

SF 01005
2645



SUNSET VILLAGE FILING NO. 4

CONSTRUCTION PLANS

1

Contacts List:

El Paso County Planning and Community Development
Gilbert LaForce, PE
719-520-7945
gilbertlaforce@elpasoco.com
Ryan Howser
719-520-6049; ryanhowser@elpasoco.com

Owner/Developer
Scott Van Whye
Sunset Village View, LLC.
303-519-5100

Civil Engineer
Richard Lyon, PE
Atwell, LLC.
rlyon@atwell-group.com

Per the County Attorney's Office, a Condition of Approval will be included with the Construction Plans.

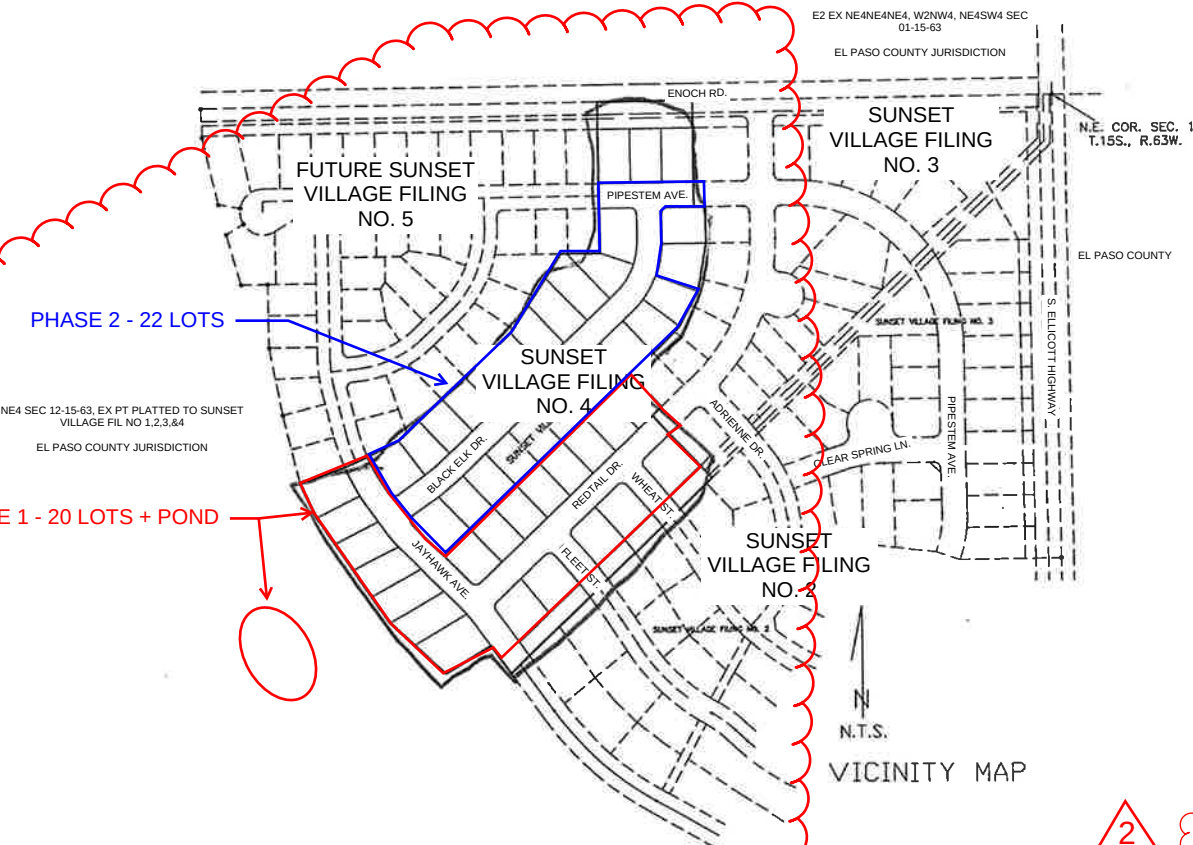
Approval will be limited to Phase 1 improvements only.

The Construction Plans will need to be resubmitted for review/approval once the Developer intends to proceed with Phase 2.

Financial Assurances for Phase 2 improvements will be required at that time.

2

**CONSTRUCTION DRAWINGS AMENDMENT,
DATED APRIL 4, 2026 BY ENGINEERING LOCAL
XPRTS, LLC.**



INDEX

- 1) COVER SHEET
- 2) GENERAL NOTES AND DETAILS
- 3) STREET & SANITARY SEWER PLAN (PIPESTEM)
- 4) STREET & SANITARY SEWER PLAN (REDTAIL DRIVE)
- 5) STREET & SANITARY SEWER PLAN (BLACK ELK DRIVE)
- 6) STREET & SANITARY SEWER PLAN (JAYHAWK AVE.)
- 7) STREET PLAN (WHEAT DRIVE)
- 8) STREET PLAN (FLEET STREET)
- 9) STREET PLAN (ENOCH ROAD)
- 10) UTILITY PLAN
- D-1) DEVELOPED DRAINAGE AND EROSION CONTROL PLAN
- D-2) STORM DRAIN PLAN AND PROFILE
- D-3) DETENTION POND PLAN AND DETAILS
- HW-1) ELLICOTT HIGHWAY IMPROVEMENT PLAN AND PROFILE
- 15) SIGNAGE AND STRIPING PLAN
- 16) CDOT S-614-1 DETAILS
- 17) POND PLAN
- 18) POND DETAILS
- 19) POND DETAILS
- 20) REVISED FOREBAY DETAILS
- 21) REVISED OUTLET STRUCTURE DETAILS
- 22) REVISED OUTLET STRUCTURE DETAILS
- 23) DETAILS
- 24) DETAILS
- 25) DETAILS

2

THE FOLLOWING STANDARD DETAILS ARE INCLUDED IN THIS PLAN SET:

EL PASO COUNTY DETAILS:

- EPC DETAIL SD_2-20 TYPICAL CURB AND GUTTER
- EPC DETAIL SD_2-26 TYPICAL CROSS PAN LAYOUT
- EPC DETAIL SD_2-41 PEDESTRIAN INTERSECTION RAMP
- EPC DETAIL SD_2-42 DETECTABLE WARNING SURFACE
- EPC DETAIL SD_2-50 PARALLEL PEDESTRIAN CURB RAMP

EROSION CONTROL MEASURES:

- CONCRETE WASHOUT AREA
- VEHICLE TRACKING CONTROL
- ROCK SOCKS
- INLET PROTECTION
- SEEDING AND MULCHING
- STRAW BALE BARRIER / CHECK DAM
- SILT FENCE



4575 GALLEY ROAD SUITE 200
COLORADO SPRINGS COLORADO
(719) 597-9900 80915

PROJECT 00-0908 DATE 10-08-01 DRAWN J.L.K.

SHEET 1 OF 22

MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008

REVISION 1: 01/07/2022
COR218 REVISION 2 (ELX
JULY 2026)

ENGINEER'S STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID DETAILED PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED DRAINAGE PLANS AND SPECIFICATIONS, AND SAID DETAILED PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE MASTER PLAN OF THE DRAINAGE BASIN. SAID DETAILED PLANS AND SPECIFICATIONS MEET THE PURPOSE FOR WHICH THE PARTICULAR DRAINAGE FACILITIES ARE DESIGNED. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED DRAINAGE PLANS AND SPECIFICATIONS.

JOHN P. SCHWAB, P.E. NO. 29891



DISCLAIMER:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH THE COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

Engineer's Statement:

These detailed plans and specifications were prepared under my direction and supervision. Said plans and specifications have been prepared according to the criteria established by the County for detailed roadway, drainage, grading and erosion control plans and specifications, and said plans and specifications are in conformity with applicable master drainage plans and master transportation plans. Said plans and specifications meet the purposes for which the particular roadway and drainage facilities are designed and are correct to the best of my knowledge and belief. I accept responsibility for any liability caused by any negligent acts, errors or omissions on my part in preparation of these detailed plans and specifications.

Richard Lyon, P.E. 01-07-2022
Richard Lyon, P.E. 165921 Date

Owner/Developer's Statement:

I, the owner/developer have read and will comply with all of the requirements of the grading and erosion control plan and all of the requirements specified in these detailed plans and specifications.

Scott Van Whye 01-07-2022
Scott Van Whye, President Date
Sunset Village View, LLC.
300 Windchime Pl #301 Colorado Springs, CO

El Paso County:

County plan review is provided only for general conformance with County Design Criteria. The County is not responsible for the accuracy and adequacy of the design, dimensions, and/or elevations which shall be confirmed at the job site. The County through the approval of this document assumes no responsibility for completeness and/or accuracy of this document.

Filed in accordance with the requirements of the El Paso County Land Development Code, Drainage Criteria Manual, Volumes 1 and 2, and Engineering Criteria Manual as amended.

In accordance with ECM Section 1.12, these construction documents will be valid for construction for a period of 2 years from the date signed by the El Paso County Engineer. If construction has not started within those 2 years, the plans will need to be resubmitted for approval, including payment of review fees at the Planning and Community Development Directors discretion.

Jennifer Irvine, P.E. Date
County Engineer / ECM Administrator

DEVELOPER'S STATEMENT:

I, RODNEY PRIESSER, THE DEVELOPER HAS READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THIS DRAINAGE REPORT AND PLAN.

BY: *[Signature]*

TITLE: OWNER
ADDRESS: 90 S. CASCADE AVE. # 950
COLORADO SPRINGS, CO. 80903

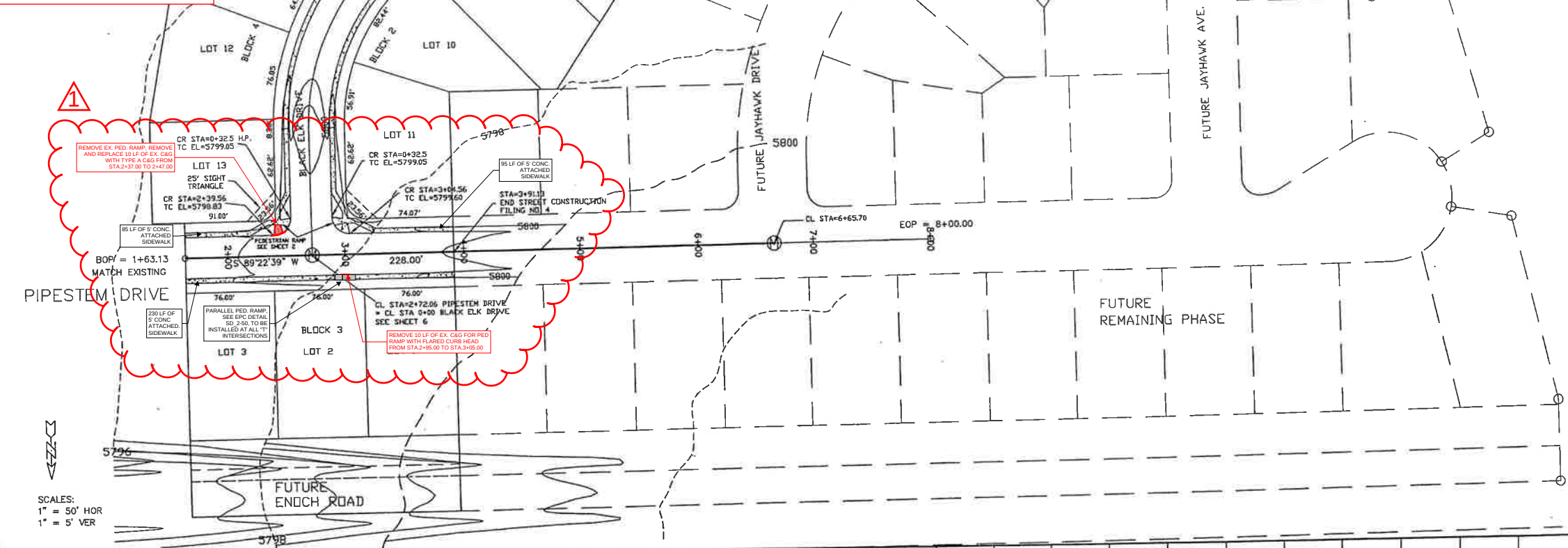
EL PASO COUNTY:

FILED IN ACCORDANCE WITH SECTION 51.1 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.

[Signature] 12-19-01
Jenny Irvine, PE DATE
County Engineer / ECM Administrator

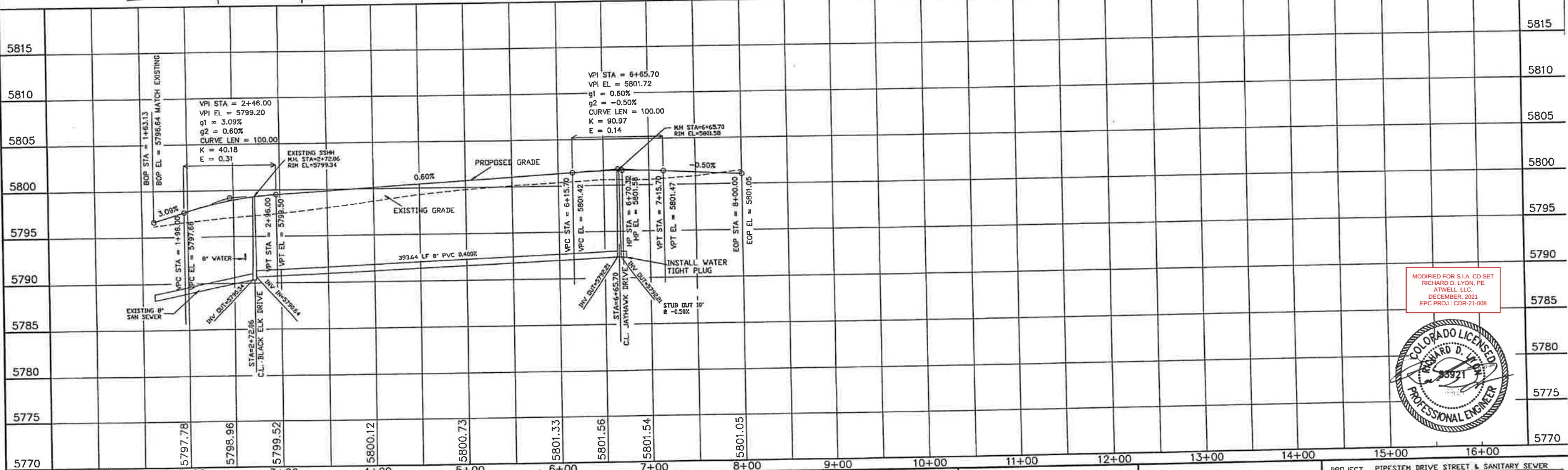
CONDITIONS:

PHASE 2 (BLACK ELK DRIVE AND PIPESTEM DRIVE)



- NOTES:
1. ROUGH CUT ROAD AND CONSTRUCT SANITARY SEWER TO STATION 6+65.70
 2. ALL CURB RETURN RADII ARE 15.00'
 3. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14

* CURB AND GUTTER MARKED IN THE FIELD TO BE REPLACED IN-KIND. ESTIMATED TO BE APPROXIMATELY 900 LF IN TOTAL.

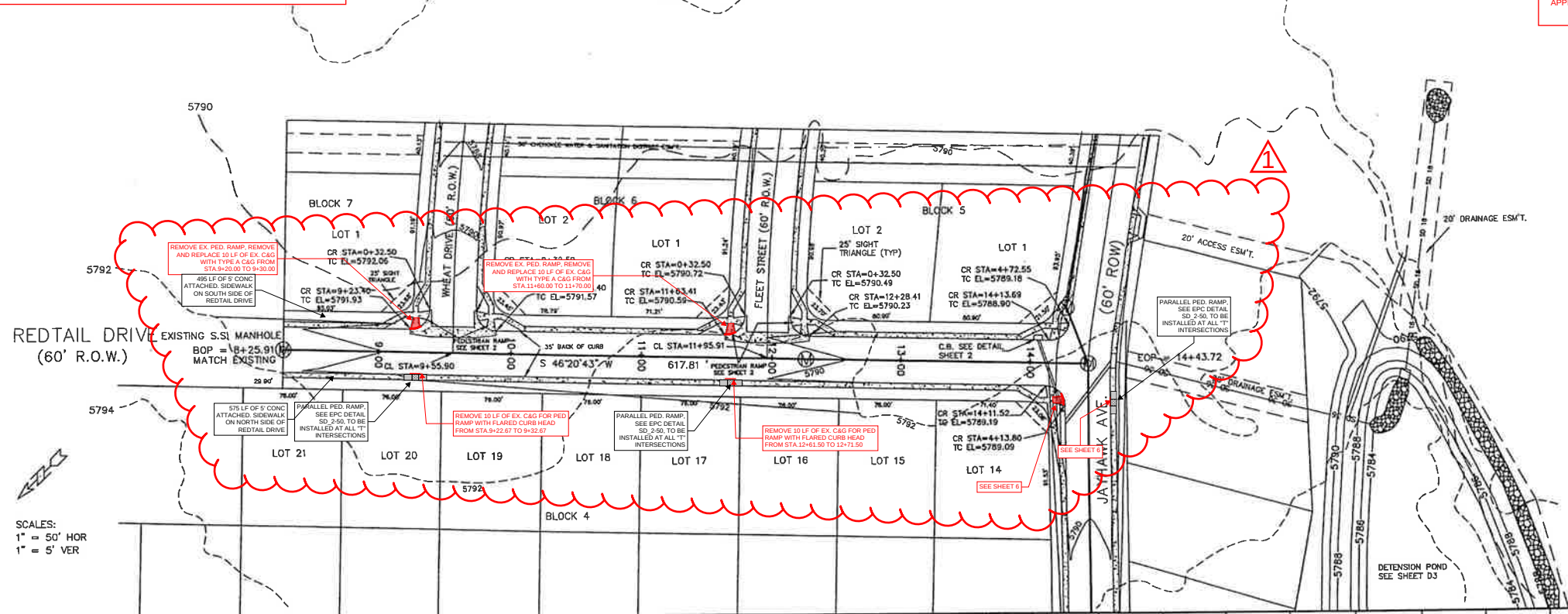


MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008



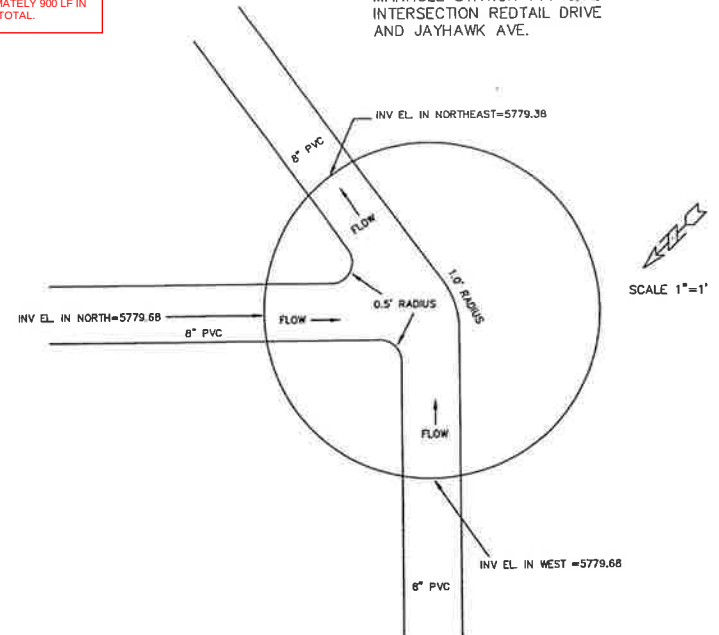
STATEMENT: THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN, THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.		REVIEW: STREET DESIGN: _____ DATE: _____ ROUGH CUT REVIEW: _____ DATE: _____ FINAL REVIEW: _____ DATE: _____ DRAINAGE BASIN: _____		DESIGN DATA: SIDEWALKS: WIDTH 5' LOCATION: Attached to Detached, 6' from P/L D CURB TYPE 102030 R/W WIDTH 60' B/C-B/C 35' STREET TYPE HVEEM ASPHALT THICKNESS: AC Surface T8D AC Base Class 6 AGG. BASE THICKNESS: Class 5 Class 2		SCALE: HORIZ. 50' VERT. 5' BENCHMARK: U.S.G.S. BRASS CAP 114.8 (1953) ELEV=5752.00 LOCATED AT THE SOUTHEAST CORNER OF SECTION 12, T.15S, R.63W.		REVISIONS: NO. DESCRIPTION DATE 1 SIA CD UPDATES 01/07/2022		ENGINEER: UNITED PLANNING ENGINEERING (719) 597-9908 4575 GALLEY ROAD SUITE 200 COLORADO SPRINGS, COLORADO 80915 DESIGNED BY: J.L.K. DATE: 10-09-01 DRAWN BY: J.L.K. DATE: 10-09-01 CHECKED BY: T.L.K. DATE: 10-09-01		PROJECT: PIPESTEM DRIVE STREET & SANITARY SEWER FROM: 1+63.13 TO: 6+65.70 SUBDIVISION: SUNSET VILLAGE FILING NO. 4 DRAINAGE BASIN: TELEPHONE EXCHANGE JOB NO. D:\PROJ\X00-0908\RCP01001.DWG SHEET 3 OF 22	
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PHASE 1 (REDTAIL DRIVE, WHEAT DRIVE, FLEET STREET, JAYHAWK AVENUE)



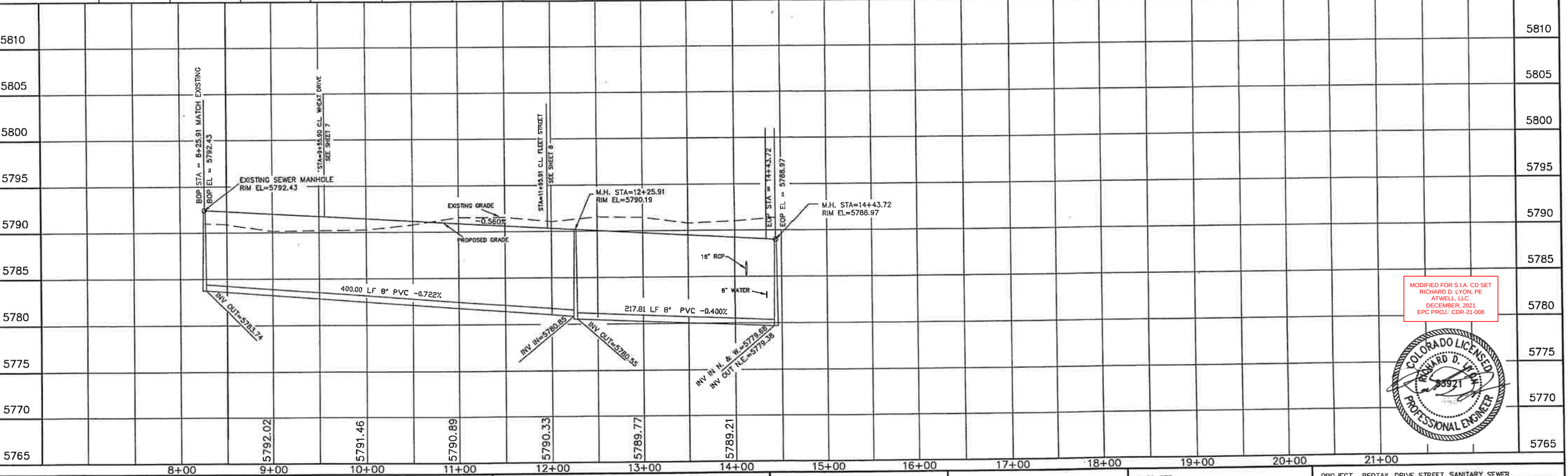
* CURB AND GUTTER MARKED IN THE FIELD TO BE REPLACED IN-KIND. ESTIMATED TO BE APPROXIMATELY 900 LF IN TOTAL.

DETAIL
MANHOLE STATION 14+43.72
INTERSECTION REDTAIL DRIVE AND JAYHAWK AVE.



SCALES:
1" = 50' HOR
1" = 5' VER

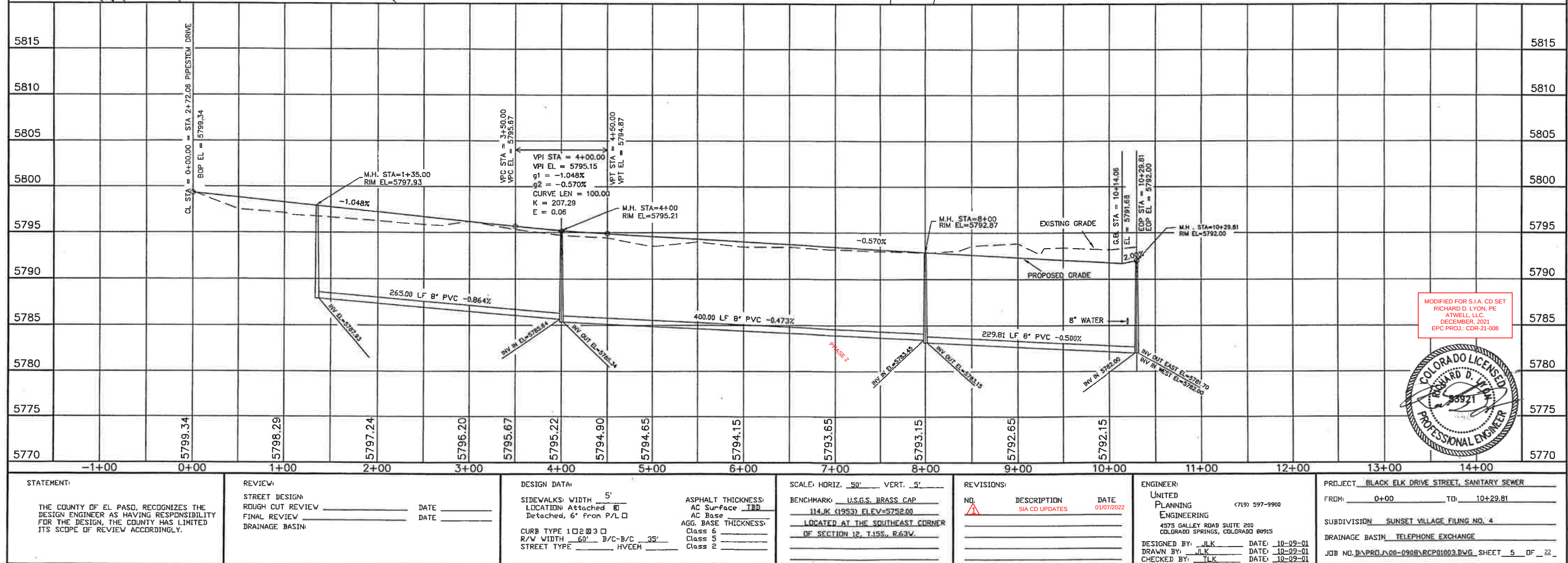
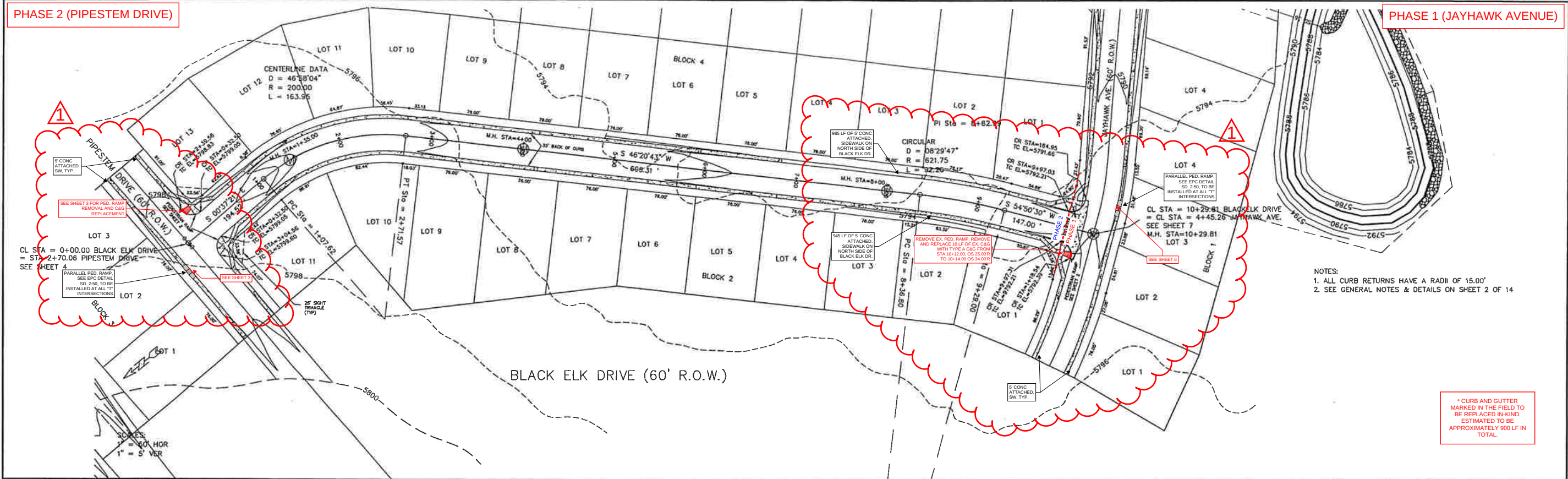
- NOTES:
1. ALL CURB RETURNS HAVE A RADIUS OF 15.00'
2. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14



