

SF 01005
2645



SUNSET VILLAGE FILING NO. 4

CONSTRUCTION PLANS

1

Contacts List:

El Paso County Planning and Community Development
Gilbert LaForce, PE
719-520-7945
gilbertlaforce@elpasoco.com

Ryan Howser
719-520-6049; ryanhowser@elpasoco.com

Owner/Developer
Scott Van Whye
Sunset Village View, LLC.
303-519-5100

Civil Engineer
Richard Lyon, PE
Atwell, LLC.
rlyon@atwell-group.com

Per the County Attorney's Office, a Condition of Approval will be included with the Construction Plans.

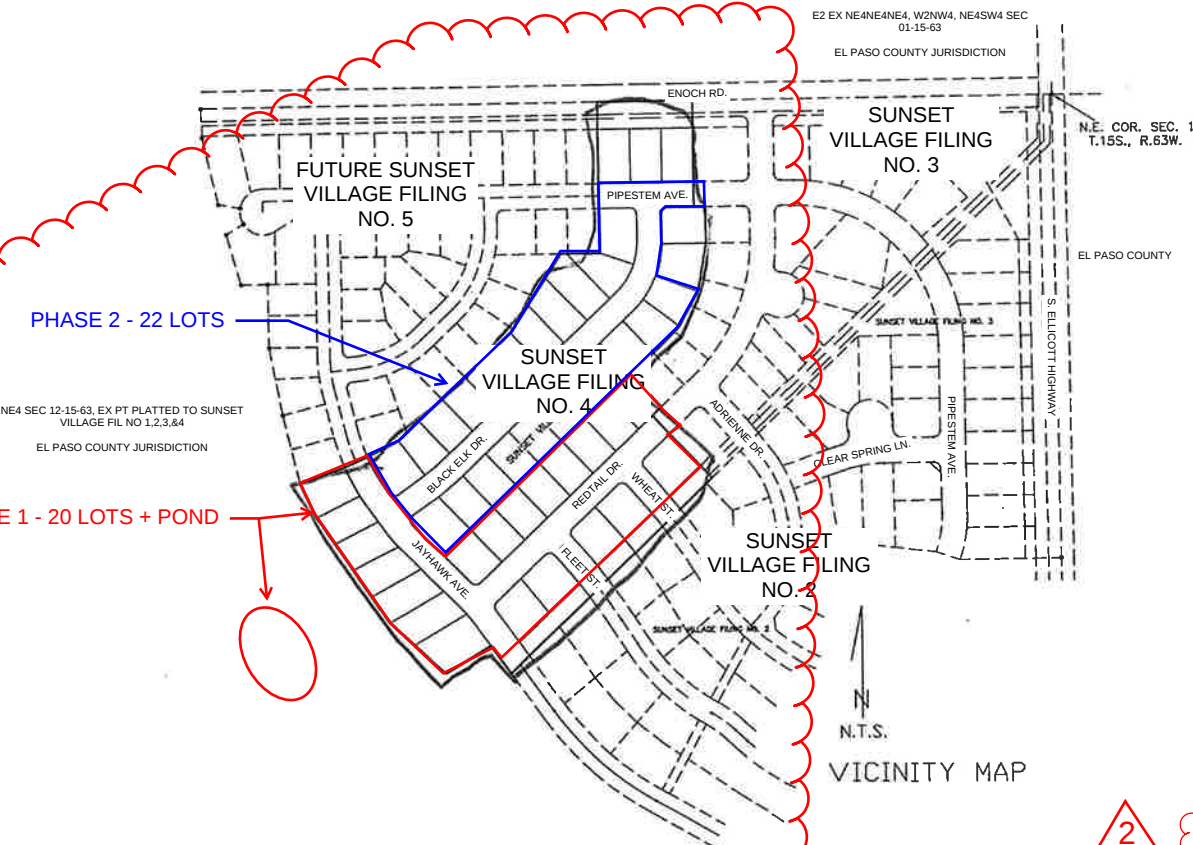
Approval will be limited to Phase 1 improvements only.

The Construction Plans will need to be resubmitted for review/approval once the Developer intends to proceed with Phase 2.

Financial Assurances for Phase 2 improvements will be required at that time.

2

**CONSTRUCTION DRAWINGS AMENDMENT,
DATED APRIL 4, 2026 BY ENGINEERING LOCAL
XPRTS, LLC.**



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- 3) STREET & SANITARY SEWER PLAN (PIPESTEM)
- 4) STREET & SANITARY SEWER PLAN (REDTAIL DRIVE)
- 5) STREET & SANITARY SEWER PLAN (BLACK ELK DRIVE)
- 6) STREET & SANITARY SEWER PLAN (JAYHAWK AVE.)
- 7) STREET PLAN (WHEAT DRIVE)
- 8) STREET PLAN (FLEET STREET)
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- 16) CDOT S-614-1 DETAILS
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- 18) POND DETAILS
- 19) POND DETAILS
- 20) REVISED FOREBAY DETAILS
- 21) REVISED OUTLET STRUCTURE DETAILS
- 22) REVISED OUTLET STRUCTURE DETAILS
- 23) DETAILS
- 24) DETAILS
- 25) DETAILS

THE FOLLOWING STANDARD DETAILS ARE INCLUDED IN THIS PLAN SET:

- EL PASO COUNTY DETAILS:
- EPC DETAIL SD_2-20 TYPICAL CURB AND GUTTER
 - EPC DETAIL SD_2-26 TYPICAL CROSS PAN LAYOUT
 - EPC DETAIL SD_2-41 PEDESTRIAN INTERSECTION RAMP
 - EPC DETAIL SD_2-42 DETECTABLE WARNING SURFACE
 - EPC DETAIL SD_2-50 PARALLEL PEDESTRIAN CURB RAMP

EROSION CONTROL MEASURES:

- CONCRETE WASHOUT AREA
- VEHICLE TRACKING CONTROL
- ROCK SOCKS
- INLET PROTECTION
- SEEDING AND MULCHING
- STRAW BALE BARRIER / CHECK DAM
- SILT FENCE

UNITED

ENGINEERING

PLANNING

4575 GALLEY ROAD SUITE 200
COLORADO SPRINGS COLORADO
(719) 597-9900 80915

PROJECT 00-0908 DATE 10-08-01 DRAWN J.L.K.

SHEET 1 OF 22

MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008

REVISION 1: 01/07/2022
COR218 REVISION 2 (ELX
JULY 2026)

ENGINEER'S STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID DETAILED PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED DRAINAGE PLANS AND SPECIFICATIONS, AND SAID DETAILED PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE MASTER PLAN OF THE DRAINAGE BASIN. SAID DETAILED PLANS AND SPECIFICATIONS MEET THE PURPOSE FOR WHICH THE PARTICULAR DRAINAGE FACILITIES ARE DESIGNED. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED DRAINAGE PLANS AND SPECIFICATIONS.

JOHN P. SCHWAB, P.E. NO. 29891



DISCLAIMER:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH THE COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

Engineer's Statement:

These detailed plans and specifications were prepared under my direction and supervision. Said plans and specifications have been prepared according to the criteria established by the County for detailed roadway, drainage, grading and erosion control plans and specifications, and said plans and specifications are in conformity with applicable master drainage plans and master transportation plans. Said plans and specifications meet the purposes for which the particular roadway and drainage facilities are designed and are correct to the best of my knowledge and belief. I accept responsibility for any liability caused by any negligent acts, errors or omissions on my part in preparation of these detailed plans and specifications.

Richard Lyon, P.E. 01-07-2022
Date

Owner/Developer's Statement:

I, the owner/developer have read and will comply with all of the requirements of the grading and erosion control plan and all of the requirements specified in these detailed plans and specifications.

Scott Van Whye 01-07-2022
Scott Van Whye, President
Sunset Village View, LLC.
300 Windchime Pl #301, Colorado Springs, CO
Date

El Paso County:

County plan review is provided only for general conformance with County Design Criteria. The County is not responsible for the accuracy and adequacy of the design, dimensions, and/or elevations which shall be confirmed at the job site. The County through the approval of this document assumes no responsibility for completeness and/or accuracy of this document.

Filed in accordance with the requirements of the El Paso County Land Development Code, Drainage Criteria Manual, Volumes 1 and 2, and Engineering Criteria Manual as amended.

In accordance with ECM Section 1.12, these construction documents will be valid for construction for a period of 2 years from the date signed by the El Paso County Engineer. If construction has not started within those 2 years, the plans will need to be resubmitted for approval, including payment of review fees at the Planning and Community Development Directors discretion.

Jennifer Irvine, P.E.
County Engineer / ECM Administrator
Date

DEVELOPER'S STATEMENT:

I, RODNEY PRIESSER, THE DEVELOPER HAS READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THIS DRAINAGE REPORT AND PLAN.

BY: *[Signature]*

TITLE: OWNER
ADDRESS: 90 S. CASCADE AVE. # 950
COLORADO SPRINGS, CO. 80903

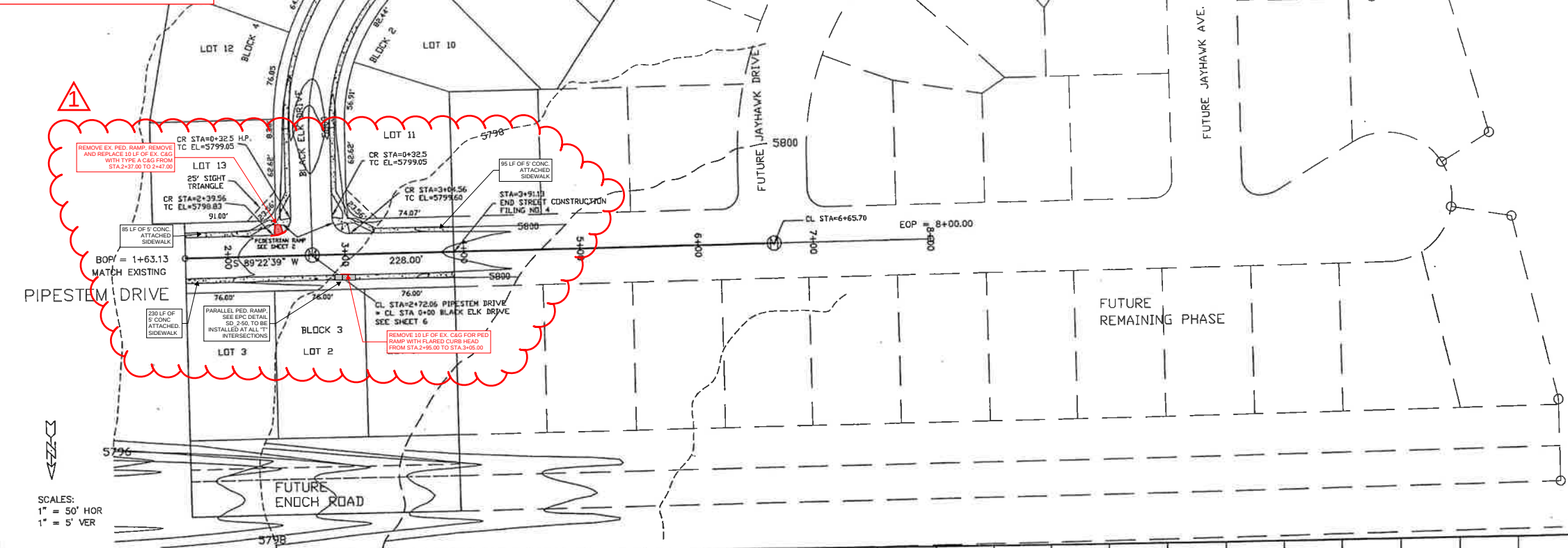
EL PASO COUNTY:

FILED IN ACCORDANCE WITH SECTION 51.1 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.

12-19-01
DATE

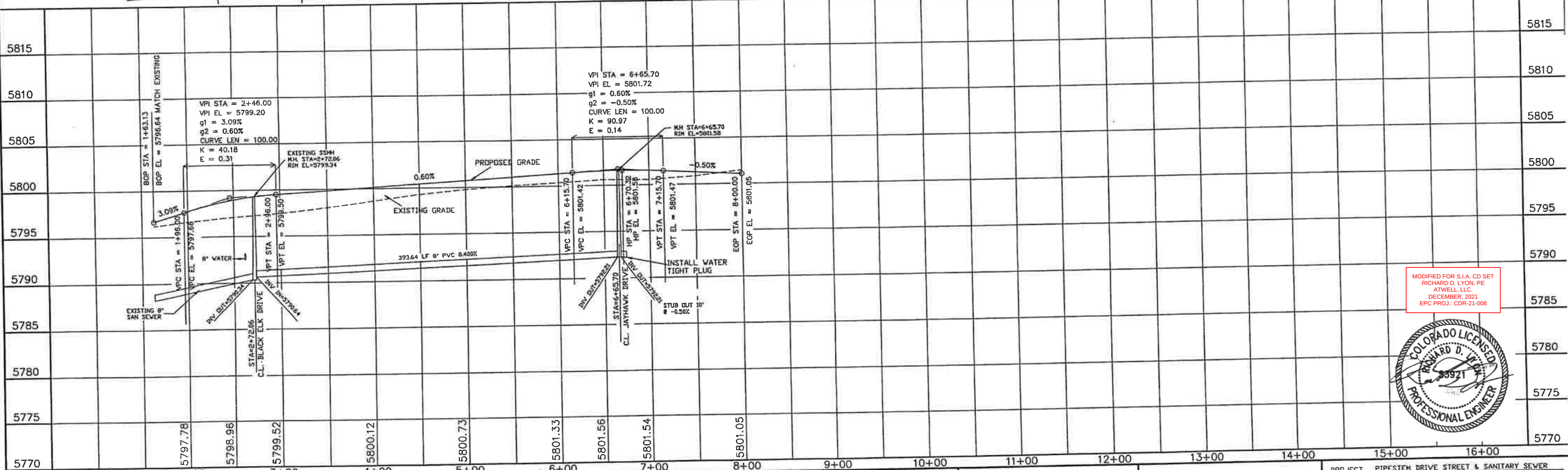
CONDITIONS:

PHASE 2 (BLACK ELK DRIVE AND PIPESTEM DRIVE)



- NOTES:
1. ROUGH CUT ROAD AND CONSTRUCT SANITARY SEWER TO STATION 6+65.70
 2. ALL CURB RETURN RADII ARE 15.00'
 3. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14

* CURB AND GUTTER MARKED IN THE FIELD TO BE REPLACED IN-KIND. ESTIMATED TO BE APPROXIMATELY 900 LF IN TOTAL.

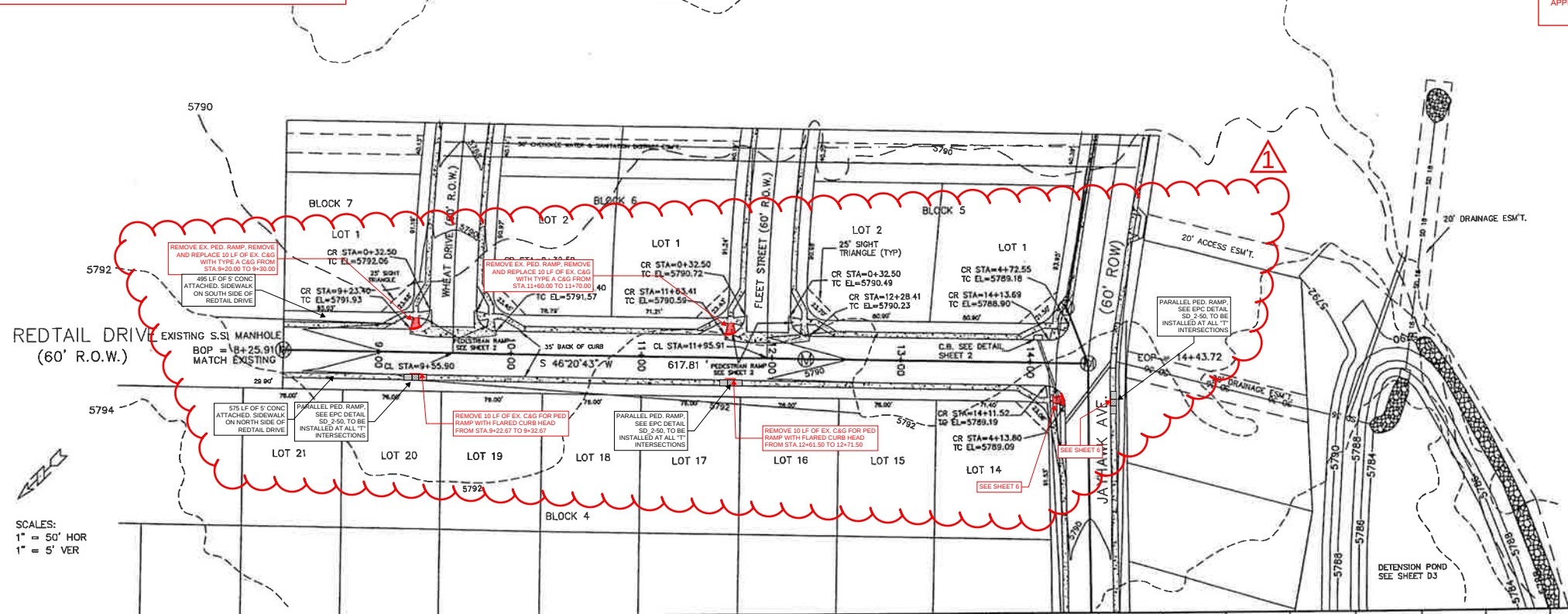


MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008



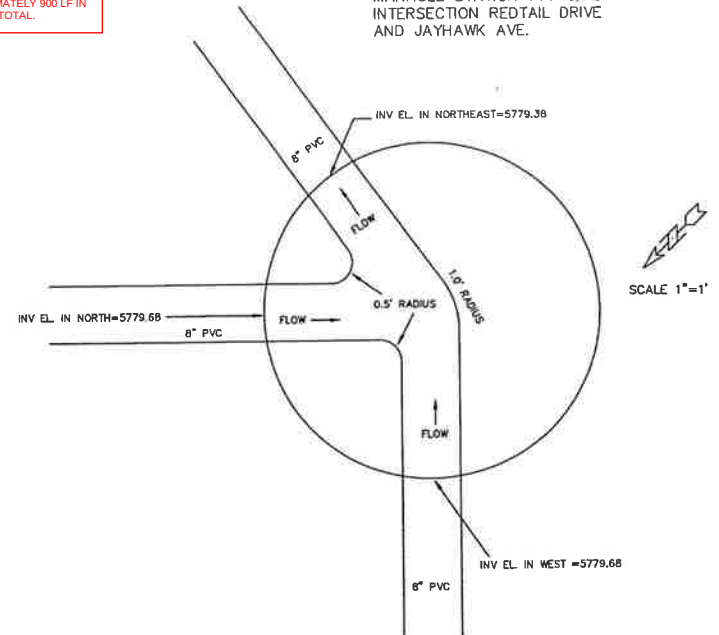
STATEMENT: THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN, THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.		REVIEW: STREET DESIGN: _____ DATE _____ ROUGH CUT REVIEW: _____ DATE _____ FINAL REVIEW: _____ DATE _____ DRAINAGE BASIN: _____		DESIGN DATA: SIDEWALKS: WIDTH 5' LOCATION: Attached to Detached, 6' from P/L D CURB TYPE 102030 R/W WIDTH 60' B/C-B/C 35' STREET TYPE HVEEM ASPHALT THICKNESS: AC Surface TBD AC Base Class 6 AGG. BASE THICKNESS: Class 5 Class 2		SCALE: HORIZ. 50' VERT. 5' BENCHMARK: U.S.G.S. BRASS CAP 114.8 (1953) ELEV=5752.00 LOCATED AT THE SOUTHEAST CORNER OF SECTION 12, T.15S, R.63W.		REVISIONS: NO. DESCRIPTION DATE 1 SIA CD UPDATES 01/07/2022		ENGINEER: UNITED PLANNING ENGINEERING (719) 597-9908 4575 GALLEY ROAD SUITE 200 COLORADO SPRINGS, COLORADO 80915 DESIGNED BY: J.L.K. DATE: 10-09-01 DRAWN BY: J.L.K. DATE: 10-09-01 CHECKED BY: T.L.K. DATE: 10-09-01		PROJECT: PIPESTEM DRIVE STREET & SANITARY SEWER FROM: 1+63.13 TO: 6+65.70 SUBDIVISION: SUNSET VILLAGE FILING NO. 4 DRAINAGE BASIN: TELEPHONE EXCHANGE JOB NO. D:\PROJ\X00-0908\RCP01001.DWG SHEET 3 OF 22	
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PHASE 1 (REDTAIL DRIVE, WHEAT DRIVE, FLEET STREET, JAYHAWK AVENUE)



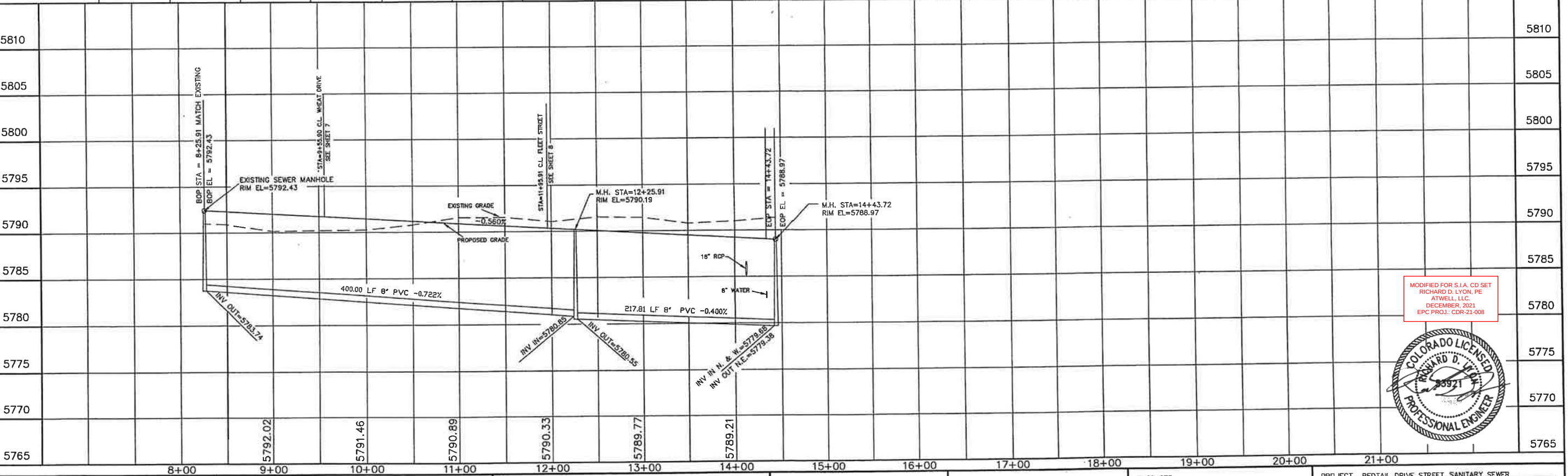
* CURB AND GUTTER MARKED IN THE FIELD TO BE REPLACED IN-KIND. ESTIMATED TO BE APPROXIMATELY 900 LF IN TOTAL.

DETAIL
MANHOLE STATION 14+43.72
INTERSECTION REDTAIL DRIVE AND JAYHAWK AVE.



SCALES:
1" = 50' HOR
1" = 5' VER

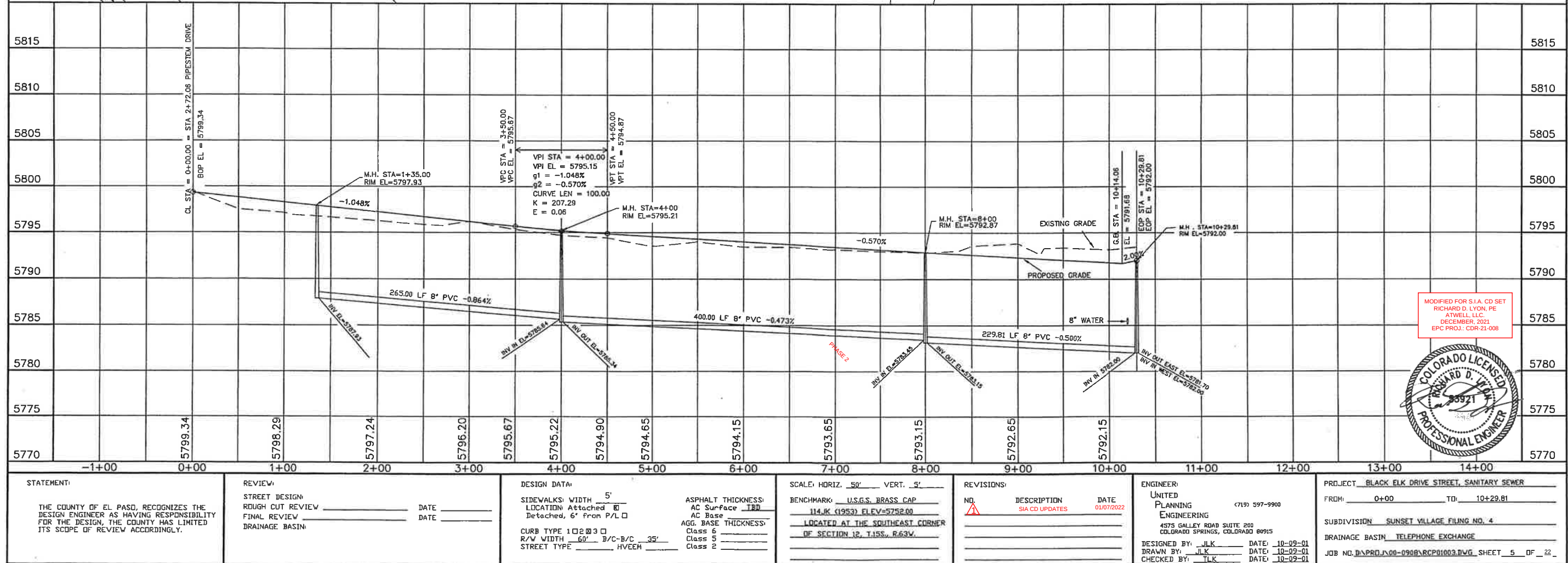
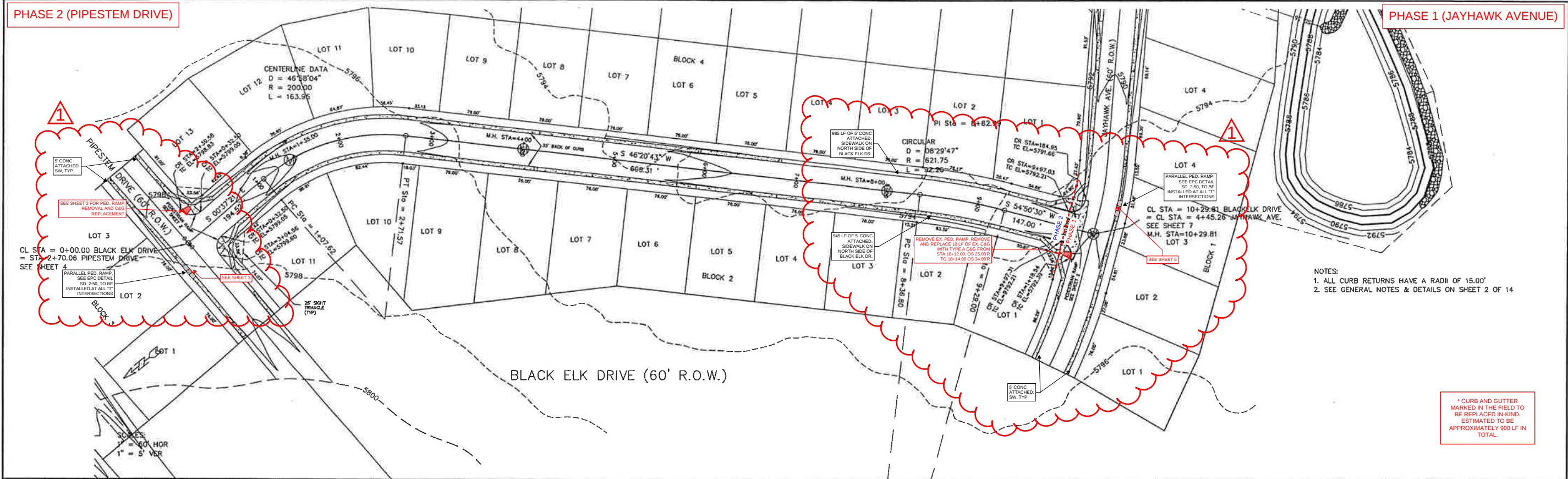
- NOTES:
1. ALL CURB RETURNS HAVE A RADIUS OF 15.00'
2. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14



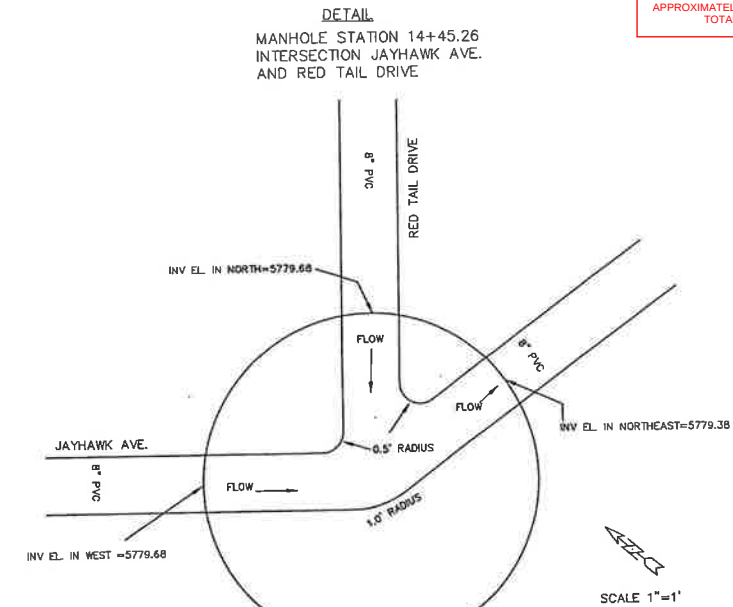
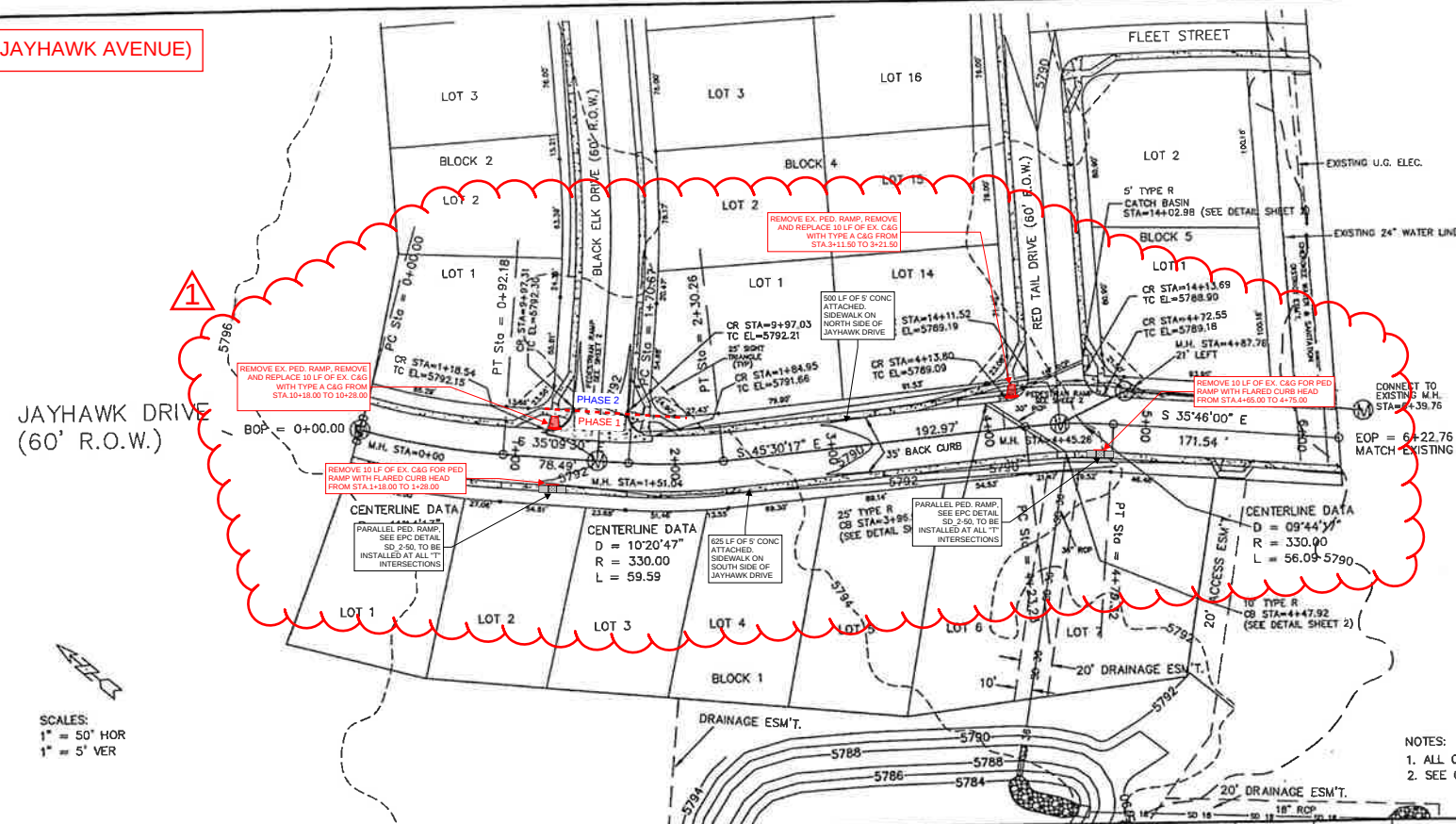
MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008



STATEMENT: THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN. THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.	REVIEW: STREET DESIGN _____ DATE _____ ROUGH CUT REVIEW _____ DATE _____ FINAL REVIEW _____ DATE _____ DRAINAGE BASIN _____	DESIGN DATA: SIDEWALKS WIDTH 5' LOCATION: Attached ☒ Detached, 6' from P/L ☐ CURB TYPE 102030 R/W WIDTH 60' B/C-B/C 35' STREET TYPE _____ ASPHALT THICKNESS: AC Surface 1BD AC Base _____ AGG. BASE THICKNESS: Class 6 _____ Class 5 _____ Class 2 _____	SCALE: HORIZ. 50' VERT. 5' BENCHMARK: U.S.G.S. BRASS CAP 114 JK (1953) ELEV=5752.00 LOCATED AT THE SOUTHEAST CORNER OF SECTION 12, T15S, R63W.	REVISIONS: NO. DESCRIPTION DATE 1 SIA CD UPDATES 01/07/2022	ENGINEER: UNITED PLANNING ENGINEERING 4575 GALLEY ROAD SUITE 200 COLORADO SPRINGS, COLORADO 80915 DESIGNED BY: JLK DATE: 10-09-01 DRAWN BY: JLK DATE: 10-09-01 CHECKED BY: TLK DATE: 10-09-01	PROJECT: REDTAIL DRIVE STREET, SANITARY SEWER FROM: 8+25.91 TO: 14+43.72 SUBDIVISION: SUNSET VILLAGE FILING NO. 4 DRAINAGE BASIN: TELEPHONE EXCHANGE JOB NO. D:\PROJ\A00-0908\RCP01002.DWG SHEET 4 OF 22
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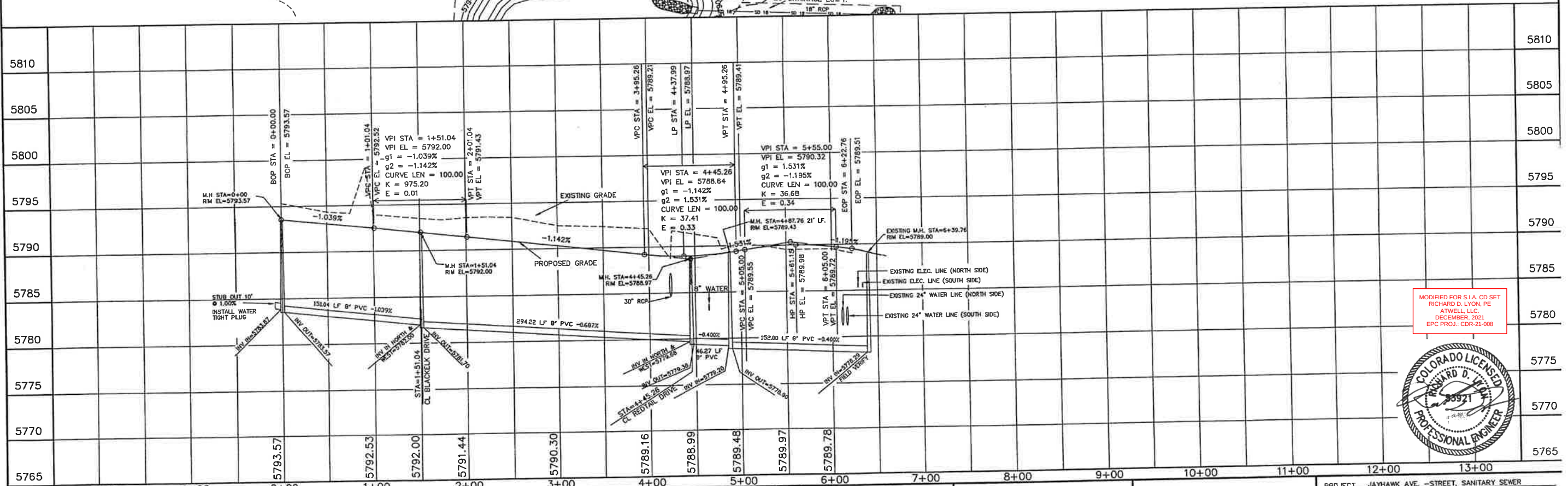
PHASE 1 (JAYHAWK AVENUE)



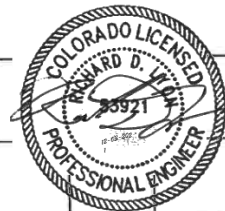
* CURB AND GUTTER
MARKED IN THE FIELD TO
BE REPLACED IN-KIND.
ESTIMATED TO BE
APPROXIMATELY 900 LF IN
TOTAL.

