

S101005
2645



SUNSET VILLAGE FILING NO. 4

CONSTRUCTION PLANS

Contacts List:

El Paso County Planning and Community Development
Gilbert LaForce, PE
719-520-7945
gilbertlaforce@elpasoco.com

Ryan Howser
719-520-6049; ryanhowser@elpasoco.com

Owner/Developer
Scott Van Whye
Sunset Village View, LLC.
303-519-5100

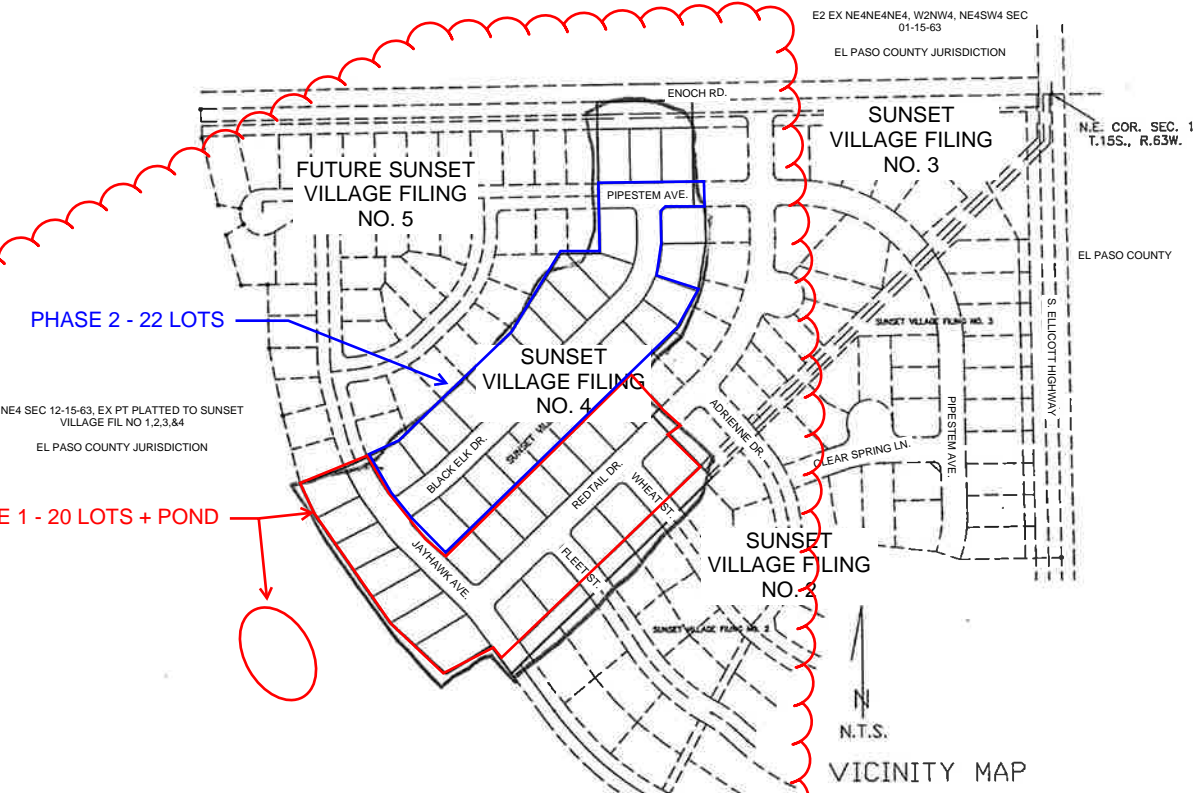
Civil Engineer
Richard Lyon, PE
Atwell, LLC.
rlyon@atwell-group.com

Per the County Attorney's Office, a Condition of Approval will be included with the Construction Plans.

Approval will be limited to Phase 1 improvements only.

The Construction Plans will need to be resubmitted for review/approval once the Developer intends to proceed with Phase 2.

Financial Assurances for Phase 2 improvements will be required at that time.



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- 1) COVER SHEET
- 2) GENERAL NOTES AND DETAILS
- 3) STREET & SANITARY SEWER PLAN (PIPESTEM)
- 4) STREET & SANITARY SEWER PLAN (REDTAIL DRIVE)
- 5) STREET & SANITARY SEWER PLAN (BLACK ELK DRIVE)
- 6) STREET & SANITARY SEWER PLAN (JAYHAWK AVE.)
- 7) STREET PLAN (WHEAT DRIVE)
- 8) STREET PLAN (FLEET STREET)
- 9) STREET PLAN (ENOCH ROAD)
- 10) UTILITY PLAN
- D-1) DEVELOPED DRAINAGE AND EROSION CONTROL PLAN
- D-2) STORM DRAIN PLAN AND PROFILE
- D-3) DETENTION POND PLAN AND DETAILS
- HW-1) ELLICOTT HIGHWAY IMPROVEMENT PLAN AND PROFILE
- 15) SIGNAGE AND STRIPING PLAN
- 16) CDOT S-614-1 DETAILS
- 17) POND PLAN
- 18) POND DETAILS
- 19) POND DETAILS
- 20) DETAILS
- 21) DETAILS
- 22) DETAILS

THE FOLLOWING STANDARD DETAILS ARE INCLUDED IN THIS PLAN SET:

- EL PASO COUNTY DETAILS:
- EPC DETAIL SD 2-20 TYPICAL CURB AND GUTTER
 - EPC DETAIL SD 2-26 TYPICAL CROSS PAN LAYOUT
 - EPC DETAIL SD 2-41 PEDESTRIAN INTERSECTION RAMP
 - EPC DETAIL SD 2-42 DETECTABLE WARNING SURFACE
 - EPC DETAIL SD 2-50 PARALLEL PEDESTRIAN CURB RAMP

EROSION CONTROL MEASURES:

- CONCRETE WASHOUT AREA
- VEHICLE TRACKING CONTROL
- ROCK SOCKS
- INLET PROTECTION
- SEEDING AND MULCHING
- STRAW BALE BARRIER / CHECK DAM
- SILT FENCE



4575 GALLEY ROAD SUITE 200
COLORADO SPRINGS COLORADO
(719) 597-9900 80915

PROJECT 00-0908 DATE 10-08-01 DRAWN J.L.K.

SHEET 1 OF 22

MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC.
DECEMBER, 2021
EPC PROJ.: CDR-21-008

REVISION 1: 01/07/2022

ENGINEER'S STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID DETAILED PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED DRAINAGE PLANS AND SPECIFICATIONS, AND SAID DETAILED PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE MASTER PLAN OF THE DRAINAGE BASIN. SAID DETAILED PLANS AND SPECIFICATIONS MEET THE PURPOSE FOR WHICH THE PARTICULAR DRAINAGE FACILITIES ARE DESIGNED. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED DRAINAGE PLANS AND SPECIFICATIONS.

JOHN P. SCHWAB, P.E. NO. 29891



DISCLAIMER:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH THE COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

DEVELOPER'S STATEMENT:

I, RODNEY PRIESSER, THE DEVELOPER HAS READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THIS DRAINAGE REPORT AND PLAN.

BY: *[Signature]*

TITLE: OWNER
ADDRESS: 90 S. CASCADE AVE. # 950
COLORADO SPRINGS, CO. 80903

EL PASO COUNTY:

FILED IN ACCORDANCE WITH SECTION 51.1 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.

[Signature] 12-19-01
DATE

CONDITIONS:

Engineer's Statement:

These detailed plans and specifications were prepared under my direction and supervision. Said plans and specifications have been prepared according to the criteria established by the County for detailed roadway, drainage, grading and erosion control plans and specifications, and said plans and specifications are in conformity with applicable master drainage plans and master transportation plans. Said plans and specifications meet the purposes for which the particular roadway and drainage facilities are designed and are correct to the best of my knowledge and belief. I accept responsibility for any liability caused by any negligent acts, errors or omissions on my part in preparation of these detailed plans and specifications.

[Signature] 01-07-2022
Richard Lyon, P.E. #35921 Date

Owner/Developer's Statement:

I, the owner/developer have read and will comply with all of the requirements of the grading and erosion control plan and all of the requirements specified in these detailed plans and specifications.

[Signature] 01-07-2022
Scott Van Whye Date
Scott Van Whye, President
Sunset Village View, LLC.
300 Windchime Pl #301, Colorado Springs, CO

El Paso County:

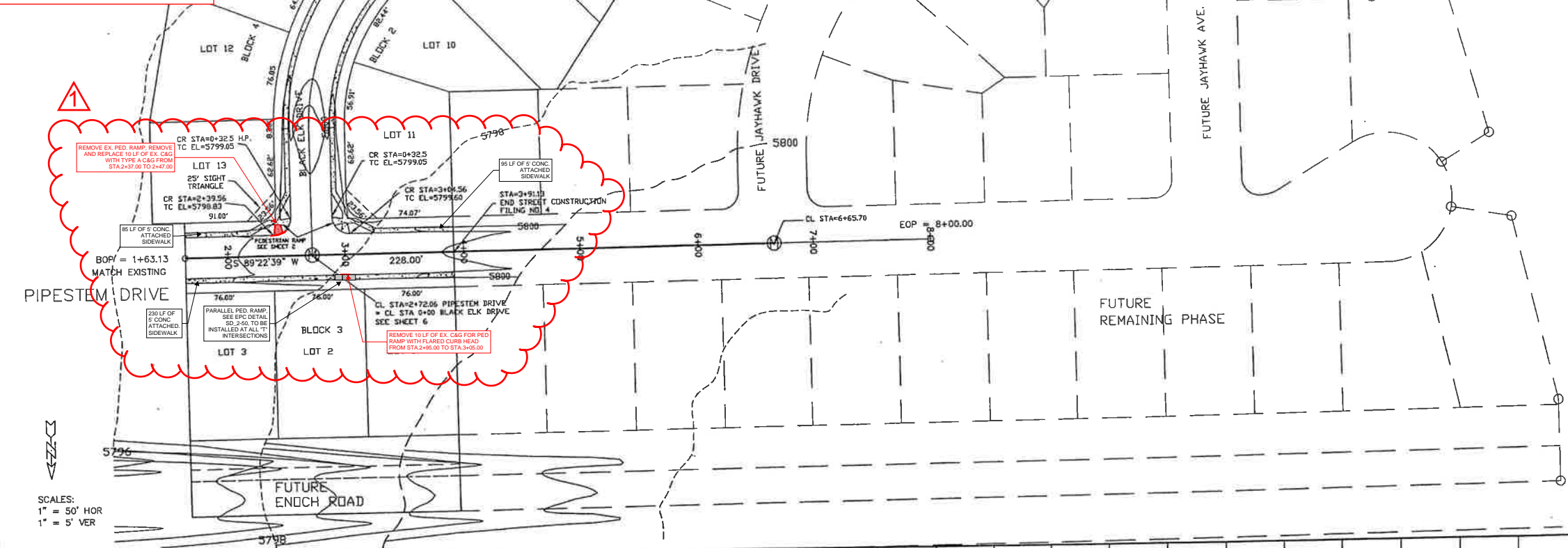
County plan review is provided only for general conformance with County Design Criteria. The County is not responsible for the accuracy and adequacy of the design, dimensions, and/or elevations which shall be confirmed at the job site. The County through the approval of this document assumes no responsibility for completeness and/or accuracy of this document.

Filed in accordance with the requirements of the El Paso County Land Development Code, Drainage Criteria Manual, Volumes 1 and 2, and Engineering Criteria Manual as amended.

In accordance with ECM Section 1.12, these construction documents will be valid for construction for a period of 2 years from the date signed by the El Paso County Engineer. If construction has not started within those 2 years, the plans will need to be resubmitted for approval, including payment of review fees at the Planning and Community Development Directors discretion.

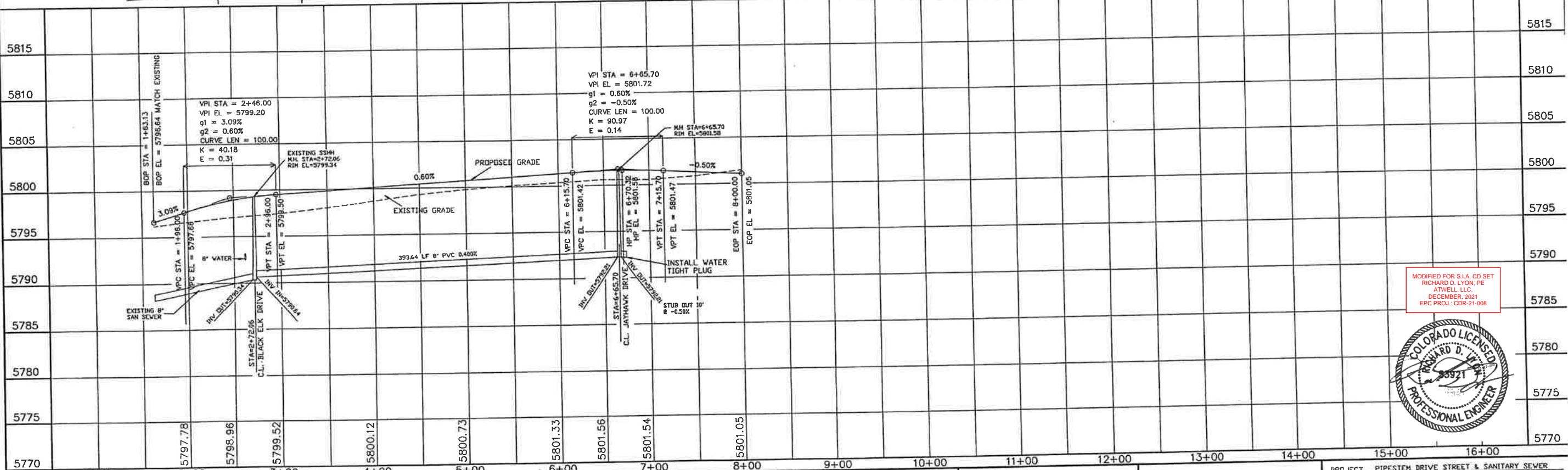
Jennifer Irvine, P.E.
County Engineer / ECM Administrator Date

PHASE 2 (BLACK ELK DRIVE AND PIPESTEM DRIVE)



- NOTES:
1. ROUGH CUT ROAD AND CONSTRUCT SANITARY SEWER TO STATION 6+65.70
 2. ALL CURB RETURN RADII ARE 15.00'
 3. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14

* CURB AND GUTTER MARKED IN THE FIELD TO BE REPLACED IN-KIND. ESTIMATED TO BE APPROXIMATELY 900 LF IN TOTAL.

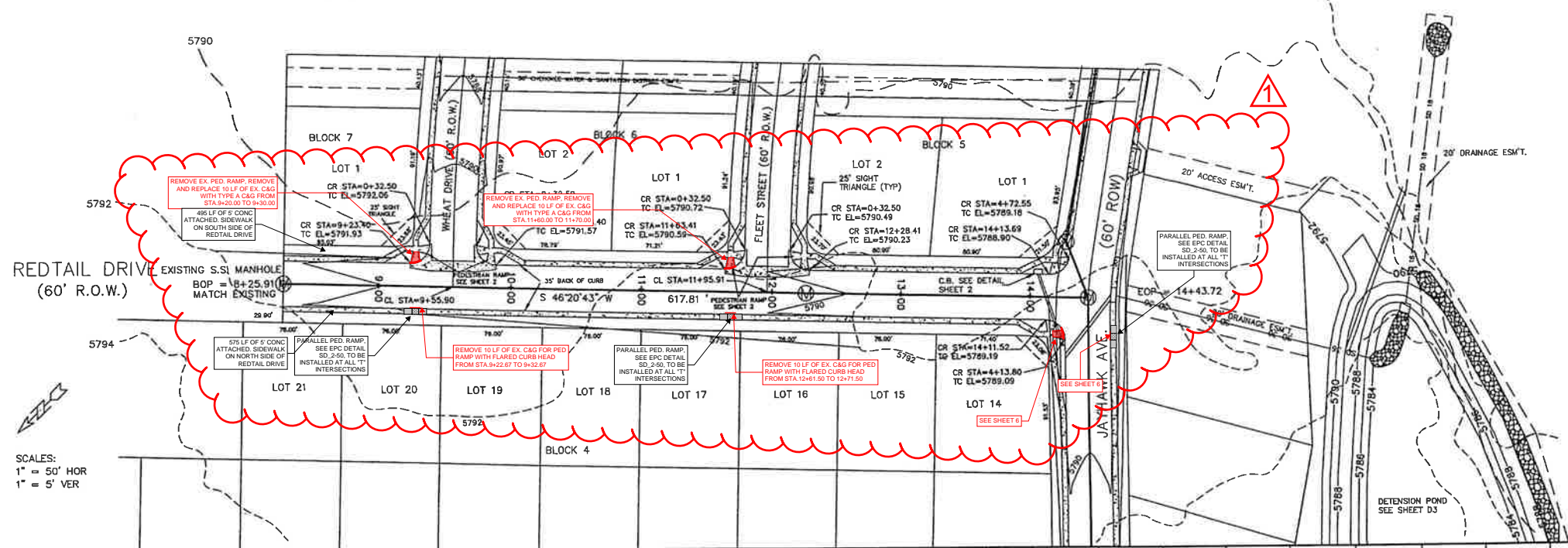


MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008



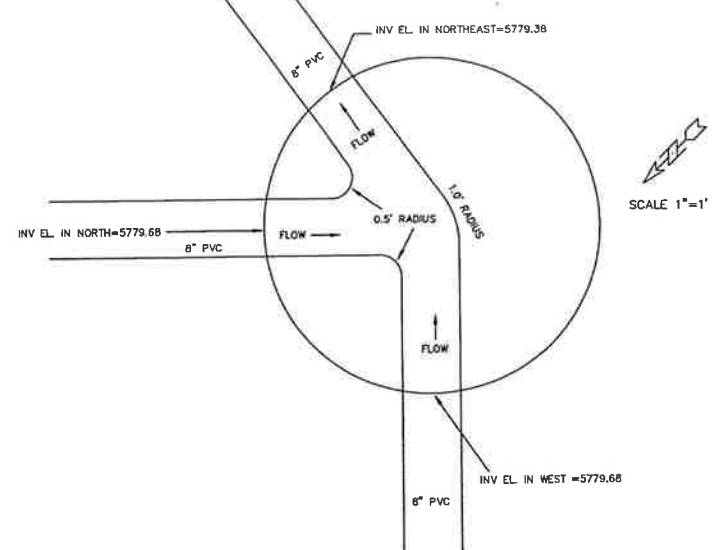
STATEMENT: THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN, THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.		REVIEW: STREET DESIGN: _____ DATE: _____ ROUGH CUT REVIEW: _____ DATE: _____ FINAL REVIEW: _____ DATE: _____ DRAINAGE BASIN: _____		DESIGN DATA: SIDEWALKS: WIDTH 5' LOCATION: Attached to Detached, 6' from P/L/D CURB TYPE 102030 R/W WIDTH 60' B/C-B/C 35' STREET TYPE HVEEM ASPHALT THICKNESS: AC Surface TBD AC Base Class 6 AGG. BASE THICKNESS: Class 5 Class 2		SCALE: HORIZ. 50' VERT. 5' BENCHMARK: U.S.G.S. BRASS CAP 114.8 (1953) ELEV=5752.00 LOCATED AT THE SOUTHEAST CORNER OF SECTION 12, T.15S, R.63W.		REVISIONS: NO. 1 DESCRIPTION SIA CD UPDATES DATE 01/07/2022		ENGINEER: UNITED PLANNING ENGINEERING (719) 597-9908 4575 GALLEY ROAD SUITE 200 COLORADO SPRINGS, COLORADO 80915 DESIGNED BY: J.L.K. DATE: 10-09-01 DRAWN BY: J.L.K. DATE: 10-09-01 CHECKED BY: T.L.K. DATE: 10-09-01		PROJECT: PIPESTEM DRIVE STREET & SANITARY SEWER FROM: 1+63.13 TO: 6+65.70 SUBDIVISION: SUNSET VILLAGE FILING NO. 4 DRAINAGE BASIN: TELEPHONE EXCHANGE JOB NO. D:\PROJ\X00-0908\RCP01001.DWG SHEET 3 OF 22	
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PHASE 1 (REDTAIL DRIVE, WHEAT DRIVE, FLEET STREET, JAYHAWK AVENUE)



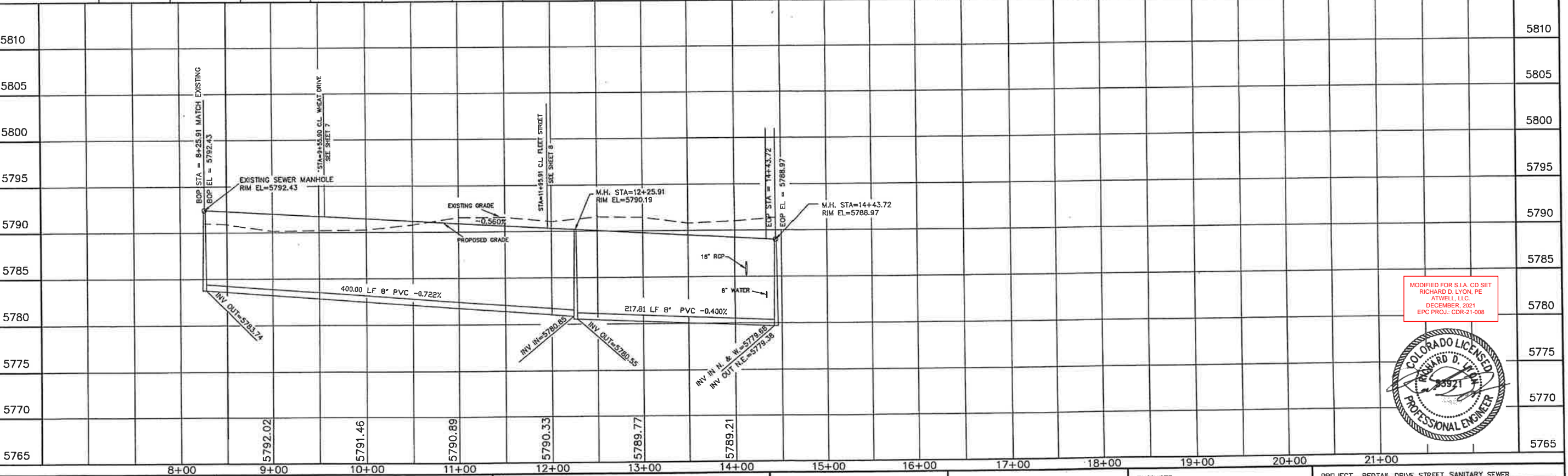
* CURB AND GUTTER MARKED IN THE FIELD TO BE REPLACED IN-KIND. ESTIMATED TO BE APPROXIMATELY 900 LF IN TOTAL.

DETAIL
MANHOLE STATION 14+43.72
INTERSECTION REDTAIL DRIVE AND JAYHAWK AVE.