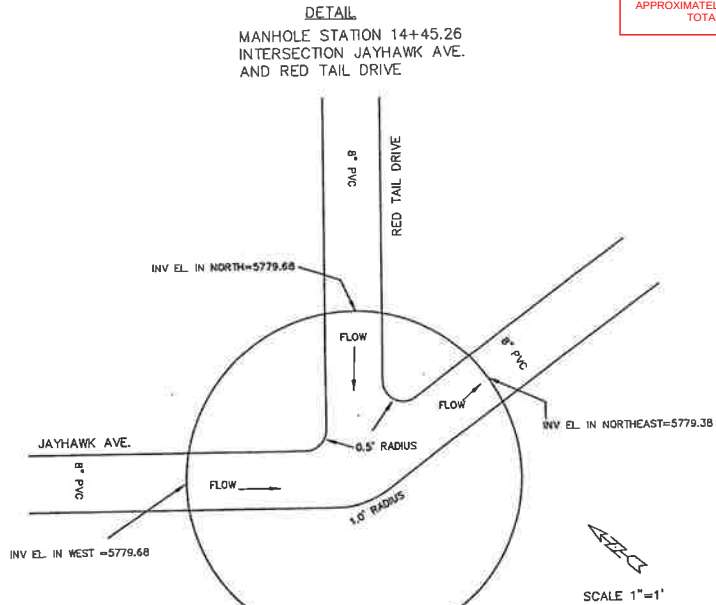
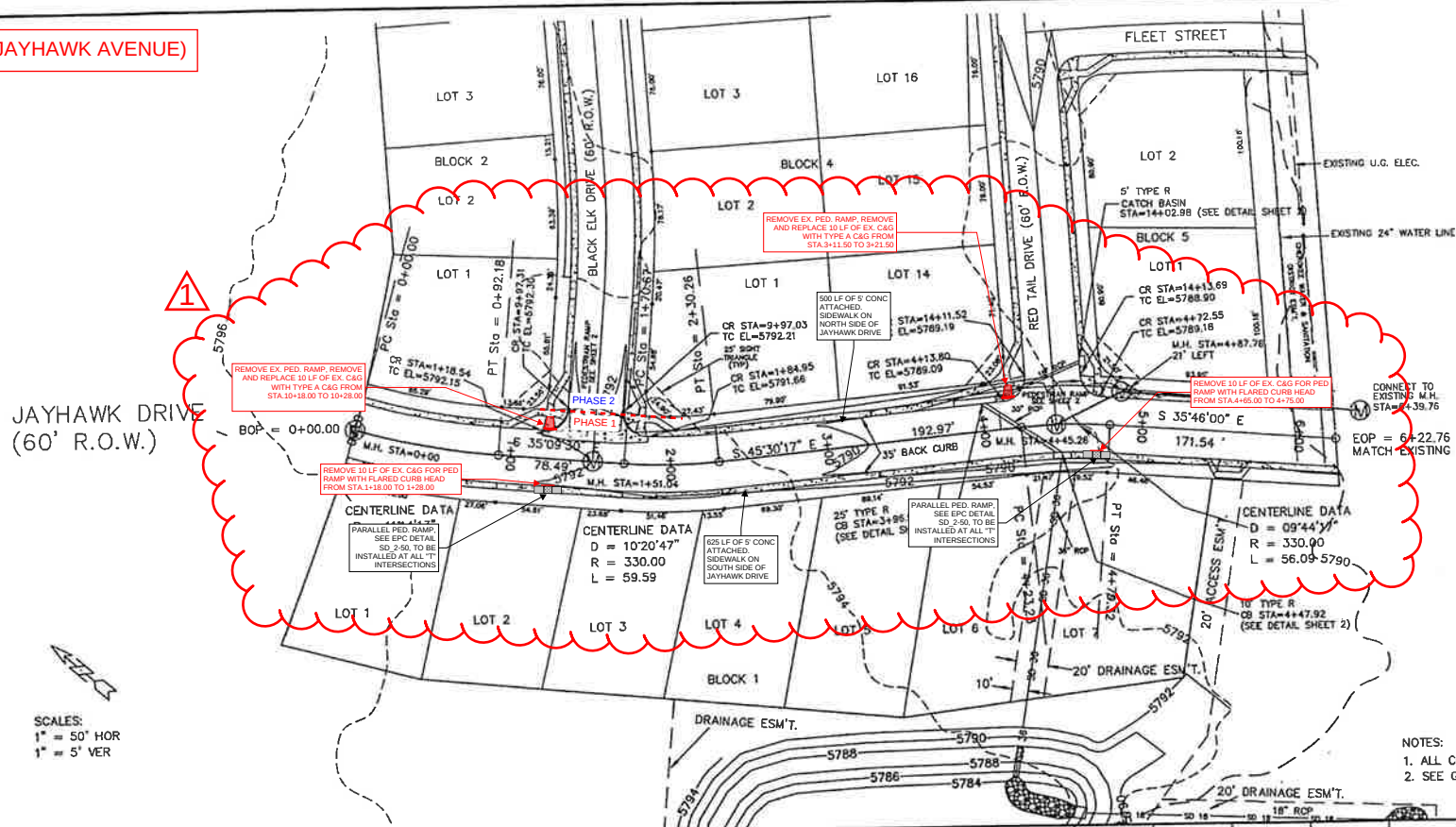
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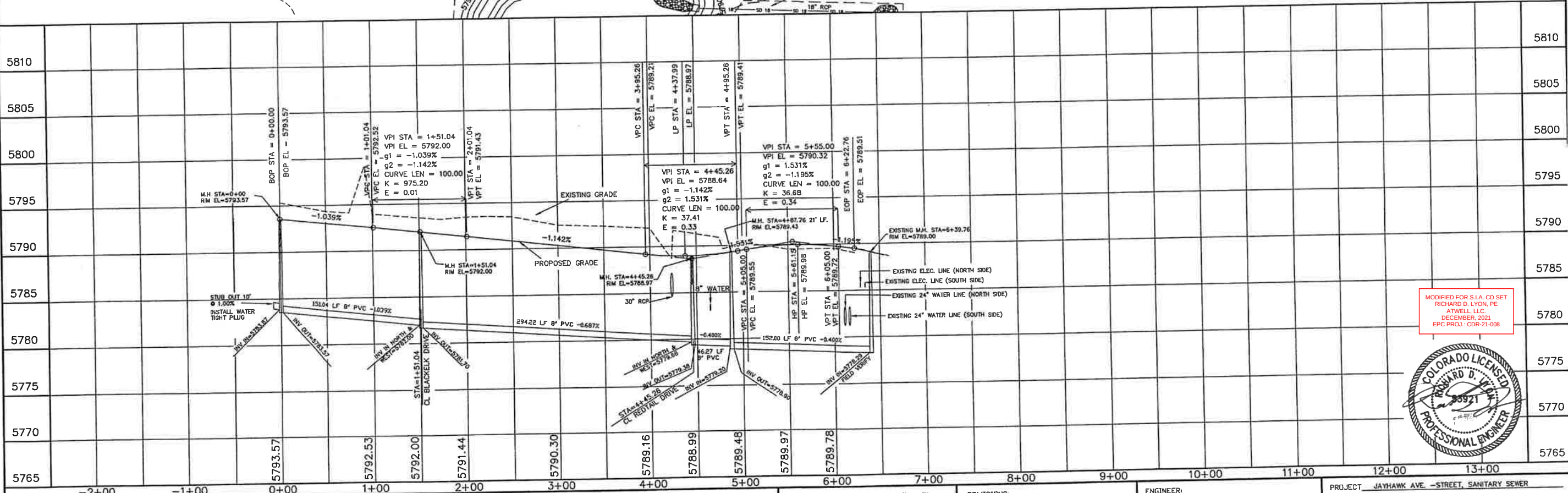
STATEMENT: THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN. THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.	REVIEW: STREET DESIGN _____ DATE _____ ROUGH CUT REVIEW _____ DATE _____ FINAL REVIEW _____ DATE _____ DRAINAGE BASIN _____	DESIGN DATA: SIDEWALKS WIDTH 5' LOCATION: Attached ☒ Detached, 6' from P/L ☐ CURB TYPE 102030 R/W WIDTH 60' B/C-B/C 35' STREET TYPE _____ ASPHALT THICKNESS: AC Surface 1BD AC Base _____ AGG. BASE THICKNESS: Class 6 _____ Class 5 _____ Class 2 _____	SCALE: HORIZ. 50' VERT. 5' BENCHMARK: U.S.G.S. BRASS CAP 114 JK (1953) ELEV=5752.00 LOCATED AT THE SOUTHEAST CORNER OF SECTION 12, T15S, R63W.	REVISIONS: NO. DESCRIPTION DATE 1 SIA CD UPDATES 01/07/2022	ENGINEER: UNITED PLANNING ENGINEERING 4575 GALLEY ROAD SUITE 200 COLORADO SPRINGS, COLORADO 80915 DESIGNED BY: JLK DATE: 10-09-01 DRAWN BY: JLK DATE: 10-09-01 CHECKED BY: TLK DATE: 10-09-01	PROJECT: REDTAIL DRIVE STREET, SANITARY SEWER FROM: 8+25.91 TO: 14+43.72 SUBDIVISION: SUNSET VILLAGE FILING NO. 4 DRAINAGE BASIN: TELEPHONE EXCHANGE JOB NO. D:\PROJ\A00-0908\RCP01002.DWG SHEET 4 OF 22
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PHASE 1 (JAYHAWK AVENUE)



- NOTES:
1. ALL CURB RETURNS HAVE A RADIUS OF 15.00'
 2. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14



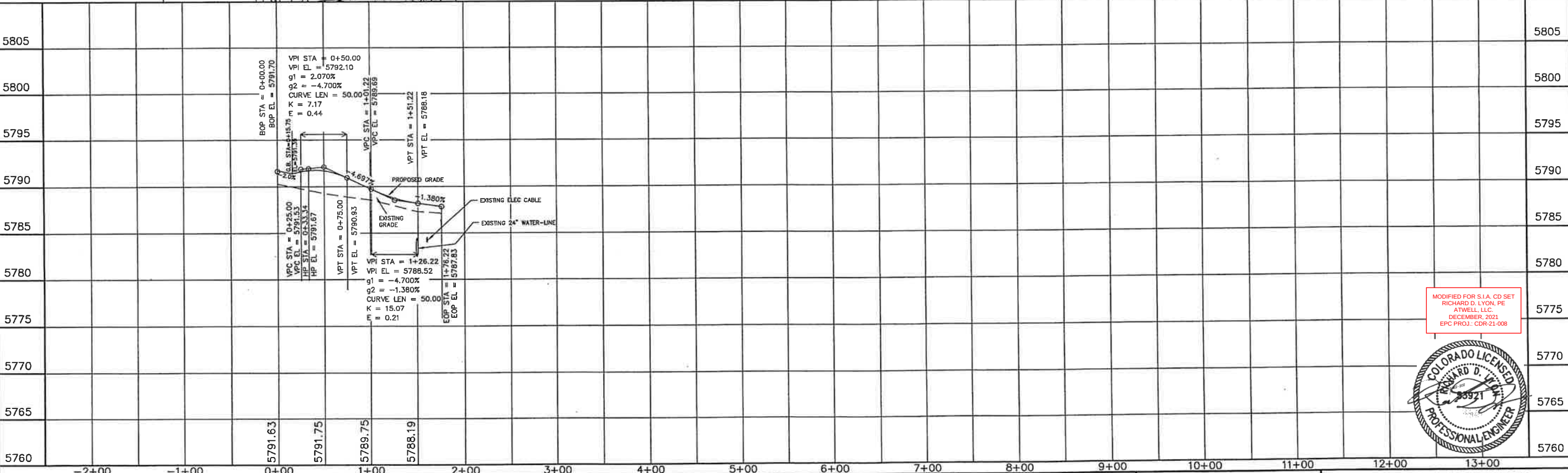
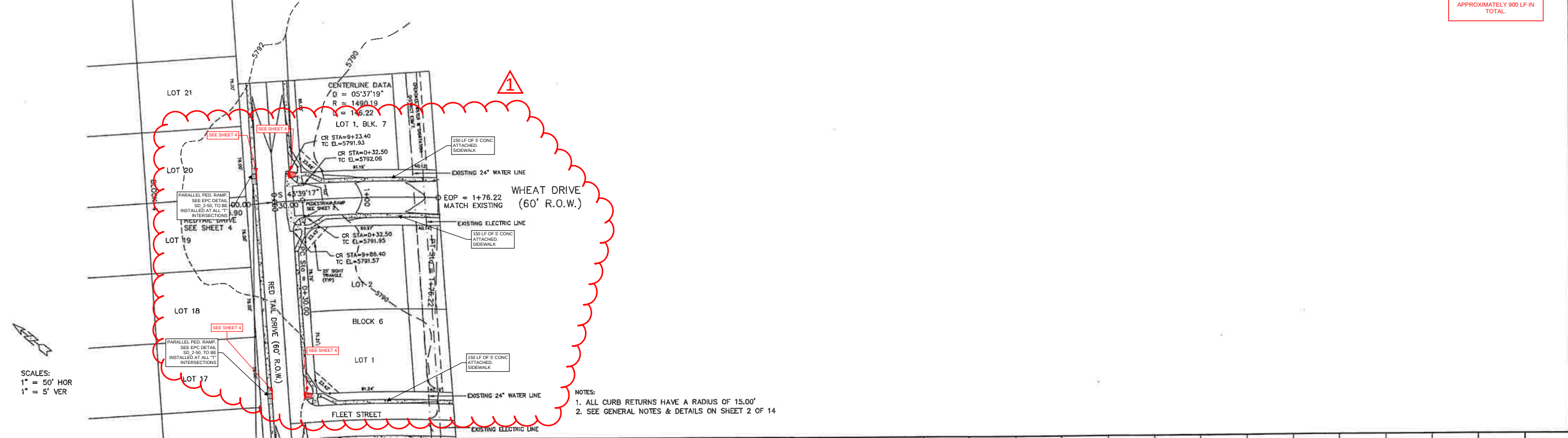
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STATEMENT: THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN. THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.	REVIEW: STREET DESIGN _____ DATE _____ ROUGH CUT REVIEW _____ DATE _____ FINAL REVIEW _____ DATE _____	DESIGN DATA: SIDEWALKS WIDTH 5' LOCATION Attached to Detached, 6' from P/LD CURB TYPE 10 200 30 R/W WIDTH 60' B/C-B/C 35' STREET TYPE HVEEM ASPHALT THICKNESS: AC Surface 18D AC Base AGG. BASE THICKNESS: Class 6 Class 5 Class 2	SCALE: HORIZ. 50' VERT. 5' BENCHMARK: U.S.G.S. BRASS CAP 114JK (1953) ELEV=5758.00 LOCATED AT THE SOUTHEAST CORNER OF SECTION 18, T15S, R63W.	REVISIONS: NO. DESCRIPTION DATE 1 SIA CD UPDATES 01/07/2022	ENGINEER: UNITED PLANNING ENGINEERING (719) 597-9900 4575 GALLEY ROAD SUITE 200 COLORADO SPRINGS, COLORADO 80915 DESIGNED BY: J.L.K. DATE: 10-09-01 DRAWN BY: J.L.K. DATE: 10-09-01 CHECKED BY: J.L.K. DATE: 10-09-01	PROJECT: JAYHAWK AVE. - STREET, SANITARY SEWER FROM: 0+00 TO: 6+22.76 SUBDIVISION: SUNSET VILLAGE FILING NO. 4 DRAINAGE BASIN: TELEPHONE EXCHANGE JOB NO. D:\PROJ\100-0908\RCD\01004.DWG SHEET 6 OF 22
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PHASE 1 (REDTAIL DRIVE, WHEAT DRIVE, FLEET STREET, JAYHAWK AVENUE)

* CURB AND GUTTER MARKED IN THE FIELD TO BE REPLACED IN-KIND. ESTIMATED TO BE APPROXIMATELY 900 LF IN TOTAL.



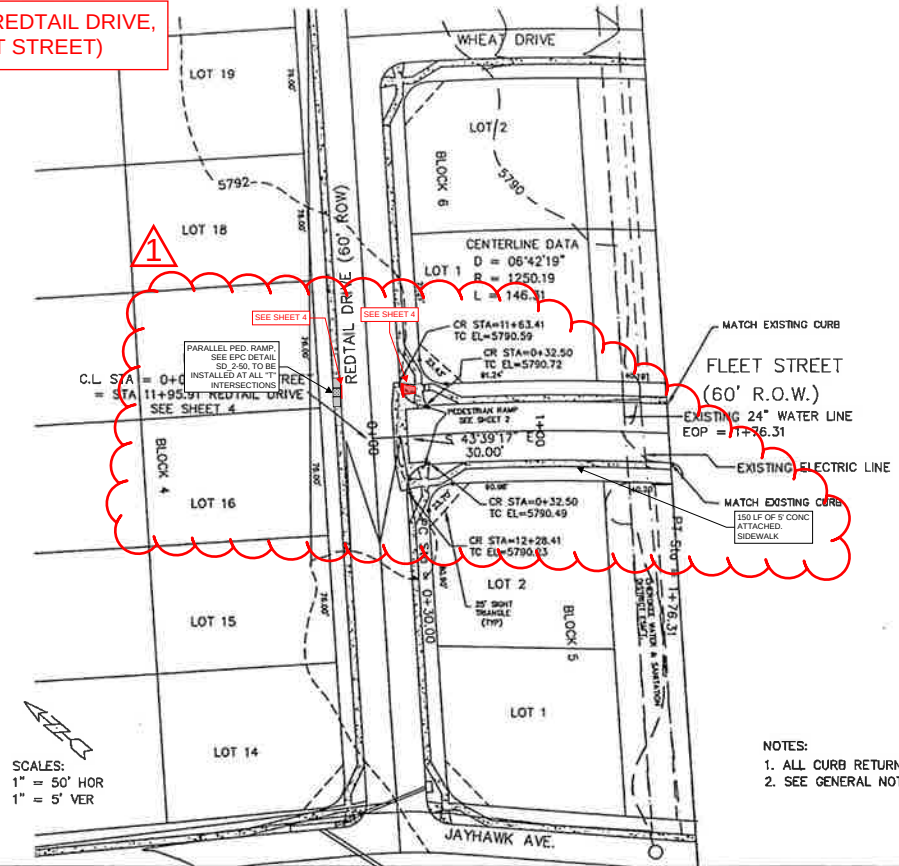
MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008



STATEMENT: THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN. THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.	REVIEW: STREET DESIGN _____ DATE _____ ROUGH CUT REVIEW _____ DATE _____ FINAL REVIEW _____ DATE _____ DRAINAGE BASIN _____	DESIGN DATA: SIDEWALKS: WIDTH 5' LOCATION: Attached @ Detached, 6' from P/LD CURB TYPE 1 2 3 4 R/W WIDTH 60' B/C-B/C 35' STREET TYPE _____ HVEEM _____ ASPHALT THICKNESS: AC Surface 180 AC Base _____ AGG. BASE THICKNESS: Class 6 _____ Class 5 _____ Class 2 _____	SCALE: HORIZ. 50' VERT. 5' BENCHMARK: U.S.G.S. BRASS CAP 114JK (1953) ELEV=5752.00 LOCATED AT THE SOUTHEAST CORNER OF SECTION 12, T.15S., R.63W.	REVISIONS: NO. DESCRIPTION DATE 1 SIA CD UPDATES 01/07/2022	ENGINEER: UNITED PLANNING ENGINEERING 4575 GALLEY ROAD SUITE 200 COLORADO SPRINGS, COLORADO 80915 DESIGNED BY: J.L.K. DATE: 10-02-01 DRAWN BY: J.L.K. DATE: 10-02-01 CHECKED BY: T.L.K. DATE: 10-02-01	PROJECT: WHEAT DRIVE - STREET, SANITARY SEWER FROM: 0+00 TO: 1+76.22 SUBDIVISION: SUNSET VILLAGE FILING NO. 4 DRAINAGE BASIN: TELEPHONE EXCHANGE JOB NO. B:\PROJ\A00-0908\PCP01005.DWG SHEET 7 OF 15
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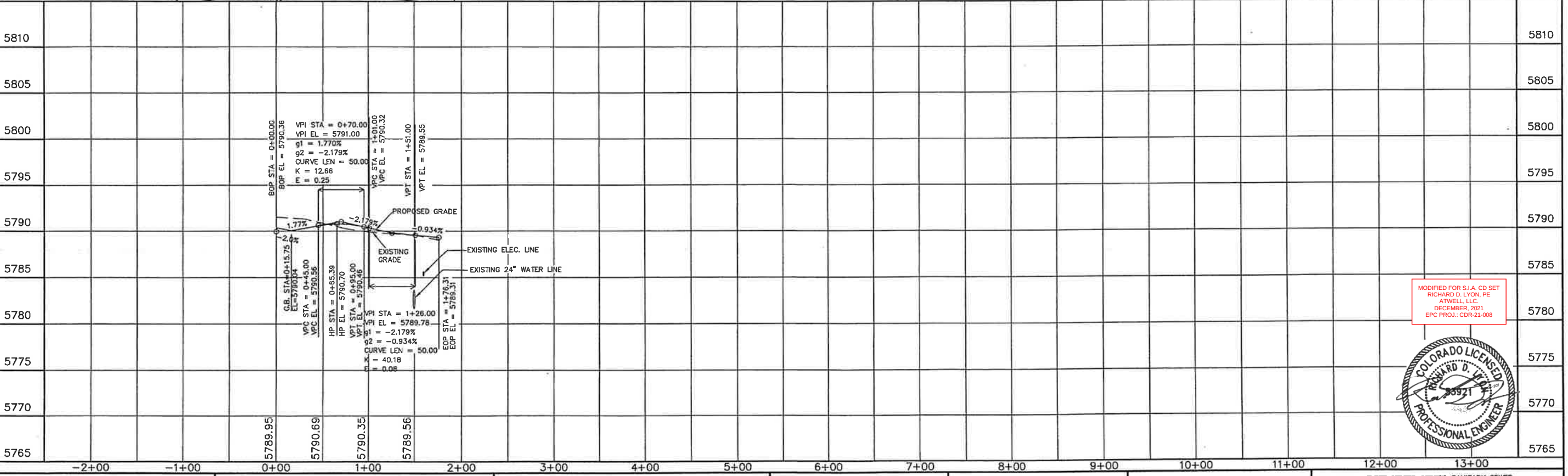
PHASE 1 (REDTAIL DRIVE, FLEET STREET)

* CURB AND GUTTER MARKED IN THE FIELD TO BE REPLACED IN-KIND. ESTIMATED TO BE APPROXIMATELY 900 LF IN TOTAL.



SCALES:
1" = 50' HOR
1" = 5' VER

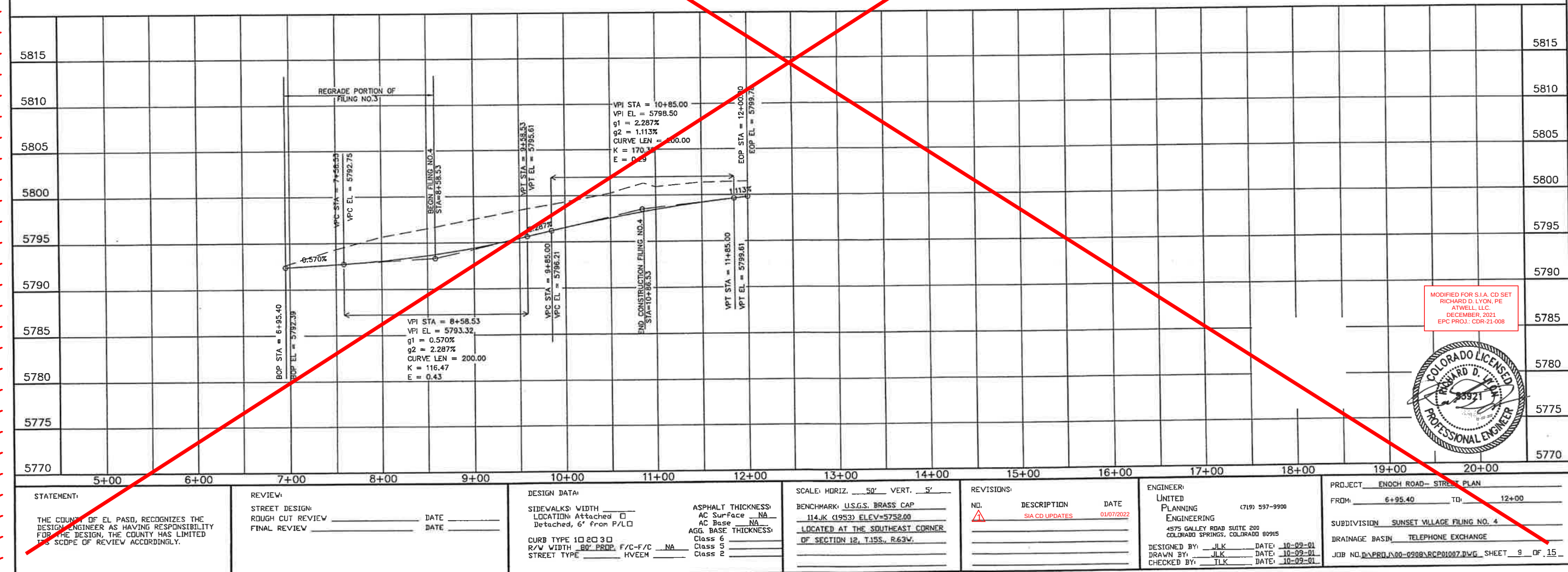
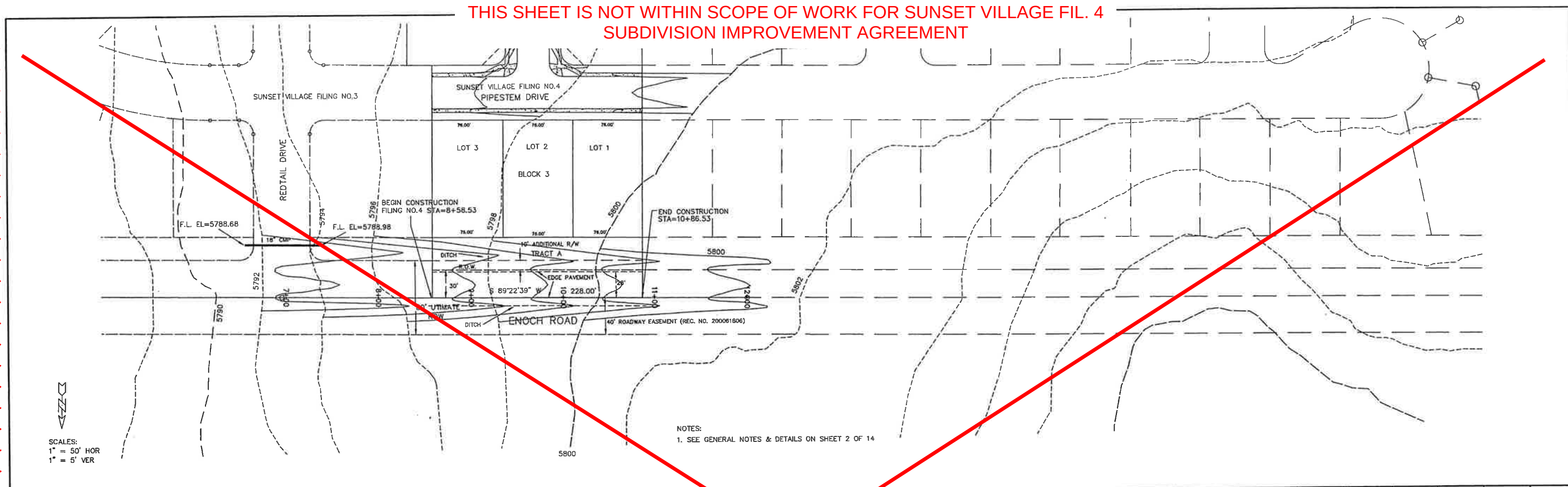
- NOTES:
1. ALL CURB RETURNS HAVE A RADIUS OF 15.00'
2. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14

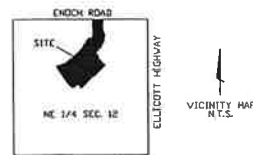
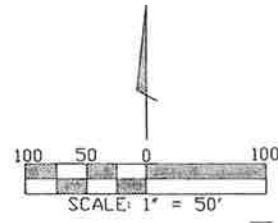


MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ. CDR-21-008



STATEMENT: THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN. THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.	REVIEW: STREET DESIGN ROUGH CUT REVIEW FINAL REVIEW DRAINAGE BASIN:	DESIGN DATA: SIDEWALKS: WIDTH 5' LOCATION: Attached to Detached, 6' from P/L CURB TYPE 10 20 30 R/W WIDTH 60' B/C-B/C 35' STREET TYPE HVEEM	ASPHALT THICKNESS: AC Surface 180 AC Base AGG. BASE THICKNESS: Class 6 Class 5 Class 2	SCALE: HORIZ. 50' VERT. 5' BENCHMARK: U.S.G.S. BRASS CAP 114 JK (1953) ELEV=5752.00 LOCATED AT THE SOUTHEAST CORNER OF SECTION 12, T.15S, R.63W.	REVISIONS: NO. DESCRIPTION DATE 1 SIA CD UPDATES 01/07/2022	ENGINEER: UNITED PLANNING ENGINEERING 4575 GALLEY ROAD SUITE 200 COLORADO SPRINGS, COLORADO 80915 DESIGNED BY: J.L.K. DATE: 10-09-01 DRAWN BY: J.L.K. DATE: 10-09-01 CHECKED BY: T.L.K. DATE: 10-09-01	PROJECT: FLEET STREET-STREET, SANITARY SEWER FROM: 0+00 TO: 1+76.31 SUBDIVISION: SUNSET VILLAGE FILING NO. 4 DRAINAGE BASIN: TELEPHONE EXCHANGE JOB NO. D:\PROJ\100-0908\RCPE01006.DWG SHEET 8 OF 15
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WATER STATEMENT
THE UNDERSIGNED OWNER/DEVELOPER AGREES THAT THE INSTALLATION OF THESE PROPOSED WATER
STRUCTURES WILL BE MADE IN ACCORDANCE WITH CHEROKEE METROPOLITAN DISTRICT
SPECIFICATIONS
AND SHALL PROVIDE A MINIMUM OF FIVE (5) FEET AND A MAXIMUM OF SIX (6) FEET OF COVER
OVER THE WATER MAINS. ANY CHANGES REQUIRED TO MEET THE ABOVE STIPULATION SHALL BE
AT THE EXPENSE OF THE OWNER/DEVELOPER. COVER IN EXCESS OF SIX(6) FEET SHALL BE
SUPPORTED BY PLAN AND PROFILE DRAWINGS APPROVED BY THE CHEROKEE METROPOLITAN DISTRICT

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO THE CHEROKEE METROPOLITAN DISTRICT WATER SPECIFICATIONS. THE NUMBER OF HYDRANTS AND HYDRANT LOCATIONS AS SHOWN ON THIS WATER INSTALLATION PLAN ARE CORRECT AND ADEQUATE TO SATISFY THE FIRE PROTECTION REQUIREMENTS AS SPECIFIED BY THE ELLICOTT FIRE PROTECTION DISTRICT.

SIGNED _____ DATE _____
ELLCOTT FIRE PROTECTION DISTRICT

WATER INSTALLATION CORROSION CONTROL REQUIREMENTS:
NONE REQUIRED

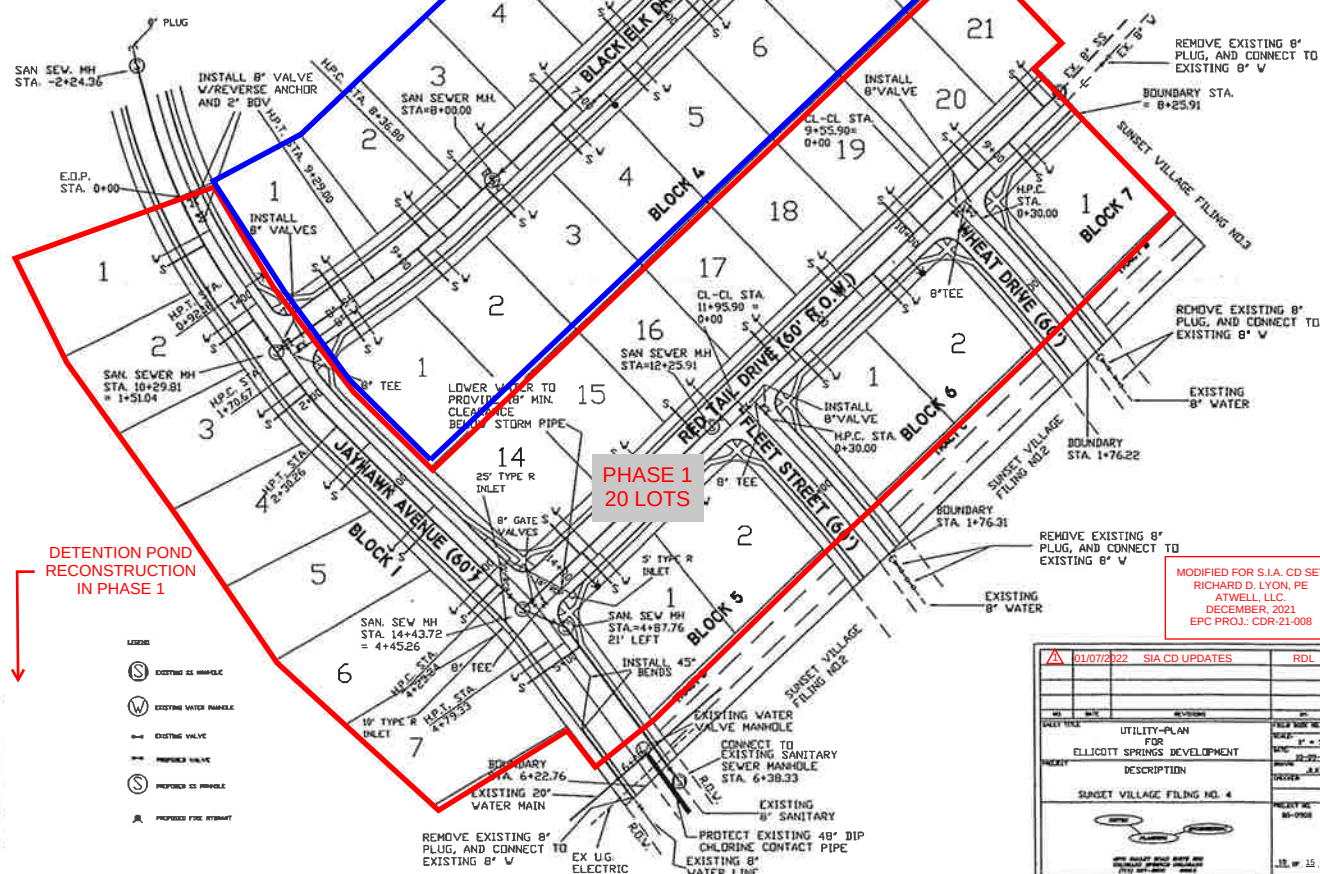
ALL FIRE HYDRANTS AND FUTURE SERVICE STUBS HAVE BEEN LOCATED BY THE DEVELOPER OR HIS ENGINEER. ANY REQUIRED REALIGNMENT, EITHER HORIZONTAL OR VERTICAL, SHALL BE AT THE EXPENSE OF THE DEVELOPER. ALSO, ANY STUBS AND APPURTENANCES NOT USED AS PROPOSED SHALL BE REMOVED AND REPLACED WITH AN ACCEPTABLE SECTION OF PIPE AT THE EXPENSE OF THE DEVELOPER. THE CONTRACTOR IS REQUIRED TO NOTIFY CHEROKEE METROPOLITAN GOVERNMENT CITY ENGINEERING DEPARTMENT PRIOR TO ANY TAP OR CUT FOR CONSTRUCTION. IF THIS PROJECT INVOLVES A TAP, DO NOT CALL TO SCHEDULE THE TAP UNTIL THE ENGINEERING INSPECTION NOTIFICATION HAS BEEN MADE.

NOTES

1. ALL DIMENSIONS ARE TO FACE OF CURB.
2. ALL SPOT ELEVATIONS ARE FACE OF CURB AT FLOWLINE.
3. ALL BENDS SHALL BE FIELD STAKED PRIOR TO CONSTRUCTION.
4. FIRE HYDRANT ASSEMBLY SHALL INCLUDE LATERAL PIPING, GATE VALVE, CONCRETE THRUST REACTION BLOCK AND ANY REQUIRED FITTINGS.
5. MAINTAIN TEN (10) FOOT MINIMUM HORIZONTAL DISTANCE BETWEEN WATER MAIN AND SANITARY SEWER MAIN.