NOTES:

1. ALL CURB RETURNS HAVE A RADIUS OF 15.00'
2. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14



MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC.
DECEMBER, 2021
EPC PROJ.: CDR-21-008



STATEMENT:

THE COUNTY OF EL PASO, RECOGNIZES THE
DESIGN ENGINEER AS HAVING RESPONSIBILITY
FOR THE DESIGN, THE COUNTY HAS LIMITED
ITS SCOPE OF REVIEW ACCORDINGLY.

REVIEW

STREET DESIGN _____ DATE _____
ROUGH CUT REVIEW _____ DATE _____
FINAL REVIEW _____ DATE _____

DESIGN DATA

SIDEWALKS: WIDTH 5'
LOCATION: Attached ☒
Detached, 6' from P/L ☐

CURB TYPE 102030
R/W WIDTH 60' B/C-B/C 35'
STREET TYPE HVEEM

ASPHALT THICKNESS:

AC Surface TBD
AC Base _____
AGG. BASE THICKNESS:
Class 6 _____
Class 5 _____
Class 2 _____

SCALE: HORIZ. 50' VERT. 5'

BENCHMARK: U.S.G.S. BRASS CAP
114 JK (1953) ELEV=5752.00
LOCATED AT THE SOUTHEAST CORNER
OF SECTION 12, T.15S., R.63W.

REVISIONS:

NO.	DESCRIPTION	DATE
1	SIA CD UPDATES	01/07/202

UNITED STATES

ENGINEER

UNITED
REPUBLIC OF CAMBODIA (719) 597-9900

PLANNING
ENGINEERING

4575 GALLEY ROAD SUITE 200
COLORADO SPRINGS, COLORADO 80915

DESIGNED BY: JLK DATE: 1/11/01
DRAWN BY: JLK DATE: 1/11/01

PROJECT JAYHAWK AVE. - STREET, SANITARY SEWER

FROM: 0+00 TO: 6+22.76

SUBDIVISION SUNSET VILLAGE FILING NO. 4

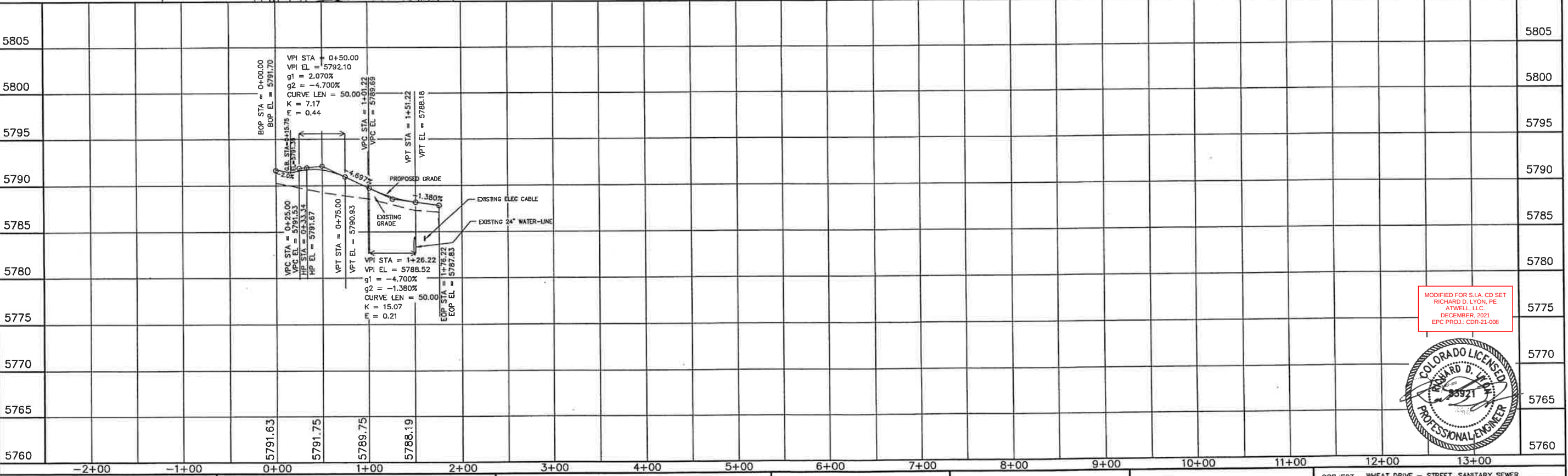
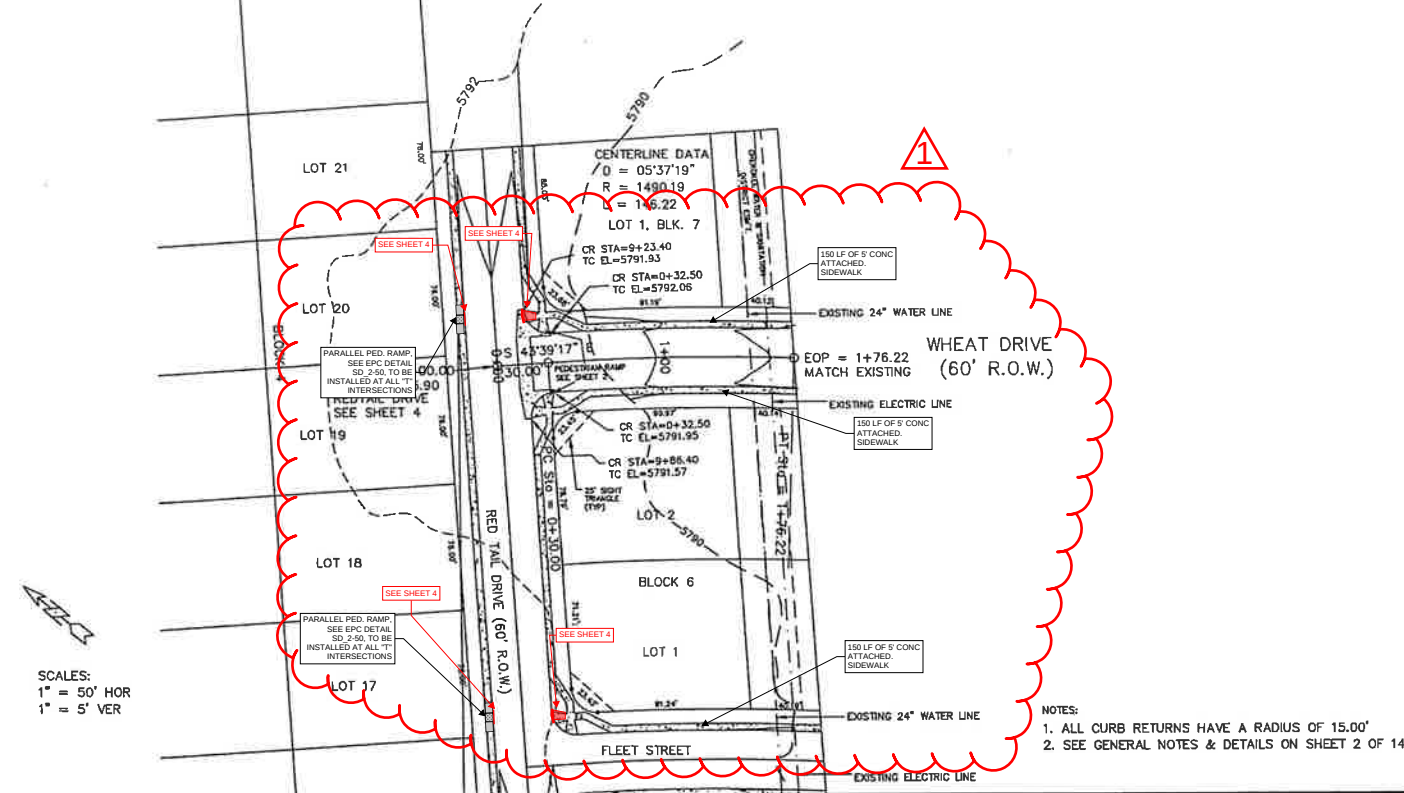
ISSUE EXCHANGE

DRAINAGE BASIN TELEPHONE EXCHANGE

JOB NO. D:\PROJ\00-0908\RCP01004.DWG SHEET 6 OF 22

PHASE 1 (REDTAIL DRIVE, WHEAT DRIVE, FLEET STREET, JAYHAWK AVENUE)

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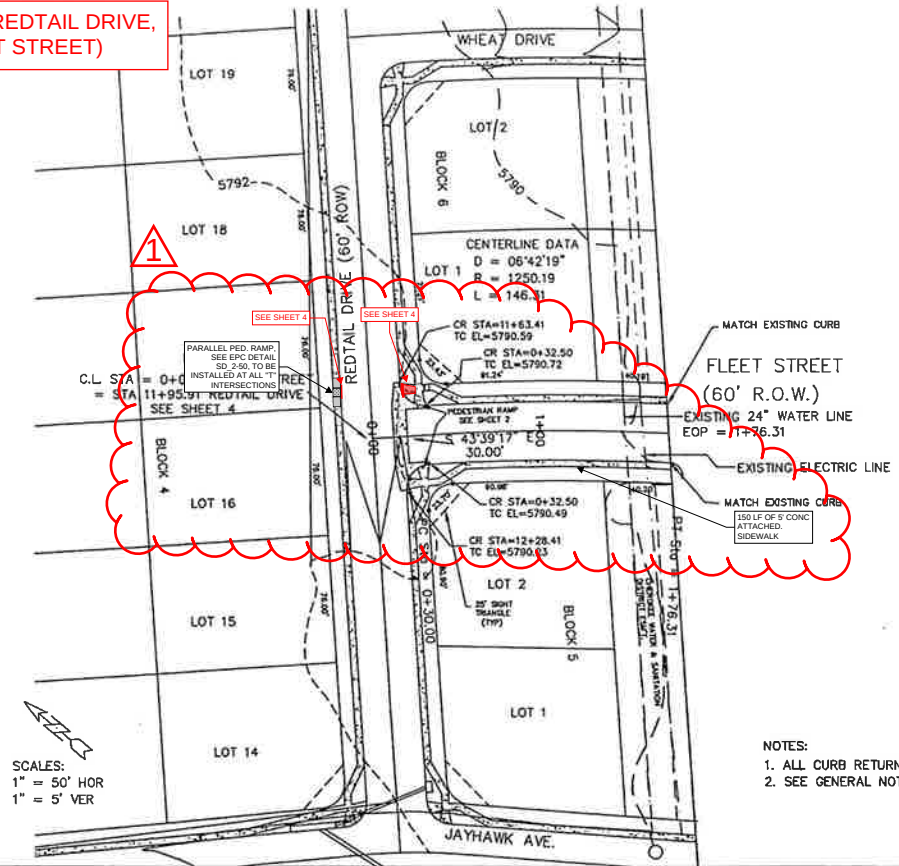
MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ: CDR-21-008



STATEMENT: THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN. THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.	REVIEW: STREET DESIGN _____ DATE _____ ROUGH CUT REVIEW _____ DATE _____ FINAL REVIEW _____ DATE _____ DRAINAGE BASIN _____	DESIGN DATA: SIDEWALKS: WIDTH 5' LOCATION: Attached @ Detached, 6' from P/LD CURB TYPE 1 2 3 4 R/W WIDTH 60' B/C-B/C 35' STREET TYPE _____ HVEEM _____ ASPHALT THICKNESS: AC Surface 180 AC Base _____ AGG. BASE THICKNESS: Class 6 _____ Class 5 _____ Class 2 _____	SCALE: HORIZ. 50' VERT. 5' BENCHMARK: U.S.G.S. BRASS CAP 114JK (1953) ELEV=5752.00 LOCATED AT THE SOUTHEAST CORNER OF SECTION 12, T.15S., R.63W.	REVISIONS: NO. DESCRIPTION DATE 1 SIA CD UPDATES 01/07/2022	ENGINEER: UNITED PLANNING ENGINEERING 4575 GALLEY ROAD SUITE 200 COLORADO SPRINGS, COLORADO 80915 DESIGNED BY: JLK DATE: 10-02-01 DRAWN BY: JLK DATE: 10-02-01 CHECKED BY: TLK DATE: 10-02-01	PROJECT: WHEAT DRIVE - STREET, SANITARY SEWER FROM: 0+00 TO: 1+76.22 SUBDIVISION: SUNSET VILLAGE FILING NO. 4 DRAINAGE BASIN: TELEPHONE EXCHANGE JOB NO. B:\PROJ\A00-0908\RCP01005.DWG SHEET 7 OF 15
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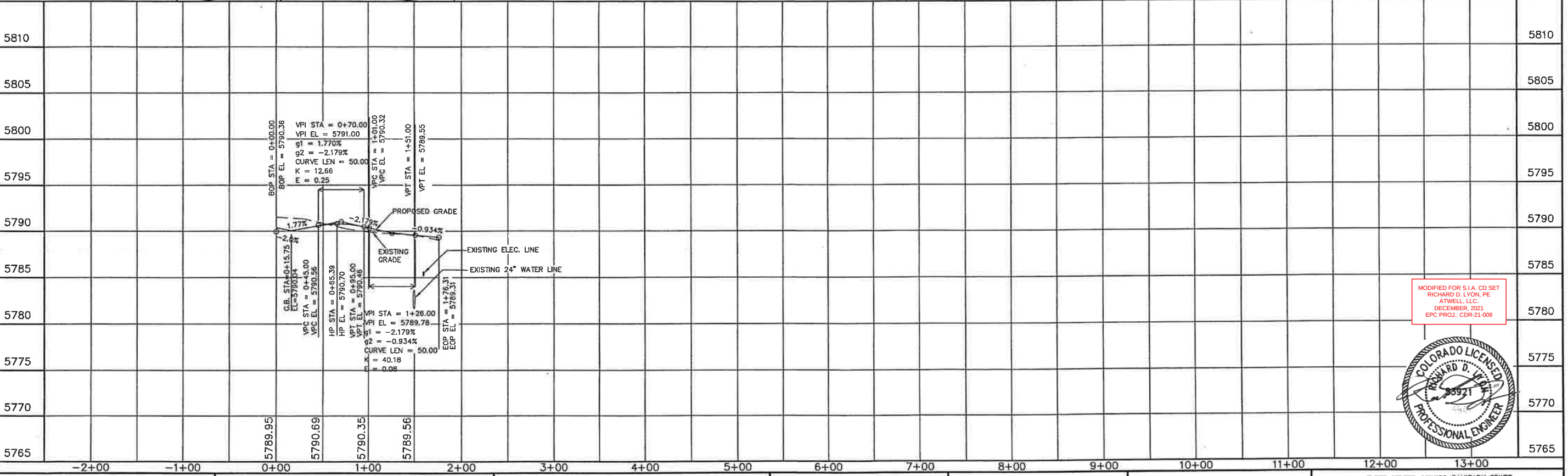
PHASE 1 (REDTAIL DRIVE, FLEET STREET)

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SCALES:
1" = 50' HOR
1" = 5' VER

- NOTES:
1. ALL CURB RETURNS HAVE A RADIUS OF 15.00'
2. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14

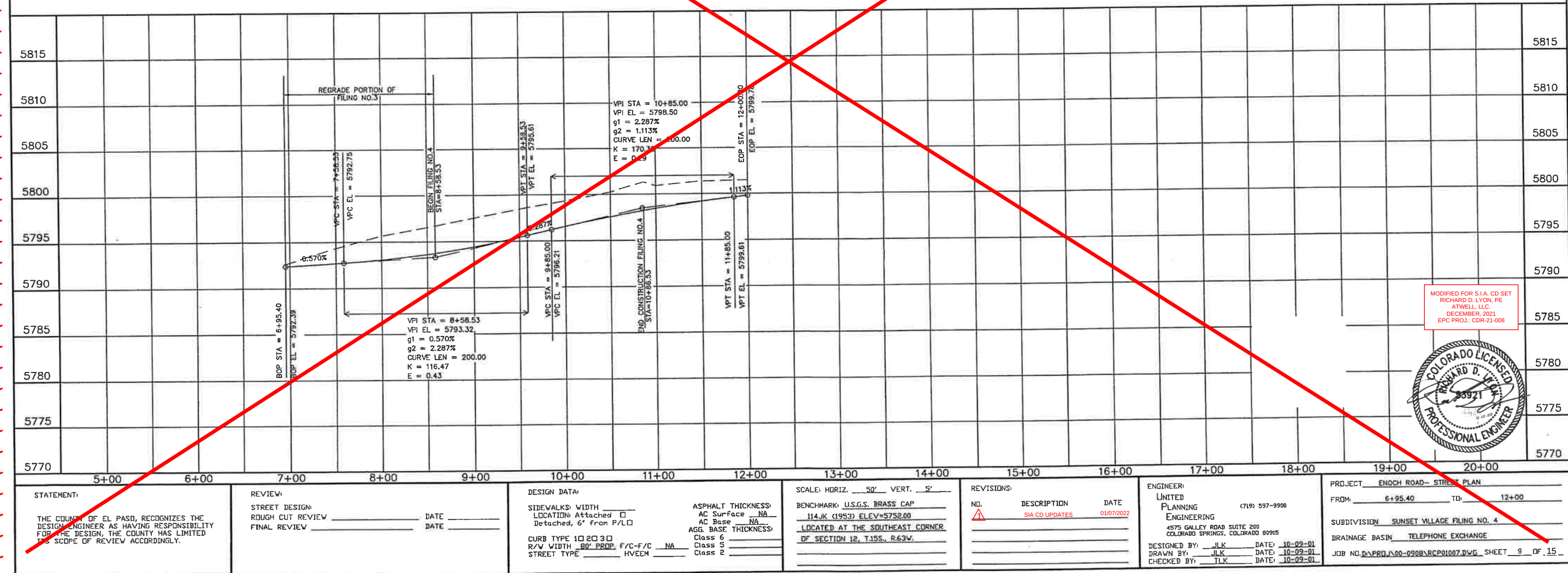
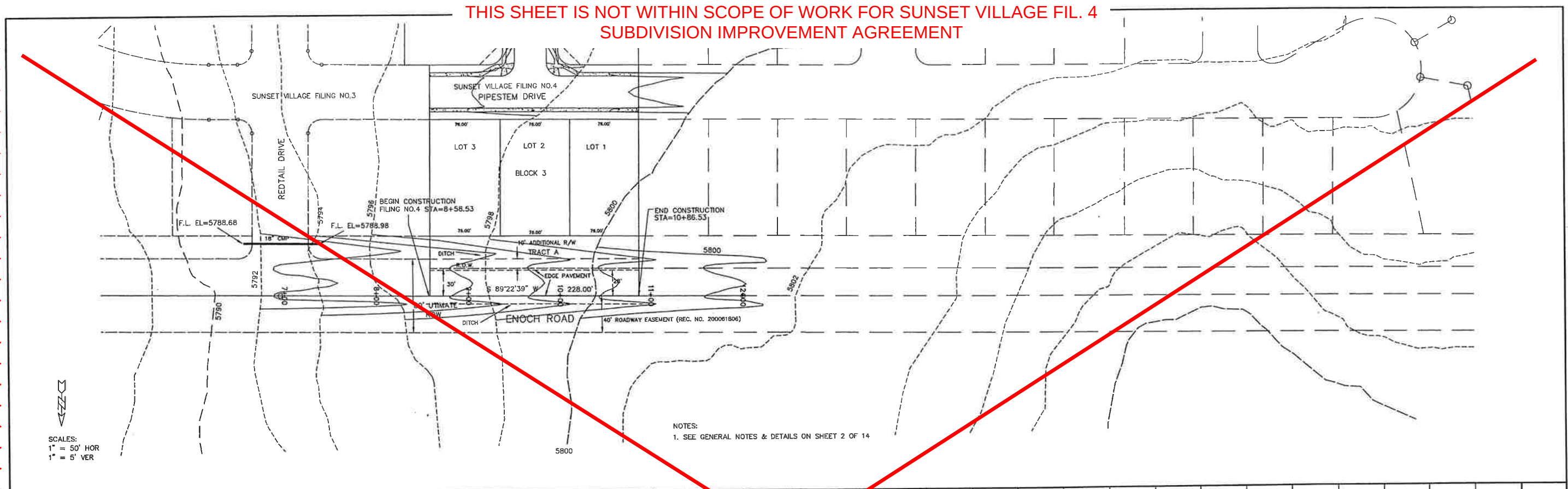


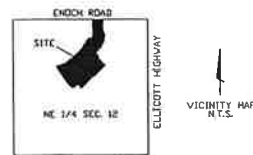
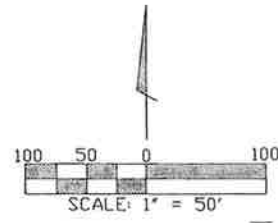
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ATWELL, LLC
DECEMBER, 2021
EPC PROJ. CDR-21-008



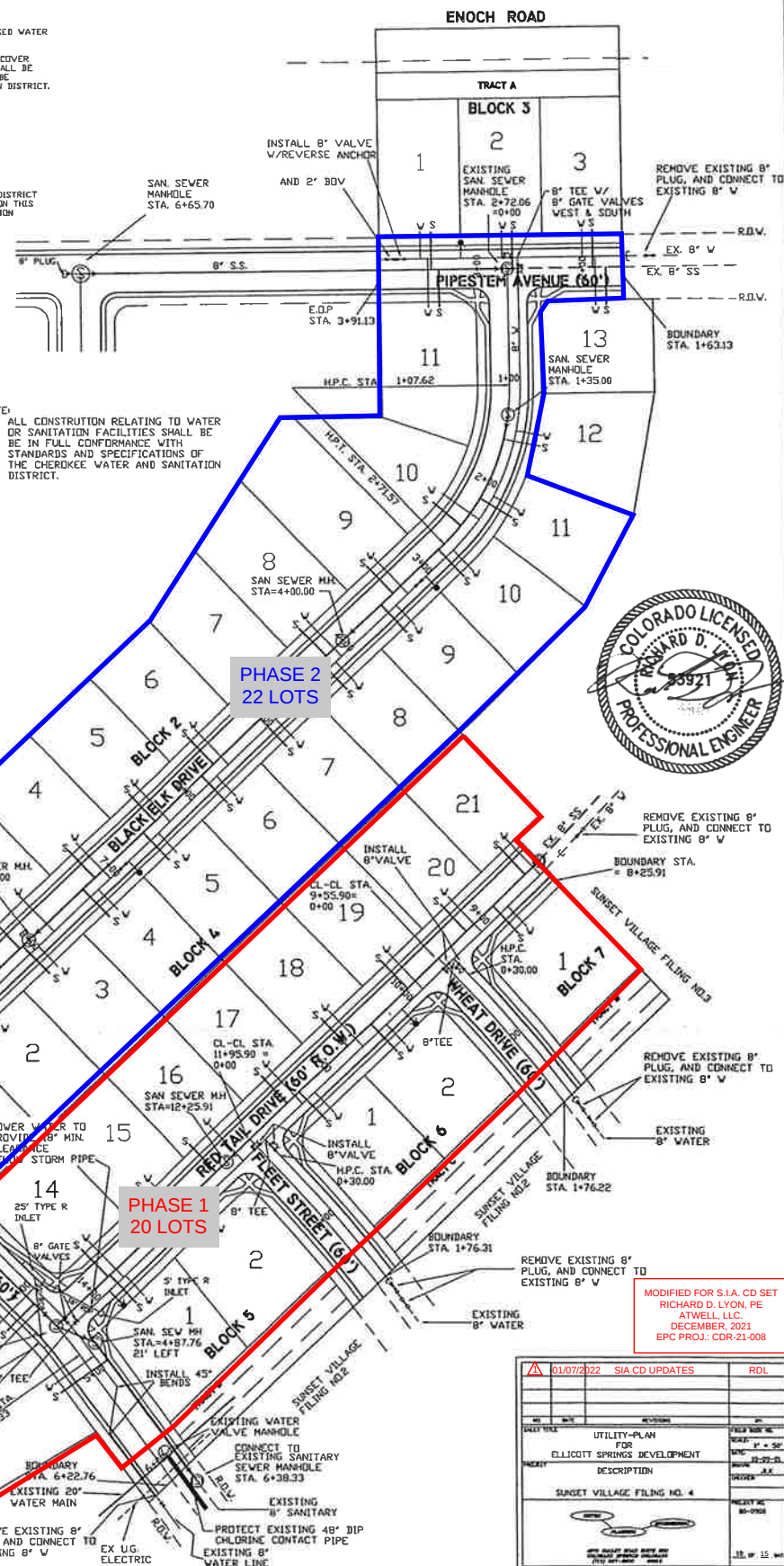
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THIS SHEET IS NOT WITHIN SCOPE OF WORK FOR SUNSET VILLAGE FIL. 4
SUBDIVISION IMPROVEMENT AGREEMENT

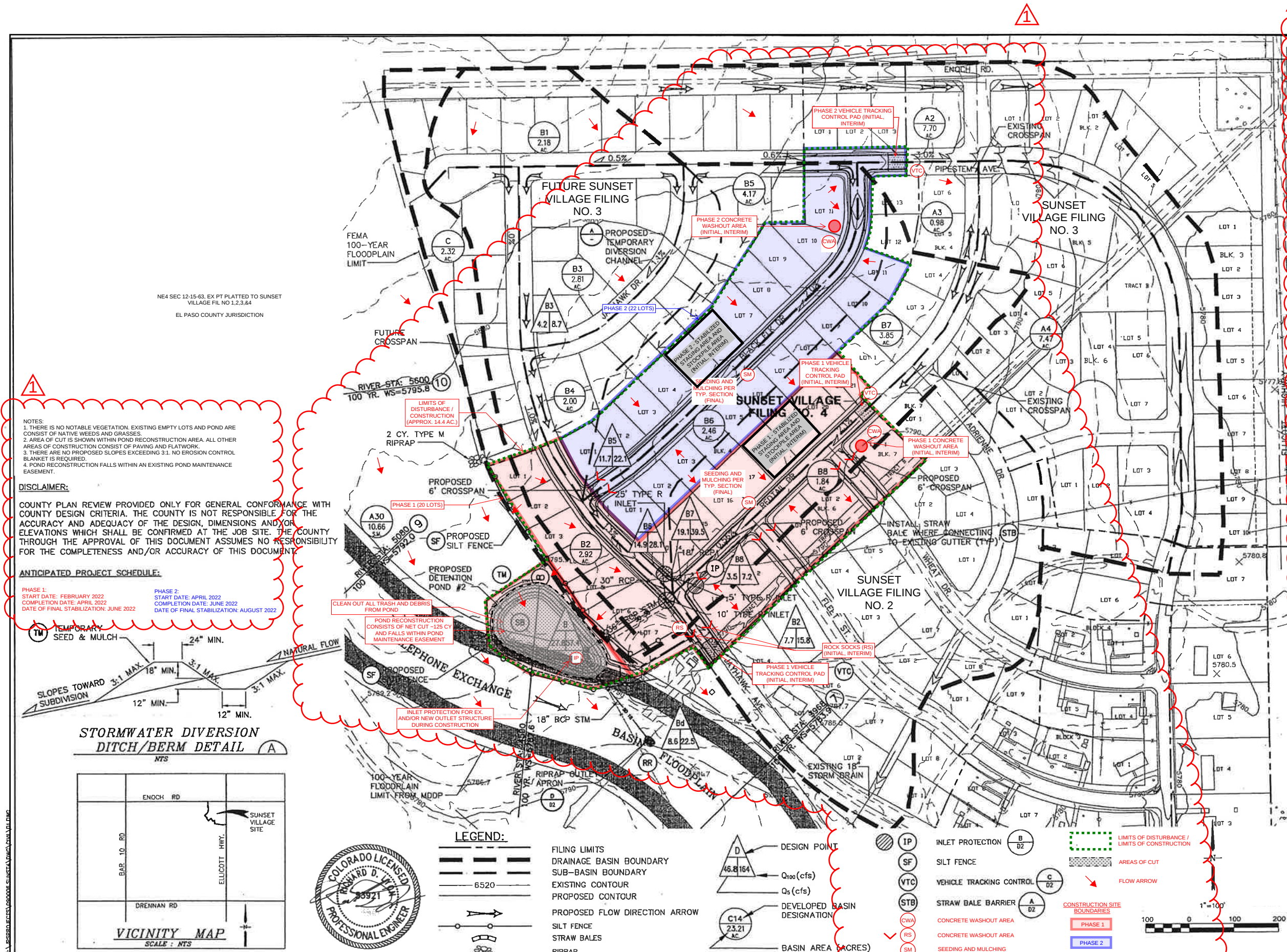




CHEROKEE METROPOLITAN DISTRICT



A 01/07/2022 SIA CD UPDATES RDL	
DATE TIME AC/PHONE FIELD NO. DATE: 1-1-22 TIME: 12-22 PM UTILITY-PLAN FOR ELLICOTT SPRINGS DEVELOPMENT INVEST DESCRIPTION DRAWN SUNSET VILLAGE FILING NO. 4 THIS REPORT WAS MADE BY MICHAEL PUGH (PH) 410-486-1100 REVIEW AC AC/PHONE	

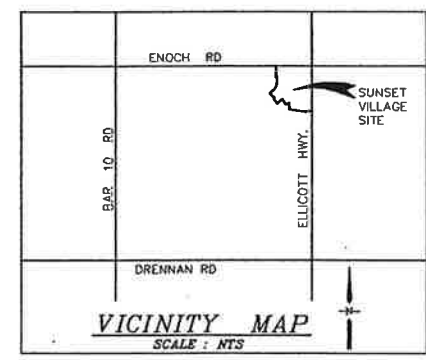


NOTES:
1. THERE IS NO NOTABLE VEGETATION. EXISTING EMPTY LOTS AND POND ARE CONSIST OF NATIVE WEEDS AND GRASSES.
2. AREA OF CUT IS SHOWN WITHIN POND RECONSTRUCTION AREA. ALL OTHER AREAS OF CONSTRUCTION CONSIST OF PAVING AND FLATWORK.
3. THERE ARE NO PROPOSED SLOPES EXCEEDING 3:1. NO EROSION CONTROL BLANKET IS REQUIRED.
4. POND RECONSTRUCTION FALLS WITHIN AN EXISTING POND MAINTENANCE EASEMENT.