SCALES:
1" = 50' HOR
1" = 5' VER

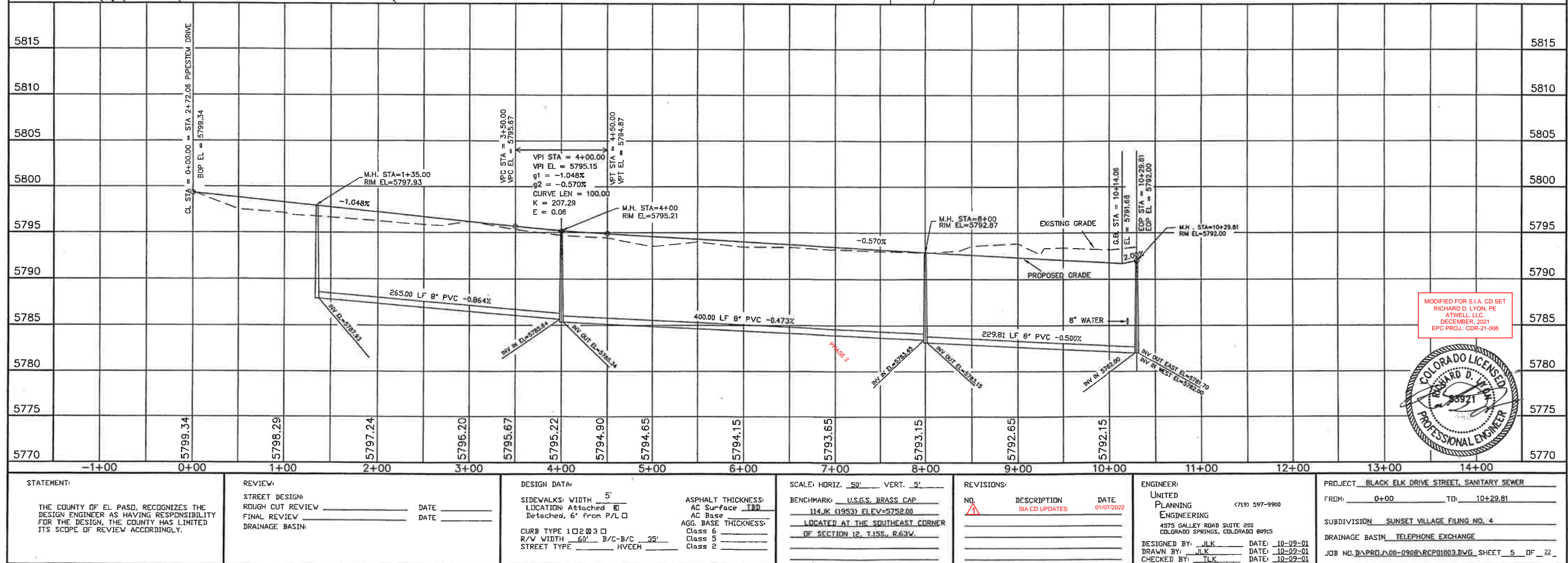
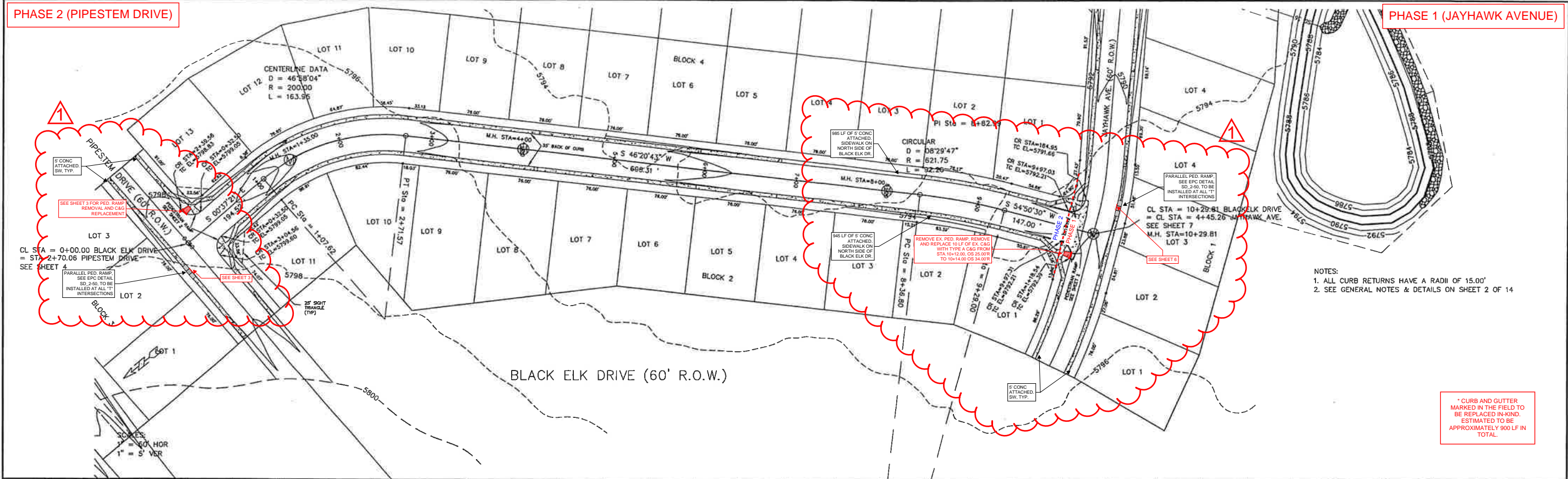
- NOTES:
1. ALL CURB RETURNS HAVE A RADIUS OF 15.00'
2. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14



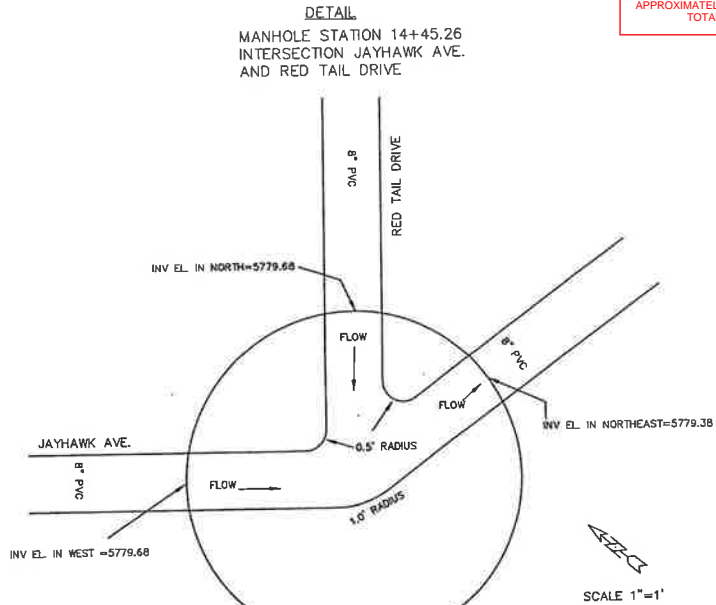
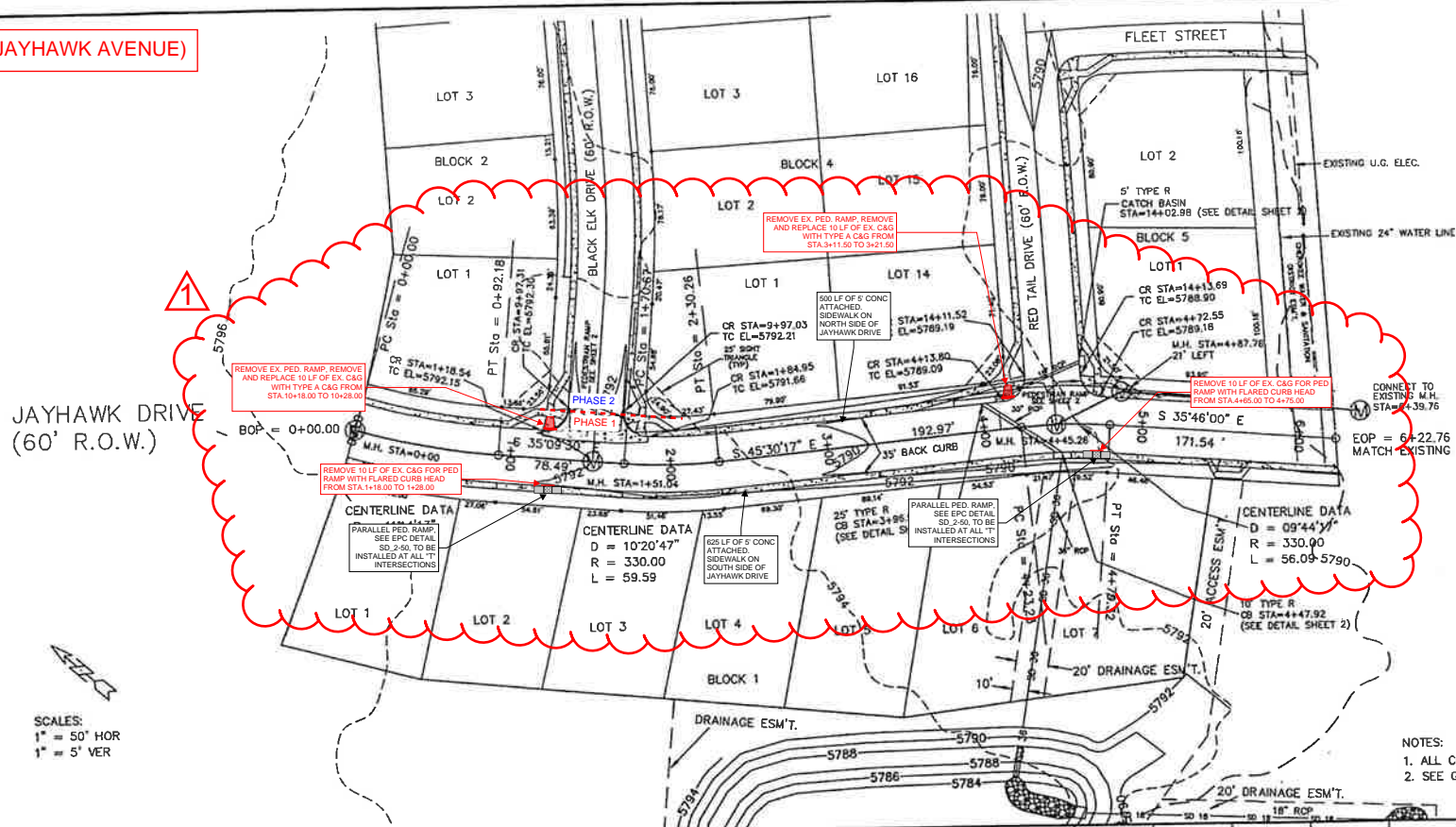
MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008



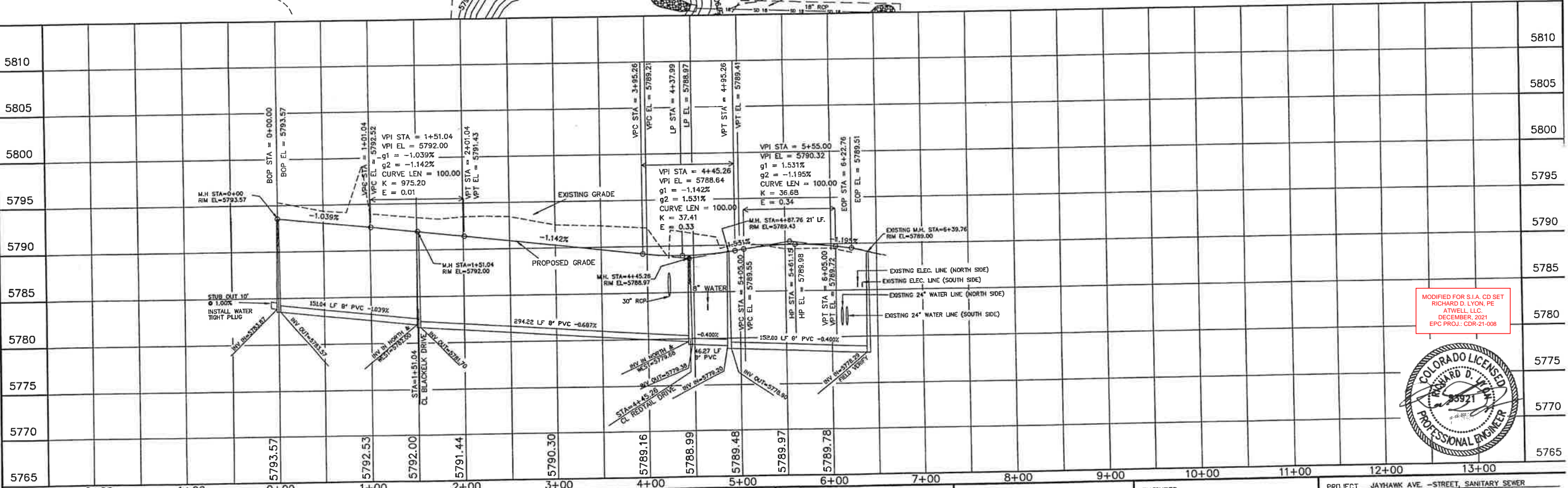
STATEMENT: THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN. THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.	REVIEW: STREET DESIGN _____ DATE _____ ROUGH CUT REVIEW _____ DATE _____ FINAL REVIEW _____ DATE _____ DRAINAGE BASIN _____	DESIGN DATA: SIDEWALKS WIDTH 5' LOCATION: Attached <input checked="" type="checkbox"/> Detached, 6' from P/L <input type="checkbox"/> CURB TYPE 102030 R/W WIDTH 60' B/C-B/C 35' STREET TYPE _____ ASPHALT THICKNESS: AC Surface 1BD AC Base _____ AGG. BASE THICKNESS: Class 6 _____ Class 5 _____ Class 2 _____	SCALE: HORIZ. 50' VERT. 5' BENCHMARK: U.S.G.S. BRASS CAP 114 JK (1953) ELEV=5752.00 LOCATED AT THE SOUTHEAST CORNER OF SECTION 12, T15S, R63W.	REVISIONS: NO. DESCRIPTION DATE 1 SIA CD UPDATES 01/07/2022	ENGINEER: UNITED PLANNING ENGINEERING 4575 GALLEY ROAD SUITE 200 COLORADO SPRINGS, COLORADO 80915 DESIGNED BY: JLK DATE: 10-09-01 DRAWN BY: JLK DATE: 10-09-01 CHECKED BY: TLK DATE: 10-09-01	PROJECT: REDTAIL DRIVE STREET, SANITARY SEWER FROM: 8+25.91 TO: 14+43.72 SUBDIVISION: SUNSET VILLAGE FILING NO. 4 DRAINAGE BASIN: TELEPHONE EXCHANGE JOB NO. D:\PROJ\A00-0908\RCP01002.DWG SHEET 4 OF 22
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PHASE 1 (JAYHAWK AVENUE)



- NOTES:
1. ALL CURB RETURNS HAVE A RADIUS OF 15.00'
 2. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14



MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008



STATEMENT:

THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN. THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

REVIEW:

STREET DESIGN _____ DATE _____
ROUGH CUT REVIEW _____ DATE _____
FINAL REVIEW _____ DATE _____

DESIGN DATA:

SIDEWALKS WIDTH 5'
LOCATION Attached to
Detached, 6' from P/LD
CURB TYPE 10 200 30
R/W WIDTH 60' B/C-B/C 35'
STREET TYPE HVEEM
ASPHALT THICKNESS:
AC Surface 1BD
AC Base
AGG. BASE THICKNESS:
Class 6
Class 5
Class 2

SCALE: HORIZ. 50' VERT. 5'

BENCHMARK: U.S.G.S. BRASS CAP
114JK (1953) ELEV=5752.00
LOCATED AT THE SOUTHEAST CORNER
OF SECTION 12, T15S, R63W.

REVISIONS:

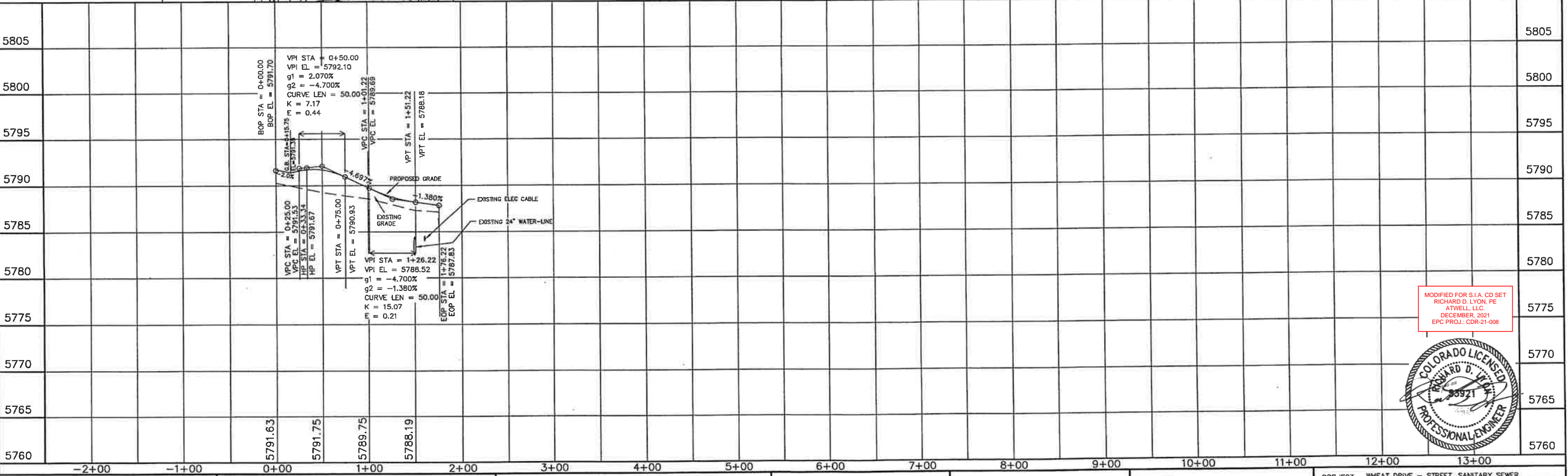
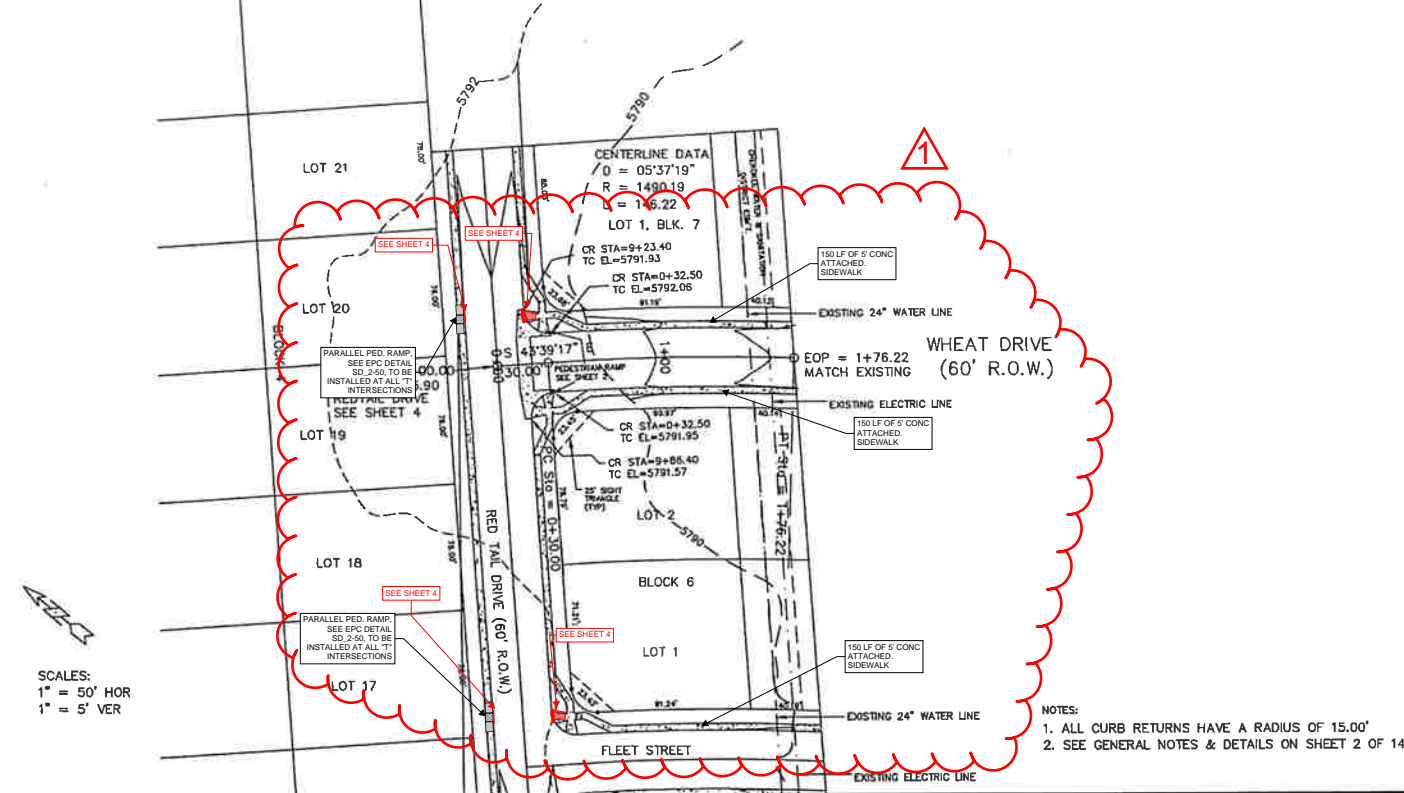
NO.	DESCRIPTION	DATE
1	SIA CD UPDATES	01/07/2022

ENGINEER:
UNITED
PLANNING
ENGINEERING
(719) 597-9900
4575 GALLEY ROAD SUITE 200
COLORADO SPRINGS, COLORADO 80915
DESIGNED BY: J.L.K. DATE: 10-09-01
DRAWN BY: J.L.K. DATE: 10-09-01
CHECKED BY: J.L.K. DATE: 10-09-01

PROJECT: JAYHAWK AVE. - STREET, SANITARY SEWER
FROM: 0+00 TO: 6+22.76
SUBDIVISION: SUNSET VILLAGE FILING NO. 4
DRAINAGE BASIN: TELEPHONE EXCHANGE
JOB NO. D:\PROJ\100-0908\RCD\01004.DWG SHEET 6 OF 22

PHASE 1 (REDTAIL DRIVE, WHEAT DRIVE, FLEET STREET, JAYHAWK AVENUE)

* CURB AND GUTTER MARKED IN THE FIELD TO BE REPLACED IN-KIND. ESTIMATED TO BE APPROXIMATELY 900 LF IN TOTAL.



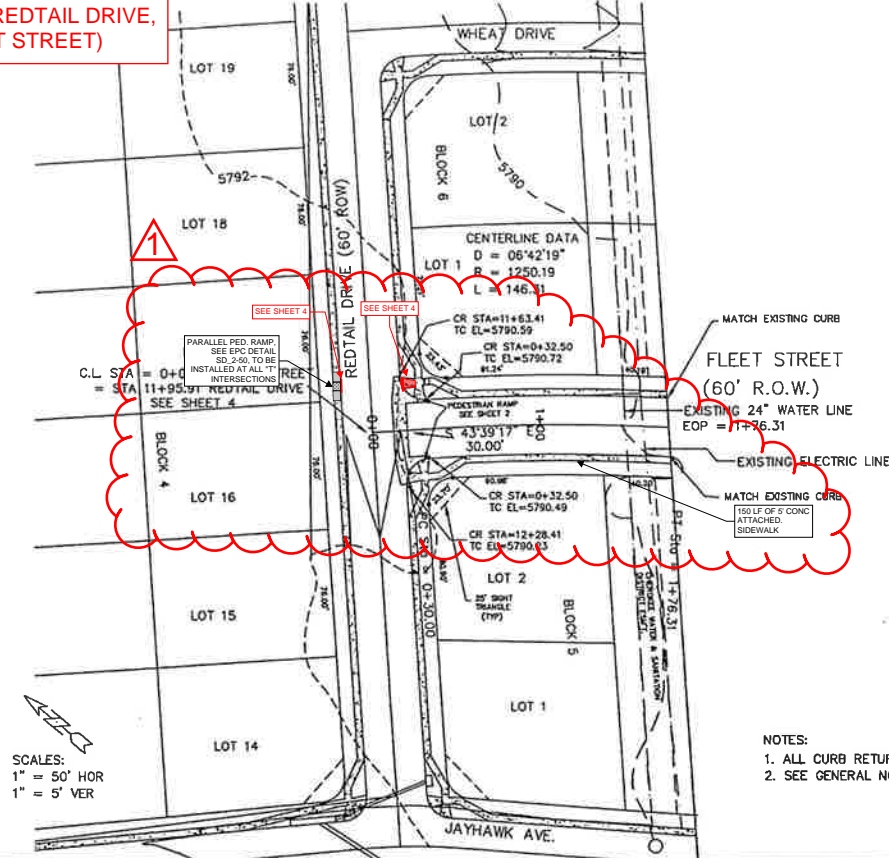
MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC.
DECEMBER, 2021
EPC PROJ.: CDR-21-008



STATEMENT: THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN. THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.	REVIEW: STREET DESIGN _____ DATE _____ ROUGH CUT REVIEW _____ DATE _____ FINAL REVIEW _____ DATE _____ DRAINAGE BASIN _____	DESIGN DATA: SIDEWALKS: WIDTH 5' LOCATION: Attached to Detached, 6' from P/LD CURB TYPE 102030 R/W WIDTH 60' B/C-B/C 35' STREET TYPE _____ HVEEM _____ ASPHALT THICKNESS: AC Surface 180 AC Base _____ AGG. BASE THICKNESS: Class 6 _____ Class 5 _____ Class 2 _____	SCALE: HORIZ. 50' VERT. 5' BENCHMARK: U.S.G.S. BRASS CAP 114JK (1953) ELEV=5752.00 LOCATED AT THE SOUTHEAST CORNER OF SECTION 12, T.15S., R.63W.	REVISIONS: NO. DESCRIPTION DATE 1 SIA CD UPDATES 01/07/2022	ENGINEER: UNITED PLANNING ENGINEERING 4575 GALLEY ROAD SUITE 200 COLORADO SPRINGS, COLORADO 80915 DESIGNED BY: JLK DATE: 10-02-01 DRAWN BY: JLK DATE: 10-02-01 CHECKED BY: TLK DATE: 10-02-01	PROJECT: WHEAT DRIVE - STREET, SANITARY SEWER FROM: 0+00 TO: 1+76.22 SUBDIVISION: SUNSET VILLAGE FILING NO. 4 DRAINAGE BASIN: TELEPHONE EXCHANGE JOB NO. B:\PROJ\A00-0908\PCP01005.DWG SHEET 7 OF 15
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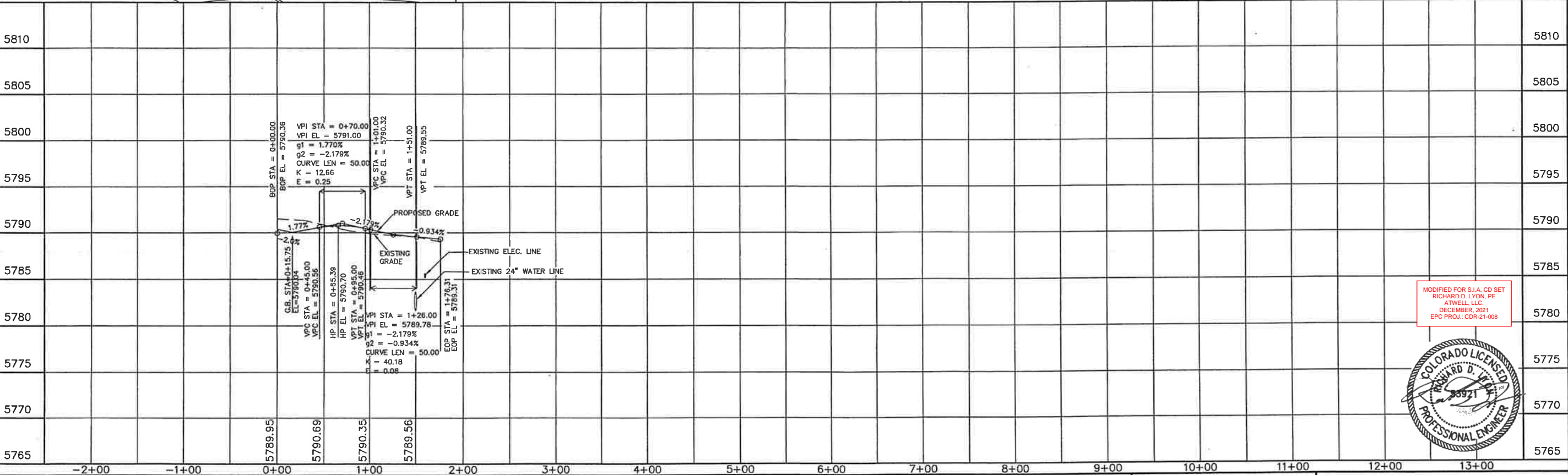
PHASE 1 (REDTAIL DRIVE, FLEET STREET)

* CURB AND GUTTER MARKED IN THE FIELD TO BE REPLACED IN-KIND. ESTIMATED TO BE APPROXIMATELY 900 LF IN TOTAL.