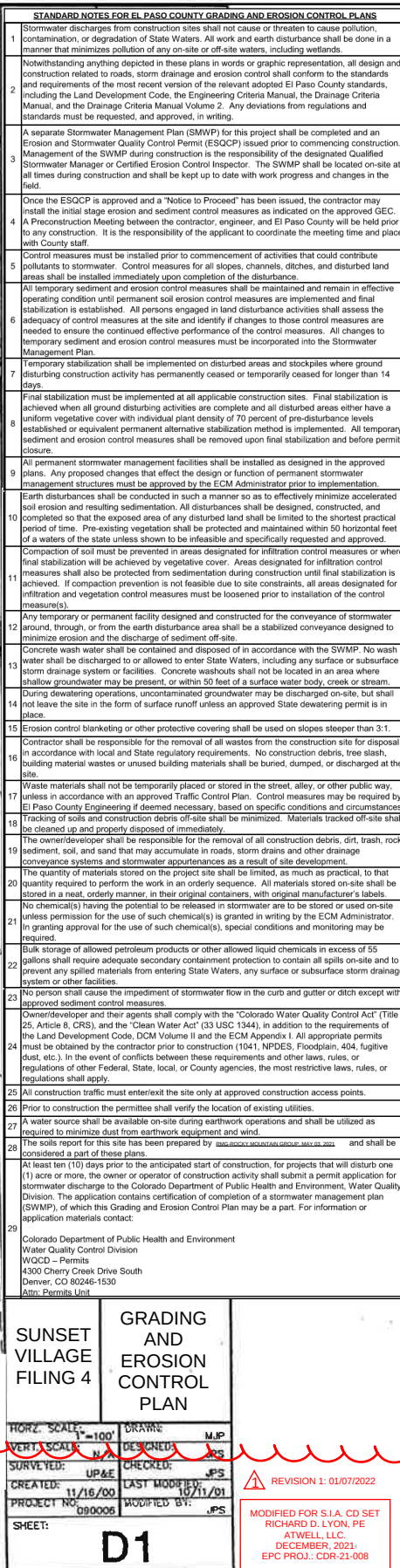
- GAS AND OTHER UTILITY LINES SHOWN ON CONSTRUCTION PLANS
- UTILITIES UNDERGROUND LOCATING-CALL AT LEAST TWO (2)
- BUSINESS DAYS AHEAD 1-800-922-1987.
- UTILITIES MARKED AND LOCATED ON THE GROUND
- EMPLOYEES BRIEFED ON MARKING AND COLOR CODES
- EMPLOYEES TRAINED ON EXCAVATION AND SAFETY PROCEDURES FOR NATURAL GAS LINES
- WHEN EXCAVATION APPROACHES GAS LINES, EMPLOYEES MUST EXPOSE LINES BY CAREFUL PROBING AND HAND DIGGING

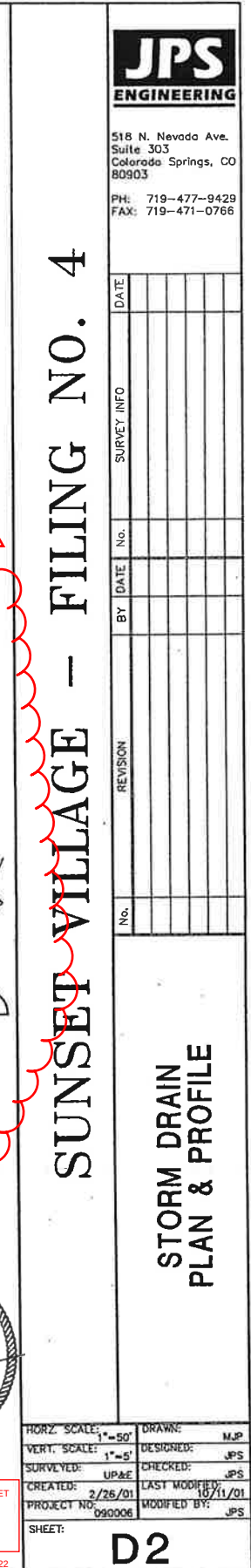
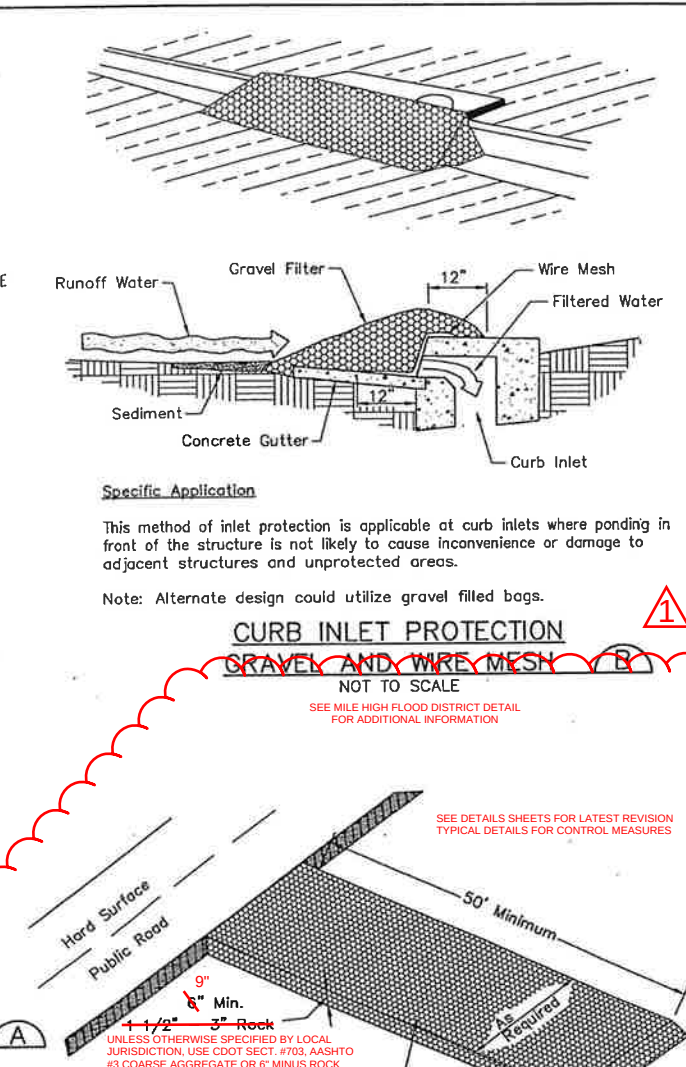
CHEROKEE METROPOLITAN DISTRICT



MODIFIED FOR S.I.A. CD SE
RICHARD D. LYON, PE
ATWELL, LLC.
DECEMBER, 2021
EPC PROJ: CDR-21-008

	01/07/2022	SIA CD UPDATES	RDL
NO	DATE	DESCRIPTION	BY
GUEST TITLE UTILITY-PLAN FOR ELICOTT SPRINGS DEVELOPMENT PROJECT DESCRIPTION SUNSET VILLAGE FILING NO. 4			FIELD NO. DATE TIME DRAWN CHECKED PROJECT NO. REVISIONS
			DRAWN BY DATE TIME





5800

5795

5790

5785

5780

5775

7+00

8+00

9+00

10+00

11+00

12+00

13+00

STATION 9+67.00
STORM OUTFALL
36" RCP FES
INV. OUT=5784.00

EXIST. GRADE
@ PIPE C

10' TYPE R INLET B2
FL=5788.53
INV. IN=5784.49
INV. OUT=5784.39

25' TYPE R INLET B7
FL=5788.50
INV. IN=5784.76
INV. OUT=5784.66

15' TYPE R INLET B8
FL=5788.30
INV. IN=5784.96
INV. OUT=5784.96

60 LF 30" RCP
@ 0.28%

64 LF 18" RCP
@ 0.31%

202 LF 36" RCP @ 0.19%

HGL

DETENTION POND

18" MIN. CLEAR

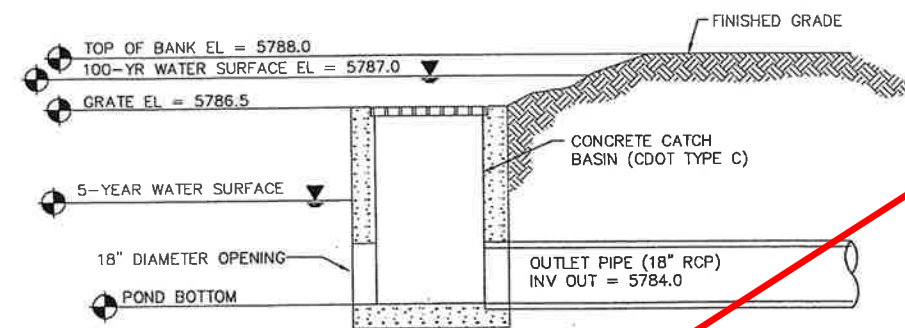
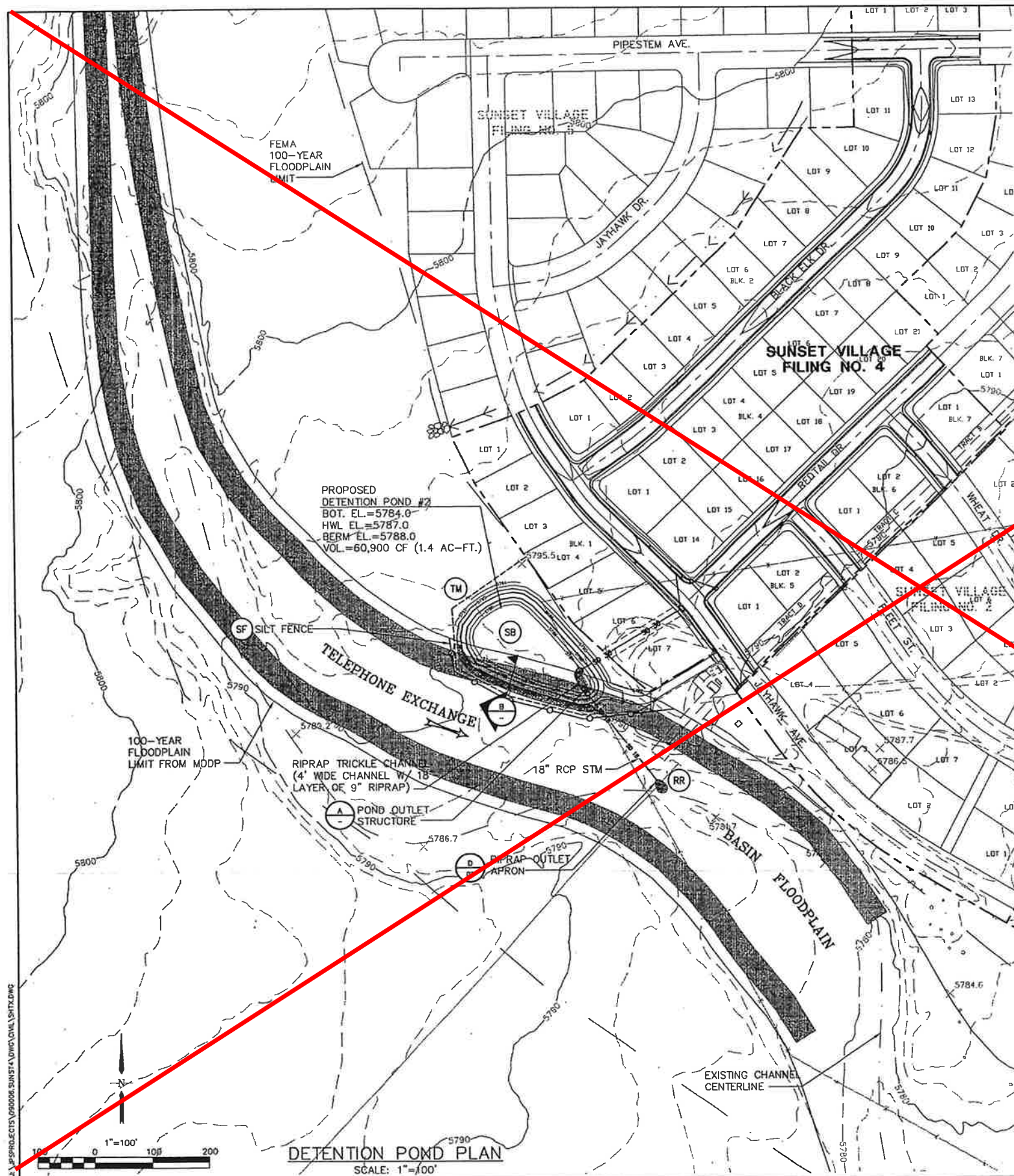
18" MIN. CLEAR

8" SS CROSSING

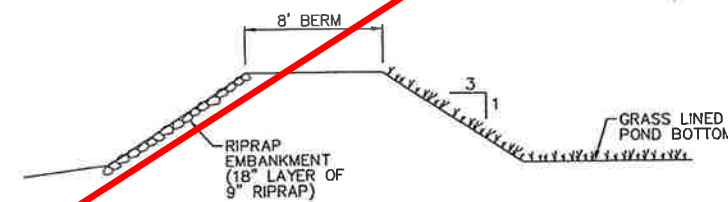
8" WT CROSSING

8" SS CROSSING

NOTE: WATER LINES SHALL BE LOWERED AS REQUIRED TO PROVIDE MINIMUM 18" CLEARANCE BELOW STORM SEWER



DETENTION POND OUTLET STRUCTURE (A)
NOT TO SCALE



TYPICAL POND WALL SECTION (B)
NOT TO SCALE

LEGEND



SILT FENCE



STRAW BALES



RIPRAP



EXISTING CONTOURS



PROPOSED CONTOURS

INLET PROTECTION
(GRAVEL FILTER)

SILT FENCE



VEHICLE TRACKING PAD



TEMPORARY SEED AND MULCH ON DISTURBED SLOPES



STRAW BALE BARRIER

MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC.
DECEMBER, 2021
EPC PROJ.: CDR-21-008

1 REVISION 1: 01/07/2022

SUNSET VILLAGE - FILING NO. 4

**DETENTION POND
PLAN & DETAILS**



518 N. Nevada Ave.
Suite 303
Colorado Springs, CO
80903

PH: 719-477-9429
FAX: 719-471-0766

[illegible]

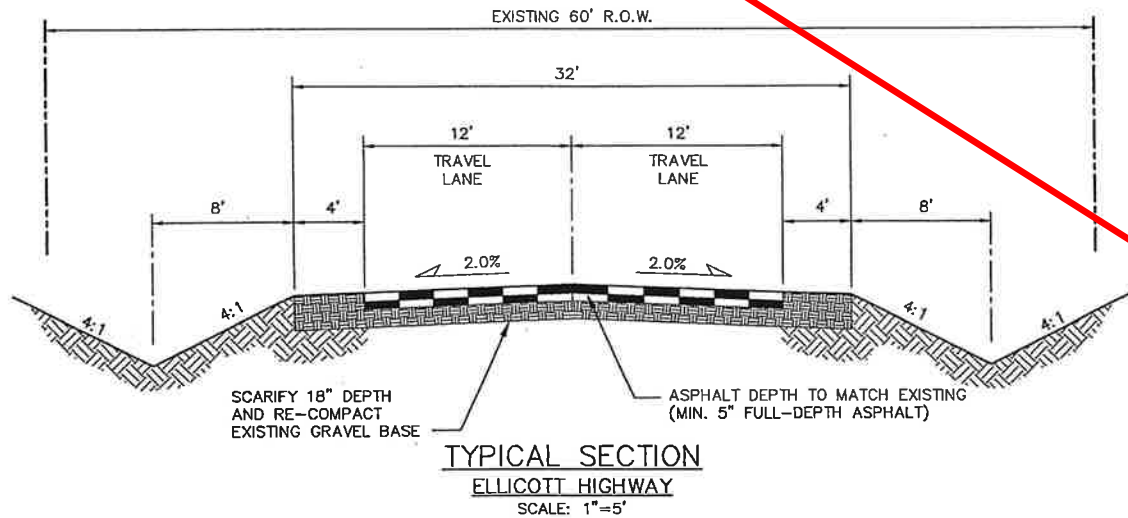
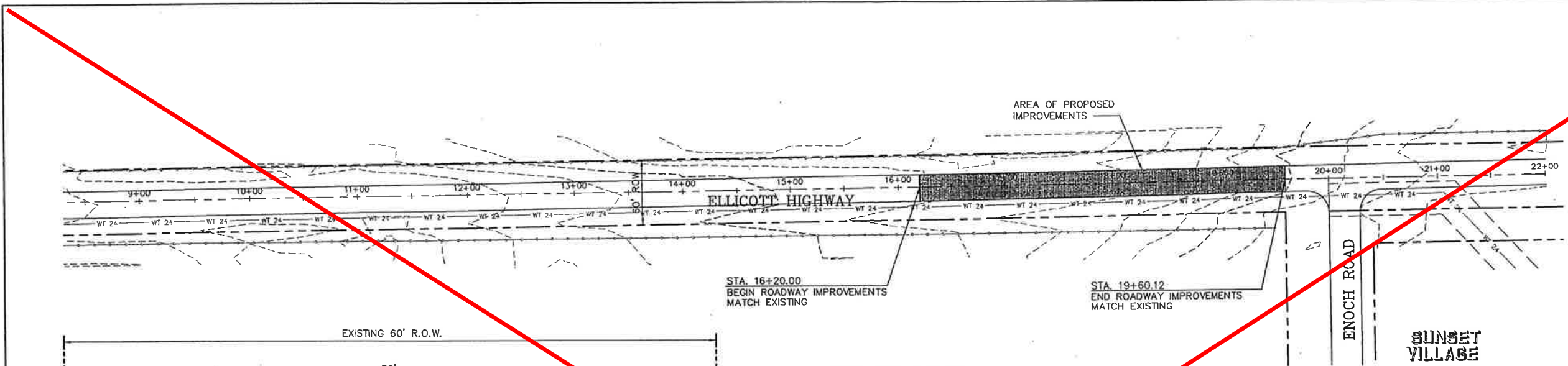
HORIZ. SCALE:	1"=100'	DRAWN:	MJP
VERT. SCALE:	N/A	DESIGNED:	
SURVEYED:	2/26	CHECKED:	JPS
CREATED:	8/29/01	LAST MODIFIED:	10/11/05
PROJECT NO.	090006	MODIFIED BY:	JPS

D3

THIS SHEET IS NOT WITHIN SCOPE OF WORK FOR SUNSET VILLAGE FIL. 4
SUBDIVISION IMPROVEMENT AGREEMENT

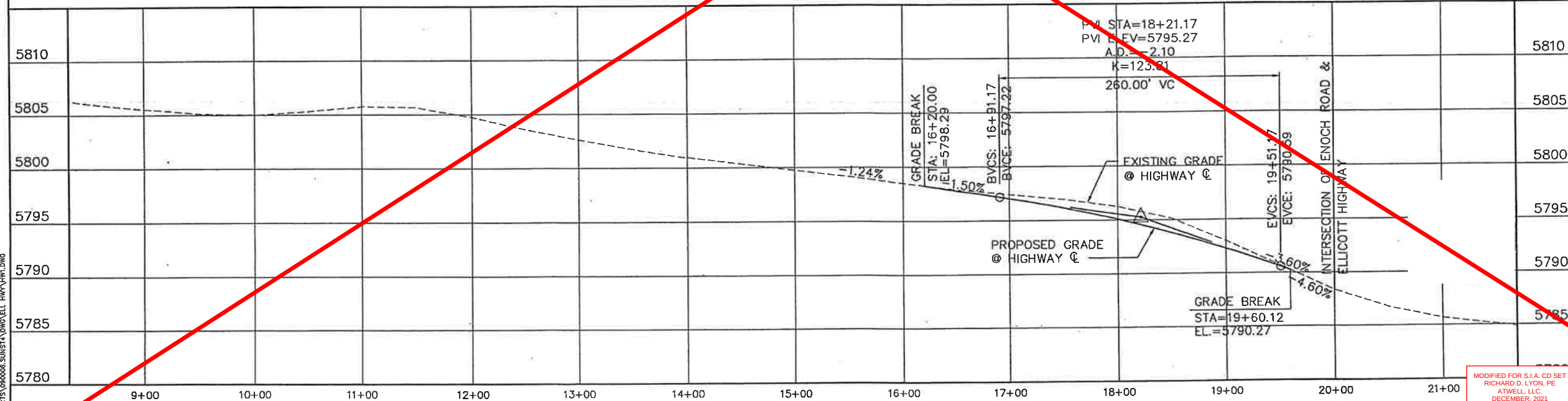
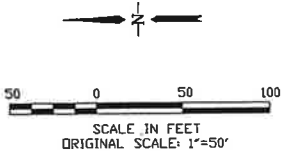


518 N. Nevada Ave.
Suite 303
Colorado Springs, CO
80903
PH: 719-477-9429
FAX: 719-471-0766



GENERAL NOTES

1. CONFORM TO EL PASO COUNTY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
2. THE CONTRACTOR SHALL CONTACT ALL UTILITIES FOR LOCATIONS TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AS A RESULT OF HIS ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF THE UTILITY.
4. CONTRACTOR SHALL SUBMIT DETAILED TRAFFIC CONTROL PLANS AND OBTAIN PERMITS AS REQUIRED BY EL PASO COUNTY.
5. PROVIDE REQUIRED SIGNING AND TRAFFIC CONTROL DEVICES MEETING MUTCD, CDOT, AND EL PASO COUNTY STANDARDS.
6. CONTRACTOR SHALL FIELD VERIFY GRADES TO ENSURE POSITIVE DRAINAGE TRANSITION TO ADJACENT PAVEMENT.
7. REMOVE & DISPOSE OF EXISTING ASPHALT WITHIN LIMITS OF PROPOSED WORK.
8. ROADSIDE DITCHES SHALL BE RESTORED TO THE ORIGINAL CONDITION. DITCH RESTORATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
9. NEW PAVEMENT ON ELLICOTT HIGHWAY SHALL BE TAPERED INTO EXISTING PAVEMENT WITH FINE MIX ASPHALT.
10. CONTRACTOR SHALL TAKE CORE SAMPLES ON AN UNDISTURBED SECTION OF ELLICOTT HIGHWAY TO DETERMINE EXISTING ASPHALT AND GRAVEL BASE THICKNESS.



ELLICOTT HIGHWAY

HIGHWAY
IMPROVEMENT PLAN

PROJECT SCALE: 1"=50'	DRAWN: MJP
VERT. SCALE: 1"=5'	DESIGNED: MJP
SURVEYED: JPS	CHECKED: JPS
CREATED: 7/10/01	LAST MODIFIED: 8/21/01
PROJECT NO: 090006	MODIFIED BY: MJP
SHEET: HW1	

MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008

REVISION 1: 01/07/2022

PROJECT DESCRIPTION
STRIPING AND SIGNAGE MODIFICATIONS WITHIN SUNSET VILLAGE FILING NO. 4.

GENERAL NOTES
1. THE CONTRACTOR SHALL HAVE A COPY OF ALL APPLICABLE STANDARDS ON SITE FO TEH DURATION OF THE PROJECT.
2. THE CONTRACTOR SHALL ACQUIRE ALL NECESSARY PERMITS AND INSPECTIONS REQUIRED TO COMPLETE THE SCOPE OF WORK PRESENTED HEREIN.

TRAFFIC CONTROL
1. ALL SIGNAGE AND STRIPING SHALL FOLLOW THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", MUTCD, CURRENT EDITION, AND ALL APPLICABLE CDOT M&S STANDARDS.
2. THE CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN TEMPORARY TRAFFIC CONTROL DEVICES NECESSARY THROUGHOUT THE DURATION OF CONSTRUCTION IN CONFORMANCE WITH TRAFFIC CONTROL PLANS AND/OR APPROVED MHT.
3. THE TRAFFIC CONTROL SUPERVISOR SHALL COORDINATE CONSTRUCTION ZONE TRAFFIC CONTROL ACTIVITIES WITH ALL APPROPRIATE OFFICIALS.
4. THE CONTRACTOR SHALL MAINTAIN FULL COMPLIANCE PAVEMENT MARKINGS OR APPROVED DECIVES ON THE ROADWAYS DURING ALL PHASES OF THE CONSTRUCTION PERIOD.

EL PASO COUNTY SIGNING AND STRIPING NOTES:
1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.

3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.

4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.

5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.

6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.

7. ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS"

8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.

9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.

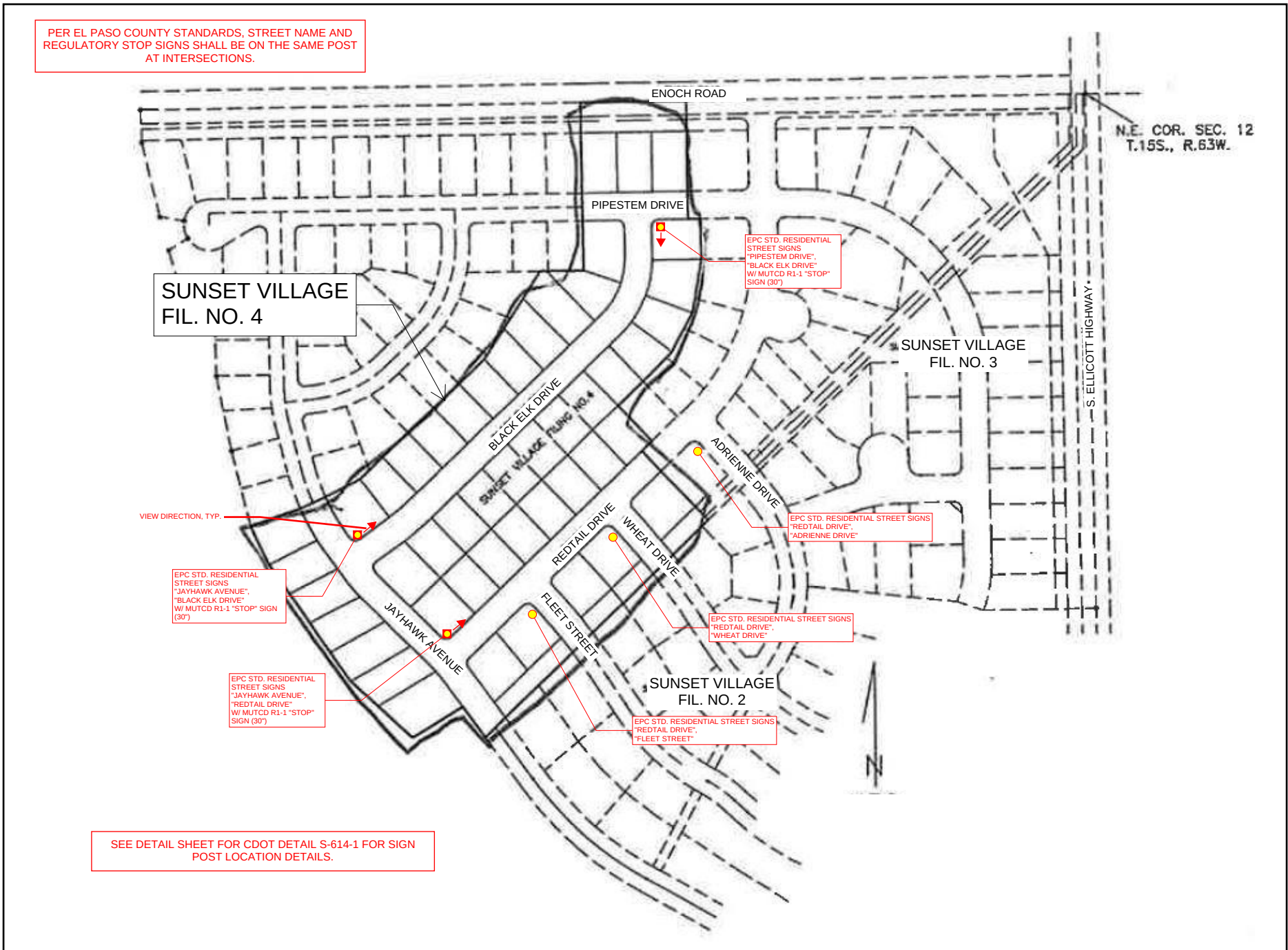
10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.

11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.

12. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.

13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.

14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

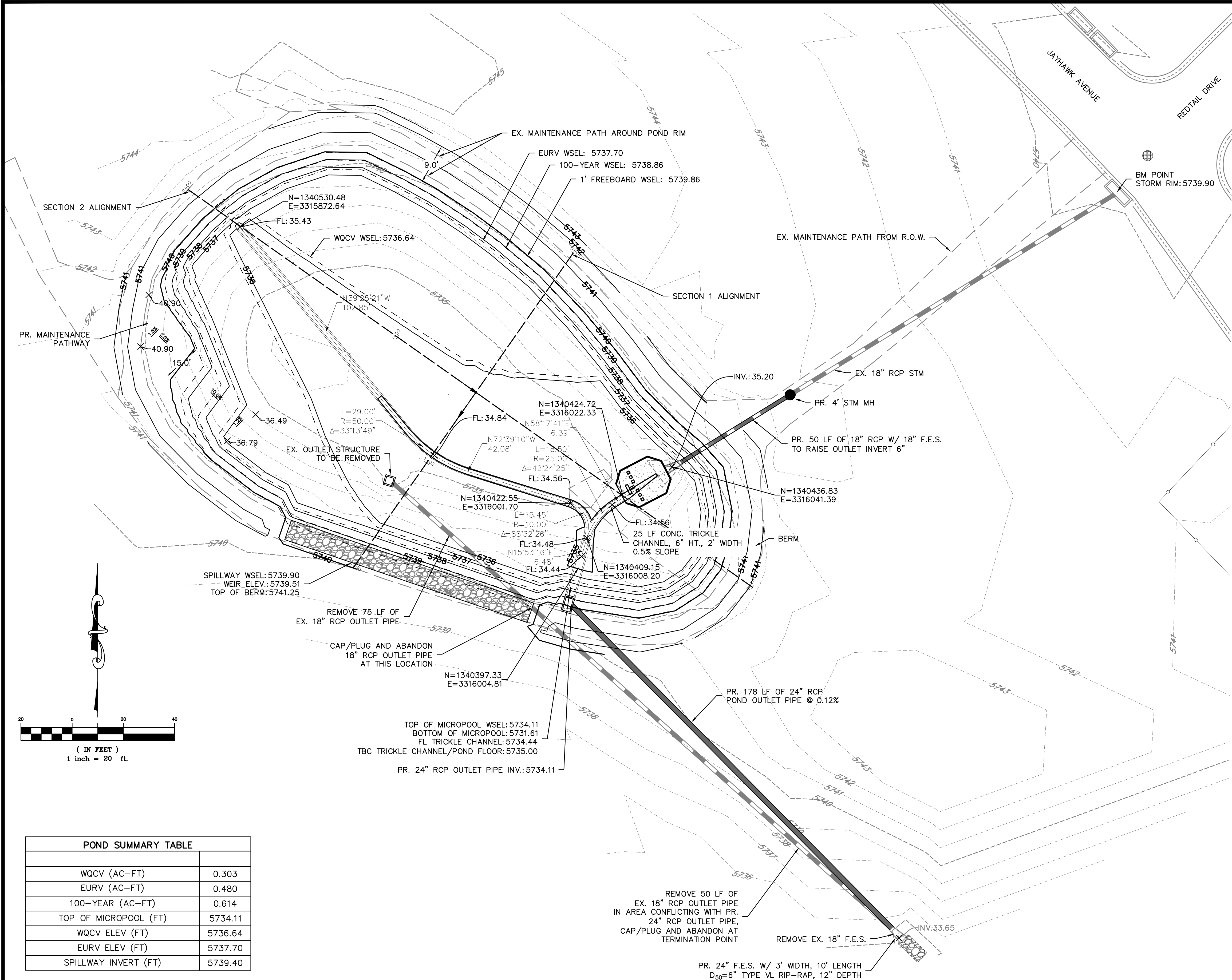


MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008

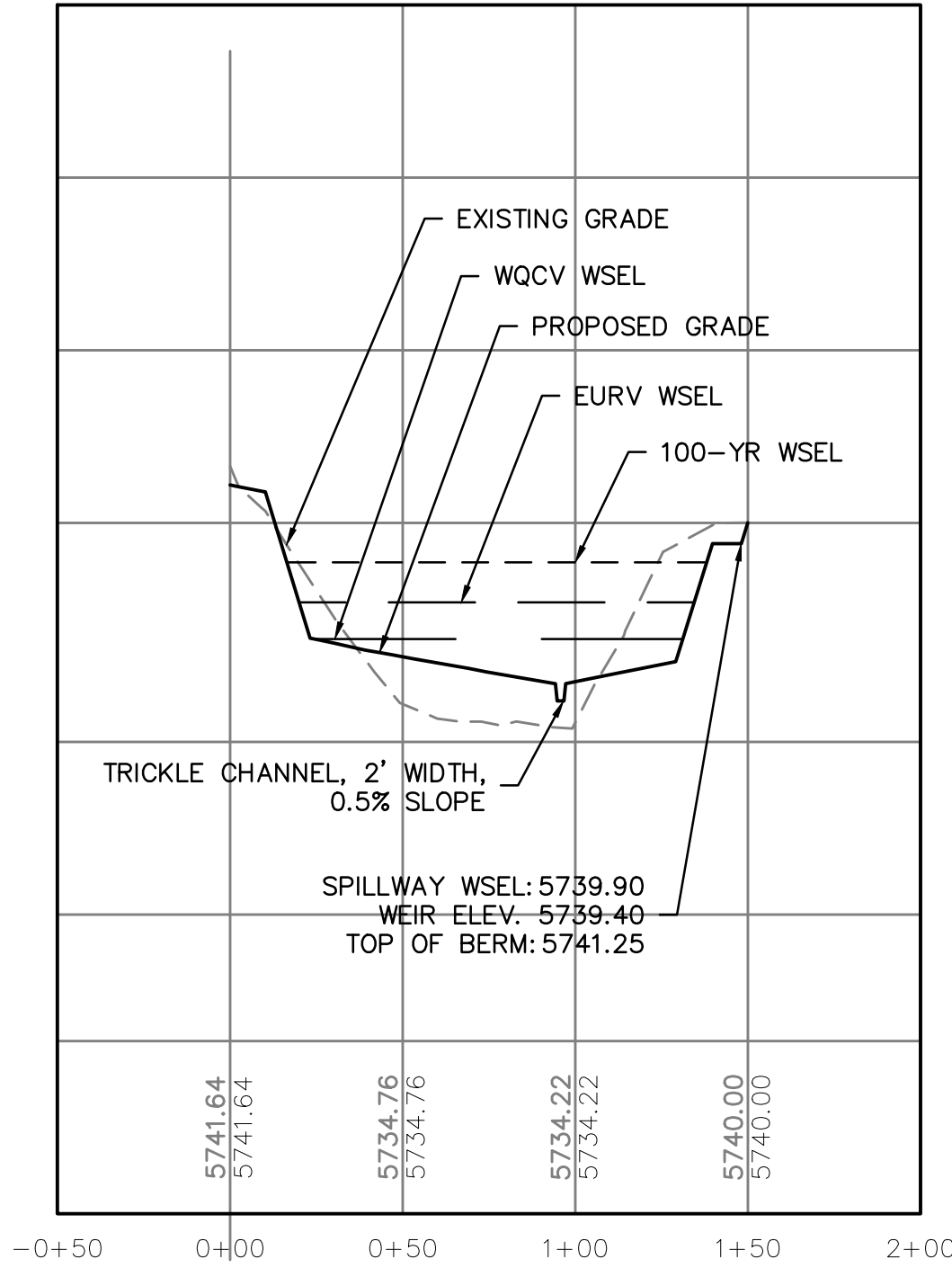
REVISION 1: 01/07/2022



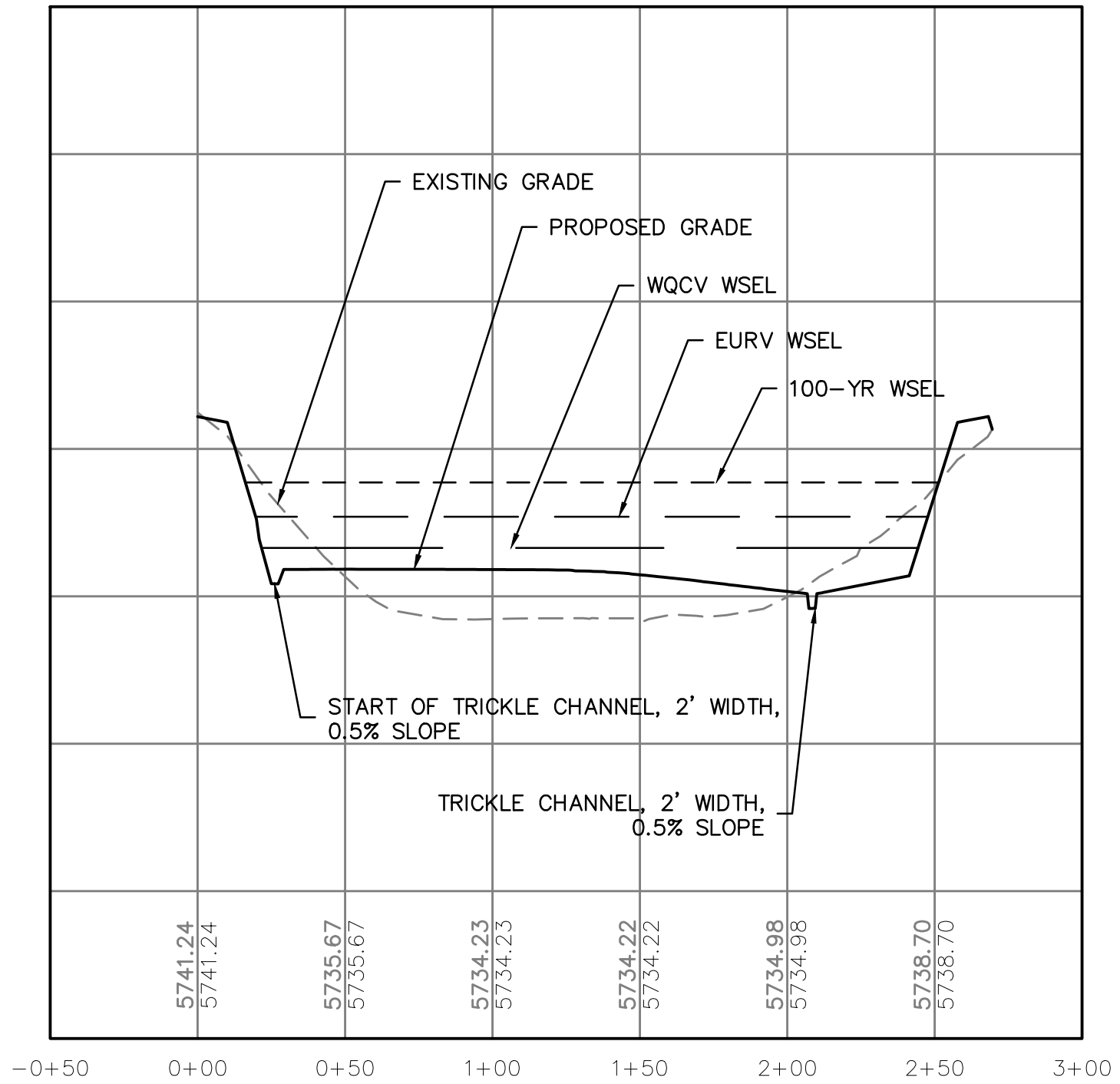
SUBDIVISION: SUNSET VILLAGE FIL. NO. 4
SHEET: 15
STRIPING AND SIGNAGE PLAN
EPC PLAN NO. CDR-21-008



POND A - SECTION 1
N.T.S.