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ANTICIPATED PROJECT SCHEDULE:
PHASE 1: START DATE: FEBRUARY 2022
COMPLETION DATE: APRIL 2022
DATE OF FINAL STABILIZATION: JUNE 2022
PHASE 2: START DATE: APRIL 2022
COMPLETION DATE: JUNE 2022
DATE OF FINAL STABILIZATION: AUGUST 2022

STORMWATER DIVERSION DITCH/BERM DETAIL
NTS



LEGEND:

- FILING LIMITS
- DRAINAGE BASIN BOUNDARY
- SUB-BASIN BOUNDARY
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED FLOW DIRECTION ARROW
- SILT FENCE
- STRAW BALES
- RIPRAP

- DESIGN POINT
- Q₁₀₀ (cfs)
- Q₅ (cfs)
- DEVELOPED BASIN DESIGNATION
- BASIN AREA (ACRES)

- INLET PROTECTION
- SILT FENCE
- VEHICLE TRACKING CONTROL
- STRAW BALE BARRIER
- CONCRETE WASHOUT AREA
- CONCRETE WASHOUT AREA
- SEEDING AND MULCHING

- LIMITS OF DISTURBANCE / LIMITS OF CONSTRUCTION
- AREAS OF CUT
- FLOW ARROW
- CONSTRUCTION SITE BOUNDARIES
- PHASE 1
- PHASE 2

STANDARD NOTES FOR EL PASO COUNTY GRADING AND EROSION CONTROL PLANS

- Stormwater discharges from construction sites shall not cause or threaten to cause pollution, contamination, or degradation of State Waters. All work and earth disturbance shall be done in a manner that minimizes pollution of any on-site or off-site waters, including wetlands.
- Notwithstanding anything depicted in these plans in words or graphic representation, all design and construction related to roads, storm drainage and erosion control shall conform to the standards and requirements of the most recent version of the relevant adopted El Paso County standards, including the Land Development Code, the Engineering Criteria Manual, the Drainage Criteria Manual, and the Drainage Criteria Manual Volume 2. Any deviations from regulations and standards must be requested, and approved, in writing.
- A separate Stormwater Management Plan (SWMP) for this project shall be completed and an Erosion and Stormwater Quality Control Permit (ESQCP) issued prior to commencing construction. Management during construction is the responsibility of the designated Qualified Stormwater Manager or Certified Erosion Control Inspector. The SWMP shall be located on-site at all times during construction and shall be kept up to date with work progress and changes in the field.
- Once the ESQCP is approved and a "Notice to Proceed" has been issued, the contractor may install the initial stage erosion and sediment control measures as indicated on the approved GEC.
- A Preconstruction Meeting between the contractor, engineer, and El Paso County will be held prior to any construction. It is the responsibility of the applicant to coordinate the meeting time and place with County staff.
- Control measures must be installed prior to commencement of activities that could contribute pollutants to stormwater. Control measures for all slopes, channels, ditches, and disturbed land areas shall be installed immediately upon completion of the disturbance.
- All temporary sediment and erosion control measures shall be maintained and remain in effective operating condition until permanent soil erosion control measures are implemented and final stabilization is established. All persons engaged in land disturbance activities shall assess the adequacy of control measures at the site and identify if changes to those control measures are needed to ensure the continued effective performance of the control measures. All changes to temporary sediment and erosion control measures must be incorporated into the Stormwater Management Plan.
- Temporary stabilization shall be implemented on disturbed areas and stockpiles where ground disturbing construction activity has permanently ceased or temporarily ceased for longer than 14 days.
- Final stabilization must be implemented at all applicable construction sites. Final stabilization is achieved when all ground disturbing activities are complete and all disturbed areas either have a uniform vegetative cover with individual plant density of 70 percent of pre-disturbance levels established or equivalent permanent alternative stabilization method is implemented. All temporary sediment and erosion control measures shall be removed upon final stabilization and before permit closure.
- All permanent stormwater management facilities shall be installed as designed in the approved plans. Any proposed changes that affect the design or function of permanent stormwater management structures must be approved by the ECM Administrator prior to implementation.
- Earth disturbances shall be conducted in such a manner so as to effectively minimize accelerated soil erosion and resulting sedimentation. All disturbances shall be designed, constructed, and completed so that the exposed area of any disturbed land shall be limited to the shortest practical period of time. Pre-existing vegetation shall be protected and maintained within 50 horizontal feet of a waters of the state unless shown to be infeasible and specifically requested and approved.
- Compaction of soil must be prevented in areas designated for infiltration control measures or where final stabilization will be achieved by vegetative cover. Areas designated for infiltration control measures shall also be protected from sedimentation during construction until final stabilization is achieved. If compaction prevention is not feasible due to site constraints, all areas designated for infiltration and vegetation control measures must be loosened prior to installation of the control measures.
- Any temporary or permanent facility designed and constructed for the conveyance of stormwater around, through, or from the earth disturbance area shall be a stabilized conveyance designed to minimize erosion and the discharge of sediment off-site.
- Concrete wash water shall be contained and disposed of in accordance with the SWMP. No wash water shall be discharged to or allowed to enter State Waters, including any surface or subsurface storm drainage system or facilities. Concrete washouts shall not be located in an area where shallow groundwater may be present, or within 50 feet of a surface water body, creek or stream. During dewatering operations, uncontaminated groundwater may be discharged on-site, but shall not leave the site in the form of surface runoff unless an approved State dewatering permit is in place.
- Erosion control blanketing or other protective covering shall be used on slopes steeper than 3:1.
- Contractor shall be responsible for the removal of all wastes from the construction site for disposal in accordance with local and State regulatory requirements. No construction debris, tree slash, building materials or unused building materials shall be buried, dumped, or discharged at the site.
- Waste materials shall not be temporarily placed or stored in the street, alley, or other public way, or in accordance with approved Traffic Control Plan. Control measures may be required by El Paso County Engineering if deemed necessary, based on specific conditions and circumstances.
- Tracking of soils and construction debris off-site shall be minimized. Materials tracked off-site shall be cleaned up and properly disposed of immediately.
- The owner/contractor shall be responsible for the removal of all construction debris, dirt, trash, rock, sediment, soil, and sand that may accumulate in roads, storm drains and other drainage conveyance systems and stormwater apertures as a result of site development.
- The quantity of materials stored on the project site shall be limited, as much as practical, to that quantity required to perform the work in an orderly sequence. All materials stored on-site shall be stored in a neat, orderly manner, in their original containers, with original manufacturer's labels.
- No chemical(s) having the potential to be released in stormwater are to be stored or used on-site unless permission for the use of such chemical(s) is granted in writing by the ECM Administrator. In granting approval for the use of such chemical(s), special conditions and monitoring may be required.
- Bulk storage of allowed petroleum products or other allowed liquid chemicals in excess of 55 gallons shall require adequate secondary containment protection to contain all spills on-site and to prevent any spilled materials from entering State Waters, any surface or subsurface storm drainage system or other facilities.
- No person shall cause the impediment of stormwater flow in the curb and gutter or ditch except with approved sediment control measures.
- Owner/contractor and their agents shall comply with the "Colorado Water Quality Control Act" (Title 25, Article 8, CRS), and the "Clean Water Act" (33 USC 1344), in addition to the requirements of the Land Development Code, DCM Volume II and the ECM Appendix I. All appropriate permits must be obtained by the contractor prior to construction (1041, NPDES, Floodplain, 404, fugitive dust, etc.). In the event of conflicts between these requirements and other laws, rules, or regulations of other Federal, State, local, or County agencies, the most restrictive laws, rules, or regulations shall apply.
- All construction traffic must enter/exit the site only at approved construction access points.
- Prior to construction the permittee shall verify the location of existing utilities.
- A water source shall be available on-site during earthwork operations and shall be utilized as required to minimize dust from earthwork equipment and wind.
- The soils report for this site has been prepared by [\[soils report engineer name\]](#) and shall be considered a part of these plans.
- At least ten (10) days prior to the anticipated start of construction, for projects that will disturb one (1) acre or more, the owner or operator of construction activity shall submit a permit application for stormwater discharge to the Colorado Department of Public Health and Environment, Water Quality Division. The application contains certification of completion of a stormwater management plan (SWMP), of which this Grading and Erosion Control Plan may be a part. For information or application materials contact:
Colorado Department of Public Health and Environment
Water Quality Control Division
WQCD - Permits
4300 Cherry Creek Drive South
Denver, CO 80246-1530
Attn: Permits Unit

SUNSET VILLAGE FILING 4

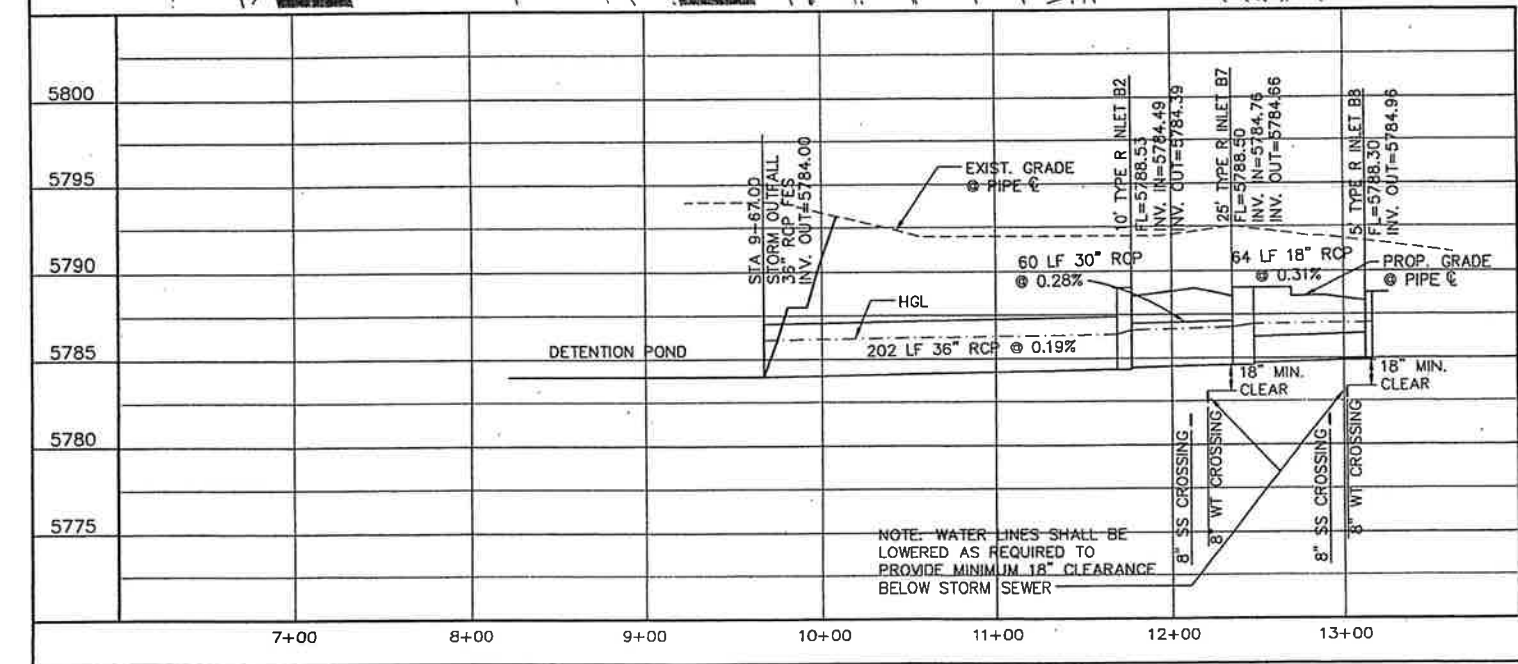
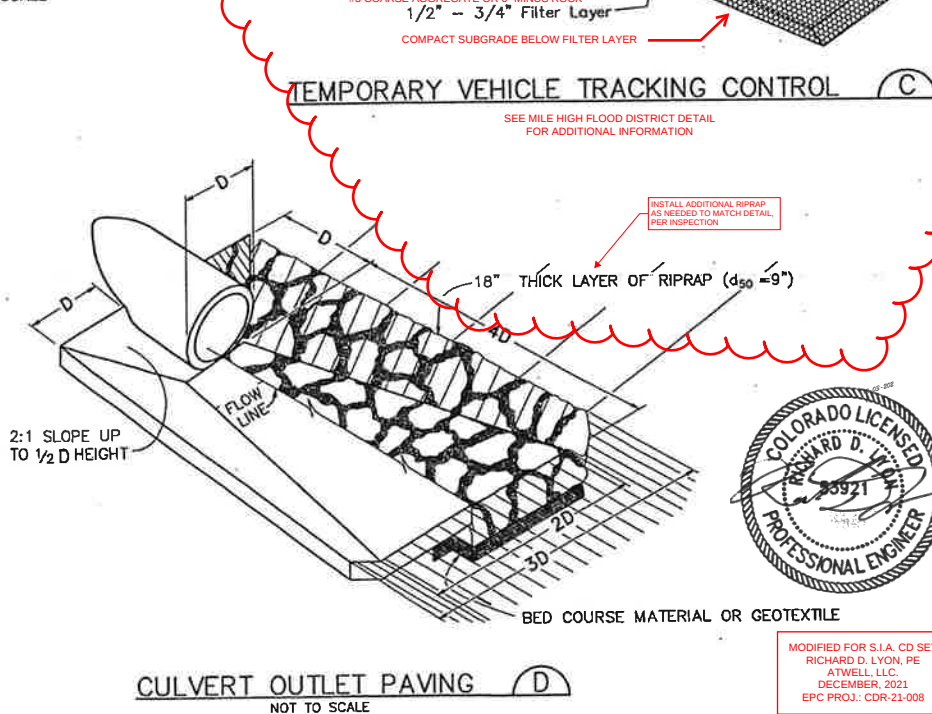
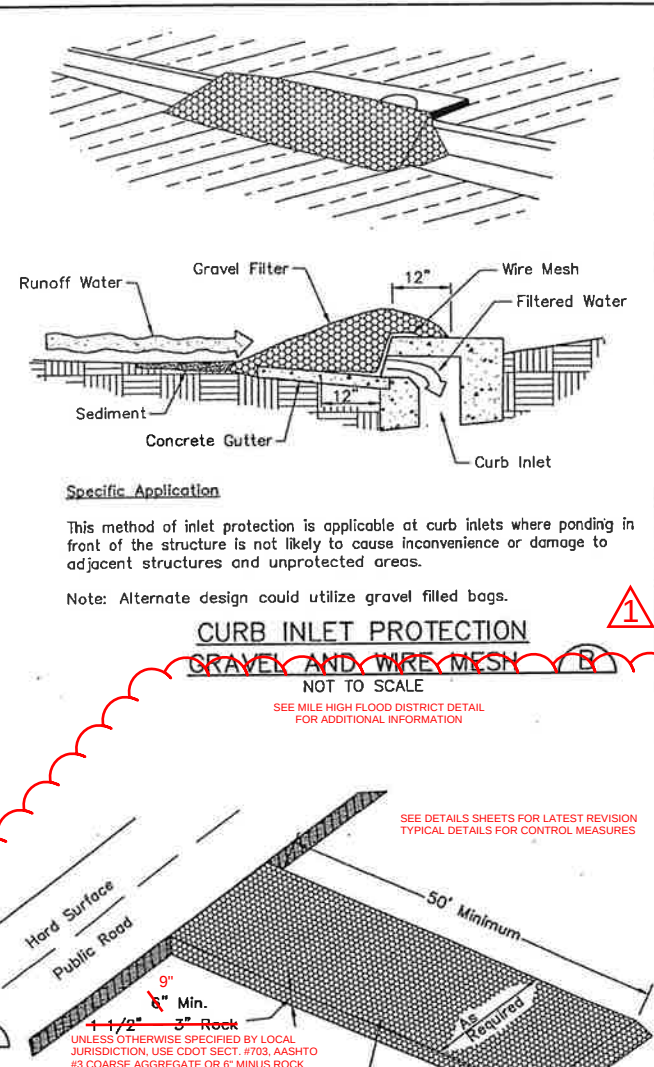
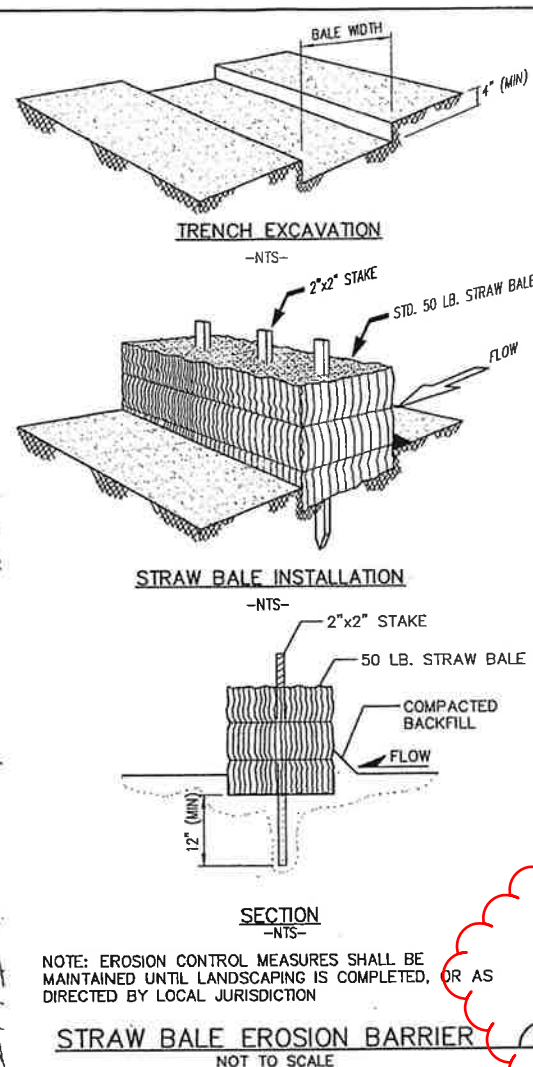
GRADING AND EROSION CONTROL PLAN

HORIZ. SCALE: 1"=100'
VERT. SCALE: 1"=10'
SURVEYED: [DATE]
CREATED: 11/16/00
PROJECT NO: 090006
SHEET: []

DESIGNED: [NAME]
CHECKED: [NAME]
LAST MODIFIED: 10/11/01
MODIFIED BY: [NAME]

REVISION 1: 01/07/2022
MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2023
EPC PROJ. - CR-21-008

D1



JPS
ENGINEERING

518 N. Nevada Ave.
Suite 303
Colorado Springs, CO
80903

PH: 719-477-9429
FAX: 719-471-0766

SUNSET VILLAGE – FILING NO. 4

STORM DRAIN PLAN & PROFILE

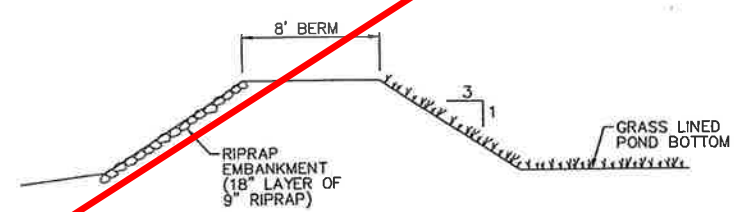
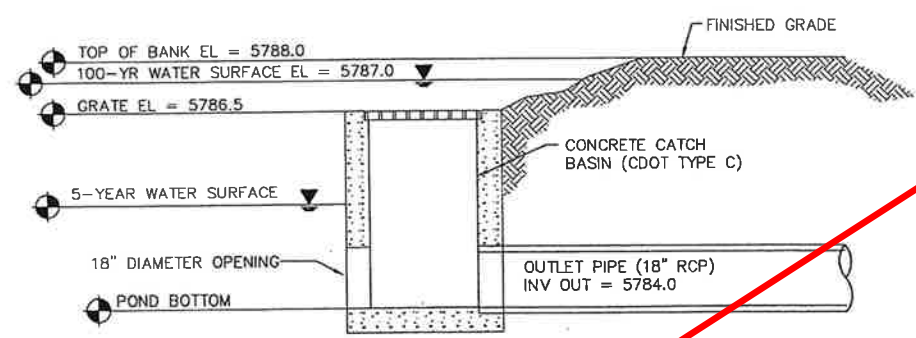
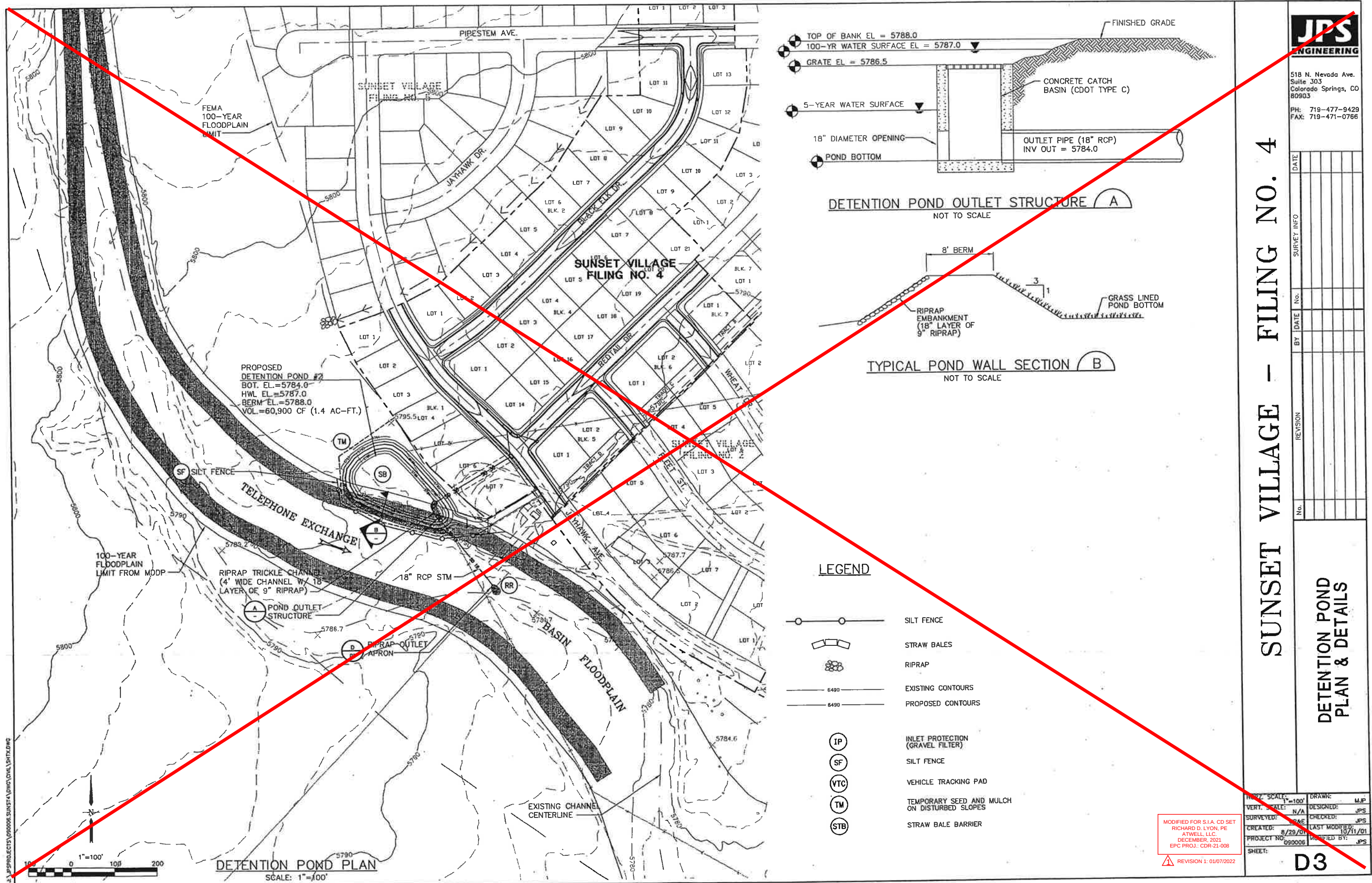
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HORIZ. SCALE:	1"=50'	DRAWN:	MA
VERT. SCALE:	1"=5'	DESIGNED:	JP
SURVEYED:	UP&E	CHECKED:	JP
CREATED:	2/26/01	LAST MODIFIED:	10/11/01
PROJECT NO:	090006	MODIFIED BY:	JP
SHEET:			

D2

MODIFIED FOR S.I.A. CD SE
RICHARD D. LYON, PE
ATWELL, LLC.
DECEMBER, 2021
EPC PROJ.: CDR-21-008

1 REVISION 1: 01/07/202



- LEGEND**
- SILT FENCE
 - STRAW BALES
 - RIPRAP
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - INLET PROTECTION (GRAVEL FILTER)
 - SILT FENCE
 - VEHICLE TRACKING PAD
 - TEMPORARY SEED AND MULCH ON DISTURBED SLOPES
 - STRAW BALE BARRIER

JPS ENGINEERING
518 N. Nevada Ave.
Suite 303
Colorado Springs, CO 80903
PH: 719-477-9429
FAX: 719-471-0766

SUNSET VILLAGE - FILING NO. 4

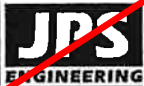
**DETENTION POND
PLAN & DETAILS**

PROJECT NO.	090006	DATE	12/11/01
DESIGNED BY	JPS	CHECKED BY	JPS
LAST MODIFIED BY	JPS	MODIFIED BY	JPS

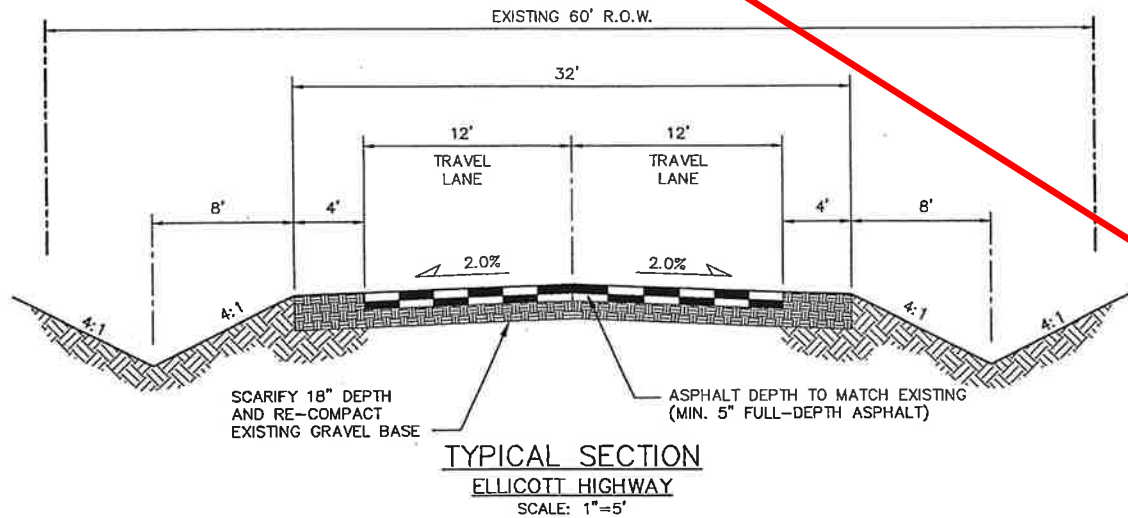
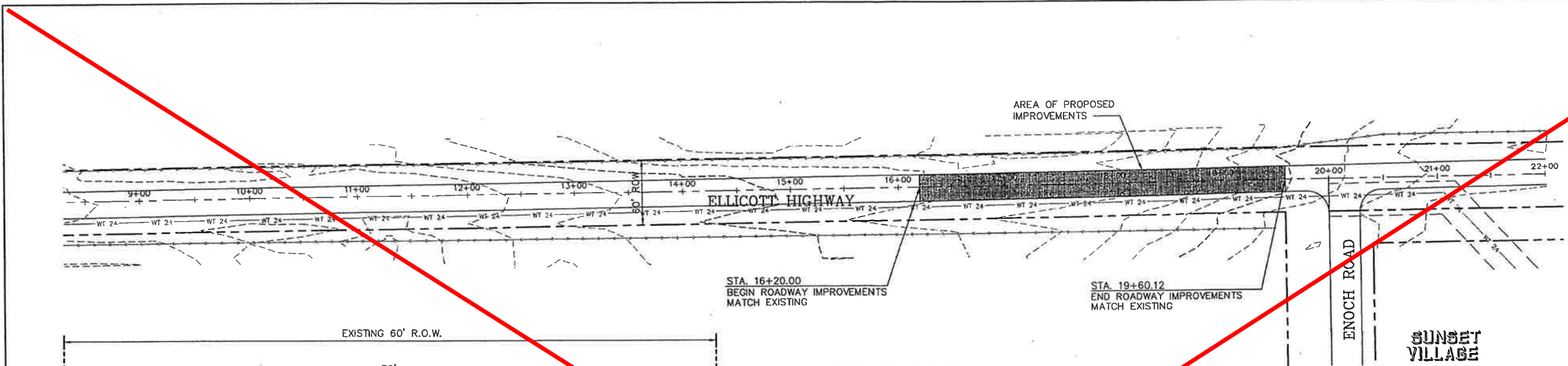
MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008

REVISION 1: 01/07/2022

THIS SHEET IS NOT WITHIN SCOPE OF WORK FOR SUNSET VILLAGE FIL. 4
SUBDIVISION IMPROVEMENT AGREEMENT

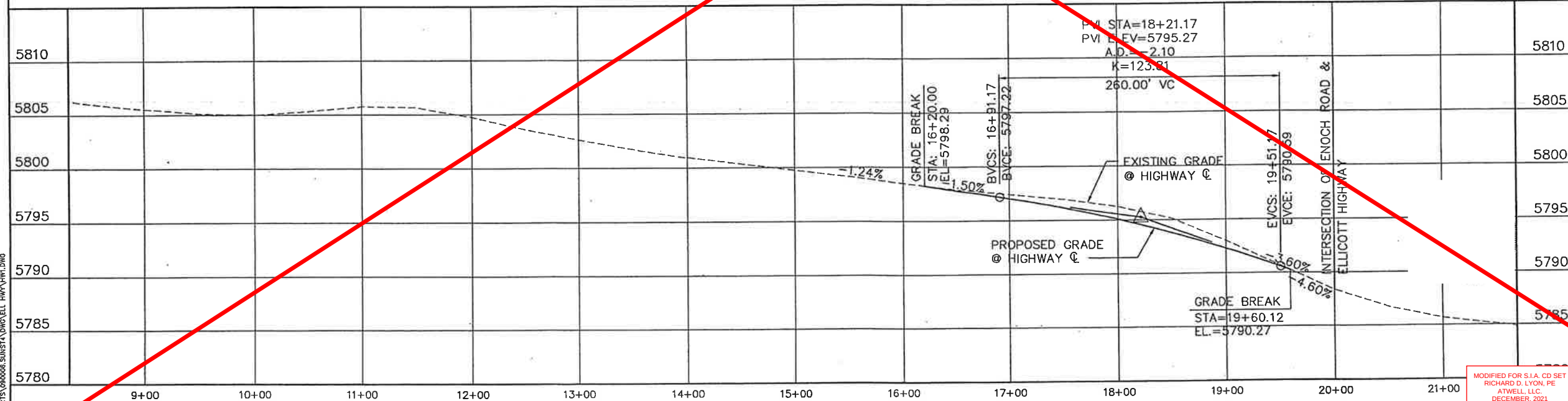
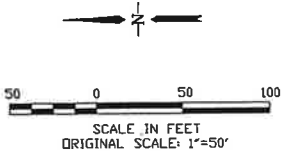


518 N. Nevada Ave.
Suite 303
Colorado Springs, CO
80903
PH: 719-477-9429
FAX: 719-471-0766



GENERAL NOTES

1. CONFORM TO EL PASO COUNTY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
2. THE CONTRACTOR SHALL CONTACT ALL UTILITIES FOR LOCATIONS TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AS A RESULT OF HIS ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF THE UTILITY.
4. CONTRACTOR SHALL SUBMIT DETAILED TRAFFIC CONTROL PLANS AND OBTAIN PERMITS AS REQUIRED BY EL PASO COUNTY.
5. PROVIDE REQUIRED SIGNING AND TRAFFIC CONTROL DEVICES MEETING MUTCD, CDOT, AND EL PASO COUNTY STANDARDS.
6. CONTRACTOR SHALL FIELD VERIFY GRADES TO ENSURE POSITIVE DRAINAGE TRANSITION TO ADJACENT PAVEMENT.
7. REMOVE & DISPOSE OF EXISTING ASPHALT WITHIN LIMITS OF PROPOSED WORK.
8. ROADSIDE DITCHES SHALL BE RESTORED TO THE ORIGINAL CONDITION. DITCH RESTORATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
9. NEW PAVEMENT ON ELLICOTT HIGHWAY SHALL BE TAPERED INTO EXISTING PAVEMENT WITH FINE MIX ASPHALT.
10. CONTRACTOR SHALL TAKE CORE SAMPLES ON AN UNDISTURBED SECTION OF ELLICOTT HIGHWAY TO DETERMINE EXISTING ASPHALT AND GRAVEL BASE THICKNESS.



