

HORSESHOE SMALL LOT PUD DEVELOPMENT PLAN

LOT 29, HORSESHOE RANCHEROS,
CITY OF COLORADO SPRINGS, EL PASO, COLORADO

LEGAL DESCRIPTION:

LOT 29, HORSESHOE RANCHEROS FILING NO. 1
LEGAL DESCRIPTION PLAT AND DEVELOPMENT PLAN)

A PARCEL OF LAND IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER (NW 1/4 NW 1/4) OF SECTION 8, T13S, R65W OF THE 6TH P.M., EL PASO COUNTY, COLORADO, BEING LOT 29, "HORSESHOE RANCHEROS FILING NO 1" AS RECORDED IN PLAT BOOK E-2 AT PAGE 66 OF THE EL PASO COUNTY RECORDS, TOGETHER WITH THE EASTERLY HALF OF THE VACATED ADJACENT RIGHT-OF-WAY OF HORSESHOE ROAD VACATED BY ORDINANCE 07-150 RECORDED UNDER RECEPTION NO. 208014995, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE CENTERLINE OF VACATED HORSESHOE ROAD;
THENCE N00°09'37"E ALONG SAID CENTERLINE, 253.82 FEET TO A POINT ON THE WESTERLY EXTENSION OF THE SOUTH LINE OF LOT 30, "HORSESHOE RANCHEROS FILING NO 1" AT ITS INTERSECTION WITH SAID CENTERLINE;
THENCE N89°20'16"E ALONG THE SOUTH LINE THEREOF, 573.38 FEET TO THE NORTHWEST CORNER OF THAT PARCEL CONVEYED BY SPECIAL WARRANTY DEED RECORDED UNDER RECEPTION NO. 205152281;
THENCE S88°29'39"E A DISTANCE OF 28.69 FEET;
THENCE S00°20'17"E A DISTANCE OF 360.53 FEET TO THE NORTHEAST CORNER OF LOT 28, "HORSESHOE RANCHEROS FILING NO 1";
THENCE S89°24'28"W ALONG THE NORTH LINE THEREOF, 574.56 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF HORSESHOE ROAD;
THENCE N00°47'56"E ALONG SAID LINE, 92.16 FEET;
THENCE N00°46'19"W ALONG SAID LINE, 14.92 FEET;
THENCE S89°25'15"W A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 214,516 SQUARE FEET (4.925 ACRES, MORE OR LESS).

BASIS OF BEARINGS:

A PORTION OF THE CENTERLINE OF VACATED HORSESHOE ROAD, BEING MONUMENTED AT SOUTH END WITH A NAIL AND WASHER STAMPED "PLS 25966" AND AT THE NORTH END OF SAID PORTION WITH A NAIL AND WASHER STAMPED "LS 25966", SAID LINE BEARS N00°09'37"W A DISTANCE OF 253.82 FEET.

BASIS OF BEARINGS:

THE NORTH LINE OF THE SUBJECT PROPERTY AS MONUMENTED AT THE WEST END OF THE LINE WITH A NO. 5 REBAR AND A 1.25" ORANGE CAP STAMPED "M&S CIVIL, PLS, 25966" AND AT THE EAST END WITH A NAIL AND WASHER STAMPED "PLS 34591". SAID LINE IS ASSUMED TO BEAR N89°20'16"E A DISTANCE OF 573.38 FEET.

BENCHMARK:

VERTICAL CONTROL VALUES ARE BASED ON FIMS MONUMENT "BL19". BL19 = 6883.4 U.S. SURVEY FEET.

ON-SITE BENCHMARK:

A MAG NAIL IN ASPHALT NEAR THE NW CORNER OF THE SITE, POINT NO. 4, ELEV = 6926.09.

FLOODPLAIN STATEMENT

THE FLOOD INSURANCE RATE MAP (FIRM) PANEL NO. 08041C0529G DATED DECEMBER 7, 2018, HAS BEEN EXAMINED AS IT RELATES TO THE SUBJECT PROPERTY. THE PROPERTY LIES WITHIN ZONE X, AREA OF MINIMAL FLOOD HAZARD.



SHEET INDEX:

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- 5 - PRELIMINARY UTILITY & PUBLIC FACILITY PLAN
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- 20 - DETAILS

SITE DATA:

OWNER/DEVELOPER: CHALLENGER HOMES
8605 EXPLORER DRIVE, SUITE 250
COLORADO SPRINGS, CO 80920
ATTN: NICOLE RENNER

APPLICANT:

HR GREEN DEVELOPMENT, LLC
7222 COMMERCE CENTER DRIVE, SUITE 220
COLORADO SPRINGS, CO 80919
ATTN: PHIL STUEPFERT, KEN HUHN

TAX ID NUMBER:

5308001032

MASTER PLAN:

WOODMEN HEIGHTS (IMPLEMENTED)

CONCEPT PLAN:

CPC MPA 06-00206, AS AMENDED)

CONCEPT PLAN NO:

HORSESHOE CONCEPT PLAN (SUBMITTED CONCURRENTLY)

EXISTING ZONING:

(PENDING)

EXISTING ZONING:

A AO (AGRICULTURAL -- AIRPORT OVERLAY)

PROPOSED ZONING:

PUD

EXISTING USE:

VACANT

PROPOSED USE:

SINGLE FAMILY RESIDENTIAL

TOTAL DEVELOPMENT AREA:

3.68 ACRES

DEVELOPMENT SCHEDULE:

SUMMER 2021

MAX BUILDING HEIGHT:

36' AS MEASURED 5' BELOW THE PEAK GABLE ROOF

DENSITY:

10.1 DU/AC (37 LOTS)

MINIMUM LOT DIMS:

32' X 40'

BUILDING COVERAGE:

18%

LOT COVERAGE:

46% IMPERVIOUS SURFACES

PROP ZONING BUILDING SETBACKS:

REAR: 5.0'

FRONT: 0'

SIDE: 5.0'

LANDSCAPE BUFFERS:

NORTH: 15'

SOUTH: 10'

EAST: 10'

WEST: NONE

HORSESHOE - PARKING TABLE				
MODEL	# MODELS	# CAR GARAGE	PROPOSED PARKING SPACE RATIO	REQUIRED PARKING SPACES
1949	13	2	0.25	3.25
1727	10	2	0.25	2.5
1108	9	2	0.25	2.25
1367	3	1	1.25	3.75
1494	2	1	1.25	2.5
TOTAL REQUIRED	37			14
			STANDARD STALLS	13
			ADA STALLS	2
			TOTAL PROVIDED	15

PROPOSED RATIOS:

0.25 SPACES FOR EACH TWO CAR GARAGE UNIT

1.25 SPACES FOR EACH ONE CAR UNIT

HORSESHOE - TRACT TABLE					
TRACT	USE	AREA (S.F)	AREA (ACRES)	MAINTENANCE	OWNERSHIP
A	ROADWAY, OPEN SPACE, PUBLIC ACCESS & IMPROVEMENTS & PRIVATE UTILITIES	6,637	0.15	OWNERS ASSOCIATION	OWNERS ASSOCIATION
B	ROADWAY, PUBLIC ACCESS & IMPROVEMENTS, PUBLIC/PRIVATE UTILITIES & PRIVATE DRAINAGE	27,077	0.62	OWNERS ASSOCIATION	OWNERS ASSOCIATION
C	ROADWAY, PUBLIC ACCESS & IMPROVEMENTS, PUBLIC/PRIVATE UTILITIES & PRIVATE DRAINAGE	20,092	0.46	OWNERS ASSOCIATION	OWNERS ASSOCIATION
D	OPEN SPACE, PUBLIC ACCESS & IMPROVEMENTS & PUBLIC UTILITIES	25,424	0.58	OWNERS ASSOCIATION	OWNERS ASSOCIATION
E	OPEN SPACE & PRIVATE DRAINAGE	13,983	0.32	OWNERS ASSOCIATION	OWNERS ASSOCIATION
F	OPEN SPACE, PUBLIC ACCESS & IMPROVEMENTS & PRIVATE UTILITIES	14,319	0.33	OWNERS ASSOCIATION	OWNERS ASSOCIATION
	RIGHT OF WAY DEDICATION	1,504	0.03	CITY	CITY
TOTAL SITE AREA			3.68		
TOTAL OPEN SPACE (D,E,F)		53,725	1.23	34%	of site
TOTAL OPEN SPACE EXCLUDING DETENTION (D & F)		39,742	0.91	25%	of site
REQ. OPEN SPACE (600 S.F. PER LOT)		22,200	0.51		

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7222 COMMERCE CENTER DR. SUITE 220
COLORADO SPRINGS CO 80919
PHONE: 719.622.6222
FAX: 844.273.1057

CHALLENGER HOMES
CHALLENGER HOMES
COLORADO SPRINGS, COLORADO



SMALL LOT PUD DEVELOPMENT PLAN
COVER SHEET

SHEET
CV
1

LAND USE REVIEW FILE NO: CPC PUD 21-00018

CITY APPROVAL:



