THE TRAP.
 - INLET PROTECTION SHALL BE REMOVED WHEN ADEQUATE VEGETATIVE COVER IS ATTAINED WITHIN THE DRAINAGE AREA AS APPROVED BY THE CITY.
- * AN ALTERNATE 3/4" TO 1" GRAVEL FILTER OVER A WIRE SCREEN MAY BE USED IN PLACE OF GRAVEL BAGS. THE WIRE MESH SHALL EXTEND ABOVE THE TOP OF THE CONCRETE BLOCKS AND THE GRAVEL PLACED OVER THE WIRE SCREEN TO THE TOP OF THE CONCRETE BLOCKS.

City of Colorado Springs Stormwater Quality	Figure IP-3 Block & Gravel Bag Curb Inlet Protection Construction Detail and Maintenance Requirements
--	---



- CURB SOCK INLET PROTECTION NOTES**
- INSTALLATION REQUIREMENTS**
- INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY AFTER CONSTRUCTION OF INLET.
 - SOCK IS TO BE MADE OF 1/4 INCH WIRE MESH (USED WITH GRAVEL ONLY) OR GEOTEXTILE.
 - WASHED SAND OR GRAVEL 3/4 INCH TO 4 INCHES IN DIAMETER IS PLACED INSIDE THE SOCK.
 - PLACEMENT OF THE SOCK IS TO BE 30 DEGREES FROM PERPENDICULAR IN THE OPPOSITE DIRECTION OF FLOW.
 - SOCKS ARE TO BE FLUSH WITH THE CURB AND SPACED AT A MINIMUM 5 FEET APART.
 - AT LEAST 2 CURB SOCKS IN SERIES IS REQUIRED.
- MAINTENANCE REQUIREMENTS**
- CONTRACTOR SHALL INSPECT INLET PROTECTION IMMEDIATELY AFTER EACH RAINFALL, AT LEAST DAILY DURING PROLONGED RAINFALL, AND WEEKLY DURING PERIODS OF NO RAINFALL.
 - DAMAGED OR INEFFECTIVE INLET PROTECTION SHALL PROMPTLY BE REPAIRED OR REPLACED.
 - SEDIMENT SHALL BE REMOVED FROM BEHIND THE SOCK WHEN GUTTER WIDTH IS FILLED.
 - INLET PROTECTION SHALL BE REMOVED WHEN ADEQUATE VEGETATIVE COVER IS ATTAINED WITHIN THE DRAINAGE AREA AS APPROVED BY THE CITY.

City of Colorado Springs Stormwater Quality	Figure IP-4 Curb Sock Inlet Protection Construction Detail and Maintenance Requirements
--	---

811
Know what's below. Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSURE ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2021 ATWELL, LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL, LLC.

ATWELL
www.atwell-group.com
866.850.4200
143 UNION BOULEVARD, SUITE 700
LAKEWOOD, CO 80228
303.462.1100