POND A - SECTION 2
N.T.S.



POND SUMMARY TABLE	
WQCV (AC-FT)	0.303
EURV (AC-FT)	0.480
100-YEAR (AC-FT)	0.614
TOP OF MICROPOOL (FT)	5734.11
WQCV ELEV (FT)	5736.64
EURV ELEV (FT)	5737.70
SPILLWAY INVERT (FT)	5739.40

NOTE:

1. THE DEVELOPER SHALL HAVE A LICENSED PROFESSIONAL ENGINEER CERTIFY EACH STORMWATER DETENTION POND AND/OR WATER QUALITY BMP IS BUILT ACCORDING TO THE APPROVED PLANS AND SPECIFICATIONS AND THE REQUIRED DETENTION VOLUME, INCLUDING THE WQCV WHEN USED, IS MET. THE CERTIFICATION SHALL ALSO VERIFY ALL PERTINENT DIMENSIONS, ELEVATIONS, REQUIRED OUTLET ORIFICE PLATES FOR DETENTION AND WQCV AND OTHER PERMANENT BMPS REQUIREMENTS ARE INSTALLED PER THE APPROVED PLANS AND SPECIFICATIONS, AND SHALL SHOW THE AS-BUILT DESIGN VOLUMES (WQCV, 10-YEAR, 100-YEAR, EURV) AND OTHER PERTINENT DIMENSIONS, ELEVATIONS AND CAPACITY REQUIREMENTS ASSOCIATED WITH THE WQ BMP USED. THE CERTIFICATION SHALL BE PROVIDED TO EL PASO COUNTY ENGINEERING. AN APPROVED POND CERTIFICATE SHALL BE REQUIRED PRIOR TO THE RETURN OF ANY FISCAL SECURITY DEPOSIT (AS WELL AS SATISFYING OTHER CONDITIONS OF THE STORMWATER PERMIT) FOR SITES THAT DO NOT REQUIRE A CERTIFICATE OF OCCUPANCY. EXAMPLES OF THESE SITES INCLUDE BUT ARE NOT LIMITED TO: SITES WITHOUT VERTICAL CONSTRUCTION, OIL AND GAS WELL PADS, OUTDOOR STORAGE, AND TOW YARDS. AN APPROVED POND CERTIFICATE SHALL BE REQUIRED PRIOR TO COMMENCEMENT OF BUSINESS OPERATIONS. IN NO CASE SHALL A CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY BE ISSUED WITHOUT AN APPROVED POND CERTIFICATE.



Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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LAKEWOOD, CO 80228
303.462.1100



PUNCHLIST CONNECTIONS LLC

300 WINDCHIME PLACE #301
COLORADO SPRINGS, COLORADO
80919

303.519.5100

SCOTT VAN WYHE

PUNCHLIST CONNECTIONS LLC

SUNSET VILLAGE FILING 4 - DRAINAGE
EL PASO COUNTY, COLORADO

CONSTRUCTION DRAWINGS

POND 2

CLIENT

SUNSET VILLAGE FILING 4 - DRAINAGE
EL PASO COUNTY, COLORADO

DATE

1/7/2022

REVISIONS



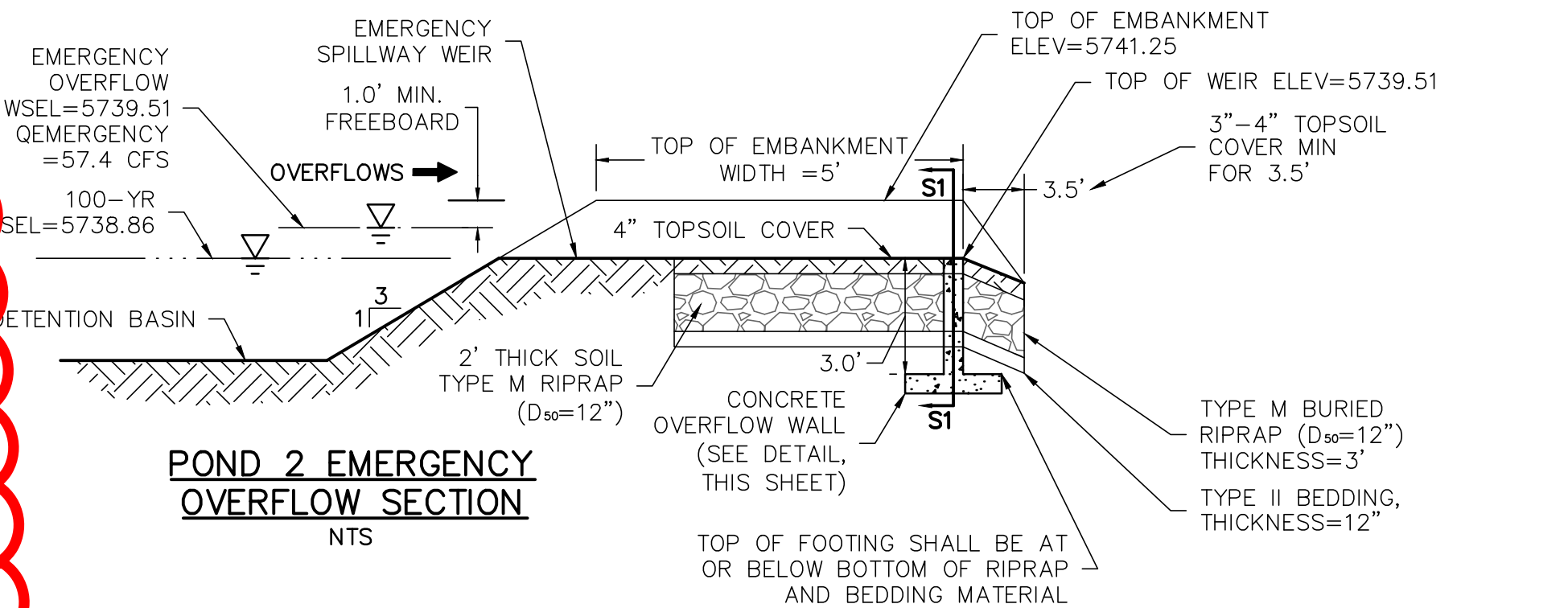
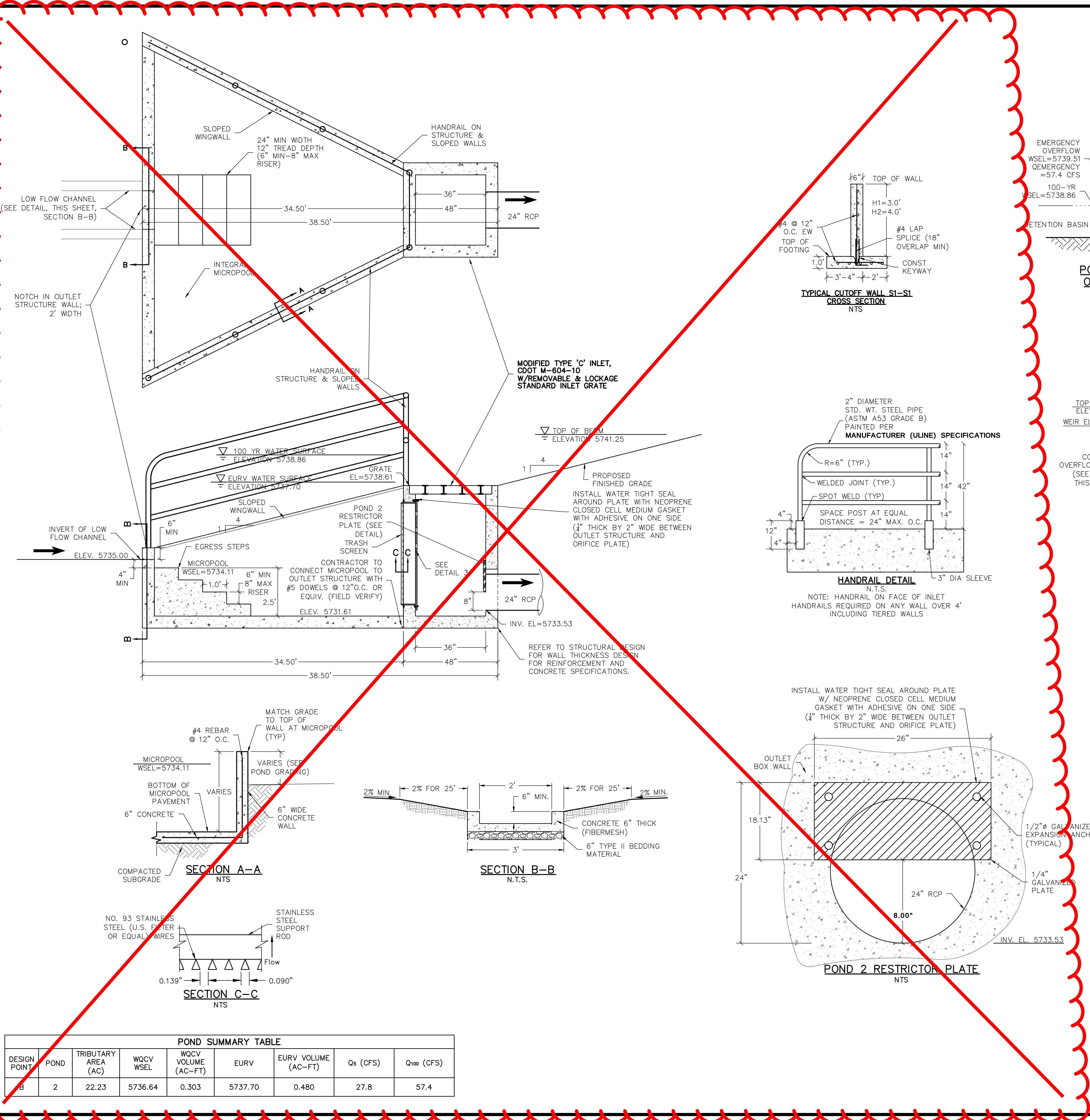
DR. RDL CH. RDL

P.M. RDL

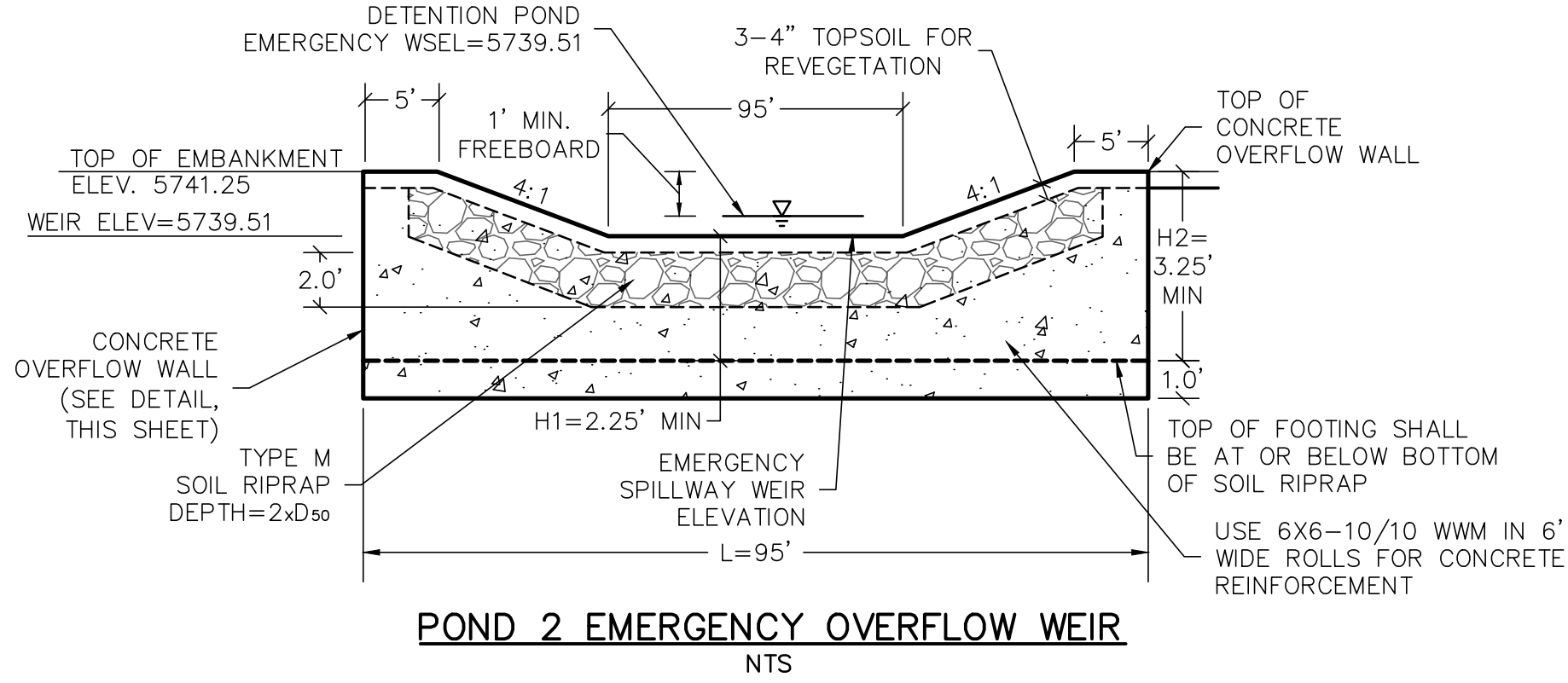
JOB # 21004166

SHEET NO.

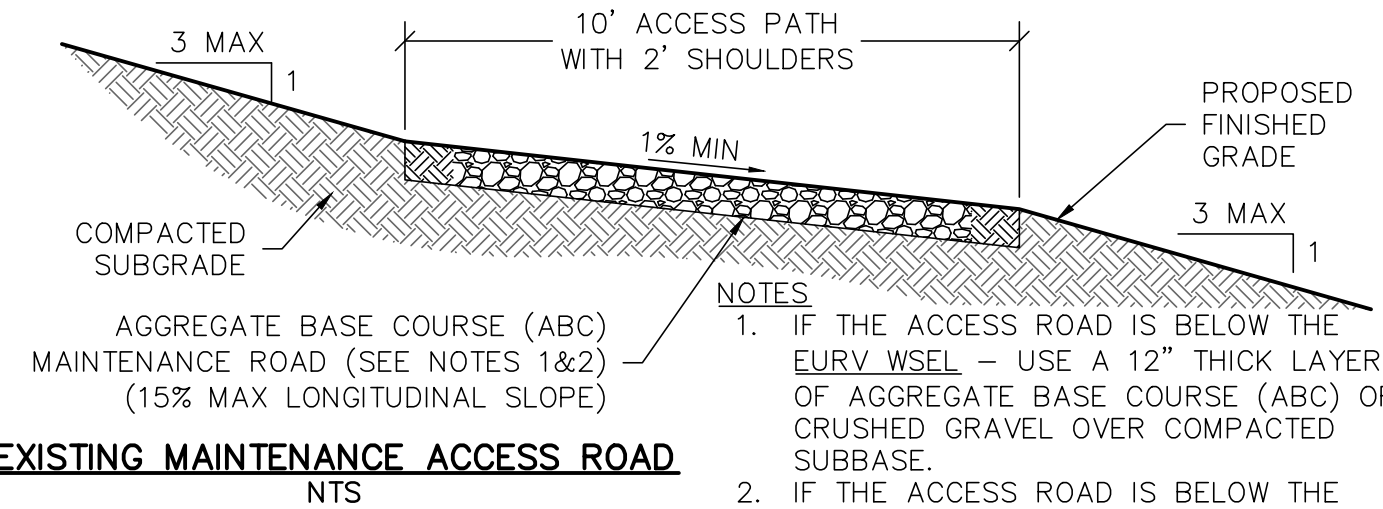
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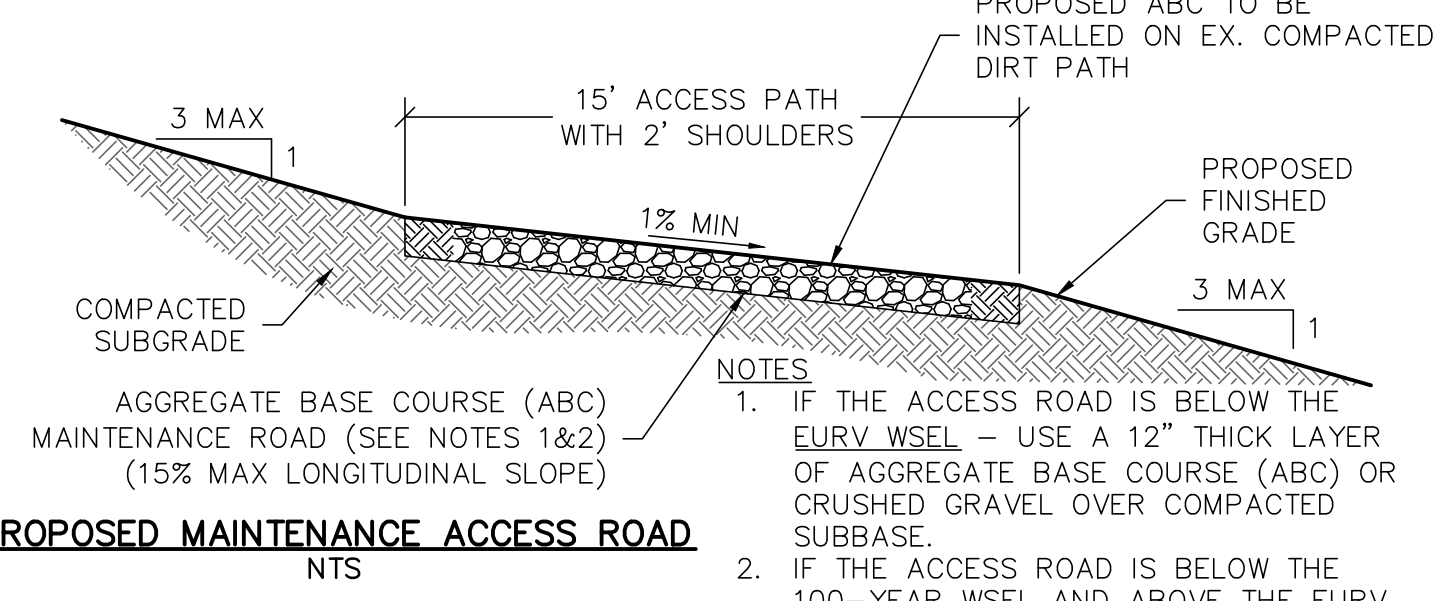
POND 2 EMERGENCY OVERFLOW SECTION
NTS



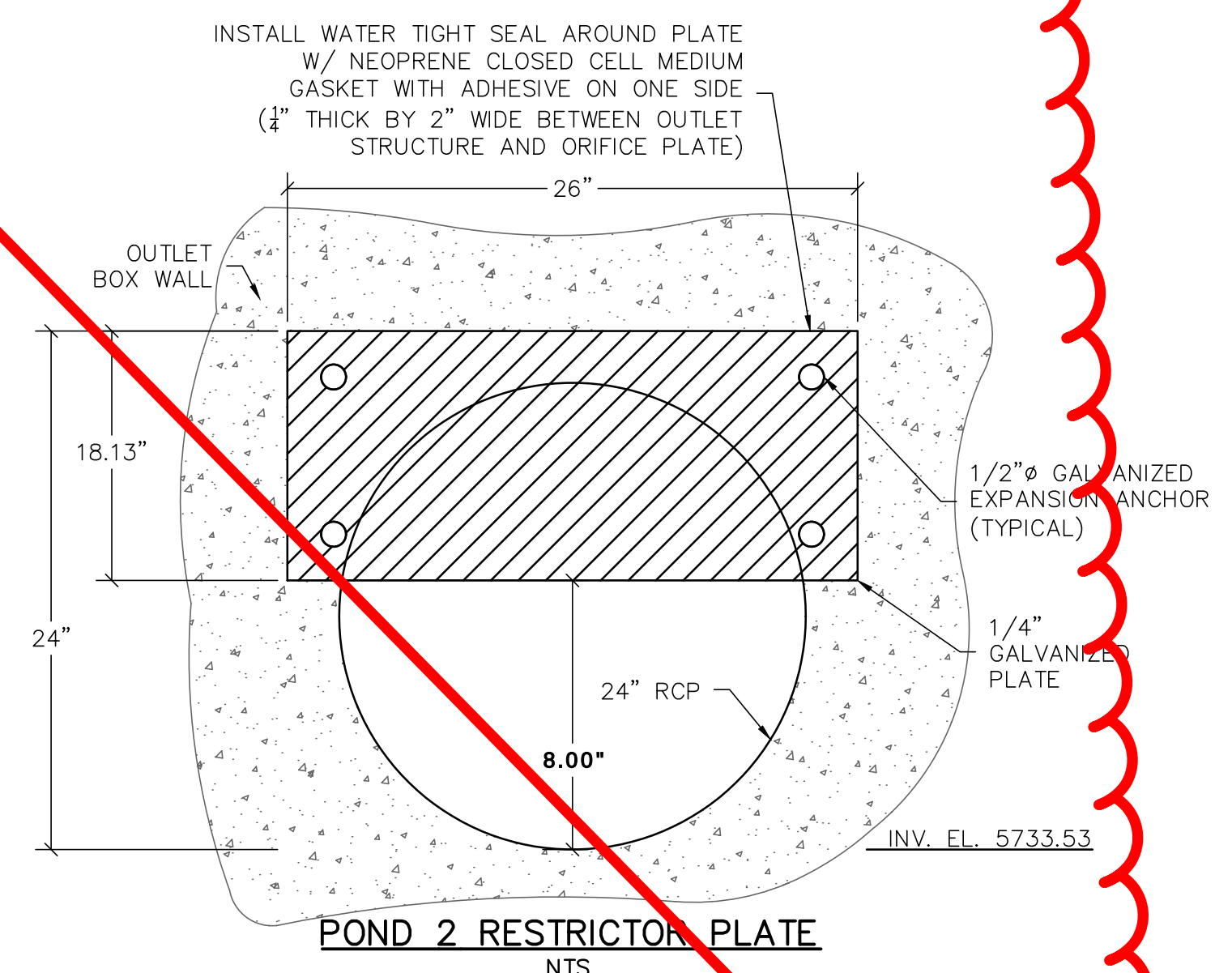
POND 2 EMERGENCY OVERFLOW WEIR
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EXISTING MAINTENANCE ACCESS ROAD
NTS



PROPOSED MAINTENANCE ACCESS ROAD
NTS



POND 2 RESTRICTOR PLATE
NTS

POND SUMMARY TABLE							
DESIGN POINT	POND	TRIBUTARY AREA (AC)	WQCV WSEL	WQCV VOLUME (AC-FT)	EURV	EURV VOLUME (AC-FT)	Qs (CFS)
B	2	22.23	5736.64	0.303	5737.70	0.480	27.8
							57.4

811

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LAKEWOOD, CO 80228
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300 WINDHOLM PLACE #301
COLORADO SPRINGS, COLORADO 80919

303.519.5100
SCOTT VAN WYHE

PUNCHLIST CONNECTIONS LLC

SUNSET VILLAGE FILING 4 - DRAINAGE
EL PASO COUNTY, COLORADO 80921

CONSTRUCTION DRAWINGS
POND 2

CLIENT

DATE 1/7/2022

REVISIONS

DR. RDL

CH. RDL

P.M. RDL

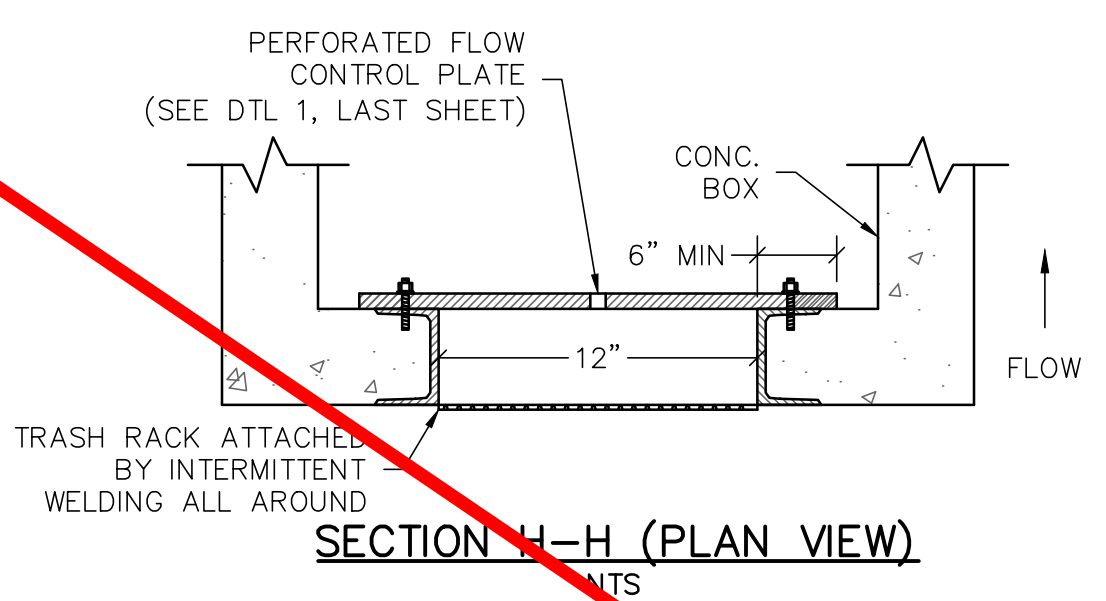
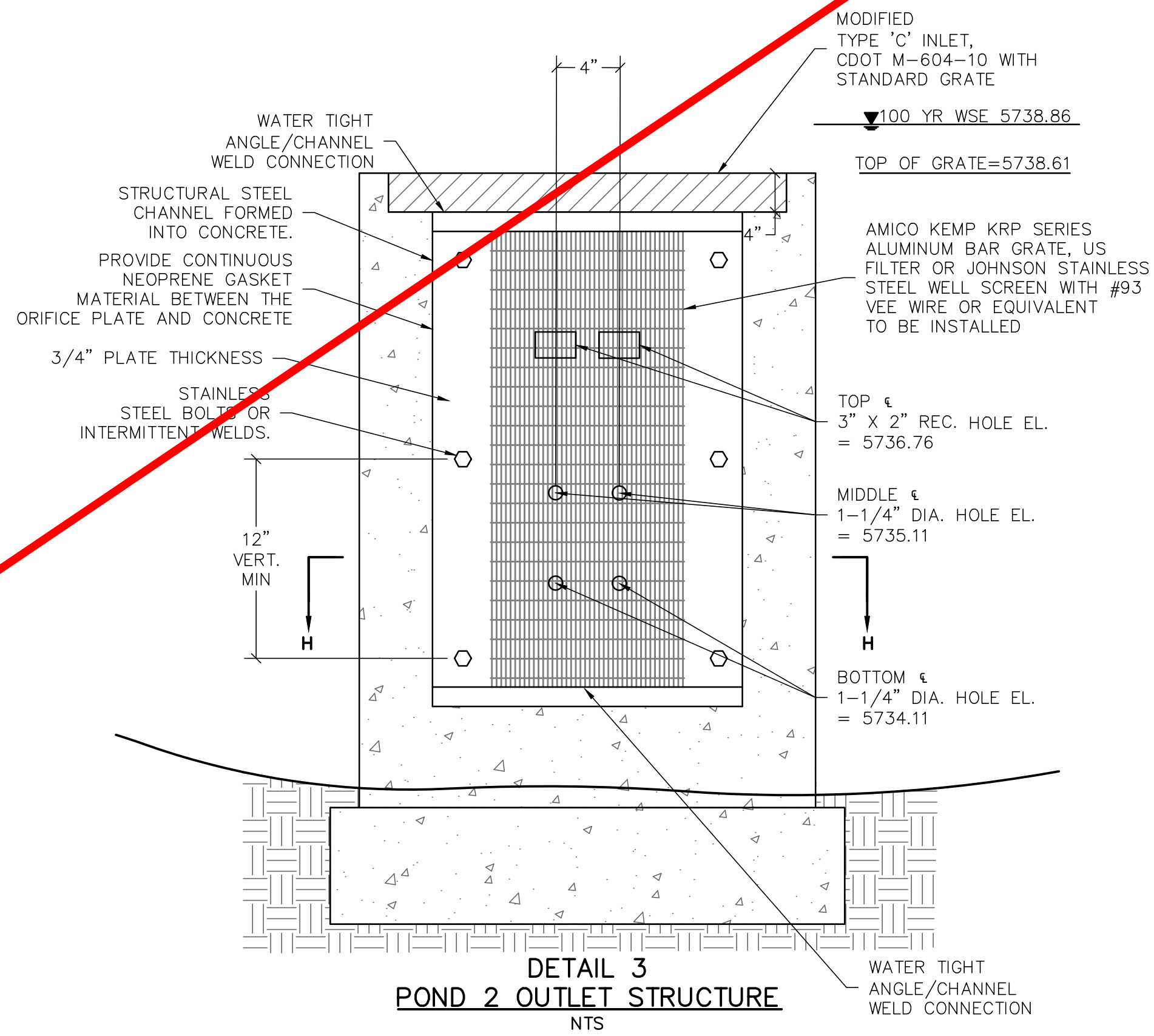
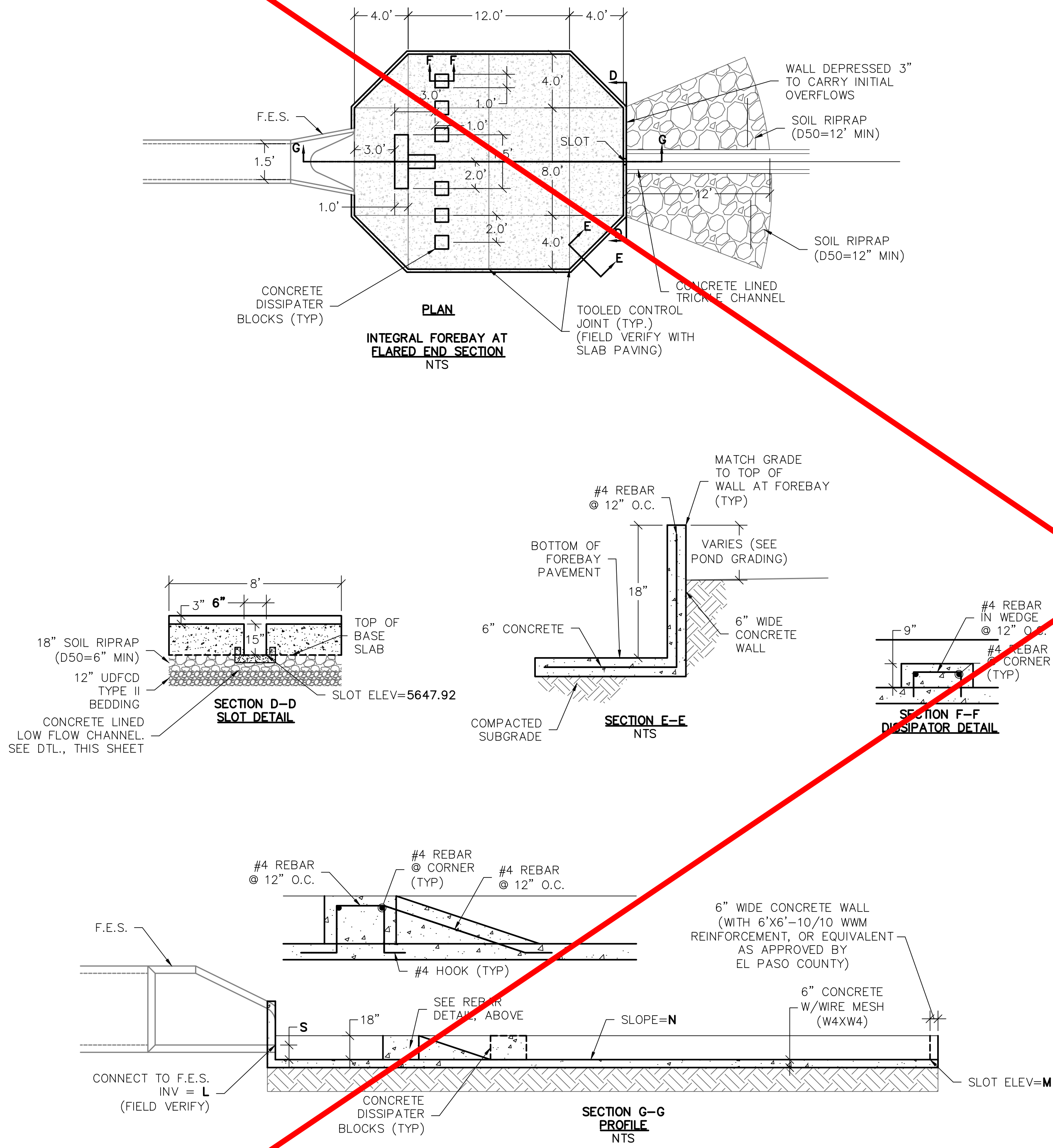
JOB 21004166

SHEET NO.