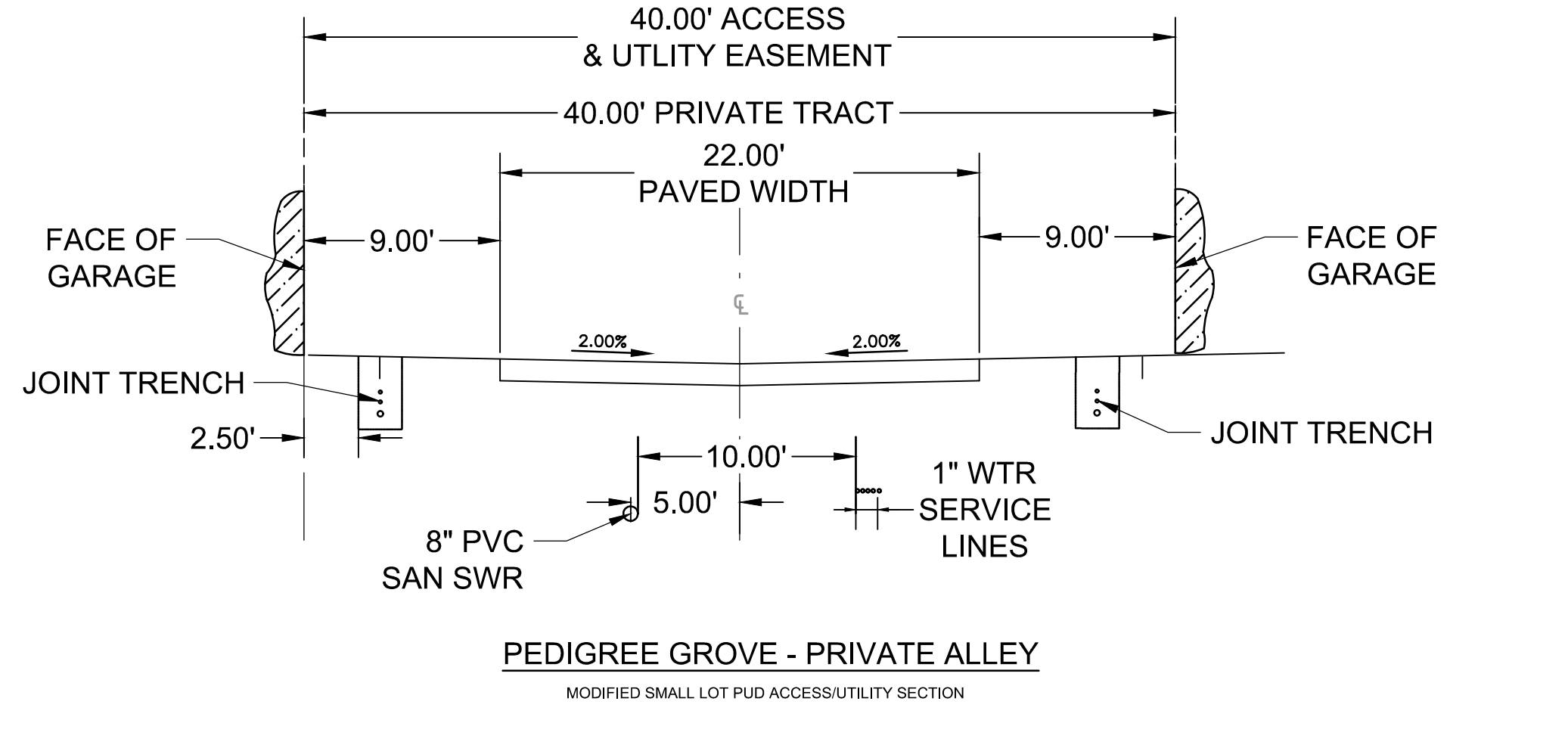
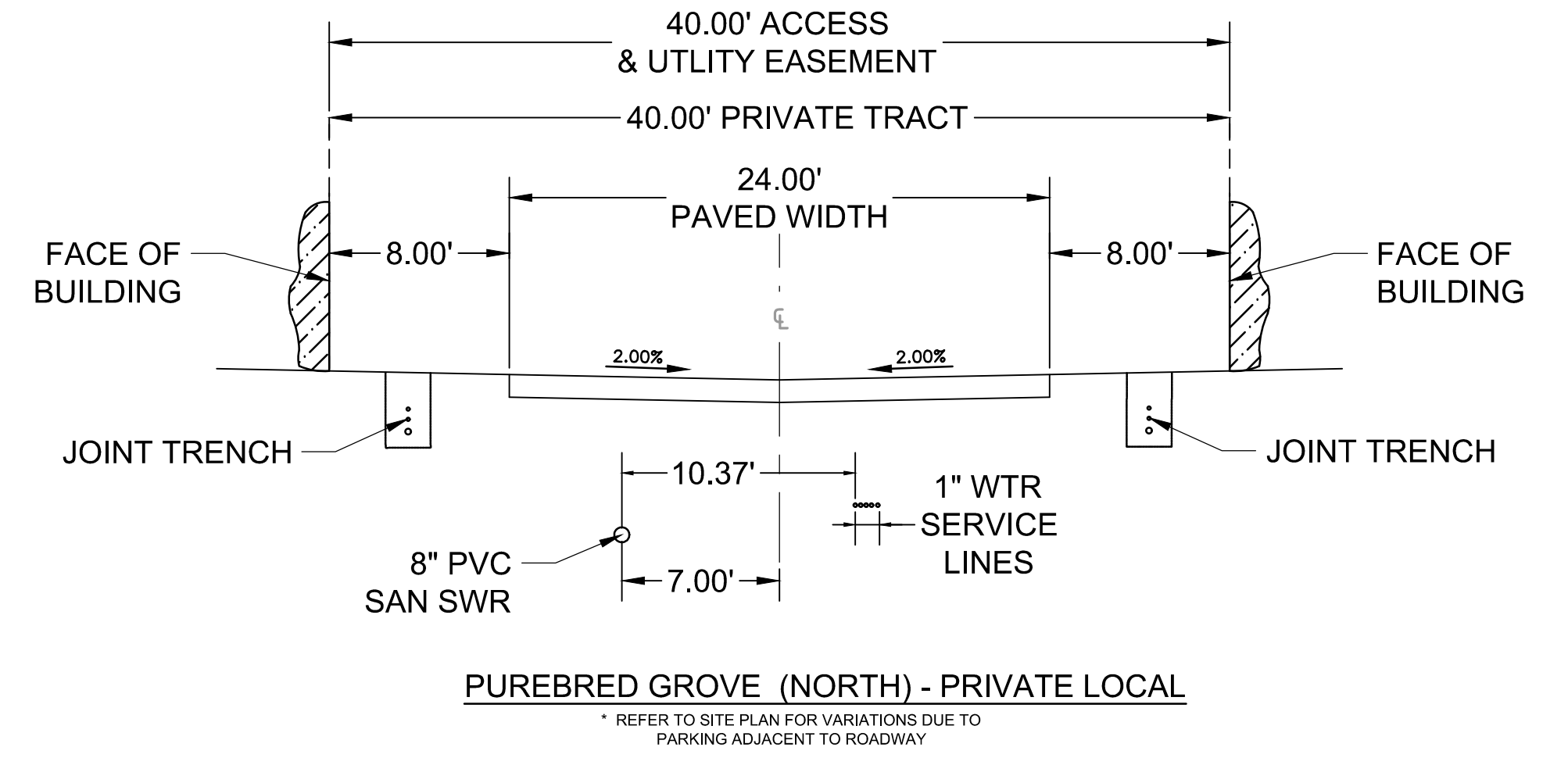
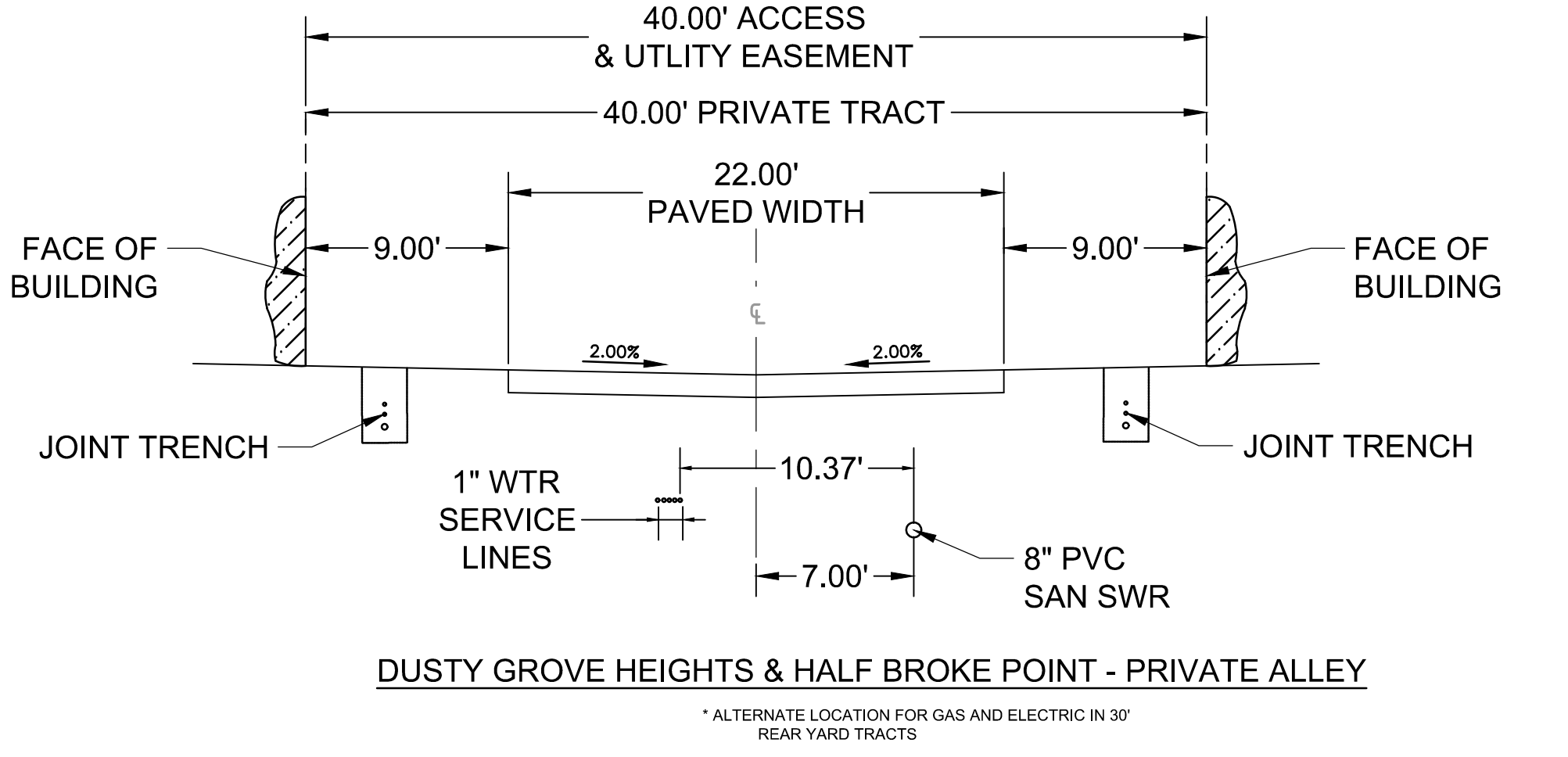
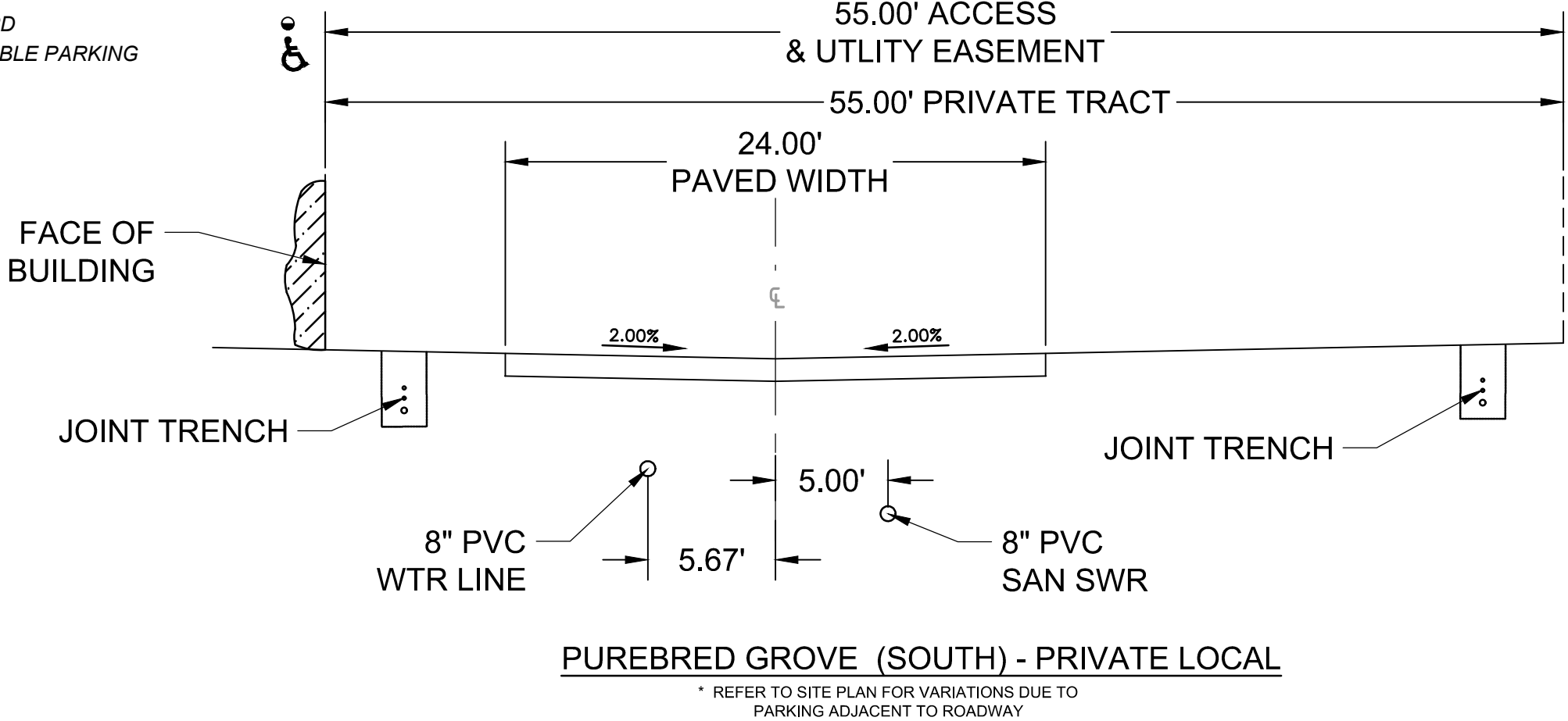
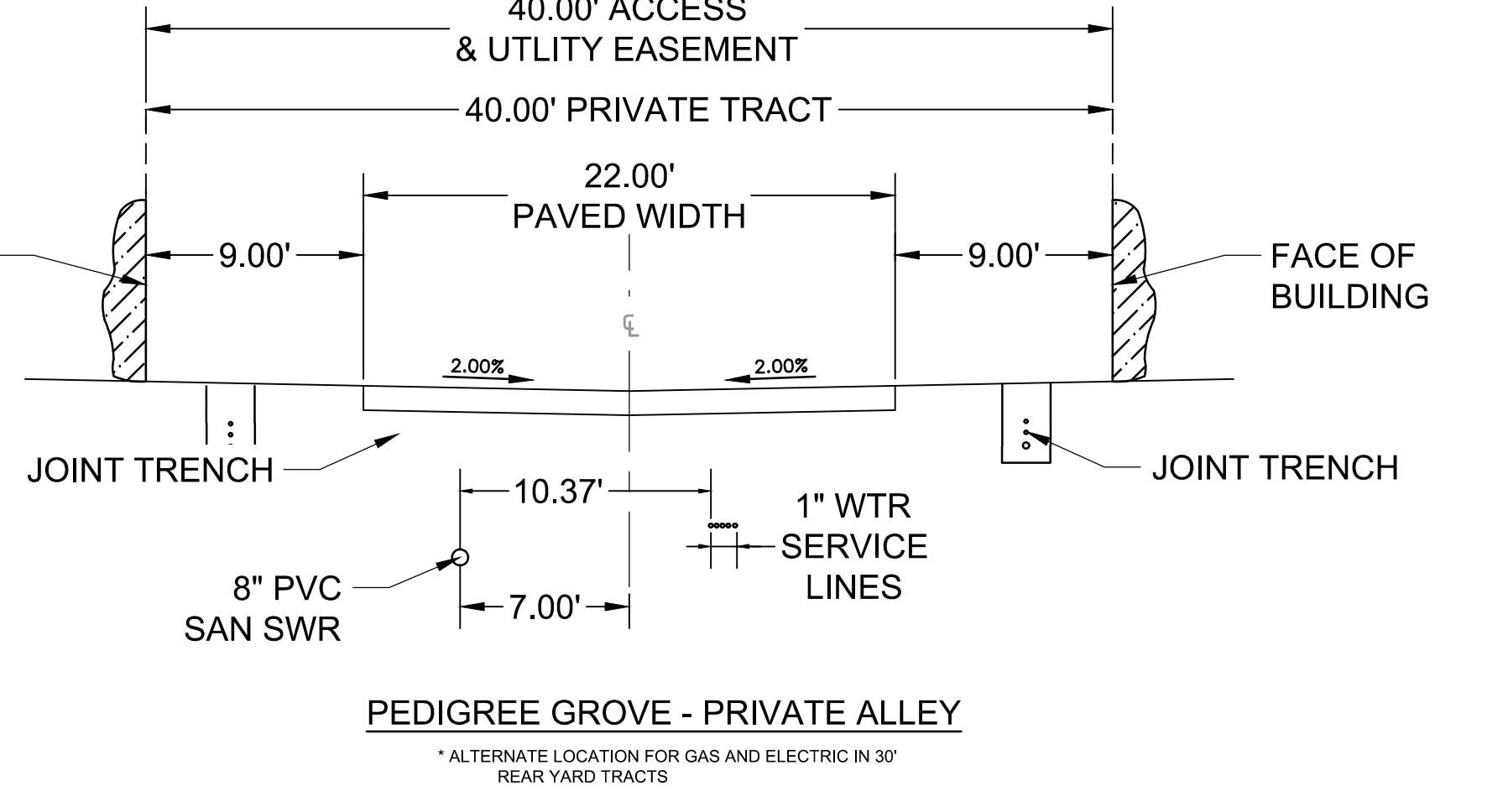
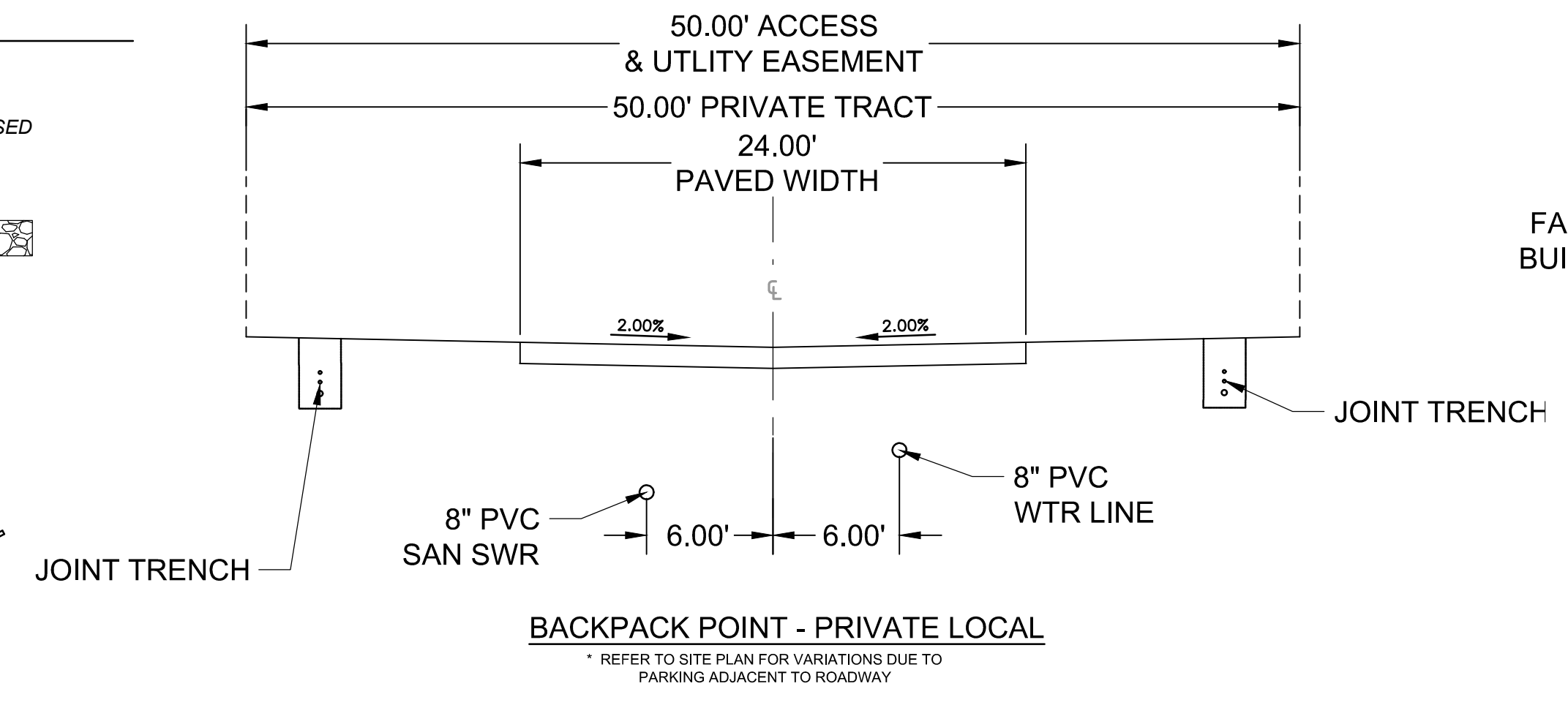
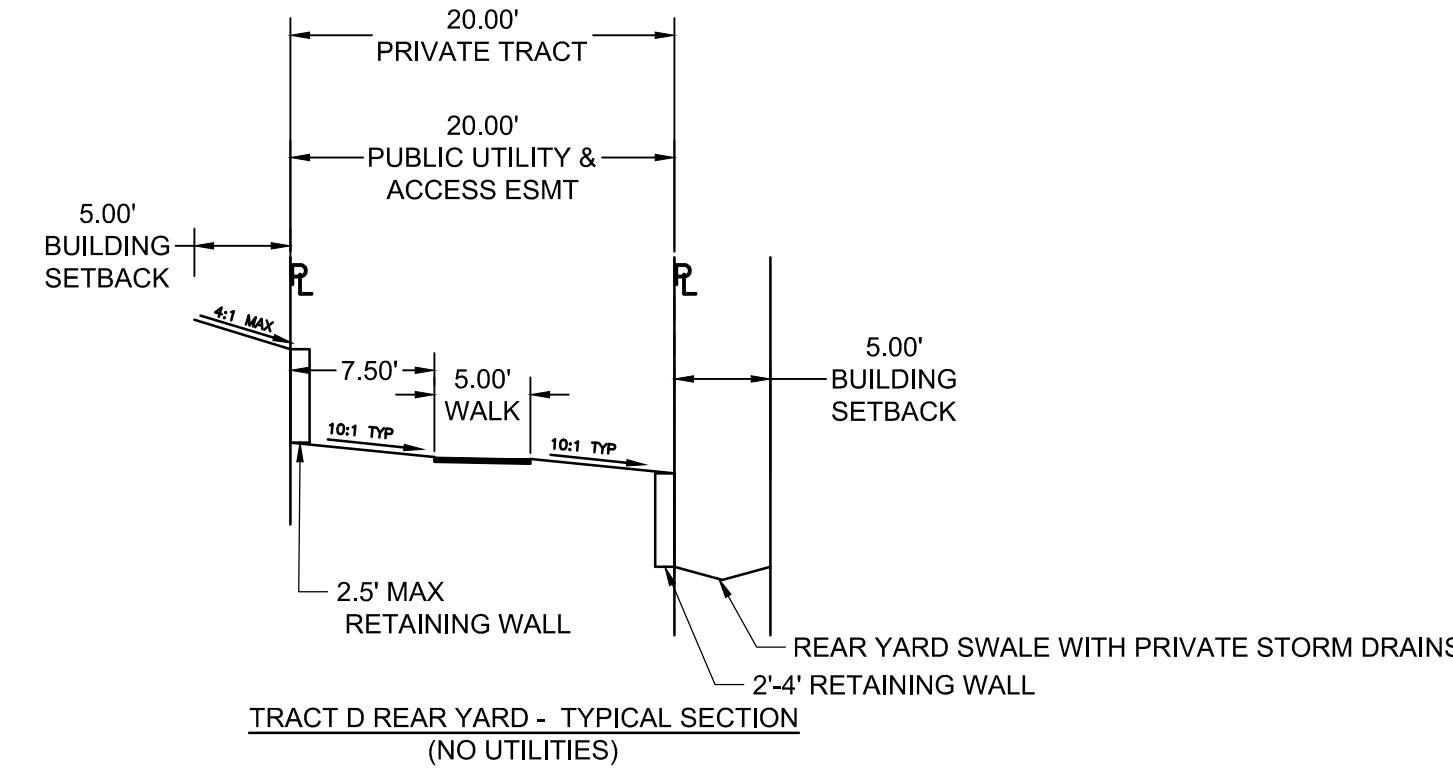
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LEGEND