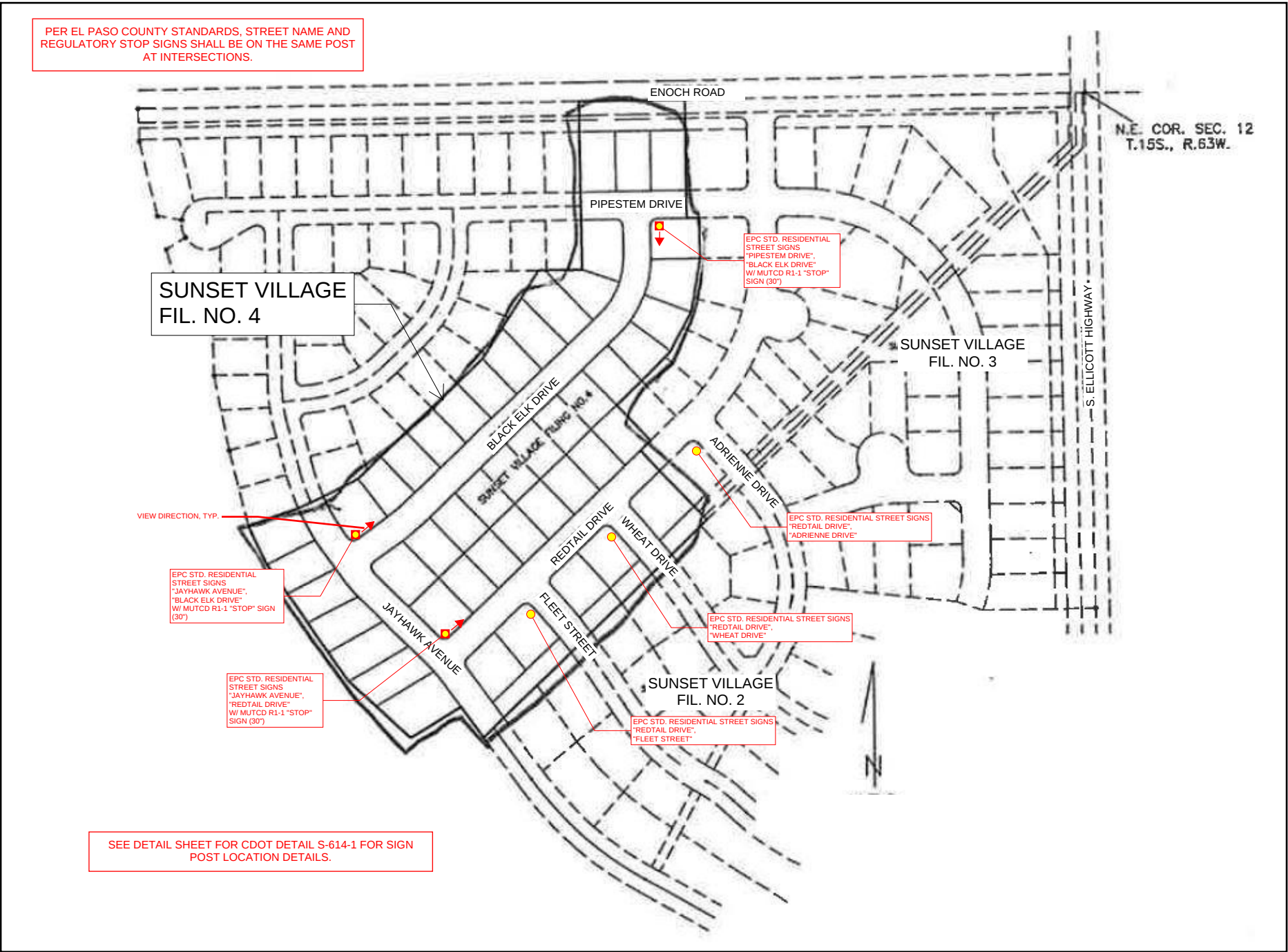
ELLICOTT HIGHWAY

HIGHWAY
IMPROVEMENT PLAN

PROJECT NO.	090006	DATE	7/10/01
PROJECT NAME	SUNSET VILLAGE	DESIGNED BY	MJP
PROJECT LOCATION	CDR-21-008	CHECKED BY	JPS
PROJECT SHEET	HW1	LAST MODIFIED BY	JPS

MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008

REVISION 1: 01/07/2022



PROJECT DESCRIPTION
STRIPING AND SIGNAGE MODIFICATIONS WITHIN SUNSET VILLAGE FILING NO. 4.

GENERAL NOTES
1. THE CONTRACTOR SHALL HAVE A COPY OF ALL APPLICABLE STANDARDS ON SITE FO TEH DURATION OF THE PROJECT.
2. THE CONTRACTOR SHALL ACQUIRE ALL NECESSARY PERMITS AND INSPECTIONS REQUIRED TO COMPLETE THE SCOPE OF WORK PRESENTED HEREIN.

TRAFFIC CONTROL
1. ALL SIGNAGE AND STRIPING SHALL FOLLOW THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", MUTCD, CURRENT EDITION, AND ALL APPLICABLE CDOT M&S STANDARDS.
2. THE CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN TEMPORARY TRAFFIC CONTROL DEVICES NECESSARY THROUGHOUT THE DURATION OF CONSTRUCTION IN CONFORMANCE WITH TRAFFIC CONTROL PLANS AND/OR APPROVED MHT.
3. THE TRAFFIC CONTROL SUPERVISOR SHALL COORDINATE CONSTRUCTION ZONE TRAFFIC CONTROL ACTIVITIES WITH ALL APPROPRIATE OFFICIALS.
4. THE CONTRACTOR SHALL MAINTAIN FULL COMPLIANCE PAVEMENT MARKINGS OR APPROVED DECIVES ON THE ROADWAYS DURING ALL PHASES OF THE CONSTRUCTION PERIOD.

EL PASO COUNTY SIGNING AND STRIPING NOTES:
1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.

6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.

7. ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS"

8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.

9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.

10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.

11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.

12. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.

13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.

14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008

REVISION 1: 01/07/2022



SUBDIVISION: SUNSET VILLAGE FIL. NO. 4
SHEET: 15
STRIPING AND SIGNAGE PLAN
EPC PLAN NO. CDR-21-008

Computer File Information
Creation Date: 07/04/12
Created By: KCM
Last Modification Date: 07/31/19
Last Modified By: AVL
CAD Ver.: MicroStation V8 Scale: Not to Scale Units: English

Sheet Revisions
Date: Comments

Colorado Department of Transportation
2829 W. Howard Pl.
Denver, CO 80204
Phone: 303-757-9436
Fax: 303-757-9219
Traffic & Safety Engineering MKB

GROUND SIGN PLACEMENT
Issued By: Traffic & Safety Engineering Branch July 31, 2019

STANDARD PLAN NO.
S-614-1
Standard Sheet No. 1 of 2
Project Sheet Number:

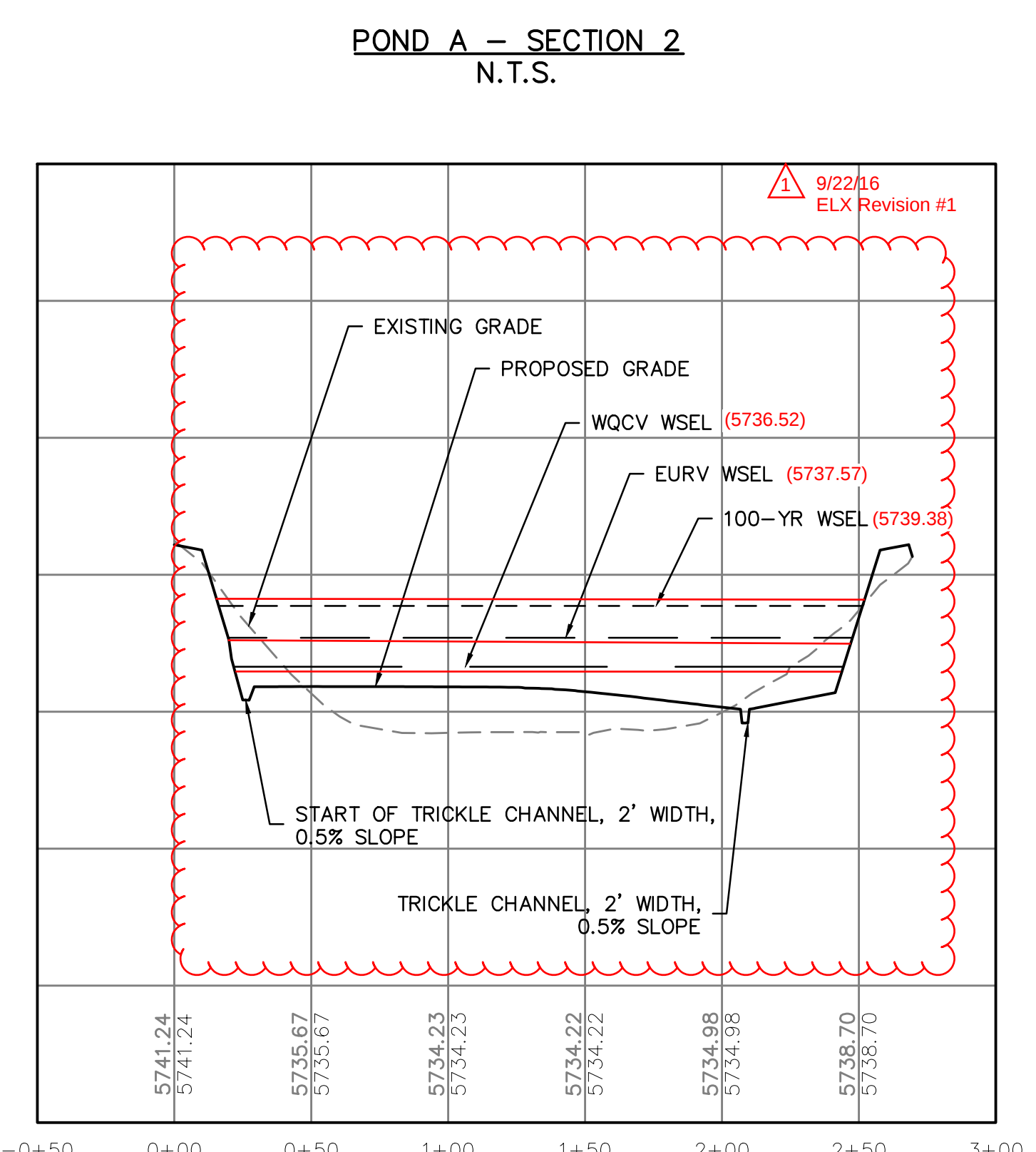
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Creation Date: 07/04/12
Created By: KCM
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Sheet Revisions
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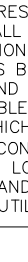
GROUND SIGN PLACEMENT
Issued By: Traffic & Safety Engineering Branch July 31, 2019

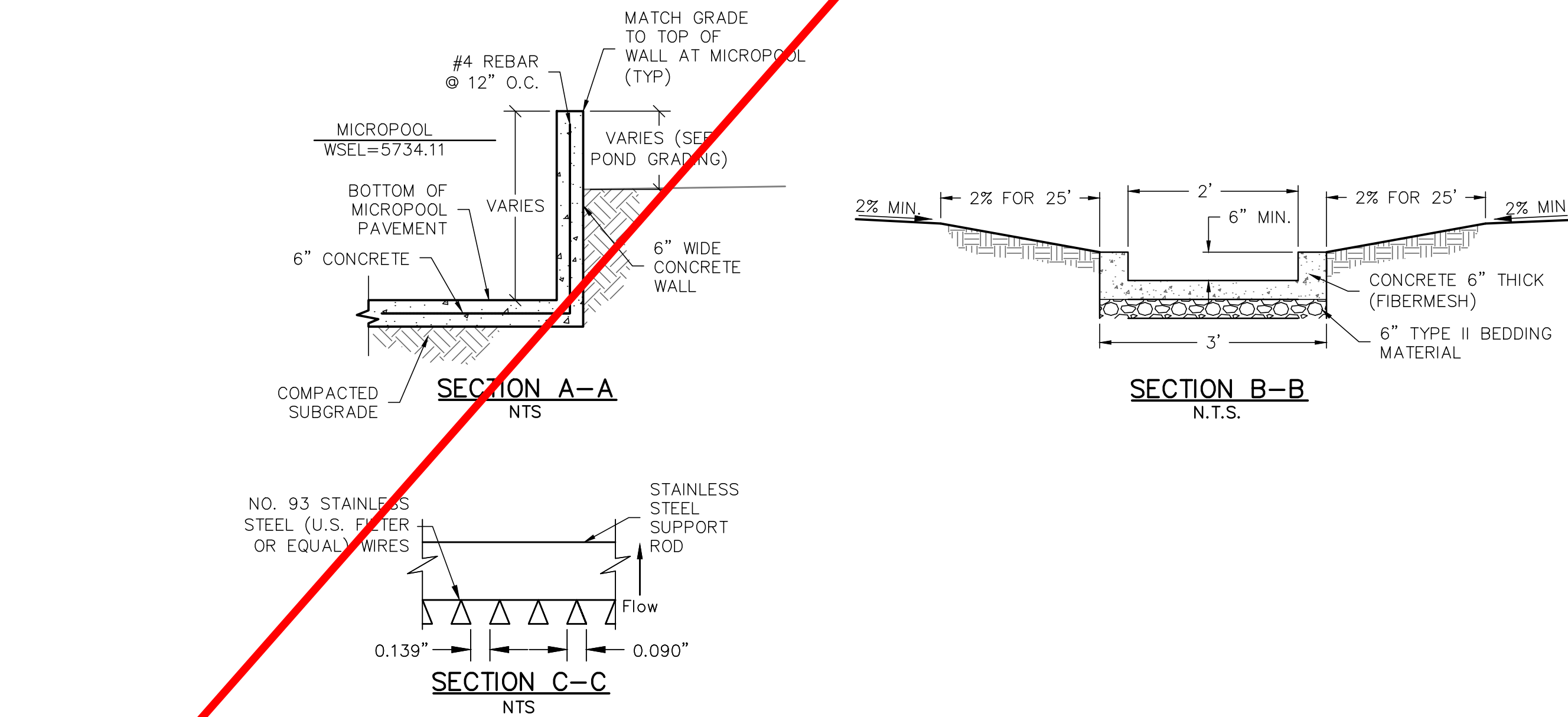
STANDARD PLAN NO.
S-614-1
Standard Sheet No. 2 of 2
Project Sheet Number:



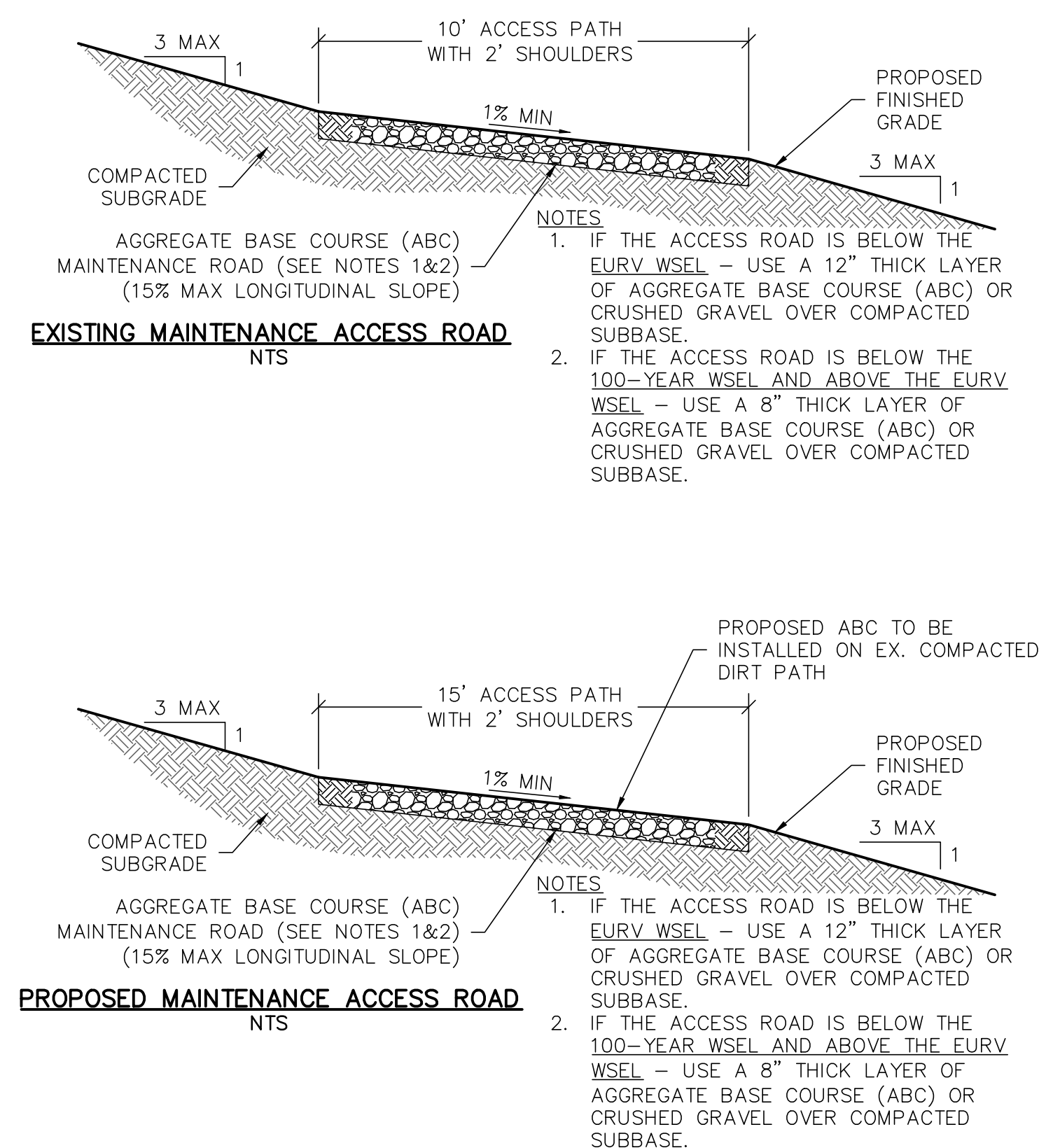
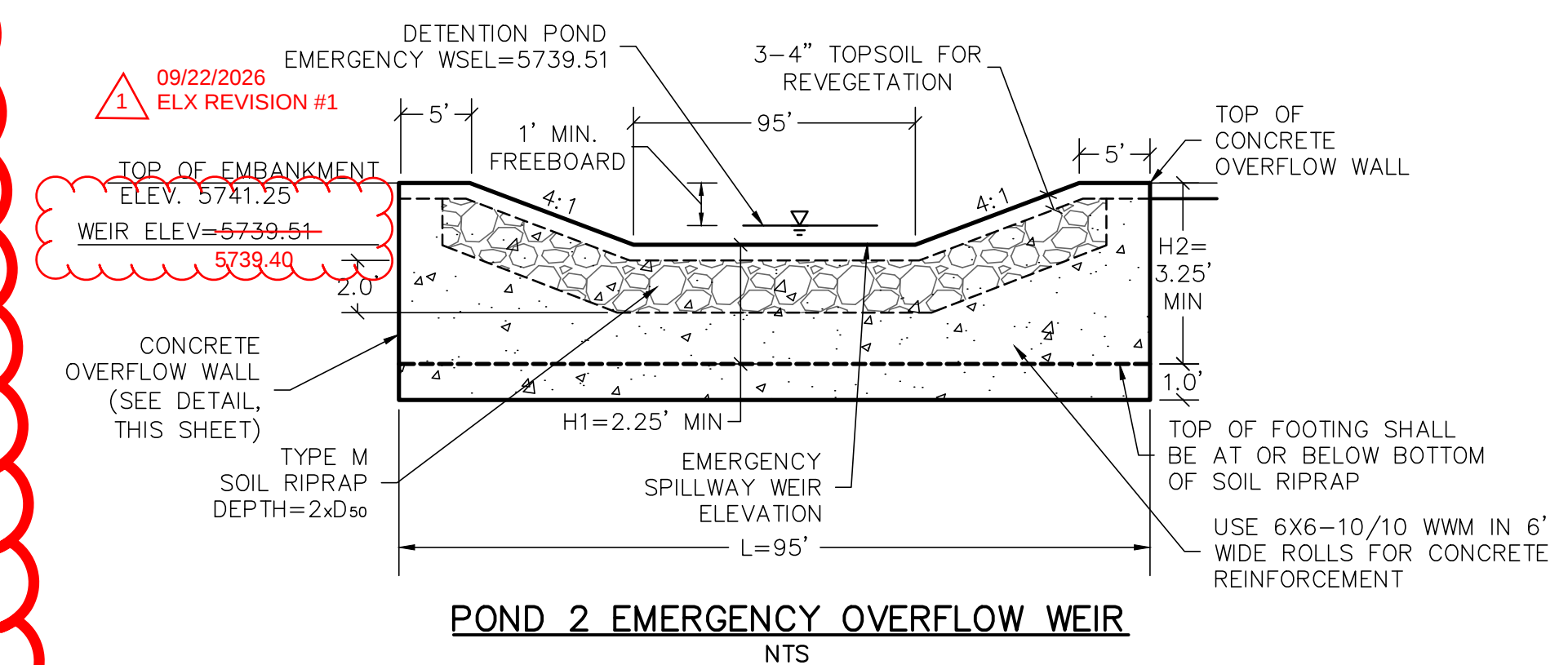
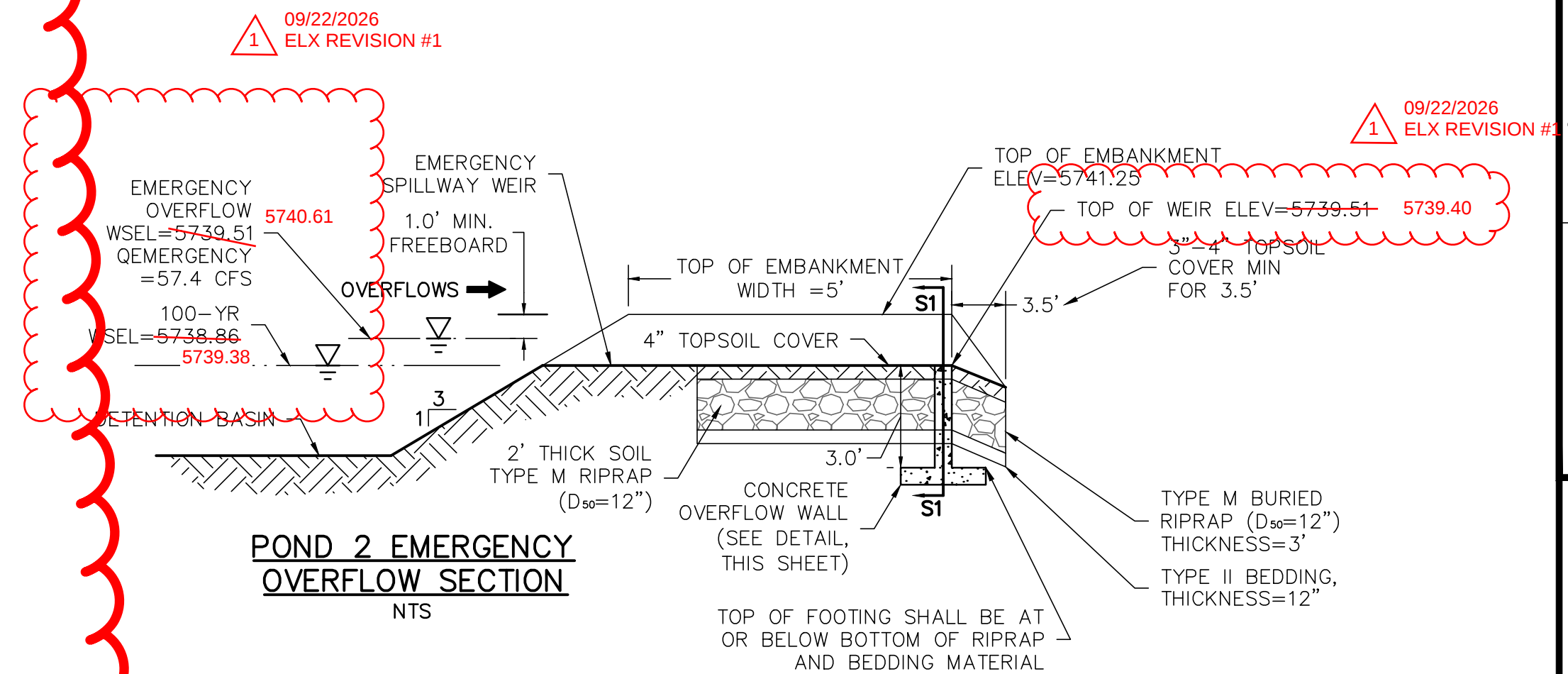
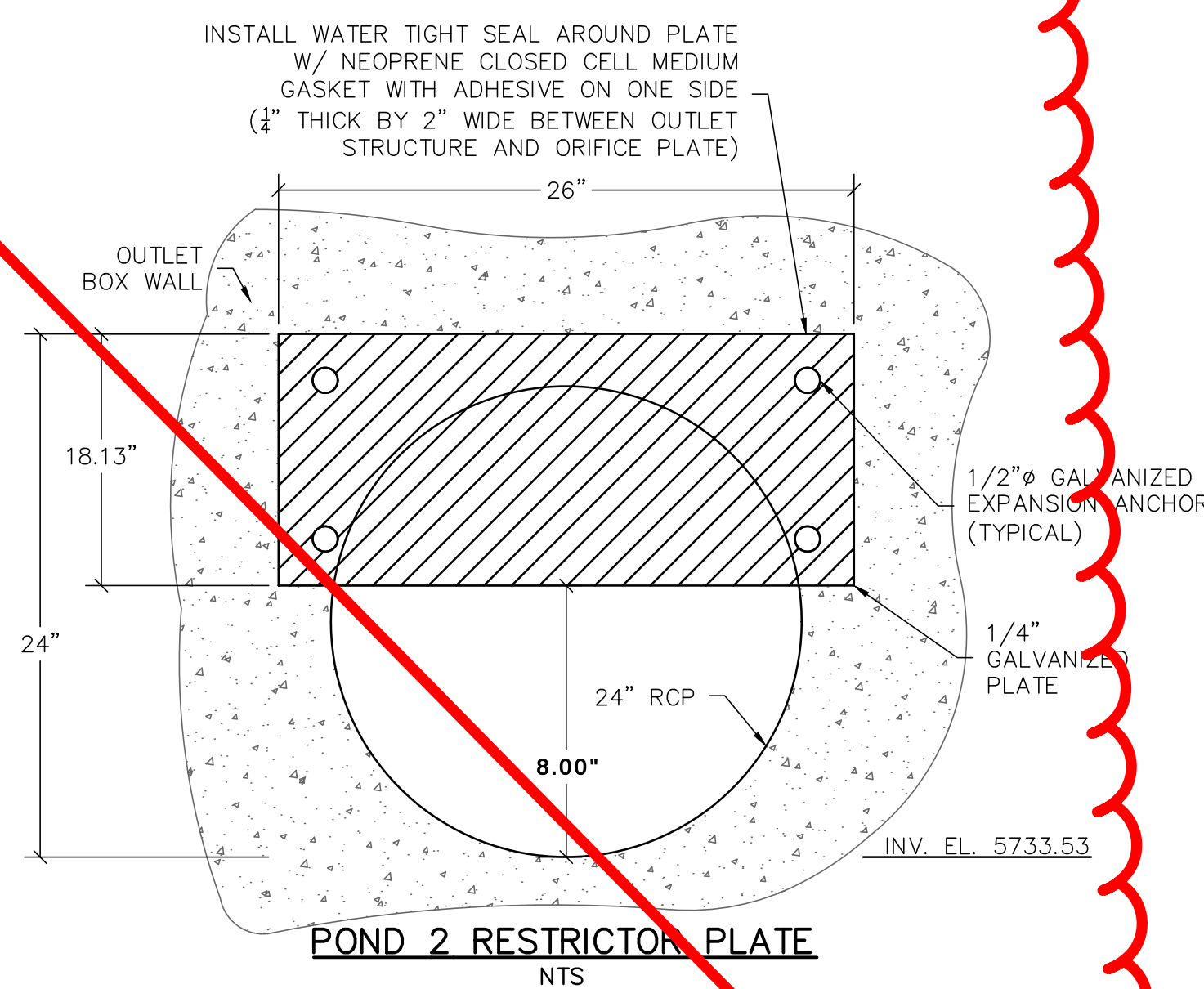
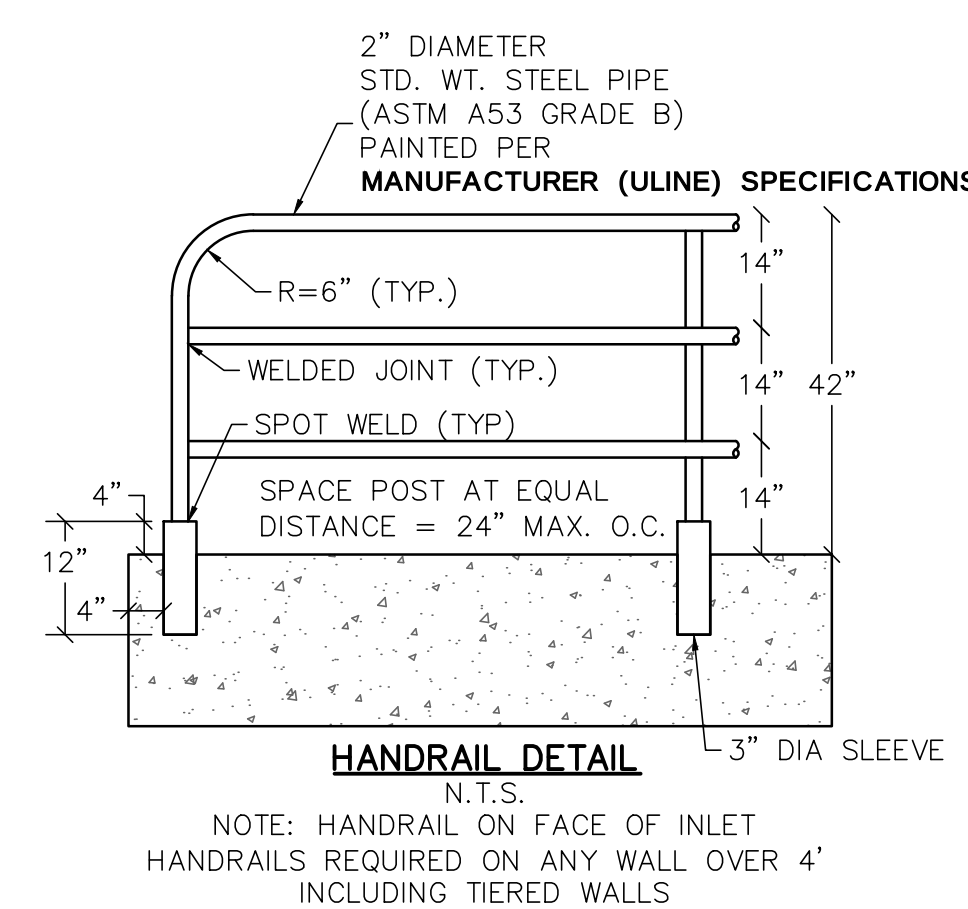
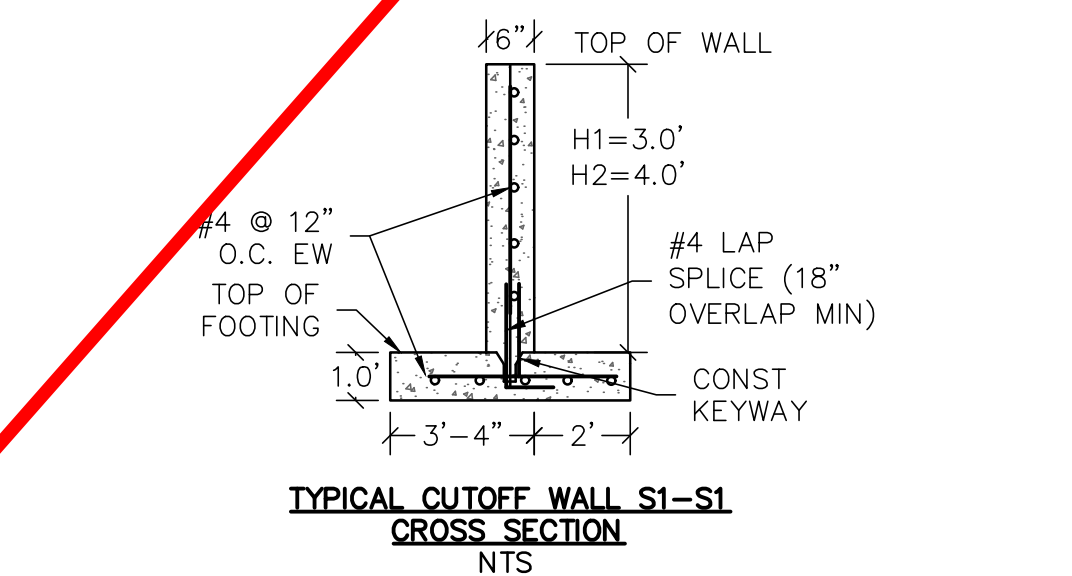
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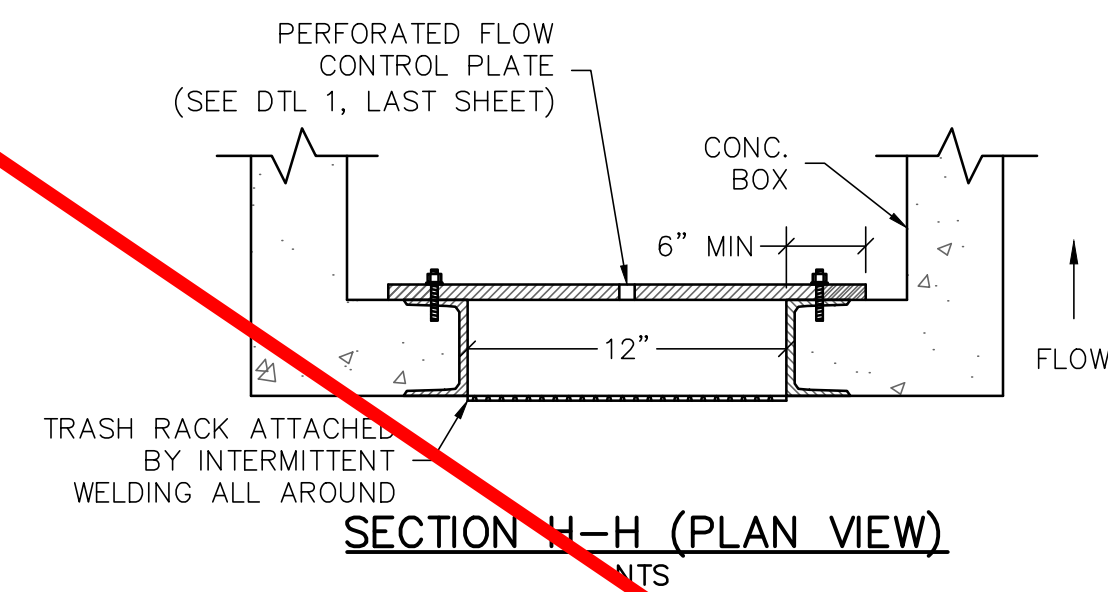
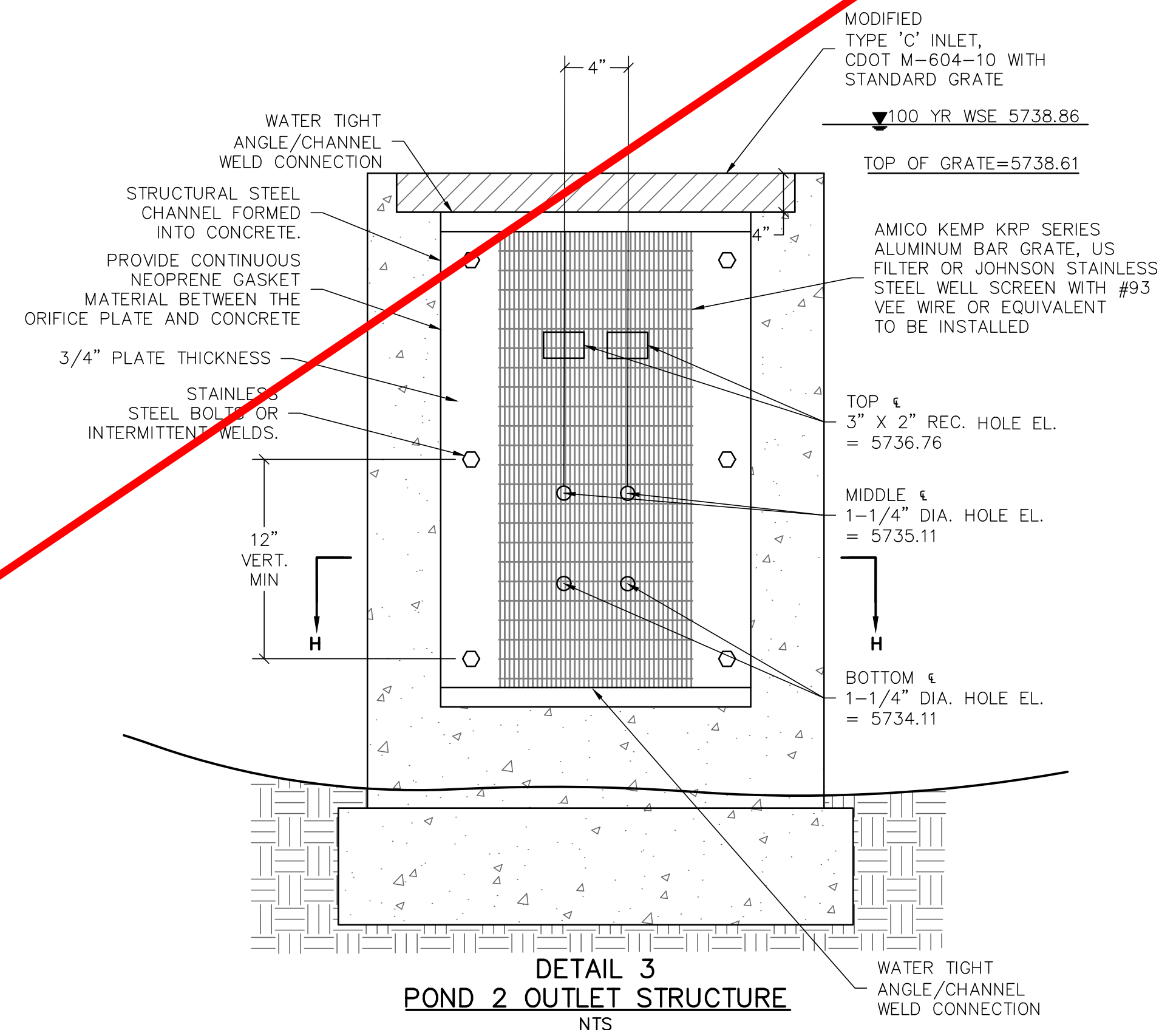
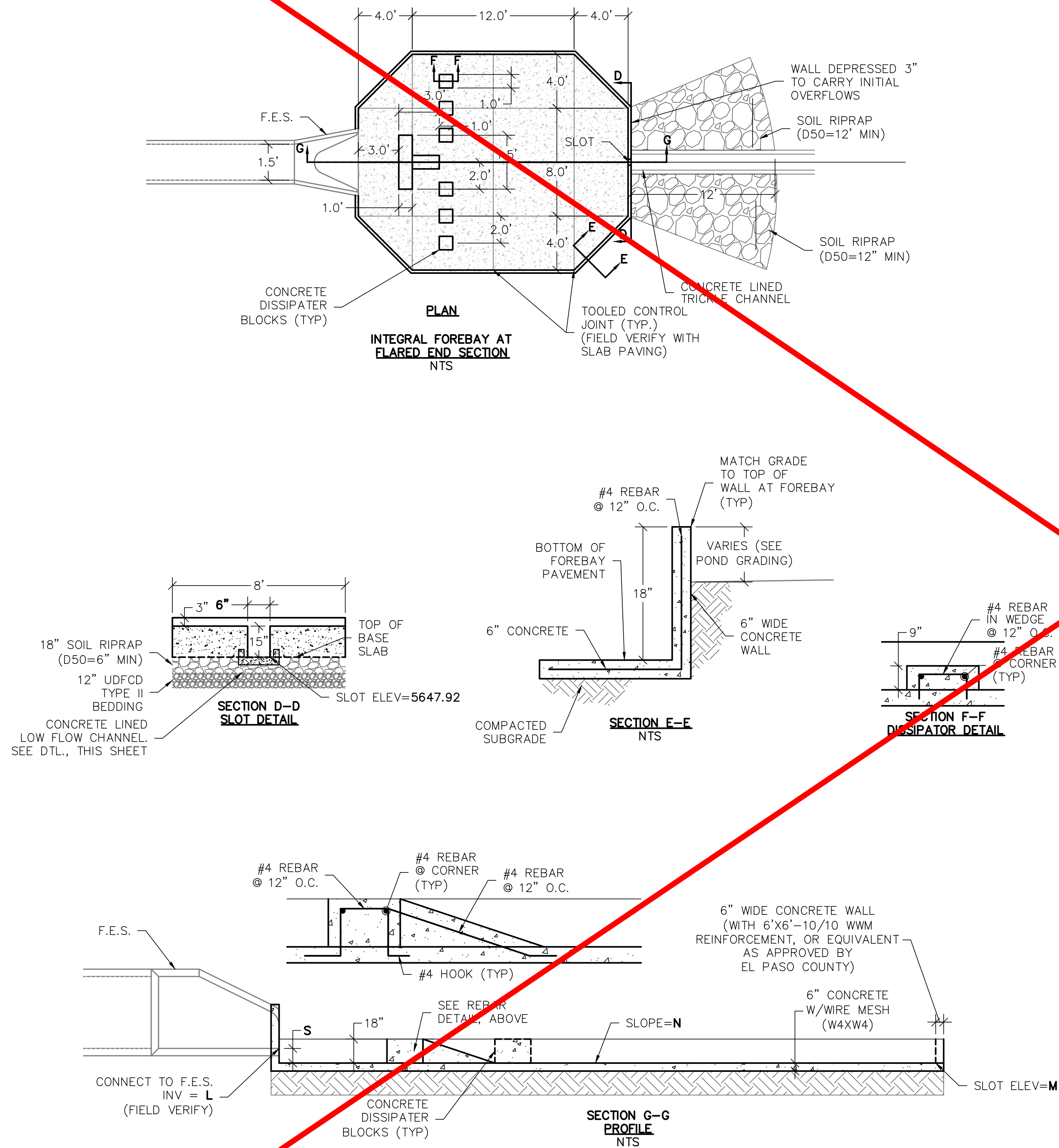
1. THE DEVELOPER SHALL HAVE A LICENSED PROFESSIONAL ENGINEER CERTIFY EACH STORMWATER DETENTION POND AND/OR WATER QUALITY BMP IS BUILT ACCORDING TO THE APPROVED PLANS AND SPECIFICATIONS AND THE REQUIRED DETENTION VOLUME, INCLUDING THE WQCV WHEN USED, IS MET. THE CERTIFICATION SHALL ALSO VERIFY ALL PERTINENT DIMENSIONS, ELEVATIONS, REQUIRED OUTLET ORIFICE PLATES FOR DETENTION AND WQCV AND OTHER PERMANENT BMP'S REQUIREMENTS ARE INSTALLED PER THE APPROVED PLANS AND SPECIFICATIONS AND SHALL SHOW THE AS-BUILT DESIGN VOLUMES (WQCV, 10-YEAR, 100-YEAR, EURV) AND OTHER PERTINENT DIMENSIONS, ELEVATIONS AND CAPACITY REQUIREMENTS ASSOCIATED WITH THE WQ BMP USED. THE CERTIFICATION SHALL BE PROVIDED TO EL PASO COUNTY ENGINEERING. AN APPROVED POND CERTIFICATE SHALL BE REQUIRED PRIOR TO THE RETURN OF ANY FISCAL SECURITY DEPOSIT (AS WELL AS SATISFYING OTHER CONDITIONS OF THE STORMWATER PERMIT) FOR SITES THAT DO NOT REQUIRE A CERTIFICATE OF OCCUPANCY. EXAMPLES OF THESE SITES INCLUDE BUT ARE NOT LIMITED TO: SITES WITHOUT VERTICAL CONSTRUCTION, OIL AND GAS WELL PADS, OUTDOOR STORAGE, AND TOW YARDS. AN APPROVED POND CERTIFICATE SHALL BE REQUIRED PRIOR TO COMMENCEMENT OF BUSINESS OPERATIONS. IN NO CASE SHALL A CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY BE REQUIRED FOR SITES THAT REQUIRE A FISCAL SECURITY DEPOSIT.