COLORADO LICENSED PROFESSIONAL ENGINEER

33921

CAD FILE: 21004166-POND DETAILS.DWG



FOREBAY SIZE TABLE						
FOREBAY NAME	PIPE SIZE	L	M	N	S	T
A1	18"	5648.22	5647.92	0.50%	2.5"	6"



Phone: 719.308.9146
www.elsoco.com
Hablamos Español



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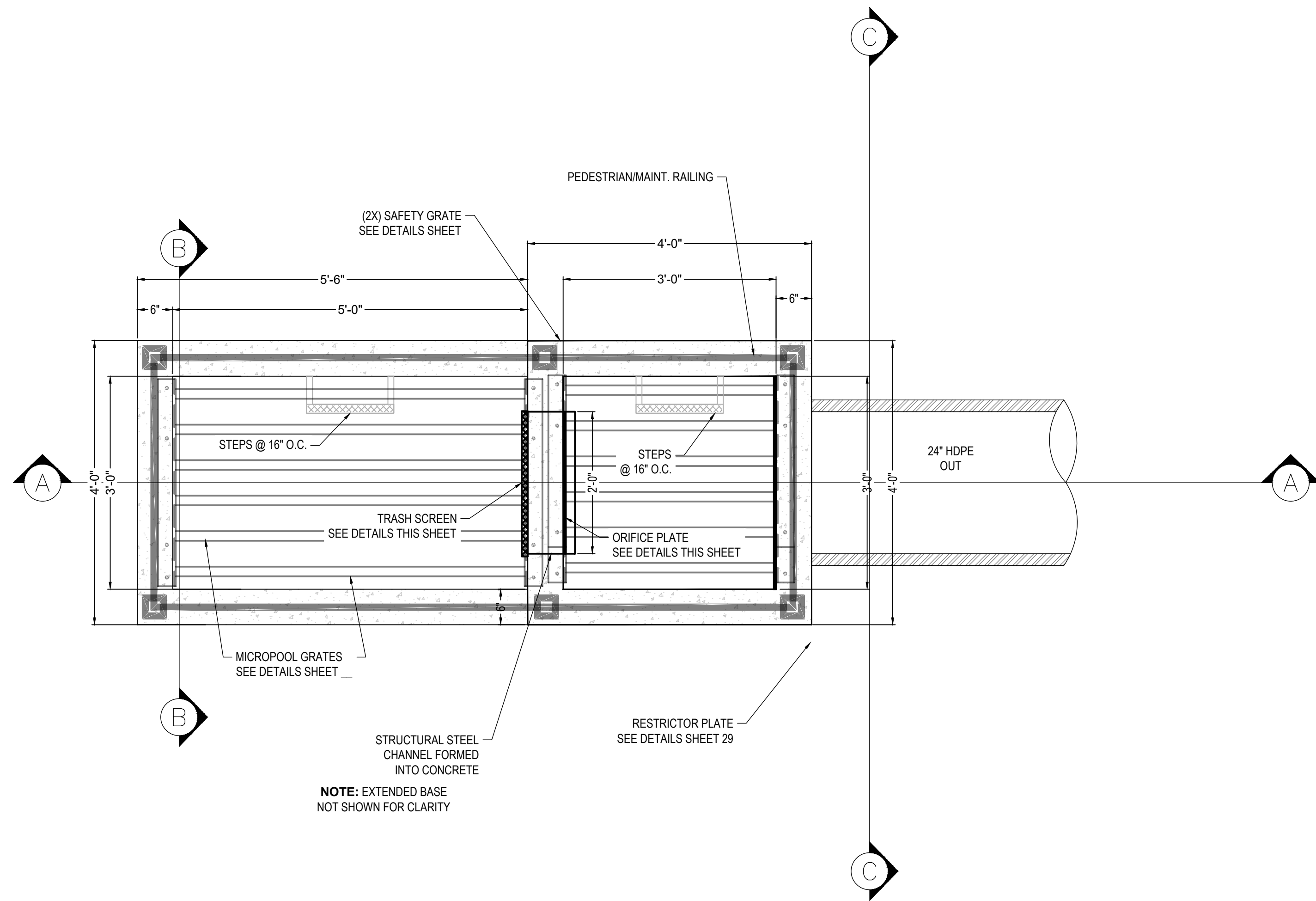
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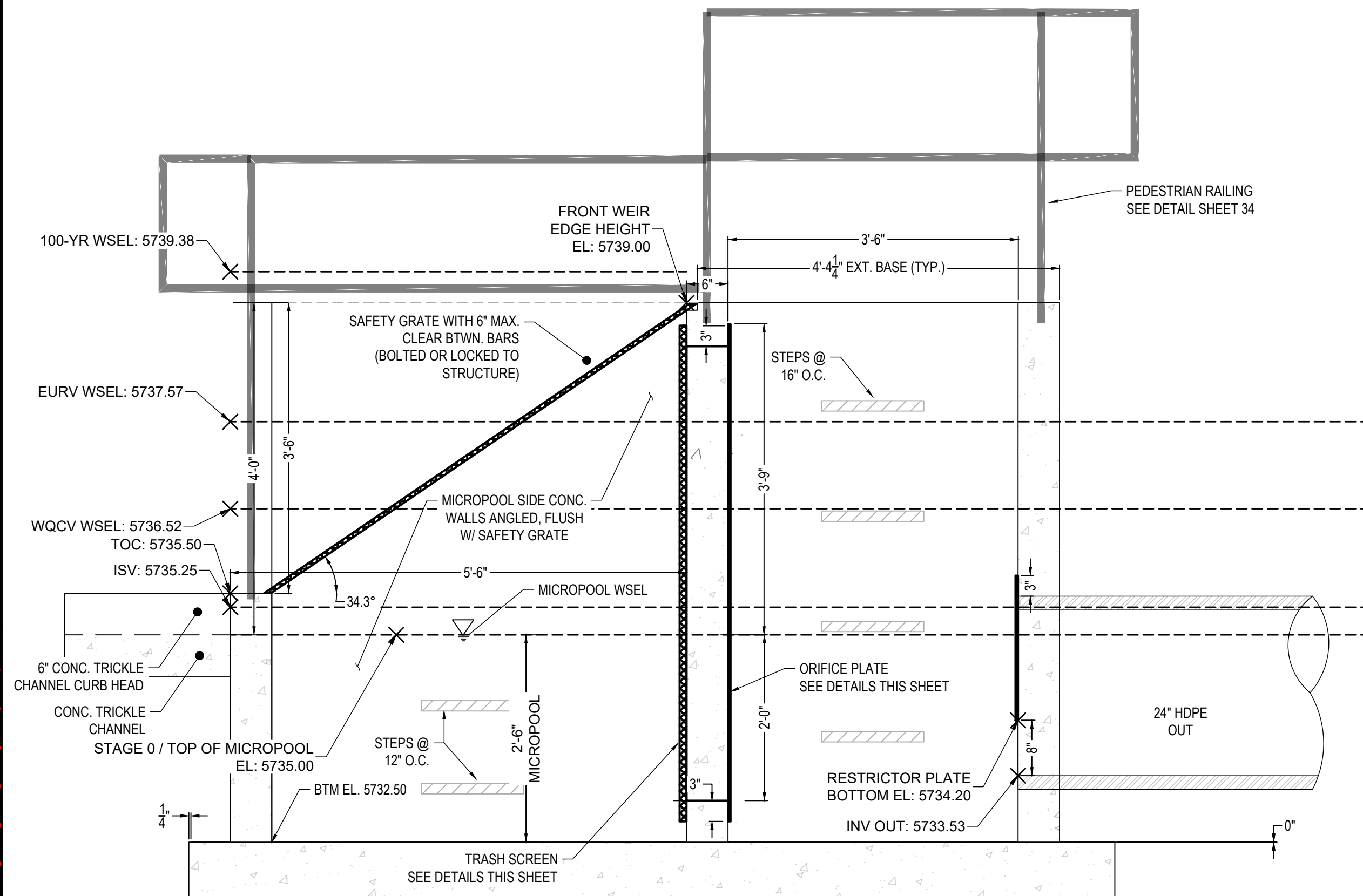
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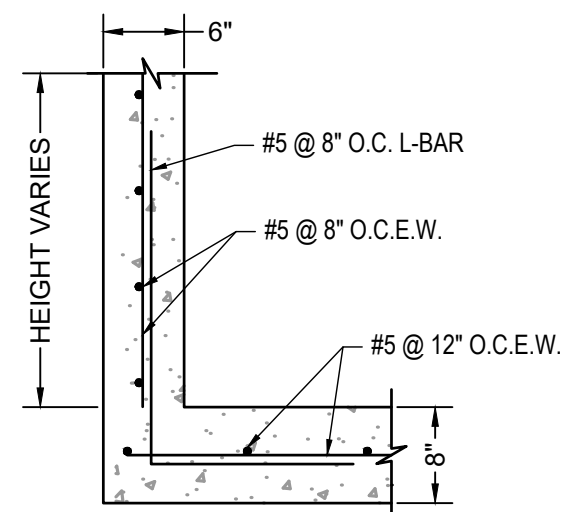
Phone: 719.308.9146
www.elxsoco.com
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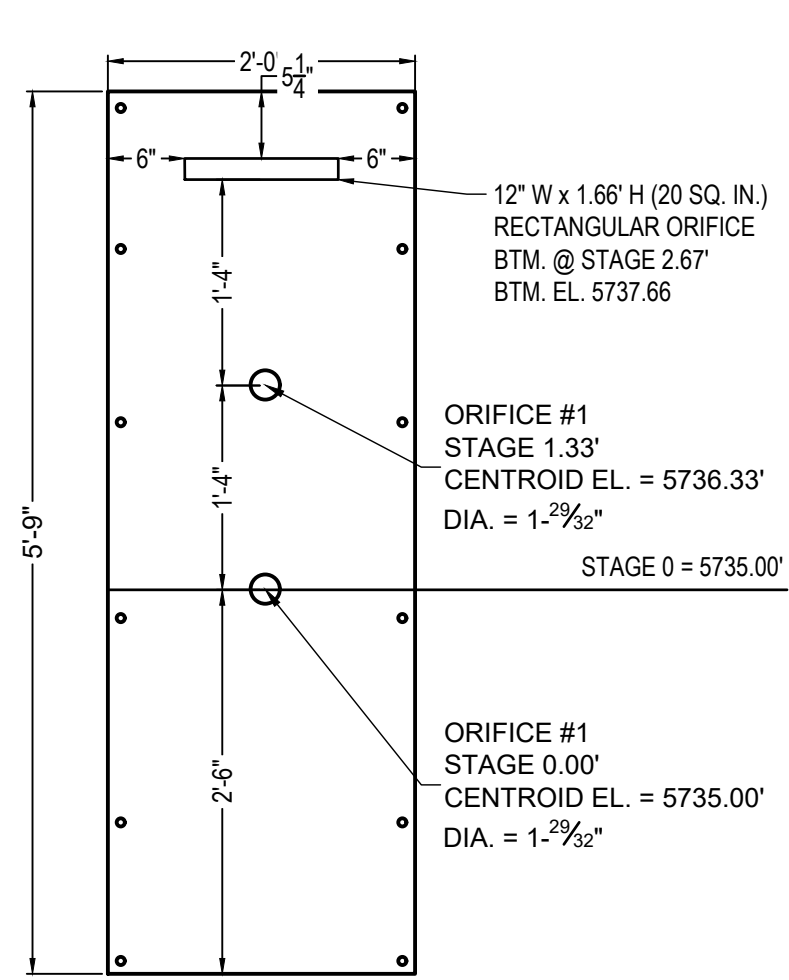
POND OUTLET STRUCTURE
(PLAN VIEW)
SCALE: 1" = 1-1/4'



POND OUTLET STRUCTURE
(ELEVATION VIEW, SECTION A-A)
SCALE: 1" = 1-1/4'



OUTLET STRUCTURE
REINFORCEMENT DETAIL
SCALE: NTS



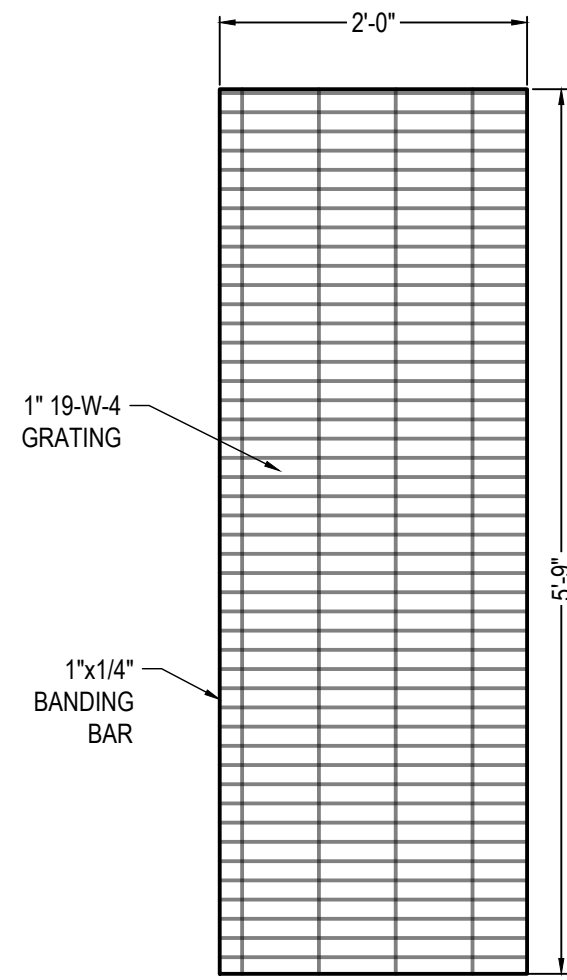
ORIFICE PLATE DETAIL
(ELEVATION VIEW)
SCALE: 1" = 1-1/4'

TRASH SCREEN NOTES:

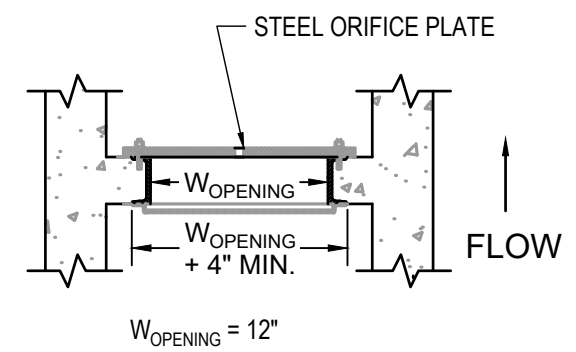
1. TRASH SCREEN SHALL BE CONSTRUCTED OF 1" THICK 19-W-4 GRATING WITH 1"x1/4" BANDING BARS ON EACH SIDE AND GALVANIZED OR APPROVED EQUIVALENT AND SHALL BE ATTACHED BY INTERMITTENT WELDS.
2. TRASH SCREEN OPEN AREAS ARE FOR SPECIFIED TRASH RACK MATERIALS. TOTAL TRASH RACK SIZE MAY NEED TO BE ADJUSTED FOR MATERIALS HAVING DIFFERENT OPEN AREA/GROSS AREA RATIO (R VALUE).
3. STRUCTURAL DESIGN OF TRASH RACKS SHALL BE BASED ON FULL HYDROSTATIC HEAD WITH ZERO HEAD DOWNSTREAM OF THE RACK.
4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR TRASH SCREEN FOR ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION.

ORIFICE PLATE NOTES:

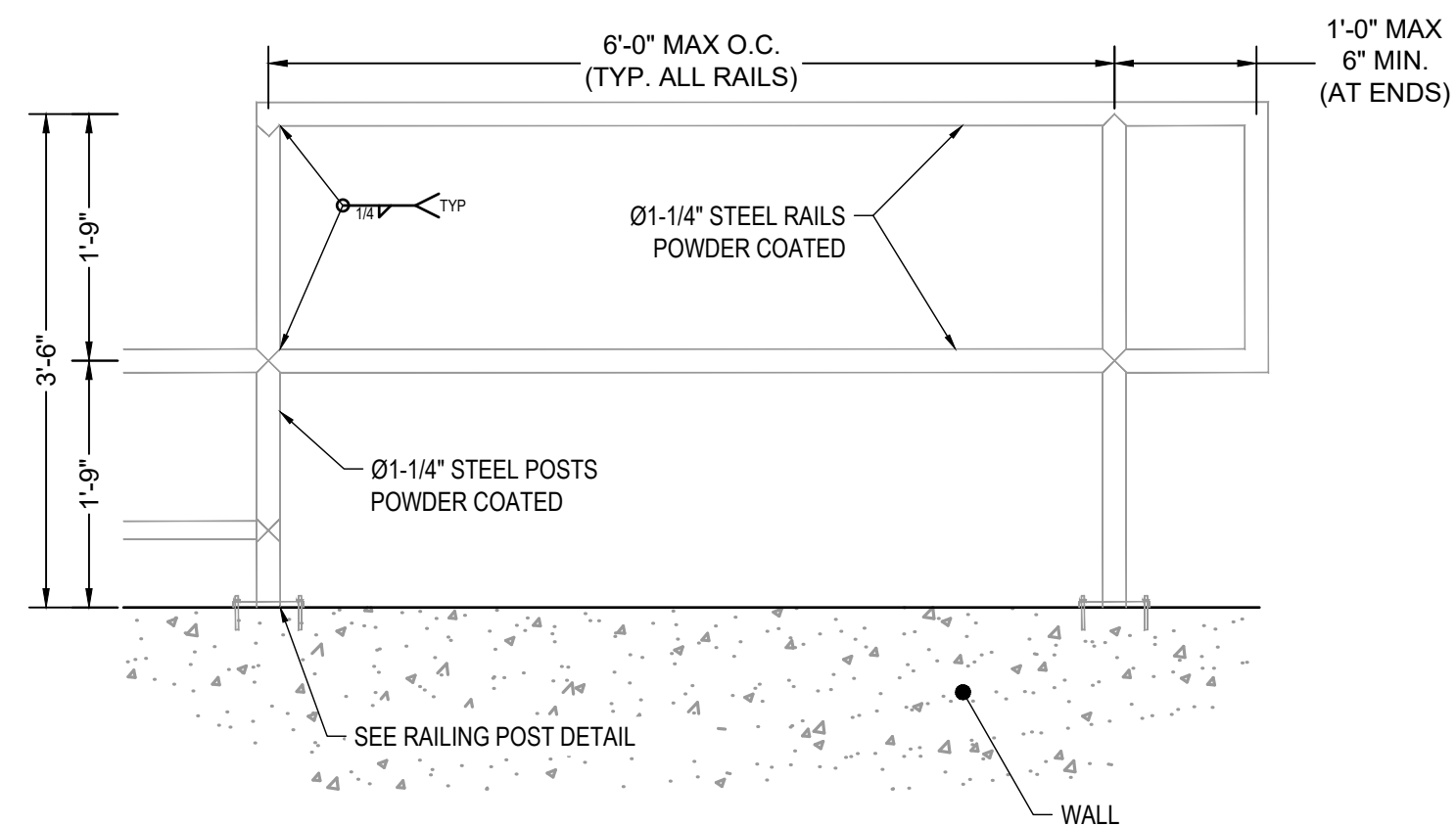
1. PLATE TO BE 3/8" THICK GALVANIZED STEEL.
2. BOLT PLATE TO CONCRETE 16" O.C. MAX.
3. PROVIDE CONTINUOUS NEOPRENE GASKET MATERIAL BETWEEN THE ORIFICE PLATE AND CONCRETE.
4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ORIFICE PLATE FOR ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION.
5. PROVIDE GASKET MATERIAL BETWEEN THE ORIFICE PLATE AND CONCRETE. GASKET SHALL BE MADE OF 1/4-INCH THICK, 60 DUROMETER EPDM RUBBER (OR EQUIVALENT GASKET APPROVED BY EPC) IN A CONTINUOUS SHEET THE SIZE OF THE ORIFICE PLATE. THE SHEET SHALL BE PLACED BETWEEN THE ORIFICE PLATE AND CONCRETE WALL, WITH THE WIDTH OF THE OVERLAP BETWEEN THE PLATE AND THE CONCRETE. OPENINGS SHALL BE CUT INTO THE SHEET CORRESPONDING TO THE PLATE BOLT HOLES AND THE CONCRETE WALL OPENING, CUTS MADE EITHER BY THE CONTRACTOR IN THE FIELD OR BY THE MANUFACTURER.



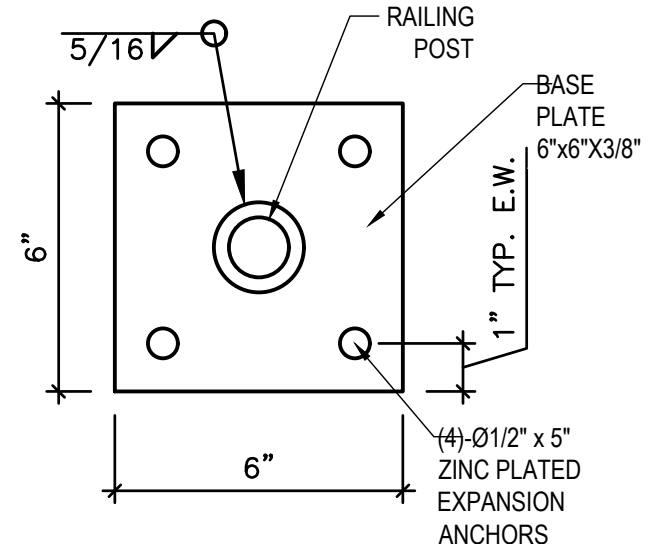
TRASH SCREEN DETAIL
(ELEVATION VIEW)
SCALE: 1" = 1-1/4'



TRASH SCREEN & ORIFICE
PLATE
SCALE: NTS



PEDESTRIAN / MAINTENANCE RAILING
(ELEVATION VIEW)
SCALE: 3/4" = 1'



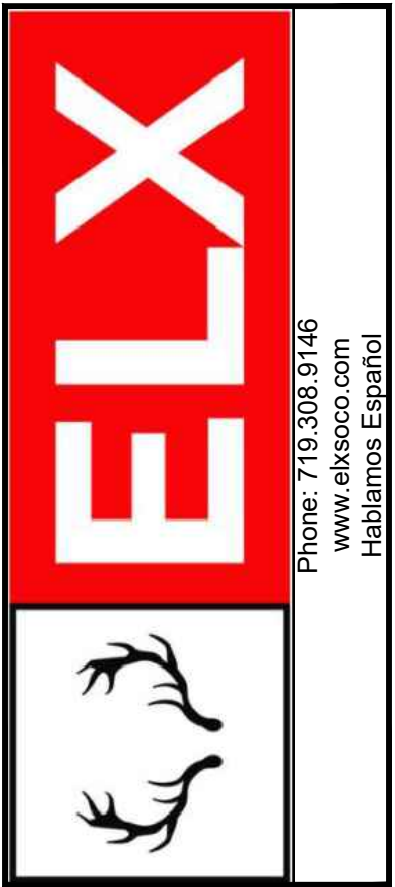
PEDESTRIAN / MAINTENANCE
RAILING POST
(PLAN VIEW)
SCALE: 3/4" = 1'

TWO SIGNS SHALL BE INSTALLED AROUND THE POND PERIMETER. THE SIGNS SHALL BE CONSTRUCTED OF A DURABLE MATERIAL SUCH AS METAL OR PLASTIC AND HAVE RED LETTERING ON A WHITE BACKGROUND WITH THE BELOW MESSAGE.

WARNING:
THIS AREA IS A
STORMWATER
FACILITY AND
IS SUBJECT TO
PERIODIC
FLOODING

MIN. SIGN AREA: 3 SQ. FT.

POND WARNING SIGN
DETAIL
SCALE: N.T.S.



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PROJECT NAME:

SUNSET VILLAGE
FILING NO. 4

PROJECT LOCATION:

SUNSET VILLAGE
FILING NO. 4
EL PASO COUNTY, COLORADO

CLIENT:

SCOTT ALLEN HOMES

CONTACT INFO:

SCOTT VAN WYHE
SCOTT ALLEN HOMES
scott@punchlistconnection.com

PROFESSIONAL SEAL:

DATE:	DESCRIPTION:
04/04/26	CDR218 REV. 1

JOB #: 101544

DRAWN BY: CDS
REVIEWED BY: CDS
PROJ. MNGR.: CDS

PLAN SET:

SUNSET VILLAGE
FILING NO. 4
PERMANENT CONTROL MEASURE
INFRASTRUCTURE DETAILS

SHEET TITLE:

OUTLET STRUCTURE DETAILS

SHEET NO.:

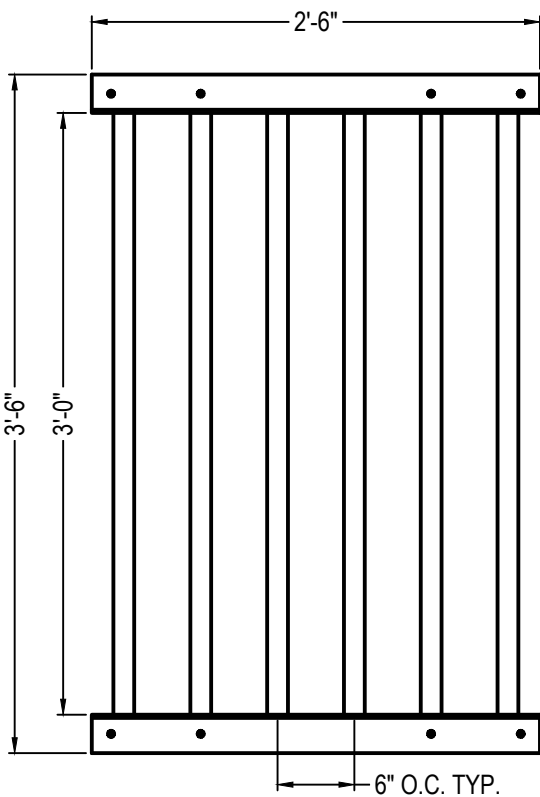
21

SAFETY GRATES/TRASH RACK NOTES:

1. TRASH RACKS AND SAFETY GRATES SHALL BE 1- $\frac{1}{2}$ " SCH. 40 STEEL PIPE, @ 6" CENTERS BOUNDED BY 3"x3"x1/4" ANGLE IRON. ALL GRATES SHALL BE MOUNTED USING ZINC PLATED STEEL HARDWARE.
2. REMOVABLE GRATE SECTIONS SHALL BE MOUNTED USING ZINC PLATED STEEL HARDWARE AND PROVIDED WITH HINGED & LOCKABLE OR BOLTABLE ACCESS PANELS AS SHOWN ON THE PLANS.
3. STEEL GRATES SHALL BE HOT DIP GALVANIZED AND MAY BE HOT POWDER COATED AFTER GALVANIZING.
4. STRUCTURAL STEEL FOR GRATES SHALL BE GALVANIZED AND SHALL BE IN ACCORDANCE WITH CDOT STANDARD SPECIFICATIONS, SUBSECTION 712.06.
5. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR GRATING FOR ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION.

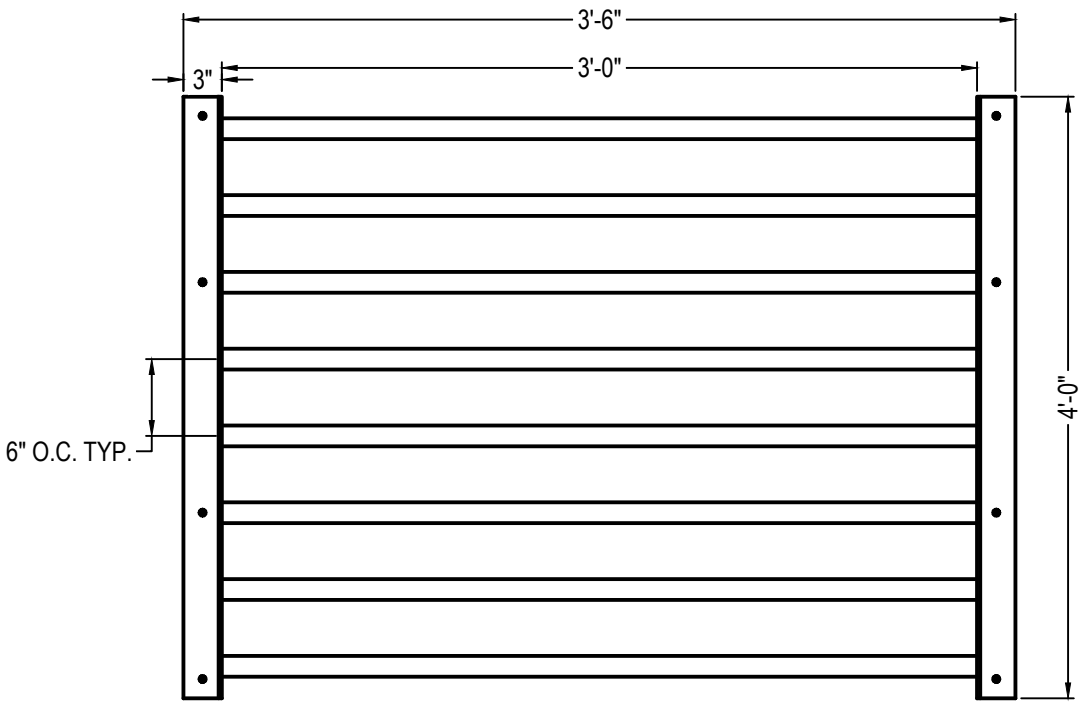
RESTRICTOR PLATE NOTES:

1. $\frac{3}{8}$ " THICK RESTRICTOR PLATE, GALVANIZED STEEL.
2. BOLT PLATE TO CONCRETE @ 12" O.C. MAX.
3. PROVIDE CONTINUOUS NEOPRENE GASKET MATERIAL BETWEEN PLATE AND CONCRETE.
5. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR RESTRICTOR PLATE FOR ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION.