	EXISTING	PROPOSED
MATCH LINE		
PHASE LINE		
SECTION LINE		
PROPERTY LINE		
EASEMENT LINE		
RIGHT OF WAY		
CENTERLINE		
CHAIN LINK FENCE		
WOODEN FENCE		
ROD IRON FENCE		
GUARDRAIL		
CABLE TV		
U.G. ELECTRIC		
OVERHEAD ELECTRIC		
FIBER OPTIC		
GAS MAIN		
SANITARY SEWER		
STORM DRAIN		
TELEPHONE		
WATER MAIN		
SWALE		
TRAIL		
CURB & GUTTER		
DRAINAGE BASIN		
INDEX CONTOUR		
INTER. CONTOUR		
100-YR FLOODPLAIN		
FLOODWAY		
EDGE OF WETLANDS		
DRAINAGE		
DRAINAGE BASIN		
BASIN TAG		
DESIGN POINT		

STORM SEWER	EXISTING	PROPOSED
MANHOLE		
STORM INLET		
FLARED END SECTION		
RIPRAP		
SANITARY SEWER		
CLEAN OUT		
MANHOLE PLUG		
WATER		
FIRE HYDRANT		
FIRE DEPT. CONNECTION		
GATE VALVE		
MANHOLE		
METER		
TEE		
REDUCER		
DRY UTILITIES		
ELECTRIC METER		
ELECTRIC PEDESTAL		
ELECTRICAL CABINET		
ELECTRIC VAULT		
FIBER OPTIC PULL BOX		
FIBER OPTIC MANHOLE		
FIBER OPTIC PEDESTAL		
FIBER OPTIC SIGN		
FIBER OPTIC VAULT		
GAS METER		
GAS SIGN		
GAS VAULT		
TELEPHONE CABINET		
TELEPHONE MANHOLE		
TELEPHONE SIGNAL/MAST		
TELEPHONE SIGN		
TELEPHONE PEDESTAL		
TRANSFORMER		
LIGHT POLE		
FIBER OPTIC VAULT		

MISCELLANEOUS
SIGN
BOLLARD
ACCESSIBLE PARKING



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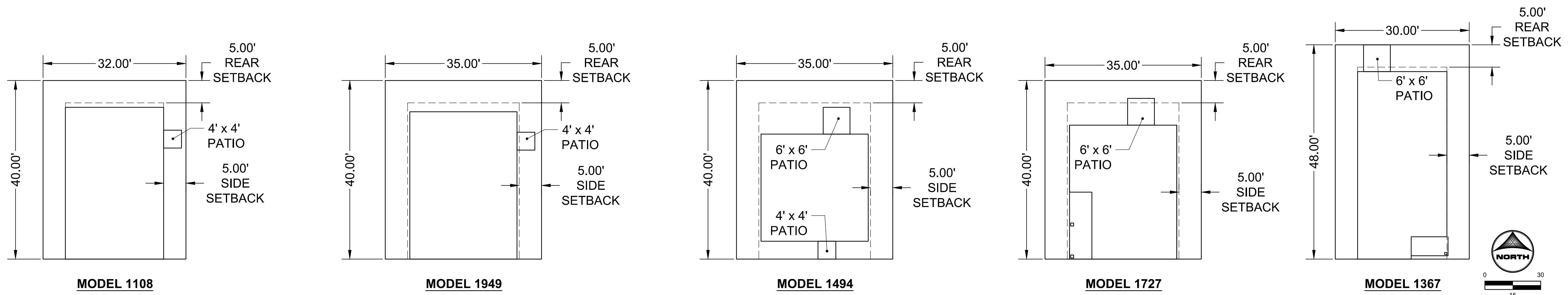
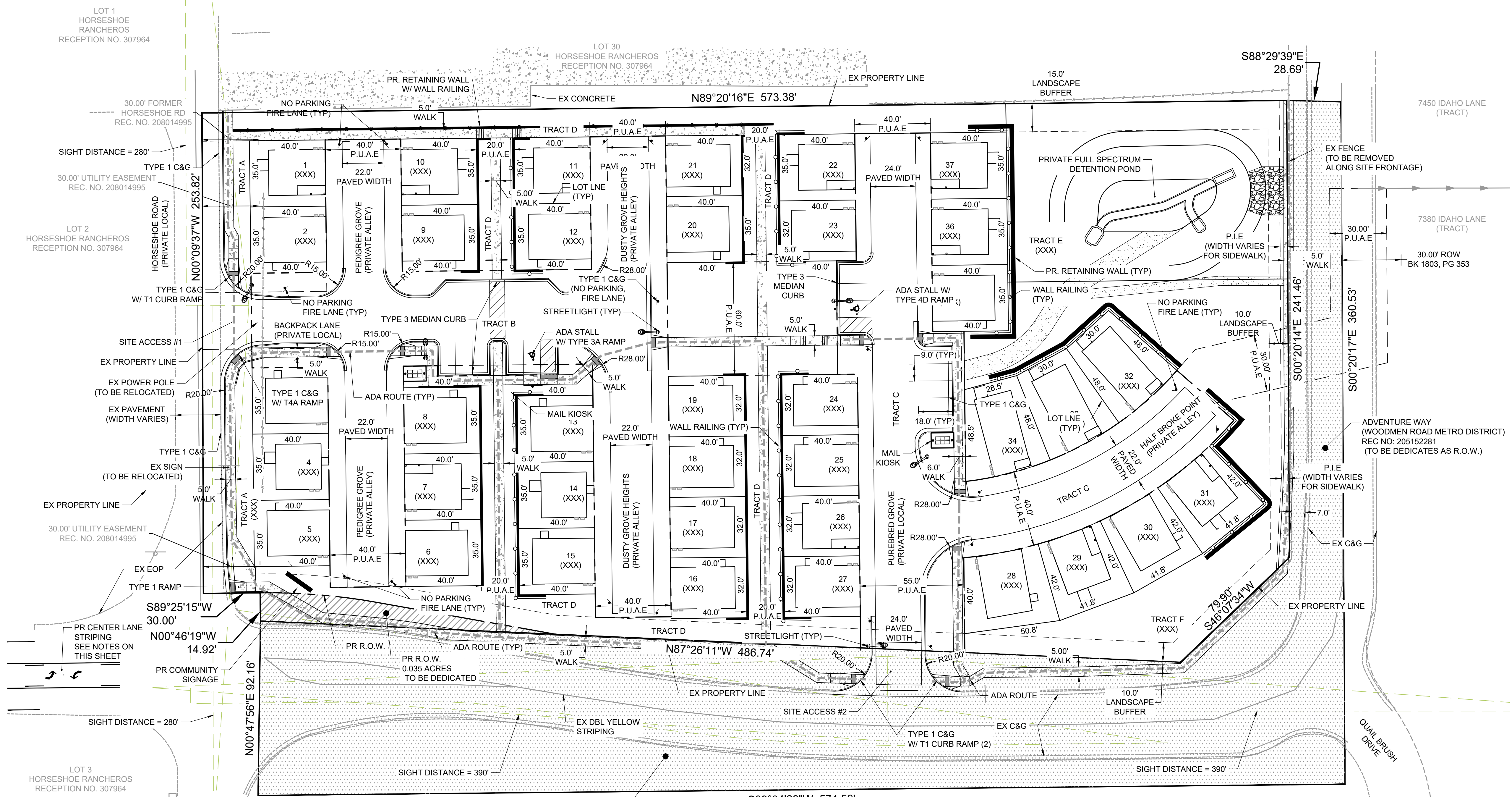
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CHALLENGER HOMES
 HORSESHOE
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO

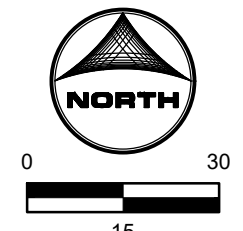
SMALL LOT PUD DEVELOPMENT PLAN
 LEGEND & TYPICAL SECTIONS
 SHEET LG 2

- SITE PLAN NOTES:**
- SEE SHEET 4 FOR EXISTING AND PROPOSED CONTOURS.
 - MINIMUM DRIVEWAY LENGTH = 3.0'
 - ALL PROPOSED ROADWAY AND PARKING AREAS TO BE ASPHALT PAVED.
 - REQUIRED PUBLIC IMPROVEMENTS:
 - 5.0' DETACHED WALK ALONG ADVENTURE WAY
 - TYPE 1 C&G W/ ATTACHED 5.0' WALK ALONG HORSESHOE ROAD
 - FULL LIMITS OF STRIPING IMPROVEMENTS ALONG ADVENTURE WAY TO BE DETAILED IN FORTHCOMING PUBLIC IMPROVEMENT PLANS.

ABBREVIATIONS:
 P.I.E - PUBLIC IMPROVEMENTS EASEMENT
 P.U.A.E - PUBLIC UTILITY & ACCESS EASEMENT



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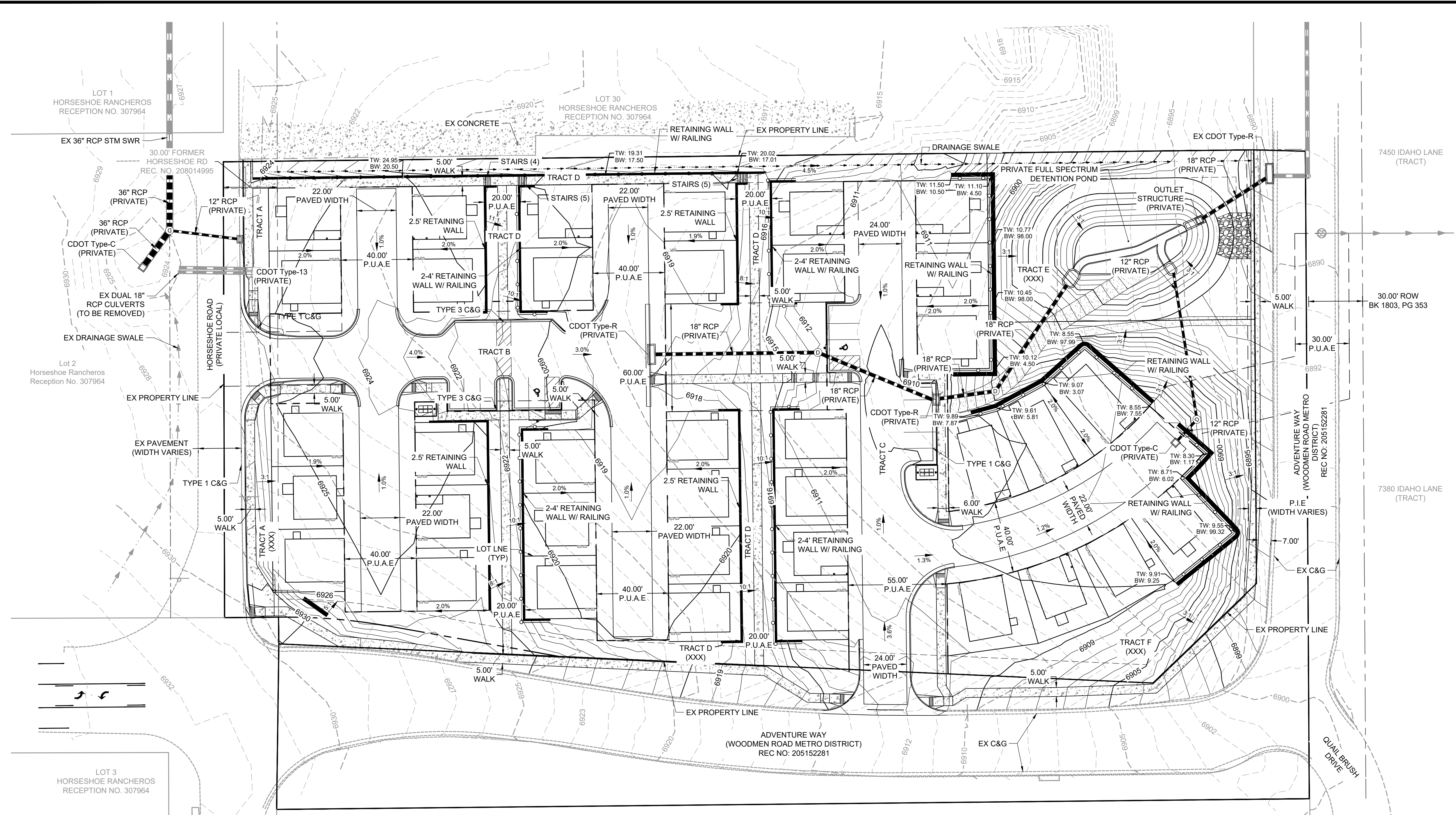
SMALL LOT PUD DEVELOPMENT PLAN
 SITE PLAN
 SHEET SP 3

GRADING PLAN NOTES:

- SEE UTILITY AND PUBLIC FACILITY PLAN FOR UTILITY LOCATIONS.
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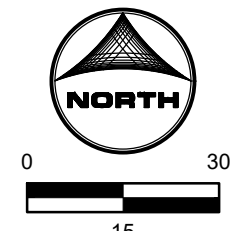
ABBREVIATIONS:

EL - ELEVATION (FLOWLINE)
 TW - TOP OF WALL
 BW - BOTTOM OF WALL
 FG - FINISHED GRADE
 HP - HIGH POINT
 LP - LOW POINT
 TBC - TOP BACK OF CURB