 Know what's below. Call before you dig. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS. COPYRIGHT ©2022 ATWELL LLC	
 866.850.4200 www.atwell-group.com 143 UNION BOULEVARD, SUITE 700 LAKEWOOD, CO 80228 303.422.1100	
PUNCHLIST CONNECTIONS LLC 300 WINDCHIME PLACE #301 COLORADO SPRINGS, COLORADO 80919	303.519.5100 SCOTT VAN WYHE
PUNCHLIST CONNECTIONS LLC SUNSET VILLAGE FILING 4 – DRAINAGE EL PASO COUNTY, COLORADO CONSTRUCTION DRAWINGS POND 2	
CLIENT	
DATE	1/7/2022
REVISIONS 	
DR. RDL	CH. RDL
P.M. RDL	
JOB	2100A4166
SHEET NO.	17

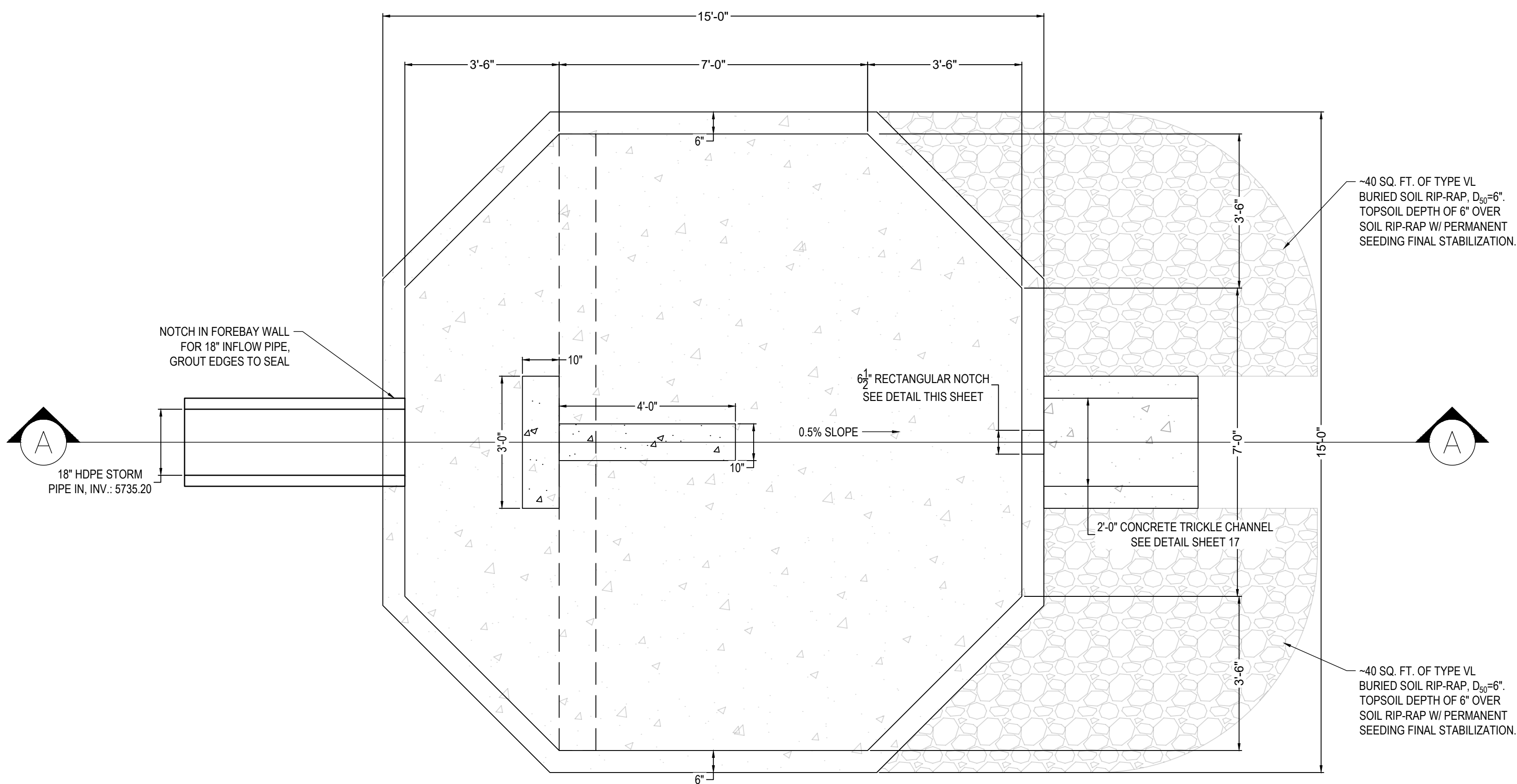


POND SUMMARY TABLE								
DESIGN POINT	POND	TRIBUTARY AREA (AC)	WQCV WSEL	WQCV VOLUME (AC-FT)	EURV	EURV VOLUME (AC-FT)	Qs (CFS)	Q100 (CFS)
B	2	22.23	5736.64	0.303	5737.70	0.480	27.8	57.4

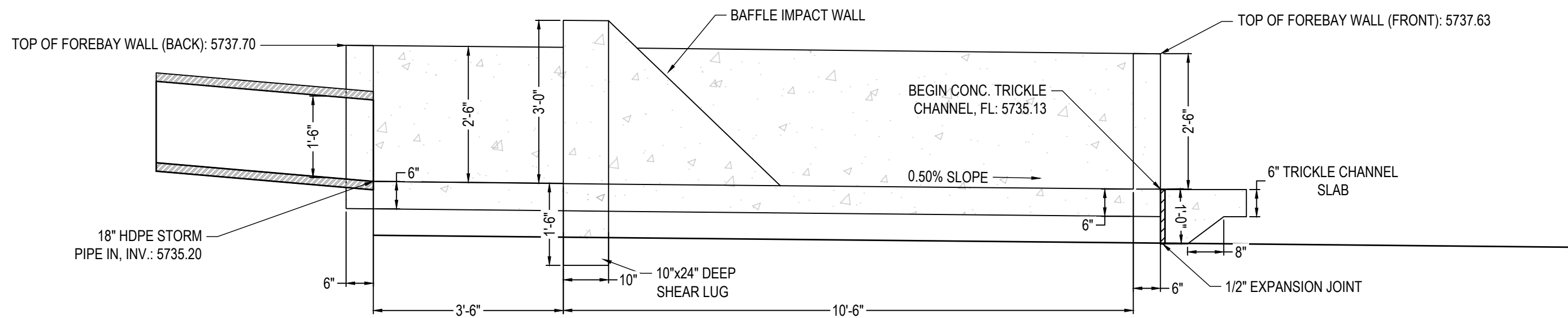




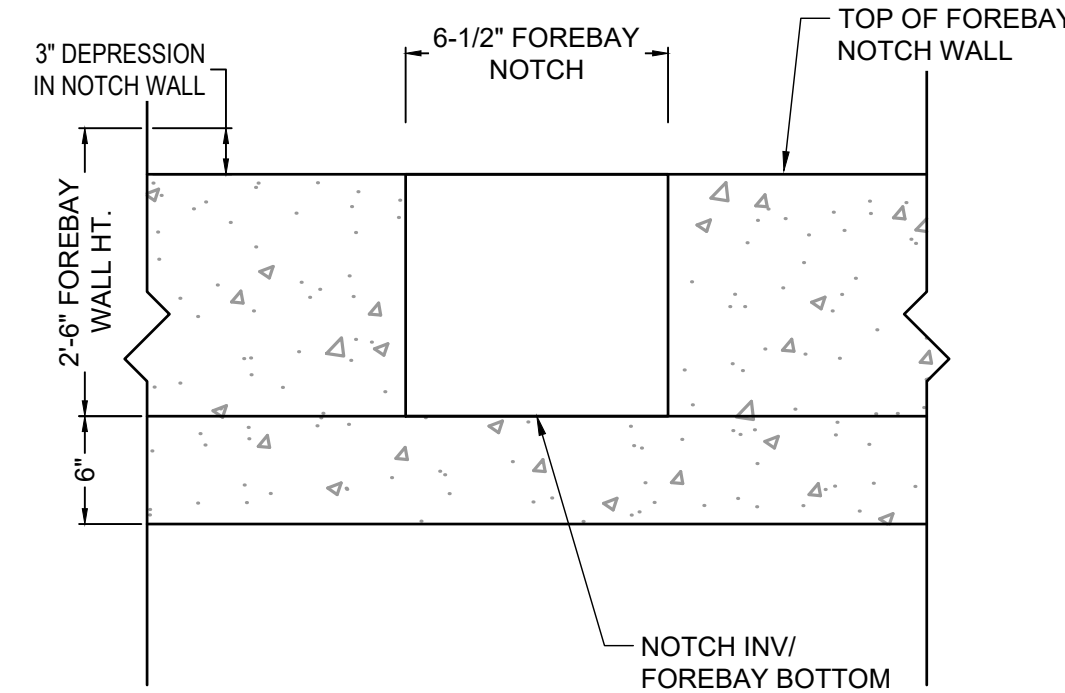
FOREBAY SIZE TABLE						
FOREBAY NAME	PIPE SIZE	L	M	N	S	T
A1	18"	5648.22	5647.92	0.50%	2.5"	6"



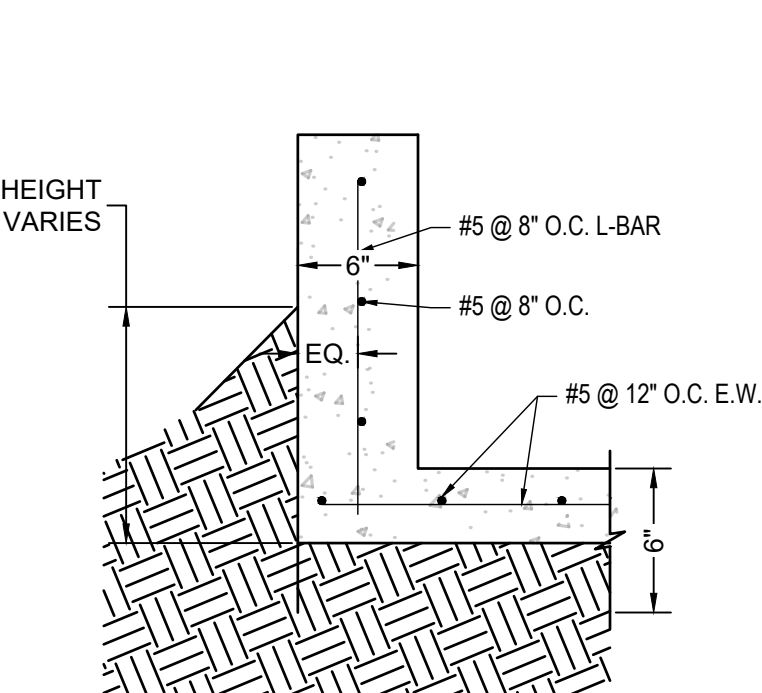
FOREBAY PLAN VIEW
SCALE: 1" = 2'



FOREBAY ELEVATION VIEW
(SECTION A-A)
SCALE: 1" = 2'



FOREBAY NOTCH DETAIL
SCALE: N.T.S.



FOREBAY REINFORCING DETAIL
SCALE: N.T.S.

ELX

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scott@punchlistconnection.com
Habitat Español

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PROJECT NAME:
SUNSET VILLAGE
FILING NO. 4

PROJECT LOCATION:
SUNSET VILLAGE
FILING NO. 4
EL PASO COUNTY, COLORADO

CLIENT:
SCOTT ALLEN HOMES

CONTACT INFO:
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PROFESSIONAL SEAL:

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52048
09/21/2026
SCOTT VAN WYHE

DATE:	DESCRIPTION:
04/04/26	CDR218 REV. 1
09/22/26	CDR218 REV. 2

JOB #: 101544

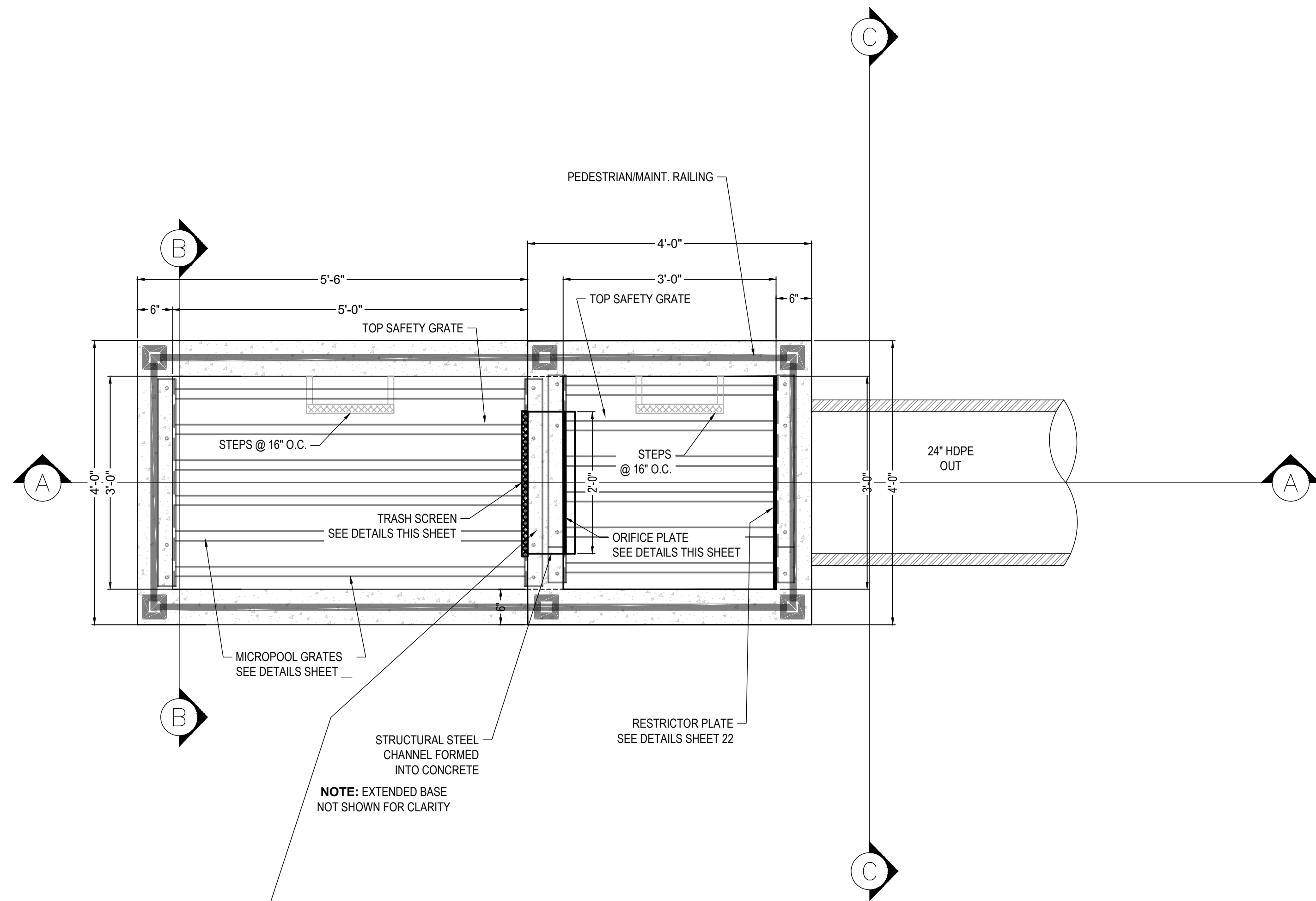
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REVIEWED BY: CDS
PROJ. MNGR.: CDS

PLAN SET:
SUNSET VILLAGE
FILING NO. 4
PERMANENT CONTROL MEASURE
INFRASTRUCTURE DETAILS

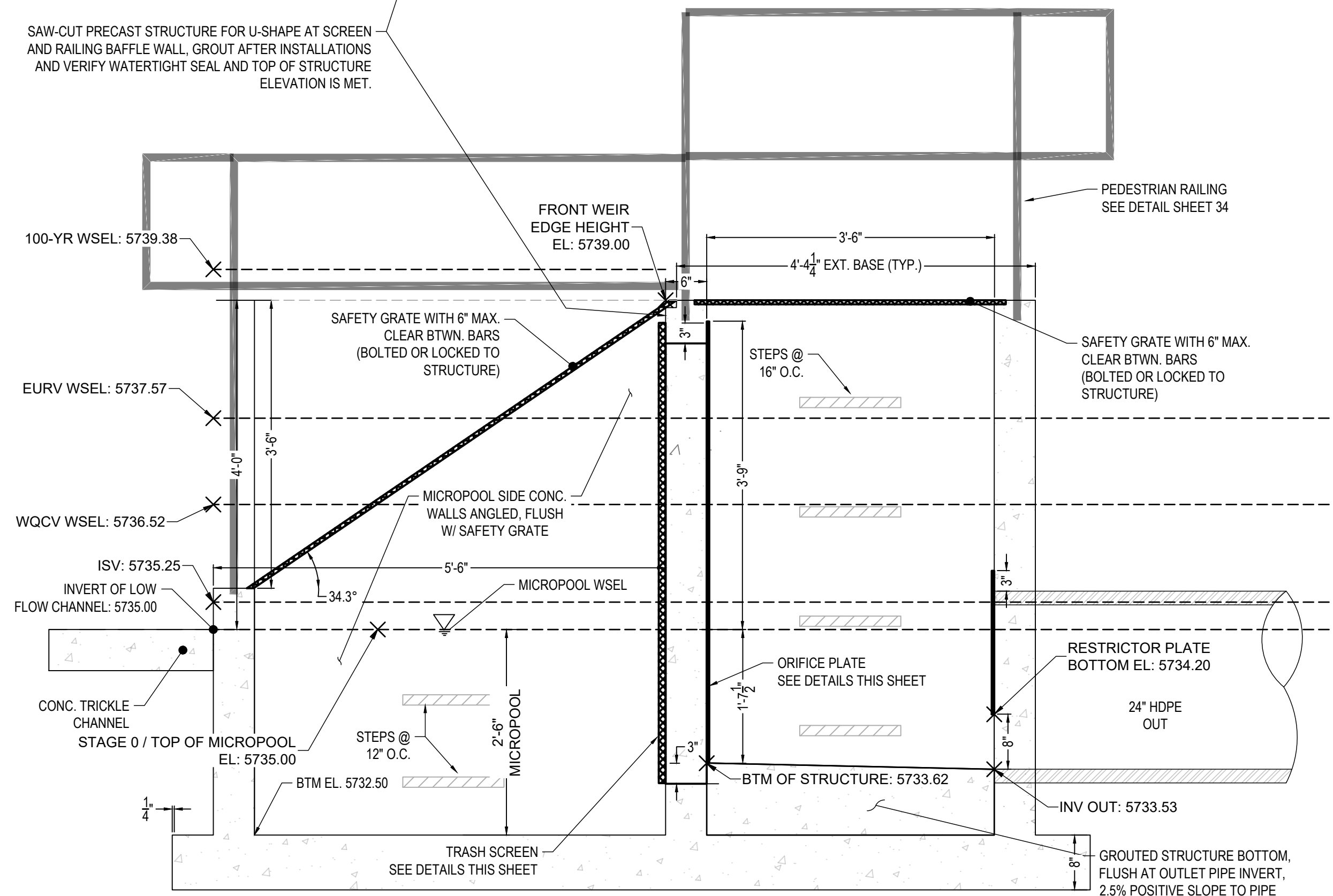
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FOREBAY DETAILS

SHEET NO.:
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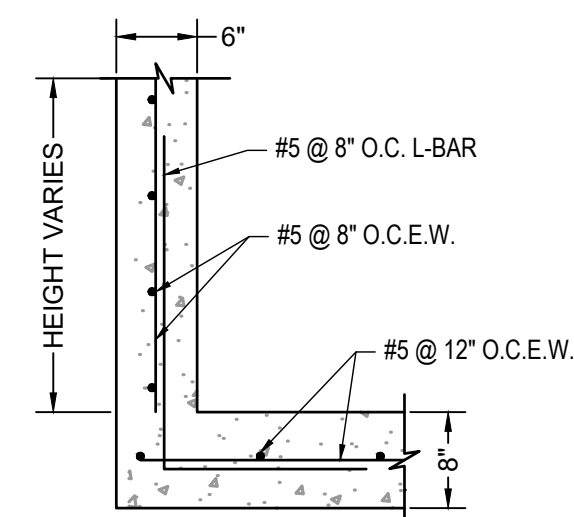
09/22/2026
ELX REVISION #2



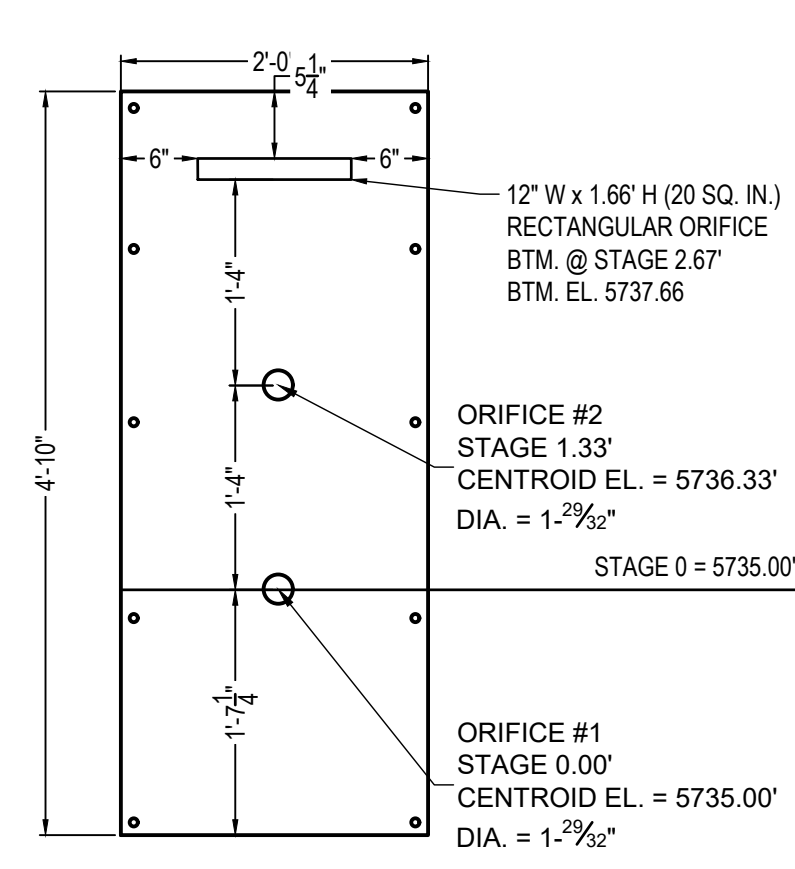
POND OUTLET STRUCTURE
(PLAN VIEW)
SCALE: 1" = 1-1/4'



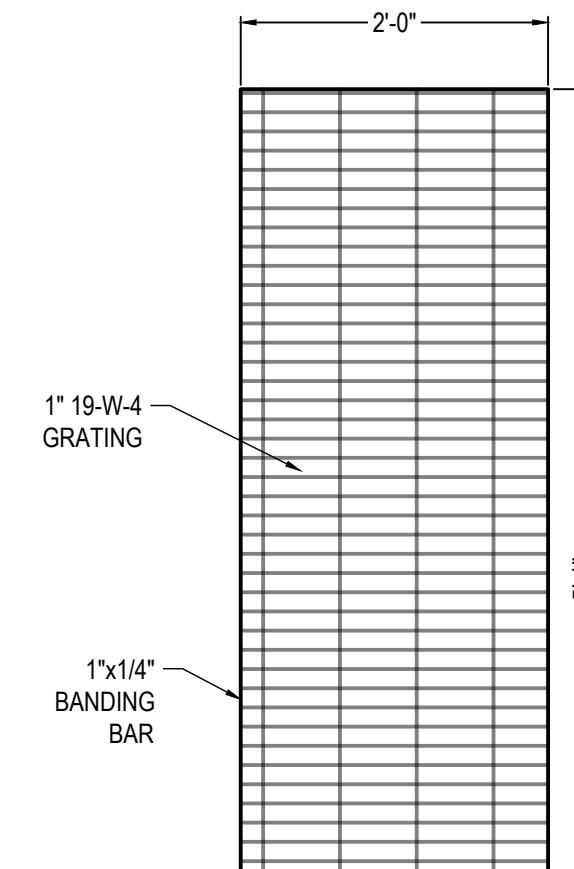
POND OUTLET STRUCTURE
(ELEVATION VIEW, SECTION A-A)
SCALE: 1" = 1-1/4'