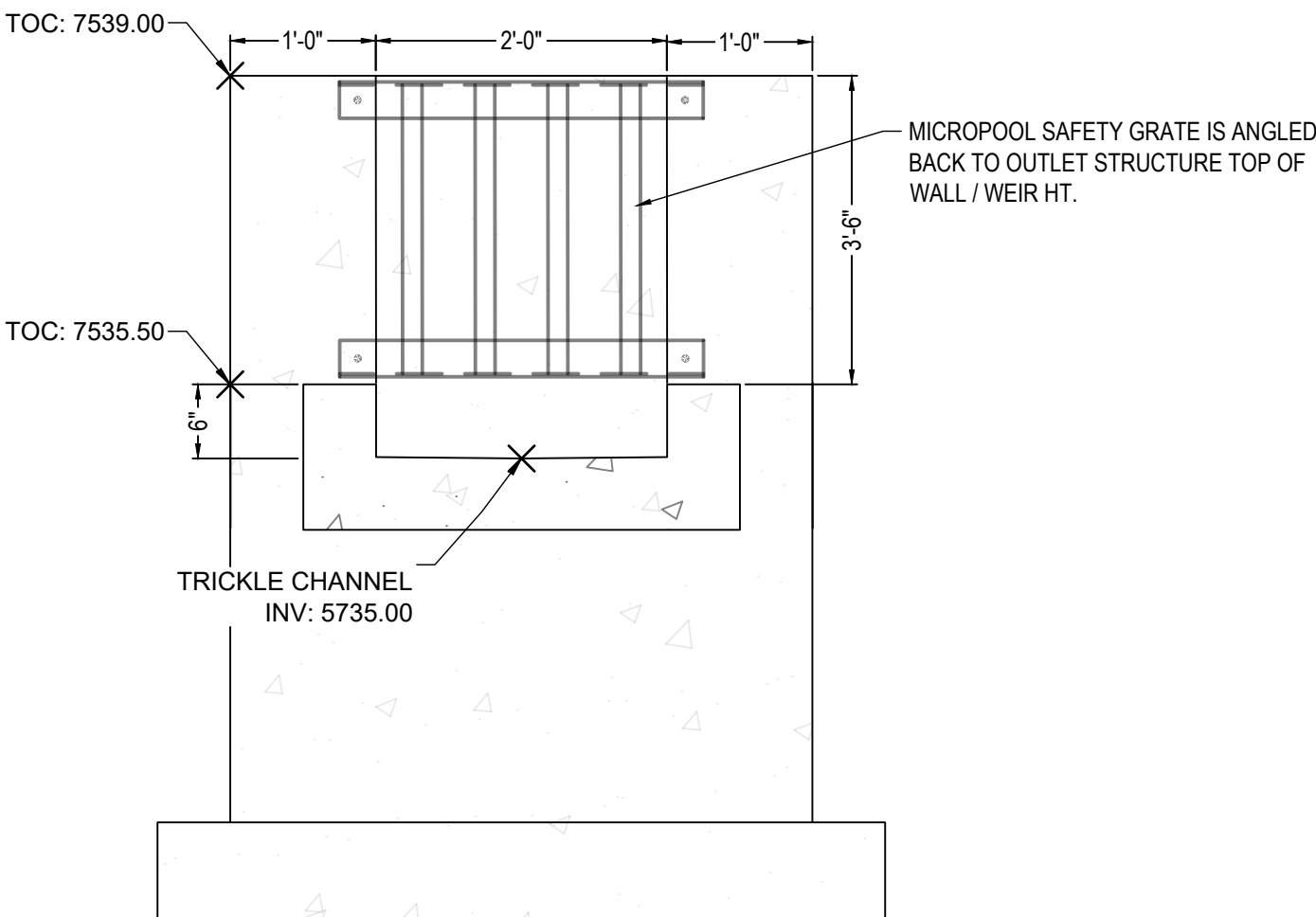


MICROPOOL FRONT/TOP
ANGLED GRATE
(ELEVATION VIEW)
SCALE: NTS

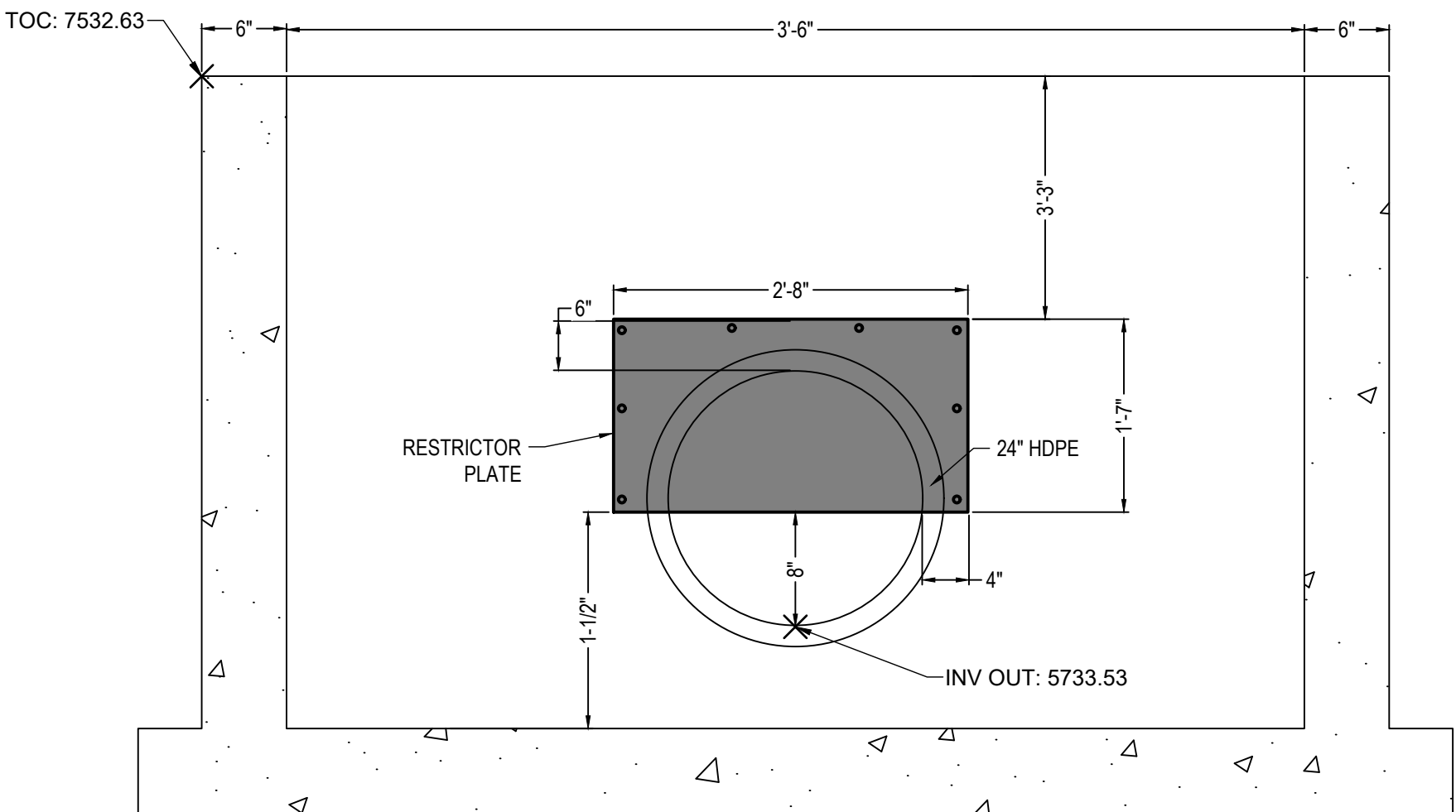
NOTE: TOTAL LENGTH OF FRONT/TOP MICROPOOL SAFETY GRATE IS 46'23" ACCOUNTING FOR ANGLED.



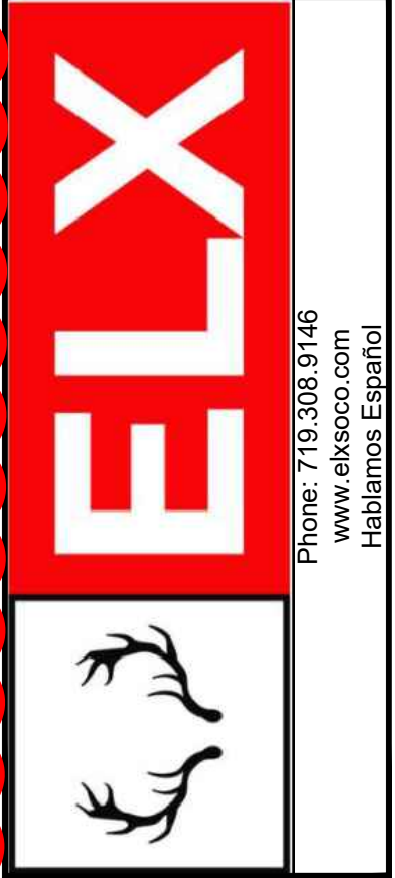
SAFETY GRATE (PLAN VIEW)
SCALE: NTS



FRONT FACE OF STRUCTURE
(SECTION VIEW B-B)
SCALE: NTS



RESTRICTOR PLATE
(SECTION VIEW C-C)
SCALE: 1" = 1'-1/4"



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PROFESSIONAL SEAL:

DATE:	DESCRIPTION:
04/04/26	CDR218 REV. 1

JOB #: 101544

DRAWN BY: CDS
REVIEWED BY: CDS
PROJ. MNGR.: CDS

PLAN SET:

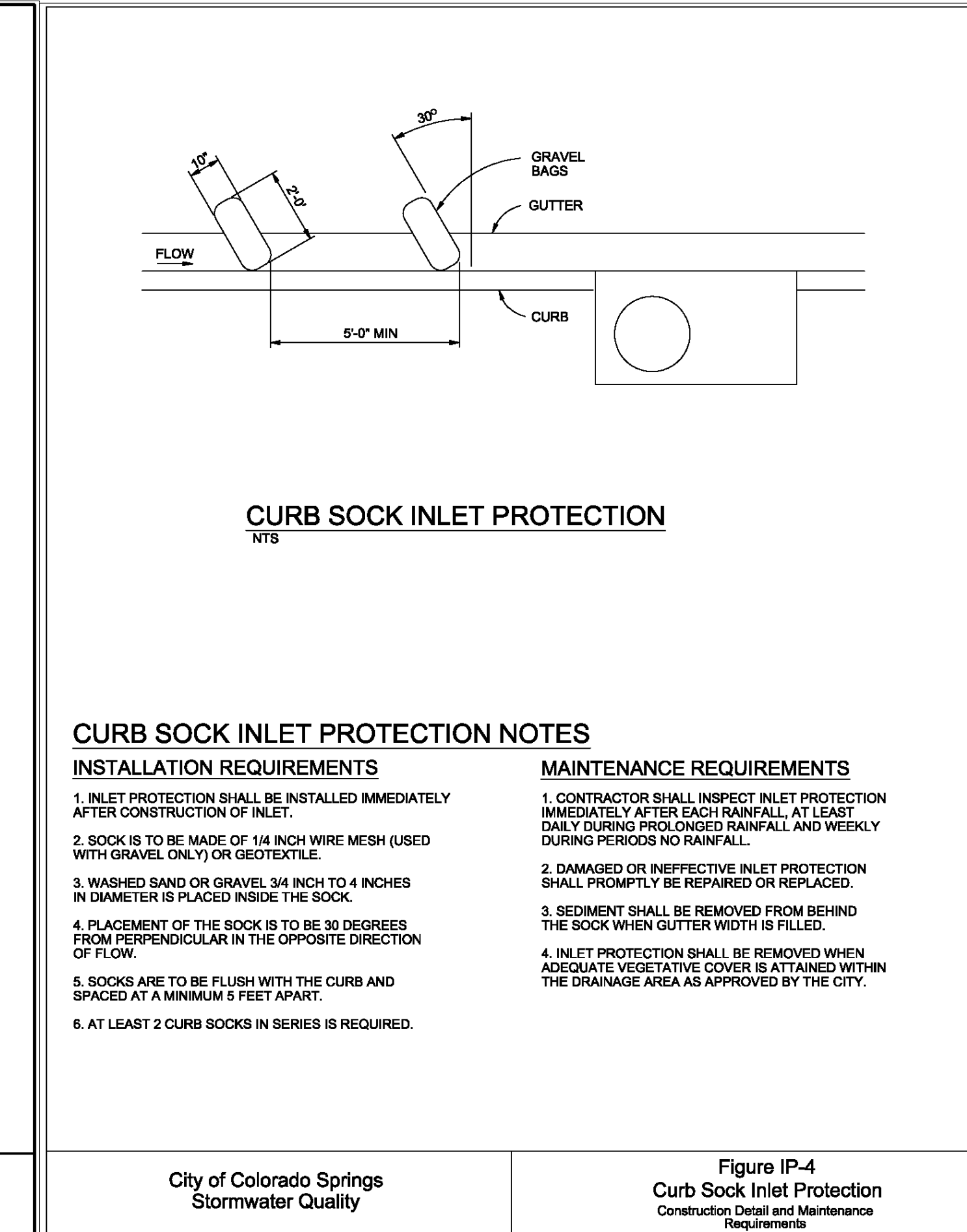
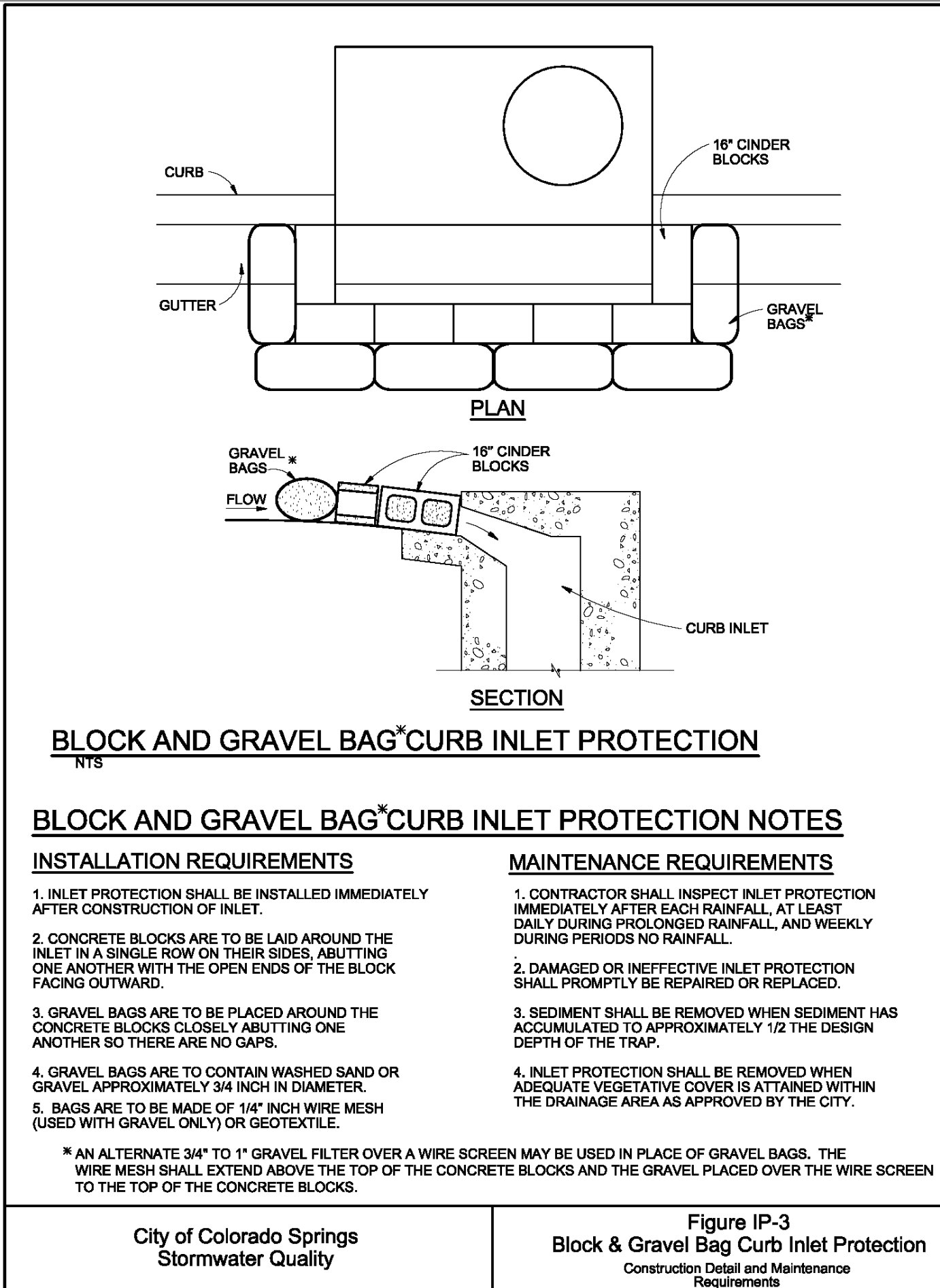
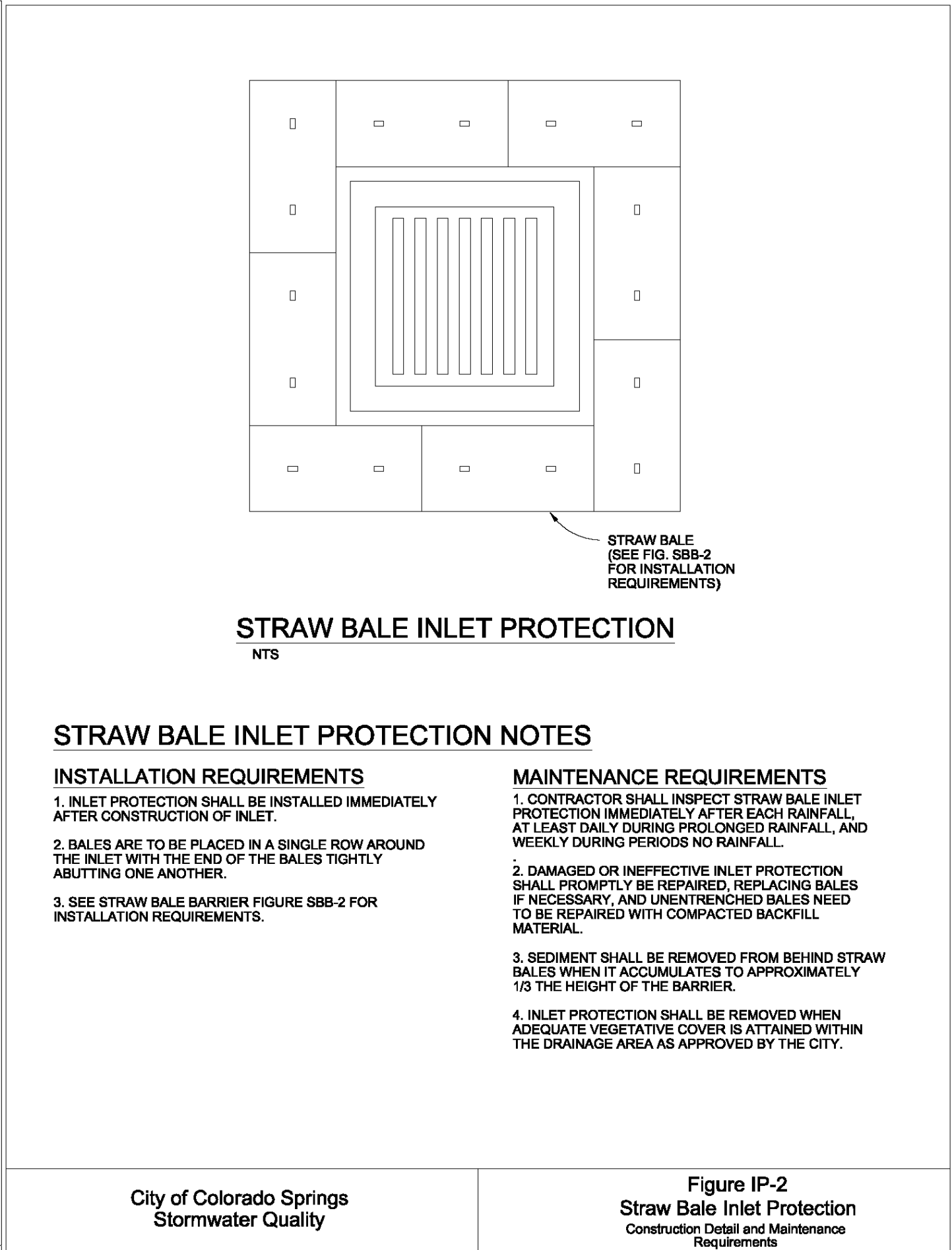
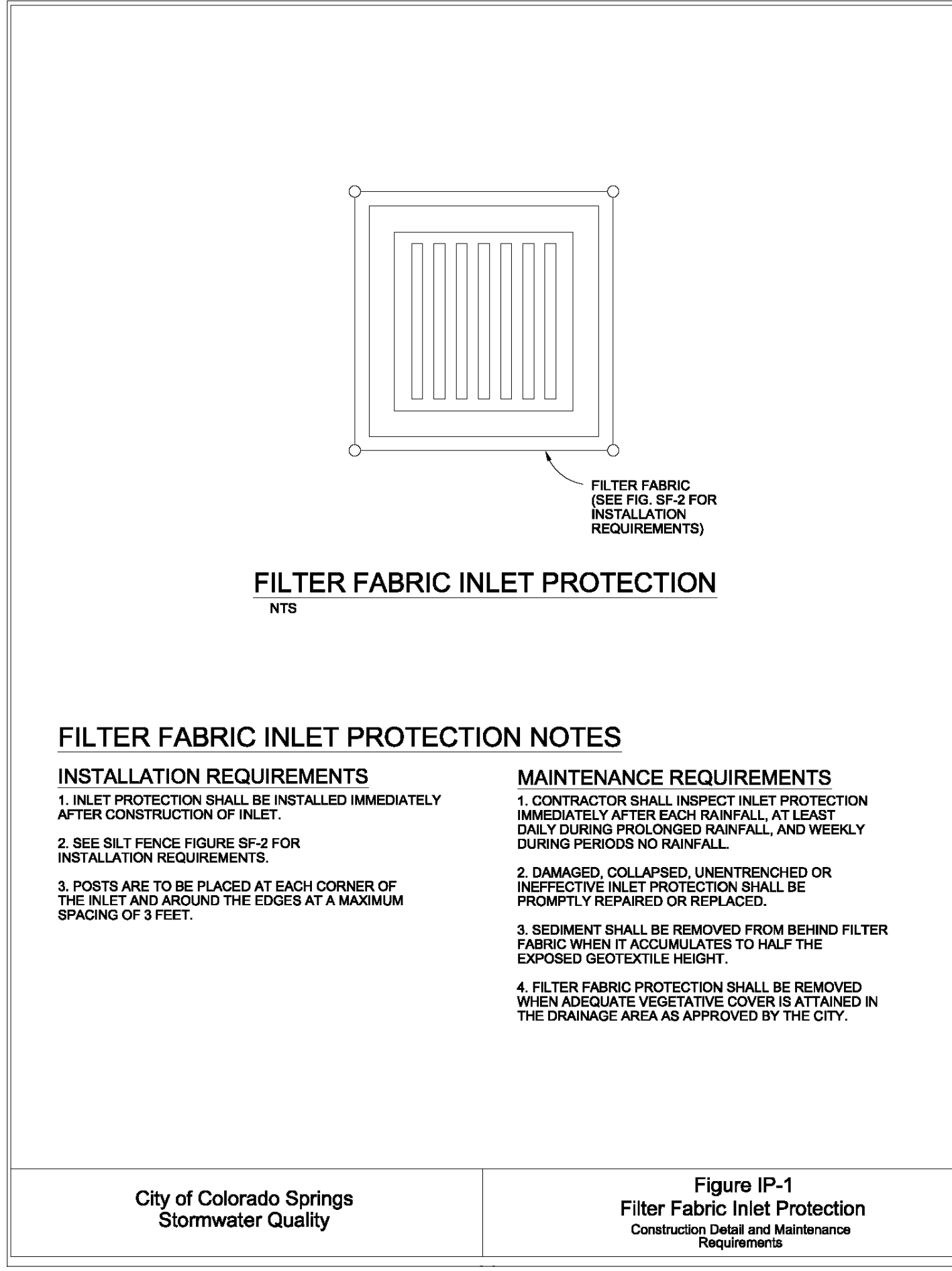
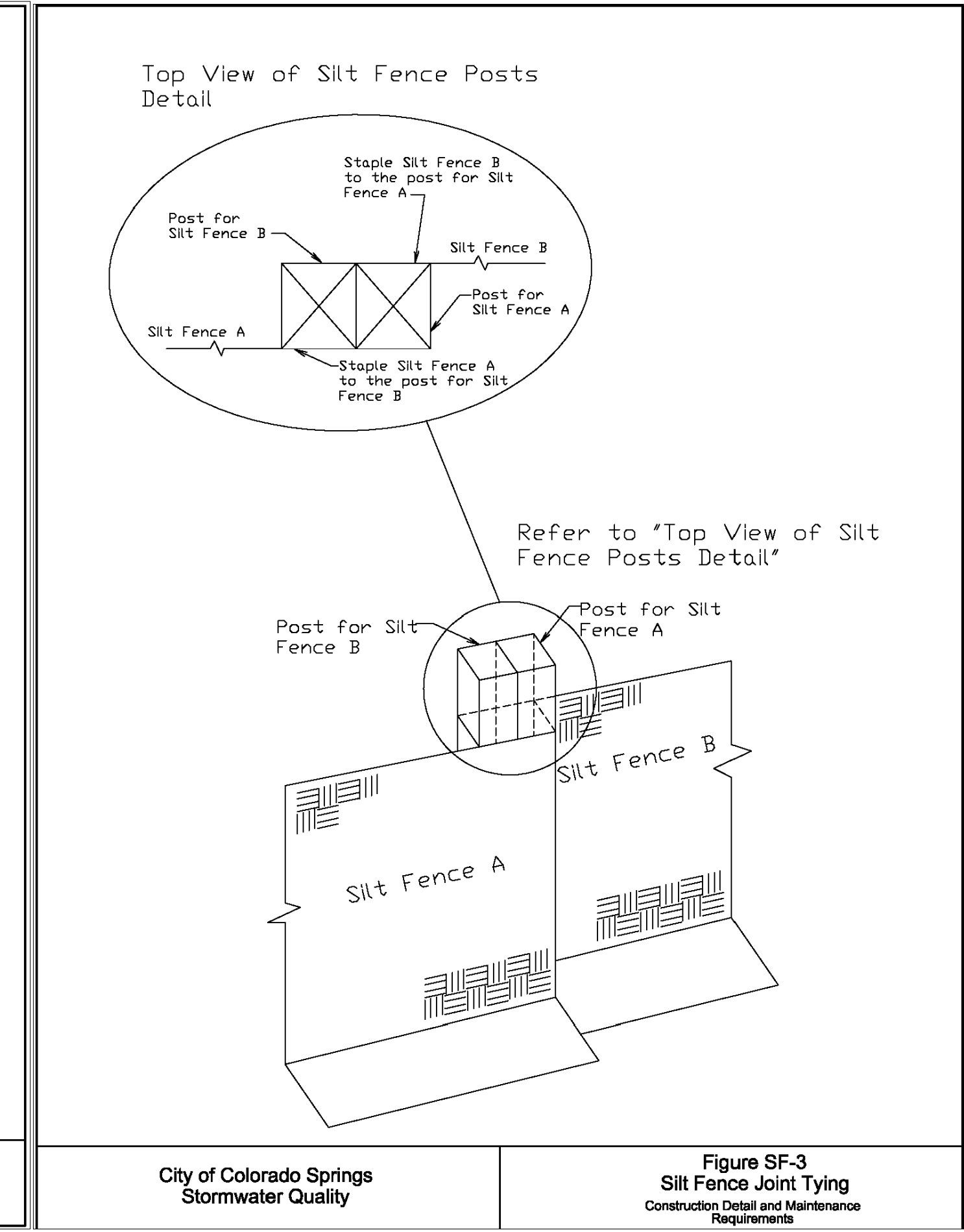
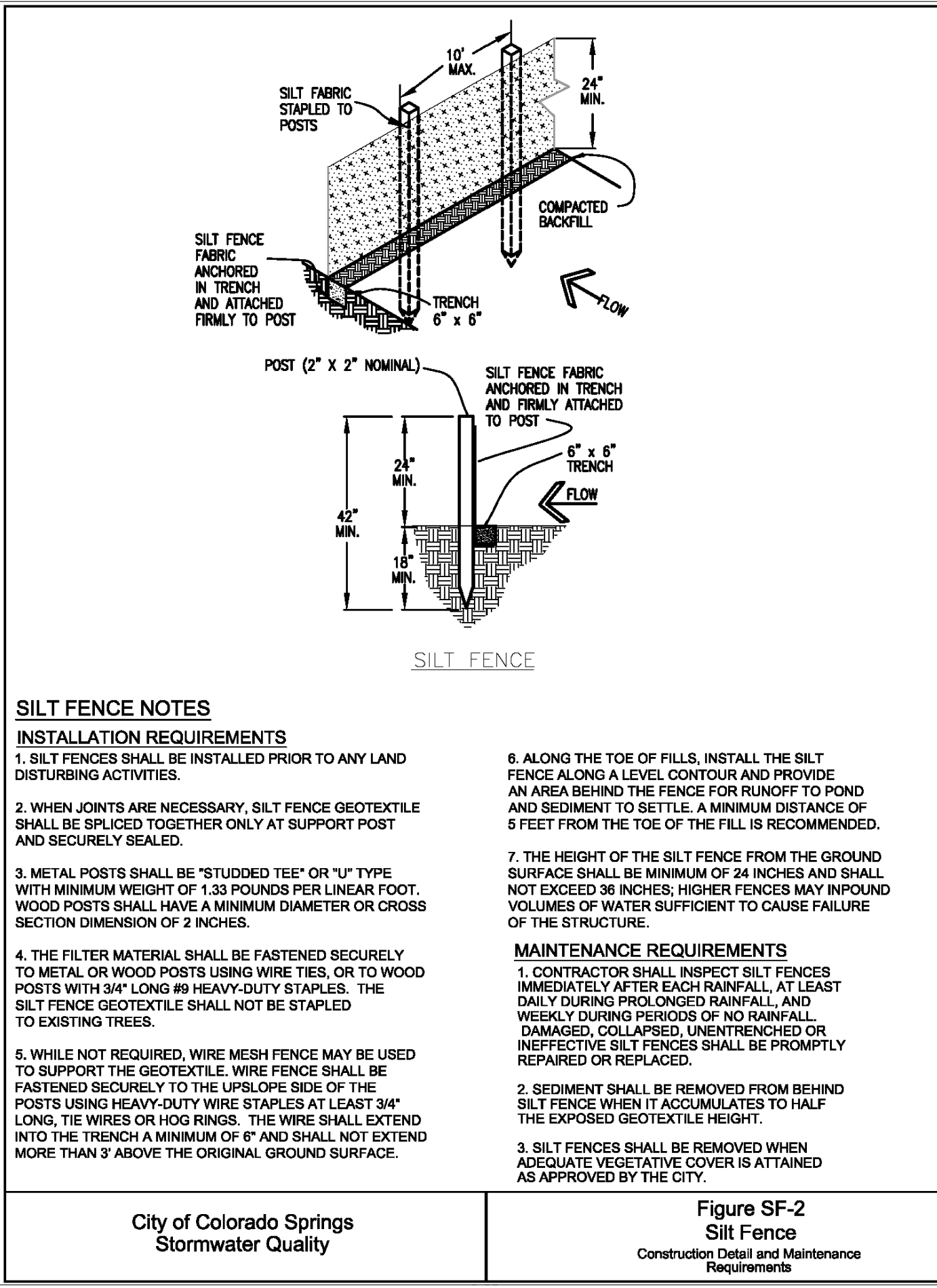
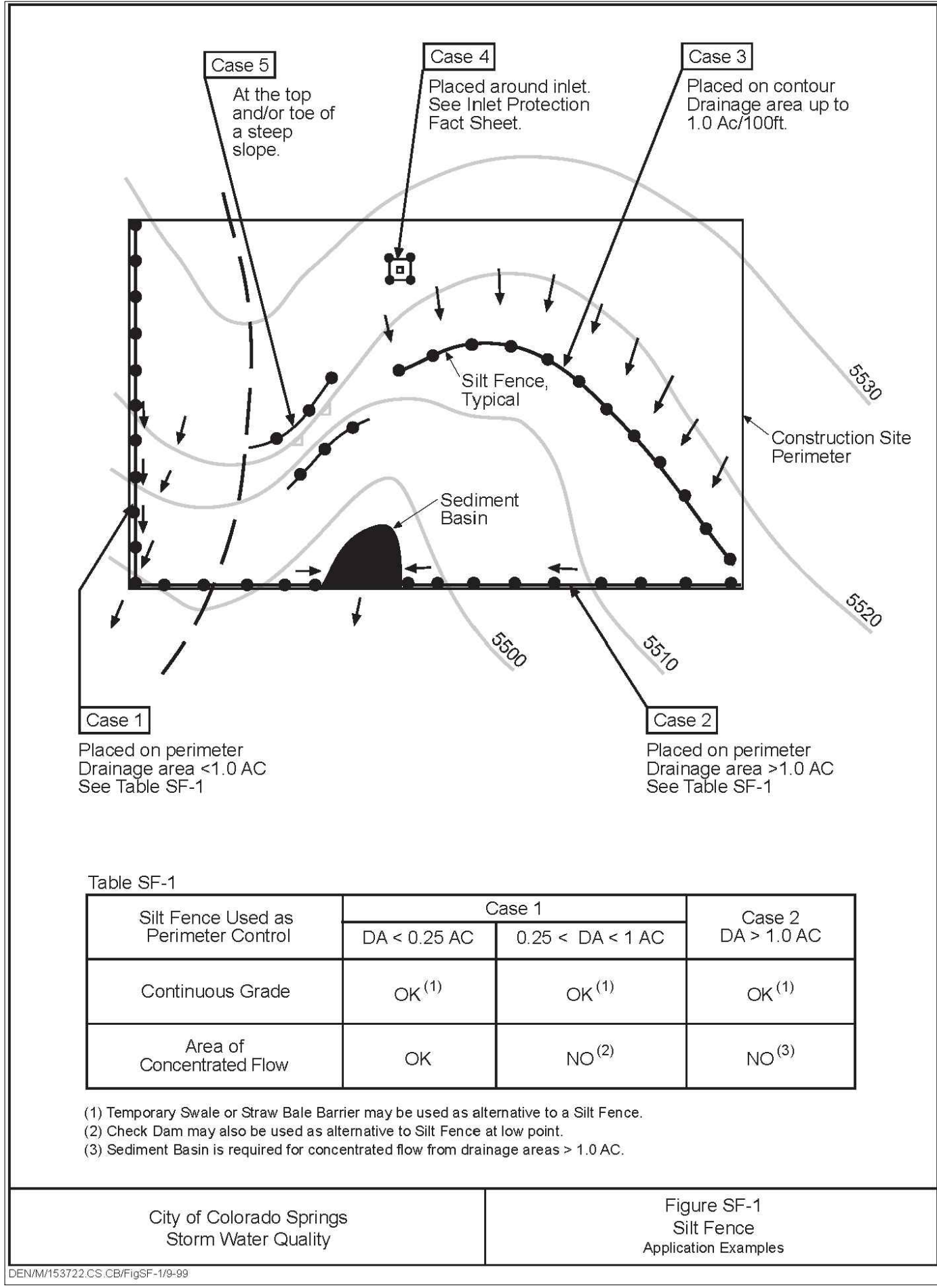
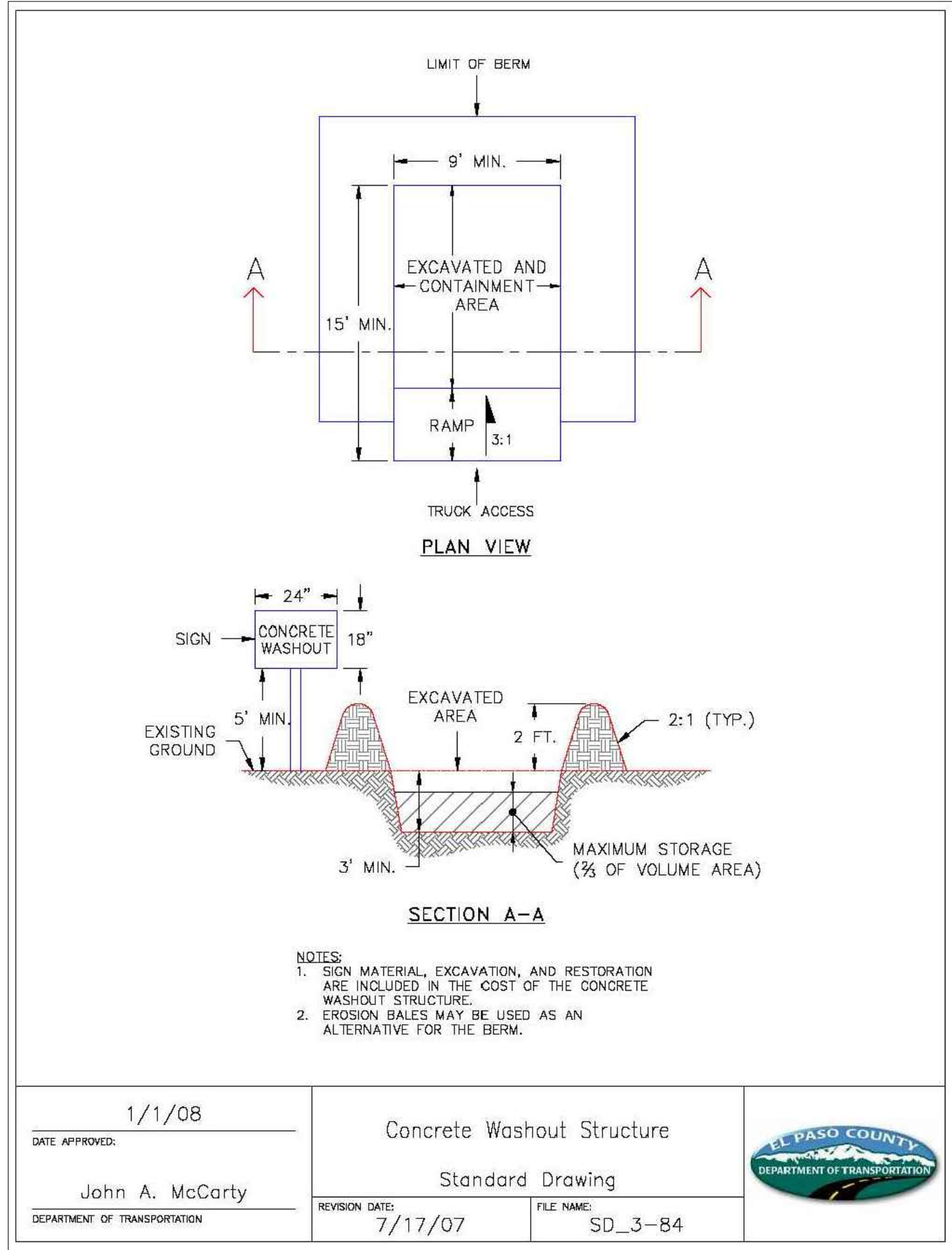
SUNSET VILLAGE
FILING NO. 4
PERMANENT CONTROL MEASURE
INFRASTRUCTURE DETAILS