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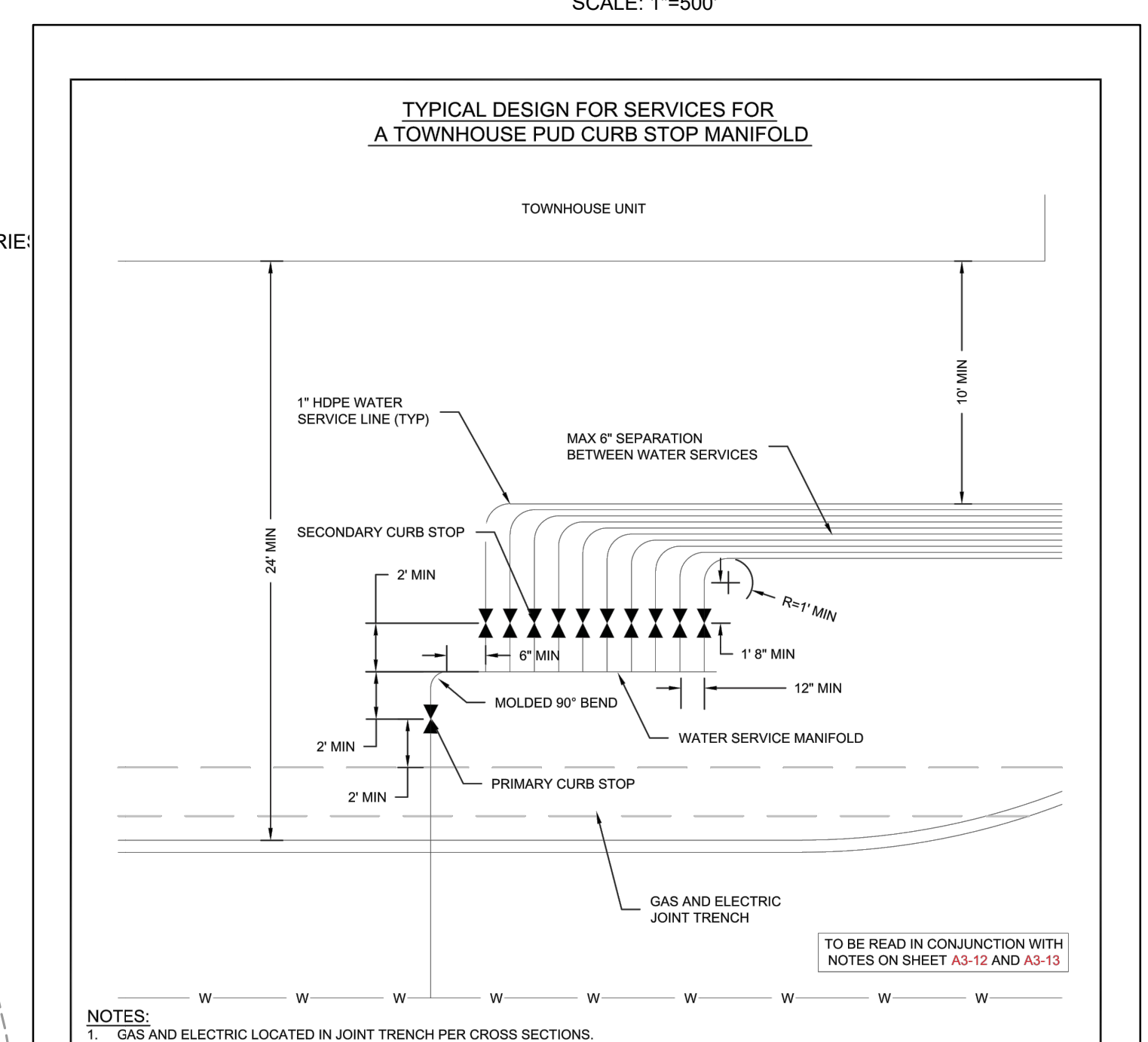
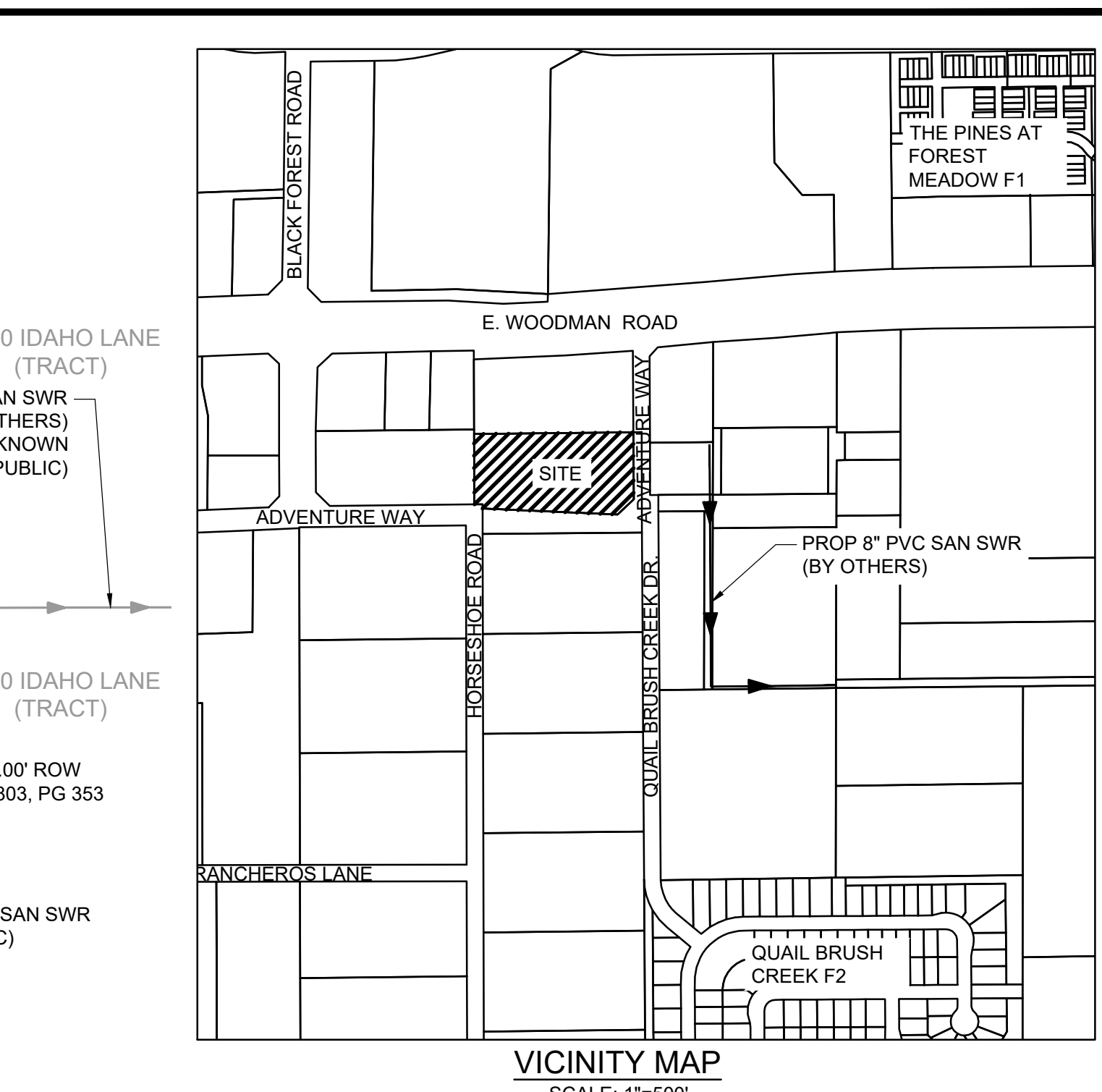
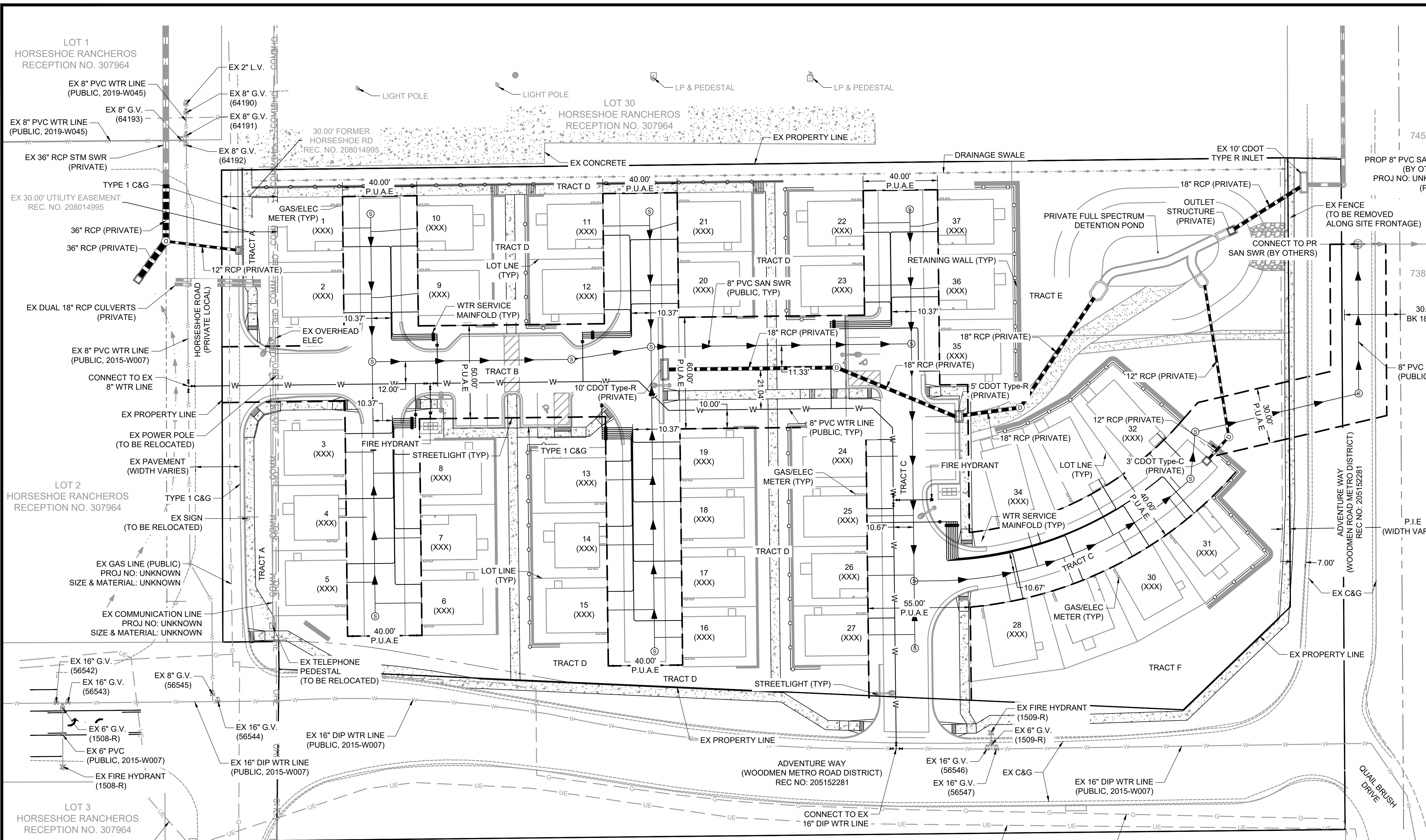
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HORSESHOE
CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO

SMALL LOT PUD DEVELOPMENT PLAN
 PRELIMINARY GRADING PLAN

SHEET **GR** **4**

HUHN, KEN, 4/23/2021 3:04 PM
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GENERAL NOTES

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S

RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS. OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.

- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES,

REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

UTILITY AND PUBLIC FACILITY PLAN NOTES:

- ALL PROPOSED STORM SEWER IS PRIVATE.
- ALL PROPOSED WATER AND SEWER MAIN EXTENSIONS ARE PUBLIC.

ABBREVIATIONS:
P.U.A.E. - PUBLIC UTILITY AND ACCESS EASEMENT
P.I.E. - PUBLIC IMPROVEMENTS EASEMENT

NOTES:

- GAS AND ELECTRIC LOCATED IN JOINT TRENCH PER CROSS SECTIONS.
- THE MINIMUM HORIZONTAL CLEARANCE BETWEEN THE WATER SERVICE AND GAS OR ELECTRIC SERVICE LINE MUST BE 3 FEET.
- THE MINIMUM HORIZONTAL CLEARANCE BETWEEN THE WATER SERVICE AND THE WASTEWATER MAIN SHALL BE 10 FEET.
- WATER SERVICE LINE AND MANIFOLD SHALL BE COPPER OR HDPE FROM THE WATER MAIN TO THE SECONDARY CURB STOP.
- THE WATER SERVICE LINE SHALL BE HDPE FROM THE SECONDARY CURB STOP TO THE METER LOOP.
- THE WATER SERVICE LINE AND MANIFOLD SHALL BE THE SAME SIZE AND SHALL BE SIZED BY THE DESIGN ENGINEER FOR PEAK DAY DEMAND.
- THE WATER SERVICE LINES AND MANIFOLD SHALL BE A MAXIMUM DIAMETER OF 2 INCHES.
- THE PRIMARY CURB STOP SHALL BE LOCATED A MINIMUM OF 2 FEET FROM THE BACK OF CURB, EDGE OF ASPHALT AND CLOSEST EDGE OF THE JOINT TRENCH.
- SECONDARY CURB STOPS SHALL BE LOCATED A MINIMUM OF 6 FEET FROM THE BUILDING FOUNDATION WITH A FOOT MINIMUM CUT OFF WALL.
- WATER SERVICE LINES IN THE COMMON TRENCH SHALL BE SEPARATED BY A MAXIMUM HORIZONTAL DISTANCE OF 6 INCHES.
- HDPE SERVICE LINES WITHIN THE JOINT TRENCH SHALL BE SECURED WITH A RACK EVERY 10 FEET TO ENSURE SEPARATION OF SERVICES.
- MANIFOLD AND SERVICE LINE JOINT TRENCH SHALL BE EMBEDDED WITH WELL GRADED SAND A MINIMUM OF 4 INCHES BELOW AND 6 INCHES ABOVE THE WATER SERVICE LINE OUTER DIAMETER.
- CURB STOP LIDS SHALL BE MARKED WITH TOWNHOUSE ADDRESS.

TOWNHOUSE PUD WATER SERVICE LINE CURB STOP MANIFOLD

Colorado Springs Utilities
A3-17
DATED: 06/20/15

NO.	DATE	BY	REVISION DESCRIPTION

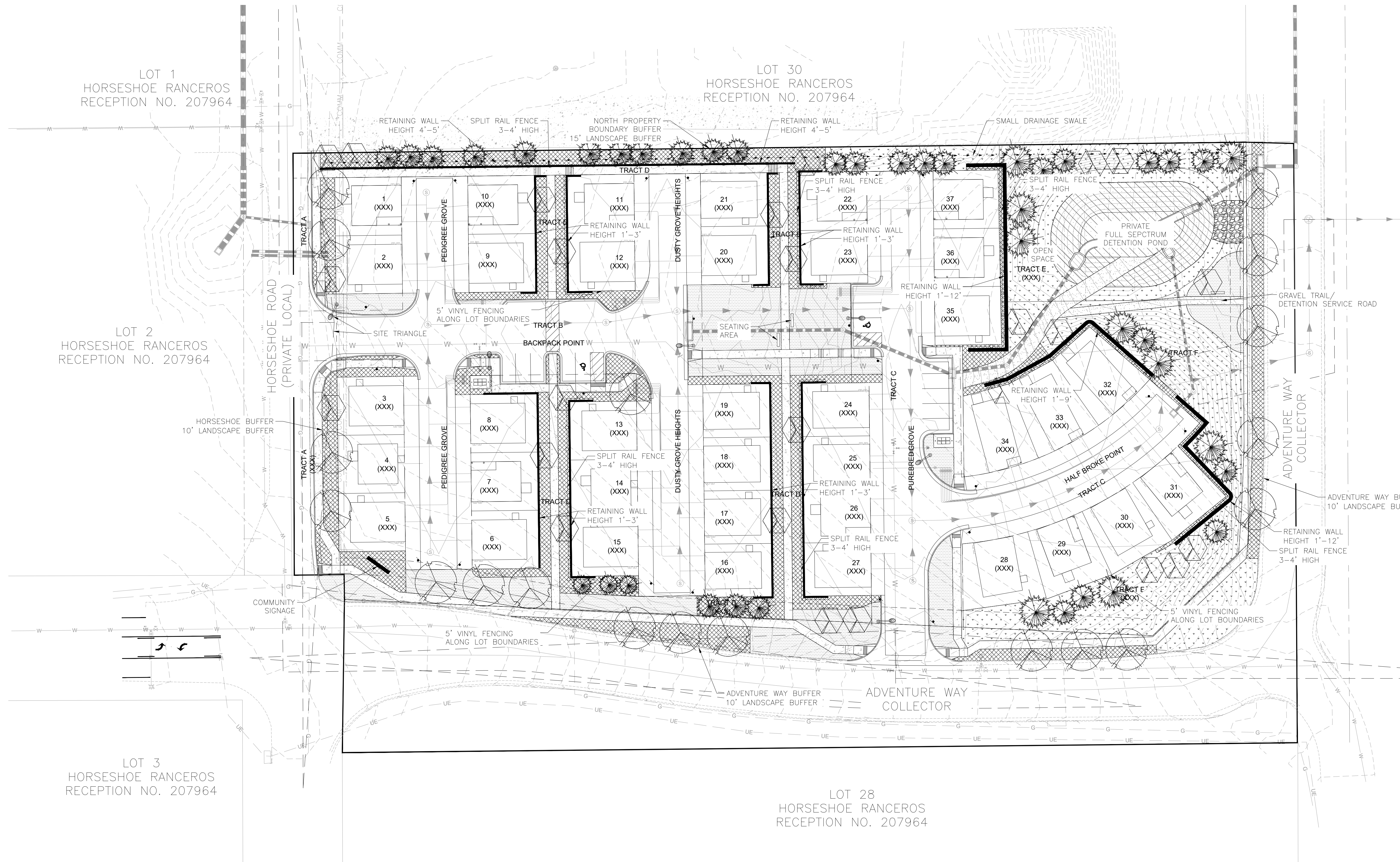
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CHALLENGER HOMES
SMALL LOT PUD DEVELOPMENT PLAN
PRELIMINARY UTILITY & PUBLIC FACILITY PLAN
COLORADO SPRINGS, COLORADO

LAND USE REVIEW FILE NO: CPC PUD 21-00018

CITY APPROVAL:

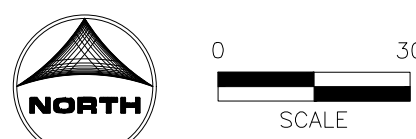
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	DECIDUOUS SHADE TREE
	EVERGREEN TREE
	DECIDUOUS ORNAMENTAL TREE

GROUND COVER LEGEND

	TURF SOD
	SHRUB BED
	LOW GROW NATIVE SEED
	WETLAND NATIVE SEED



- NOTES:
1. RETAINING WALLS (GRAVITY WALLS) ARE TO BE CONSTRUCTED OUT OF STONE BLOCK WITH TEXTURED FINISH AND COLORS TO MATCH DEVELOPMENT. SPECIFIC BLOCK AND COLORS ARE SUBJECT TO CHANGE AND WILL BE DETERMINED ON FINAL LANDSCAPE PLAN. SEE GENERAL RETAINING WALL HEIGHTS ABOVE.
 2. ALL LOTS ARE TO HAVE 6' HIGH PRIVACY FENCING OUT OF CEDAR PICKETS. MATERIAL AND HEIGHT ARE SUBJECT TO CHANGE BASED ON FINAL LANDSCAPE PLAN.
 3. IT SHALL BE THE HOMEOWNERS RESPONSIBILITY TO MAINTAIN LANDSCAPING WITHIN LOT BOUNDARIES. ALL LANDSCAPING OUTSIDE OF LOTS SHALL BE THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION.