SUNSET VILLAGE VIEW, LLC.
487 WINDCHIME PL., STE. #500
303-519-5100
SCOTT VAN WHYTE

SUNSET VILLAGE VIEW, LLC.
SUNSET VILLAGE FIL. NO. 4
JAYHAWK AVENUE AND REDTAIL DRIVE
EL PASO COUNTY, COLORADO

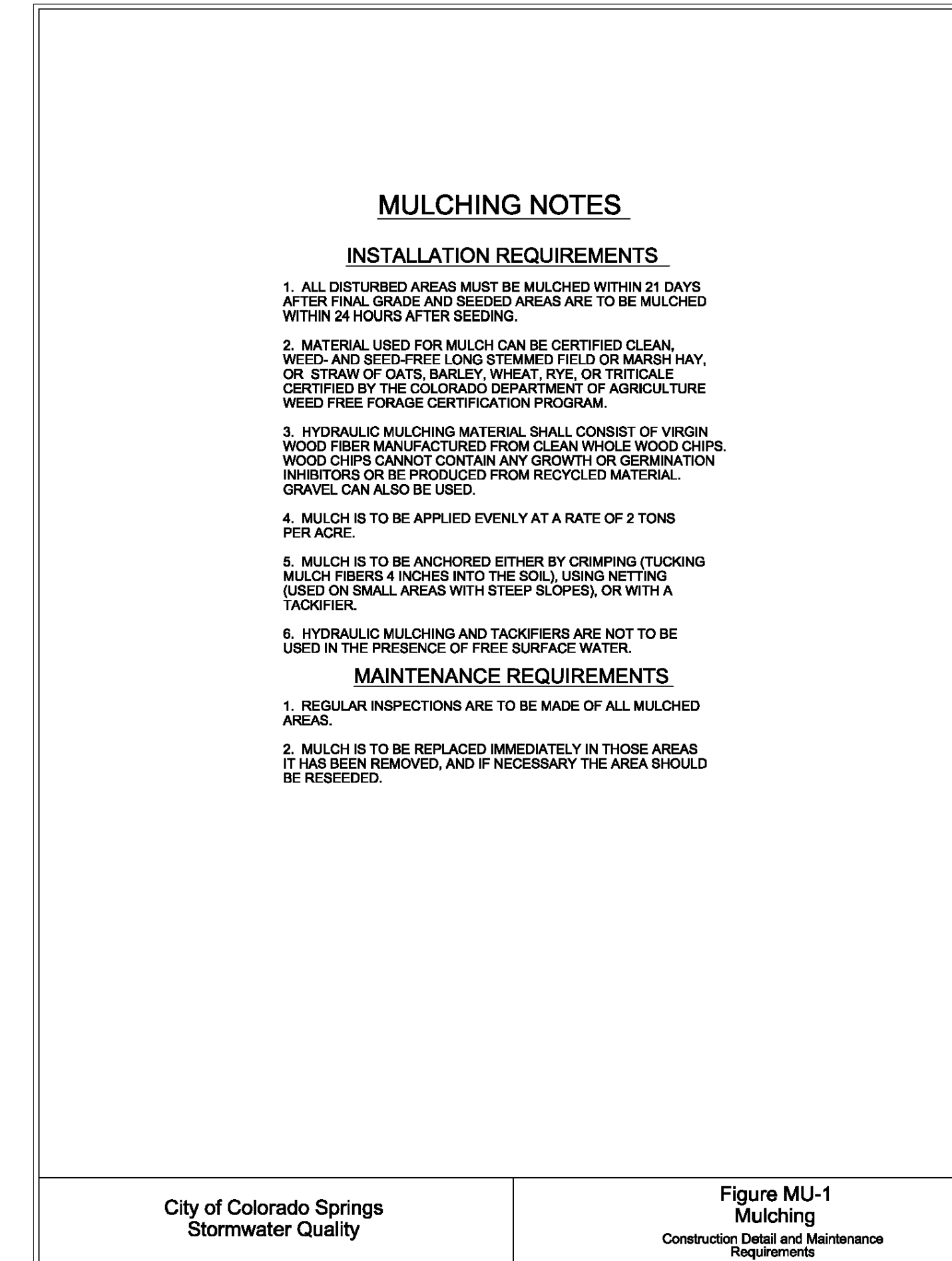
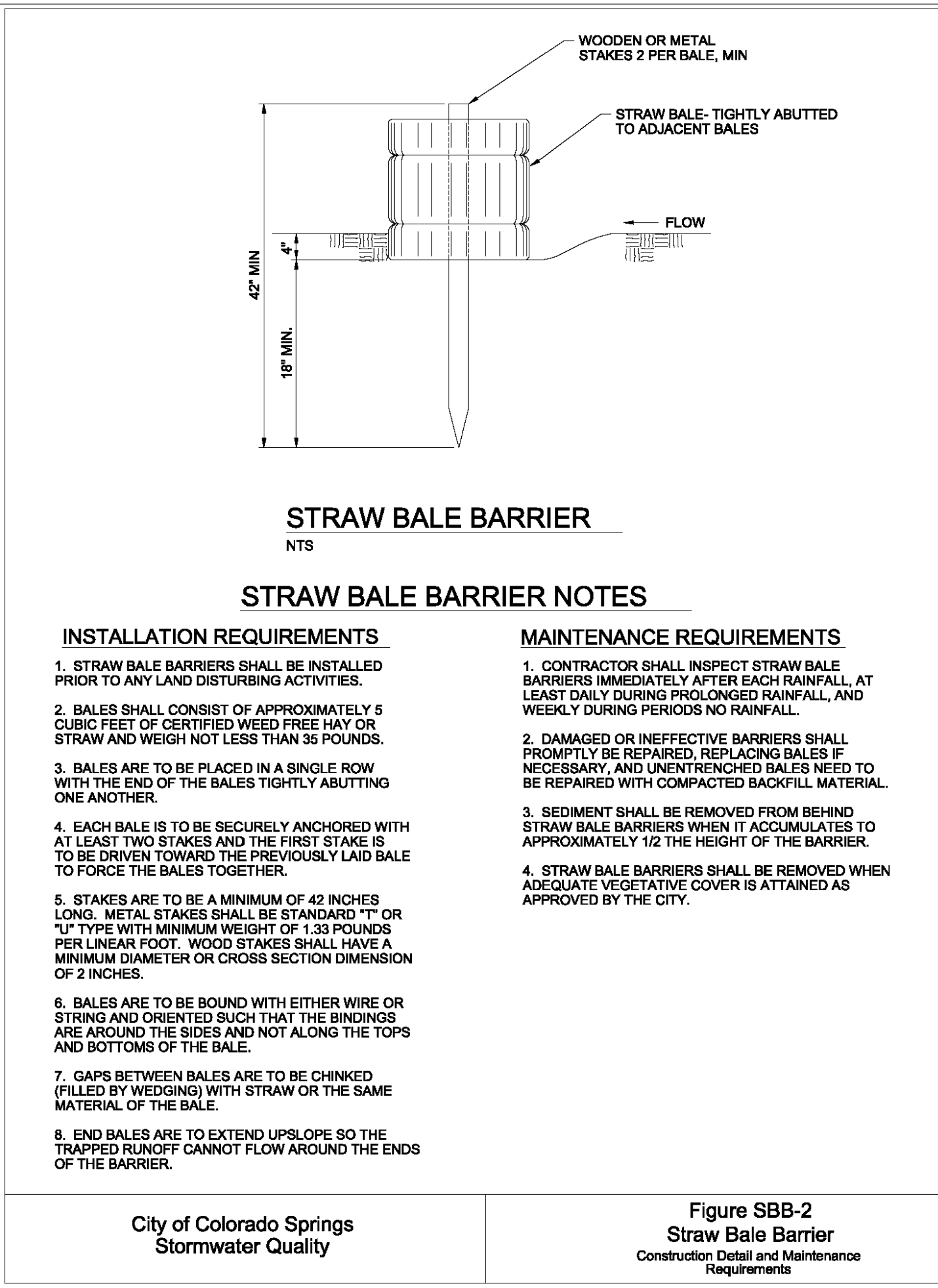
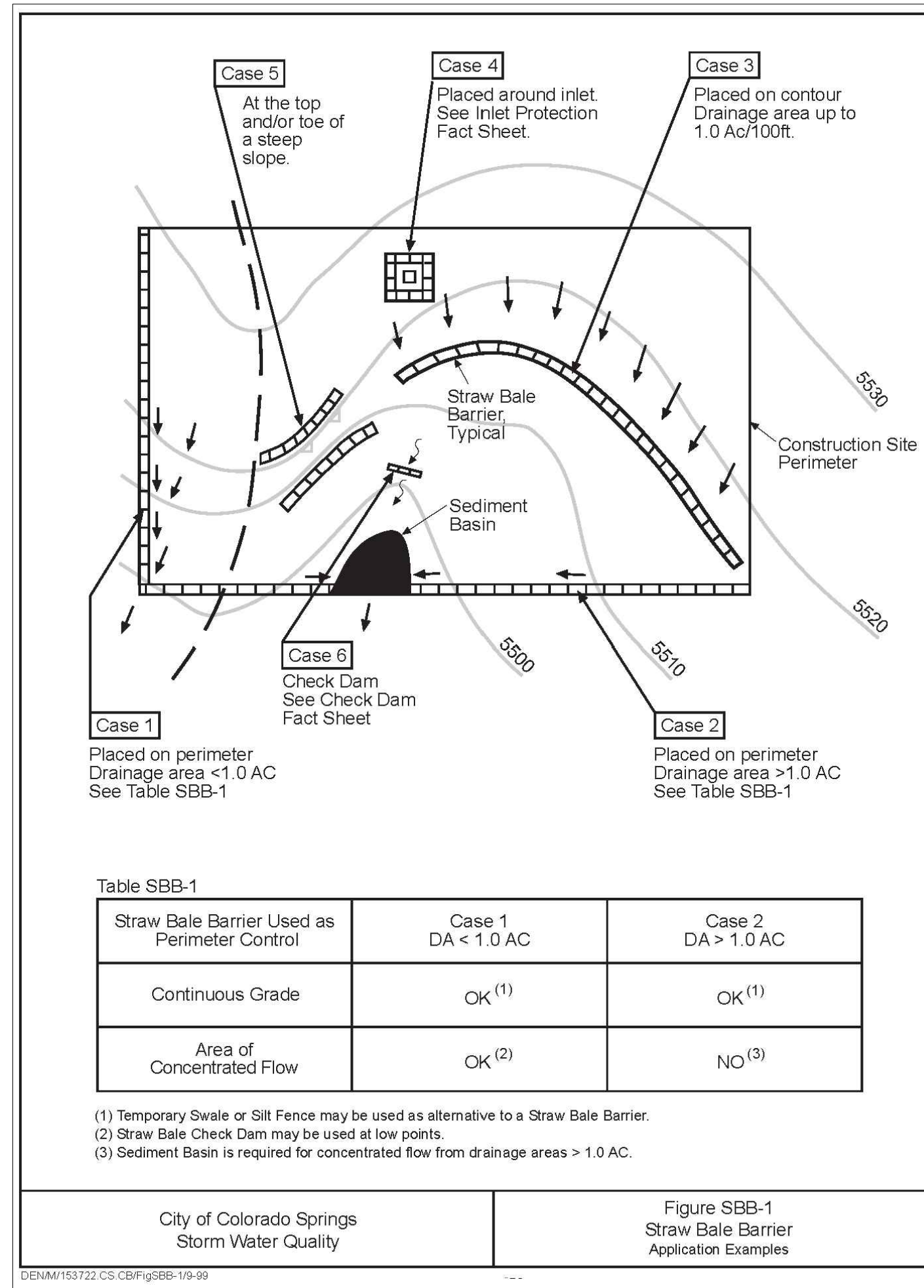
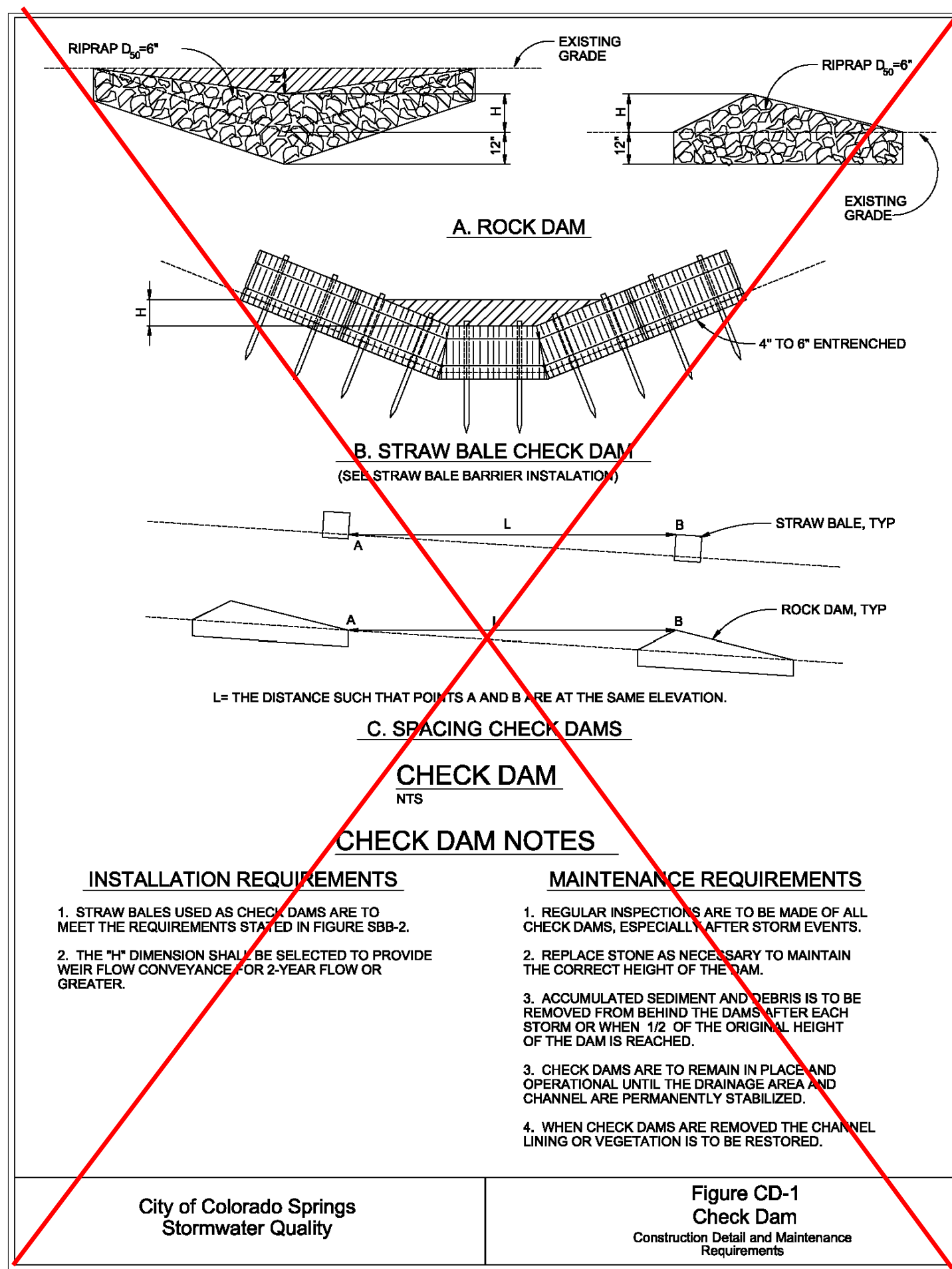
CLIENT: SUNSET VILLAGE VIEW, LLC.
DATE: 12/03/2021