OUTLET STRUCTURE
REINFORCEMENT DETAIL
SCALE: NTS



ORIFICE PLATE DETAIL
(ELEVATION VIEW)
SCALE: 1" = 1-1/4'



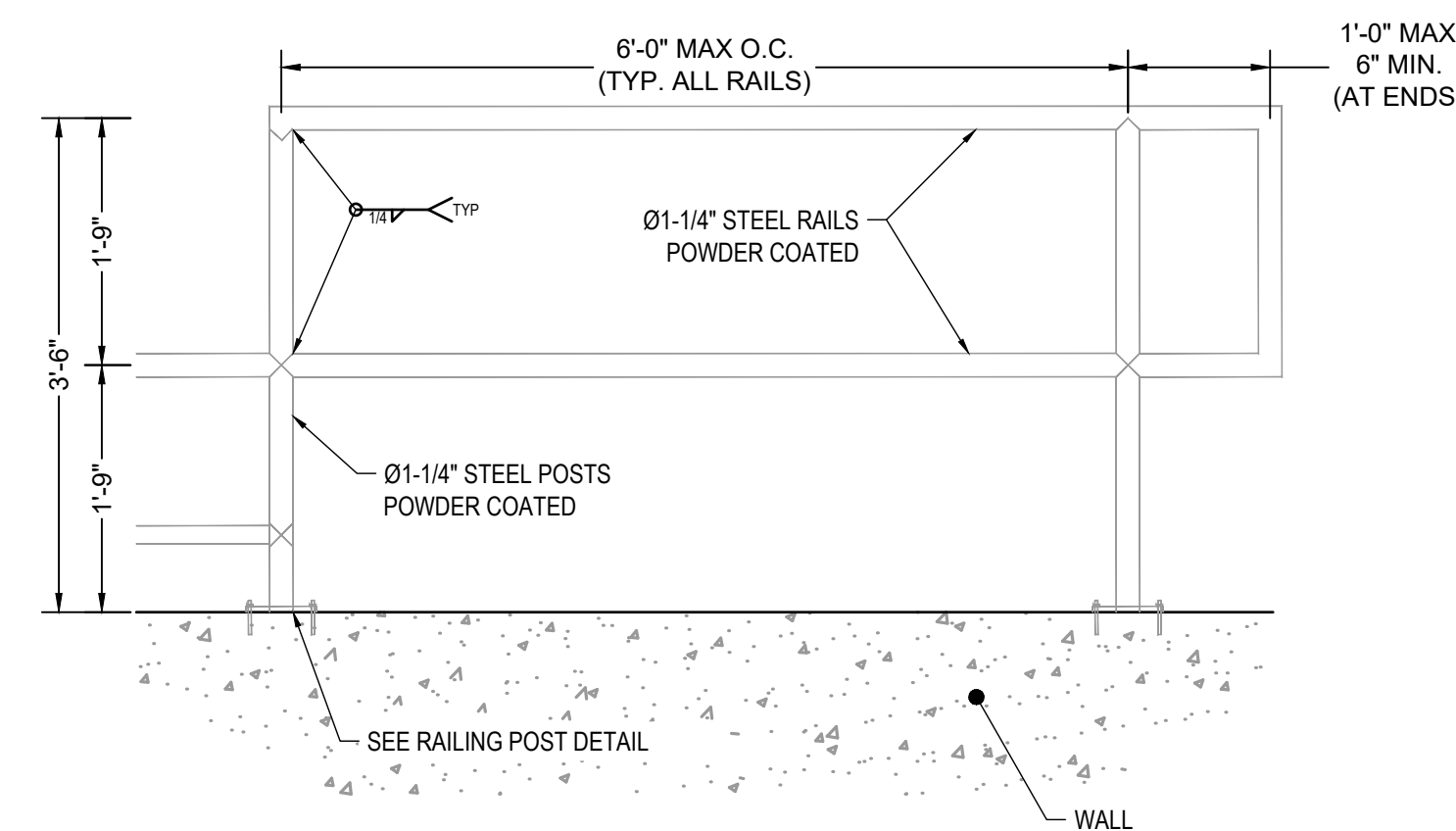
TRASH SCREEN DETAIL
(ELEVATION VIEW)
SCALE: 1" = 1-1/4'

TRASH SCREEN NOTES:

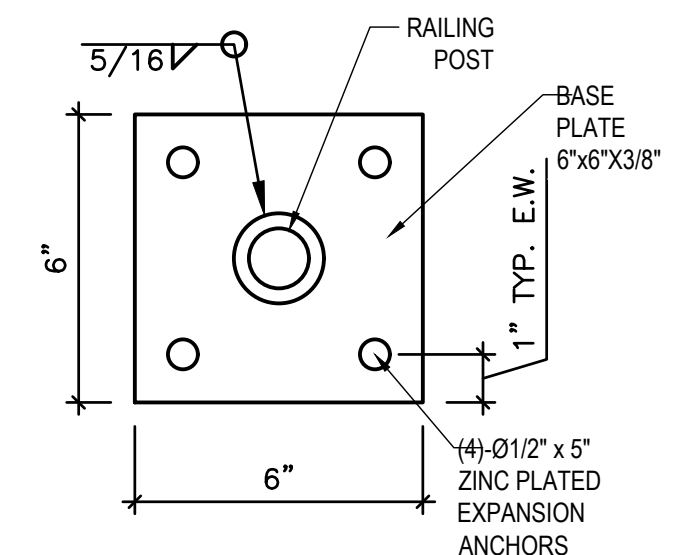
1. TRASH SCREEN SHALL BE CONSTRUCTED OF 1" THICK 19-W-4 GRATING WITH 1"x1/4" BANDING BARS ON EACH SIDE AND GALVANIZED OR APPROVED EQUIVALENT AND SHALL BE ATTACHED BY INTERMITTENT WELDS.
2. TRASH SCREEN OPEN AREAS ARE FOR SPECIFIED TRASH RACK MATERIALS. TOTAL TRASH RACK SIZE MAY NEED TO BE ADJUSTED FOR MATERIALS HAVING DIFFERENT OPEN AREA/GROSS AREA RATIO (R VALUE).
3. STRUCTURAL DESIGN OF TRASH RACKS SHALL BE BASED ON FULL HYDROSTATIC HEAD WITH ZERO HEAD DOWNSTREAM OF THE RACK.
4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR TRASH SCREEN FOR ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION.

ORIFICE PLATE NOTES:

1. PLATE TO BE 3/8" THICK GALVANIZED STEEL.
2. BOLT PLATE TO CONCRETE 16" O.C. MAX.
3. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ORIFICE PLATE FOR ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION.
4. PROVIDE GASKET MATERIAL BETWEEN THE ORIFICE PLATE AND CONCRETE. GASKET SHALL BE MADE OF 1/4-INCH THICK, 60 DUROMETER EPDM RUBBER (OR EQUIVALENT GASKET APPROVED BY EPC) IN A CONTINUOUS SHEET THE SIZE OF THE ORIFICE PLATE. THE SHEET SHALL BE PLACED BETWEEN THE ORIFICE PLATE AND CONCRETE WALL, WITH THE WIDTH OF THE OVERLAP BETWEEN THE PLATE AND THE CONCRETE. OPENINGS SHALL BE CUT INTO THE SHEET CORRESPONDING TO THE PLATE BOLT HOLES AND THE CONCRETE WALL OPENING. CUTS MADE EITHER BY THE CONTRACTOR IN THE FIELD OR BY THE MANUFACTURER.



PEDESTRIAN / MAINTENANCE RAILING
(ELEVATION VIEW)
SCALE: 3/4" = 1'



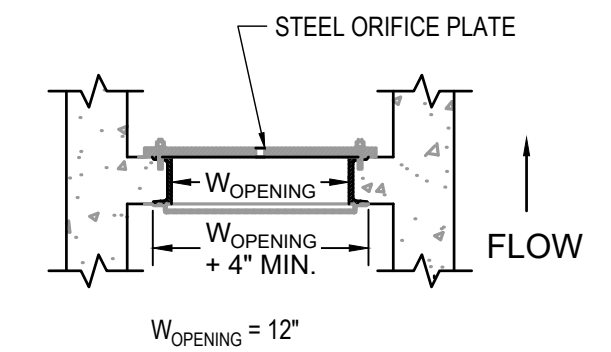
PEDESTRIAN / MAINTENANCE
RAILING POST
(PLAN VIEW)
SCALE: 3/4" = 1'

TWO SIGNS SHALL BE INSTALLED AROUND THE POND PERIMETER. THE SIGNS SHALL BE CONSTRUCTED OF A DURABLE MATERIAL SUCH AS METAL OR PLASTIC AND HAVE RED LETTERING ON A WHITE BACKGROUND WITH THE BELOW MESSAGE.

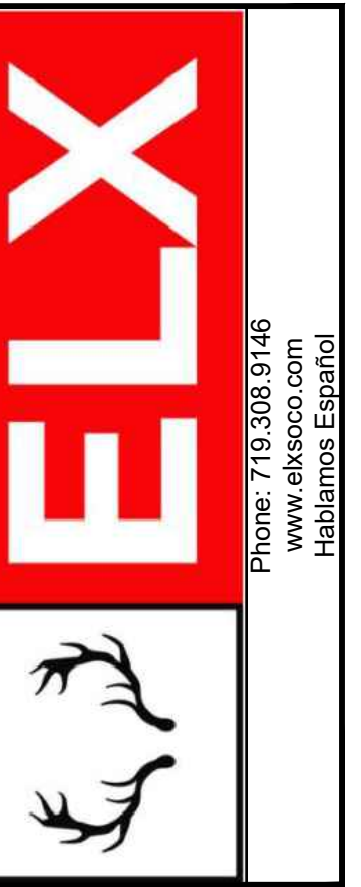
WARNING:
THIS AREA IS A
STORMWATER
FACILITY AND
IS SUBJECT TO
PERIODIC
FLOODING

MIN. SIGN AREA: 3 SQ. FT.

POND WARNING SIGN
DETAIL
SCALE: N.T.S.



TRASH SCREEN & ORIFICE
PLATE
SCALE: NTS



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PROJECT NAME:

SUNSET VILLAGE
FILING NO. 4

PROJECT LOCATION:

SUNSET VILLAGE
FILING NO. 4
EL PASO COUNTY, COLORADO

CLIENT:

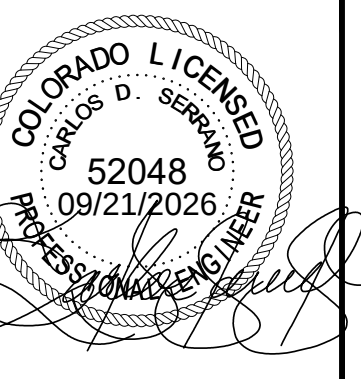
SCOTT ALLEN HOMES

CONTACT INFO:

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SCOTT ALLEN HOMES

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PROFESSIONAL SEAL:



DATE: DESCRIPTION:

04/04/26 CDR218 REV. 1
09/22/26 CDR218 REV. 2

JOB #: 101544

DRAWN BY: CDS
REVIEWED BY: CDS
PROJ. MNGR.: CDS

PLAN SET:

SUNSET VILLAGE
FILING NO. 4

PERMANENT CONTROL MEASURE
INFRASTRUCTURE DETAILS

SHEET TITLE:

OUTLET STRUCTURE DETAILS

SHEET NO.:

21

09/22/2026
ELX REVISION #2

PCD FILE NO.: CDR-218



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PASA COUNTY, COLORADO

cott@punchlistconnection.com

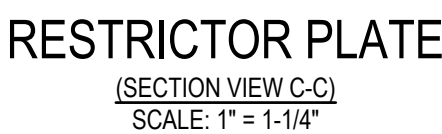


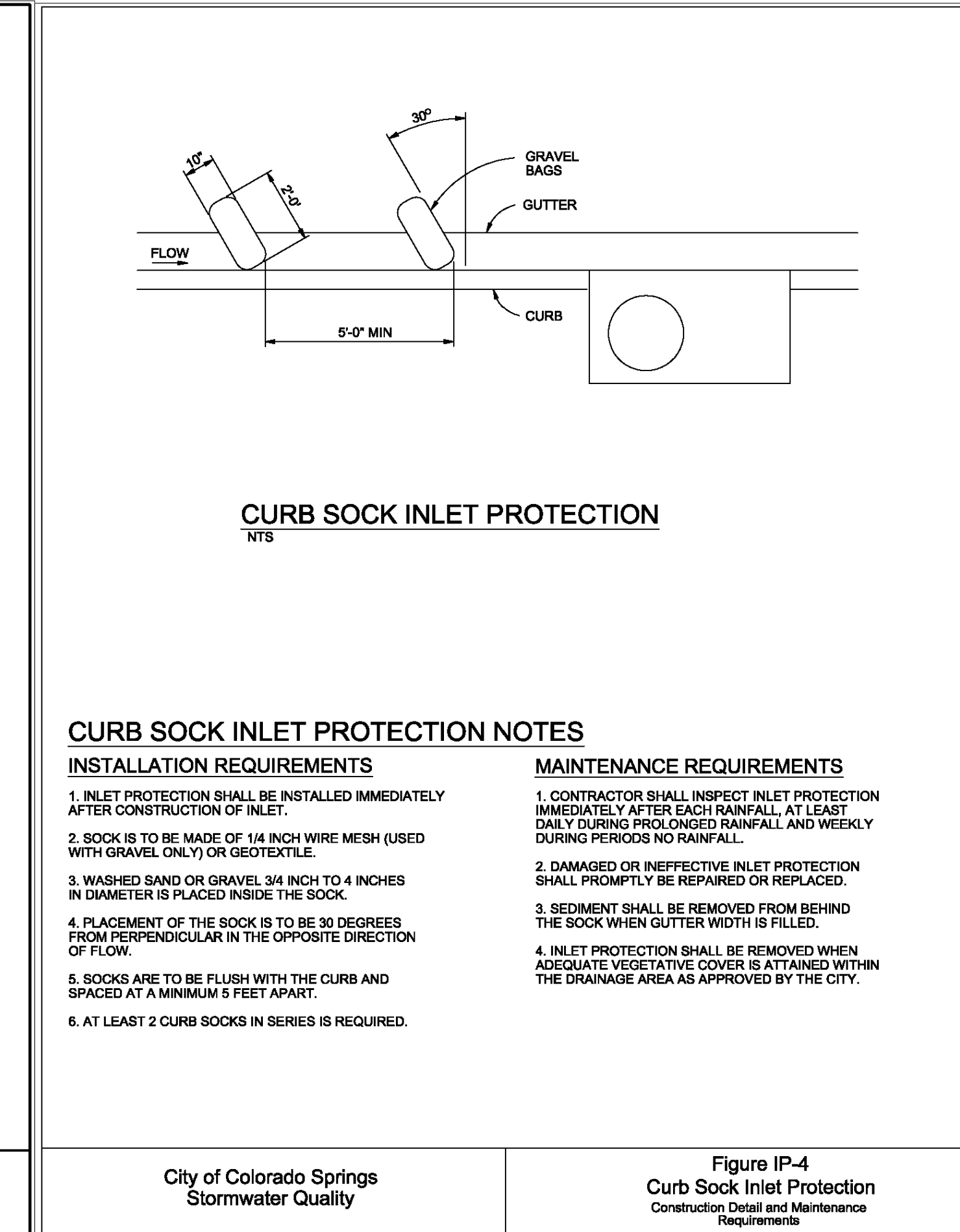
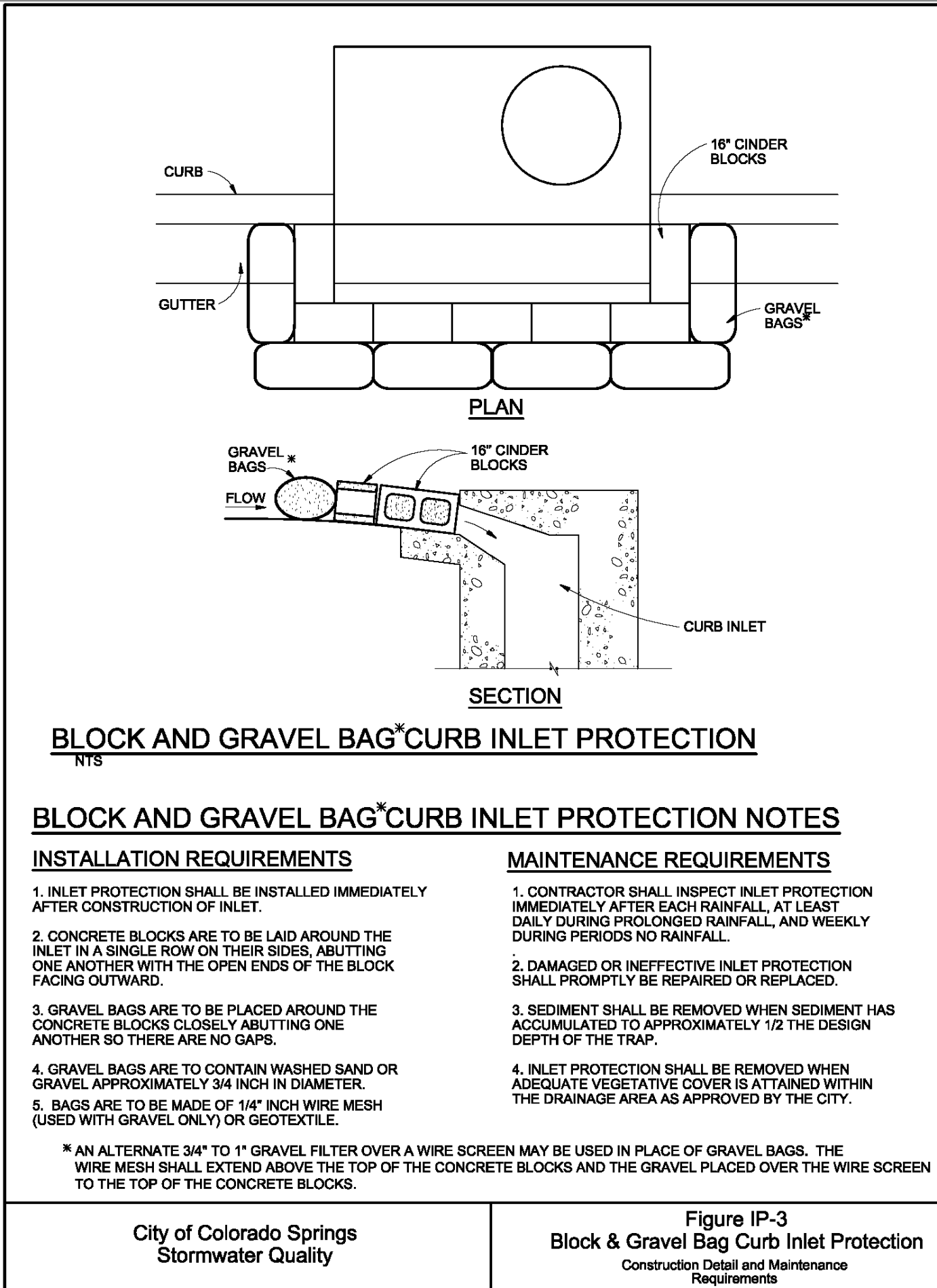
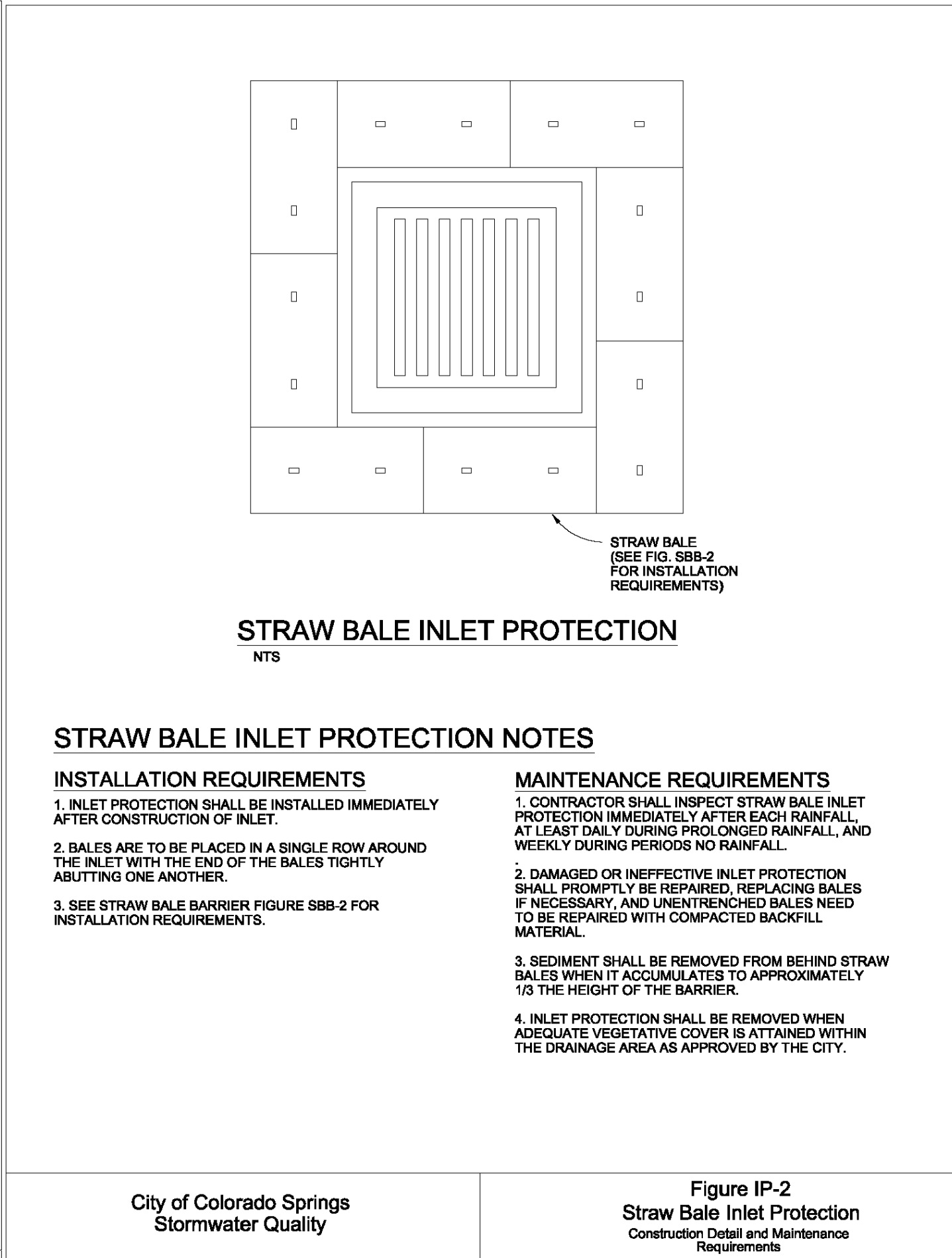
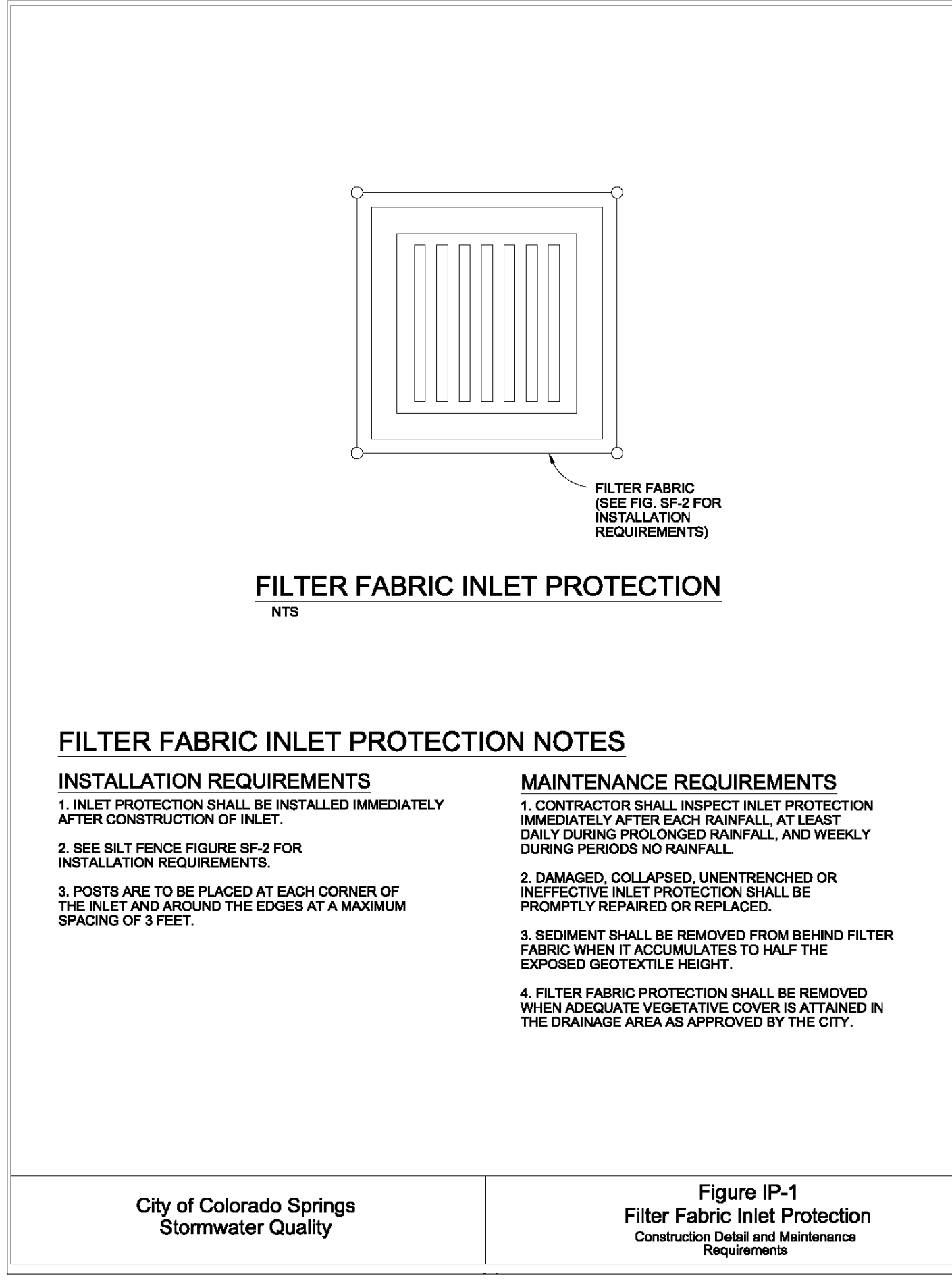
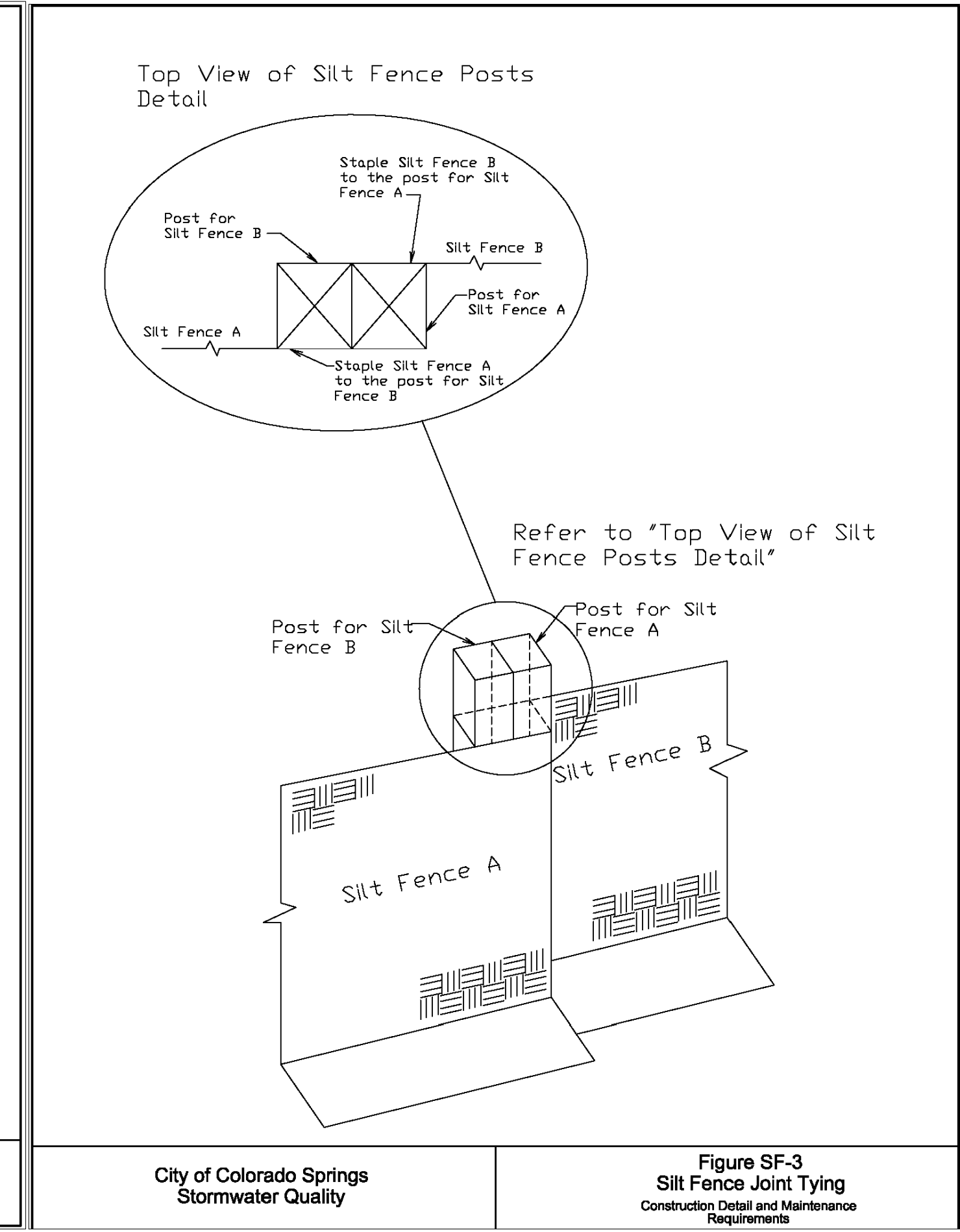
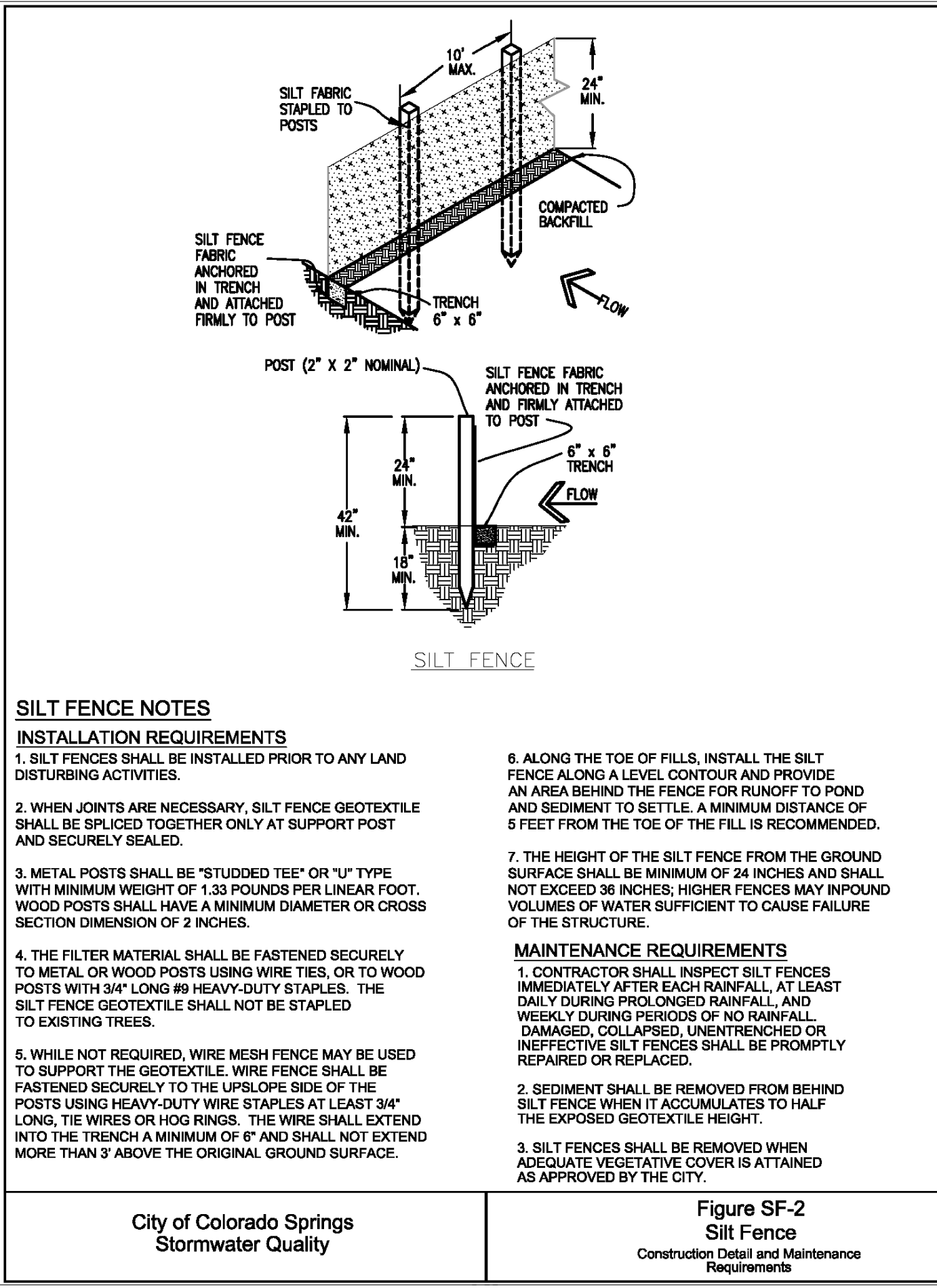
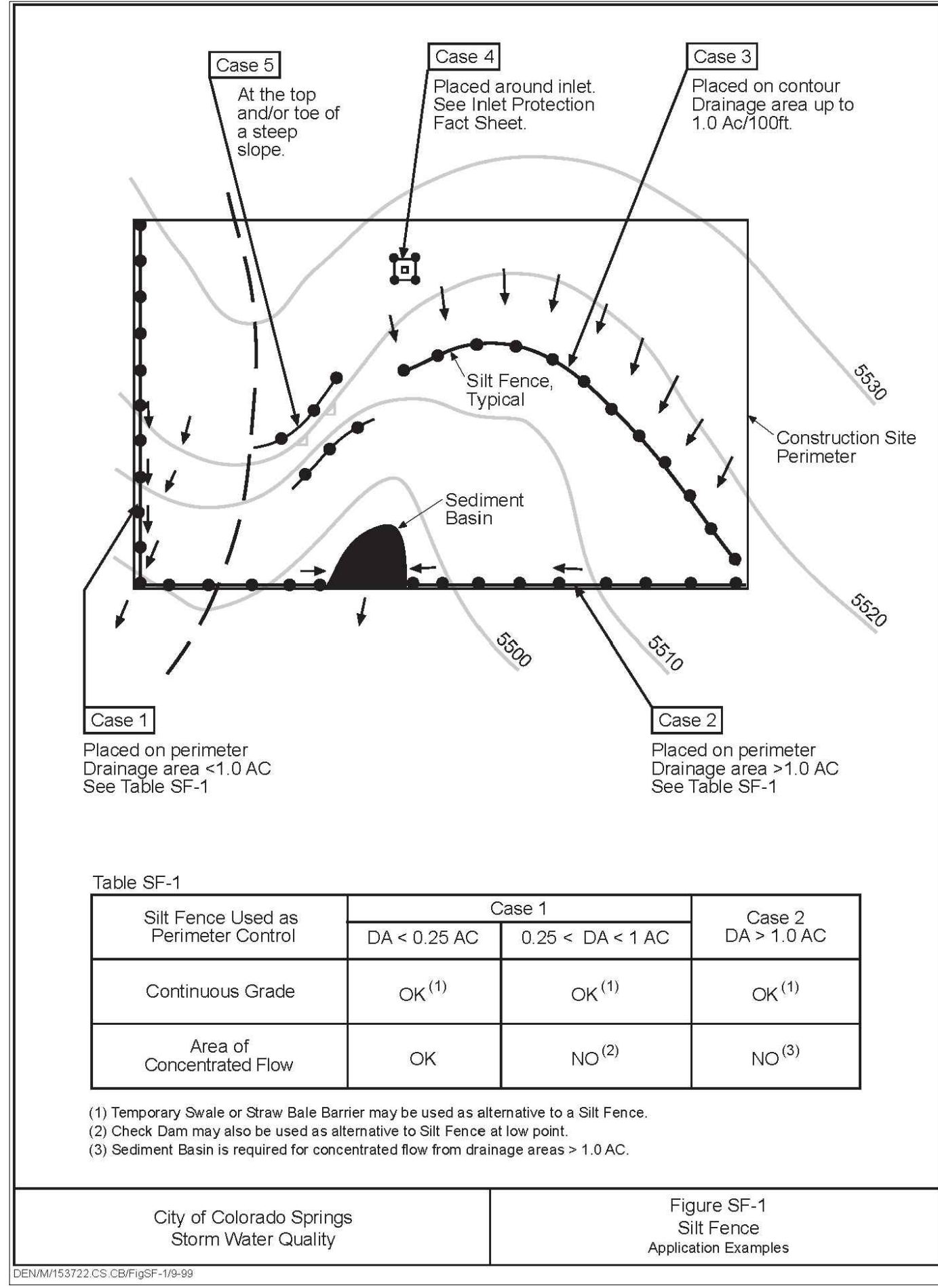
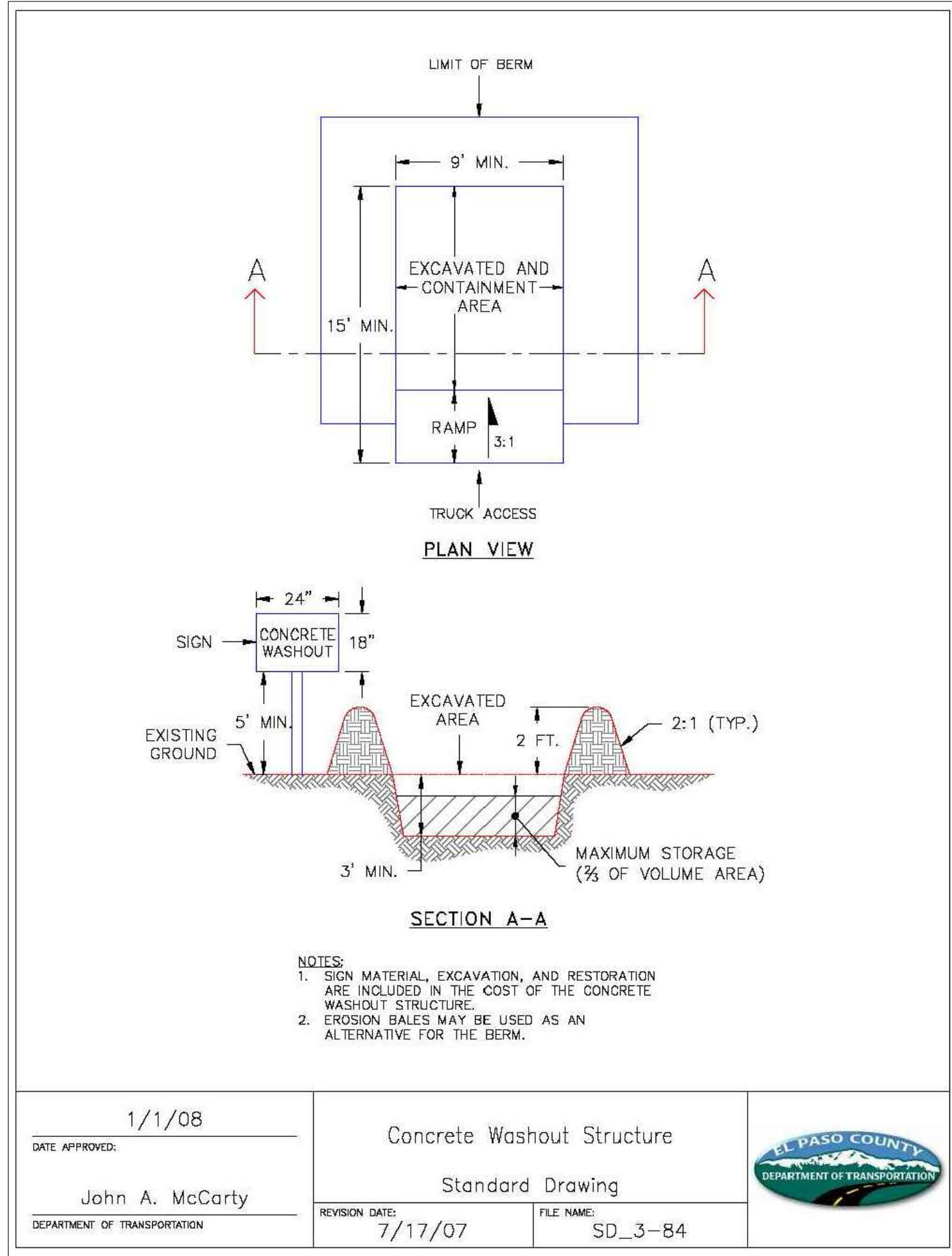
AWN BY: CDS
VIEWED BY: CDS
DJ. MNGR.: CDS