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NO.	DATE	BY	REVISION DESCRIPTION

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CHALLENGER HOMES
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO

PRELIMINARY LANDSCAPE PLAN
 PRELIMINARY LANDSCAPE PLAN

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GENERAL LANDSCAPE NOTES

- BASE MAP INFORMATION IS ACCURATE AS OF THE DATE PRINTED ON THIS PACKAGE.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING AWARE OF AND FIELD VERIFYING ALL RELATED EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR CONTACTING THE MUNICIPAL PUBLIC WORKS DEPARTMENT, THE COUNTY AND ANY OTHER PUBLIC OR PRIVATE AGENCIES NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF APPARENT CONFLICTS WITH CONSTRUCTION AND UTILITIES SO THAT ADJUSTMENTS CAN BE PLANNED PRIOR TO INSTALLATION. IF FIELD ADJUSTMENTS ARE NECESSARY DUE TO EXISTING UTILITY LOCATIONS THEY MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY AND ALL COSTS OR OTHER LIABILITIES INCURRED DUE TO DAMAGE OF SAID UTILITIES/STRUCTURES/ETC.
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS. THE CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS APPARENT THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR CLARIFICATION. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL LIABILITIES, INCLUDING NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- THE CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL COMPLY WITH ALL CODES APPLICABLE TO THIS WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH SUBCONTRACTORS AND OTHER CONTRACTORS OF RELATED TRADES, AS REQUIRED, TO ACCOMPLISH THE PLANTING AND RELATED OPERATIONS.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL PLANT MATERIAL WITH THE INSTALLATION OF OTHER IMPROVEMENTS SUCH AS HARDSCAPE ELEMENTS AND RELATED STRUCTURES. ANY DAMAGE TO EXISTING IMPROVEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ALL AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED BY OPERATIONS OF OR RELATED TO THE CONTRACTOR'S WORK.
- ALL SURFACE DRAINAGE SHALL BE DIVERTED AWAY FROM STRUCTURES AND NOTED SITE FEATURES IN ALL AREAS AT A MINIMUM OF 2% SLOPE AS SHOWN ON THE CIVIL ENGINEERING PLANS. ALL AREAS SHALL POSITIVELY DRAIN AND ALL ISLANDS SHALL BE CROWNED 1" IN HEIGHT PER 1' IN ISLAND WIDTH.
- THE CONTRACTOR SHALL STAKE ALL IMPROVEMENTS AS NOTED ON THE FOLLOWING PLANS, AS WELL AS, TREE LOCATIONS AND THE PERIMETER OF SHRUB/PERENNIAL BEDS PRIOR TO INSTALLATION AND CONTACT THE OWNER'S REPRESENTATIVE FOR APPROVAL. FINAL LOCATION AND STAKING OF ALL IMPROVEMENTS SHALL BE ACCEPTED BY THE OWNER'S REPRESENTATIVE IN ADVANCE OF INSTALLATION.
- IF CONFLICTS ARISE BETWEEN THE SIZE OF AREAS AND PLANS, THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER'S REPRESENTATIVE FOR RESOLUTION PRIOR TO INSTALLATION.
- WHERE PROVIDED, AREA TAKEOFFS AND PLANT QUANTITY ESTIMATES IN THE PLANT LIST ARE FOR INFORMATION ONLY. THE CONTRACTOR IS RESPONSIBLE TO DO THEIR OWN QUANTITY TAKE-OFFS FOR ALL PLANT MATERIALS AND SIZES SHOWN ON PLANS. IN CASE OF ANY DISCREPANCIES, PLANS TAKE PRECEDENCE OVER CALL-OUTS AND/OR THE PLANT LIST(S).
- ALL PLANTS SHALL BE NURSERY GROWN PLANTS MEETING AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA) STANDARDS SET FORTH IN THE 'AMERICAN STANDARD FOR NURSERY STOCK' (ANSI Z60.1-LATEST EDITION). PLANTS ARE TO BE TYPICAL IN SHAPE AND SIZE FOR SPECIES. PLANTS PLANTED IN ROWS OR GROUPS SHALL BE MATCHED IN FORM. PLANT MATERIAL OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME SOURCE. PLANTS SHALL NOT BE ROOT-BOUND OR LOOSE IN THEIR CONTAINERS. HANDLE ALL PLANTS WITH CARE IN TRANSPORTING, PLANTING AND MAINTENANCE UNTIL INSPECTION AND FINAL ACCEPTANCE. FIELD COLLECTED, PARK GRADE, OR BARE ROOT MATERIAL SHALL NOT BE USED UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE.
- ALL PLANTING BED EDGES TO BE SHOVEL CUT.
- CONTRACTOR SHALL USE CAUTION WHEN DIGGING TREE PITS IN THE VICINITY OF UNDERGROUND UTILITY LINES AND MAY NEED TO HAND DIG THE PITS IN MANY OF THESE INSTANCES.
- ALL AREAS DESIGNED TO RECEIVE SOLID SOD SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO GRASSING OPERATIONS. FINISH GRADE AT TURF AREAS SHALL BE 3/4" - 1" BELOW TOP OF ADJACENT PAVEMENT OR CURBS.
- CONTRACTOR SHALL FIELD ADJUST PLANT LOCATIONS TO ACCOMMODATE ALL LIGHTING AND ENSURE PLANTS WILL NOT INTERFERE WITH LIGHTING.
- FERTILIZING, AS SPECIFIED, STAKING, WATERING AND ONE (2) YEAR PLANT WARRANTY FOR INSTALLED PLANT MATERIAL, SHALL BE CONSIDERED INCIDENTAL TO THE PLANT ITEMS.
- MUSHROOM COMPOST SHALL BE FINELY SCREENED, HOMOGENOUS, DECOMPOSED ORGANIC MATERIAL SUITABLE FOR HORTICULTURAL USE AS AVAILABLE FROM MIDWEST TRADING HORTICULTURAL SUPPLIES, INC. ST. CHARLES, IL 60174 (630) 365-1990 OR APPROVED EQUAL. MIX THOROUGHLY IN PLANT BED BEFORE INSTALLING PLANTS.
- WARRANTY: ONE (2) YEAR REPLACEMENT WARRANTY FOR ALL PLANT MATERIALS SHALL BE CONSIDERED INCIDENTAL TO THIS PROJECT. WARRANTY SHALL COVER PLANTS WHICH HAVE DIED OR PARTIALLY DIED (THEREBY RUINING THEIR NATURAL SHAPE), BUT SHALL NOT INCLUDE DAMAGE BY VANDALISM, BROWSING, HAIL, ABNORMAL FREEZES, DROUGHT OR NEGLIGENCE BY THE OWNER. THE WARRANTY IS INTENDED TO COVER CONTRACTOR NEGLIGENCE, INFESTATIONS, DISEASE AND DAMAGE OR SHOCK TO PLANTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND WATERING THE PLANT MATERIAL AS NECESSARY, TO ENSURE GROWTH AND ESTABLISHMENT DURING THE 2-YEAR WARRANTY PERIOD. ANY PLANTS THAT ARE NOT IN A LIVE, HEALTHY, GROWING CONDITION AT THE END OF THE 2-YEAR WARRANTY PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. PLANTS REPLACED UNDER WARRANTY WILL BE WARRANTED FOR ONE (2) YEAR FOLLOWING REPLACEMENT.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE. OF TRACT AREAS SHALL BE THE RESPONSIBILITY OF HOME OWNERS ASSOCIATION, TO BE NAMED. IMPROVEMENTS AND MAINTENANCE OF LOTS SHALL BE THE RESPONSIBILITY OF THE HOME OWNER UPON PURCHASE OF LOT.
- ALL TREES, SHRUBS, PERENNIALS AND GRASSES ARE TO BE DRIP IRRIGATED. TURF SOD SHALL BE IRRIGATED BY POP UP OR ROTARY SYSTEMS. NATIVE SEEDING AND DETENTION SEEDING IRRIGATION WILL BE DETERMINED ON THE FINAL LANDSCAPE PLAN.
- SOIL PREPARATION INCLUDES AMENDMENT, TILLING, AND ANY NECESSARY DE-COMPACTION OR EXCAVATION.
- SLOPE PROTECTION, RECLAMATION AND EROSION CONTROL (CODE 315) AS NEEDED OVER AND ABOVE SWMP PERMIT FOR RE-VEGETATION AND ESTABLISHMENT OF NATIVE SEED (OR COMPARABLE) WITHIN THE LANDSCAPE PROCESS.
- A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF BUILDING PERMIT.
- ALL LANDSCAPING AND MAINTENANCE WITHIN PUBLIC RIGHT-OF-WAYS OF ADJACENT EXISTING STREETS SHALL BE THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION.

SCHEMATIC LANDSCAPE DIAGRAM

SCALE - N.T.S.

TO BE SUBMITTED IN CONFORMANCE WITH POLICY 311
CLIMATE ZONE (FROM FIGURE 4 OF LANDSCAPE POLICY MANUAL) - CIRCLE ONE:

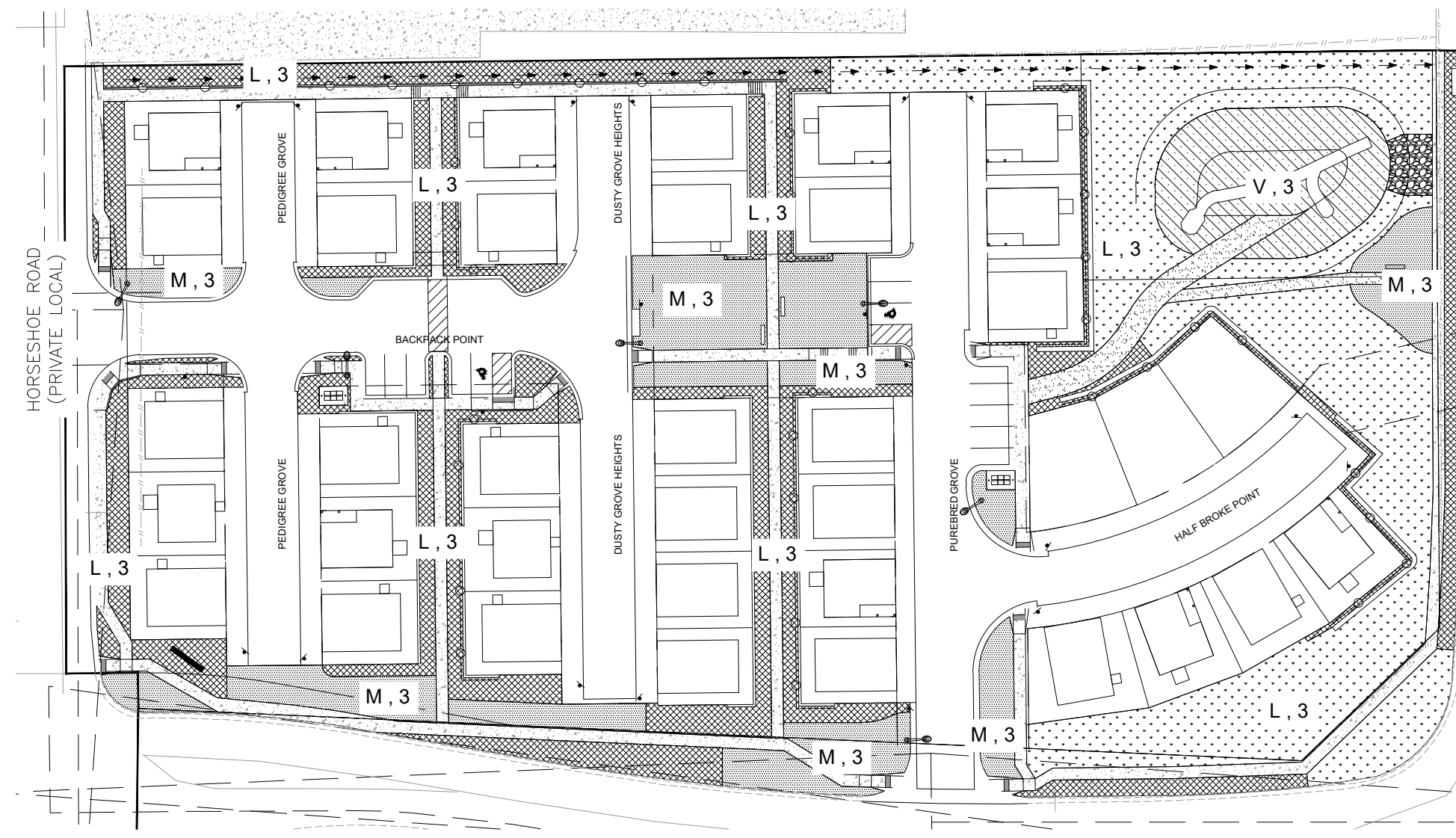
FOOTHILLS **FOOTHILLS & PLAINS** PLAINS

PLANT COMMUNITIES
- TO BE LABELED BY NUMBER(S) ON DIAGRAM IN FLP

- SEMIARID SHRUBLANDS
- PION-JUNIPER WOODLANDS
- PRAIRIE
- LOWER ELEVATION RIPARIAN
- FOOTHILL SHRUBLANDS
- PONDEROSA PINE FOREST
- UPPER ELEVATION RIPARIAN
- DOUGLAS-FIR FOREST

HYDROZONES
- TO BE LABELED BY NUMBER(S) ON DIAGRAM IN FLP

V - V - VERY LOW (0 TO 7 INCHES PER YEAR)
L - LOW (7 TO 15 INCHES PER YEAR)
M - MODERATE (15 TO 25 INCHES PER YEAR)
H - HIGH (MORE THAN 25 INCHES PER YEAR)



ORDINANCE LANDSCAPE REQUIREMENTS - SMALL LOT PUD

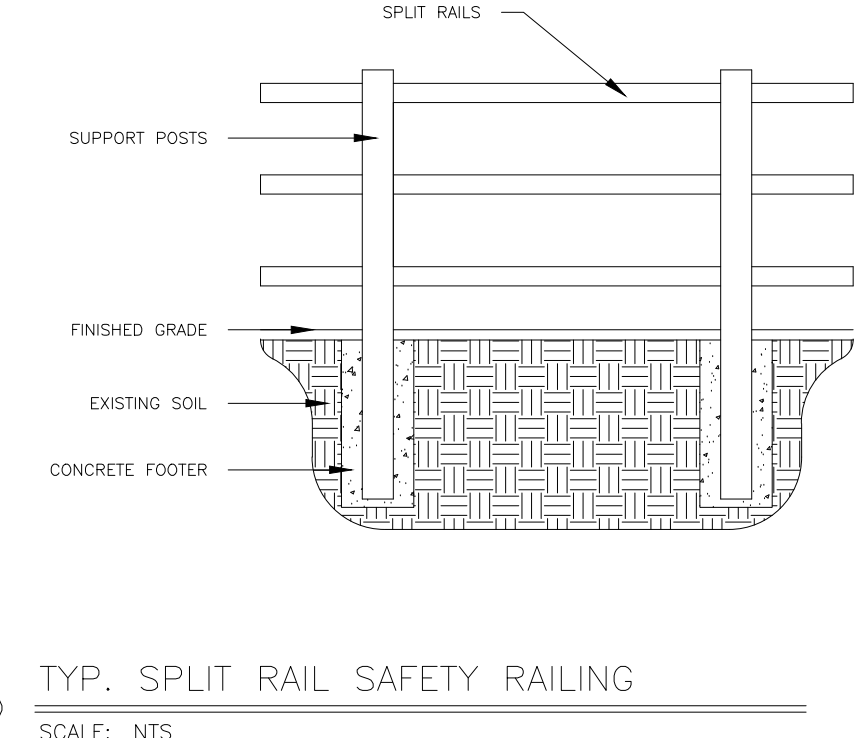
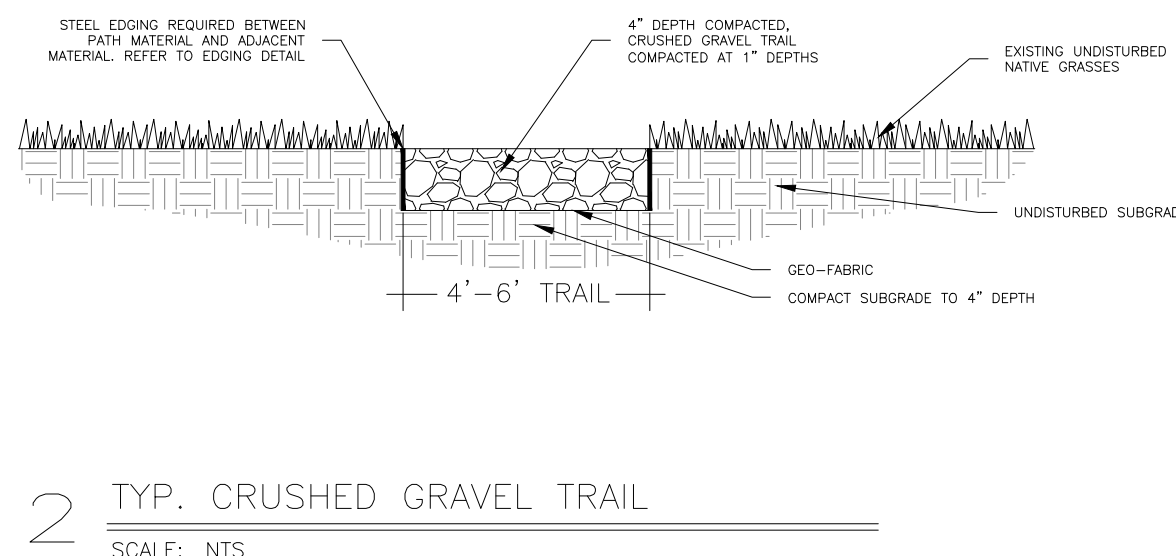
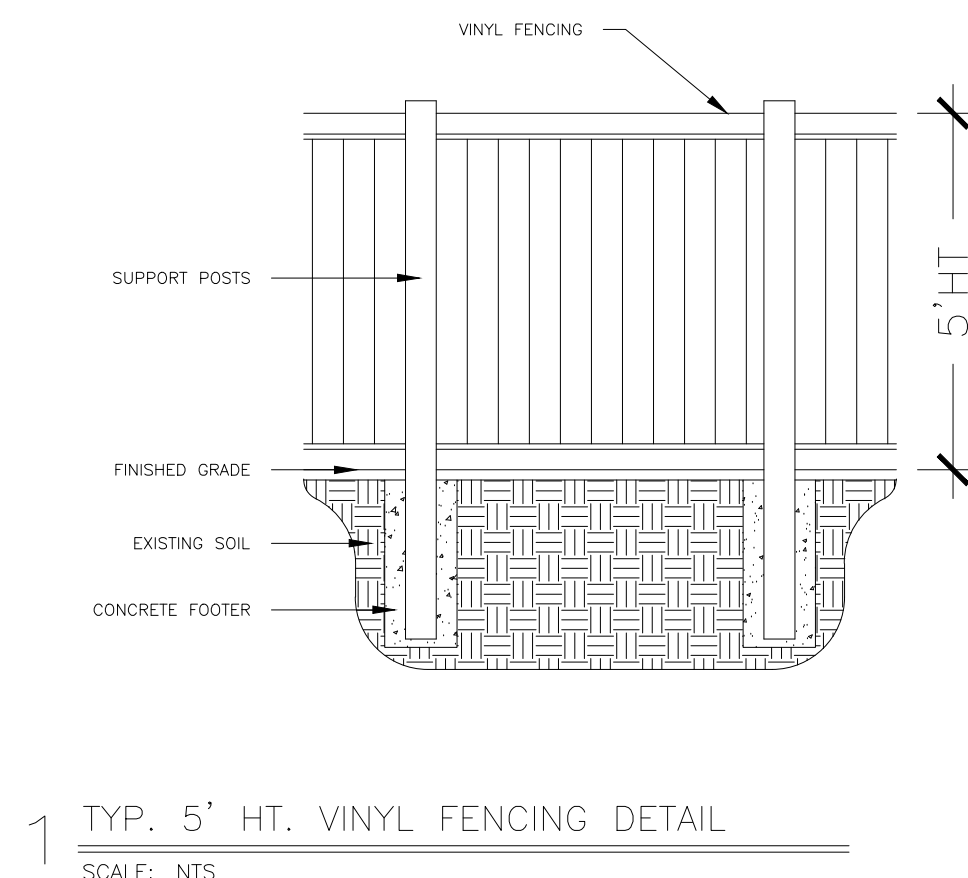
INTERNAL LANDSCAPING	MINIMUM LANDSCAPE AREA	LANDSCAPE AREA REQ./PROV.	NO. OF TREES REQ./PROV.	SHRUB SUBS. REQ./PROV.
TOTAL SITE AREA (SF)	600 SF / LOTS (37)	22,200 / 66,194	45 / 28	170 / TBD
160,429 (3.68 AC)				