- NOTES:
1. ALL CURB RETURNS HAVE A RADIUS OF 15.00'
 2. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14

SCALES:
1" = 50' HOR
1" = 5' VER

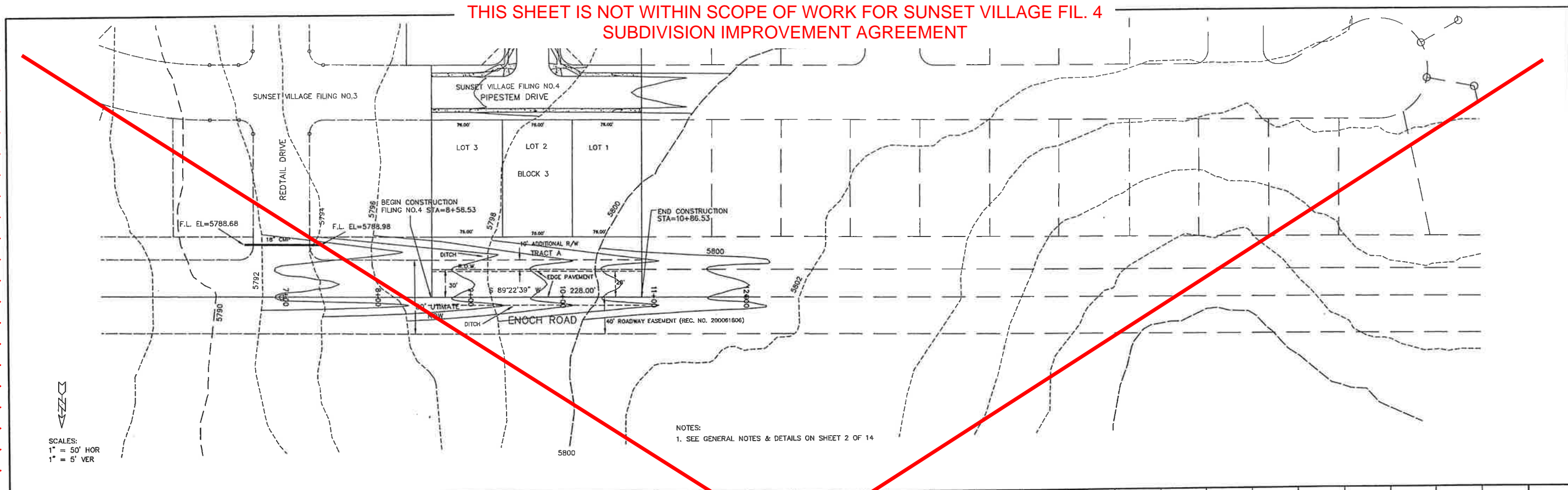


MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ. CDR-21-008

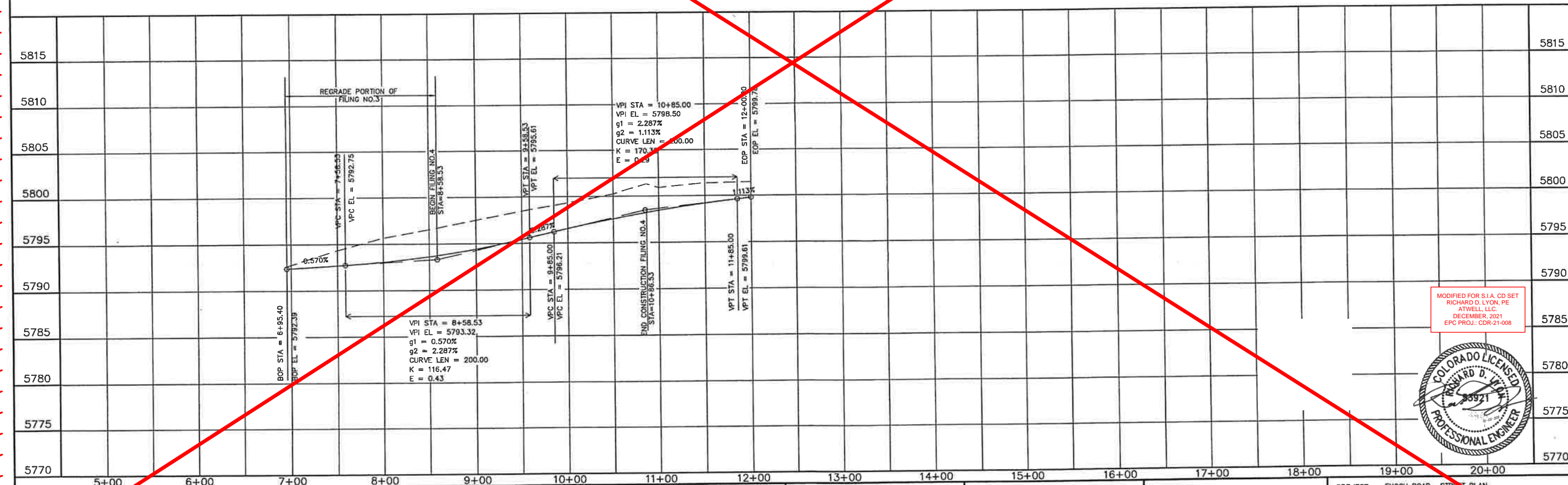


STATEMENT: THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN, THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.	REVIEW: STREET DESIGN _____ DATE _____ ROUGH CUT REVIEW _____ DATE _____ FINAL REVIEW _____ DATE _____ DRAINAGE BASIN: _____	DESIGN DATA: SIDEWALKS: WIDTH 5' LOCATION: Attached to Detached, 6' from P/L/D CURB TYPE 10 20 30 R/W WIDTH 60' B/C-B/C 35' STREET TYPE _____ HVEEM _____ ASPHALT THICKNESS: AC Surface 180 AC Base _____ AGG. BASE THICKNESS: Class 6 _____ Class 5 _____ Class 2 _____	SCALE: HORIZ. 50' VERT. 5' BENCHMARK: U.S.G.S. BRASS CAP 114 JK (1953) ELEV=5752.00 LOCATED AT THE SOUTHEAST CORNER OF SECTION 12, T.15S, R.63W.	REVISIONS: NO. DESCRIPTION DATE 1 SIA CD UPDATES 01/07/2022	ENGINEER: UNITED PLANNING ENGINEERING (719) 597-9900 4575 GALLEY ROAD SUITE 200 COLORADO SPRINGS, COLORADO 80915 DESIGNED BY: J.L.K. DATE: 10-09-01 DRAWN BY: J.L.K. DATE: 10-09-01 CHECKED BY: T.L.K. DATE: 10-09-01	PROJECT: FLEET STREET-STREET, SANITARY SEWER FROM: 0+00 TO: 1+76.31 SUBDIVISION: SUNSET VILLAGE FILING NO. 4 DRAINAGE BASIN: TELEPHONE EXCHANGE JOB NO. D:\PROJ\100-0908\RCPE01006.DWG SHEET 8 OF 15
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THIS SHEET IS NOT WITHIN SCOPE OF WORK FOR SUNSET VILLAGE FIL. 4
SUBDIVISION IMPROVEMENT AGREEMENT



NOTES:
1. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14



MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008



STATEMENT:

THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN. THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

REVIEW:

STREET DESIGN _____ DATE _____
ROUGH CUT REVIEW _____ DATE _____
FINAL REVIEW _____ DATE _____

DESIGN DATA:

SIDEWALKS: WIDTH _____
LOCATION: Attached ☐ Detached, 6' from P/L ☐
CURB TYPE 10 20 30 _____
R/W WIDTH 80' PROP. F/C-F/C _____
STREET TYPE _____ HVECH _____
ASPHALT THICKNESS: AC Surface _____ NA
AC Base _____ NA
AGG. BASE THICKNESS: Class 6 _____
Class 5 _____
Class 2 _____

SCALE: HORIZ. 50' VERT. 5'

BENCHMARK: U.S.G.S. BRASS CAP
114JK (1953) ELEV=5752.00
LOCATED AT THE SOUTHEAST CORNER
OF SECTION 12, T.15S., R.63W.

REVISIONS:

NO. DESCRIPTION DATE
1 SIA CD UPDATES 01/07/2022

ENGINEER:
UNITED
PLANNING (719) 597-9900
ENGINEERING
4575 GALLEY ROAD SUITE 200
COLORADO SPRINGS, COLORADO 80915

DESIGNED BY: JLK DATE: 10-09-01
DRAWN BY: JLK DATE: 10-09-01
CHECKED BY: TLK DATE: 10-09-01

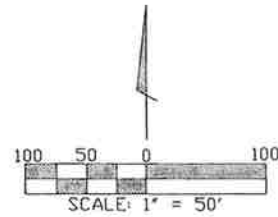
PROJECT: ENOCH ROAD - STREET PLAN

FROM: 6+95.40 TO: 12+00

SUBDIVISION: SUNSET VILLAGE FILING NO. 4

DRAINAGE BASIN: TELEPHONE EXCHANGE

JOB NO. \PROJ\A00-0908\RCP01007.DWG SHEET 9 OF 15



WATER STATEMENT
THE UNDERSIGNED OWNER/DEVELOPER AGREES THAT THE INSTALLATION OF THESE PROPOSED WATER FACILITIES WILL BE MADE IN ACCORDANCE WITH CHEROKEE METROPOLITAN DISTRICT SPECIFICATIONS
AND SHALL PROVIDE A MINIMUM OF FIVE (5) FEET AND A MAXIMUM OF SIX (6) FEET OF COVER OVER THE WATER MAINS. ANY CHANGES REQUIRED TO MEET THE ABOVE STIPULATION SHALL BE AT THE EXPENSE OF THE OWNER/DEVELOPER. COVER IN EXCESS OF SIX(6) FEET SHALL BE SUPPORTED BY PLAN AND PROFILE DRAWINGS APPROVED BY THE CHEROKEE METROPOLITAN DISTRICT.

SIGNED _____ DATE _____
OWNER/DEVELOPER: RODNEY PREISSER
PIKES PEAK WATER COMPANY

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO THE CHEROKEE METROPOLITAN DISTRICT WATER SPECIFICATIONS. THE NUMBER OF HYDRANTS AND HYDRANT LOCATIONS AS SHOWN ON THIS WATER INSTALLATION PLAN ARE CORRECT AND ADEQUATE TO SATISFY THE FIRE PROTECTION REQUIREMENTS AS SPECIFIED BY THE ELLICOTT FIRE PROTECTION DISTRICT.

SIGNED _____ DATE _____
ELLCOTT FIRE PROTECTION DISTRICT

WATER INSTALLATION CORROSION CONTROL REQUIREMENTS:
NONE REQUIRED

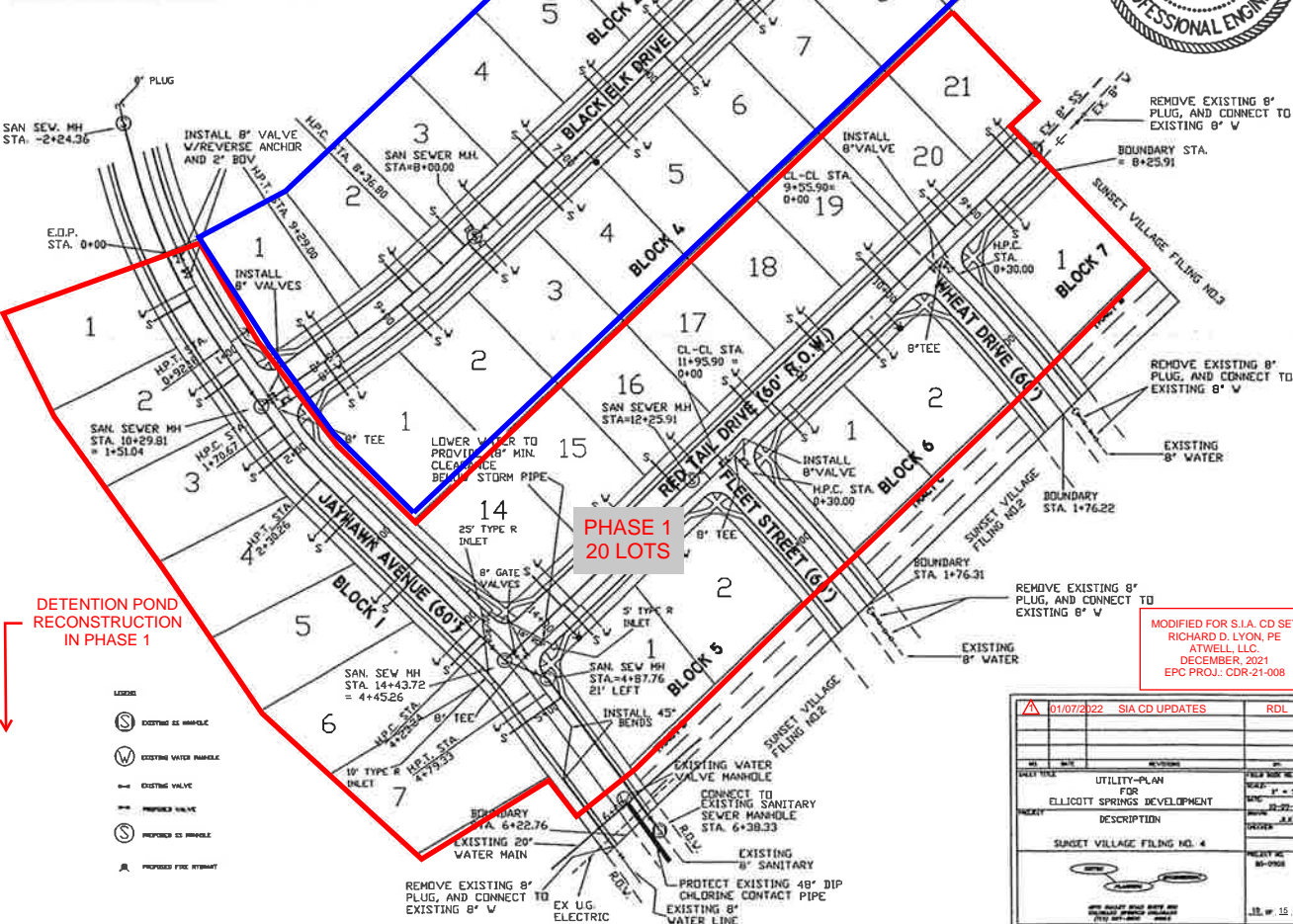
ALL FIRE HYDRANTS AND FUTURE SERVICE STUBS HAVE BEEN LOCATED BY THE DEVELOPER OR HIS ENGINEER. ANY REQUIRED REALIGNMENT, EITHER HORIZONTAL OR VERTICAL, SHALL BE AT THE EXPENSE OF THE DEVELOPER. ALSO, ANY STUBS AND APPURTENANCES NOT USED AS PROPOSED SHALL BE REMOVED AND REPLACED WITH AN ACCEPTABLE SECTION OF PIPE AT THE EXPENSE OF THE DEVELOPER. THE CONTRACTOR IS REQUIRED TO NOTIFY CHEROKEE METROPOLITAN DISTRICT OF THIS PROJECT PRIOR TO ANY CONSTRUCTION. PRIOR TO ANY CONSTRUCTION, IF THIS PROJECT INVOLVES A TAP, DO NOT CALL TO SCHEDULE THE TAP UNTIL THE ENGINEERING INSPECTION NOTIFICATION HAS BEEN MADE.

NOTES:



1. ALL DIMENSIONS ARE TO FACE OF CURB.
2. ALL SPOT ELEVATIONS ARE FACE OF CURB AT FLOWLINE.
3. ALL BENDS SHALL BE FIELD STAKED PRIOR TO CONSTRUCTION.
4. FIRE HYDRANT ASSEMBLY SHALL INCLUDE LATERAL PIPING, GATE VALVE, CONCRETE THRUST REACTION BLOCK AND ANY REQUIRED FITTINGS.
5. MAINTAIN TEN (10) FOOT MINIMUM HORIZONTAL DISTANCE BETWEEN WATER MAIN AND SANITARY SEWER MAIN.

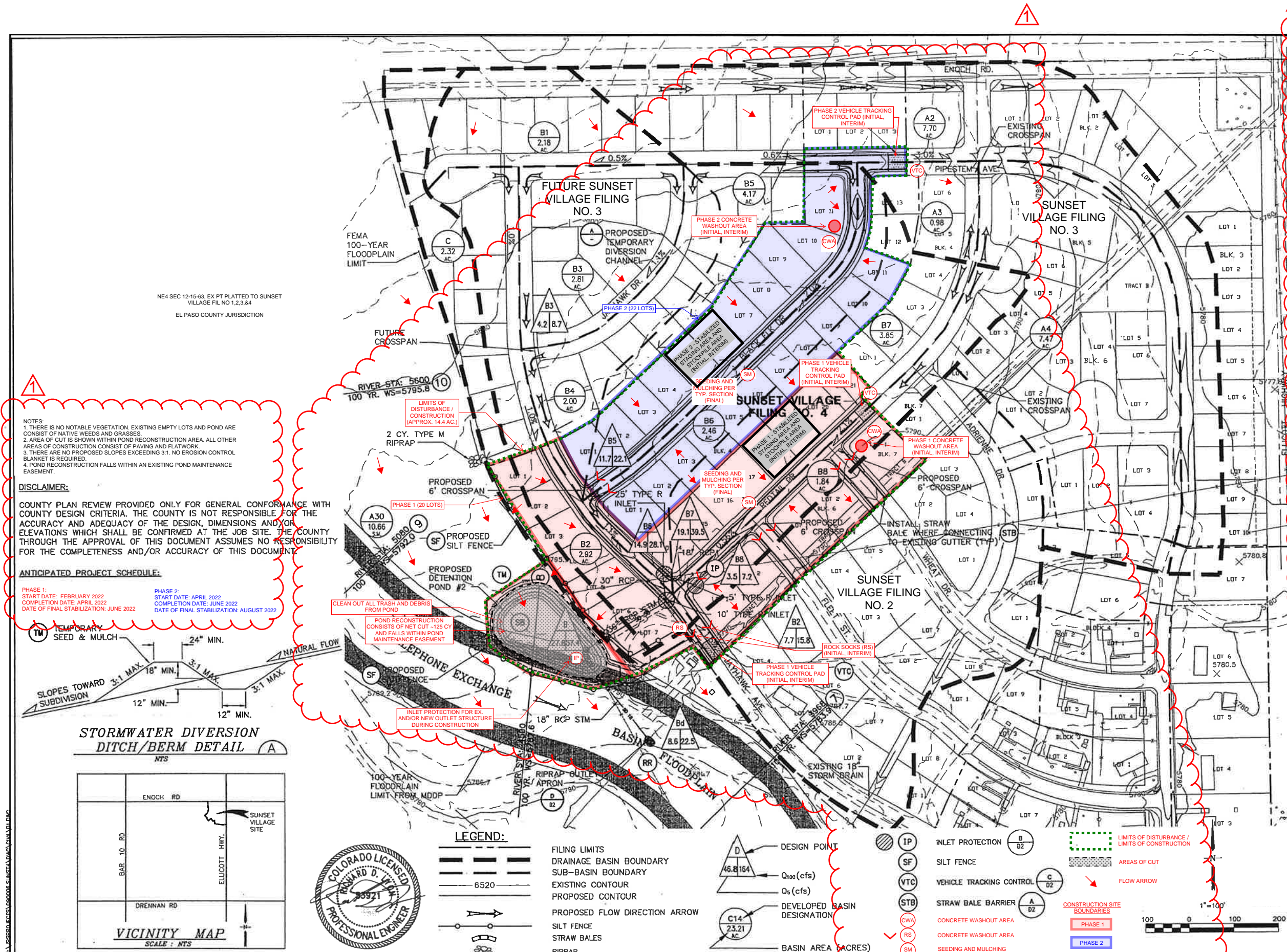
- ___ GAS AND OTHER UTILITY LINES SHOWN ON CONSTRUCTION PLANS
- ___ UTILITIES UNDERGROUND LOCATING-CALL AT LEAST TWO (2)
- ___ BUSINESS DAYS AHEAD 1-800-922-1987.
- ___ UTILITIES MARKED AND LOCATED ON THE GROUND
- ___ EMPLOYEES BRIEFED ON MARKING AND COLOR CODES
- ___ EMPLOYEES TRAINED ON EXCAVATION AND SAFETY PROCEDURES FOR NATURAL GAS LINES
- ___ WHEN EXCAVATION APPROACHES GAS LINES, EMPLOYEES MUST EXPOSE LINES BY CAREFUL PROBING AND HAND DIGGING

CHEROKEE METROPOLITAN DISTRICT



MODIFIED FOR S.I.A. CD SE
RICHARD D. LYON, PE
ATWELL, LLC.
DECEMBER, 2021
EPC PROJ. - GDR-21-008

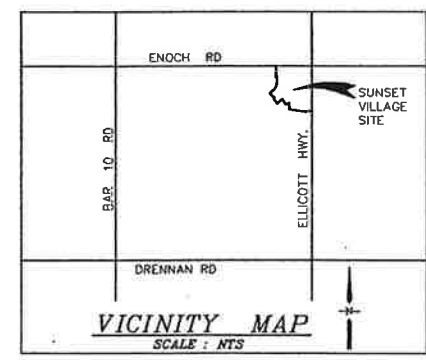
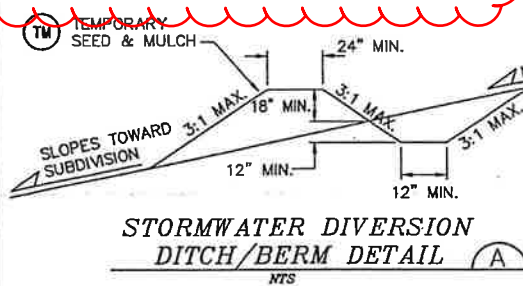
	01/07/2022	SIA CD UPDATES	RDJ
NO	DATE	DESCRIPTION	BY
		UTILITY-PLAN FOR ELICOTT SPRINGS DEVELOPMENT	
PRIORITY		DESCRIPTION	
		SUNSET VILLAGE FILING NO. 4	
			
		<p>DO NOT SIGN THIS FORM AND SUBMIT TO THE PUBLIC</p> <p>THIS FORM IS NOT TO BE USED</p>	
			PRIORITY NO. 80-1000
			JAN 15 1992



NOTES:
1. THERE IS NO NOTABLE VEGETATION. EXISTING EMPTY LOTS AND POND ARE CONSIST OF NATIVE WEEDS AND GRASSES.
2. AREA OF CUT IS SHOWN WITHIN POND RECONSTRUCTION AREA. ALL OTHER AREAS OF CONSTRUCTION CONSIST OF PAVING AND FLATWORK.
3. THERE ARE NO PROPOSED SLOPES EXCEEDING 3:1. NO EROSION CONTROL BLANKET IS REQUIRED.
4. POND RECONSTRUCTION FALLS WITHIN AN EXISTING POND MAINTENANCE EASEMENT.

DISCLAIMER:
COUNTY PLAN REVIEW PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

ANTICIPATED PROJECT SCHEDULE:
PHASE 1:
START DATE: FEBRUARY 2022
COMPLETION DATE: APRIL 2022
DATE OF FINAL STABILIZATION: JUNE 2022
PHASE 2:
START DATE: APRIL 2022
COMPLETION DATE: JUNE 2022
DATE OF FINAL STABILIZATION: AUGUST 2022



- LEGEND:**
- FILING LIMITS
 - DRAINAGE BASIN BOUNDARY
 - SUB-BASIN BOUNDARY
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED FLOW DIRECTION ARROW
 - SILT FENCE
 - STRAW BALES
 - RIPRAP
 - DESIGN POINT
 - Q₁₀₀ (cfs)
 - Q₅ (cfs)
 - DEVELOPED BASIN DESIGNATION
 - BASIN AREA (ACRES)
 - INLET PROTECTION
 - SILT FENCE
 - VEHICLE TRACKING CONTROL
 - STRAW BALE BARRIER
 - CONCRETE WASHOUT AREA
 - CONCRETE WASHOUT AREA
 - SEEDING AND MULCHING
 - LIMITS OF DISTURBANCE / LIMITS OF CONSTRUCTION
 - AREAS OF CUT
 - FLOW ARROW
 - CONSTRUCTION SITE BOUNDARIES
 - PHASE 1
 - PHASE 2