SHEET TITLE:

OUTLET STRUCTURE DETAILS

SHEET NO.:

22



811
Know what's below.
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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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303.462.1100

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487 WINDCHIME PL. STE. #300
303-519-5100
SCOTT VAN WHYTE

SUNSET VILLAGE VIEW, LLC.
SUNSET VILLAGE FIL. NO. 4
JAYHAWK AVENUE AND REDTAIL DRIVE
EL PASO COUNTY, COLORADO

DETAILS

CLIENT: 12/03/2021

DATE: 12/03/2021

1st SUBMITTAL TO EPC: 10/27/2021 - RDL
2nd SUBMITTAL TO EPC: 12/03/2021 - RDL

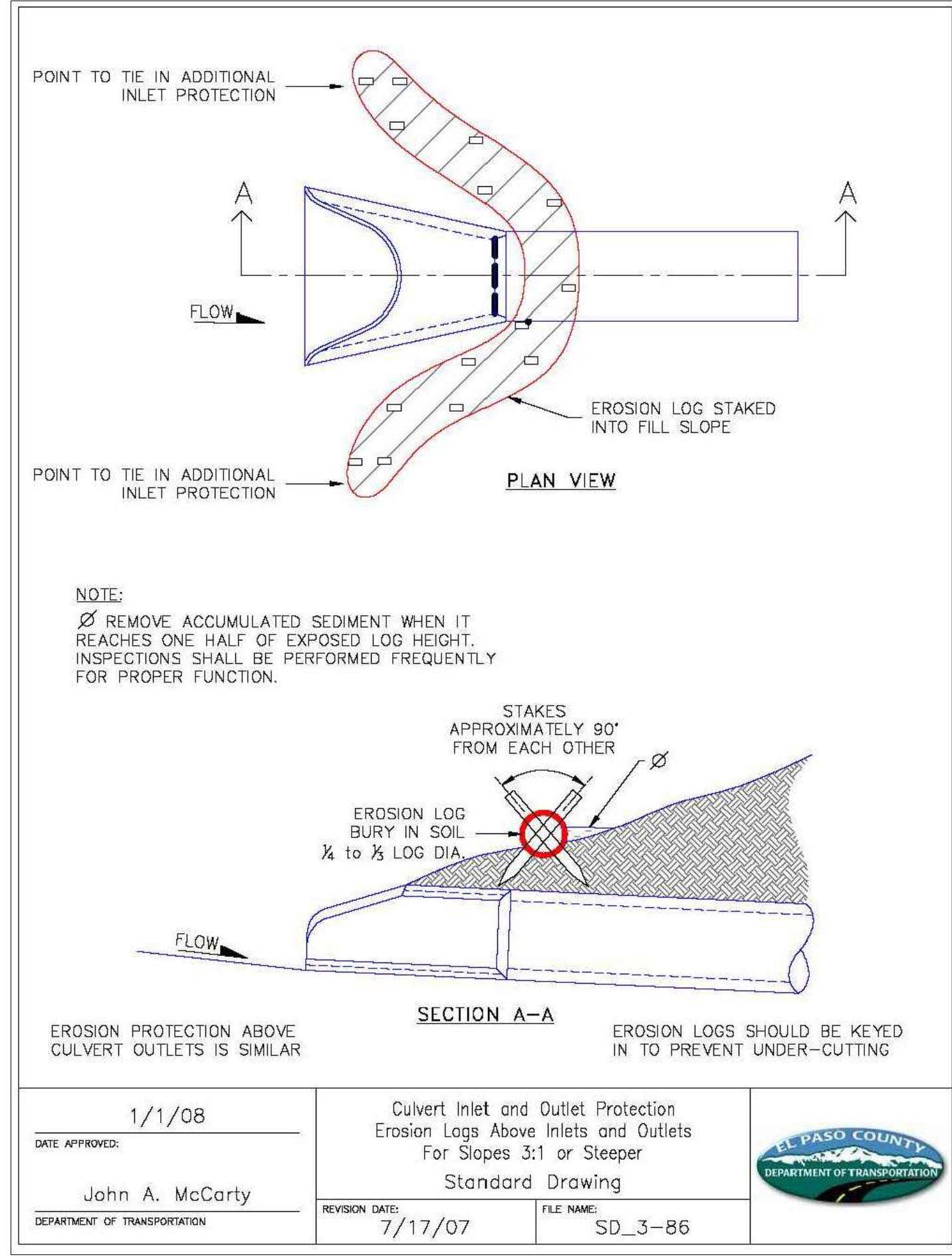
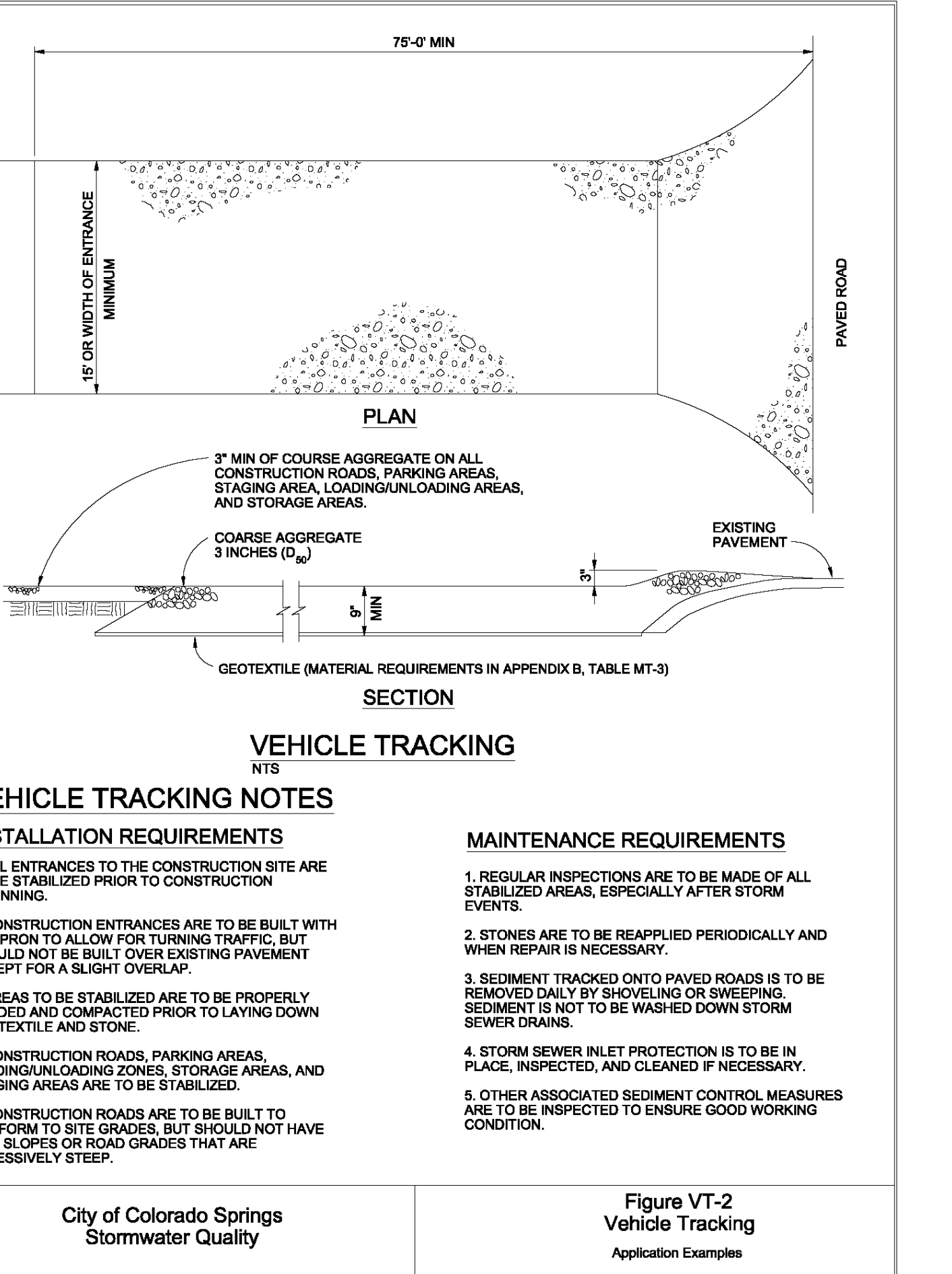
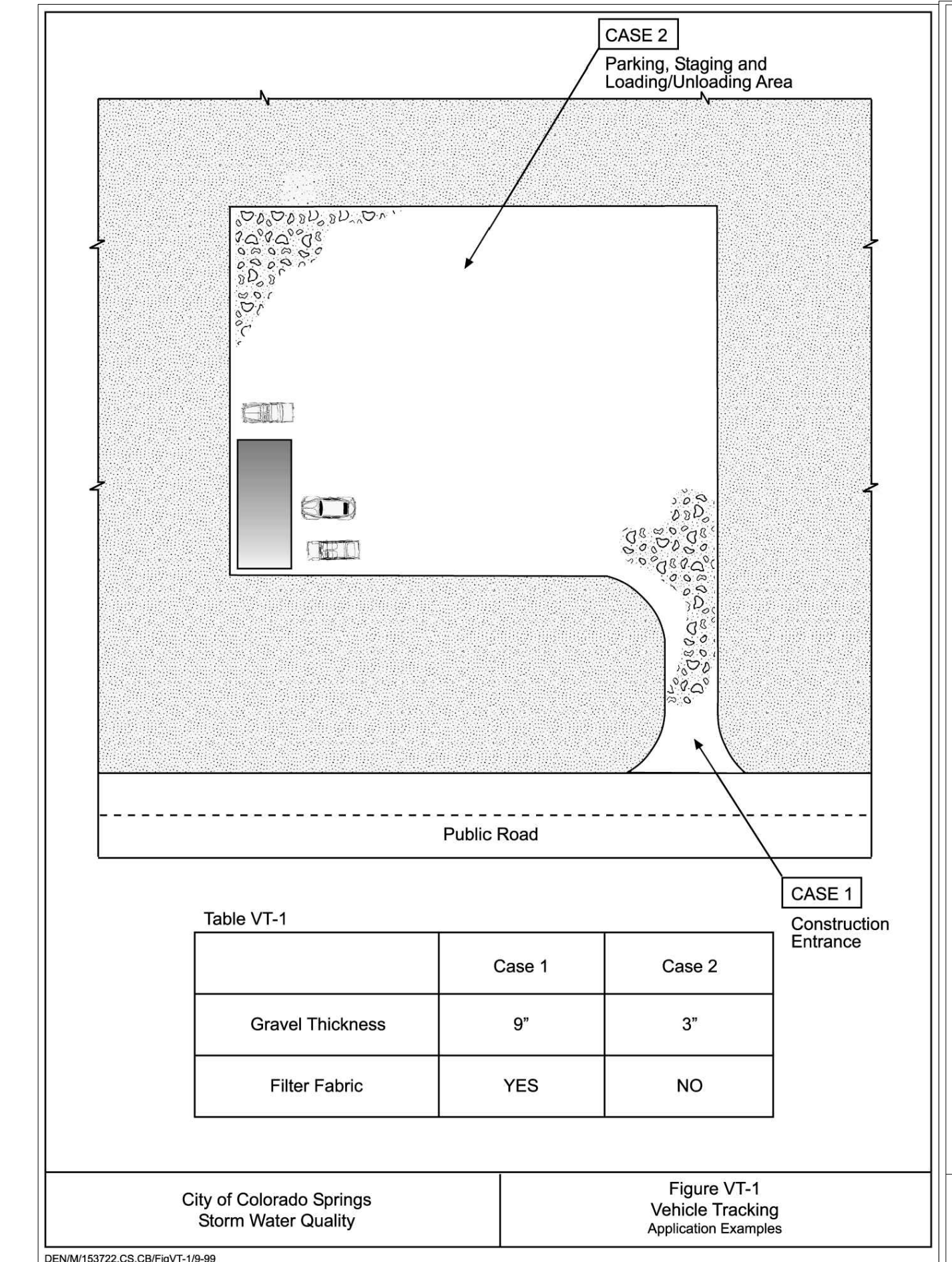
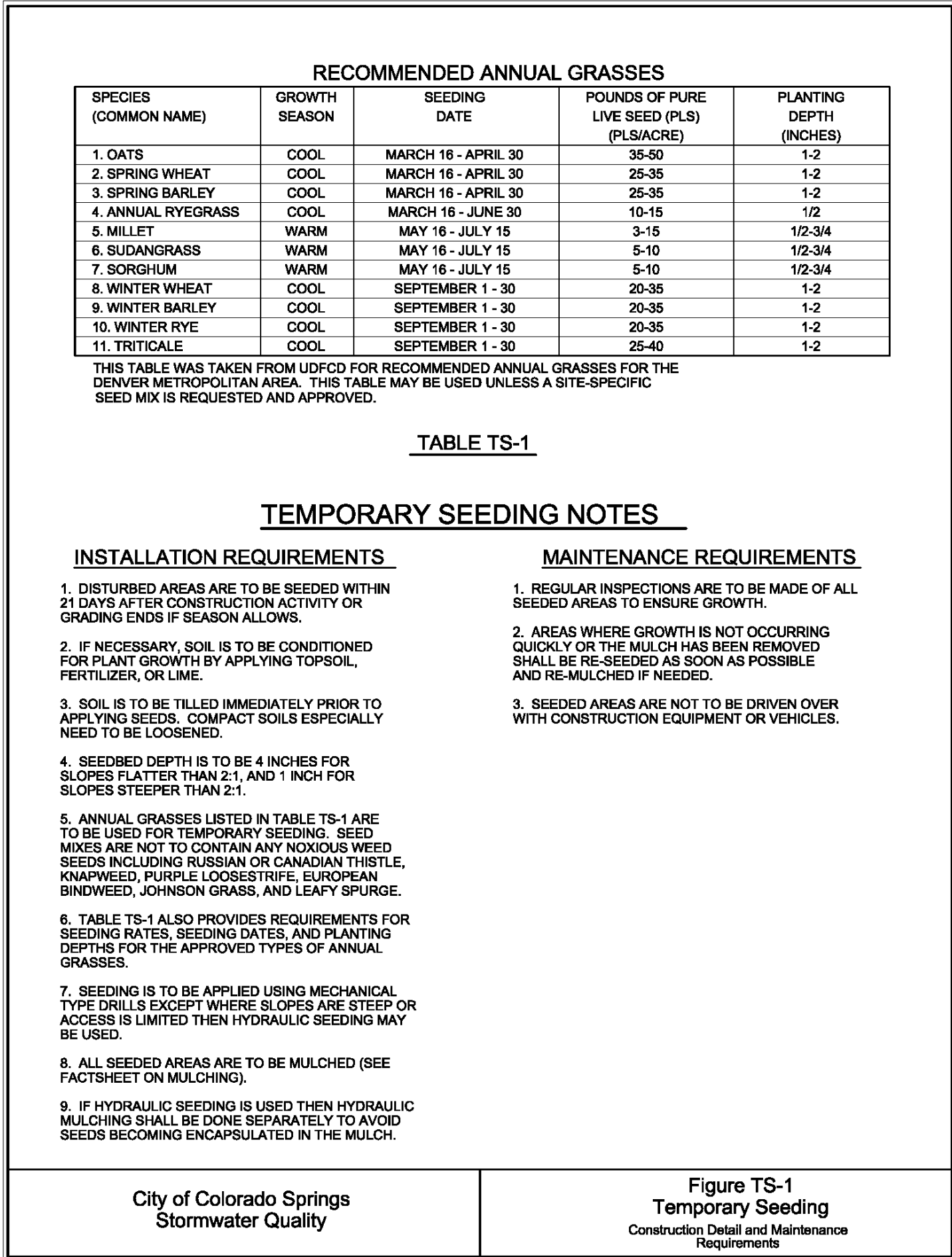
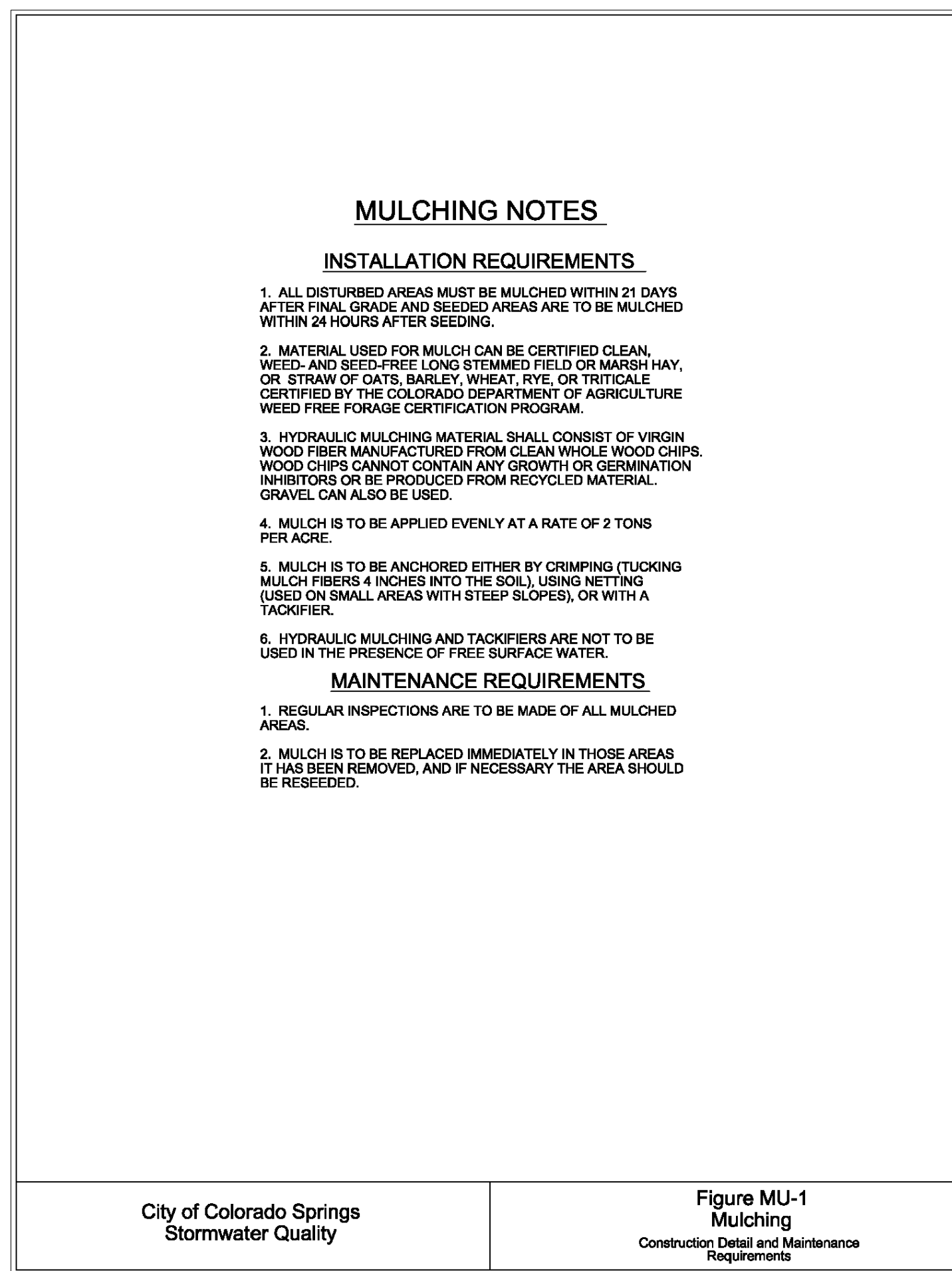
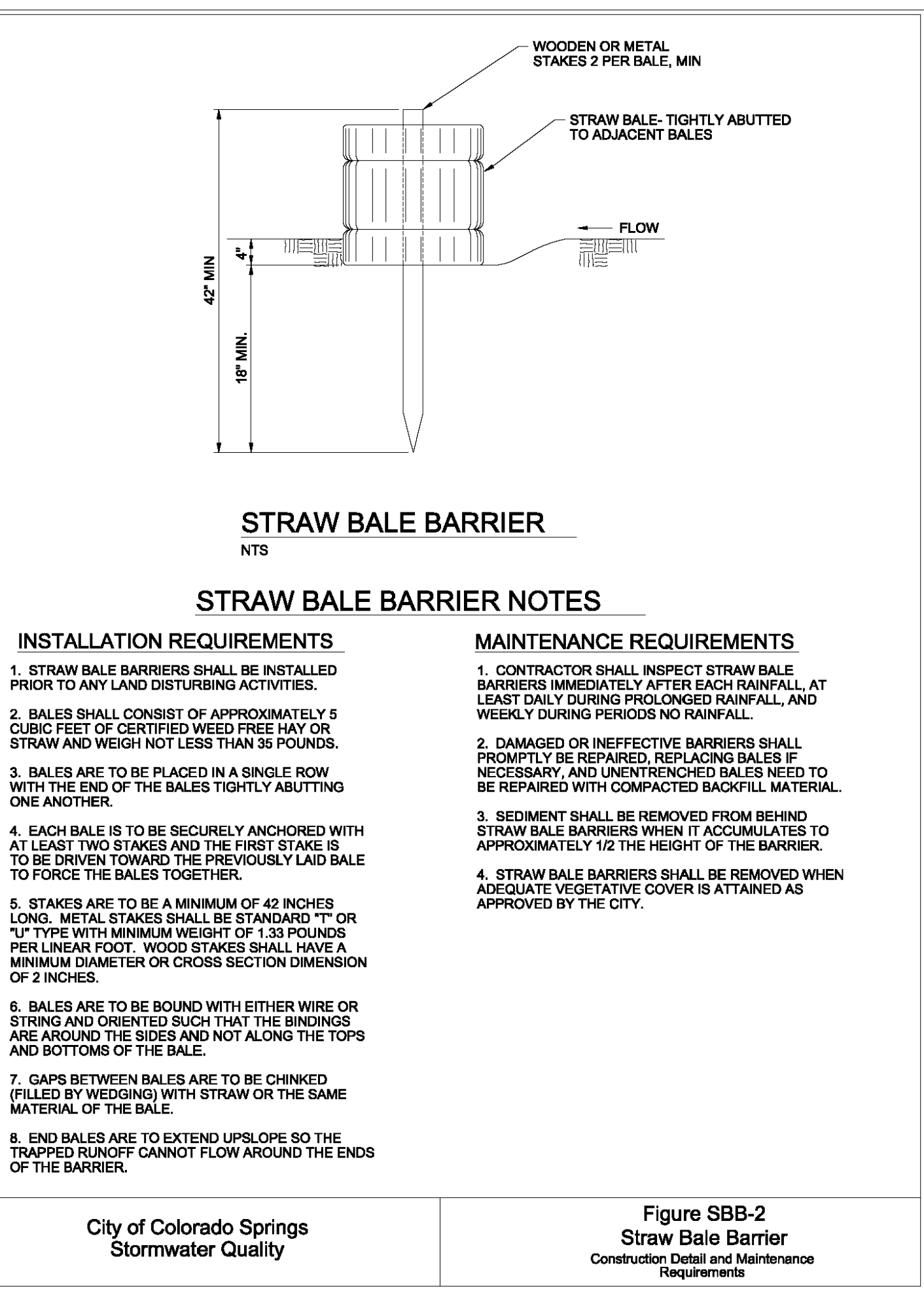
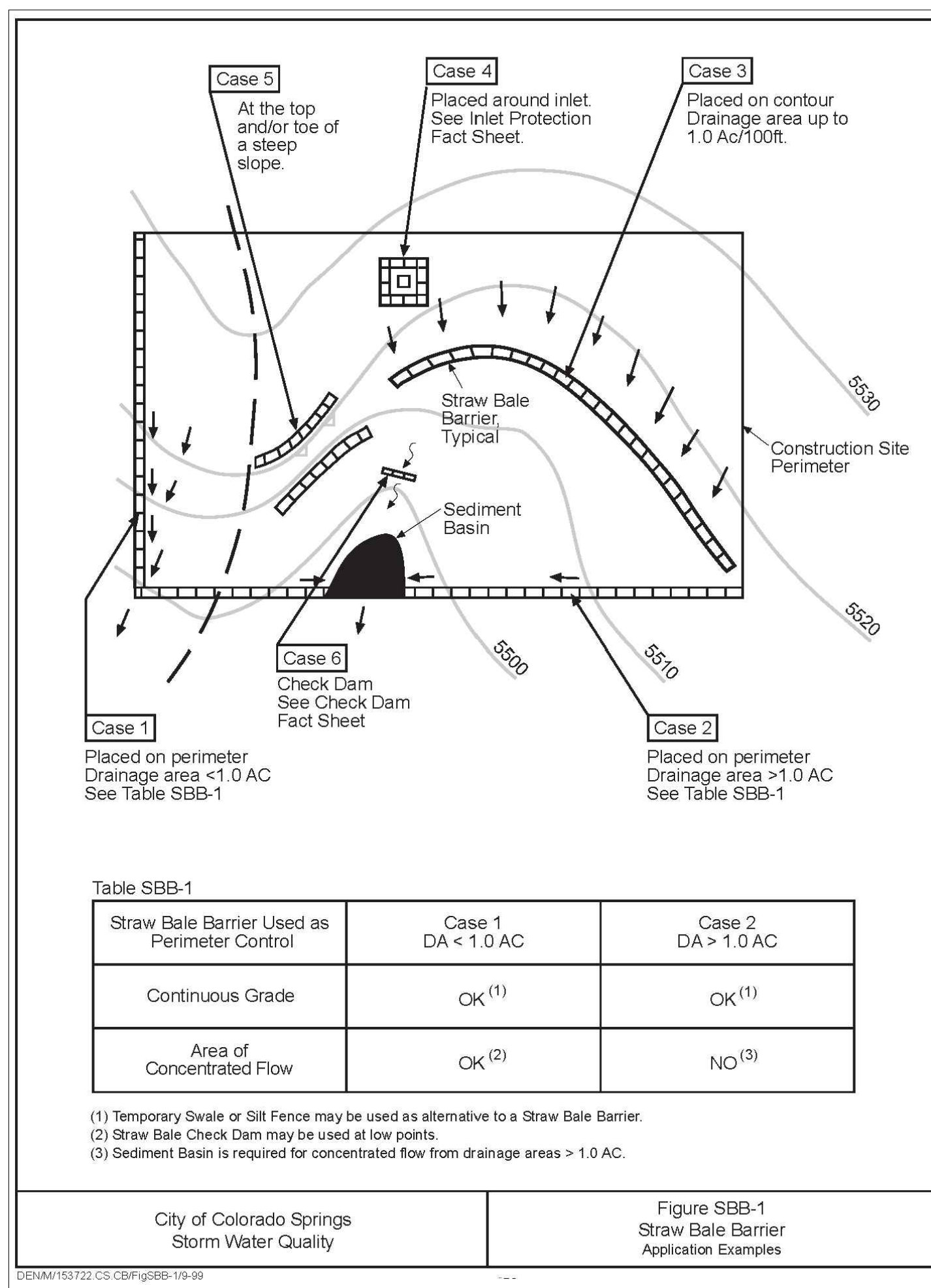
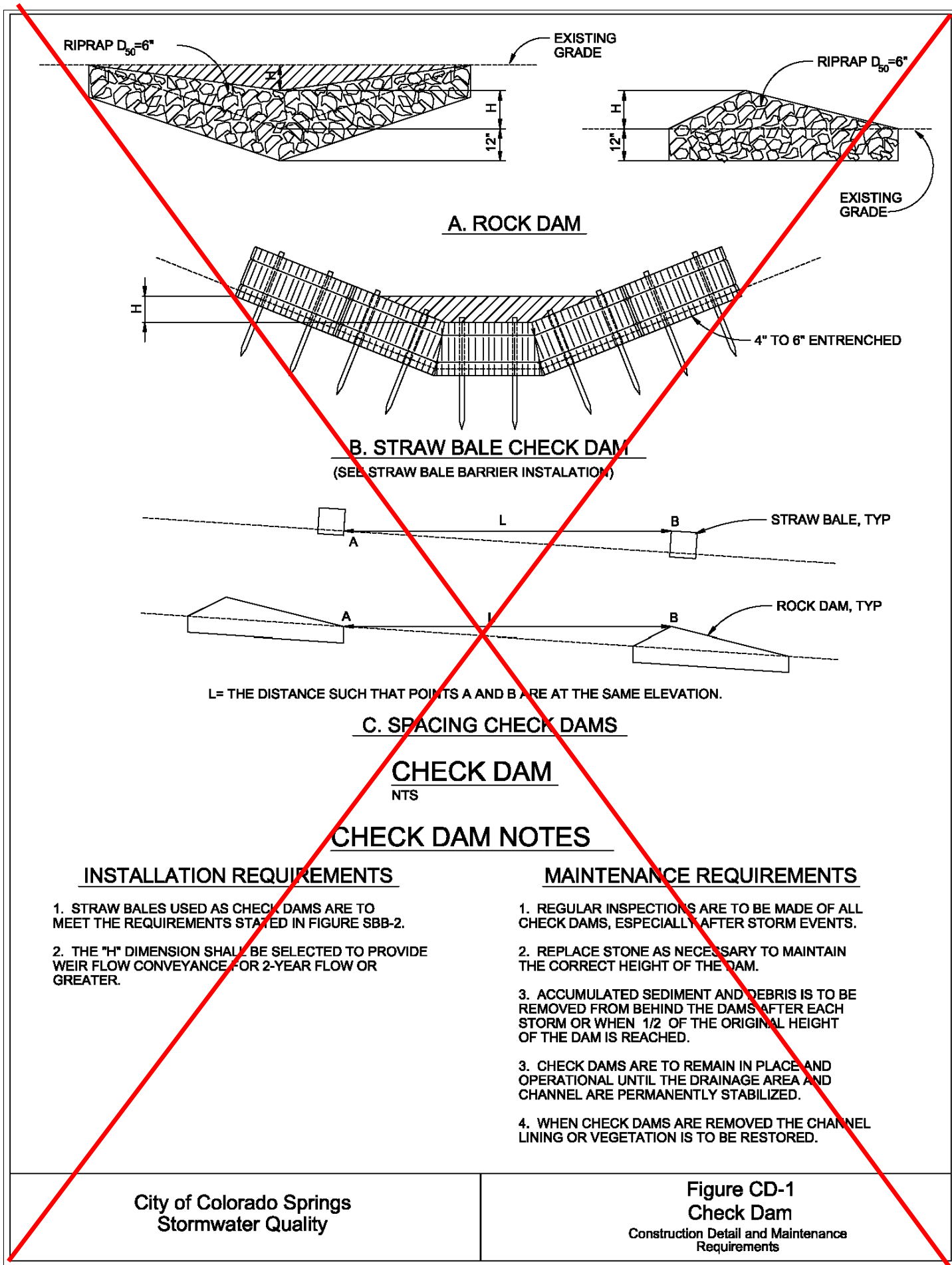
REVISIONS