LANDSCAPE BUFFERS/SETBACKS	CLASSIFICATION	WIDTH REQ./PROV.	LINEAR FOOTAGE	TREE/FEET REQUIRED	NO. OF TREES REQ./PROV.
ZONE BOUNDARY	ADJ. TO COMMERCIAL	15' / 15'	556'	1 / 20'	28 / 28
NORTH PROPERTY BOUNDARY	COLLECTOR	10' / 10'	771'	1 / 30'	26 / 26
ADVENTURE WAY	RESIDENTIAL	10' / 10'	179'	1 / 30'	6 / 6
HORSESHOE ROAD					

	DECIDUOUS SHADE TREE
	EVERGREEN TREE
	DECIDUOUS ORNAMENTAL TREE

GROUND COVER LEGEND

	TURF SOD
	SHRUB BED
	LOW GROW NATIVE SEED
	WETLAND NATIVE SEED



HORSESHOE LANDSCAPE SCHEDULE										
QTY.	KEY	BOTANICAL NAME	COMMON NAME	CITY PLANT KEY	NATURE HEIGHT	MATURE WIDTH	SIZE	CON. D.	REMARKS	
DECIDUOUS TREES										
TBD	AG	ACER GINNALA 'FLAME'	FLAME AMUR MAPLE	457A	15'-20'	15'-20'	2" CAL.	B&B	CENTRAL LEADER; MATCHED	
TBD	AM	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	457BS	20'-25'	15'-20'	2" CAL.	B&B	CENTRAL LEADER; MATCHED	
TBD	AP	ACER PLATANOIDES 'DEBORAH'	DEBORAH NORWAY MAPLE	4S	30'-40'	40'-50'	2" CAL.	B&B	CENTRAL LEADER; MATCHED	
TBD	CM	CRATAEGUS CRUS-GALLI 'INERMIS'	THORNLESS COCKSPUR HAWTHORN	235AD	15'-20'	15'-25'	2" CAL.	B&B	CENTRAL LEADER; MATCHED	
TBD	MP	MALUS 'PRAIRIFIRE'	PRAIRIFIRE CRABAPPLE	467S	15'-20'	15'-20'	2" CAL.	B&B	CENTRAL LEADER; MATCHED	
TBD	PV	PRUNUS VIRGINIANA 'CANADA RED'	CANADA RED CHOKECHERRY	1245678SA	20'-25'	18'-20'	2" CAL.	B&B	CENTRAL LEADER; MATCHED	
EVERGREEN TREES										
TBD	JS	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	125678D	15'-20'	3'-4'	2" CAL.	B&B	CENTRAL LEADER; MATCHED	
TBD	PF	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID LIMBER PINE	568DA	20'-25'	10'-15'	2" CAL.	B&B	CENTRAL LEADER; MATCHED	
TBD	PP	PICEA PUNGENS 'BABY BLUE'	BABY BLUE SPRUCE	678S	20'	15'	2" CAL.	B&B	CENTRAL LEADER; MATCHED	
DECIDUOUS SHRUBS										
TBD	BE	BERBERIS THUNBERGII 'BAIL TWO'	BURGUNDY CAROUSEL BARBERRY	45A	4'-5'	4'-5'	NO. 5	CON. T.	5' O.C.; MATCHED	
TBD	BG	BUXUS 'GREEN VELVET'	GREEN VELVET BOXWOOD	-	3'-4'	3'-4'	NO. 5	CON. T.	3' O.C.; MATCHED	
TBD	CC	CARYOPTERIS X CLANDONENSIS	BLUE MIST SPIREA	1235A	2'-4'	2'-3'	NO. 5	CON. T.	3' O.C.; MATCHED	
TBD	EA	EUONYMUS ALATA 'COMPACT'	DWARF BURNING BUSH	45S	4'-6'	4'-6'	NO. 5	CON. T.	3' O.C.; MATCHED	
TBD	HA	HYDRANGEA PANICULATA 'ANABELLE'	ANABELLE HYDRANGEA	-	3'-5'	3'-6'	NO. 5	CON. T.	4' O.C.; MATCHED	
TBD	PF	POTENTILLA FRUTICOSA 'ABBOTSWOOD'	ABBOTSWOOD POTENTILLA	4567S	3'-4'	3'-4'	NO. 5	CON. T.	3' O.C.; MATCHED	
TBD	PO	PHYSCOCARPUS OPULIFOLIUS 'CENTER GLOW'	CENTER GLOW NINEBARK	568SA	6'-8'	6'-8'	NO. 5	CON. T.	7' O.C.; MATCHED	
TBD	RS	PEROVSKIA ATRIPLICIFOLIAQ	RUSSIAN SAGE	12D	3'-4'	3'-4'	NO. 5	CON. T.	4' O.C.; MATCHED	
TBD	SB	SYRINGA X BLOOMERANG	PURPLE REBLOOMING LILAC	568A	4'-5'	4'-5'	NO. 5	CON. T.	5' O.C.; MATCHED	
TBD	SG	SPIREA X BUMALDA 'GOLDFLAME'	GOLDFLAME SPIREA	SA	2'-3'	2'-3'	NO. 5	CON. T.	5' O.C.; MATCHED	
GRASSES										
TBD	CA	CALAMAGROSTIS ACUTIFLORA 'KARL FOERESTER'	KARL FOERESTER FEATHER REED GRASS	A	5'	2'	NO. 5	CON. T.	2' O.C.; MATCHED	
TBD	FG	FESTUCA GLAUCA 'BEYOND BLUE'	BEYOND BLUE BLUE FESCUE	23568D	1'	2'	NO. 5	CON. T.	2' O.C.; MATCHED	
PERENNIALS										
TBD	HS	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY	D	1'-2'	1'	NO. 1	CON. T.	1' O.C.; MATCHED	
TBD	PD	PENSTEMON DIGITALIS 'HUSKER RED'	HUSKER RED PENSTEMON	12345678D	2'-3'	1'	NO. 1	CON. T.	1' O.C.; MATCHED	
TBD	RT	RUDEBECKIA TRILOBA	BROWN EYED SUSAN	A	2'	1.5'-2'	NO. 1	CON. T.	1.5' O.C.; MATCHED	
TBD	SS	SALVIA X SYLVESTRIS 'BLUE HILL'	BLUE HILL SALVIA	A	1.5'-2'	1.5'-2'	NO. 1	CON. T.	1.5' O.C.; MATCHED	
TBD	PR	PLEMONIUM REPTANS 'STAIRWAY TO HEAVEN'	STAIRWAY TO HEAVEN JACOB'S LADDER	-	1'	1.5'	NO. 1	CON. T.	1.5' O.C.; MATCHED	
GROUND COVER										
12423	SOD	VORTEX BLUEGRASS SOD (TEXAS HYBRID)						UNIT	S.F.	
19188	BED	SHRUB BED TO INCLUDE MULCH, ROCK AND PLANTINGS							S.F.	
20783	SEED	NATIVE SEEDING (HYDRAULIC APPLICATION, SEE BELOW)							S.F.	
4423	SEED	DETENTION SEEDING (HYDRAULIC APPLICATION, SEE BELOW)							S.F.	
TBD	BLDR	2'-3" DECORATIVE BOULDER (SET INTO FINISHED GRADE)						QTY.		
SEEDING										
LOW GROW NATIVE SEED MIX										
25%	BUFFALOGRASS									
20%	GRAMA BLUE									
25%	GRAMA SIDEOATS									
5%	GREEN NEEDLEGRASS									
20%	WHEATGRASS, WESTERN									
1%	DROPSSEED, SAND									
SEEDING RATE: 42 LBS PLS/ACRE										
DETENTION/WETLAND SEED MIX										
20%	BLUESTEM, BIG									
10%	GRAMA BLUE									
10%	GREEN NEEDLEGRASS									
20%	WHEATGRASS, WESTERN									
10%	GRAMA, SIDEOATS									
10%	SWITCHGRASS									
10%	PRAIRIE SANDREED									
10%	YELLOW INDIANGRASS									
SEEDING RATE: 19.3 LBS PLS/ACRE										

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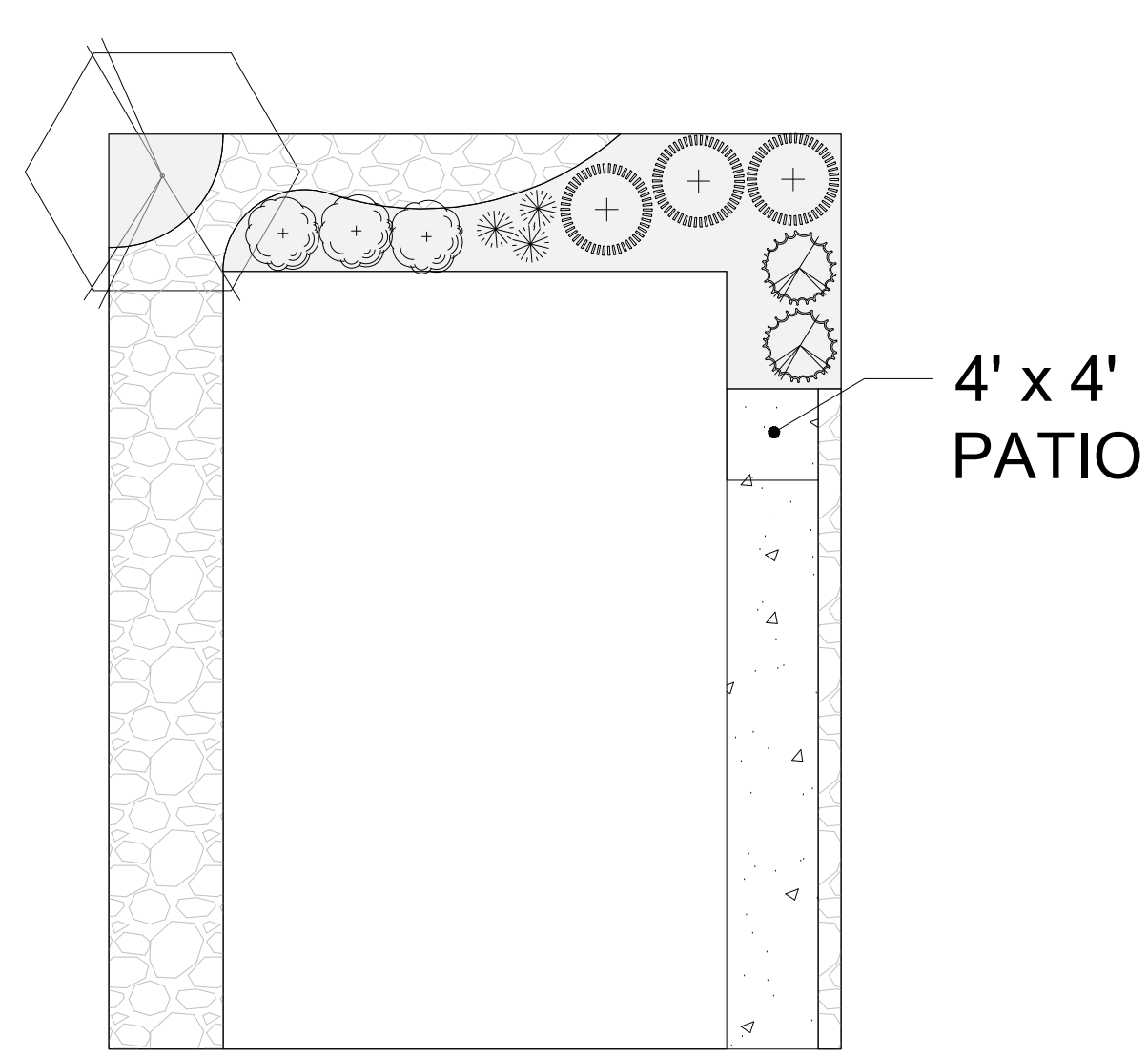
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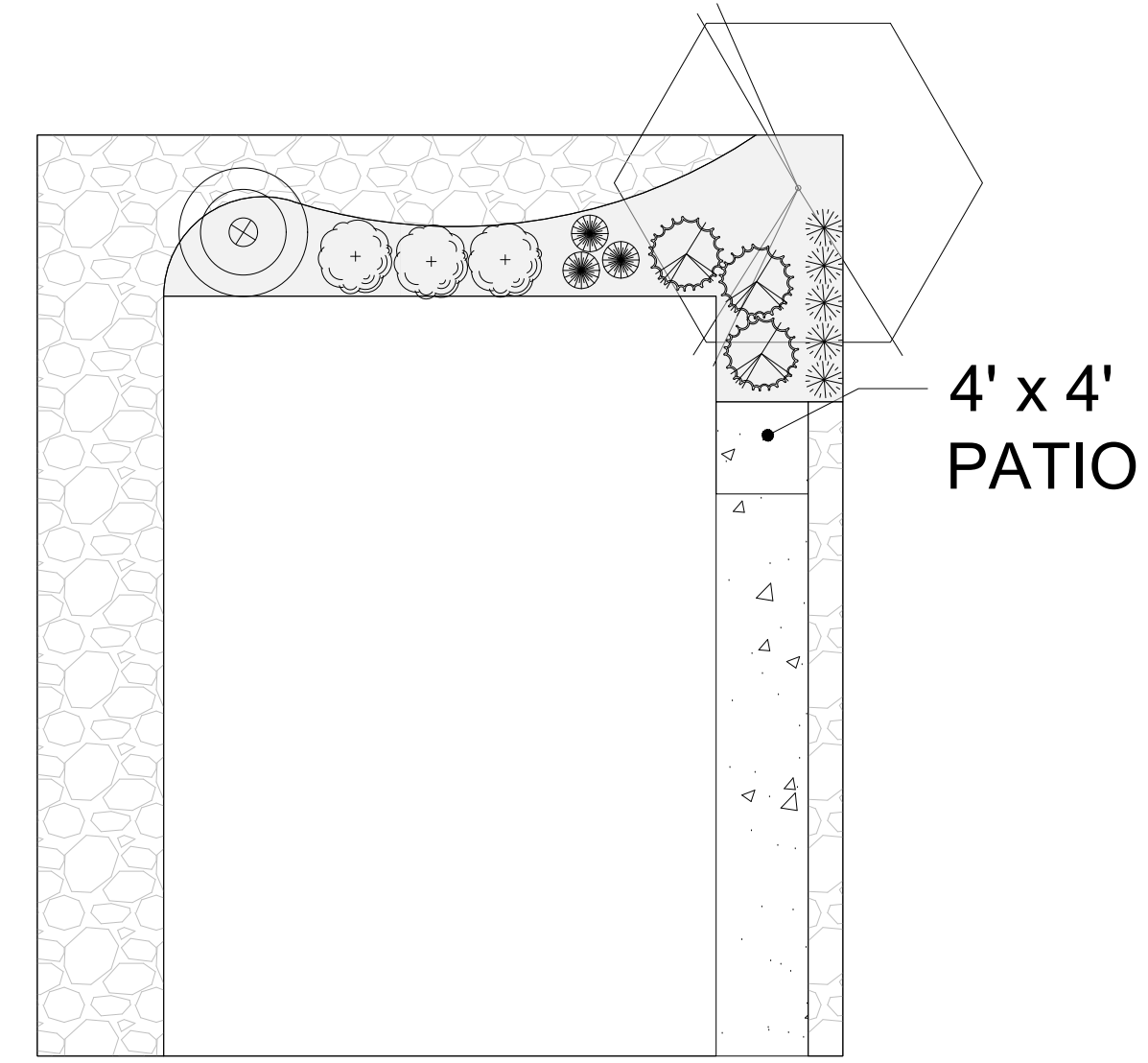
CHALLENGER HOMES