STANDARD NOTES FOR EL PASO COUNTY GRADING AND EROSION CONTROL PLANS

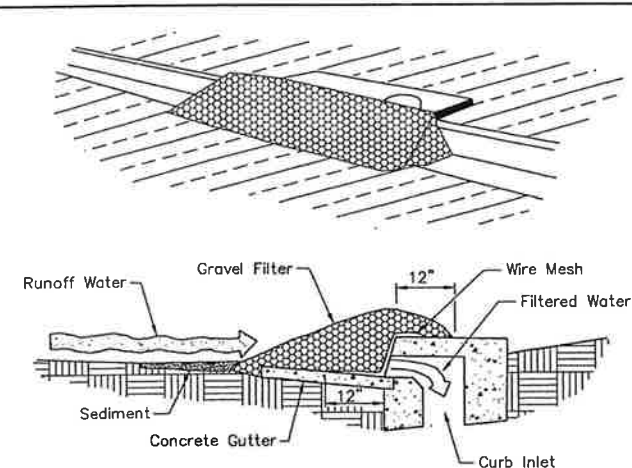
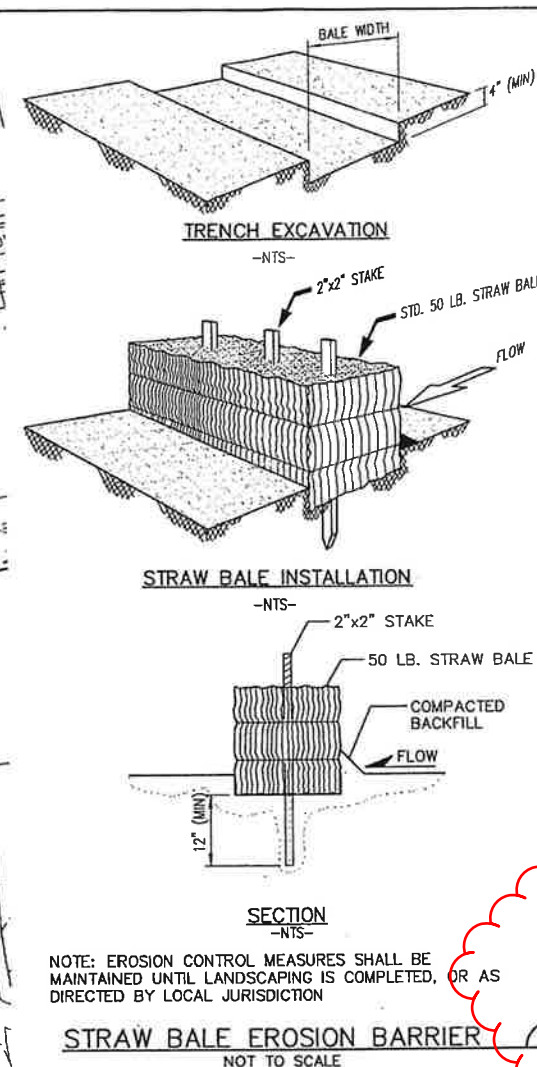
- Stormwater discharges from construction sites shall not cause or threaten to cause pollution, contamination, or degradation of State Waters. All work and earth disturbance shall be done in a manner that minimizes pollution of any on-site or off-site waters, including wetlands.
- Notwithstanding anything depicted in these plans in words or graphic representation, all design and construction related to roads, storm drainage and erosion control shall conform to the standards and requirements of the most recent version of the relevant adopted El Paso County standards, including the Land Development Code, the Engineering Criteria Manual, the Drainage Criteria Manual, and the Drainage Criteria Manual Volume 2. Any deviations from regulations and standards must be requested, and approved, in writing.
- A separate Stormwater Management Plan (SWMP) for this project shall be completed and an Erosion and Stormwater Quality Control Permit (ESQCP) issued prior to commencing construction. Management during construction is the responsibility of the designated Qualified Stormwater Manager or Certified Erosion Control Inspector. The SWMP shall be located on-site at all times during construction and shall be kept up to date with work progress and changes in the field.
- Once the ESQCP is approved and a "Notice to Proceed" has been issued, the contractor may install the initial stage erosion and sediment control measures as indicated on the approved GEC.
- A Preconstruction Meeting between the contractor, engineer, and El Paso County will be held prior to any construction. It is the responsibility of the applicant to coordinate the meeting time and place with County staff.
- Control measures must be installed prior to commencement of activities that could contribute pollutants to stormwater. Control measures for all slopes, channels, ditches, and disturbed land areas shall be installed immediately upon completion of the disturbance.
- All temporary sediment and erosion control measures shall be maintained and remain in effective operating condition until permanent soil erosion control measures are implemented and final stabilization is established. All persons engaged in land disturbance activities shall assess the adequacy of control measures at the site and identify if changes to those control measures are needed to ensure the continued effective performance of the control measures. All changes to temporary sediment and erosion control measures must be incorporated into the Stormwater Management Plan.
- Temporary stabilization shall be implemented on disturbed areas and stockpiles where ground disturbing construction activity has permanently ceased or temporarily ceased for longer than 14 days.
- Final stabilization must be implemented at all applicable construction sites. Final stabilization is achieved when all ground disturbing activities are complete and all disturbed areas either have a uniform vegetative cover with individual plant density of 70 percent of pre-disturbance levels established or equivalent permanent alternative stabilization method is implemented. All temporary sediment and erosion control measures shall be removed upon final stabilization and before permit closure.
- All permanent stormwater management facilities shall be installed as designed in the approved plans. Any proposed changes that affect the design or function of permanent stormwater management structures must be approved by the ECM Administrator prior to implementation.
- Earth disturbances shall be conducted in such a manner so as to effectively minimize accelerated soil erosion and resulting sedimentation. All disturbances shall be designed, constructed, and completed so that the exposed area of any disturbed land shall be limited to the shortest practical period of time. Pre-existing vegetation shall be protected and maintained within 50 horizontal feet of a waters of the state unless shown to be infeasible and specifically requested and approved.
- Compaction of soil must be prevented in areas designated for infiltration control measures or where final stabilization will be achieved by vegetative cover. Areas designated for infiltration control measures shall also be protected from sedimentation during construction until final stabilization is achieved. If compaction prevention is not feasible due to site constraints, all areas designated for infiltration and vegetation control measures must be loosened prior to installation of the control measures.
- Any temporary or permanent facility designed and constructed for the conveyance of stormwater around, through, or from the earth disturbance area shall be a stabilized conveyance designed to minimize erosion and the discharge of sediment off-site.
- Concrete wash water shall be contained and disposed of in accordance with the SWMP. No wash water shall be discharged to or allowed to enter State Waters, including any surface or subsurface storm drainage system or facilities. Concrete washouts shall not be located in an area where shallow groundwater may be present, or within 50 feet of a surface water body, creek or stream. During dewatering operations, uncontaminated groundwater may be discharged on-site, but shall not leave the site in the form of surface runoff unless an approved State dewatering permit is in place.
- Erosion control blanketing or other protective covering shall be used on slopes steeper than 3:1.
- Contractor shall be responsible for the removal of all wastes from the construction site for disposal in accordance with local and State regulatory requirements. No construction debris, tree slash, building materials or unused building materials shall be buried, dumped, or discharged at the site.
- Waste materials shall not be temporarily placed or stored in the street, alley, or other public way, or in accordance with approved Traffic Control Plan. Control measures may be required by El Paso County Engineering if deemed necessary, based on specific conditions and circumstances.
- Tracking of soils and construction debris off-site shall be minimized. Materials tracked off-site shall be cleaned up and properly disposed of immediately.
- The owner/contractor shall be responsible for the removal of all construction debris, dirt, trash, rock, sediment, soil, and sand that may accumulate in roads, storm drains and other drainage conveyance systems and stormwater apertures as a result of site development.
- The quantity of materials stored on the project site shall be limited, as much as practical, to that quantity required to perform the work in an orderly sequence. All materials stored on-site shall be stored in a neat, orderly manner, in their original containers, with original manufacturer's labels.
- No chemical(s) having the potential to be released in stormwater are to be stored or used on-site unless permission for the use of such chemical(s) is granted in writing by the ECM Administrator. In granting approval for the use of such chemical(s), special conditions and monitoring may be required.
- Bulk storage of allowed petroleum products or other allowed liquid chemicals in excess of 55 gallons shall require adequate secondary containment protection to contain all spills on-site and to prevent any spilled materials from entering State Waters, any surface or subsurface storm drainage system or other facilities.
- No person shall cause the impediment of stormwater flow in the curb and gutter or ditch except with approved sediment control measures.
- Owner/contractor and their agents shall comply with the "Colorado Water Quality Control Act" (Title 25, Article 8, CRS), and the "Clean Water Act" (33 USC 1344), in addition to the requirements of the Land Development Code, DCM Volume II and the ECM Appendix I. All appropriate permits must be obtained by the contractor prior to construction (1041, NPDES, Floodplain, 404, fugitive dust, etc.). In the event of conflicts between these requirements and other laws, rules, or regulations of other Federal, State, local, or County agencies, the most restrictive laws, rules, or regulations shall apply.
- All construction traffic must enter/exit the site only at approved construction access points.
- Prior to construction the permittee shall verify the location of existing utilities.
- A water source shall be available on-site during earthwork operations and shall be utilized as required to minimize dust from earthwork equipment and wind.
- The soils report for this site has been prepared by [GeoSource Environmental Services, LLC](#) and shall be considered a part of these plans.
- At least ten (10) days prior to the anticipated start of construction, for projects that will disturb one (1) acre or more, the owner or operator of construction activity shall submit a permit application for stormwater discharge to the Colorado Department of Public Health and Environment, Water Quality Division. The application contains certification of completion of a stormwater management plan (SWMP), of which this Grading and Erosion Control Plan may be a part. For information or application materials contact:
Colorado Department of Public Health and Environment
Water Quality Control Division
WQCD - Permits
4300 Cherry Creek Drive South
Denver, CO 80246-1530
Attn: Permits Unit

GRADING AND EROSION CONTROL PLAN

SUNSET VILLAGE FILING 4

HORIZ. SCALE: 1"=100'
VERT. SCALE: 1"=10'
SURVEYED:
CREATED: 11/16/00
PROJECT NO: 090006
SHEET: **D1**

REVISION 1: 01/07/2022
MODIFIED FOR S.I.A. CD SET
RICHARD D. LYONS, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ. - CD-21-008



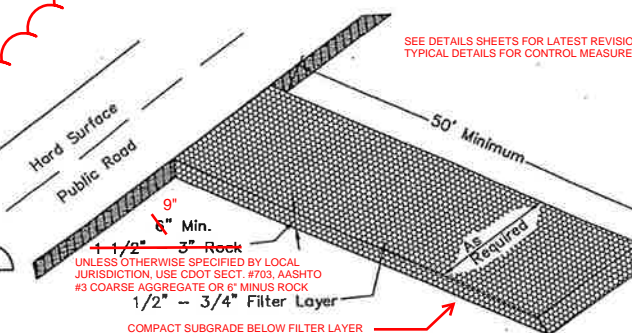
Specific Application

This method of inlet protection is applicable at curb inlets where ponding in front of the structure is not likely to cause inconvenience or damage to adjacent structures and unprotected areas.

Note: Alternate design could utilize gravel filled bags.

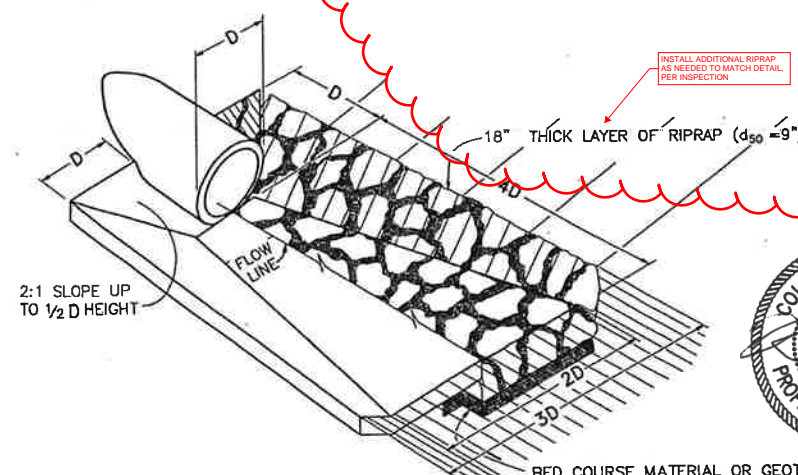
CURB INLET PROTECTION

EL AND WIRE ME
NOT TO SCALE
SEE MILE HIGH FLOOD DISTRICT DETAIL
FOR ADDITIONAL INFORMATION



TEMPORARY VEHICLE TRACKING CONTROL

SEE MILE HIGH FLOOD DISTRICT DETAIL
FOR ADDITIONAL INFORMATION



CULVERT OUTLET PAVING

NOT TO SCALE



MODIFIED FOR S.I.A. CD SE
RICHARD D. LYON, PE
ATWELL, LLC.
DECEMBER, 2021
EPC PROJ.: CDR-21-008

1 REVISION 1: 01/07/20

HORIZ. SCALE:	1"=50'	DRAWN:	M.J.
VERT. SCALE:	1"=5'	DESIGNED:	J.P.
SURVEYED:	UP&E	CHECKED:	J.P.
CREATED:	2/26/01	LAST MODIFIED:	10/11/01
PROJECT NO:	090006	MODIFIED BY:	J.P.
SHEET:			

D2

SUNSET VILLAGE – FILING NO. 4

STORM DRAIN PLAN & PROFILE

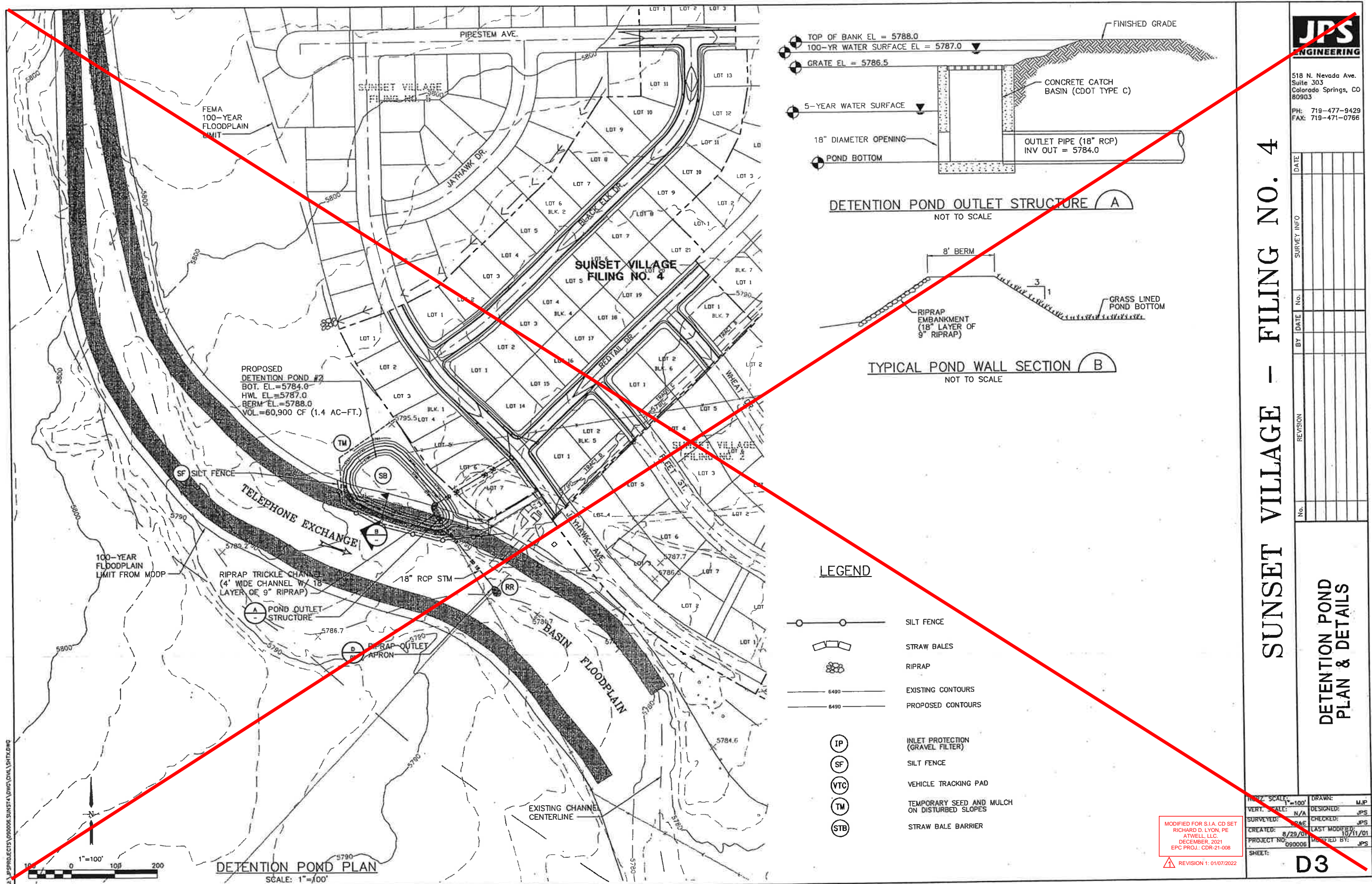


JPS
ENGINEERING

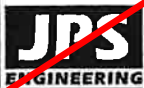
518 N. Nevada Ave.
Suite 303
Colorado Springs, CO
80903

PH: 719-477-9429
FAX: 719-471-0766

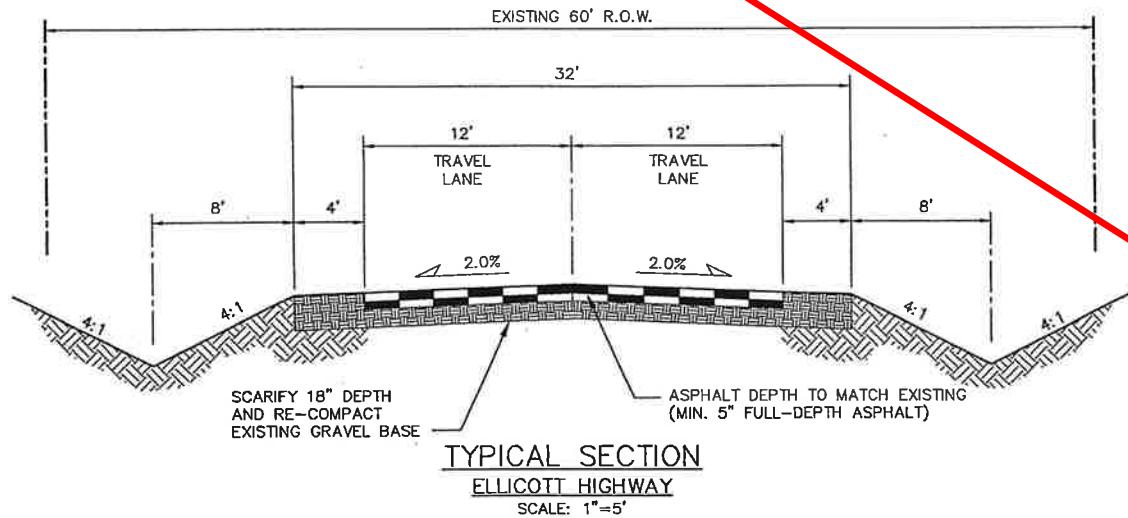
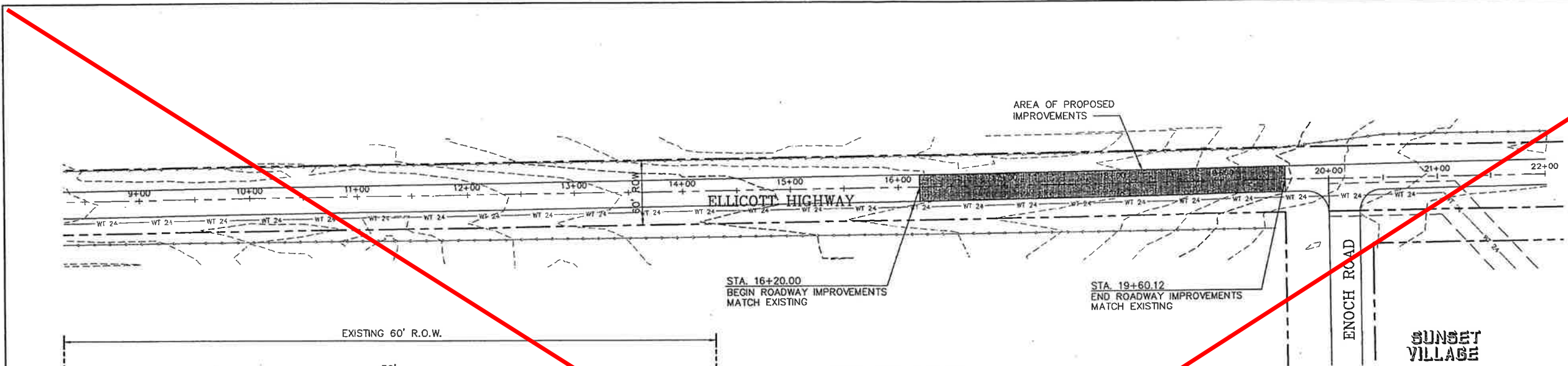
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THIS SHEET IS NOT WITHIN SCOPE OF WORK FOR SUNSET VILLAGE FIL. 4
SUBDIVISION IMPROVEMENT AGREEMENT

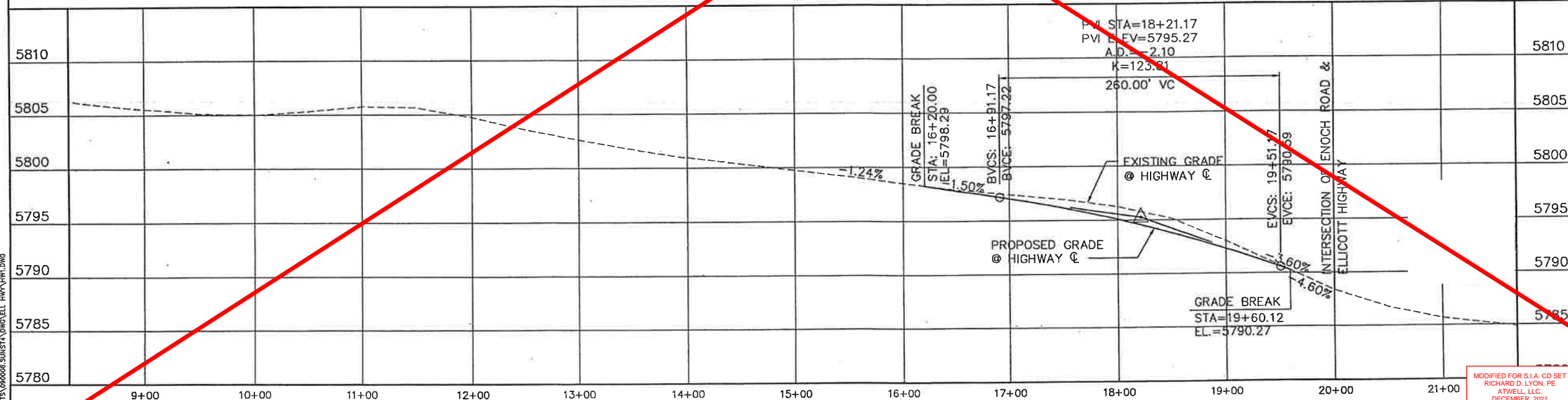
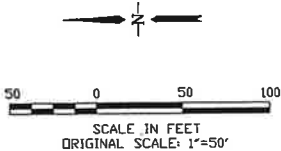


518 N. Nevada Ave.
Suite 303
Colorado Springs, CO
80903
PH: 719-477-9429
FAX: 719-471-0766



GENERAL NOTES

1. CONFORM TO EL PASO COUNTY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
2. THE CONTRACTOR SHALL CONTACT ALL UTILITIES FOR LOCATIONS TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AS A RESULT OF HIS ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF THE UTILITY.
4. CONTRACTOR SHALL SUBMIT DETAILED TRAFFIC CONTROL PLANS AND OBTAIN PERMITS AS REQUIRED BY EL PASO COUNTY.
5. PROVIDE REQUIRED SIGNING AND TRAFFIC CONTROL DEVICES MEETING MUTCD, CDOT, AND EL PASO COUNTY STANDARDS.
6. CONTRACTOR SHALL FIELD VERIFY GRADES TO ENSURE POSITIVE DRAINAGE TRANSITION TO ADJACENT PAVEMENT.
7. REMOVE & DISPOSE OF EXISTING ASPHALT WITHIN LIMITS OF PROPOSED WORK.
8. ROADSIDE DITCHES SHALL BE RESTORED TO THE ORIGINAL CONDITION. DITCH RESTORATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
9. NEW PAVEMENT ON ELLICOTT HIGHWAY SHALL BE TAPERED INTO EXISTING PAVEMENT WITH FINE MIX ASPHALT.
10. CONTRACTOR SHALL TAKE CORE SAMPLES ON AN UNDISTURBED SECTION OF ELLICOTT HIGHWAY TO DETERMINE EXISTING ASPHALT AND GRAVEL BASE THICKNESS.



ELLICOTT HIGHWAY

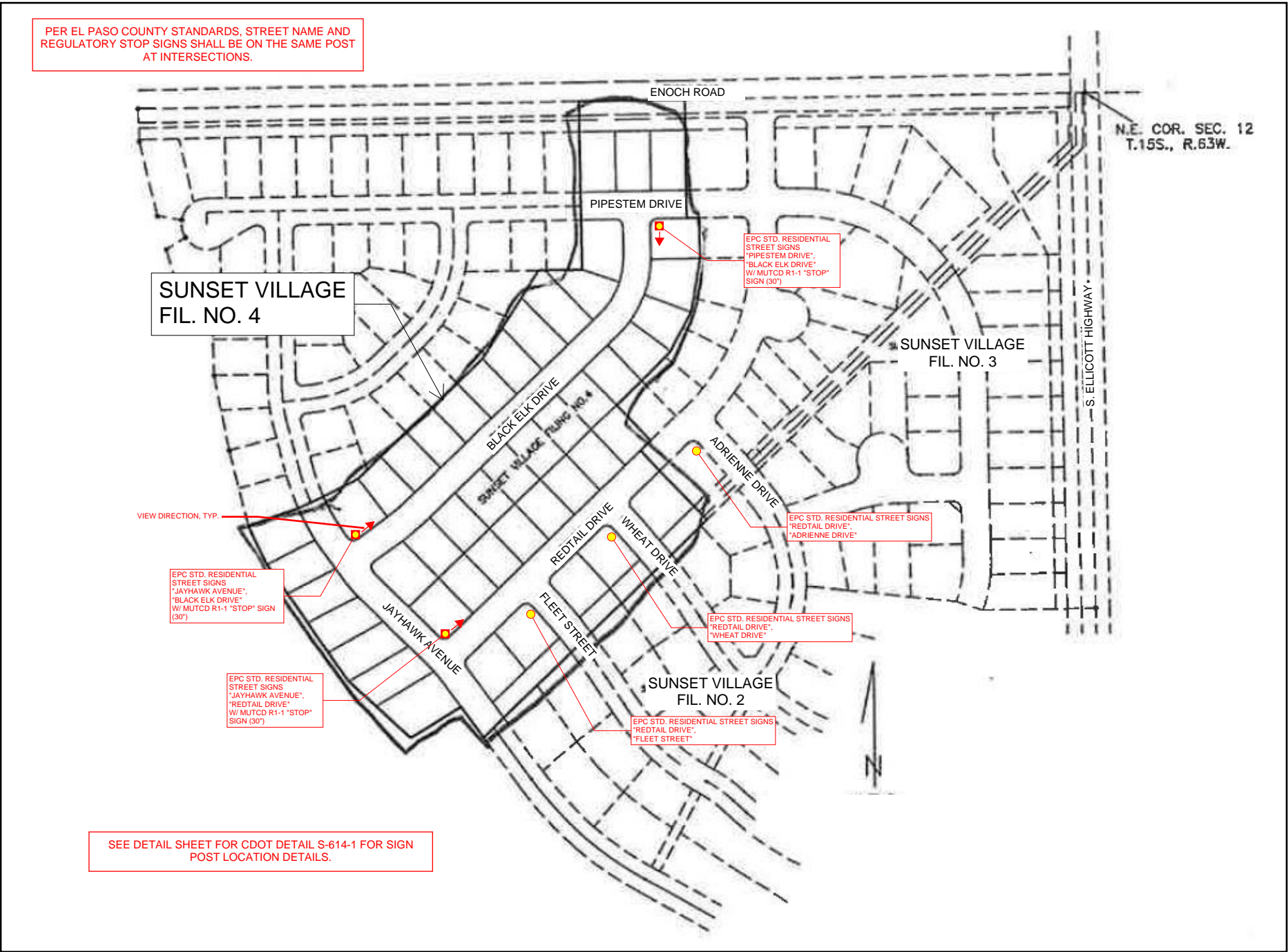
HIGHWAY
IMPROVEMENT PLAN

PROJECT NO.	090006	DATE	7/10/06
PROJECT NAME	SUNSET VILLAGE	DESIGNED BY	MJP
PROJECT LOCATION	CDR-21-008	CHECKED BY	JPS
PROJECT OWNER	ATWELL, LLC	LAST MODIFIED	8/11/01
PROJECT NO.	090006	MODIFIED BY	MJP

SHEET: **HW1**

MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008

REVISION 1: 01/07/2022



PROJECT DESCRIPTION
STRIPING AND SIGNAGE MODIFICATIONS WITHIN SUNSET VILLAGE FILING NO. 4.