REVISIONS

DR. RDL | CH. RDL
P.M. RDL

JOB: 21004166
SHEET NO. 20

CAD FILE: 21004166-DETAILED.DWG



SPECIES (COMMON NAME)	GROWTH SEASON	SEEDING DATE	POUNDS OF PURE LIVE SEED (PLS) (PLS/ACRE)	PLANTING DEPTH (INCHES)
1. OATS	COOL	MARCH 16 - APRIL 30	35-50	1-2
2. SPRING WHEAT	COOL	MARCH 16 - APRIL 30	25-35	1-2
3. SPRING BARLEY	COOL	MARCH 16 - APRIL 30	25-35	1-2
4. ANNUAL RYEGRASS	COOL	MARCH 16 - JUNE 30	10-15	1/2
5. MILLET	WARM	MAY 16 - JULY 15	3-15	1/2-3/4
6. SUDANGRASS	WARM	MAY 16 - JULY 15	5-10	1/2-3/4
7. SORGHUM	WARM	MAY 16 - JULY 15	5-10	1/2-3/4
8. WINTER WHEAT	COOL	SEPTEMBER 1 - 30	20-35	1-2
9. WINTER BARLEY	COOL	SEPTEMBER 1 - 30	20-35	1-2
10. WINTER RYE	COOL	SEPTEMBER 1 - 30	20-35	1-2
11. TRITICALE	COOL	SEPTEMBER 1 - 30	25-40	1-2

THIS TABLE WAS TAKEN FROM UDFCD FOR RECOMMENDED ANNUAL GRASSES FOR THE DENVER METROPOLITAN AREA. THIS TABLE MAY BE USED UNLESS A SITE-SPECIFIC SEED MIX IS REQUESTED AND APPROVED.