PRELIMINARY LANDSCAPE PLAN
LANDSCAPE NOTES & SCHEDULE

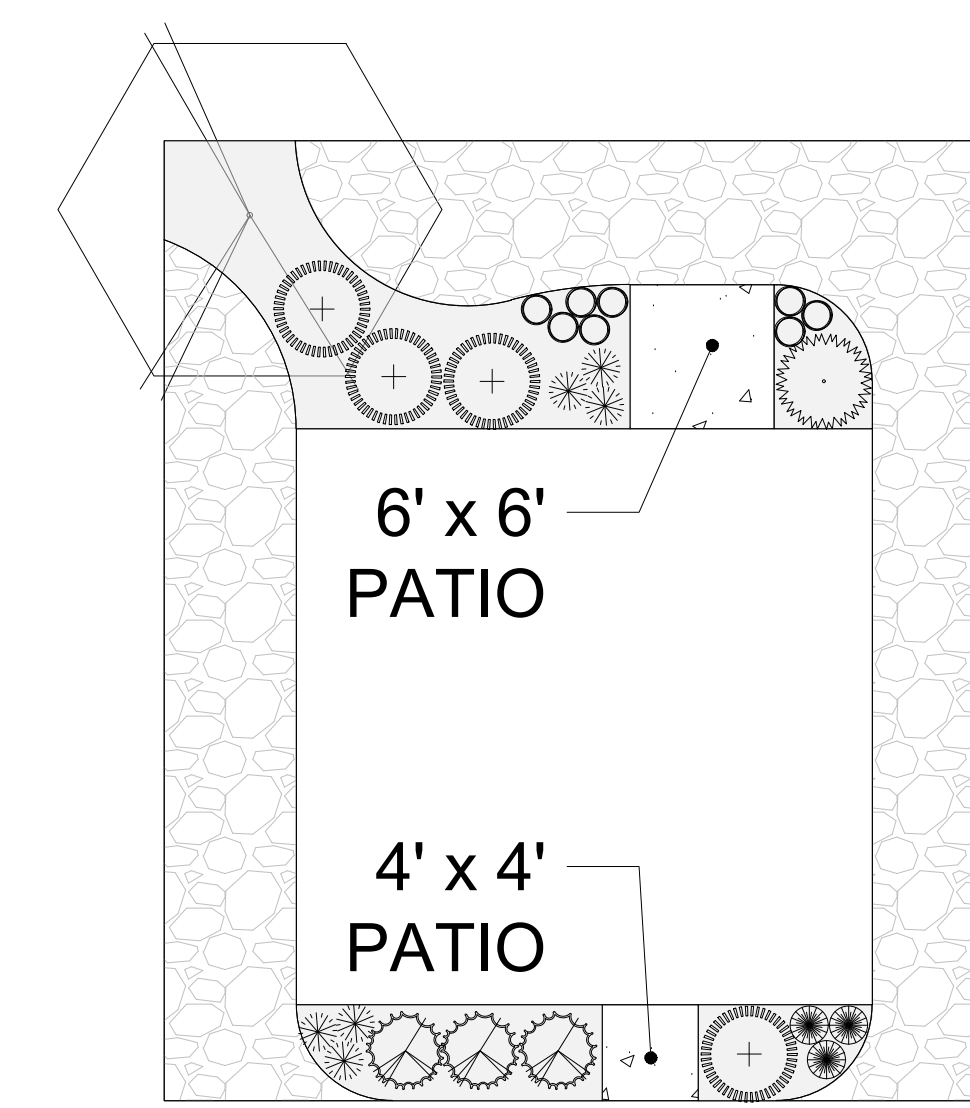
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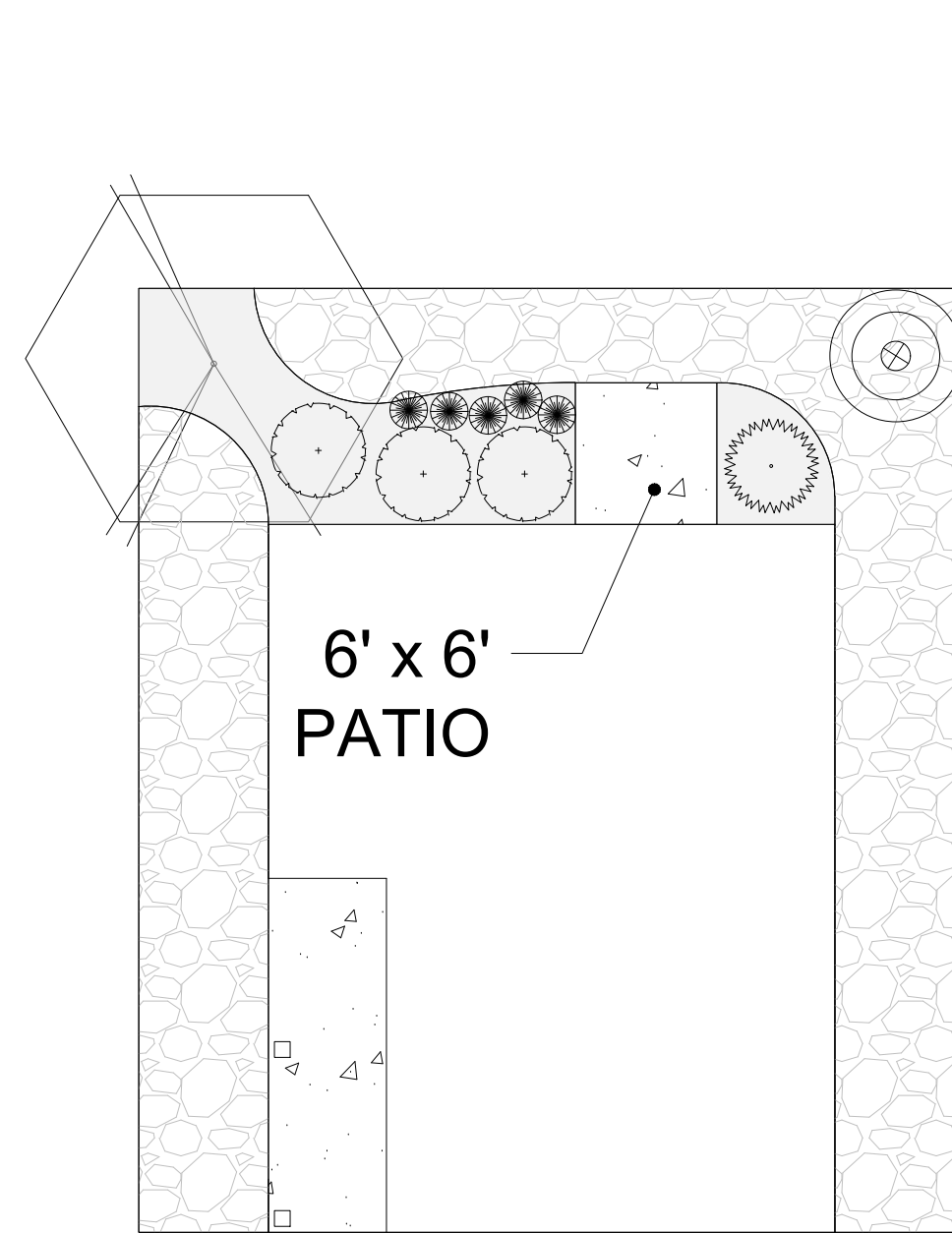
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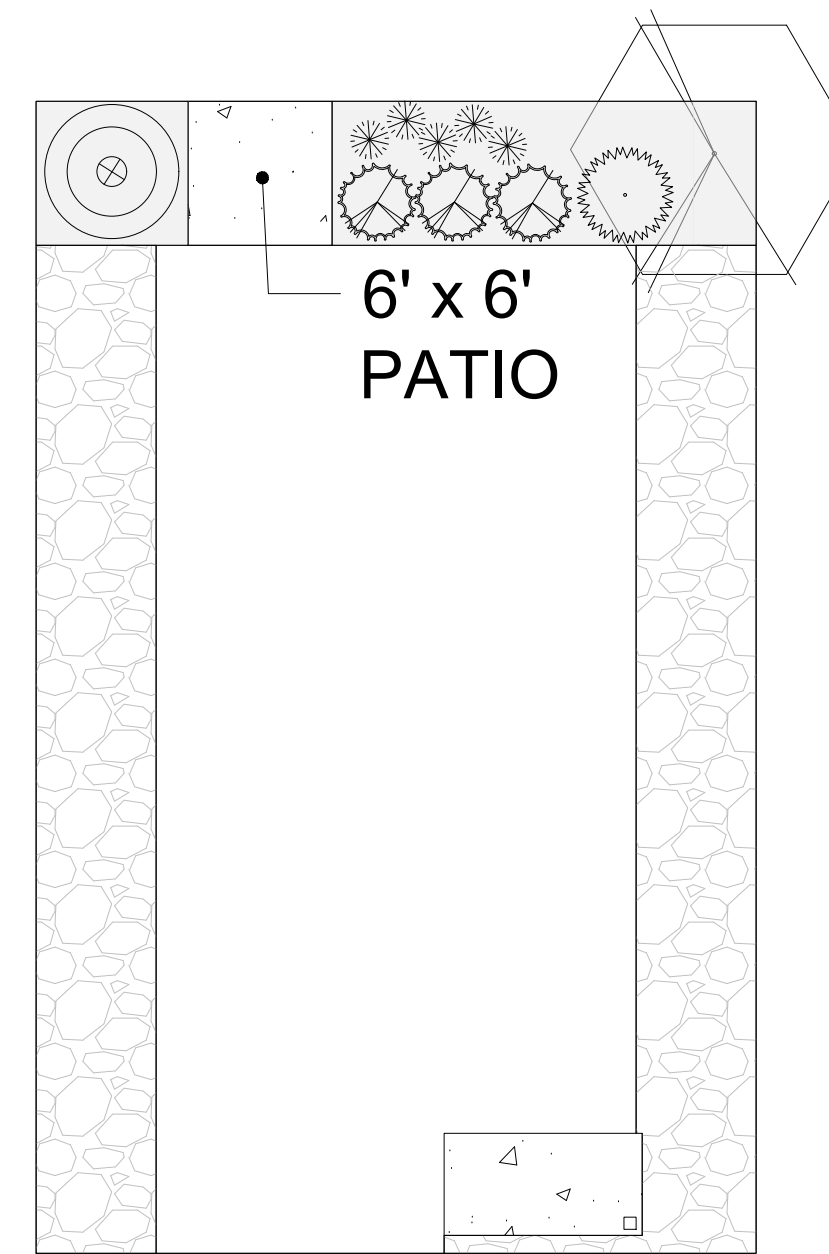
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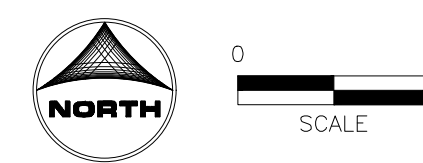
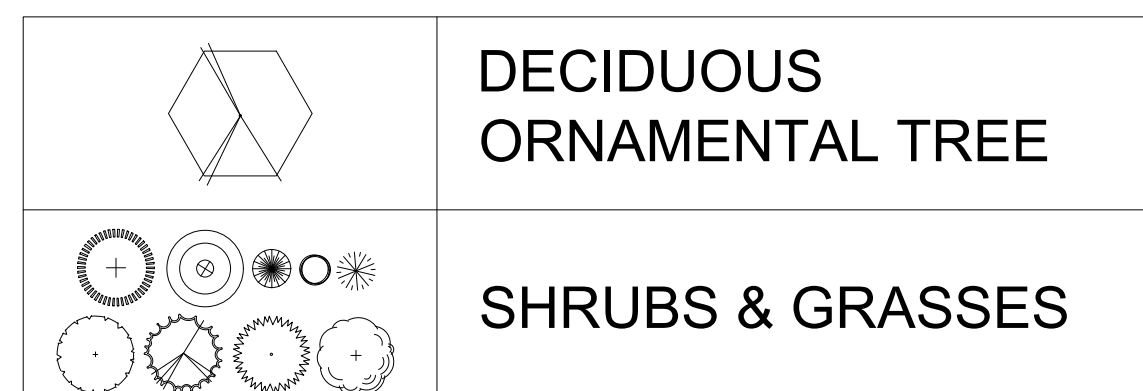
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MODEL 1727



MODEL 1367



- NOTES:**
1. ALL LOTS ARE TO HAVE 6' HIGH PRIVACY FENCING OUT OF CEDAR PICKETS. MATERIAL AND HEIGHT ARE SUBJECT TO CHANGE BASED ON FINAL LANDSCAPE PLAN.
 2. SHRUB BEDS SHALL CONSIST OF A COMBINATION OF MULCH AND ROCK. PLANTINGS ARE SHOWN FOR CONCEPTUAL PURPOSE ONLY AND ARE SUBJECT TO CHANGE BASED ON FINAL LANDSCAPE PLAN.
 3. IT SHALL BE THE HOMEOWNERS RESPONSIBILITY TO MAINTAIN LANDSCAPING WITHIN LOT BOUNDARIES. ALL LANDSCAPING OUTSIDE OF LOTS SHALL BE THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION.