GENERAL NOTES
1. THE CONTRACTOR SHALL HAVE A COPY OF ALL APPLICABLE STANDARDS ON SITE FO TEH DURATION OF THE PROJECT.
2. THE CONTRACTOR SHALL ACQUIRE ALL NECESSARY PERMITS AND INSPECTIONS REQUIRED TO COMPLETE THE SCOPE OF WORK PRESENTED HEREIN.

TRAFFIC CONTROL
1. ALL SIGNAGE AND STRIPING SHALL FOLLOW THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", MUTCD, CURRENT EDITION, AND ALL APPLICABLE CDOT M&S STANDARDS.
2. THE CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN TEMPORARY TRAFFIC CONTROL DEVICES NECESSARY THROUGHOUT THE DURATION OF CONSTRUCTION IN CONFORMANCE WITH TRAFFIC CONTROL PLANS AND/OR APPROVED MHT.
3. THE TRAFFIC CONTROL SUPERVISOR SHALL COORDINATE CONSTRUCTION ZONE TRAFFIC CONTROL ACTIVITIES WITH ALL APPROPRIATE OFFICIALS.
4. THE CONTRACTOR SHALL MAINTAIN FULL COMPLIANCE PAVEMENT MARKINGS OR APPROVED DECIVES ON THE ROADWAYS DURING ALL PHASES OF THE CONSTRUCTION PERIOD.

EL PASO COUNTY SIGNING AND STRIPING NOTES:
1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.

3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.

4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.

5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.

6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.

7. ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS"

8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.

9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.

10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.

11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.

12. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.

13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.

14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008

REVISION 1: 01/07/2022



SUBDIVISION: SUNSET VILLAGE FIL. NO. 4
SHEET: 15
STRIPING AND SIGNAGE PLAN
EPC PLAN NO. CDR-21-008

Computer File Information
Creation Date: 07/04/12
Created By: KCM
Last Modification Date: 07/31/19
Last Modified By: AVU
CAD Ver.: MicroStation V8 Scale: Not to Scale Units: English

Sheet Revisions
Date: Comments

Colorado Department of Transportation
2829 W. Howard Pl.
Denver, CO 80204
Phone: 303-757-9436
Fax: 303-757-9219
Traffic & Safety Engineering MKB

GROUND SIGN PLACEMENT
Issued By: Traffic & Safety Engineering Branch July 31, 2019

STANDARD PLAN NO.
S-614-1
Standard Sheet No. 1 of 2
Project Sheet Number:

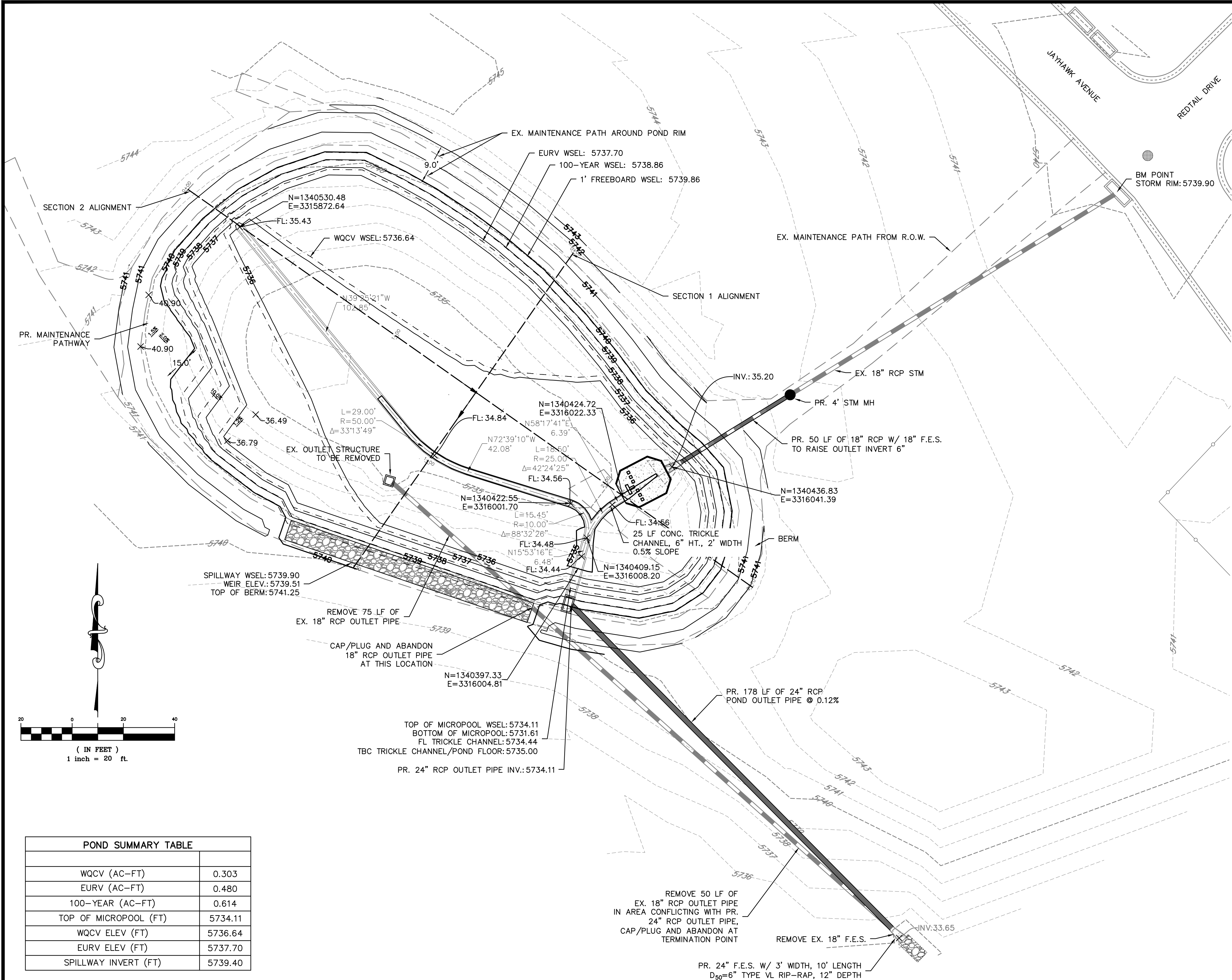
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Traffic & Safety Engineering MKB

GROUND SIGN PLACEMENT
Issued By: Traffic & Safety Engineering Branch July 31, 2019

STANDARD PLAN NO.
S-614-1
Standard Sheet No. 2 of 2
Project Sheet Number:





THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE
SOLE RESPONSIBILITY OF THE
CONTRACTOR; NEITHER THE OWNER
NOR THE ENGINEER SHALL BE
EXPECTED TO ASSUME ANY
RESPONSIBILITY FOR SAFETY OF
THE WORK, OF PERSONS ENGAGED
IN THE WORK, OF ANY NEARBY
STRUCTURES, OR OF ANY OTHER
PERSONS.

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PUNCHLIST CONNECTIONS LLC

PUNCHLIST CONNECTIONS LLC
300 WINDCHIME PLACE #301
COLORADO SPRINGS, COLORADO
80919

PUNCHLIST CONNECTION

PUNCHLIST CONNECTIONS LLC

PUNCHLIST CONNECTIONS LLC
VILLAGE FILING 4 – DRAINAGE
PASO COUNTY, COLORADO

INDEX

DATE 1/7/202

REVISION



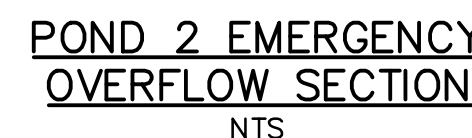
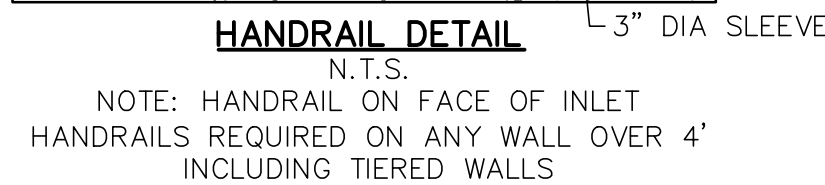
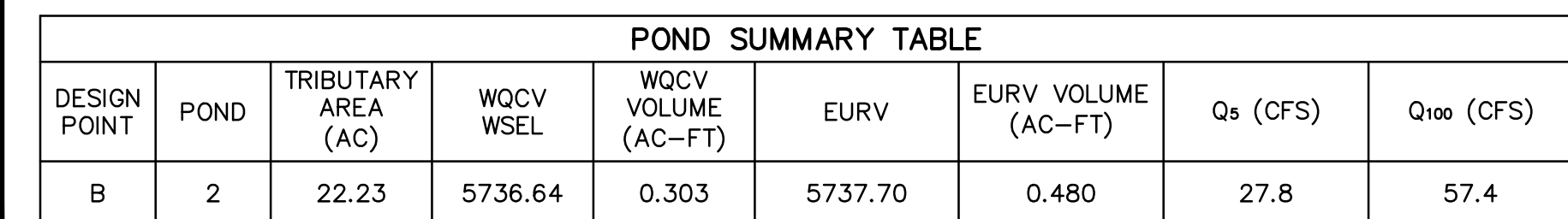
OR,	RDL	CH,	RDL
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P.M. RDL

OB 21004166

SHEET NO.

CAD FILE: 21004166-ROND DETAILS DWG





Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
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ATWELL
866.850.4200 www.atwell-group.com
143 UNION BOULEVARD, SUITE 700
LAKEWOOD, CO 80228
303.462.1100