COLORADO LICENSED PROFESSIONAL ENGINEER
19971

DR. RDL CH. RDL
P.M. RDL

JOB: 21004166
SHEET NO. 20

CAD FILE: 21004166-DETAILS.DWG



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SUNSET VILLAGE FIL. NO. 4
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EL PASO COUNTY, COLORADO

DETAILS

DATE: 12/03/2021

REVISIONS

COLORADO LICENSED PROFESSIONAL ENGINEER

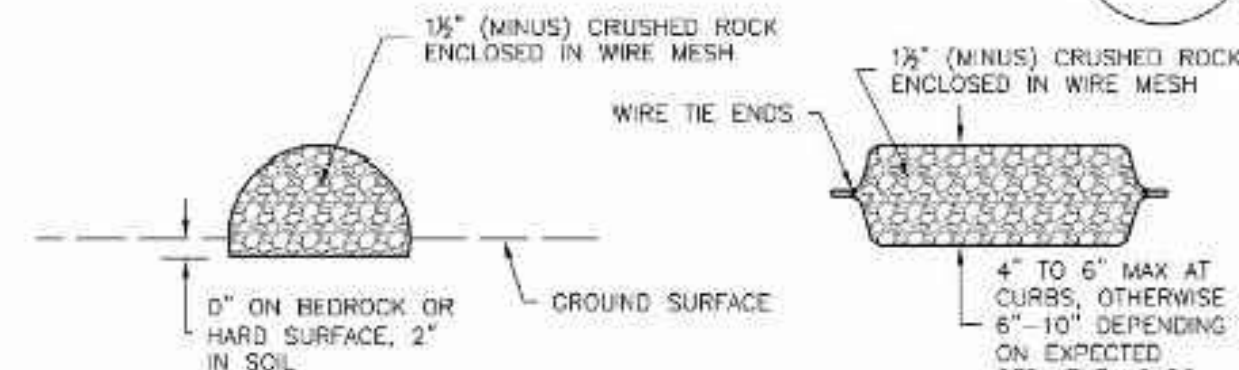
DR. RDL CH. RDL
P.M. RDL

JOB: 21004166
SHEET NO. 21

CAD FILE: 21004166-DETAILS.DWG

SC-5

Rock Sock (RS)



ROCK SOCK SECTION

ROCK SOCK PLAN



ROCK SOCK JOINTING

ROCK SOCK INSTALLATION NOTES

- SEE PLAN VIEW FOR:
 - LOCATION(S) OF ROCK SOCKS.
- CRUSHED ROCK SHALL BE 1/2" (MINUS) IN SIZE WITH A FRACTURED FACE (ALL SIDES) AND SHALL COMPLY WITH GRADATION SHOWN ON THIS SHEET (1/2" MINUS).
- WIRE MESH SHALL BE FABRICATED OF 10 GAGE POULTRY MESH, OR EQUIVALENT, WITH A MAXIMUM OPENING OF 1/2", RECOMMENDED MINIMUM ROLL WIDTH OF 48"
- WIRE MESH SHALL BE SECURED USING "HOC RINGS" OR WIRE TIES AT 6" CENTERS ALONG ALL JOINTS AND AT 2" CENTERS ON ENDS OF SOCKS.
- SOME MUNICIPALITIES MAY ALLOW THE USE OF FILTER FABRIC AS AN ALTERNATIVE TO WIRE MESH FOR THE ROCK ENCLOSURE.

RS-1. ROCK SOCK PERIMETER CONTROL

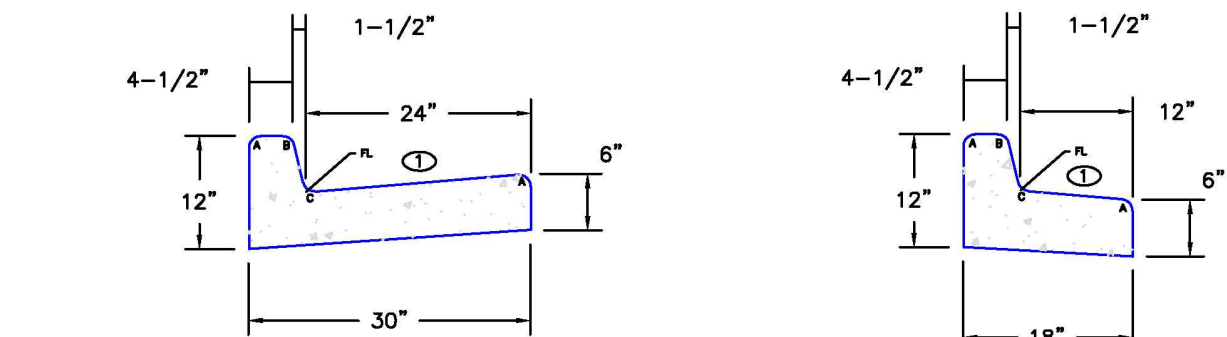
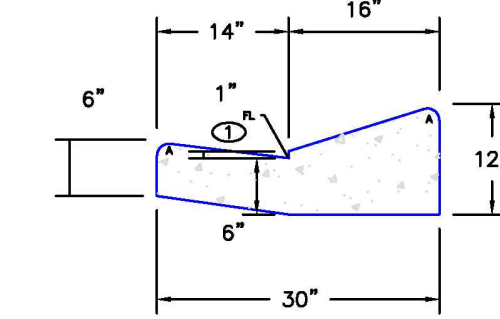
ROCK SOCK MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED, OR DAMAGED BEYOND REPAIR.
- SEDIMENT ACCUMULATED UPSTREAM OF ROCK SOCKS SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENT IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE ROCK SOCK.
- ROCK SOCKS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
- WHEN ROCK SOCKS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

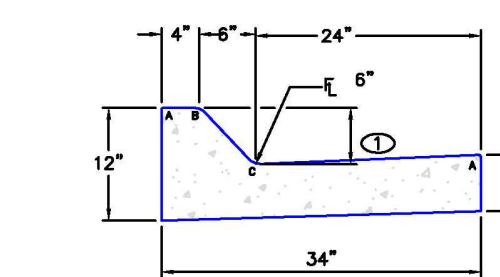
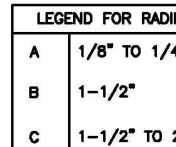
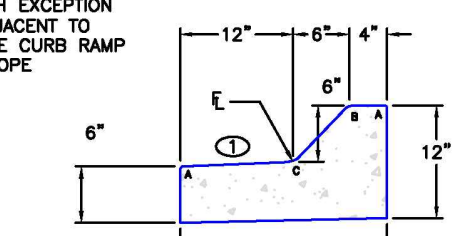
(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF ROCK SOCK INSTALLATION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY OTHER SIMILAR PROPRIETARY PRODUCTS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY PROTECTION PRODUCTS; HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

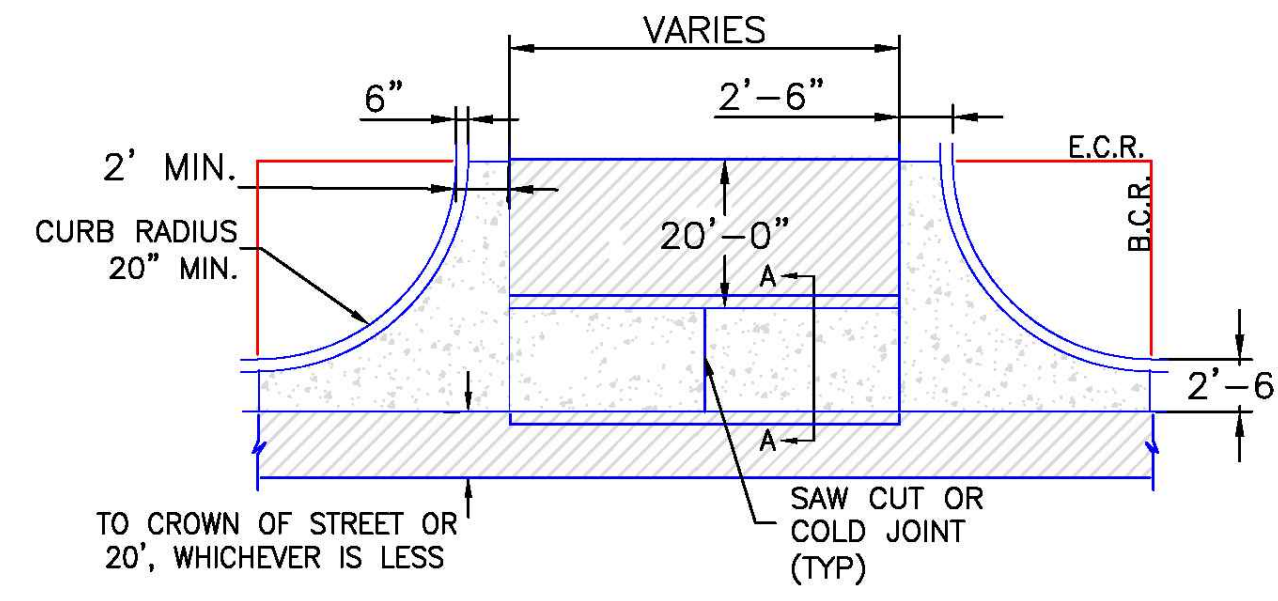
EPC TYPE A
(REVERSE SLOPE OF PAN FOR SPILL CURB)EPC TYPE B
(REVERSE SLOPE OF PAN FOR SPILL CURB)EPC TYPE C
(REVERSE SLOPE OF PAN FOR SPILL CURB)

EPC OPTIONAL TYPE C

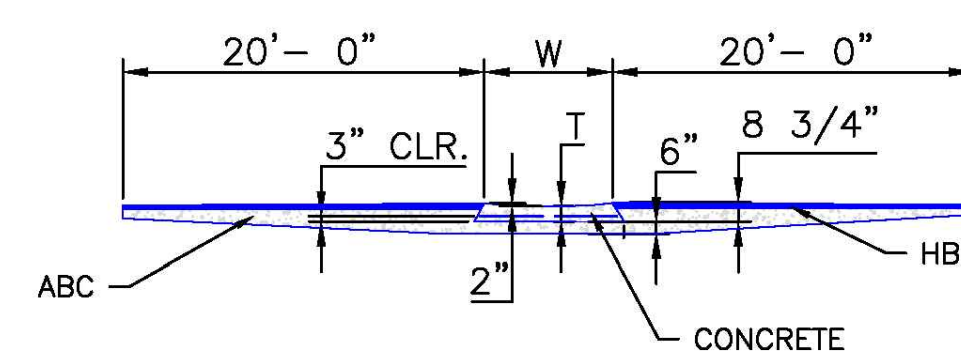
EPC TYPE D
(6" RAMP CURB)EPC TYPE E
(6" RAMP CURB)

SCALE: NOT TO SCALE

6/23/20	Typical Curb and Gutter Details		DEPARTMENT OF PUBLIC WORKS
DATE APPROVED: Jennifer E. Irvine	REVISION DATE: 6/23/20	FILE NAME: SD_2-20	



PLAN VIEW



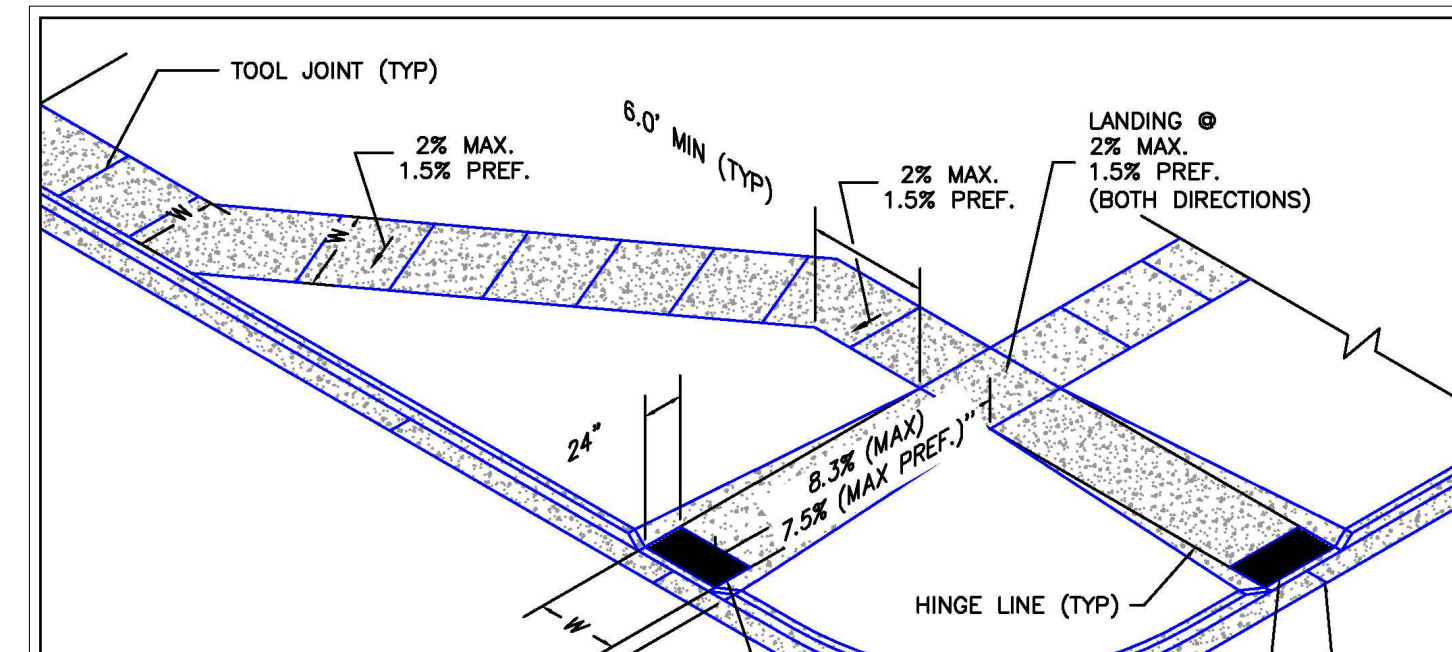
SECTION A-A

NOTES

- W - WIDTH SHALL BE 6' FOR LOCAL, 8' FOR COLLECTORS, AND 10' FOR ARTERIAL ROADS.
- T - SLOPED-OFF RETURN TO BE POURED MONOLITHICALLY, 8" PCC FOR LOCAL ROADS, 9" FOR COLLECTORS WITH 6x6 - 4.4 W.W.F. OR #4 REINFORCING BAR @ 18" EACH WAY.
- 3" MINIMUM ASPHALT DEPTH (2 LIFTS).
- DESIGN TO SPECIFY ELEVATIONS AT PI AND PCR.

SCALE: NOT TO SCALE

8/11/11	Typical Cross Plan Layout Detail		EL PASO COUNTY
DATE APPROVED: André P. Brackin	REVISION DATE: 12/8/15	FILE NAME: SD_2-26	DEPARTMENT OF TRANSPORTATION



W= SAME WIDTH AS THE APPROACHING SIDEWALK, BUT NOT LESS THAN 4.0 FEET

PEDESTRIAN RAMP NOTES

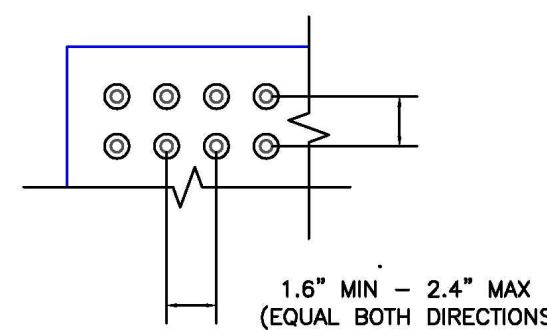
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT ENGINEERING CRITERIA MANUAL AND ADA REQUIREMENTS.
- CONTRACTOR TO NOTIFY ENGINEERING DIVISION INSPECTION STAFF 48 HOURS PRIOR TO CONCRETE PLACEMENT.
- PEDESTRIAN CURB RAMP CONSTRUCTION SHALL BE A MINIMUM 4,500 PSI CONCRETE, MINIMUM 4" THICK, NON-COLORED, NON-SCORED, COARSE BROOM FINISH.
- PEDESTRIAN CURB RAMP LOCATION AND LENGTH MAY REQUIRE MODIFICATION TO MAINTAIN THE 8.3% MAXIMUM RUNNING RAMP SLOPE DUE TO STREET INTERSECTION GRADES AND/OR ALIGNMENTS. SEE EGM SECTION 6.3.5 FOR PEDESTRIAN PUSHBUTTON LOCATION REQUIREMENTS.
- DETECTABLE WARNING SURFACE SHALL START A MINIMUM OF 6" BUT NOT MORE THAN 8" FROM THE FLOWLINE OF THE CURB AT ANY POINT.
- DETECTABLE WARNING SURFACE SHALL BE PREFABRICATED, CAST IRON (OPTIMA NATURAL FINISH) AND IN ACCORDANCE WITH EGM CHAPTER 8 AND SD-2-42. THERMOPLASTIC TRUNCATED DOMES AND PAVERS WILL NOT BE ACCEPTED.
- THE DETECTABLE WARNING SURFACE SHALL BE 24" IN LENGTH AND THE FULL WIDTH OF THE RAMP.
- PEDESTRIAN CURB RAMP WIDTH REQUIRED IS SAME AS APPROACHING SIDEWALK, 4' MINIMUM.
- ALL PEDESTRIAN CURB RAMPS WILL BE PERPENDICULAR TO TRAFFIC WITH THE EXCEPTION OF MID-BLOCK OR TERMINAL RAMPS WHICH MAY BE PARALLEL, SUBJECT TO APPROVAL.
- DRAINAGE STRUCTURES, TRAFFIC SIGNAL/BOXES, UTILITIES/JUNCTION BOXES, OR OTHER OBSTRUCTIONS WITHIN PROPOSED PEDESTRIAN CURB RAMP AREAS AND LANDINGS ARE PROHIBITED.
- THE COUNTER SLOPE OF THE GUTTER OR ROAD AT THE FOOT OF A RAMP SHALL NOT EXCEED 3%.

GENERAL NOTES

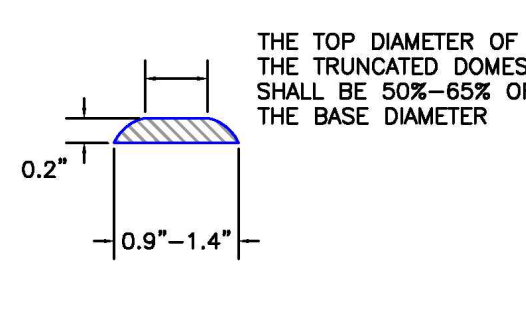
- WHERE THE 1'-6" FLARED SIDE(S) OF A PERPENDICULAR CURB RAMP IS (ARE) CONTIGUOUS WITH A PEDESTRIAN OR HARD SURFACE AREA (PEDESTRIAN CIRCULATION PATH), THE MAXIMUM FLARE SLOPE SHALL NOT EXCEED 10:1.
- PEDESTRIAN WALKWAY (PEDESTRIAN ACCESS ROUTE) AND/OR LOCATION OF EXISTING OR FUTURE PEDESTRIAN RAMPS ON OPPOSITE CORNERS SHALL BE REVIEWED BEFORE CONSTRUCTING NEW RAMPS.
- AT MARKED PEDESTRIAN CROSSINGS, THE BOTTOM OF THE RAMPS, EXCLUSIVE OF THE FLARE SIDES, SHALL BE TOTALLY CONTAINED WITHIN THE MARKINGS.

6/23/20	Pedestrian Curb Ramp Detail		DEPARTMENT OF PUBLIC WORKS
DATE APPROVED: Jennifer E. Irvine	REVISION DATE: 6/23/20	FILE NAME: SD_2-41	

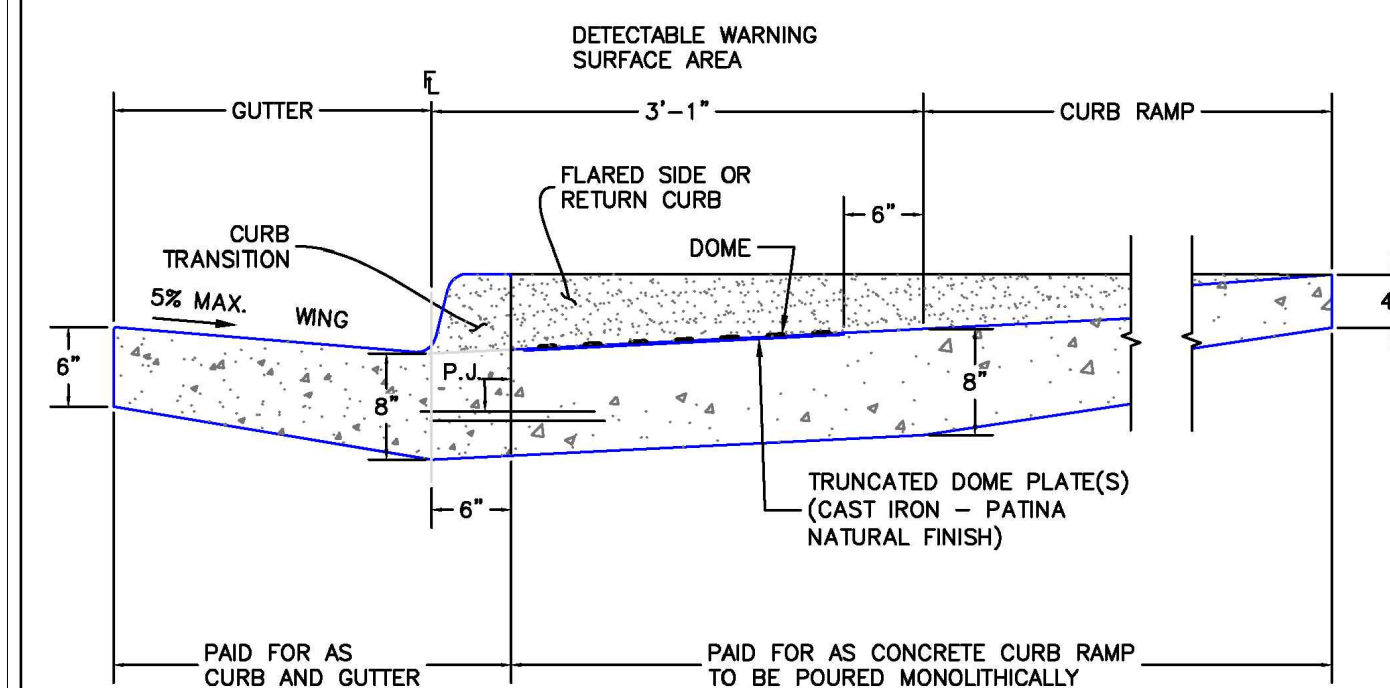
TRUNCATED DOME DETAILS



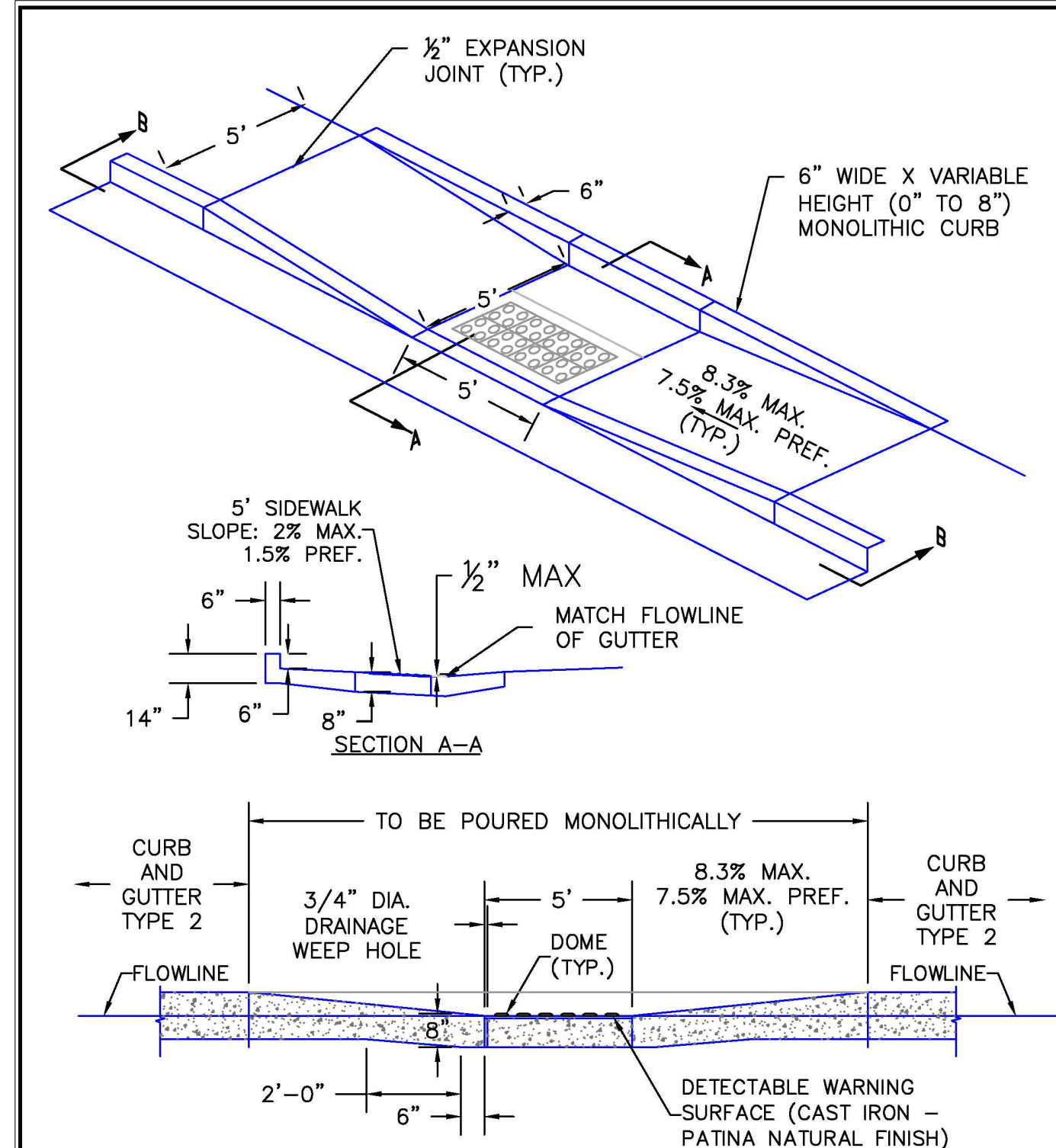
DOME SPACING



ELEVATION VIEW

SIDE CROSS SECTION VIEW OF
DETECTABLE WARNING SURFACE, CURB AND GUTTER

6/23/20	Detectable Warning Surface Details		DEPARTMENT OF PUBLIC WORKS
DATE APPROVED: Jennifer E. Irvine	REVISION DATE: 6/23/20	FILE NAME: SD_2-42	



SECTION B-B

SCALE: NOT TO SCALE

6/23/20	Parallel Pedestrian Curb Ramp Detail		DEPARTMENT OF PUBLIC WORKS
DATE APPROVED: Jennifer E. Irvine	REVISION DATE: 6/23/20	FILE NAME: SD_2-50	

Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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SUNSET VILLAGE VIEW, LLC.

487 WINDCHIME PL. STE. #300

SUNSET VILLAGE VIEW, LLC.

SUNSET VILLAGE FIL. NO. 4

JAYHAW AVENUE AND REDTAIL DRIVE

EL PASO COUNTY, COLORADO

CLIENT

DATE

12/03/2021

A

1st SUBMITTAL TO EPC

B

2nd SUBMITTAL TO EPC

C

3rd SUBMITTAL TO EPC

D

4th SUBMITTAL TO EPC

E

5th SUBMITTAL TO EPC

F

6th SUBMITTAL TO EPC

G

7th SUBMITTAL TO EPC

H

8th SUBMITTAL TO EPC

I

9th SUBMITTAL TO EPC

J

10th SUBMITTAL TO EPC

K

11th SUBMITTAL TO EPC

L

12th SUBMITTAL TO EPC

M

13th SUBMITTAL TO EPC

N

14th SUBMITTAL TO EPC

O

15th SUBMITTAL TO EPC

P

16th SUBMITTAL TO EPC

Q

17th SUBMITTAL TO EPC

R

18th SUBMITTAL TO EPC

S

19th SUBMITTAL TO EPC

T

20th SUBMITTAL TO EPC

U

21st SUBMITTAL TO EPC

V

22nd SUBMITTAL TO EPC

W

23rd SUBMITTAL TO EPC

X

24th SUBMITTAL TO EPC

Y

25th SUBMITTAL TO EPC

Z

26th SUBMITTAL TO EPC

AA

27th SUBMITTAL TO EPC

AB

28th SUBMITTAL TO EPC

AC

29th SUBMITTAL TO EPC

AD

30th SUBMITTAL TO EPC

AE

31st SUBMITTAL TO EPC

AF

32nd SUBMITTAL TO EPC

AG

33rd SUBMITTAL TO EPC

AH

34th SUBMITTAL TO EPC

AI

35th SUBMITTAL TO EPC

AJ

36th SUBMITTAL TO EPC

AK

37th SUBMITTAL TO EPC

AL

38th SUBMITTAL TO EPC

AM

39th SUBMITTAL TO EPC

AN

40th SUBMITTAL TO EPC

AO

41st SUBMITTAL TO EPC

AP

42nd SUBMITTAL TO EPC

AQ

43rd SUBMITTAL TO EPC

AR

44th SUBMITTAL TO EPC

AS

45th SUBMITTAL TO EPC

AT

46th SUBMITTAL TO EPC

AU

47th SUBMITTAL TO EPC

AV

48th SUBMITTAL TO EPC

AW

49th SUBMITTAL TO EPC

AX

50th SUBMITTAL TO EPC

AY

51st SUBMITTAL TO EPC

AZ

52nd SUBMITTAL TO EPC

BA

53rd SUBMITTAL TO EPC

BB

54th SUBMITTAL TO EPC

BC

55th SUBMITTAL TO EPC

BD

56th SUBMITTAL TO EPC

BE

57th SUBMITTAL TO EPC

BF

58th SUBMITTAL TO EPC

BG

59th SUBMITTAL TO EPC

BH

60th SUBMITTAL TO EPC

BI

61st SUBMITTAL TO EPC

BJ

62nd SUBMITTAL TO EPC

BK

63rd SUBMITTAL TO EPC

BL

64th SUBMITTAL TO EPC

BM

65th SUBMITTAL TO EPC

BN

66th SUBMITTAL TO EPC

BO

67th SUBMITTAL TO EPC

BP

68th SUBMITTAL TO EPC

BQ

69th SUBMITTAL TO EPC

BR

70th SUBMITTAL TO EPC

BS

71st SUBMITTAL TO EPC

BT

72nd SUBMITTAL TO EPC

BU

73rd SUBMITTAL TO EPC

BV

74th SUBMITTAL TO EPC

BW

75th SUBMITTAL TO EPC

BX

76th SUBMITTAL TO EPC

BY

77th SUBMITTAL TO EPC

BZ

78th SUBMITTAL TO EPC

CA

79th SUBMITTAL TO EPC

CB

80th SUBMITTAL TO EPC

CC

81st SUBMITTAL TO EPC

CD

82nd SUBMITTAL TO EPC

CE

83rd SUBMITTAL TO EPC

CF

84th SUBMITTAL TO EPC

CG

85th SUBMITTAL TO EPC

CH

86th SUBMITTAL TO EPC

CI

87th SUBMITTAL TO EPC

CJ

88th SUBMITTAL TO EPC

CK

89th SUBMITTAL TO EPC

CL

90th SUBMITTAL TO EPC

CM