OUTLET STRUCTURE DETAILS

22

- RESTRICTOR PLATE NOTES:**
1. $\frac{3}{8}$ " THICK RESTRICTOR PLATE, GALVANIZED STEEL.
 2. BOLT PLATE TO CONCRETE @ 12" O.C. MAX.
 3. PROVIDE CONTINUOUS NEOPRENE GASKET MATERIAL BETWEEN PLATE AND CONCRETE.
 5. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR RESTRICTOR PLATE FOR ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION.





811

Know what's below. Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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SUNSET VILLAGE VIEW, LLC.

487 WINDCHIME PL. STE. #300

303-519-5100

SCOTT VAN WHYE

SUNSET VILLAGE VIEW, LLC.

SUNSET VILLAGE FIL. NO. 4

JAYHAWK AVENUE AND REDTAIL DRIVE

EL PASO COUNTY, COLORADO

DETAILS

CLIENT

DATE 12/03/2021

A 1st SUBMITTAL TO EPC 10/27/2021 - RDL

B 2nd SUBMITTAL TO EPC 12/03/2021 - RDL

REVISIONS

COLORADO LICENSED PROFESSIONAL ENGINEER

DR. RDL

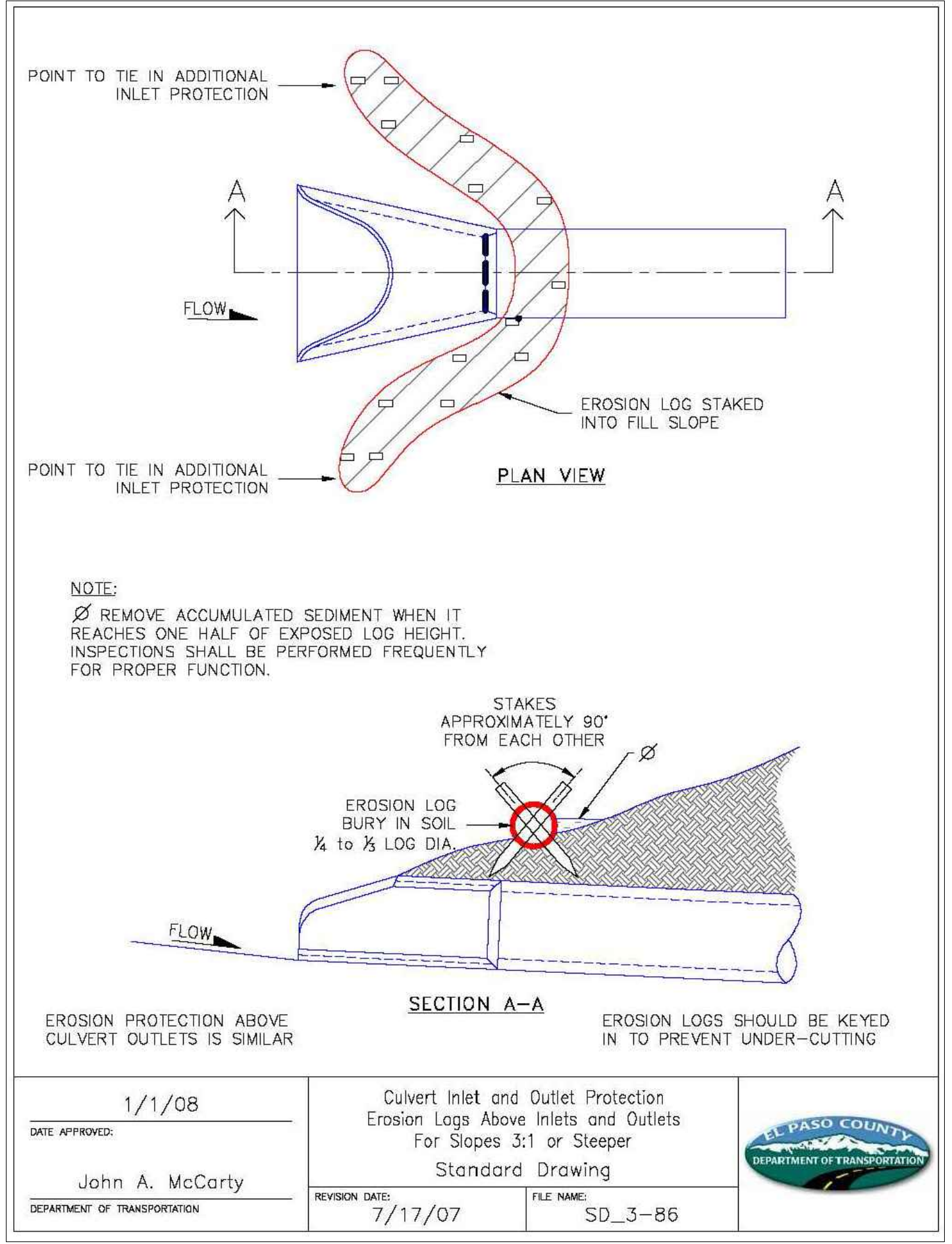
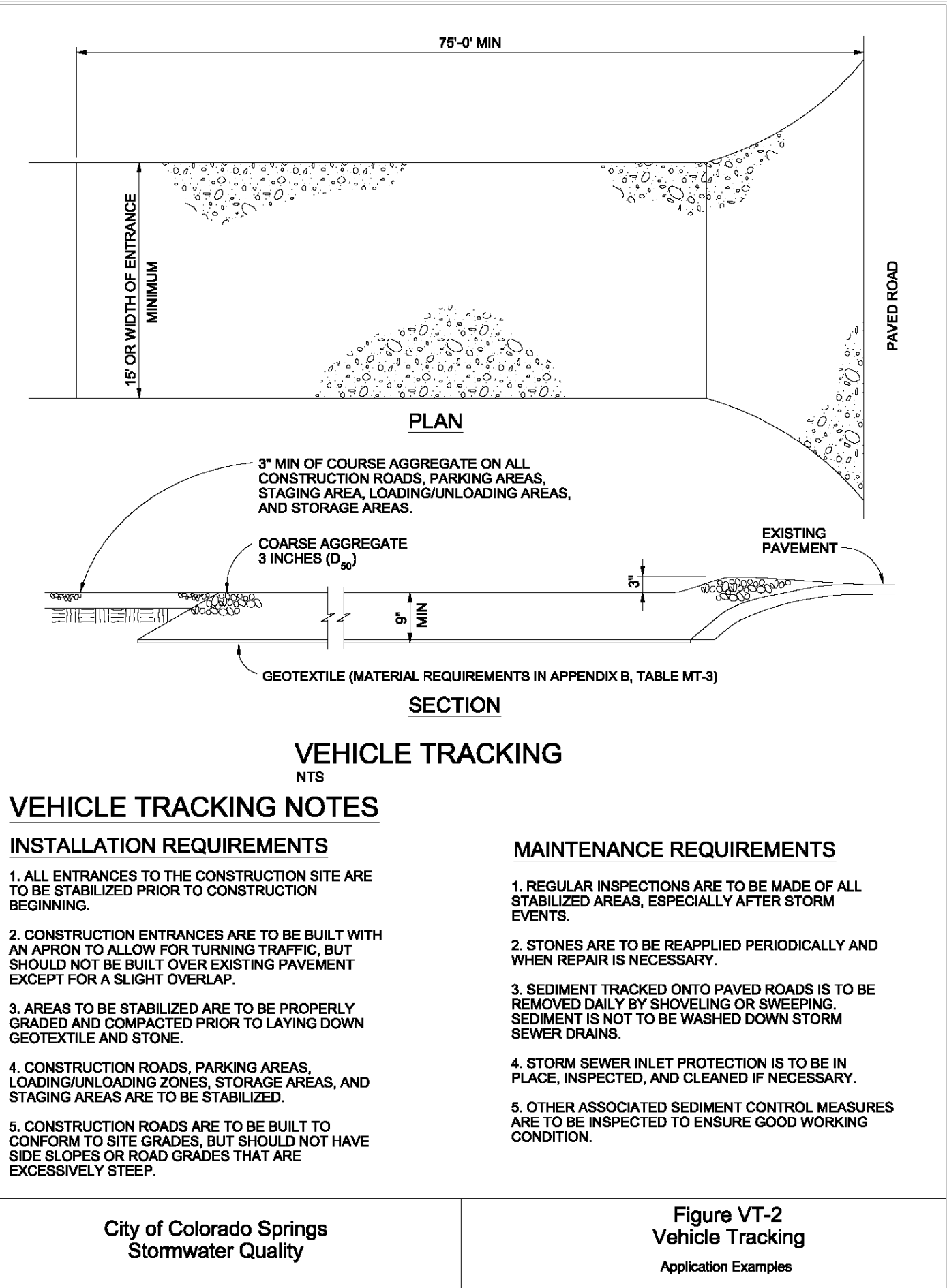
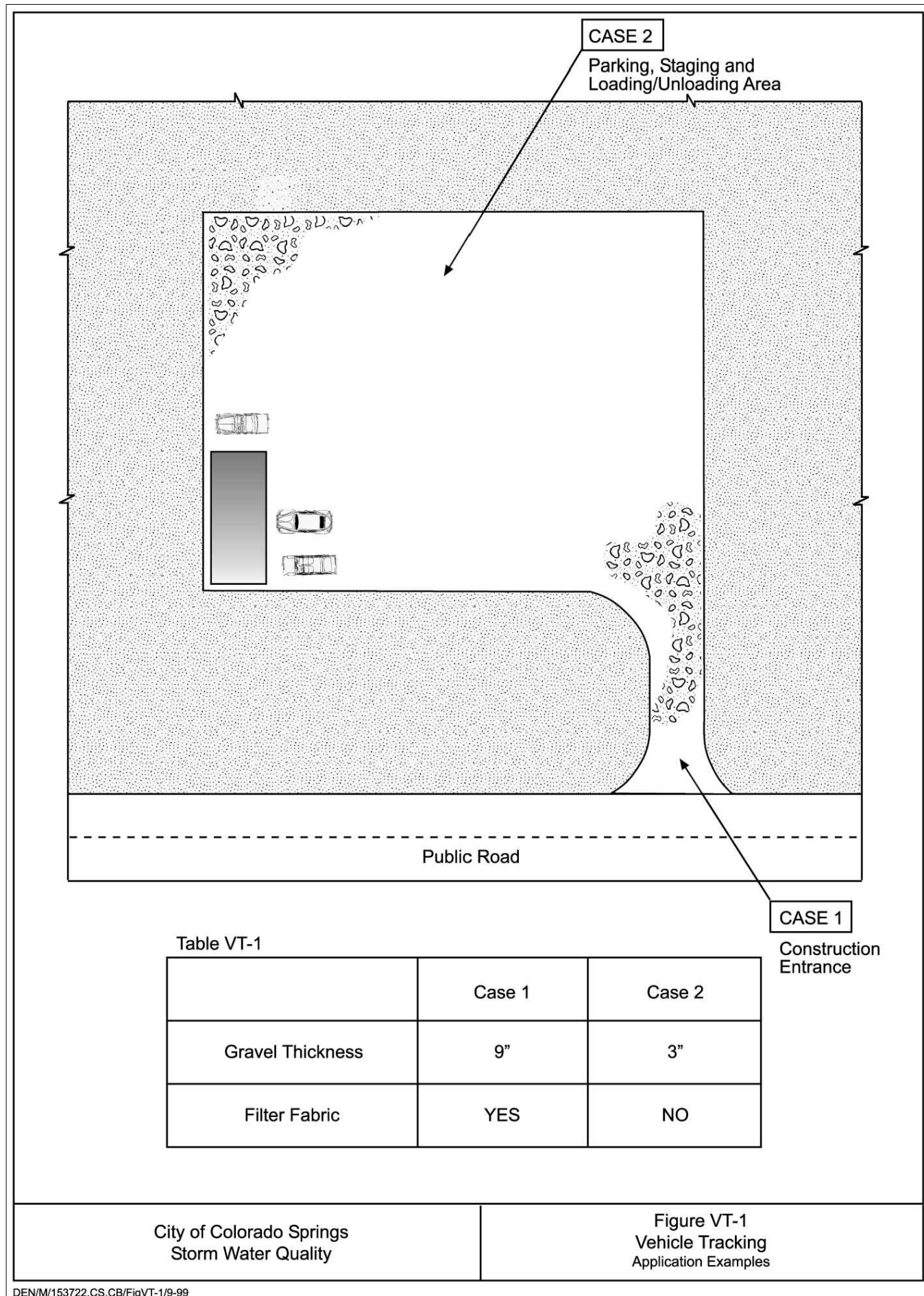
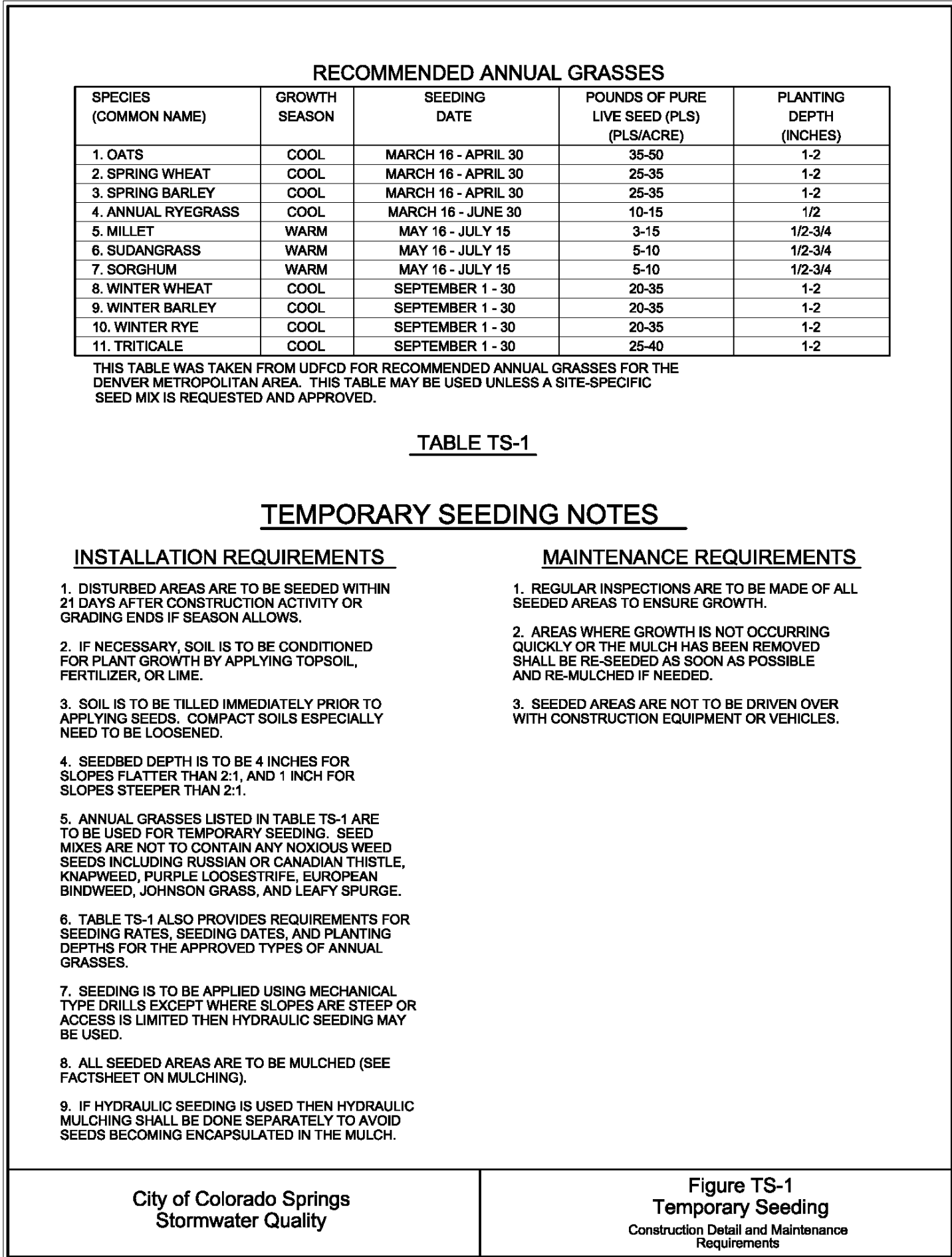
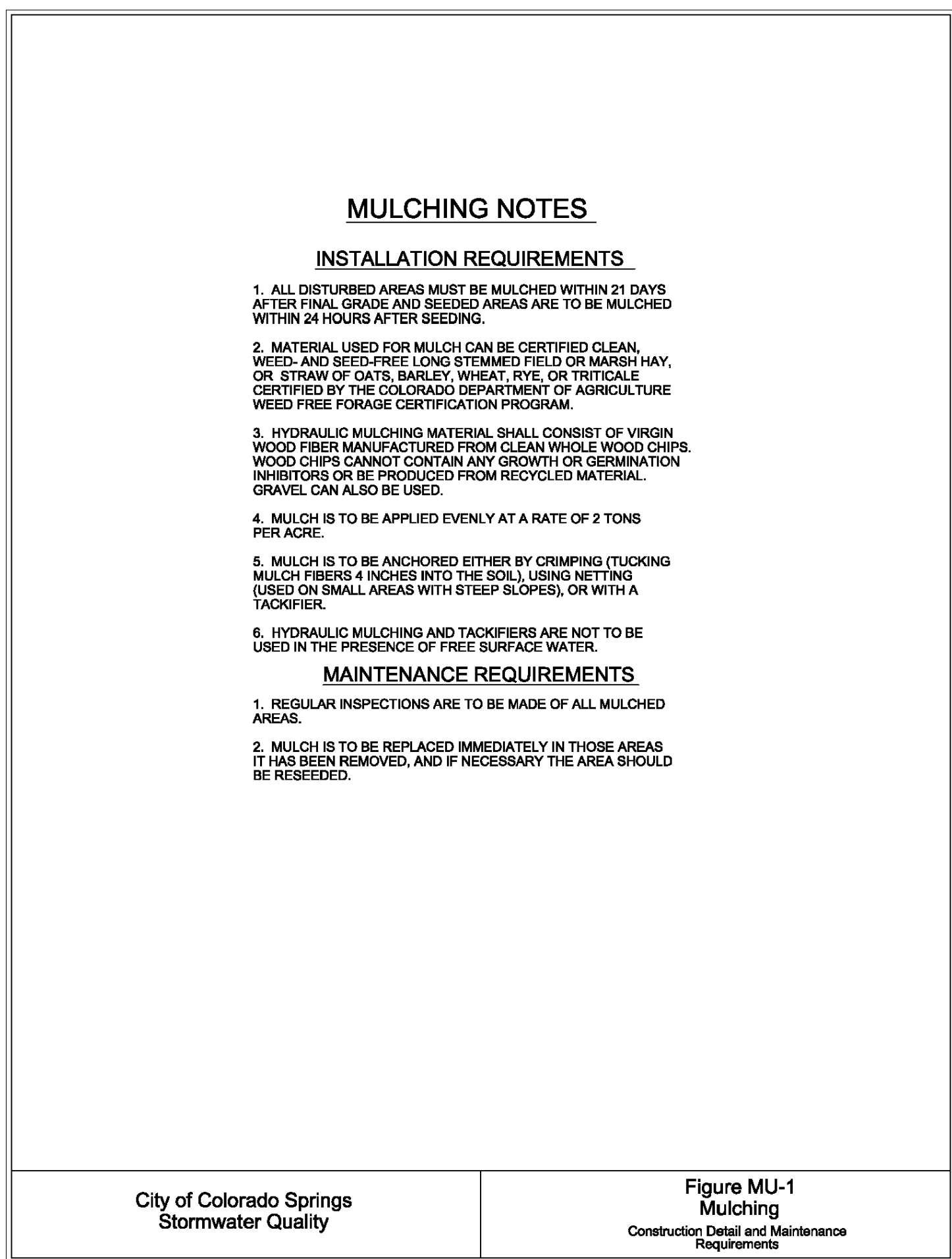
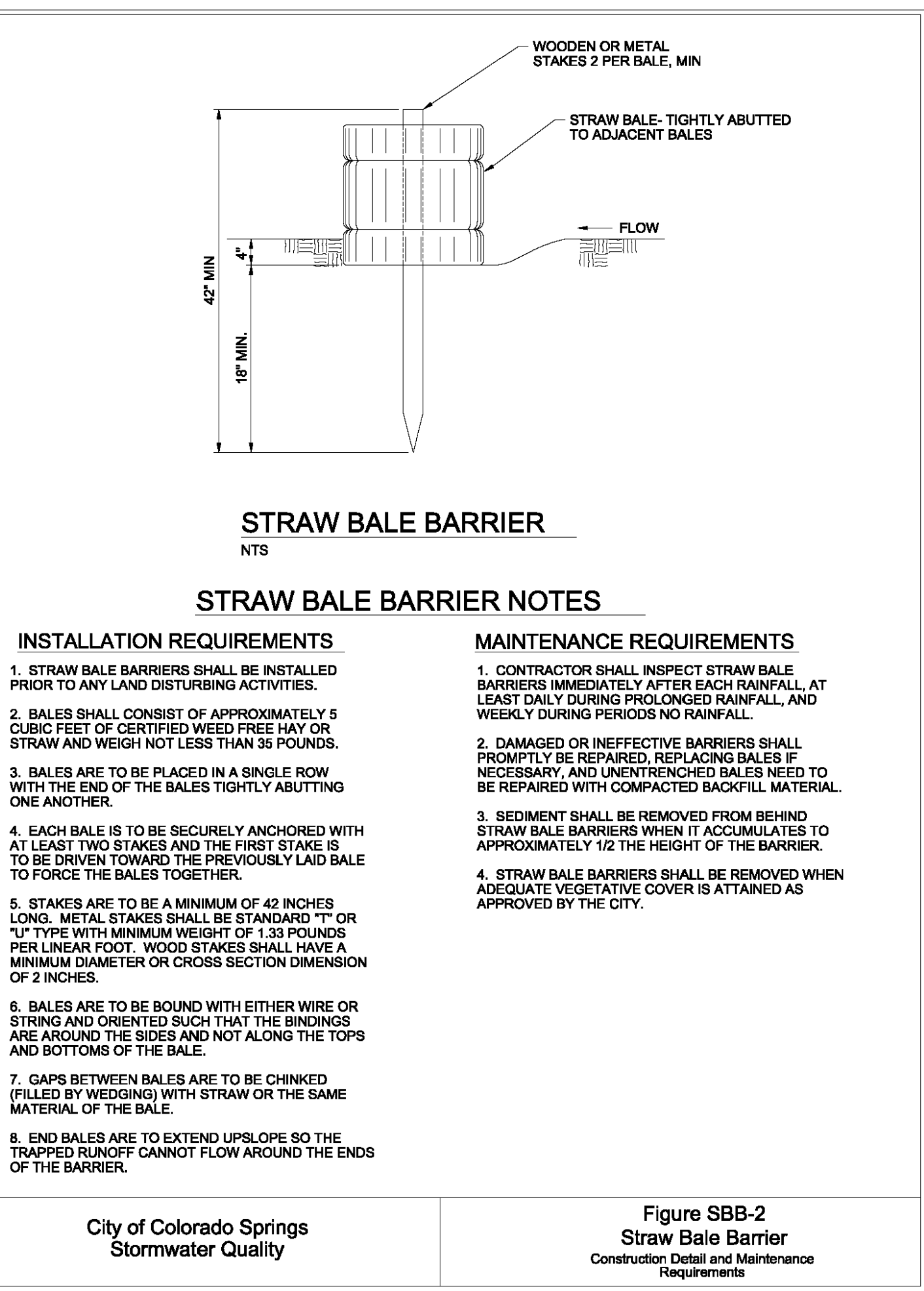
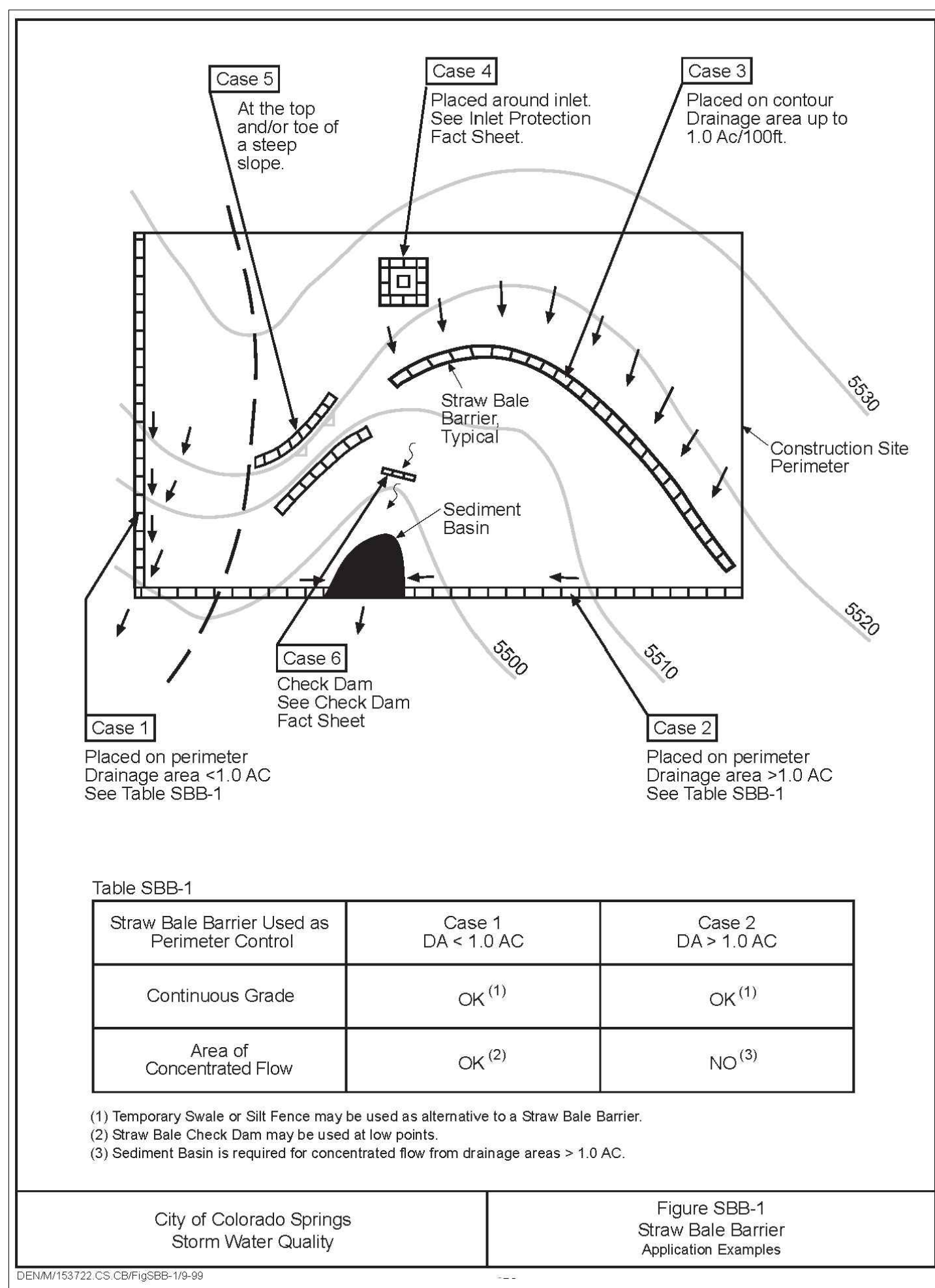
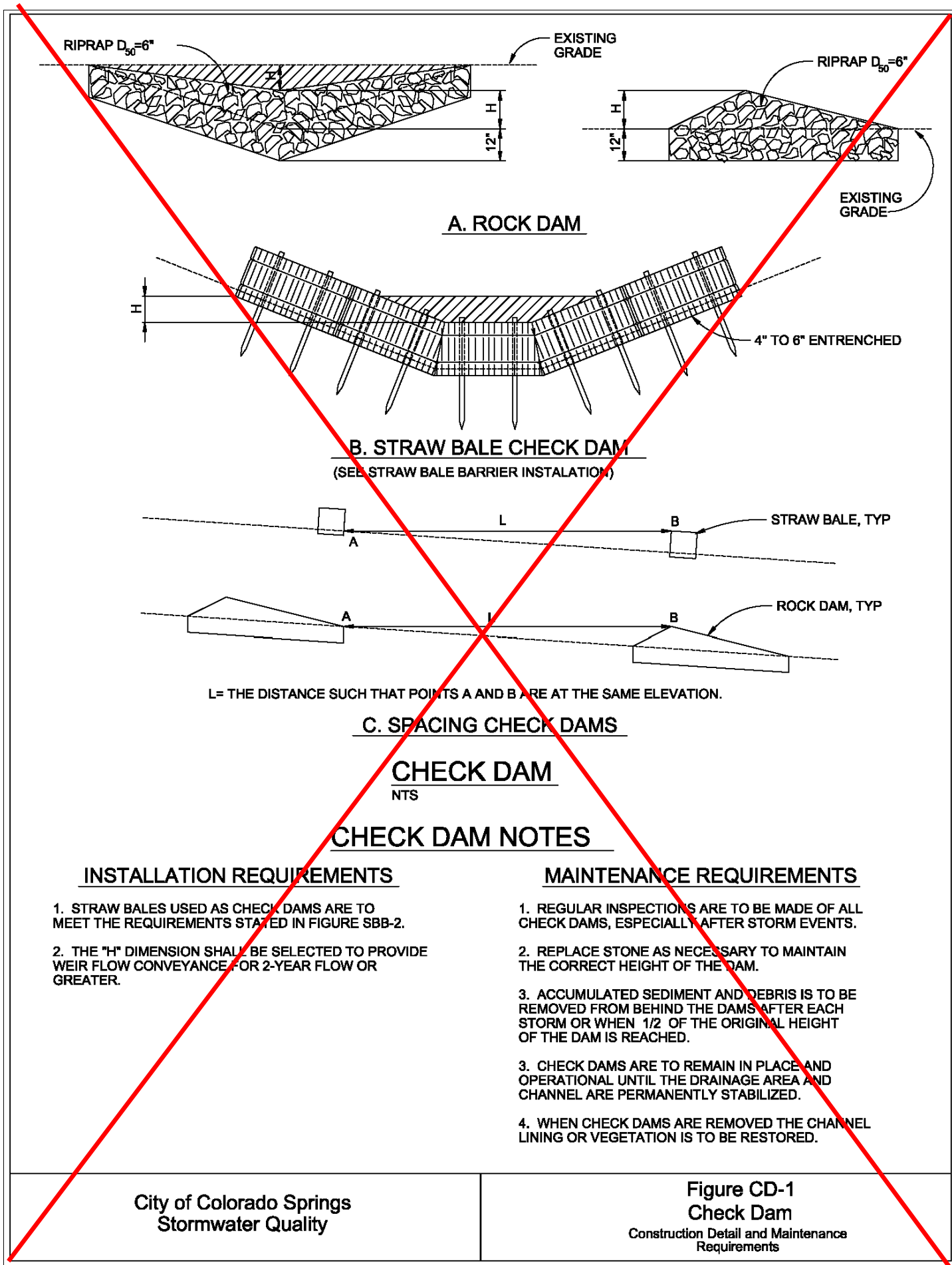
CH. RDL