TEMPORARY SEEDING NOTES

INSTALLATION REQUIREMENTS

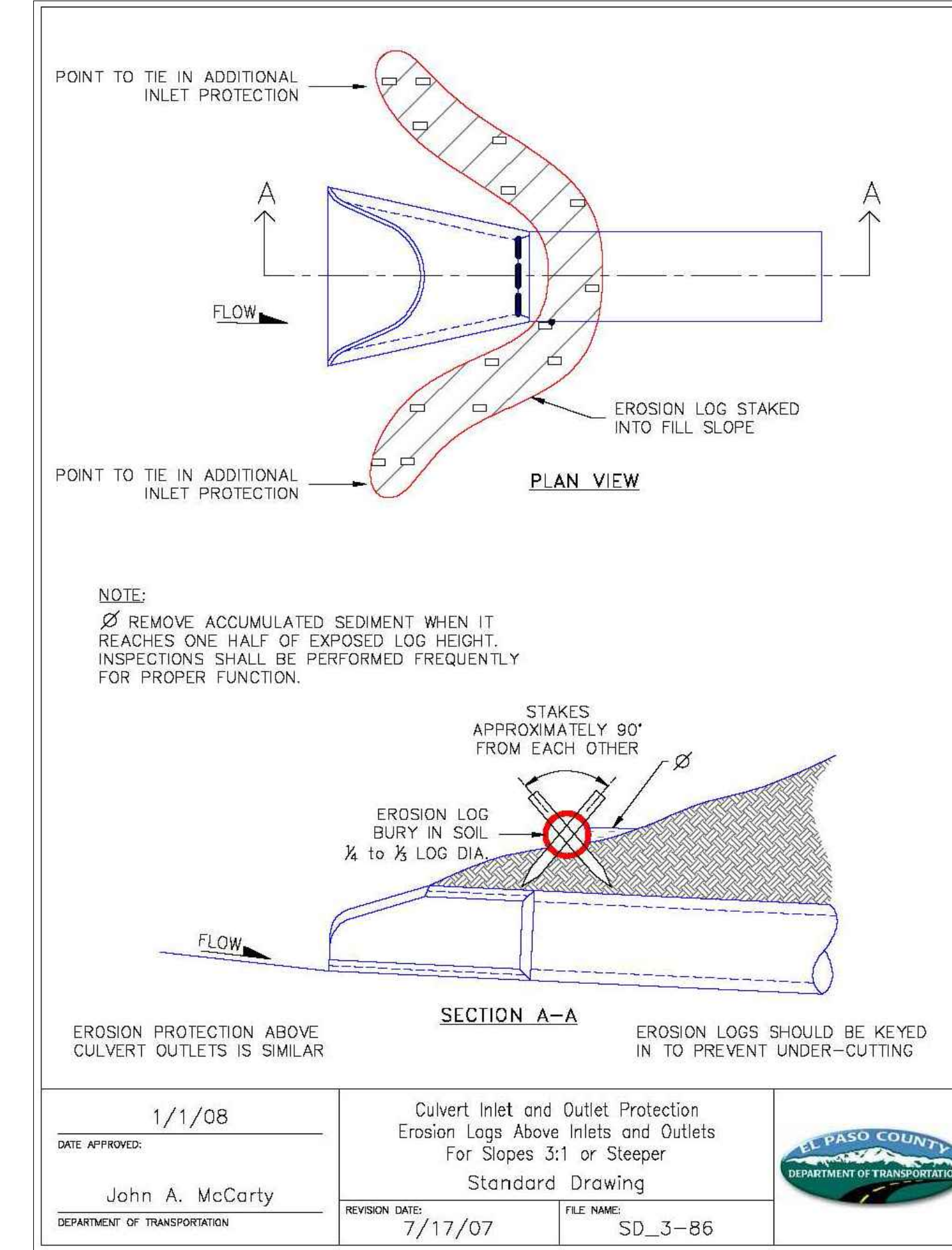
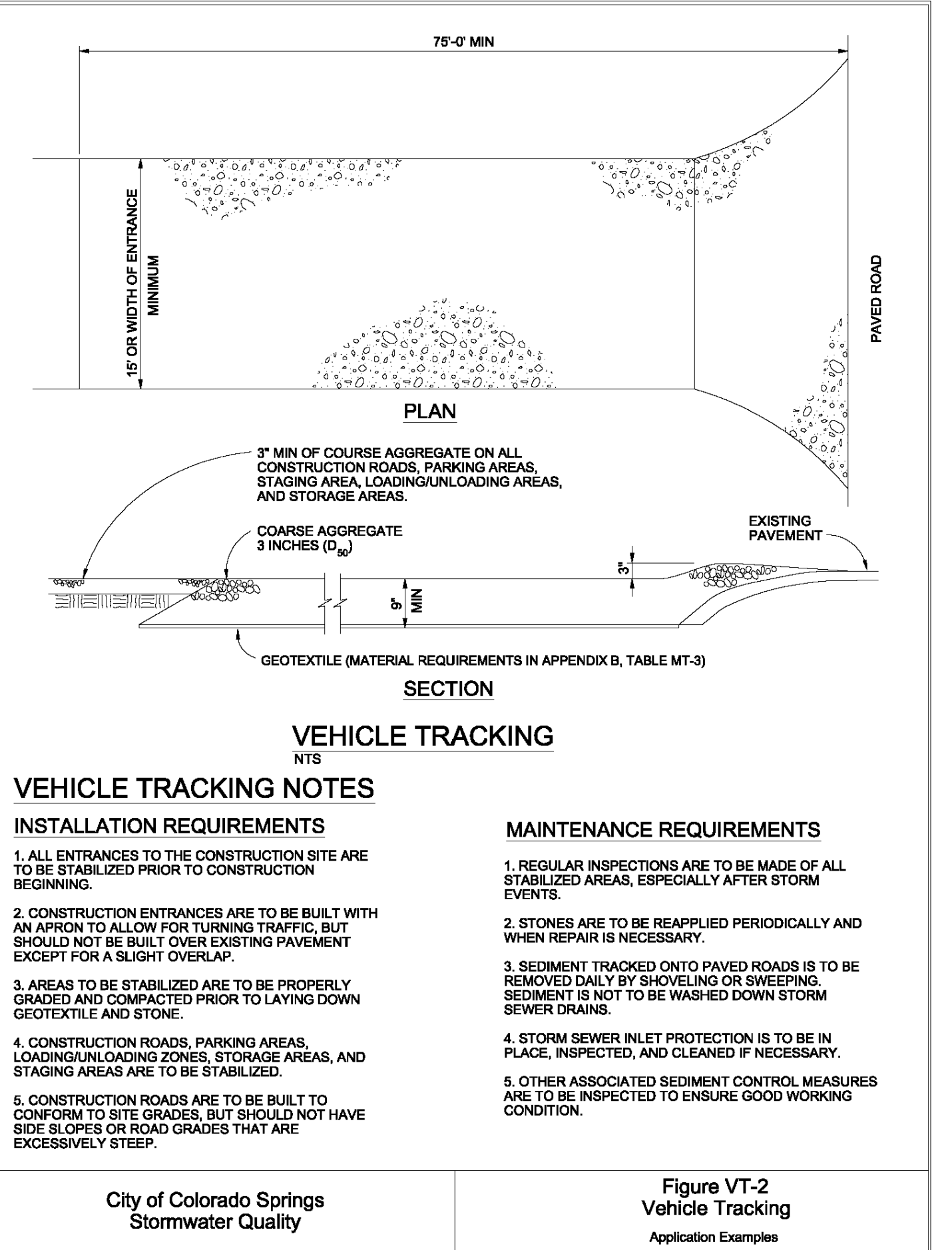
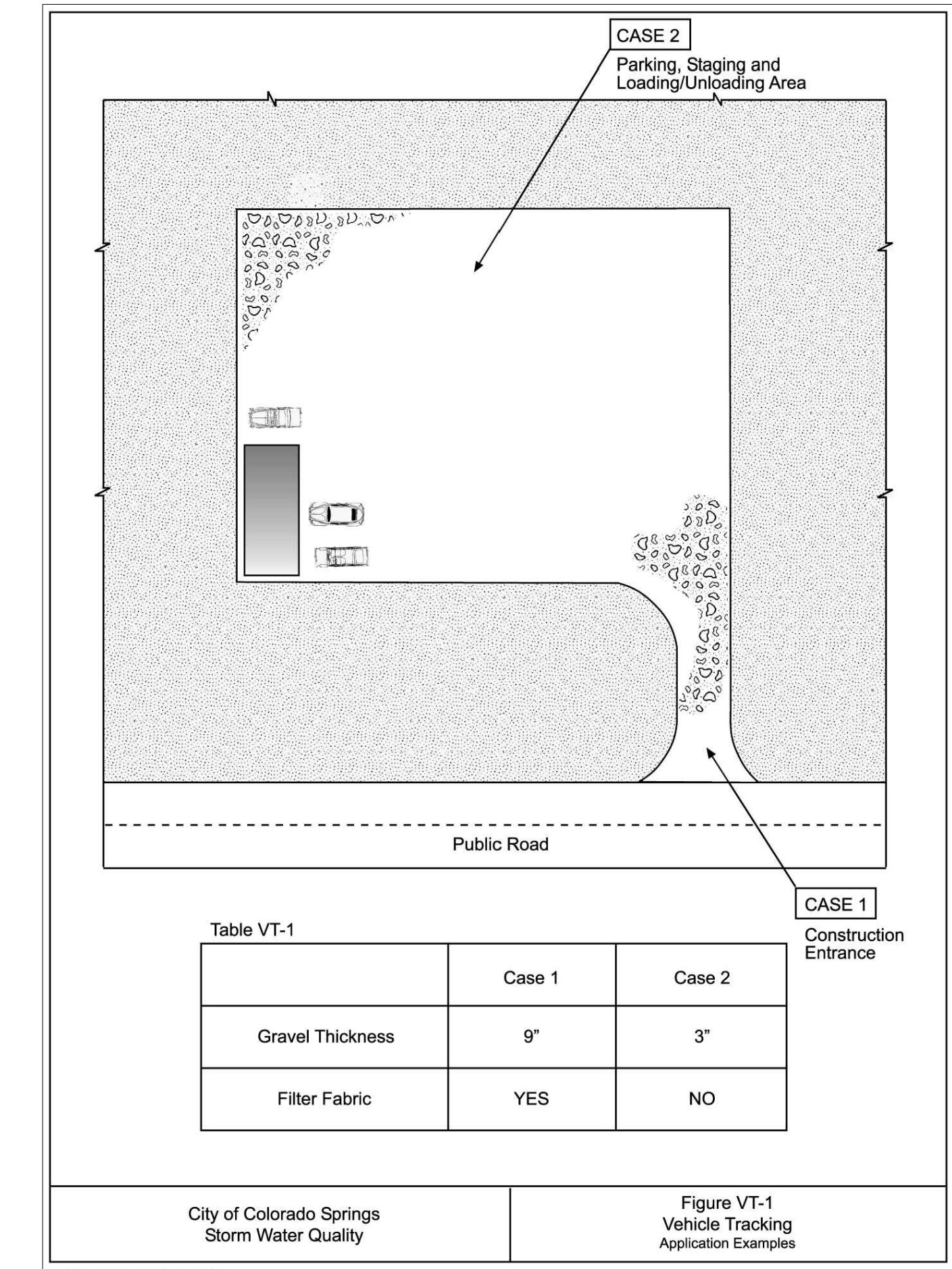
- DISTURBED AREAS ARE TO BE SEED WITHIN 21 DAYS AFTER CONSTRUCTION ACTIVITY OR GRADING ENDS IF SEASON ALLOWS.
- IF NECESSARY, SOIL IS TO BE CONDITIONED FOR PLANT GROWTH BY APPLYING TOPSOIL, FERTILIZER, OR LIME.
- SOIL IS TO BE TILLED IMMEDIATELY PRIOR TO APPLYING SEEDS. COMPACT SOILS ESPECIALLY NEED TO BE LOOSENED.
- SEEDING DEPTH IS TO BE 4 INCHES FOR SLOPES FLATTER THAN 2:1, AND 1 INCH FOR SLOPES STEEPER THAN 2:1.
- ANNUAL GRASSES LISTED IN TABLE TS-1 ARE TO BE USED FOR TEMPORARY SEEDING. SEED MIXES ARE NOT TO CONTAIN ANY NOXIOUS WEED SEEDS INCLUDING RUSSIAN OR CANADIAN THISTLE, KNAPWEED, PURPLE LOOSESTRIFE, EUROPEAN BINDWEED, JOHNSON GRASS, AND LEAFY SPURGE.
- TABLE TS-1 ALSO PROVIDES REQUIREMENTS FOR SEEDING RATES, SEEDING DATES, AND PLANTING DEPTHS FOR THE APPROVED TYPES OF ANNUAL GRASSES.
- SEEDING IS TO BE APPLIED USING MECHANICAL TYPE DRILLS EXCEPT WHERE SLOPES ARE STEEP OR ACCESS IS LIMITED THEN HYDRAULIC SEEDING MAY BE USED.
- ALL SEEDED AREAS ARE TO BE MULCHED (SEE FACTSHEET ON MULCHING).
- IF HYDRAULIC SEEDING IS USED THEN HYDRAULIC MULCHING SHALL BE DONE SEPARATELY TO AVOID SEEDS BECOMING ENCAPSULATED IN THE MULCH.