PUNCHLIST CONNECTIONS LLC
300 WINDCHIME PLACE #301
COLORADO SPRINGS, COLORADO 80919
303.519.5100
SCOTT VAN WYHE

PUNCHLIST CONNECTIONS LLC
SUNSET VILLAGE FILING 4 - DRAINAGE
EL PASO COUNTY, COLORADO
CONSTRUCTION DRAWINGS
POND 2

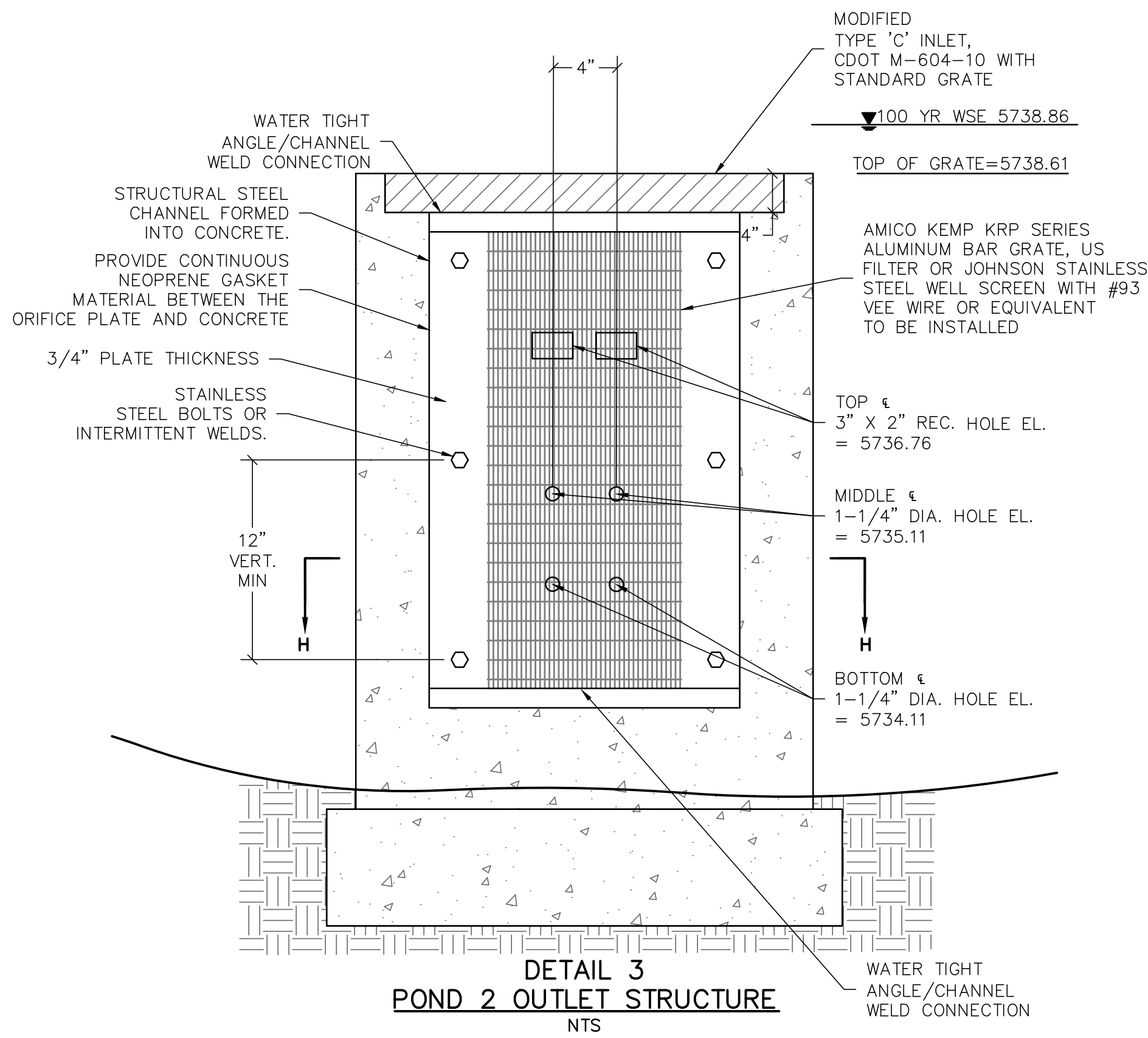
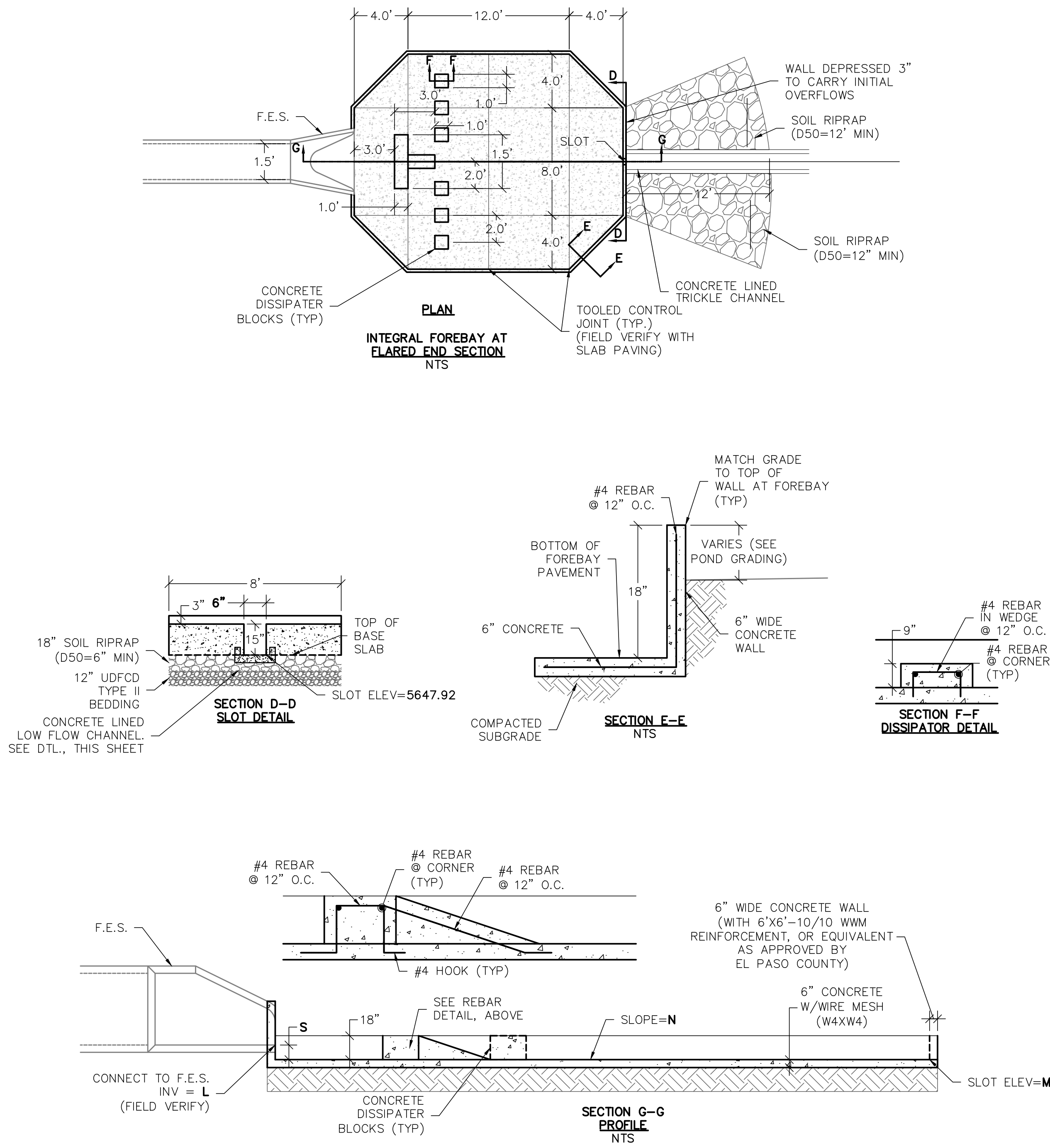
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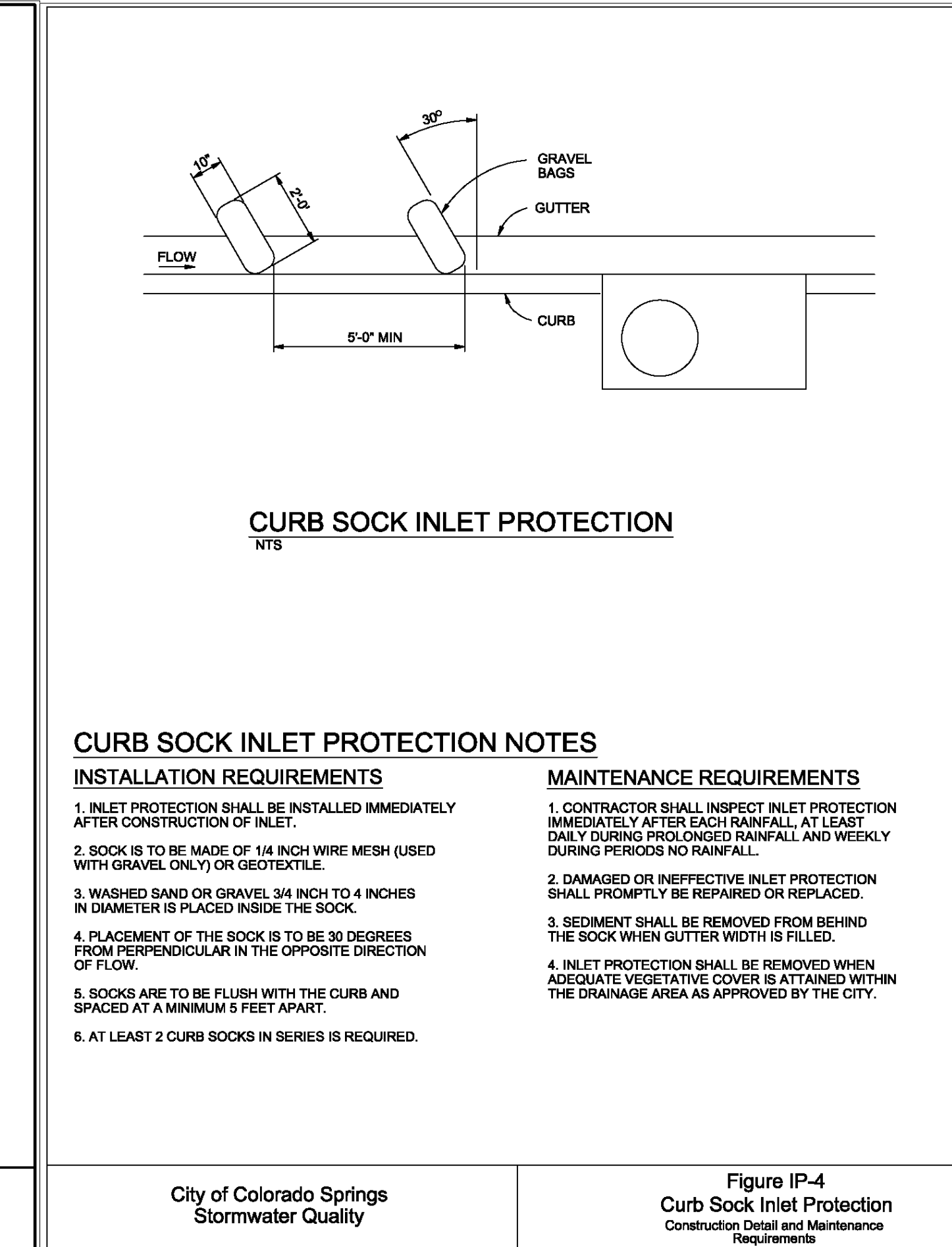
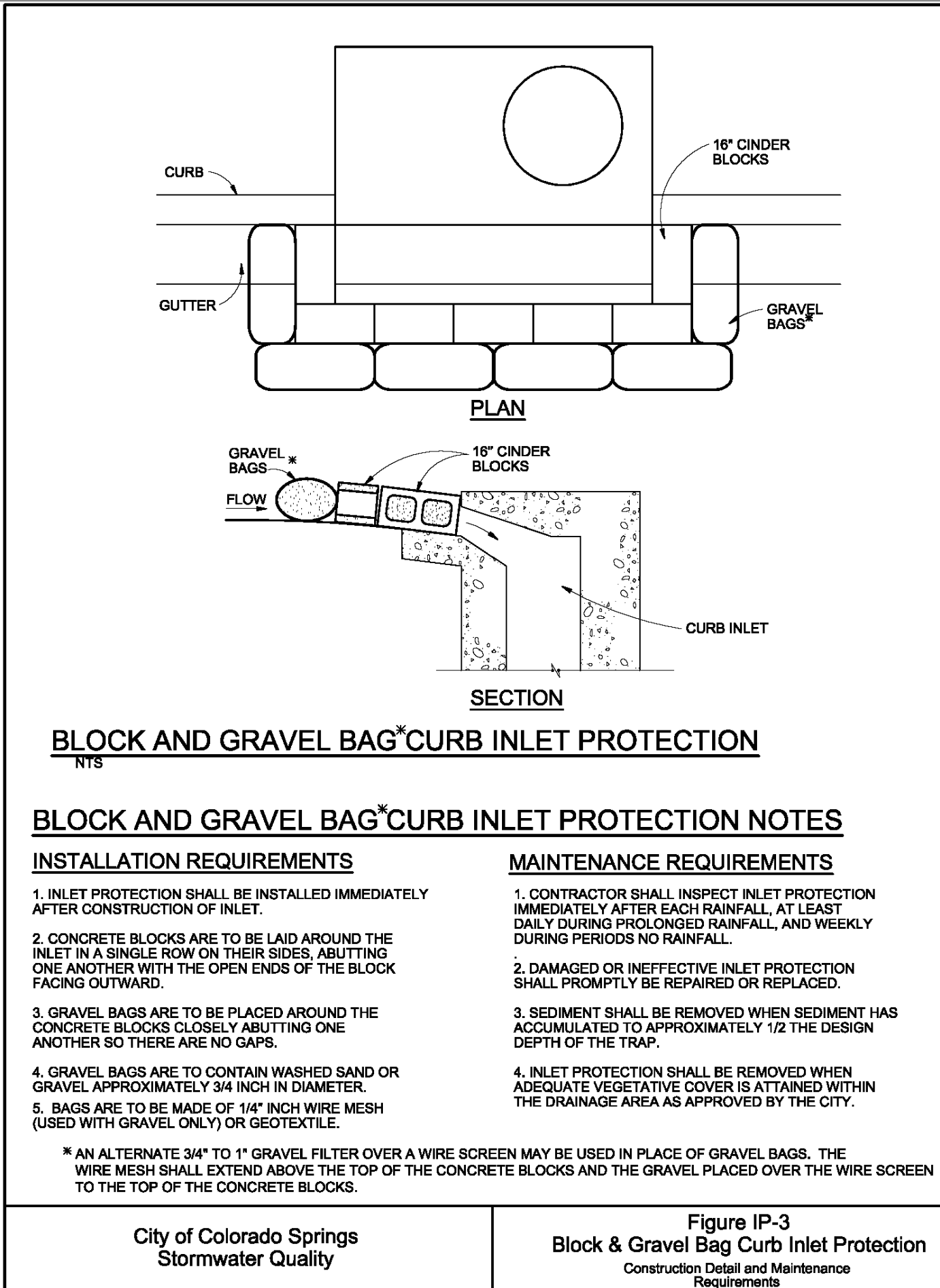
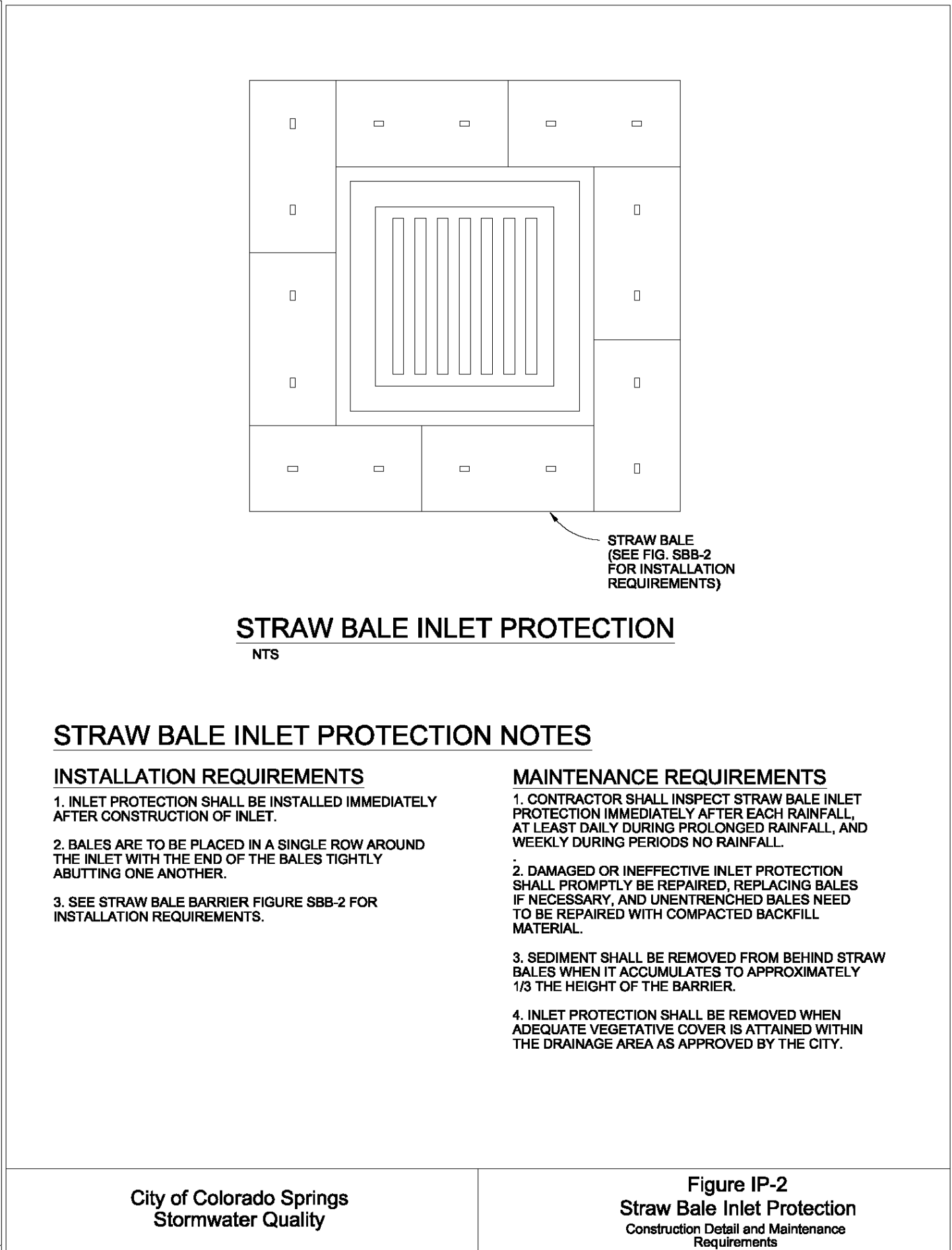
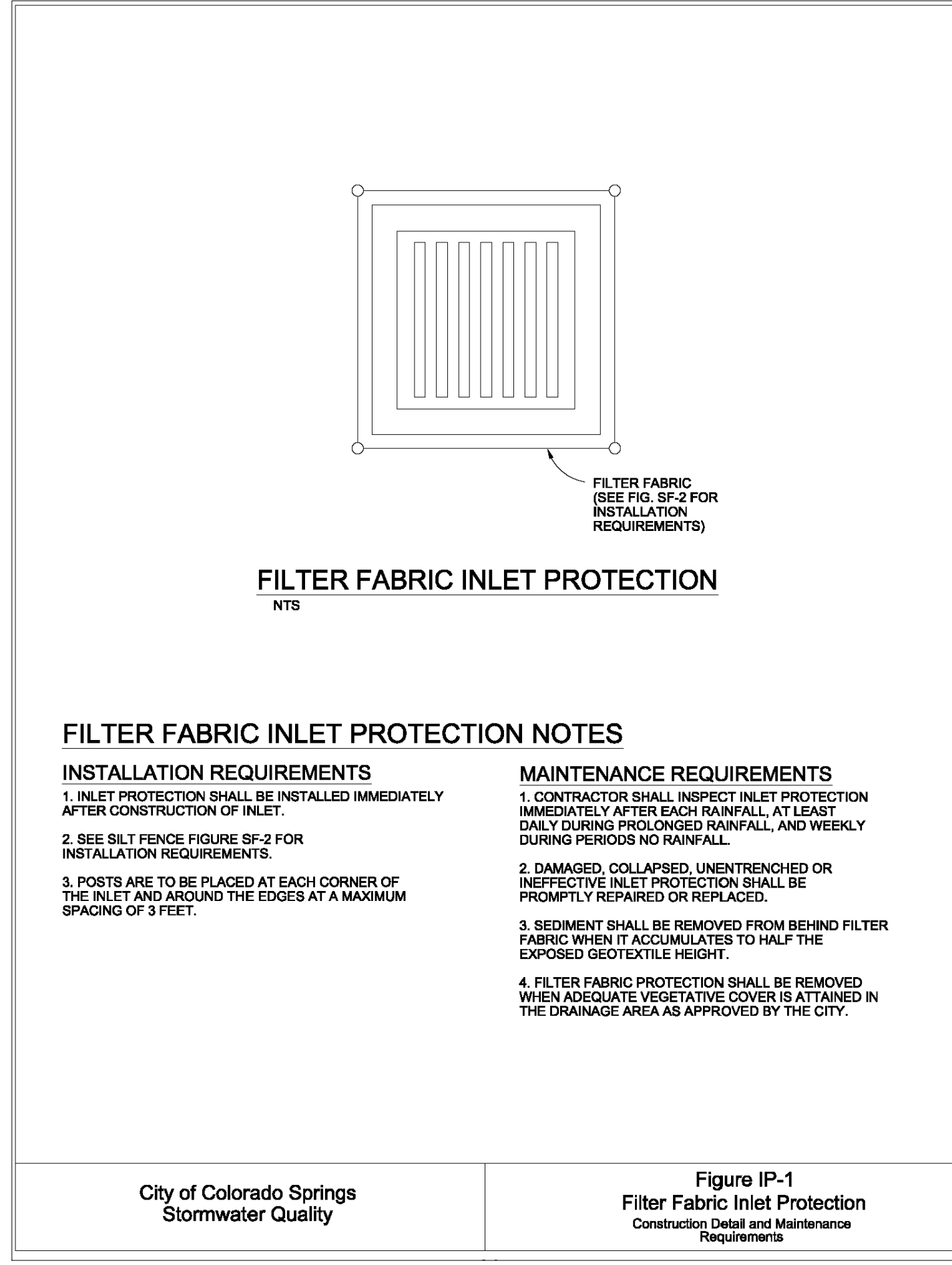
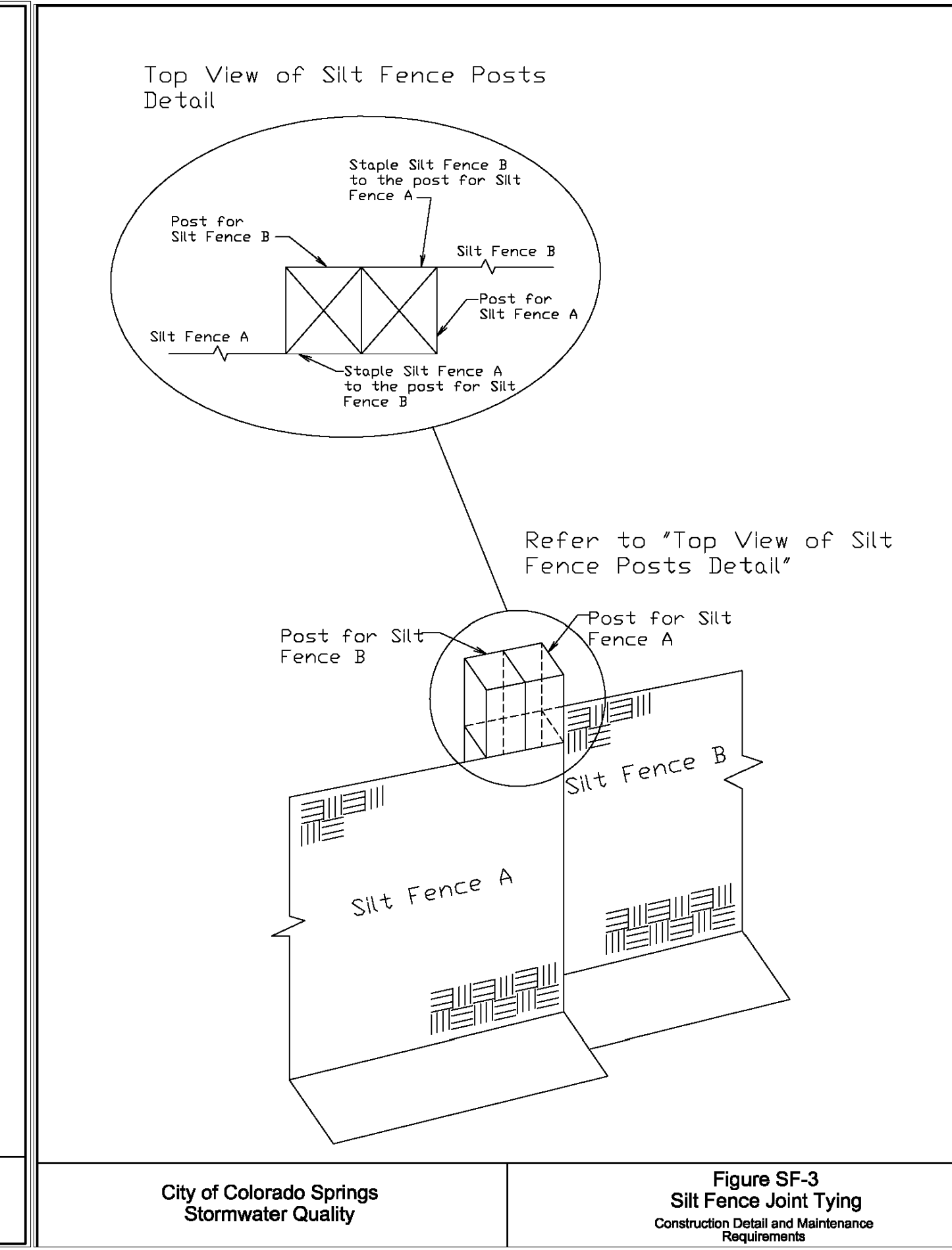
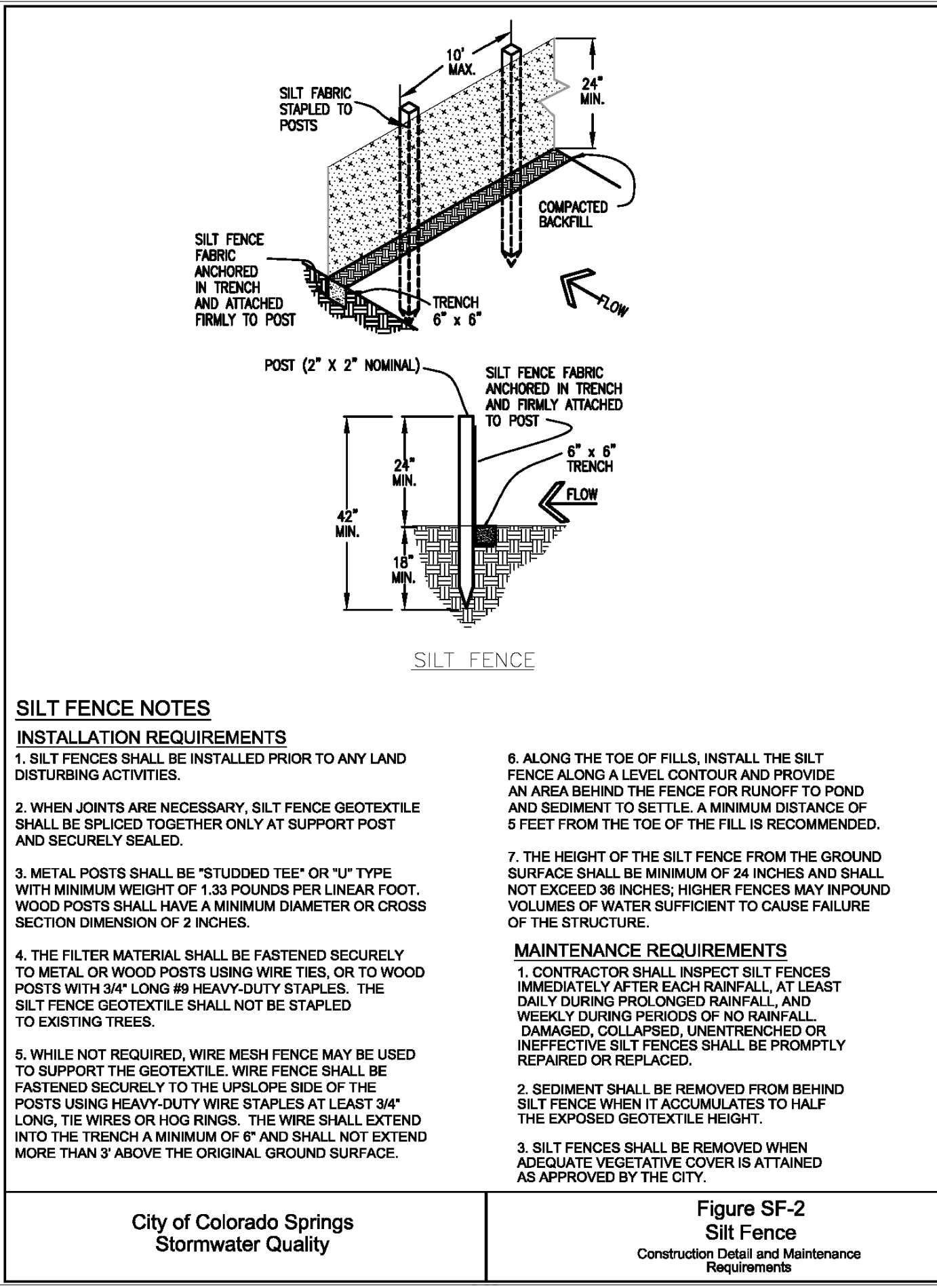
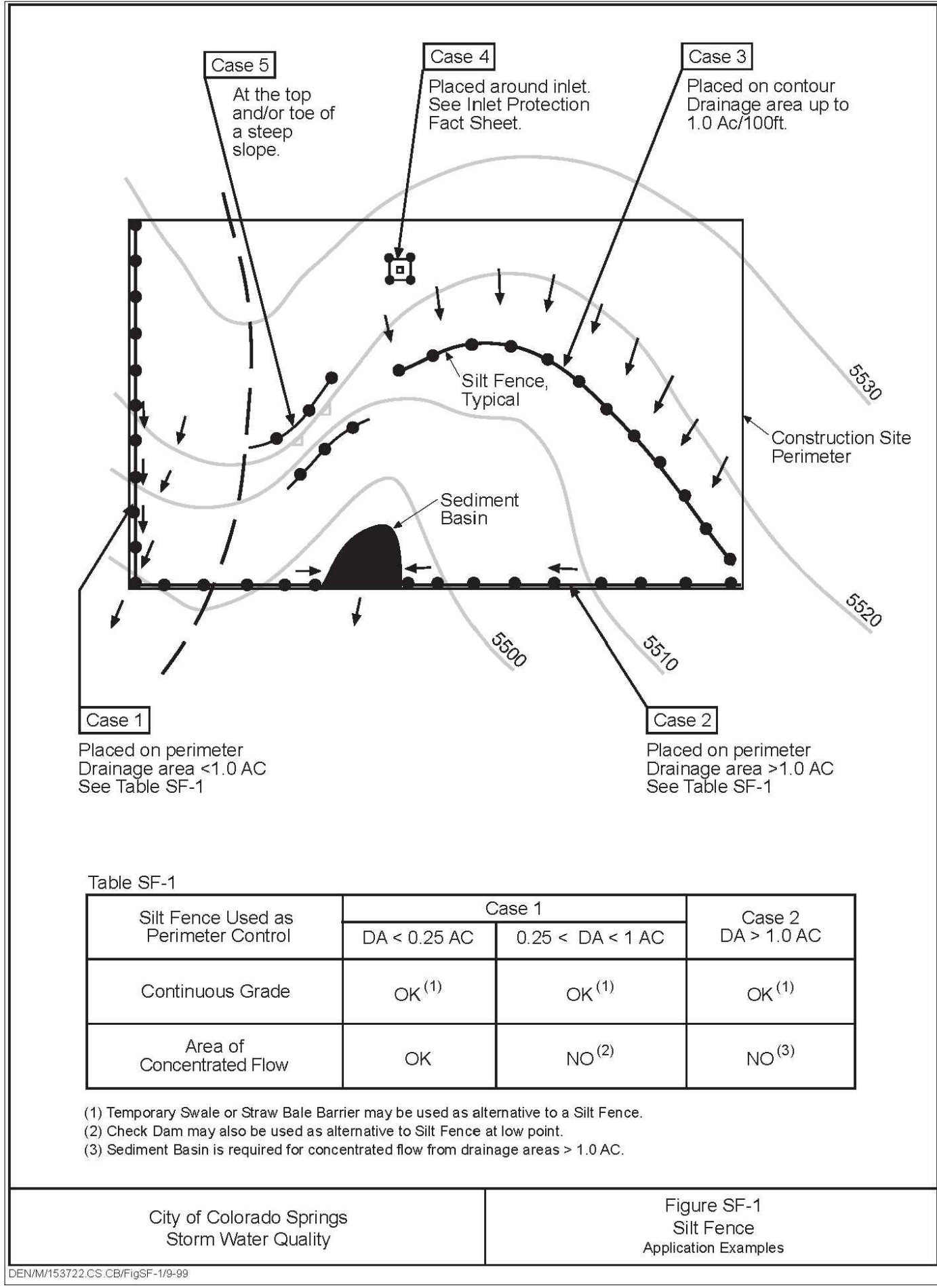
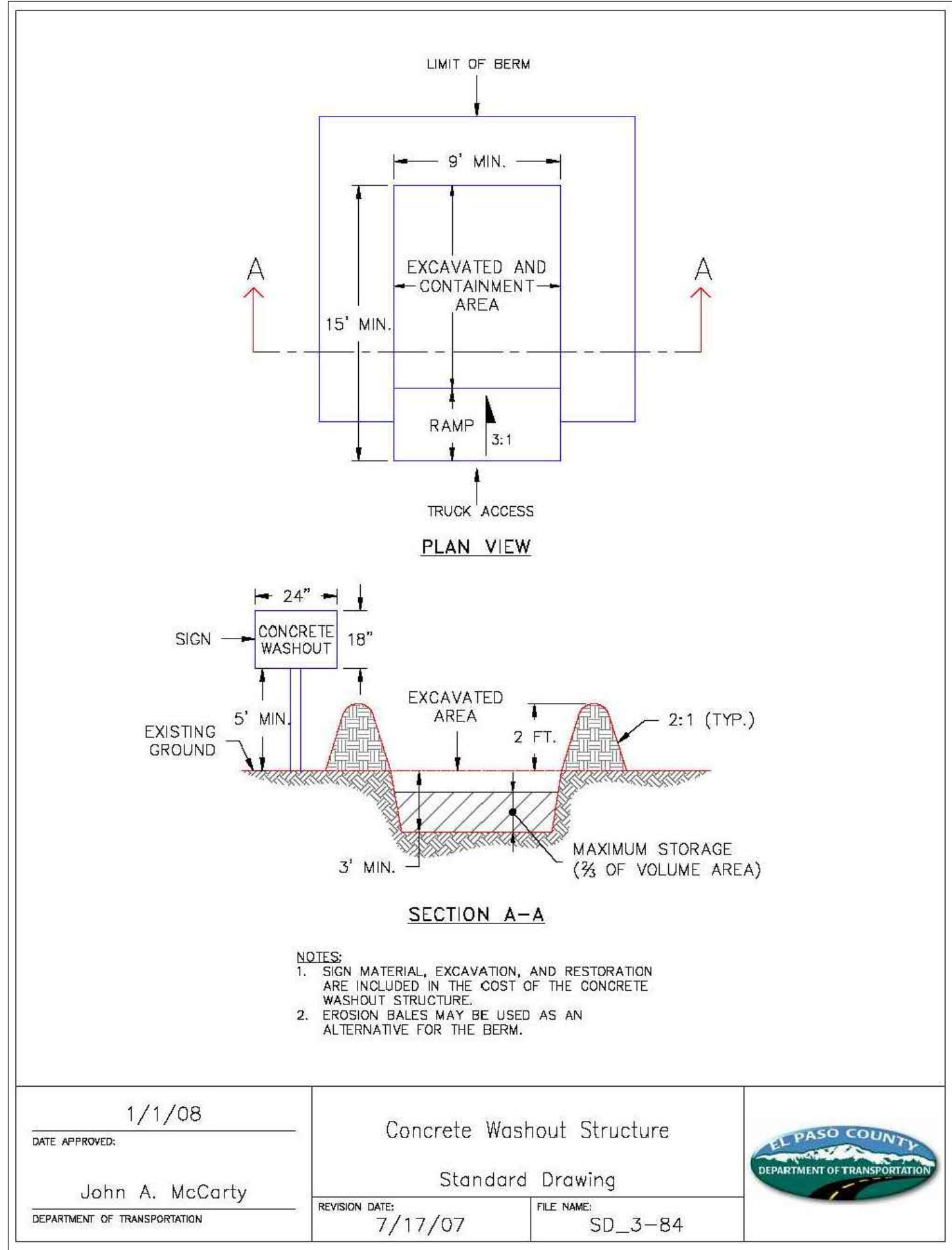


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FOREBAY SIZE TABLE						
FOREBAY NAME	PIPE SIZE	L	M	N	S	T
A1	18"	5648.22	5647.92	0.50%	2.5"	6"