P.M. RDL

JOB 21004166

SHEET NO. 23

CAD FILE: 21004166-DETAILS.DWG



811

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SUNSET VILLAGE VIEW, LLC.

SUNSET VILLAGE FIL. NO. 4
JAYHAWK AVENUE AND REDTAIL DRIVE
EL PASO COUNTY, COLORADO

DETAILS

DATE 12/03/2021

REVISIONS

COLORADO LICENSED PROFESSIONAL ENGINEER

DR. RDL CH. RDL
P.M. RDL

JOB 21004166
SHEET NO. 24

CAD FILE: 21004166-DETAILS.DWG

SC-5

Rock Sock (RS)



ROCK SOCK SECTION



ROCK SOCK PLAN

ANY GAP AT JOINT SHALL BE FILLED WITH AN ADEQUATE AMOUNT OF 1/2" (MINUS) CRUSHED ROCK AND WRAPPED WITH ADDITIONAL WIRE MESH SECURED TO ENDS OF ROCK REINFORCED SOCK. AS AN ALTERNATIVE TO FILLING JOINTS BETWEEN ADJOINING ROCK SOCKS WITH CRUSHED ROCK AND ADDITIONAL WIRE WRAPPING, ROCK SOCKS CAN BE OVERLAPPED (TYPICALLY 12-INCH OVERLAP) TO AVOID GAPS.



ROCK SOCK JOINTING

GRADATION TABLE	
SIZE	MASS PERCENT PASSING SQUARE MESH SIEVES
NO. 4	
2"	100
1 1/2"	90 - 100
1"	20 - 55
3/4"	0 - 15
3/8"	0 - 5

MATCHES SPECIFICATIONS FOR NO. 4 COARSE AGGREGATE FOR CONCRETE PER AASHTO M43. ALL ROCK SHALL BE FRACTURED FACE, ALL SIDES.

ROCK SOCK INSTALLATION NOTES

- SEE PLAN VIEW FOR:
 - LOCATION(S) OF ROCK SOCKS.
- CRUSHED ROCK SHALL BE 1/2" (MINUS) IN SIZE WITH A FRACTURED FACE (ALL SIDES) AND SHALL COMPLY WITH GRADATION SHOWN ON THIS SHEET (1/2" MINUS).
- WIRE MESH SHALL BE FABRICATED OF 10 GAGE POULTRY MESH, OR EQUIVALENT, WITH A MAXIMUM OPENING OF 1/2", RECOMMENDED MINIMUM ROLL WIDTH OF 48"
- WIRE MESH SHALL BE SECURED USING "HOG RINGS" OR WIRE TIES AT 6" CENTERS ALONG ALL JOINTS AND AT 2" CENTERS ON ENDS OF SOCKS.
- SOME MUNICIPALITIES MAY ALLOW THE USE OF FILTER FABRIC AS AN ALTERNATIVE TO WIRE MESH FOR THE ROCK ENCLOSURE.

RS-1. ROCK SOCK PERIMETER CONTROL

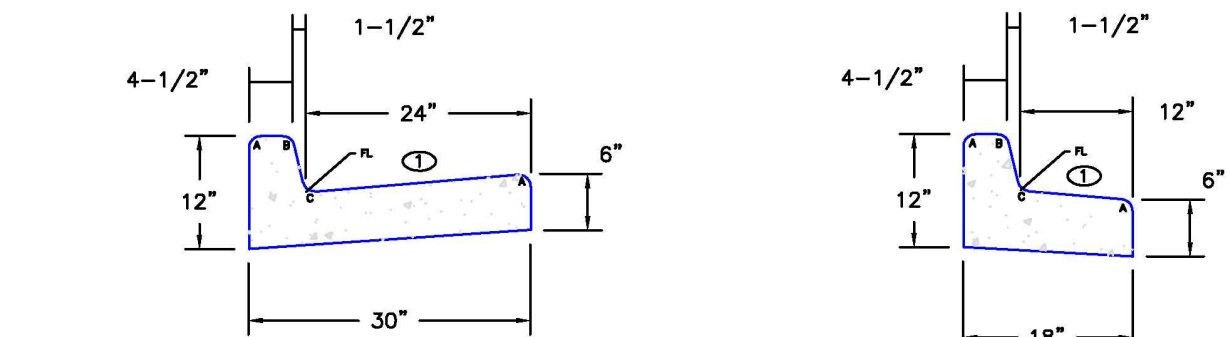
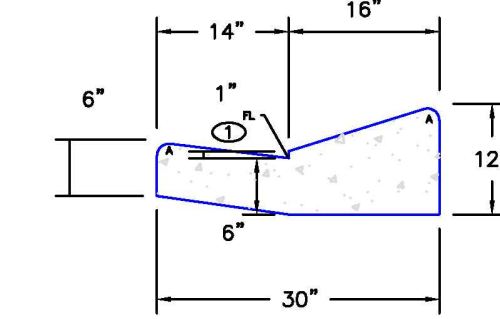
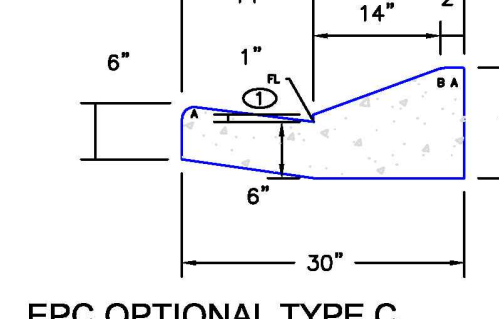
ROCK SOCK MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED, OR DAMAGED BEYOND REPAIR.
- SEDIMENT ACCUMULATED UPSTREAM OF ROCK SOCKS SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENT IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE ROCK SOCK.
- ROCK SOCKS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
- WHEN ROCK SOCKS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

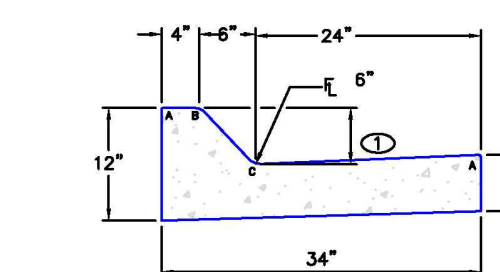
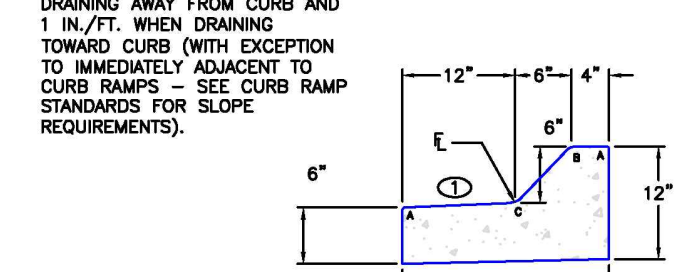
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF ROCK SOCK INSTALLATION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY OTHER SIMILAR PROPRIETARY PRODUCTS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY PROTECTION PRODUCTS; HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

EPC TYPE A
(REVERSE SLOPE OF PAN FOR SPILL CURB)EPC TYPE B
(REVERSE SLOPE OF PAN FOR SPILL CURB)EPC TYPE C
(REVERSE SLOPE OF PAN FOR SPILL CURB)

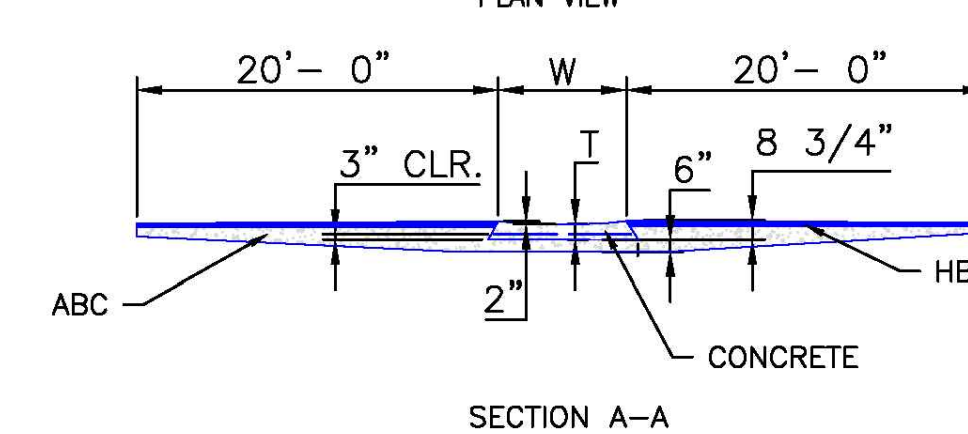
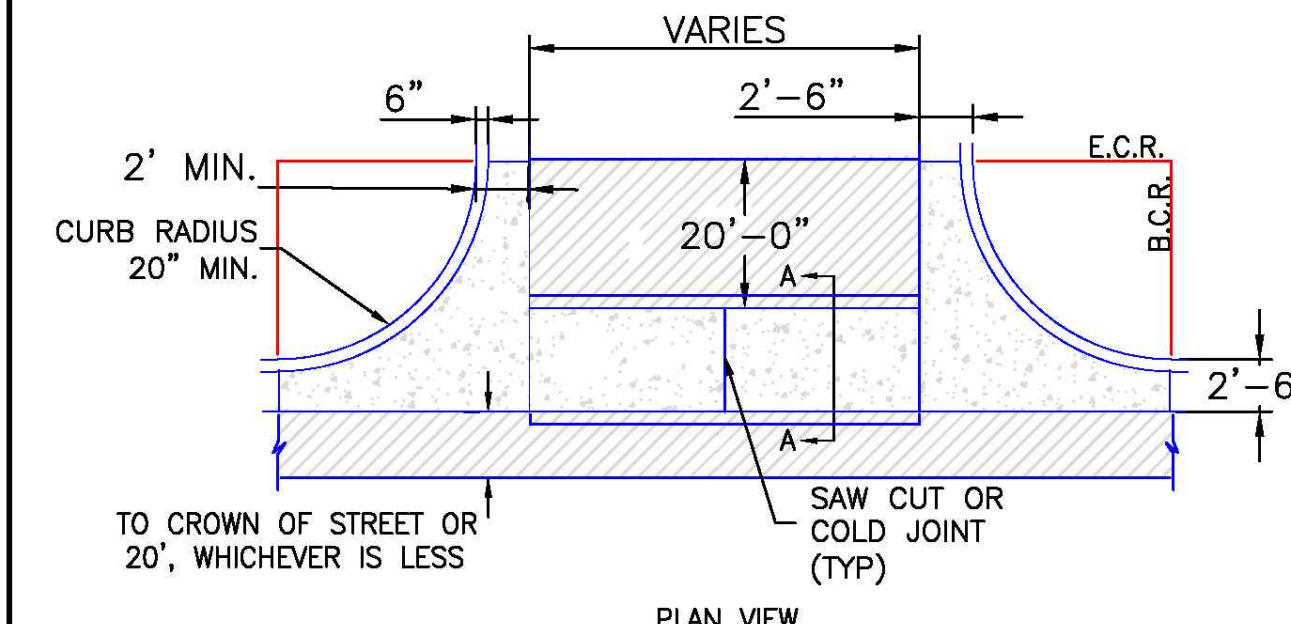
EPC OPTIONAL TYPE C

LEGEND FOR SLOPE	
A	1/8" TO 1/4"
B	1-1/2"
C	1-1/2" TO 2"

EPC TYPE D
(6" RAMP CURB)EPC TYPE E
(6" RAMP CURB)

SCALE: NOT TO SCALE

6/23/20	Typical Curb and Gutter Details	
DATE APPROVED:	Jennifer E. Irvine	
REVISION DATE:	6/23/20	FILE NAME: SD_2-20
DEPARTMENT OF PUBLIC WORKS	DEPARTMENT OF PUBLIC WORKS	

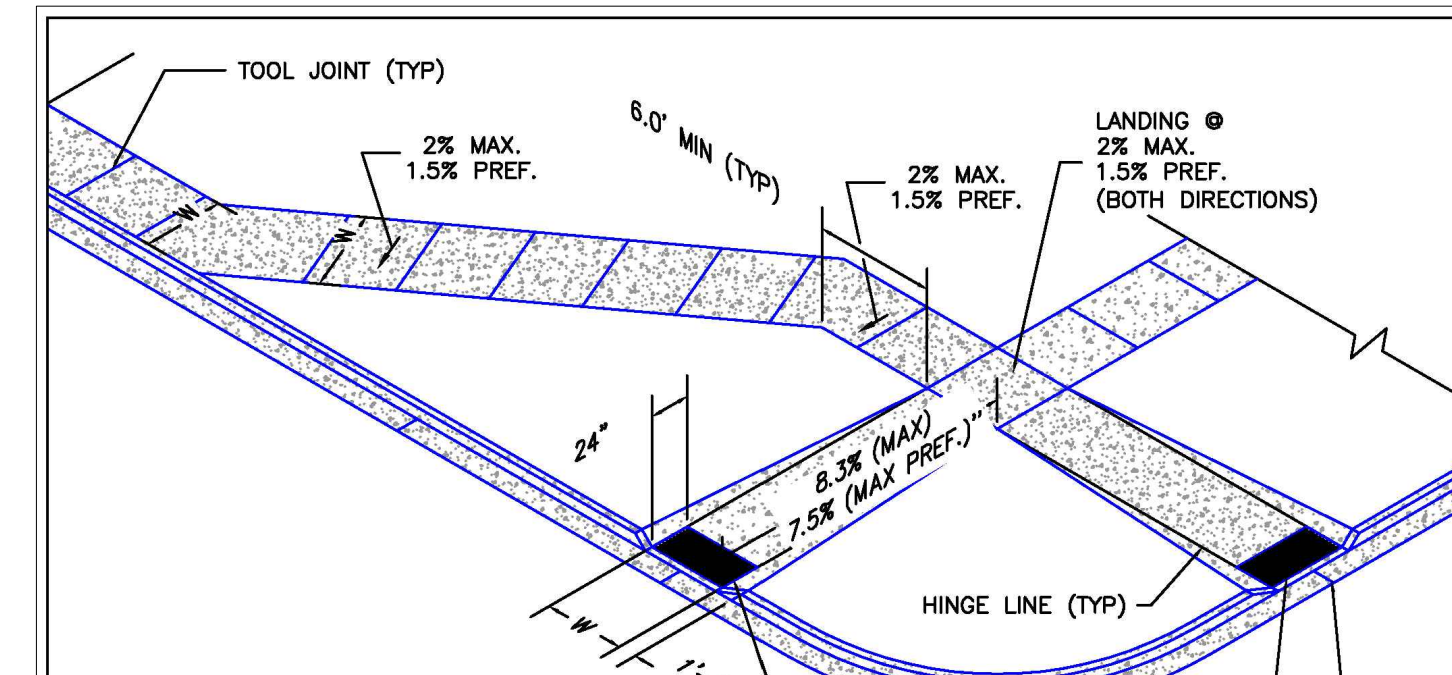


NOTES

- W - WIDTH SHALL BE 6' FOR LOCAL, 8' FOR COLLECTORS, AND 10' FOR ARTERIAL ROADS.
- T - SLOPED-OFF RETURN TO BE POURED MONOLITHICALLY, 8" PCC FOR LOCAL ROADS, 9" FOR COLLECTORS WITH 6x6 - 4.4 W.W.F. OR #4 REINFORCING BAR @ 18" EACH WAY.
- 3" MINIMUM ASPHALT DEPTH (2 LIFTS).
- DESIGN TO SPECIFY ELEVATIONS AT PI AND PCR.

SCALE: NOT TO SCALE

8/11/11	Typical Cross Pan Layout Detail	
DATE APPROVED:	André P. Brackin	
REVISION DATE:	12/8/15	FILE NAME: SD_2-26
DEPARTMENT OF TRANSPORTATION	DEPARTMENT OF TRANSPORTATION	



W=SAME WIDTH AS THE APPROACHING SIDEWALK, BUT NOT LESS THAN 4.0 FEET

PEDESTRIAN RAMP NOTES

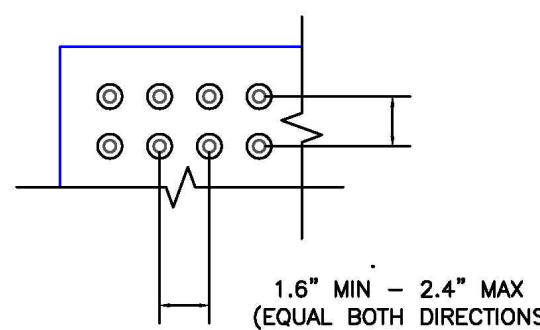
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT ENGINEERING CRITERIA MANUAL AND ADA REQUIREMENTS.
- CONTRACTOR TO NOTIFY ENGINEERING DIVISION INSPECTION STAFF 48 HOURS PRIOR TO CONCRETE PLACEMENT.
- PEDESTRIAN CURB RAMP CONSTRUCTION SHALL BE A MINIMUM 4,500 PSI CONCRETE, MINIMUM 4" THICK, NON-COLORED, NON-SCORED, COARSE BROOM FINISH.
- PEDESTRIAN CURB RAMP LOCATION AND LENGTH MAY REQUIRE MODIFICATION TO MAINTAIN THE 8.3% MAXIMUM RUNNING RAMP SLOPE DUE TO STREET INTERSECTION GRADES AND/OR ALIGNMENTS. SEE EGM SECTION 6.3.5 FOR PEDESTRIAN PUSHBUTTON LOCATION REQUIREMENTS.
- DETECTABLE WARNING SURFACE SHALL START A MINIMUM OF 6" BUT NOT MORE THAN 8" FROM THE FLOWLINE OF THE CURB AT ANY POINT.
- DETECTABLE WARNING SURFACE SHALL BE PREFABRICATED, CAST IRON (OPTIMA NATURAL FINISH) AND IN ACCORDANCE WITH EGM CHAPTER 8 AND SD-2-42. THERMOPLASTIC TRUNCATED DOMES AND PAVERS WILL NOT BE ACCEPTED.
- THE DETECTABLE WARNING SURFACE SHALL BE 24" IN LENGTH AND THE FULL WIDTH OF THE FLARE AREA.
- PEDESTRIAN CURB RAMP WIDTH REQUIRED IS SAME AS APPROACHING SIDEWALK, 4" MINIMUM.
- ALL PEDESTRIAN CURB RAMPS WILL BE PERPENDICULAR TO TRAFFIC WITH THE EXCEPTION OF MID-BLOCK OR TERMINAL RAMPS WHICH MAY BE PARALLEL, SUBJECT TO APPROVAL.
- DRAINAGE STRUCTURES, TRAFFIC SIGNAL/BOXES, UTILITIES/JUNCTION BOXES, OR OTHER OBSTRUCTIONS WITHIN PROPOSED PEDESTRIAN CURB RAMP AREAS AND LANDINGS ARE PROHIBITED.
- THE COUNTER SLOPE OF THE GUTTER OR ROAD AT THE FOOT OF A RAMP SHALL NOT EXCEED 3%.

GENERAL NOTES

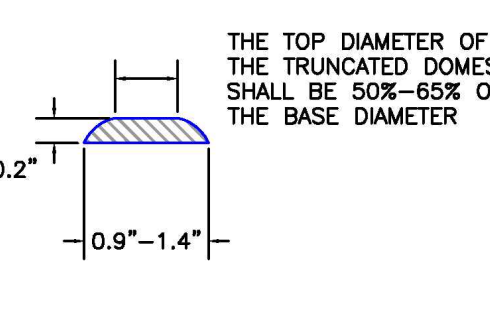
- WHERE THE 1'-6" FLARED SIDE(S) OF A PERPENDICULAR CURB RAMP IS (ARE) CONTIGUOUS WITH A PEDESTRIAN OR HARD SURFACE AREA (PEDESTRIAN CIRCULATION PATH), THE MAXIMUM FLARE SLOPE SHALL NOT EXCEED 10:1.
- PEDESTRIAN WALKWAY (PEDESTRIAN ACCESS ROUTE) AND/OR LOCATION OF EXISTING OR FUTURE PEDESTRIAN RAMPS ON OPPOSITE CORNERS SHALL BE REVIEWED BEFORE CONSTRUCTING NEW RAMPS.
- AT MARKED PEDESTRIAN CROSSINGS, THE BOTTOM OF THE RAMPS, EXCLUSIVE OF THE FLARE SIDES, SHALL BE TOTALLY CONTAINED WITHIN THE MARKINGS.

6/23/20	Pedestrian Curb Ramp Detail	
DATE APPROVED:	Jennifer E. Irvine	
REVISION DATE:	6/23/20	FILE NAME: SD_2-41
DEPARTMENT OF PUBLIC WORKS	DEPARTMENT OF PUBLIC WORKS	

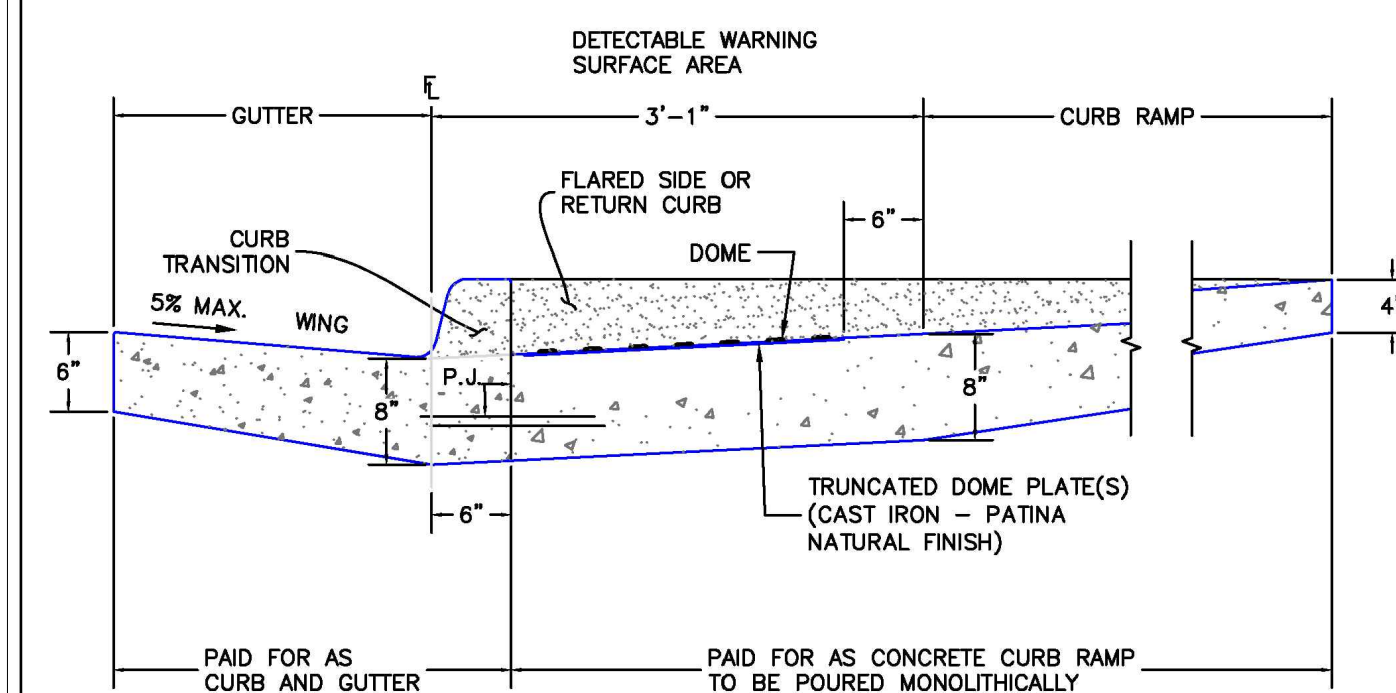
TRUNCATED DOME DETAILS



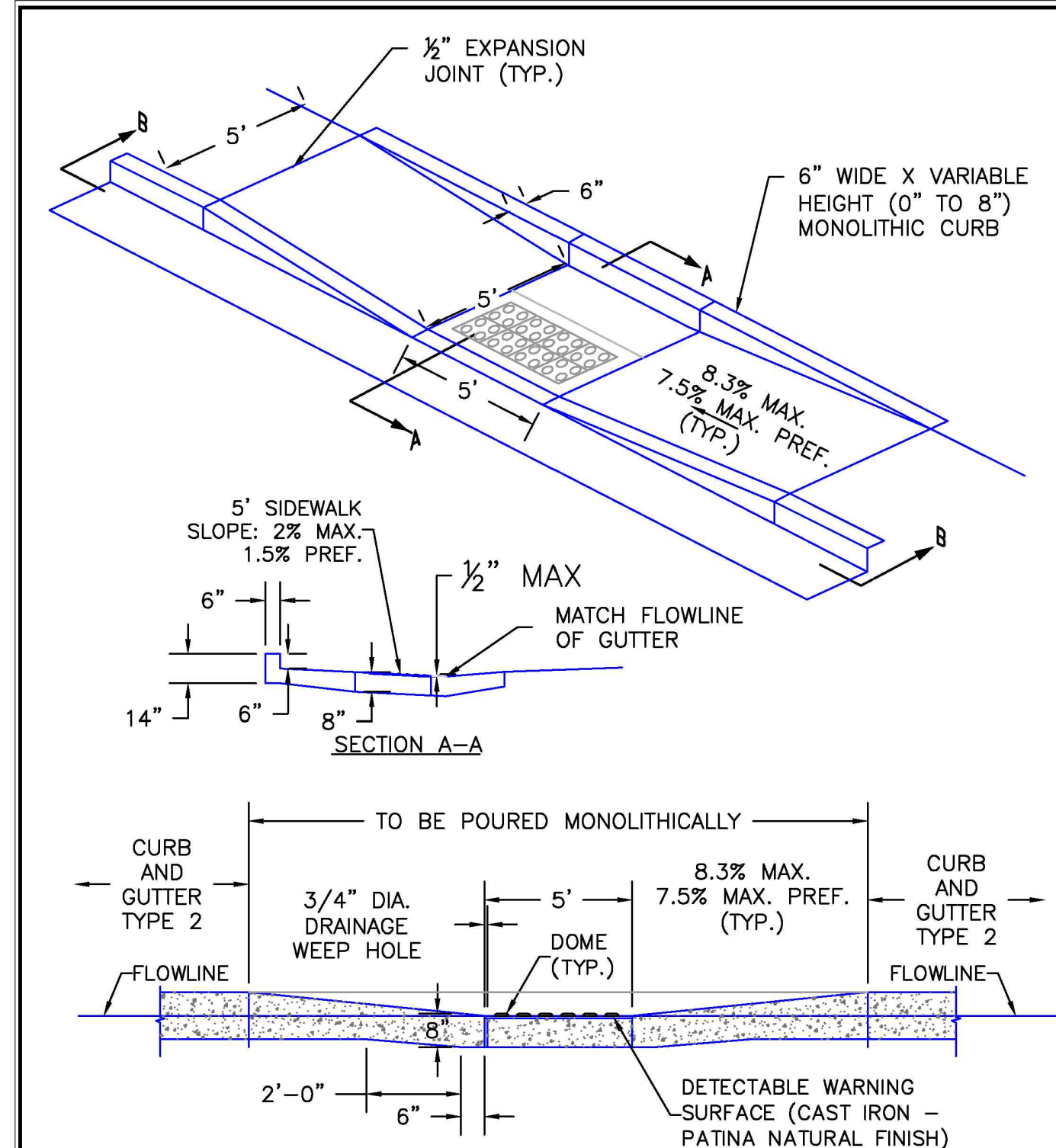
DOME SPACING



ELEVATION VIEW

SIDE CROSS SECTION VIEW OF
DETECTABLE WARNING SURFACE, CURB AND GUTTER

6/23/20	Detectable Warning Surface Details	
DATE APPROVED:	Jennifer E. Irvine	
REVISION DATE:	6/23/20	FILE NAME: SD_2-42
DEPARTMENT OF PUBLIC WORKS	DEPARTMENT OF PUBLIC WORKS	



SECTION B-B SCALE: NOT TO SCALE

6/23/20	Parallel Pedestrian Curb Ramp Detail	
DATE APPROVED:	Jennifer E. Irvine	
REVISION DATE:	6/23/20	FILE NAME: SD_2-50
DEPARTMENT OF PUBLIC WORKS	DEPARTMENT OF PUBLIC WORKS	



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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JAYHAWK AVENUE AND REDTAIL DRIVE
EL PASO COUNTY, COLORADO
DETAILS

CLIENT
DATE 12/03/2021

1st SUBMITTAL TO EPC
10/27/2021 - RDL
2nd SUBMITTAL TO EPC
12/03/2021 - RDL

REVISIONS



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