MAINTENANCE REQUIREMENTS

- REGULAR INSPECTIONS ARE TO BE MADE OF ALL SEEDDED AREAS TO ENSURE GROWTH.
- AREAS WHERE GROWTH IS NOT OCCURRING QUICKLY OR THE MULCH HAS BEEN REMOVED SHALL BE RE-SEDED AS SOON AS POSSIBLE AND RE-MULCHED IF NEEDED.
- SEEDDED AREAS ARE NOT TO BE DRIVEN OVER WITH CONSTRUCTION EQUIPMENT OR VEHICLES.

City of Colorado Springs Stormwater Quality

Figure TS-1 Temporary Seeding Construction Detail and Maintenance Requirements



811
Know what's below. Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2021 ATWELL, LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL, LLC.

ATWELL
www.atwell-group.com
866.850.4200
143 UNION BOULEVARD, SUITE 700
LAKEWOOD, CO 80228
303.462.1100

SUNSET VILLAGE VIEW, LLC.
487 WINDCHIME PL., STE. #500
303-519-5100
SCOTT VAN WHEY

SUNSET VILLAGE VIEW, LLC.
SUNSET VILLAGE FIL. NO. 4
JAYHAWK AVENUE AND REDTAIL DRIVE
EL PASO COUNTY, COLORADO

CLIENT: SUNSET VILLAGE VIEW, LLC.
DATE: 12/03/2021
A 1st SUBMITTAL TO EPIC 10/27/2021 - RDL
B 2nd SUBMITTAL TO EPIC 12/03/2021 - RDL

REVISIONS

COLORADO LICENSED PROFESSIONAL ENGINEER
2024

DR. RDL CH. RDL
P.M. RDL
JOB 21004166
SHEET NO. 21

EROSION PROTECTION ABOVE CULVERT OUTLETS IS SIMILAR

1/1/08
DATE APPROVED: John A. McCarty
DEPARTMENT OF TRANSPORTATION

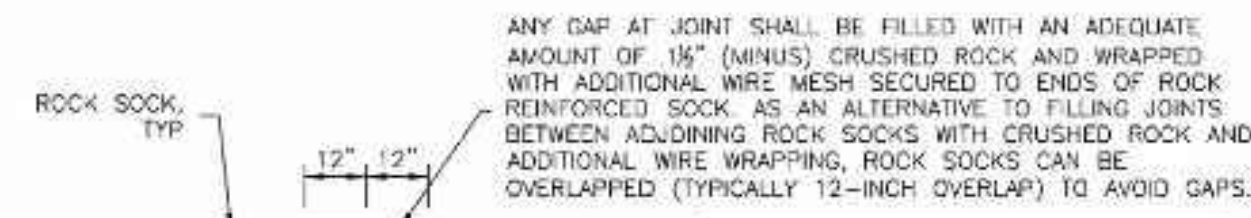
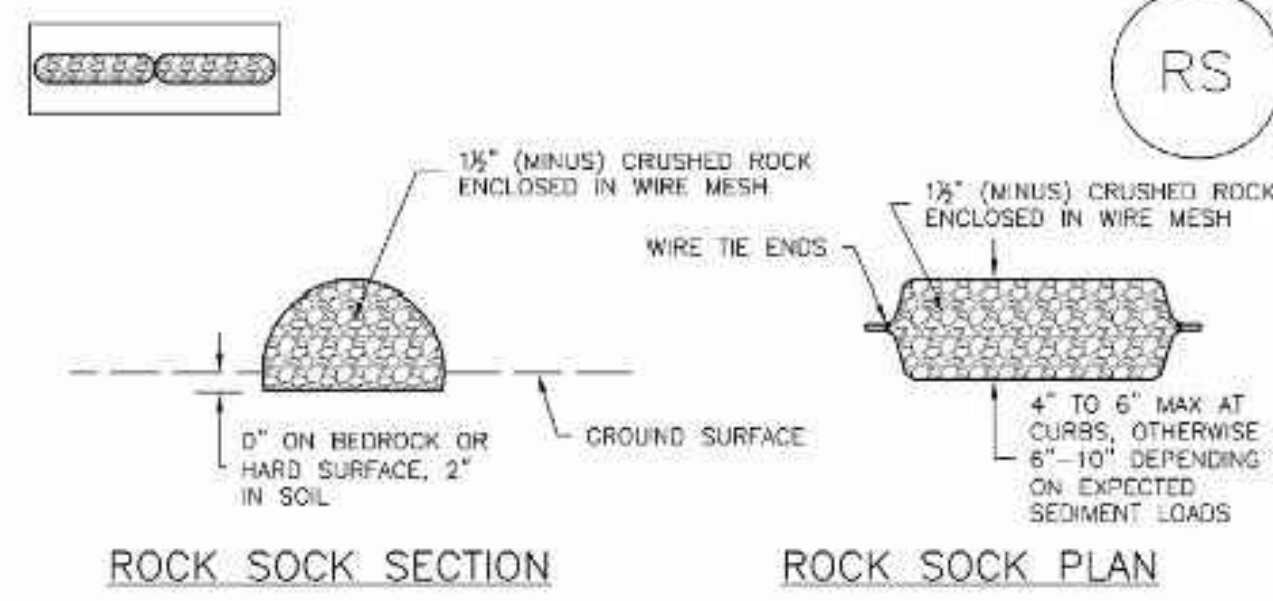
Culvert Inlet and Outlet Protection
Erosion Logs Above Inlets and Outlets
For Slopes 3:1 or Steeper
Standard Drawing
REVISION DATE: 7/17/07
FILE NAME: SD_3-86