811

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DATE 12/03/2021

A 1st SUBMITTAL TO EPC 10/27/2021 - RDL

B 2nd SUBMITTAL TO EPC 12/03/2021 - RDL

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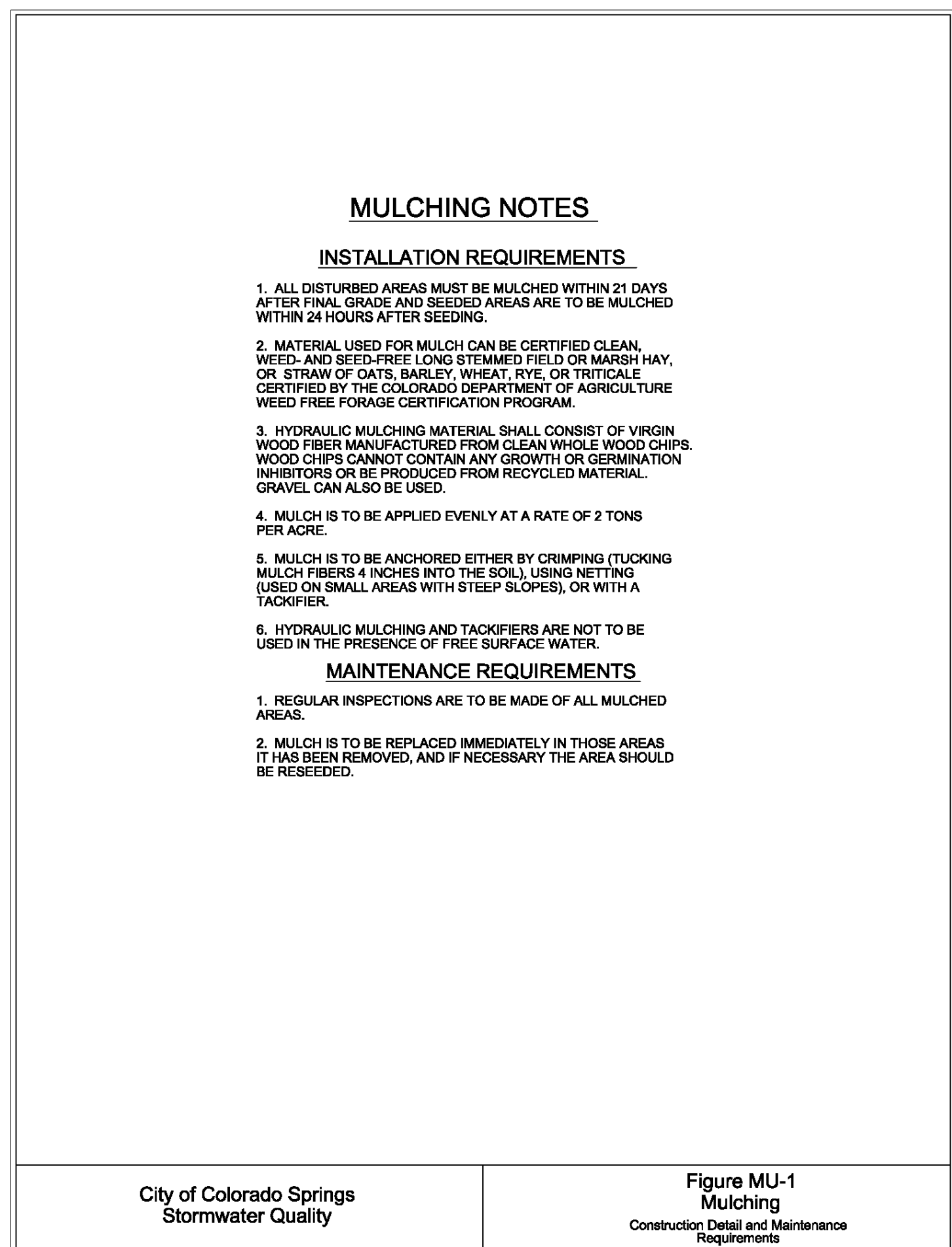
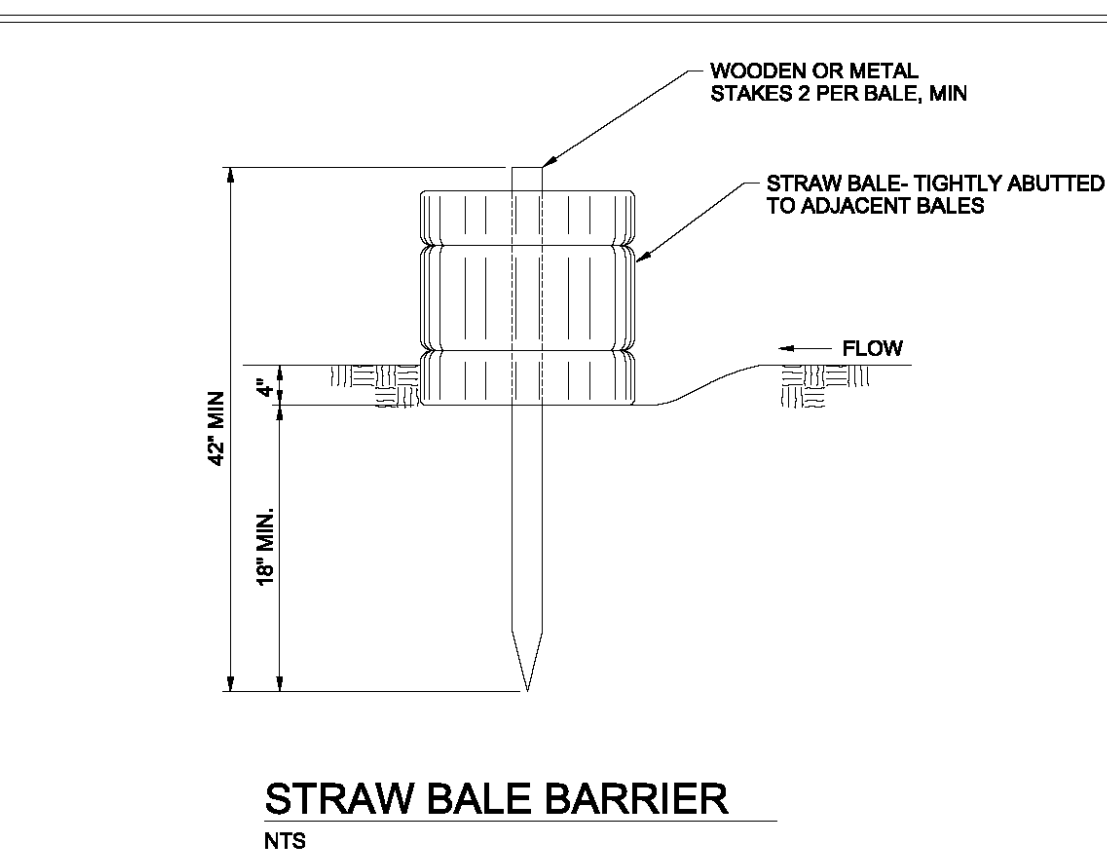
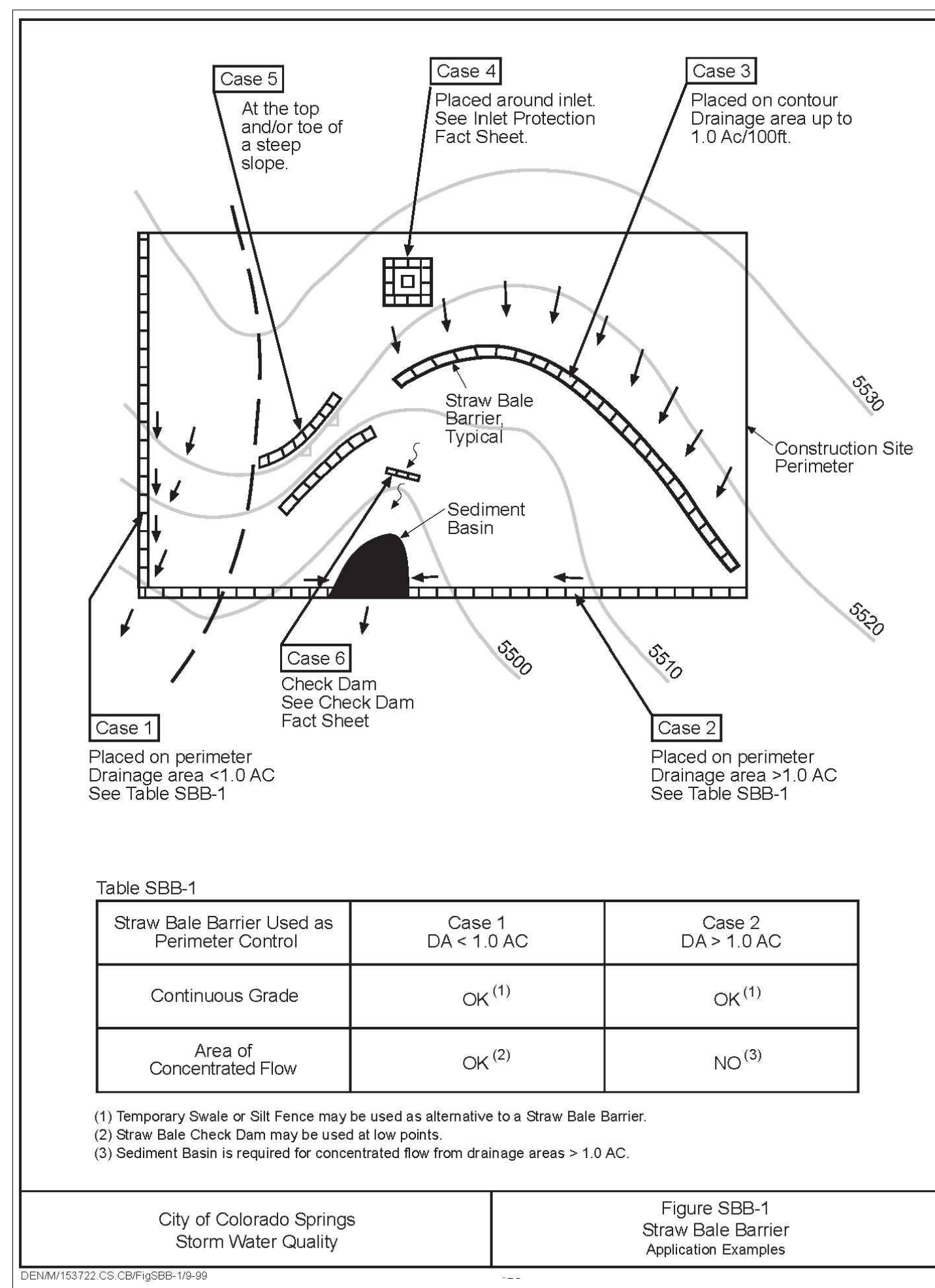
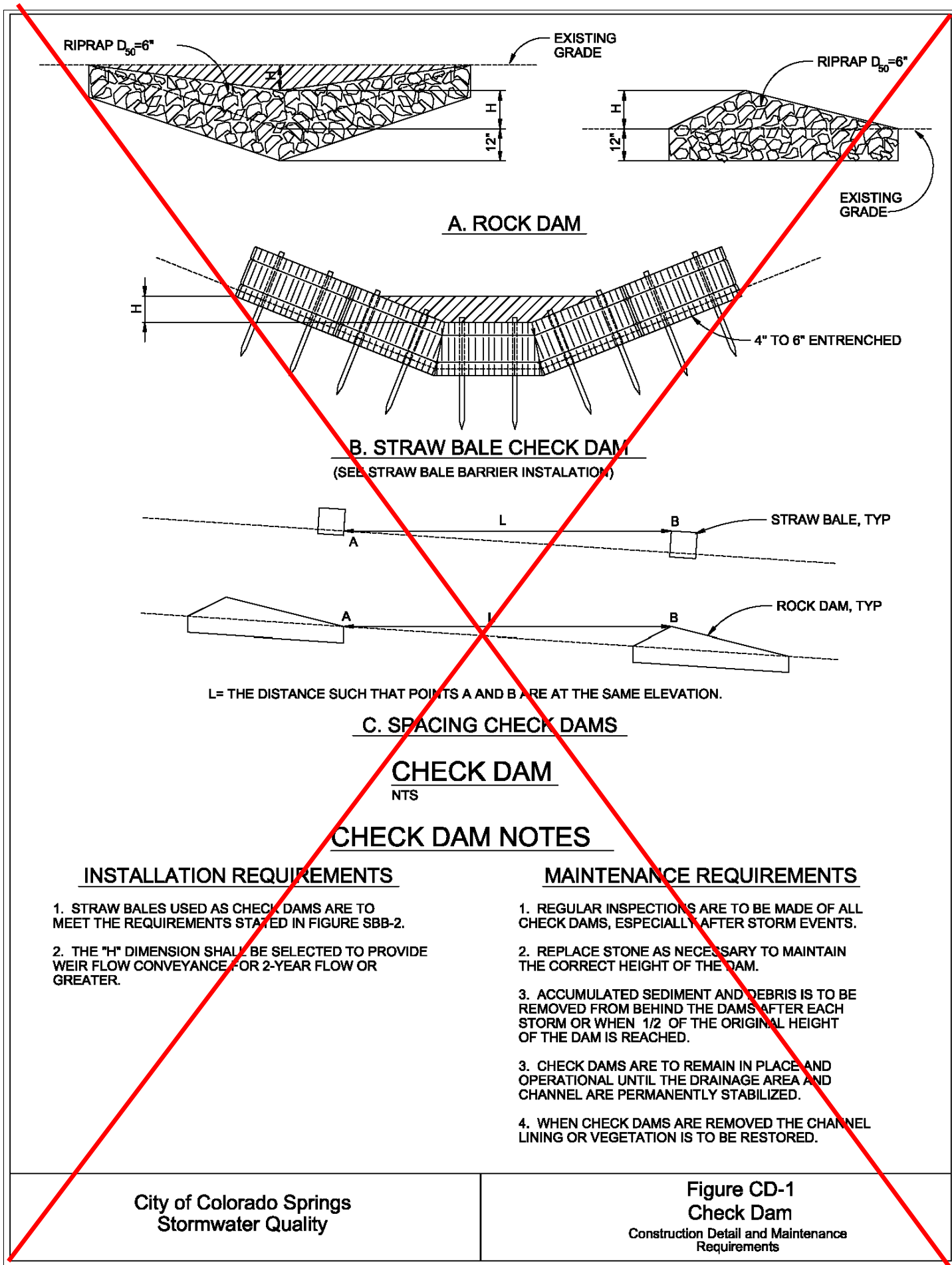
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RECOMMENDED ANNUAL GRASSES				
SPECIES (COMMON NAME)	GROWTH SEASON	SEEDING DATE	POUNDS OF PURE LIVE SEED (PLS) (PLS/ACRE)	PLANTING DEPTH (INCHES)
1. OATS	COOL	MARCH 16 - APRIL 30	35-50	1-2
2. SPRING WHEAT	COOL	MARCH 16 - APRIL 30	25-35	1-2
3. SPRING BARLEY	COOL	MARCH 16 - APRIL 30	25-35	1-2
4. ANNUAL RYEGRASS	COOL	MARCH 16 - JUNE 30	10-15	1/2
5. MILLET	WARM	MAY 16 - JULY 15	3-15	1/2-3/4
6. SUDANGRASS	WARM	MAY 16 - JULY 15	5-10	1/2-3/4
7. SORGHUM	WARM	MAY 16 - JULY 15	5-10	1/2-3/4
8. WINTER WHEAT	COOL	SEPTEMBER 1 - 30	20-35	1-2
9. WINTER BARLEY	COOL	SEPTEMBER 1 - 30	20-35	1-2
10. WINTER RYE	COOL	SEPTEMBER 1 - 30	20-35	1-2
11. TRITICALE	COOL	SEPTEMBER 1 - 30	25-40	1-2

THIS TABLE WAS TAKEN FROM UDFCD FOR RECOMMENDED ANNUAL GRASSES FOR THE DENVER METROPOLITAN AREA. THIS TABLE MAY BE USED UNLESS A SITE-SPECIFIC SEED MIX IS REQUESTED AND APPROVED.

TABLE TS-1

TEMPORARY SEEDING NOTES

INSTALLATION REQUIREMENTS

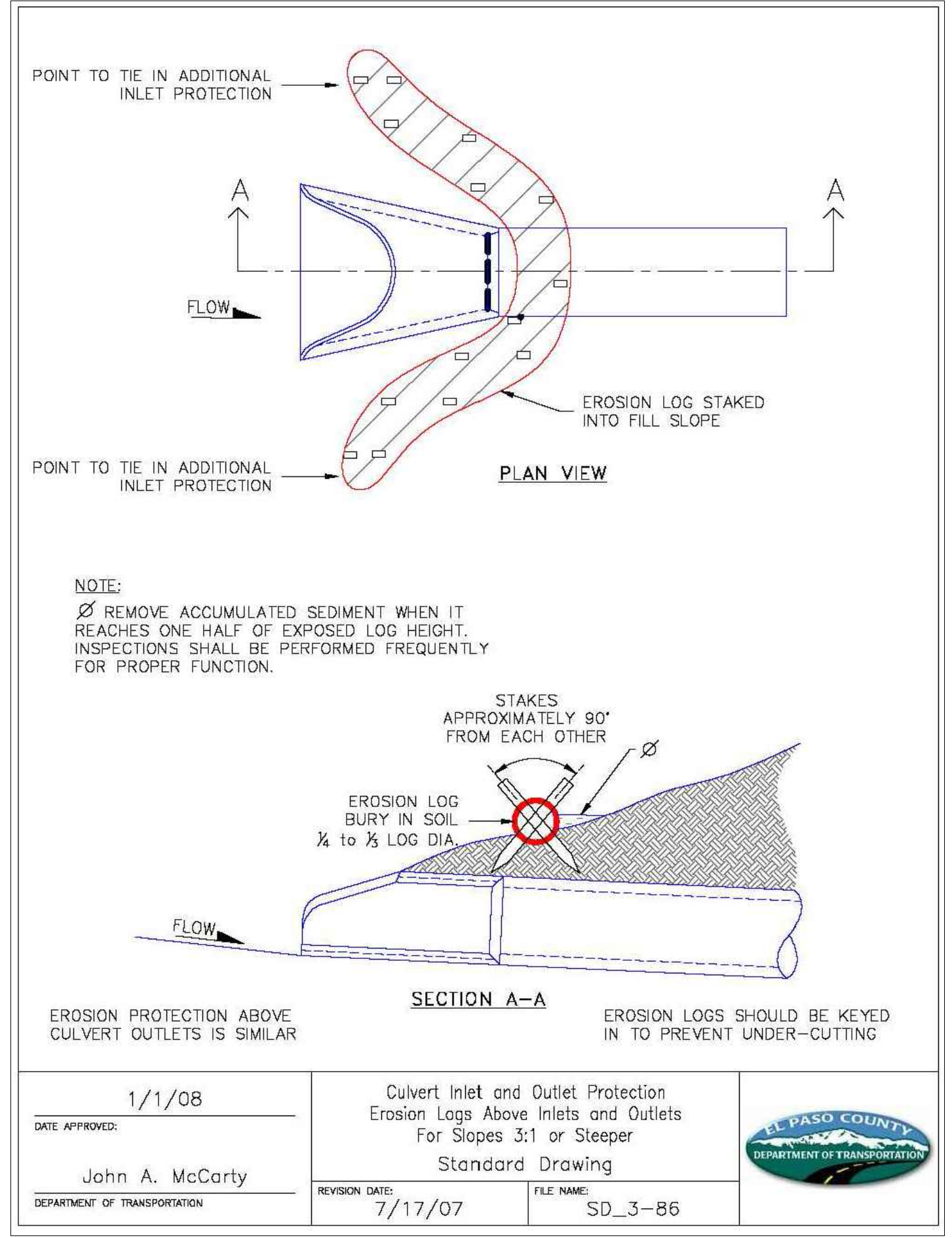
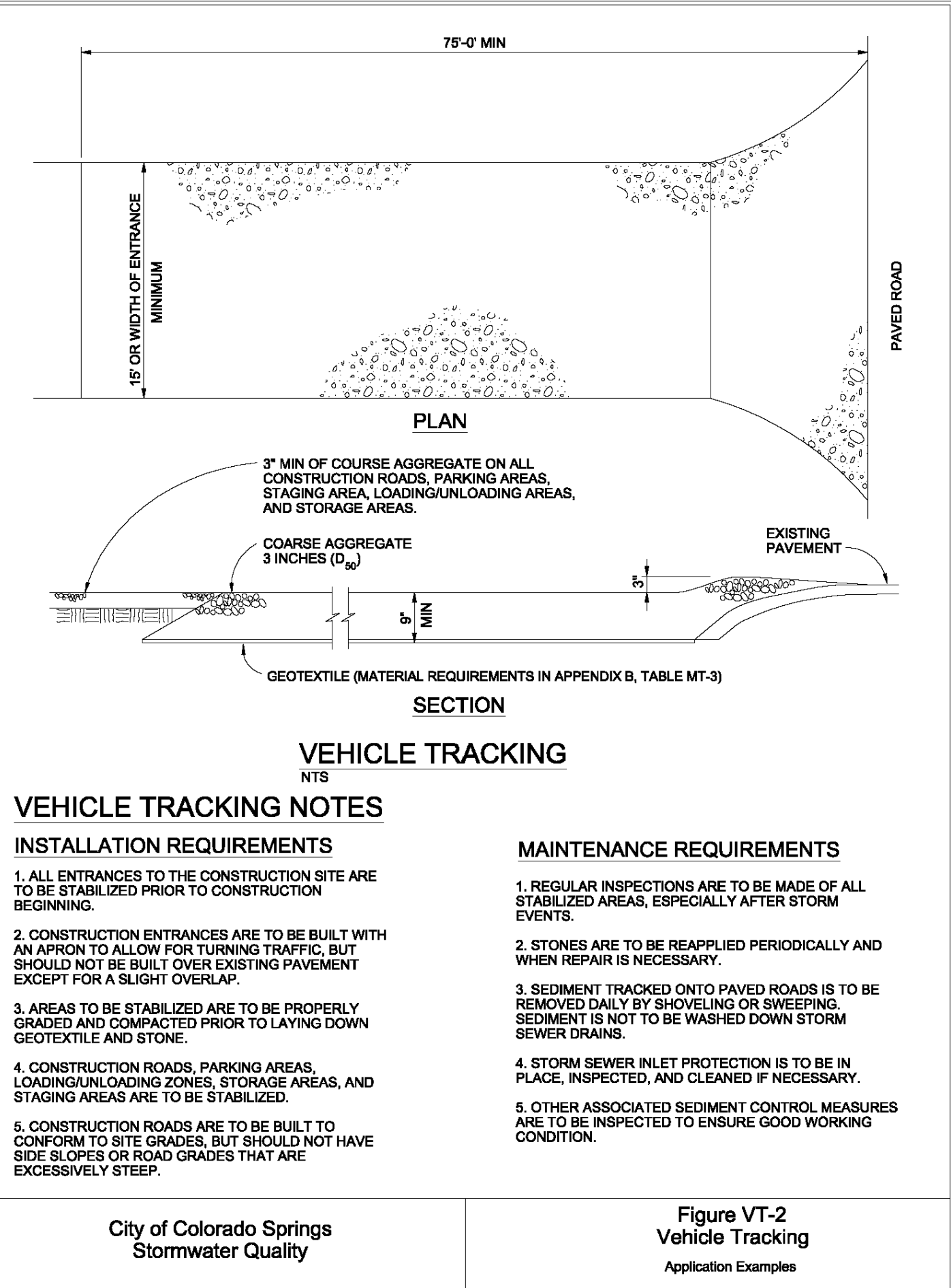
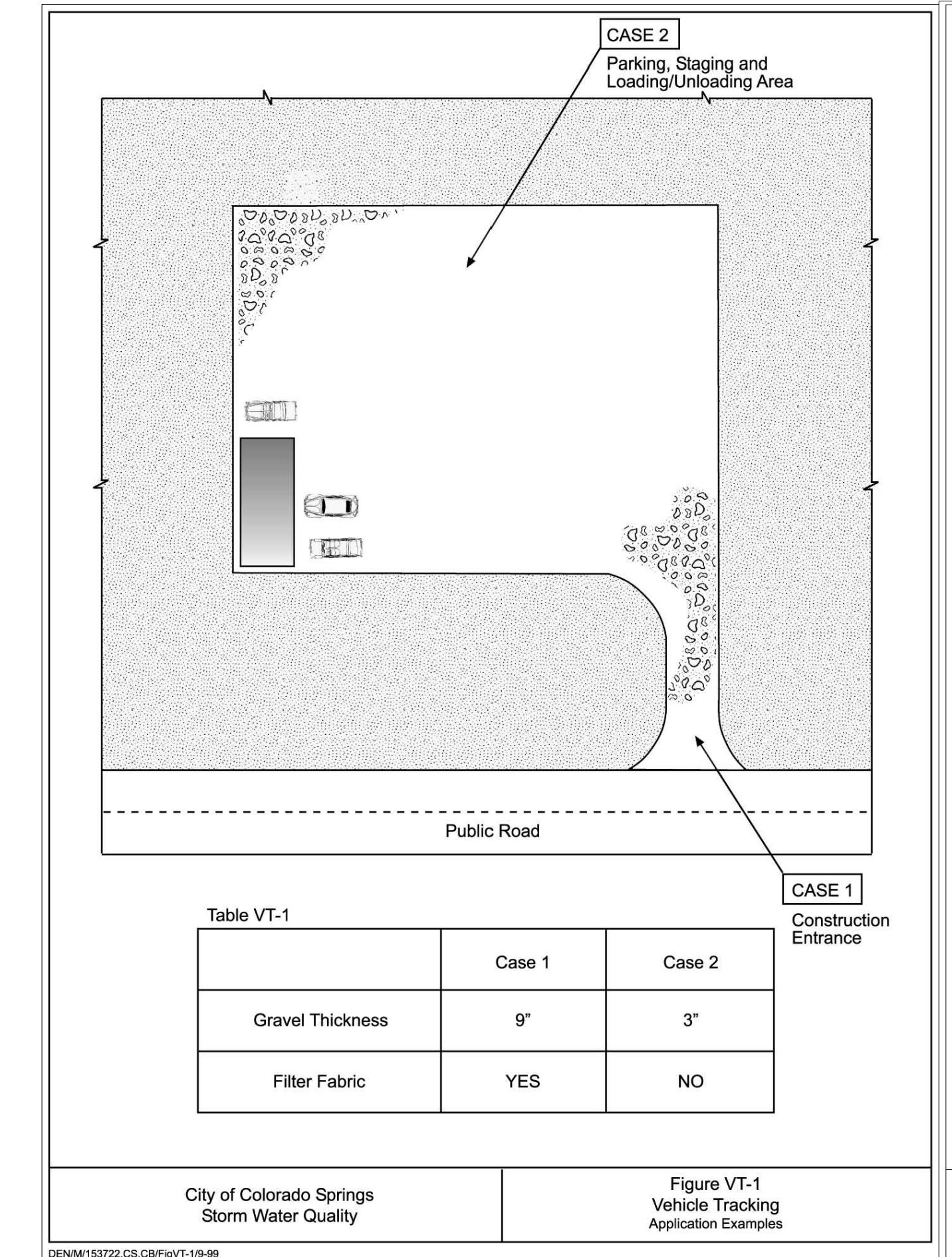
1. DISTURBED AREAS ARE TO BE SEEDED WITHIN 21 DAYS AFTER CONSTRUCTION ACTIVITY OR GRADING ENDS IF SEASON ALLOWS.
2. IF NECESSARY, SOIL IS TO BE CONDITIONED FOR PLANT GROWTH BY APPLYING TOPSOIL, FERTILIZER, OR LIME.
3. SOIL IS TO BE TILLED IMMEDIATELY PRIOR TO APPLYING SEEDS. COMPACT SOILS ESPECIALLY NEED TO BE LOOSENED.
4. SEEDED DEPTH IS TO BE 4 INCHES FOR SLOPES FLATTER THAN 2:1, AND 1 INCH FOR SLOPES STEEPER THAN 2:1.
5. ANNUAL GRASSES LISTED IN TABLE TS-1 ARE TO BE USED FOR TEMPORARY SEEDING. SEED MIXES ARE NOT TO CONTAIN ANY NOXIOUS WEED SEEDS INCLUDING RUSSIAN OR CANADIAN THISTLE, KNAWEED, PURPLE LOOSESTRIPE, EUROPEAN BINDWEED, JOHNSON GRASS, AND LEAFY SPURGE.
6. TABLE TS-1 ALSO PROVIDES REQUIREMENTS FOR SEEDING RATES, SEEDING DATES, AND PLANTING DEPTHS FOR THE APPROVED TYPES OF ANNUAL GRASSES.
7. SEEDING IS TO BE APPLIED USING MECHANICAL TYPE DRILLS EXCEPT WHERE SLOPES ARE STEEP OR ACCESS IS LIMITED THEN HYDRAULIC SEEDING MAY BE USED.
8. ALL SEEDED AREAS ARE TO BE MULCHED (SEE FACTSHEET ON MULCHING).
9. IF HYDRAULIC SEEDING IS USED THEN HYDRAULIC MULCHING SHALL BE DONE SEPARATELY TO AVOID SEEDS BECOMING ENCAPSULATED IN THE MULCH.

MAINTENANCE REQUIREMENTS

1. REGULAR INSPECTIONS ARE TO BE MADE OF ALL SEEDED AREAS TO ENSURE GROWTH.
2. AREAS WHERE GROWTH IS NOT OCCURRING QUICKLY OR THE MULCH HAS BEEN REMOVED SHALL BE RE-SEEDED AS SOON AS POSSIBLE AND RE-MULCHED IF NEEDED.
3. SEEDED AREAS ARE NOT TO BE DRIVEN OVER WITH CONSTRUCTION EQUIPMENT OR VEHICLES.

City of Colorado Springs
Stormwater Quality

Figure TS-1
Temporary Seeding
Construction Detail and Maintenance Requirements



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DR. RDL

CH. RDL

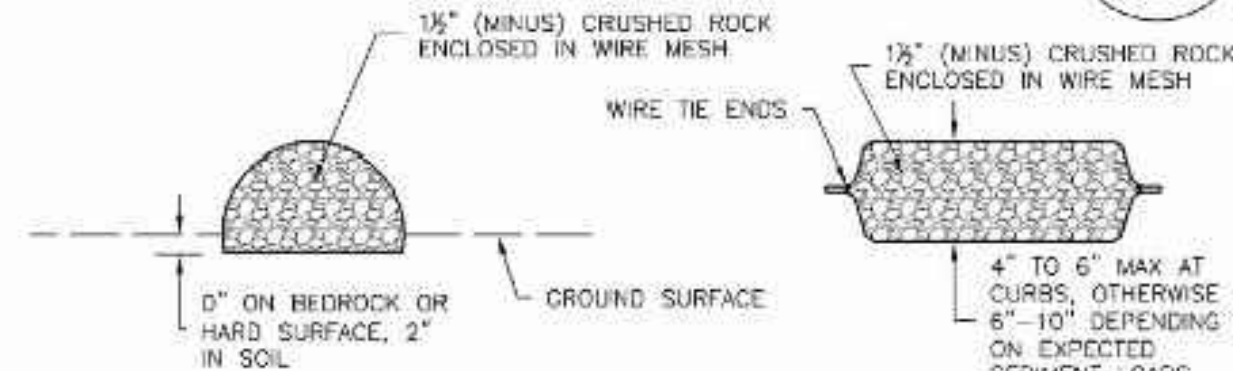
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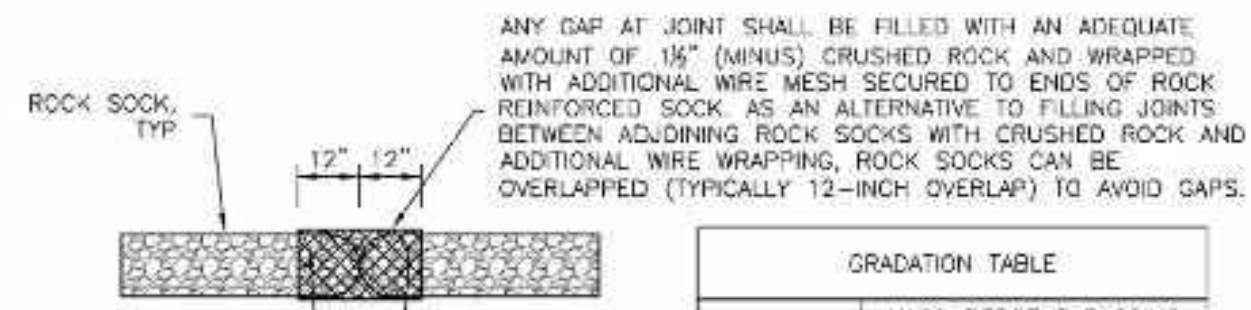
SC-5

Rock Sock (RS)



ROCK SOCK SECTION

ROCK SOCK PLAN



ROCK SOCK JOINTING

ROCK SOCK INSTALLATION NOTES

- SEE PLAN VIEW FOR:
 - LOCATION(S) OF ROCK SOCKS.
- CRUSHED ROCK SHALL BE 1/2" (MINUS) IN SIZE WITH A FRACTURED FACE (ALL SIDES) AND SHALL COMPLY WITH GRADATION SHOWN ON THIS SHEET (1/2" MINUS).
- WIRE MESH SHALL BE FABRICATED OF 10 GAGE POULTRY MESH, OR EQUIVALENT, WITH A MAXIMUM OPENING OF 1/2", RECOMMENDED MINIMUM ROLL WIDTH OF 48"
- WIRE MESH SHALL BE SECURED USING "HOC RINGS" OR WIRE TIES AT 6" CENTERS ALONG ALL JOINTS AND AT 2" CENTERS ON ENDS OF SOCKS.
- SOME MUNICIPALITIES MAY ALLOW THE USE OF FILTER FABRIC AS AN ALTERNATIVE TO WIRE MESH FOR THE ROCK ENCLOSURE.