EROSION LOGS SHOULD BE KEVED IN TO PREVENT UNDER-CUTTING

EL PASO COUNTY DEPARTMENT OF TRANSPORTATION

CAD FILE: 21004166-DETAILED.DWG

SC-5 Rock Sock (RS)



GRADATION TABLE

SI/VE SIZE	MASS PERCENT PASSING SQUARE MESH SIEVES
NO. 4	
2"	100
1 1/2"	90 - 100
1"	20 - 55
3/4"	0 - 15
3/8"	0 - 5

MATCHES SPECIFICATIONS FOR NO. 4 COARSE AGGREGATE FOR CONCRETE PER AASHTO M43. ALL ROCK SHALL BE FRACTURED FACE, ALL SIDES.

ROCK SOCK INSTALLATION NOTES

- SEE PLAN VIEW FOR: -LOCATION(S) OF ROCK SOCKS.
- CRUSHED ROCK SHALL BE 1 1/2" (MINUS) IN SIZE WITH A FRACTURED FACE (ALL SIDES) AND SHALL COMPLY WITH GRADATION SHOWN ON THIS SHEET (1/2" MINUS).
- WIRE MESH SHALL BE FABRICATED OF 10 GAGE POULTRY MESH, OR EQUIVALENT, WITH A MAXIMUM OPENING OF 1/2", RECOMMENDED MINIMUM ROLL WIDTH OF 48"
- WIRE MESH SHALL BE SECURED USING "HDC RINGS" OR WIRE TIES AT 6" CENTERS ALONG ALL JOINTS AND AT 2" CENTERS ON ENDS OF SOCKS.
- SOME MUNICIPALITIES MAY ALLOW THE USE OF FILTER FABRIC AS AN ALTERNATIVE TO WIRE MESH FOR THE ROCK ENCLOSURE.