RS-1. ROCK SOCK PERIMETER CONTROL

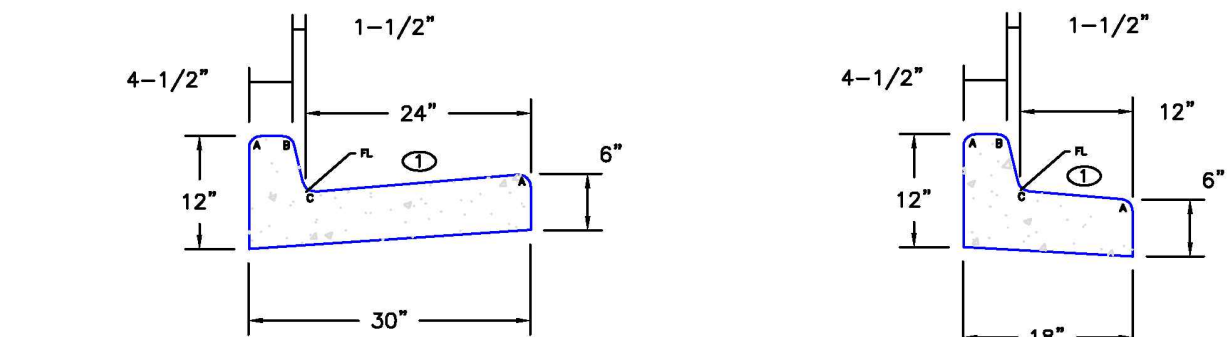
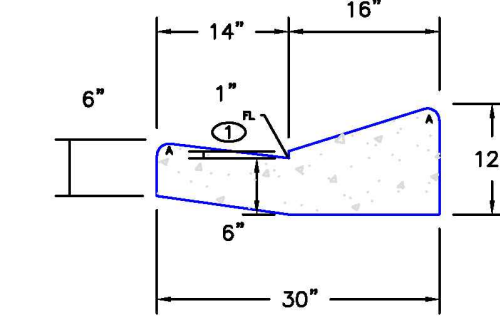
ROCK SOCK MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED, OR DAMAGED BEYOND REPAIR.
- SEDIMENT ACCUMULATED UPSTREAM OF ROCK SOCKS SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENT IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE ROCK SOCK.
- ROCK SOCKS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
- WHEN ROCK SOCKS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

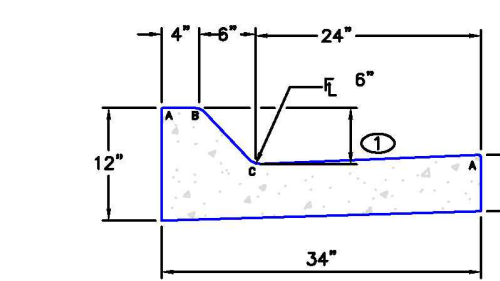
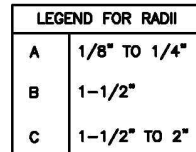
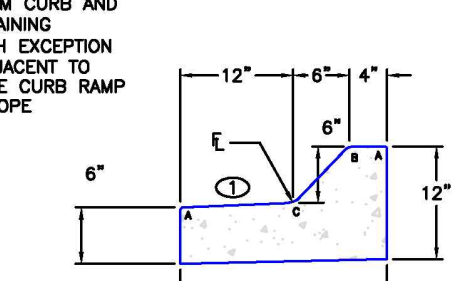
(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF ROCK SOCK INSTALLATION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY OTHER SIMILAR PROPRIETARY PRODUCTS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY PROTECTION PRODUCTS; HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

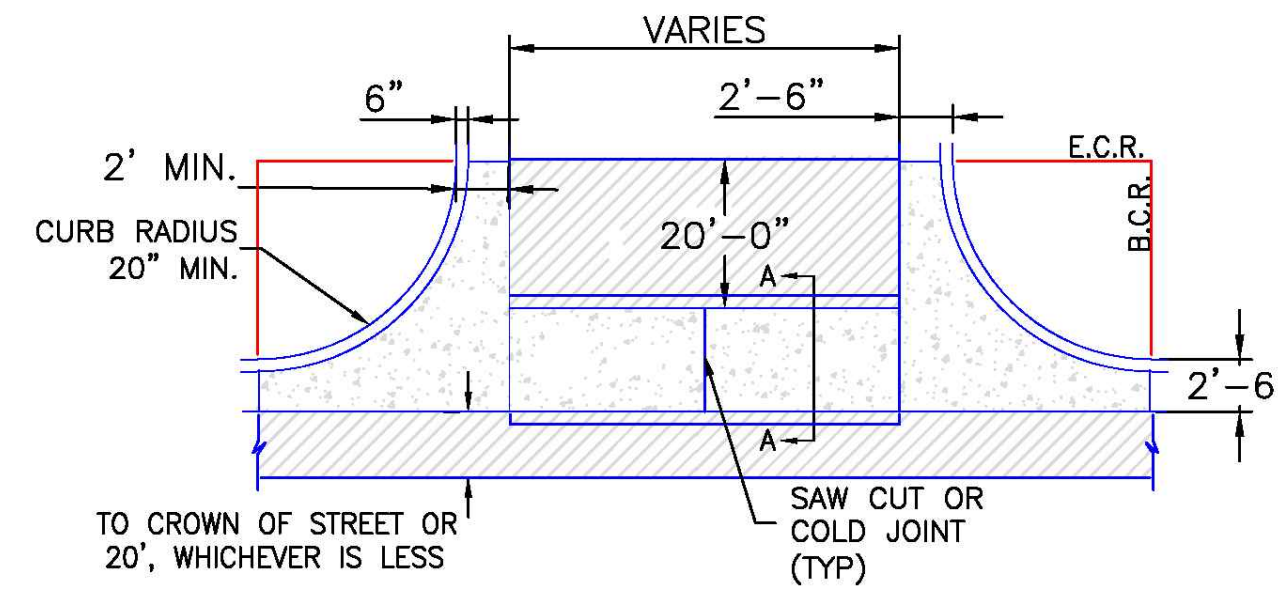
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(REVERSE SLOPE OF PAN FOR SPILL CURB)EPC TYPE B
(REVERSE SLOPE OF PAN FOR SPILL CURB)EPC TYPE C
(REVERSE SLOPE OF PAN FOR SPILL CURB)

EPC OPTIONAL TYPE C

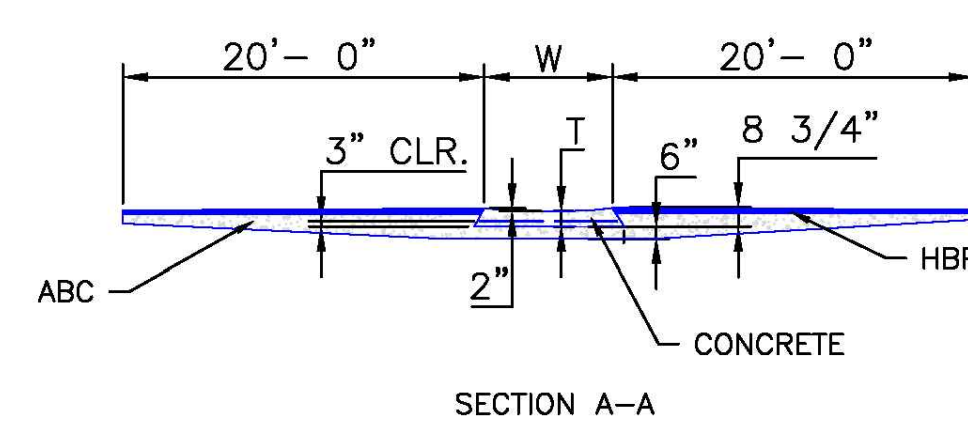
EPC TYPE D
(6" RAMP CURB)EPC TYPE E
(6" RAMP CURB)

SCALE: NOT TO SCALE

6/23/20	Typical Curb and Gutter Details		DEPARTMENT OF PUBLIC WORKS
DATE APPROVED: Jennifer E. Irvine	REVISION DATE: 6/23/20	FILE NAME: SD_2-20	
DEPARTMENT OF PUBLIC WORKS			



PLAN VIEW



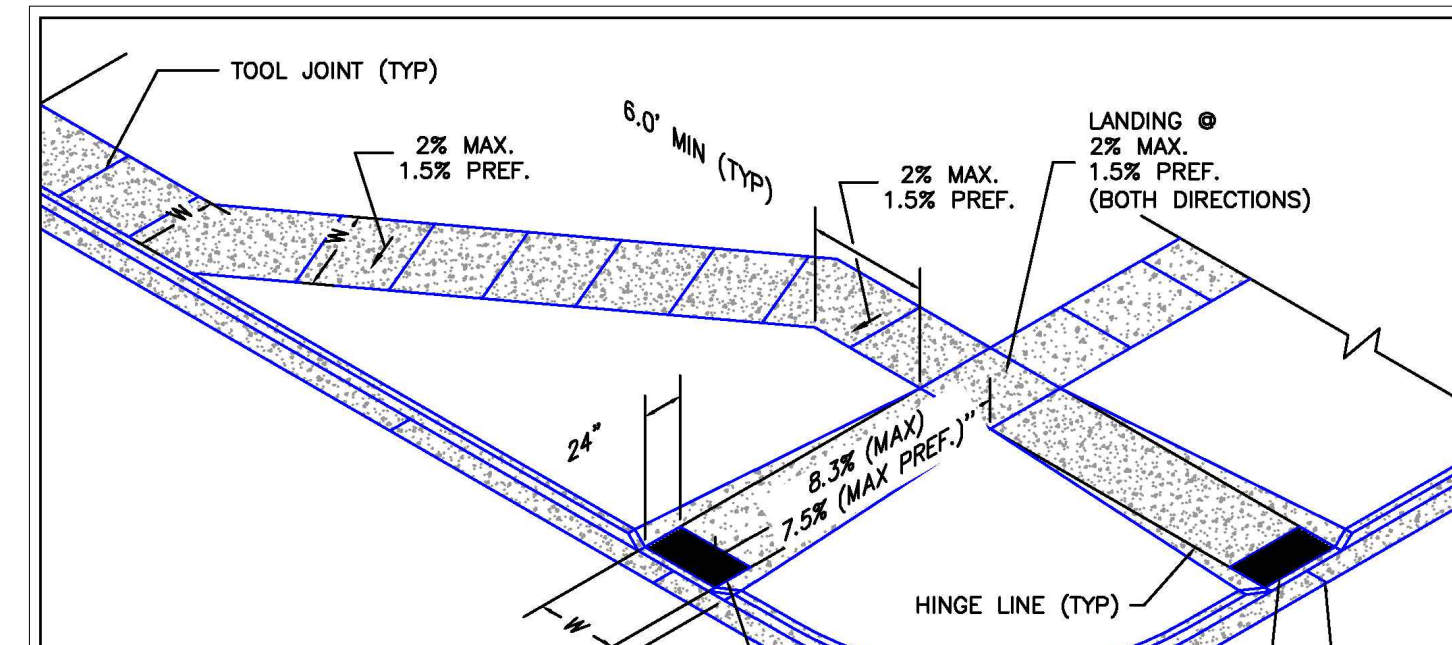
SECTION A-A

NOTES

- W - WIDTH SHALL BE 6' FOR LOCAL, 8' FOR COLLECTORS, AND 10' FOR ARTERIAL ROADS.
- T - SQUARED-OFF RETURN TO BE POURED MONOLITHICALLY, 8" PCC FOR LOCAL ROADS, 9" FOR COLLECTORS WITH 6x6 - 4.4 W.W.F. OR #4 REINFORCING BAR @ 18" EACH WAY.
- 3" MINIMUM ASPHALT DEPTH (2 LIFTS).
- DESIGN TO SPECIFY ELEVATIONS AT PI AND PCR.

SCALE: NOT TO SCALE

8/11/11	Typical Cross Plan Layout Detail		EL PASO COUNTY DEPARTMENT OF TRANSPORTATION
DATE APPROVED: André P. Brackin	REVISION DATE: 12/8/15	FILE NAME: SD_2-26	
DEPARTMENT OF TRANSPORTATION			



W= SAME WIDTH AS THE APPROACHING SIDEWALK, BUT NOT LESS THAN 4.0 FEET

PEDESTRIAN RAMP NOTES

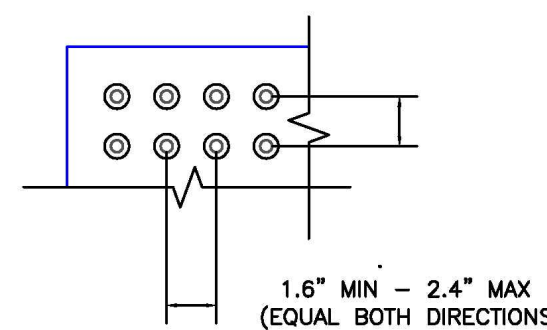
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT ENGINEERING CRITERIA MANUAL AND ADA REQUIREMENTS.
- CONTRACTOR TO NOTIFY ENGINEERING DIVISION INSPECTION STAFF 48 HOURS PRIOR TO CONCRETE PLACEMENT.
- PEDESTRIAN CURB RAMP CONSTRUCTION SHALL BE A MINIMUM 4,500 PSI CONCRETE, MINIMUM 4" THICK, NON-COLORED, NON-SCORED, COARSE BROOM FINISH.
- PEDESTRIAN CURB RAMP LOCATION AND LENGTH MAY REQUIRE MODIFICATION TO MAINTAIN THE 8.3% MAXIMUM RUNNING RAMP SLOPE DUE TO STREET INTERSECTION GRADES AND/OR ALIGNMENTS. SEE EGM SECTION 6.3.5 FOR PEDESTRIAN PUSHBUTTON LOCATION REQUIREMENTS.
- DETECTABLE WARNING SURFACE SHALL START A MINIMUM OF 6" BUT NOT MORE THAN 8" FROM THE FLOWLINE OF THE CURB AT ANY POINT.
- DETECTABLE WARNING SURFACE SHALL BE PREFABRICATED, CAST IRON (OPTIMA NATURAL FINISH) AND IN ACCORDANCE WITH EGM CHAPTER 8 AND SD-2-42. THERMOPLASTIC TRUNCATED DOMES AND PAVERS WILL NOT BE ACCEPTED.
- THE DETECTABLE WARNING SURFACE SHALL BE 24" IN LENGTH AND THE FULL WIDTH OF THE FLARE AREA.
- PEDESTRIAN CURB RAMP WIDTH REQUIRED IS SAME AS APPROACHING SIDEWALK, 4" MINIMUM.
- ALL PEDESTRIAN CURB RAMPs WILL BE PERPENDICULAR TO TRAFFIC WITH THE EXCEPTION OF MID-BLOCK OR TERMINAL RAMPs WHICH MAY BE PARALLEL, SUBJECT TO APPROVAL.
- DRAINAGE STRUCTURES, TRAFFIC SIGNAL/BOXES, UTILITIES/JUNCTION BOXES, OR OTHER OBSTRUCTIONS WITHIN PROPOSED PEDESTRIAN CURB RAMP AREAS AND LANDINGS ARE PROHIBITED.
- THE COUNTER SLOPE OF THE GUTTER OR ROAD AT THE FOOT OF A RAMP SHALL NOT EXCEED 3%.

GENERAL NOTES

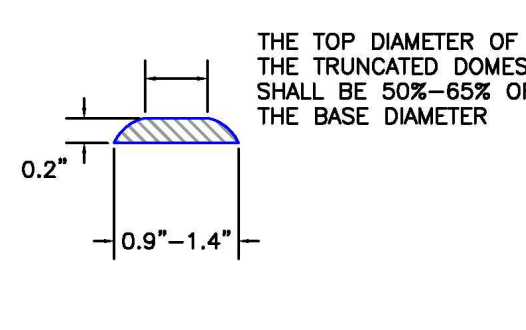
- WHERE THE 1'-6" FLARED SIDE(S) OF A PERPENDICULAR CURB RAMP IS (ARE) CONTIGUOUS WITH A PEDESTRIAN OR HARD SURFACE AREA (PEDESTRIAN CIRCULATION PATH), THE MAXIMUM FLARE SLOPE SHALL NOT EXCEED 10:1.
- PEDESTRIAN WALKWAY (PEDESTRIAN ACCESS ROUTE) AND/OR LOCATION OF EXISTING OR FUTURE PEDESTRIAN RAMPs ON OPPOSITE CORNERS SHALL BE REVIEWED BEFORE CONSTRUCTING NEW RAMPs.
- AT MARKED PEDESTRIAN CROSSINGS, THE BOTTOM OF THE RAMPs, EXCLUSIVE OF THE FLARE SIDES, SHALL BE TOTALLY CONTAINED WITHIN THE MARKINGS.

6/23/20	Pedestrian Curb Ramp Detail		DEPARTMENT OF PUBLIC WORKS
DATE APPROVED: Jennifer E. Irvine	REVISION DATE: 6/23/20	FILE NAME: SD_2-41	
DEPARTMENT OF PUBLIC WORKS			

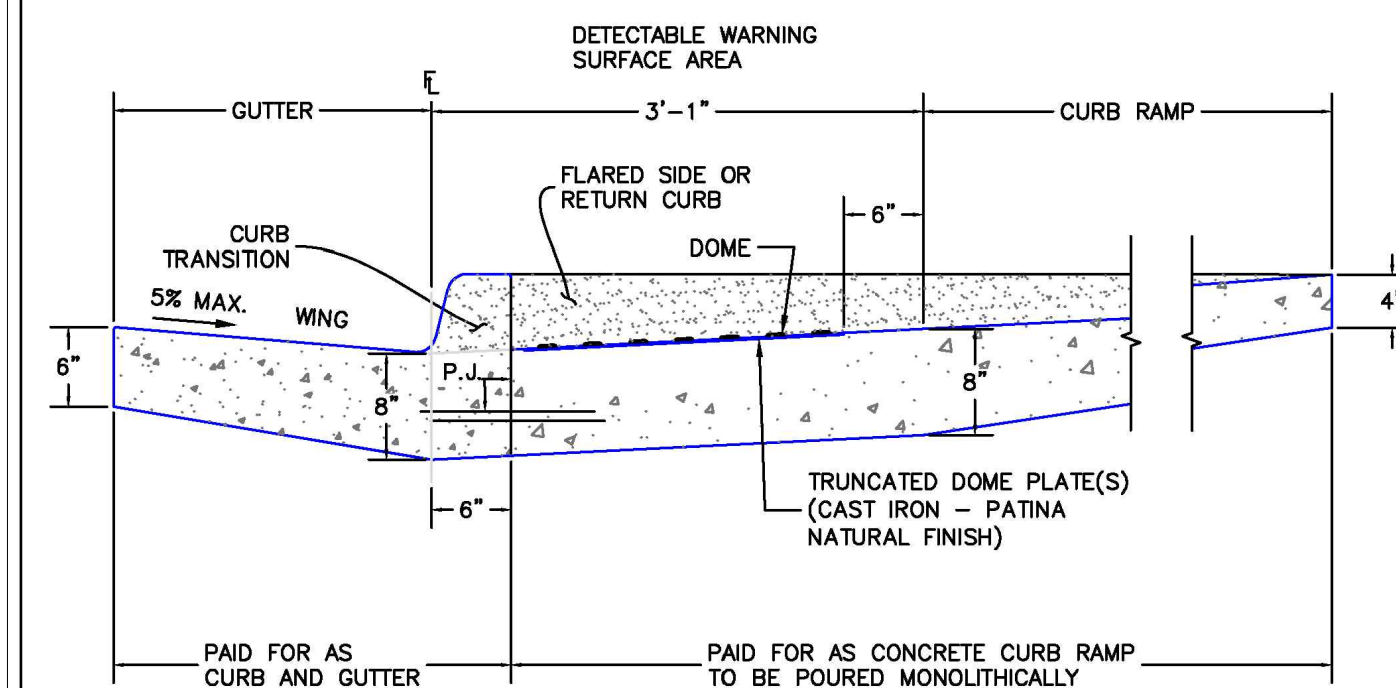
TRUNCATED DOME DETAILS



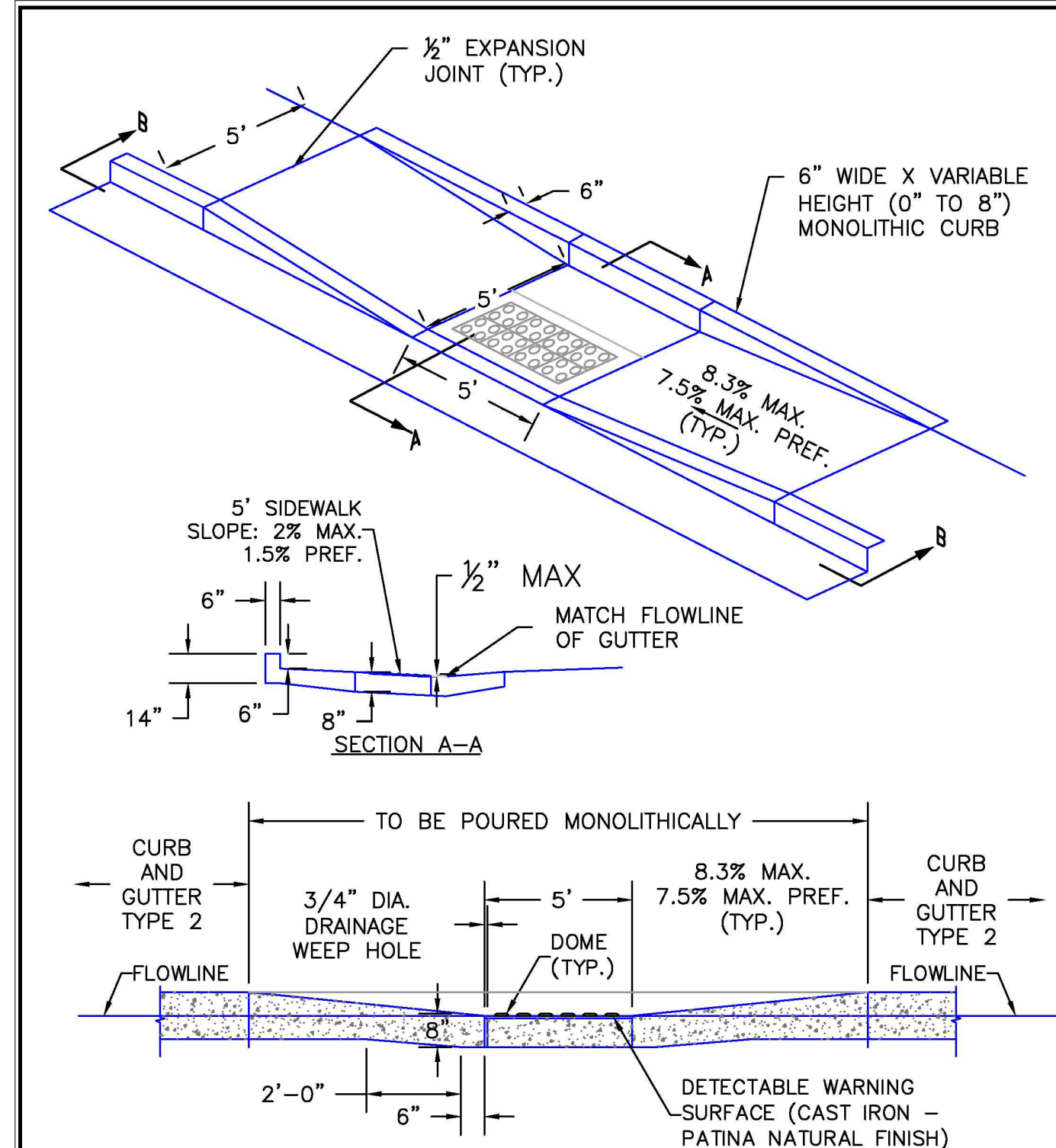
DOME SPACING



ELEVATION VIEW

SIDE CROSS SECTION VIEW OF
DETECTABLE WARNING SURFACE, CURB AND GUTTER

6/23/20	Detectable Warning Surface Details		DEPARTMENT OF PUBLIC WORKS
DATE APPROVED: Jennifer E. Irvine	REVISION DATE: 6/23/20	FILE NAME: SD_2-42	
DEPARTMENT OF PUBLIC WORKS			



SECTION B-B

SCALE: NOT TO SCALE

6/23/20	Parallel Pedestrian Curb Ramp Detail		DEPARTMENT OF PUBLIC WORKS
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DEPARTMENT OF PUBLIC WORKS			



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SUNSET VILLAGE VIEW, LLC.	EL PASO COUNTY, COLORADO
SUNSET VILLAGE VIEW, LLC.	DETAILS

DATE	12/03/2021
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B	2nd SUBMITTAL TO EPC

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JOB	21004166
SHEET NO.	22

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