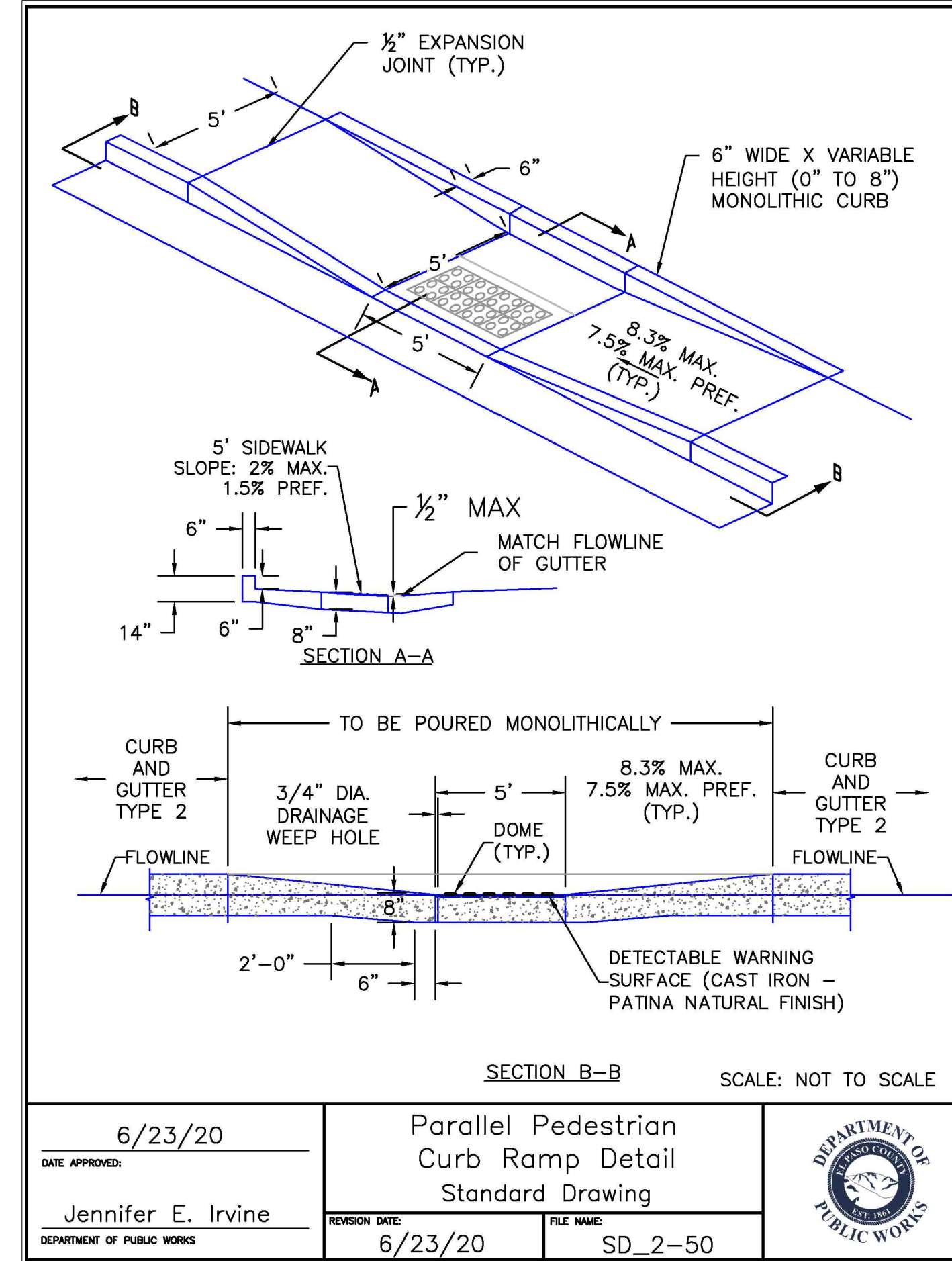
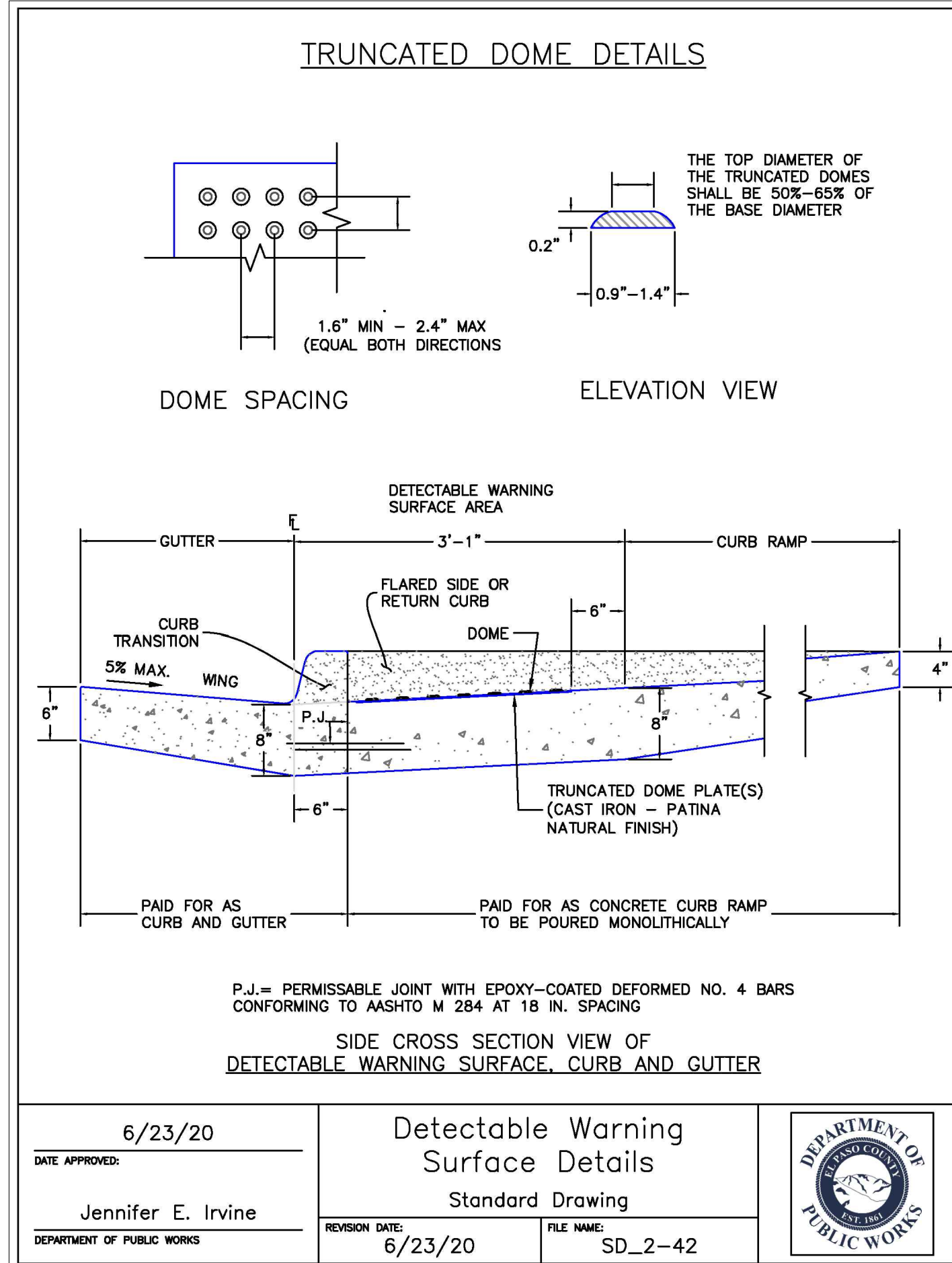
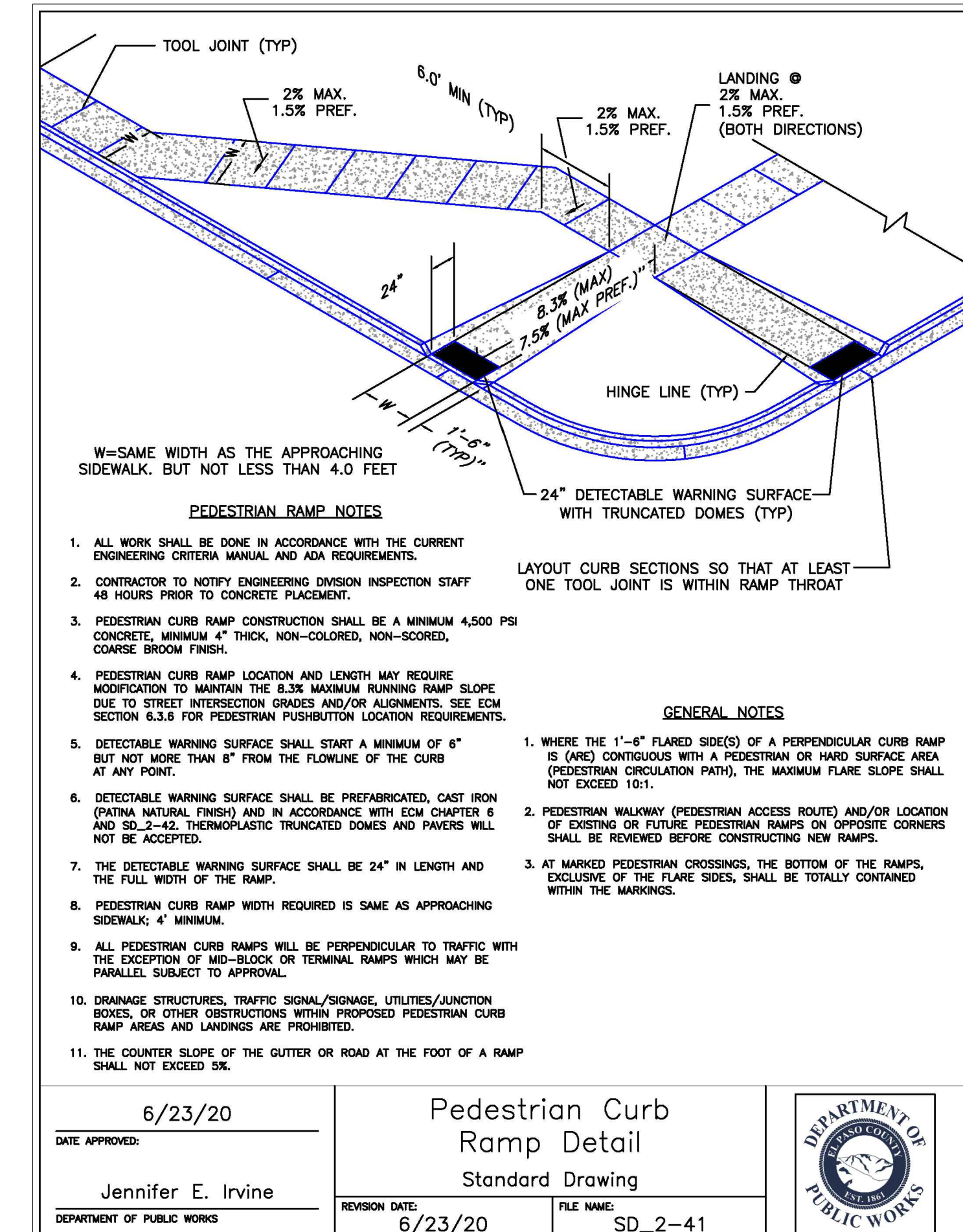
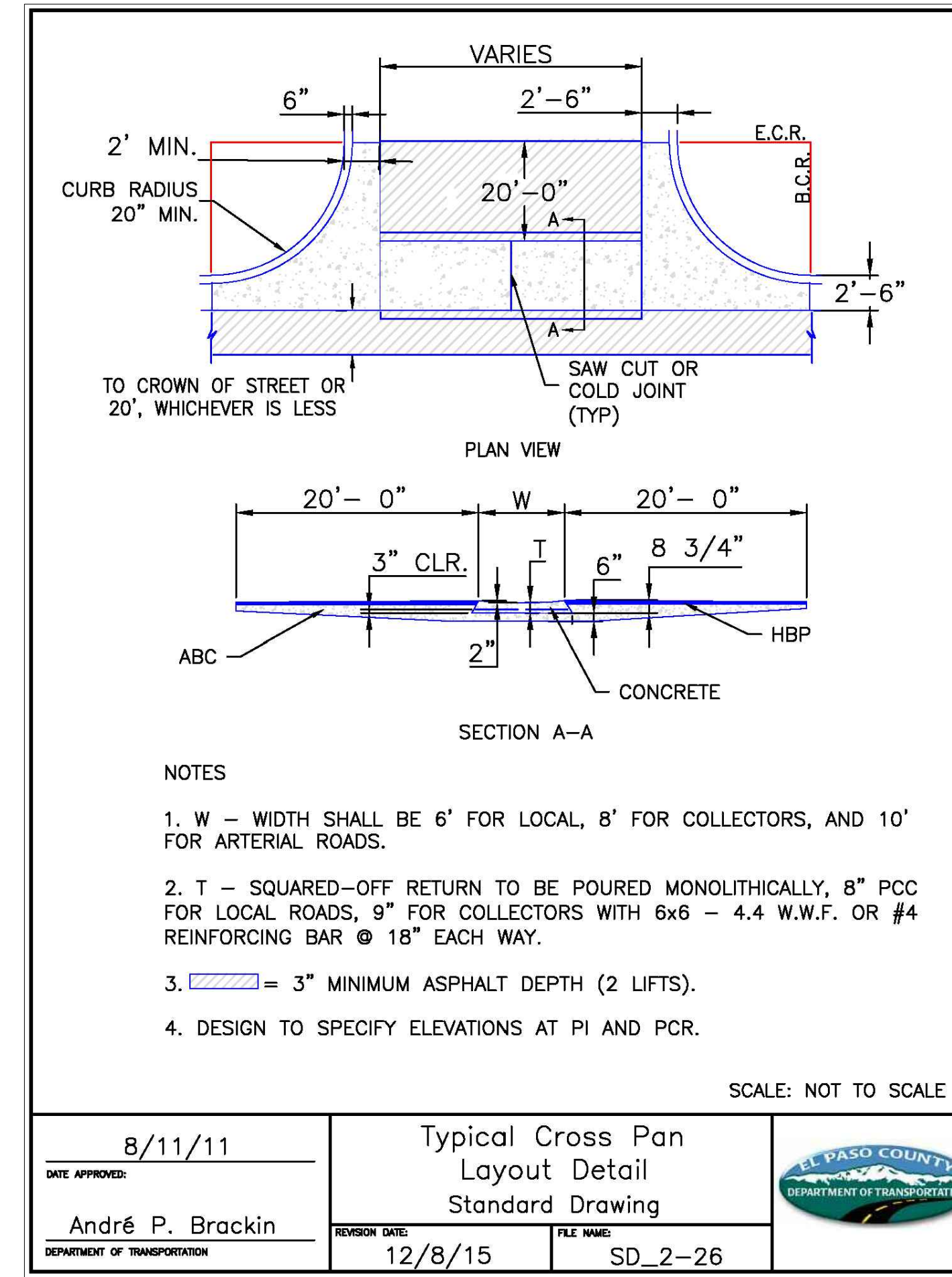
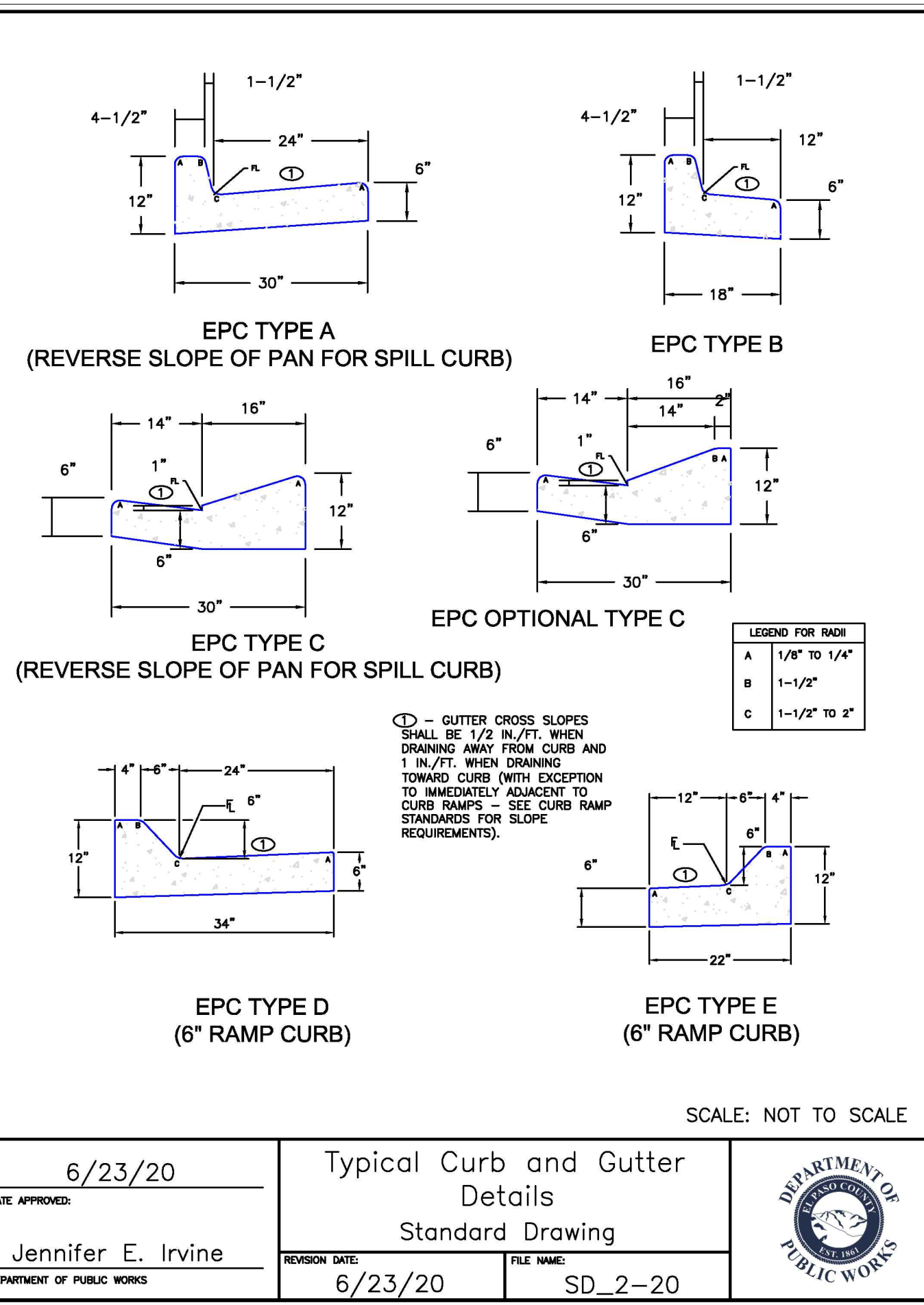
RS-1. ROCK SOCK PERIMETER CONTROL

ROCK SOCK MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED, OR DAMAGED BEYOND REPAIR.
- SEDIMENT ACCUMULATED UPSTREAM OF ROCK SOCKS SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE ROCK SOCK.
- ROCK SOCKS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
- WHEN ROCK SOCKS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF ALFORDA, COLORADO, NOT AVAILABLE IN AUTOCAD)
 NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM LUDCO STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF ROCK SOCK INSTALLATION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY OTHER SIMILAR PROPRIETARY PRODUCTS ON THE MARKET. UP/OD (UPPER/ODORLESS) NOR DISCOURAGES USE OF PROPRIETARY PROTECTION PRODUCTS; HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.



811
 Know what's below. Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2021 ATWELL, LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL, LLC.

ATWELL
 866.850.4200 www.atwell-group.com
 143 UNION BOULEVARD, SUITE 700
 LAKEWOOD, CO 80228
 303.462.1100

SUNSET VILLAGE VIEW, LLC.
 487 WINDCHIME PL. STE. #500
 SUNSET VILLAGE VIEW, LLC.
 SUNSET VILLAGE FIL. NO. 4
 JAYHAWK AVENUE AND REDTAIL DRIVE
 EL PASO COUNTY, COLORADO
 DETAILS

CLIENT: SUNSET VILLAGE VIEW, LLC.
 DATE: 12/03/2021

REVISIONS

DR. RDL CH. RDL
 P.M. RDL

JOB: 21004166
 SHEET NO. 22

CAD FILE: 21004166-DETAILS.DWG