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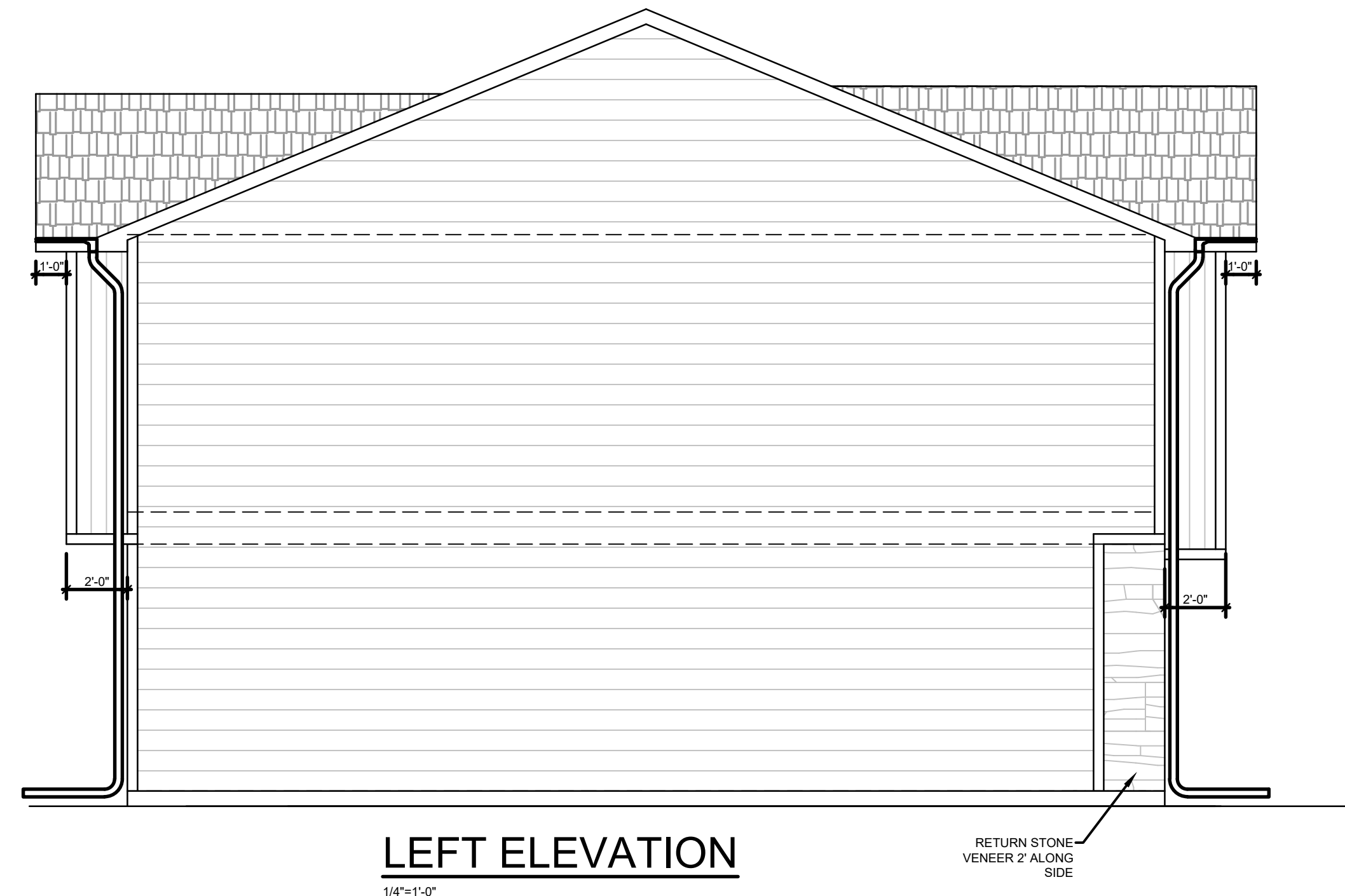
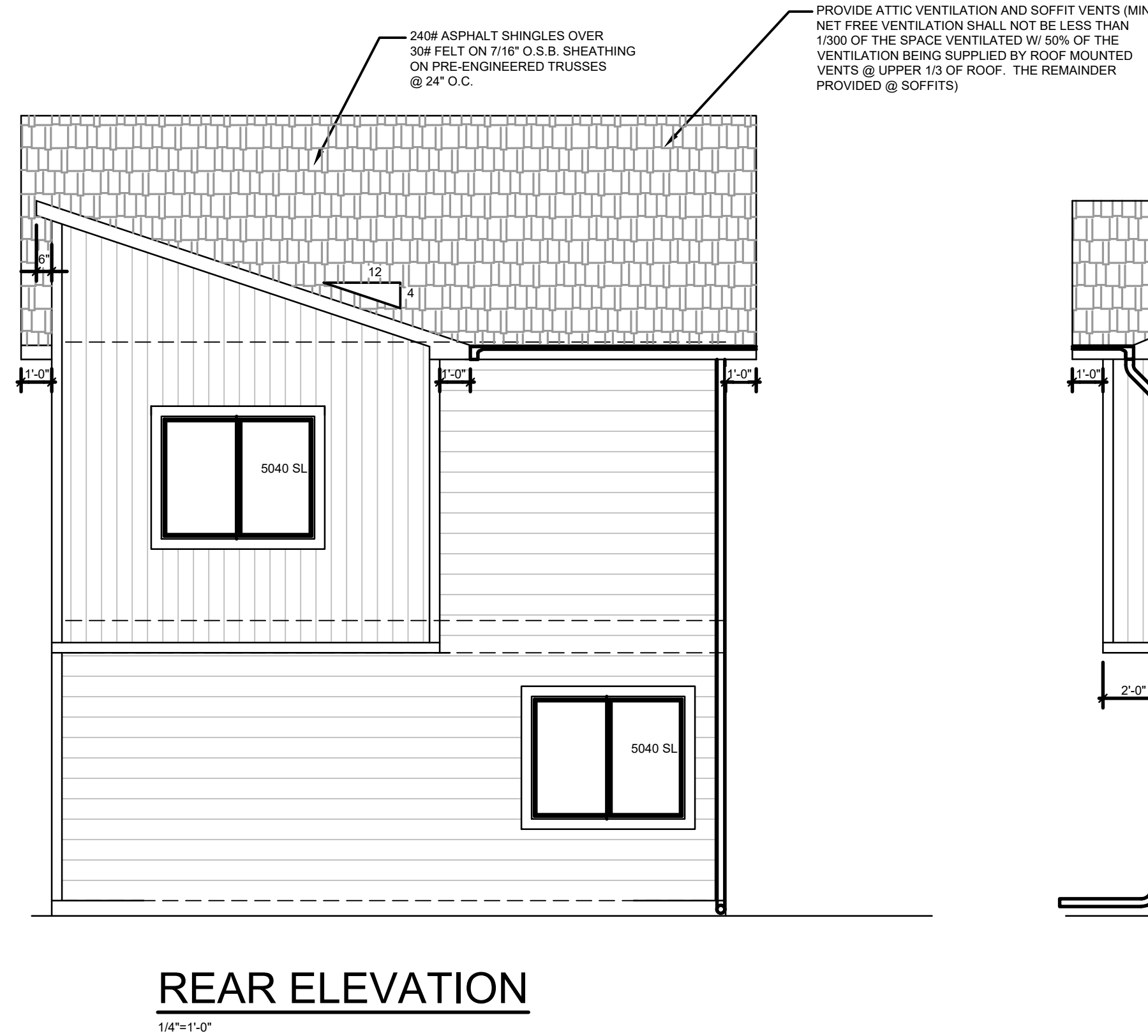
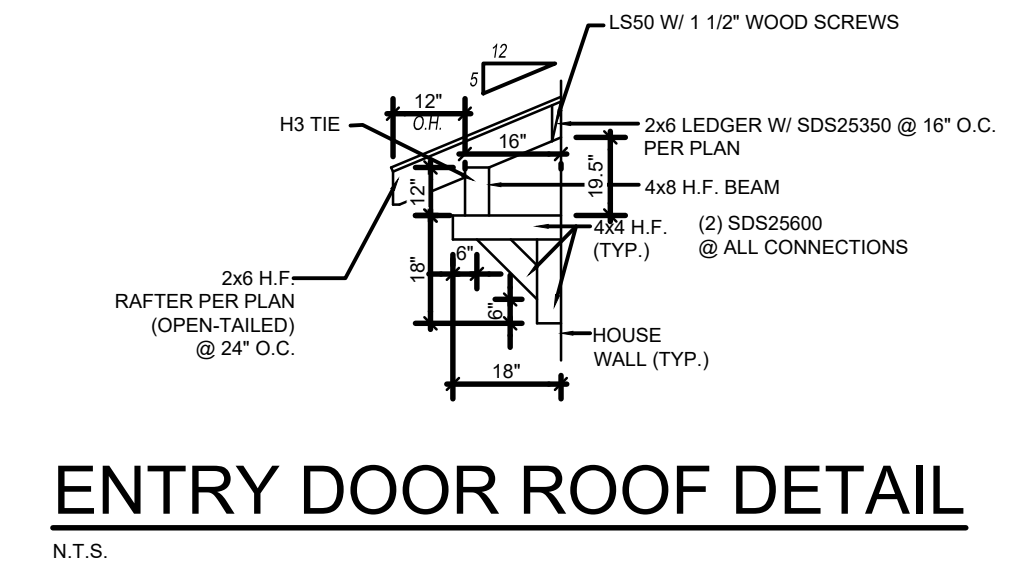
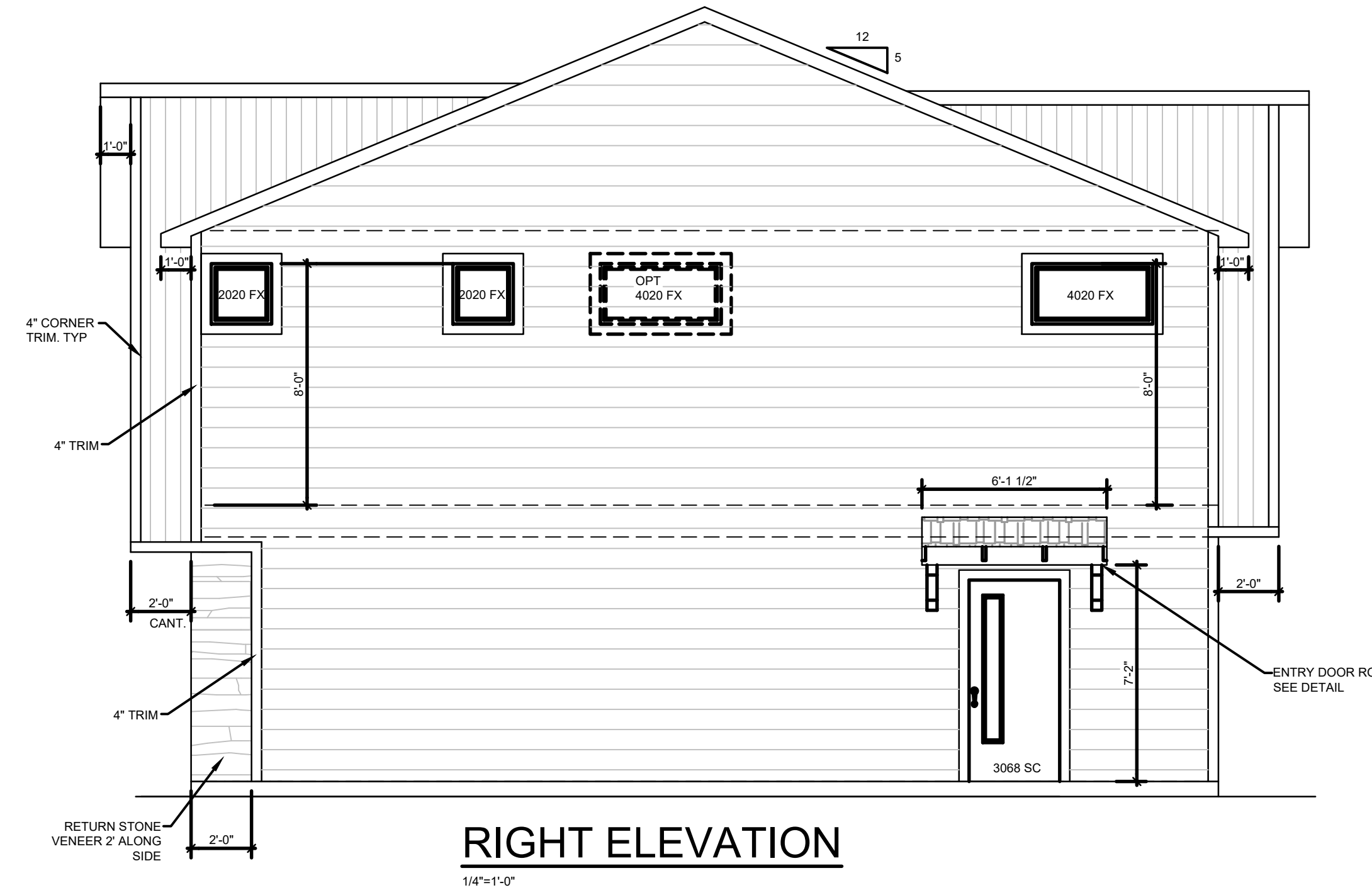
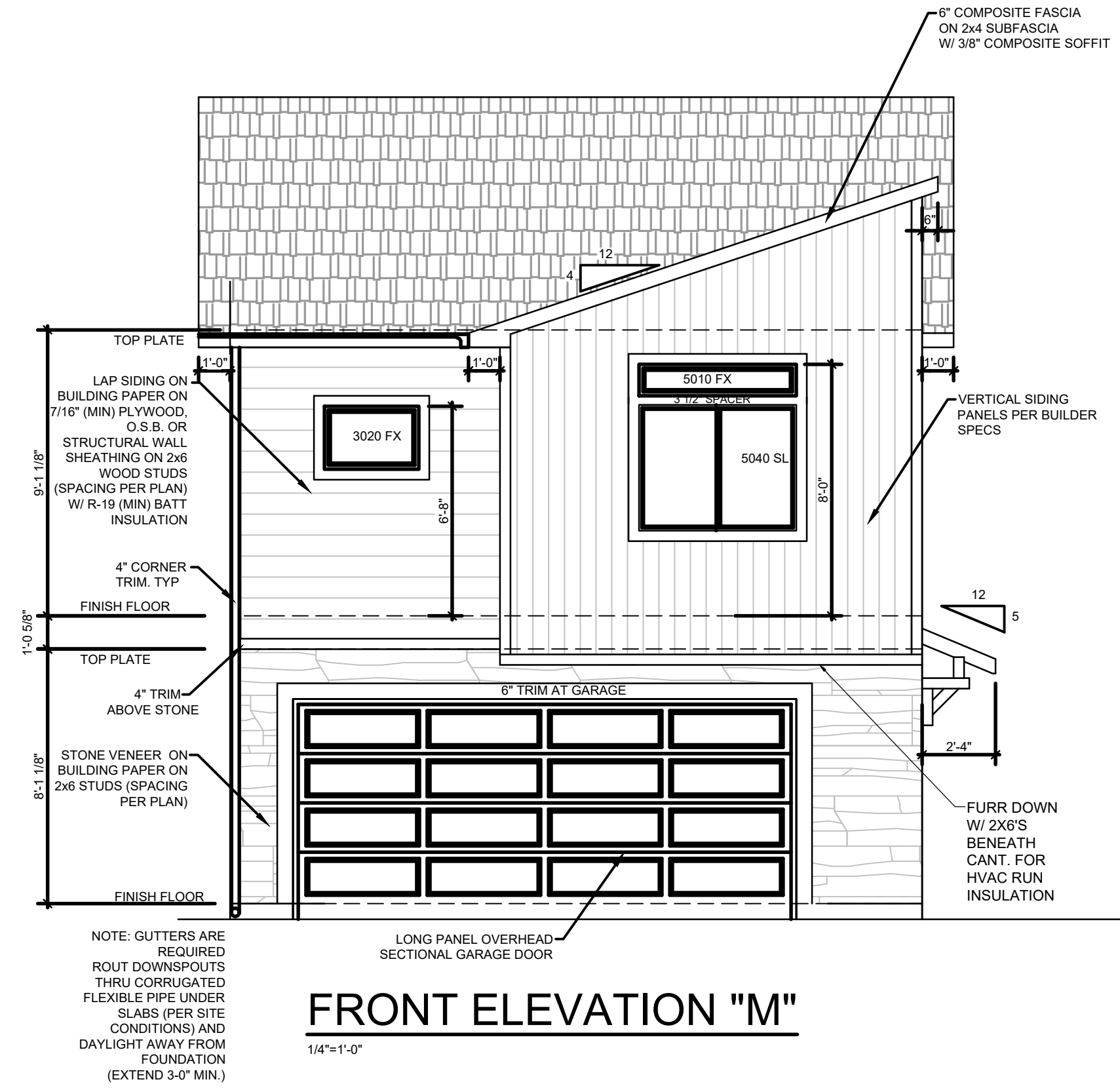
HORSESHOE
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CHALLENGER HOMES

PRELIMINARY LANDSCAPE PLAN
 LANDSCAPE TYPICALS

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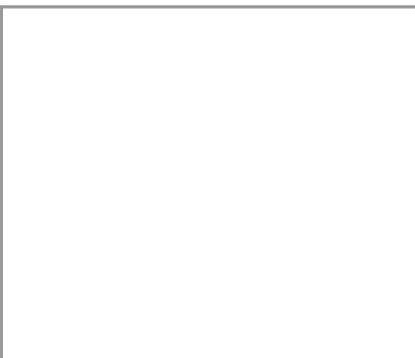
9



ALL DOWNSPOUTS TO DRAIN AWAY FROM FRONT OR REAR OF HOME

UNIT TYPE: 1108M

CITY APPROVAL:



LAND USE REVIEW FILE NO: CPC PUD 21-00018

DRAWN BY: AL JOB DATE: 4/23/2021
 APPROVED: JOB NUMBER: 201135
 CAD DATE: 4/23/2021
 CAD FILE: J:\2020\201135\CAD\DWG\C\SDP\Arch_Elevations

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 FAX: 844.273.1057

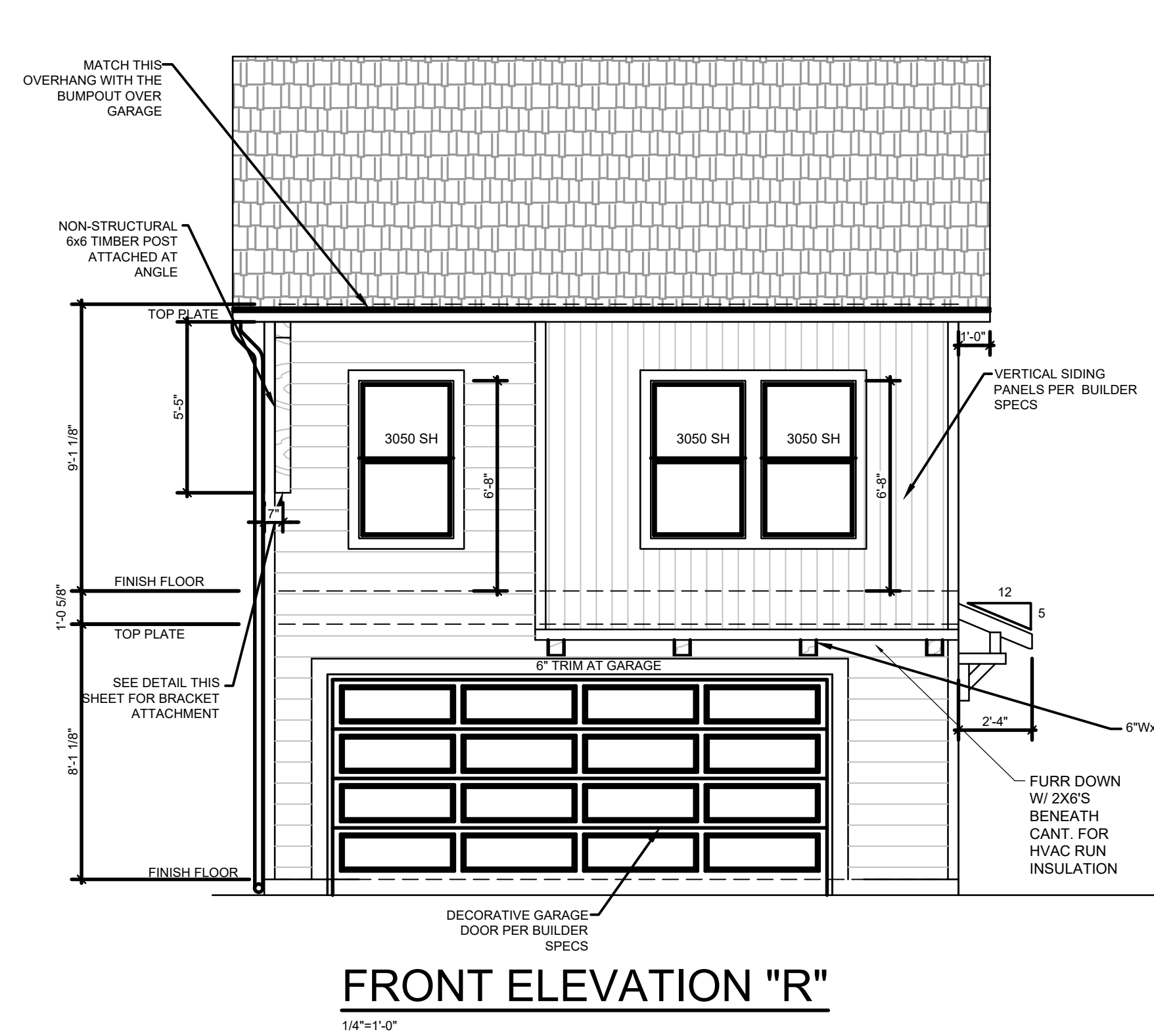
HORSESHOE
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO



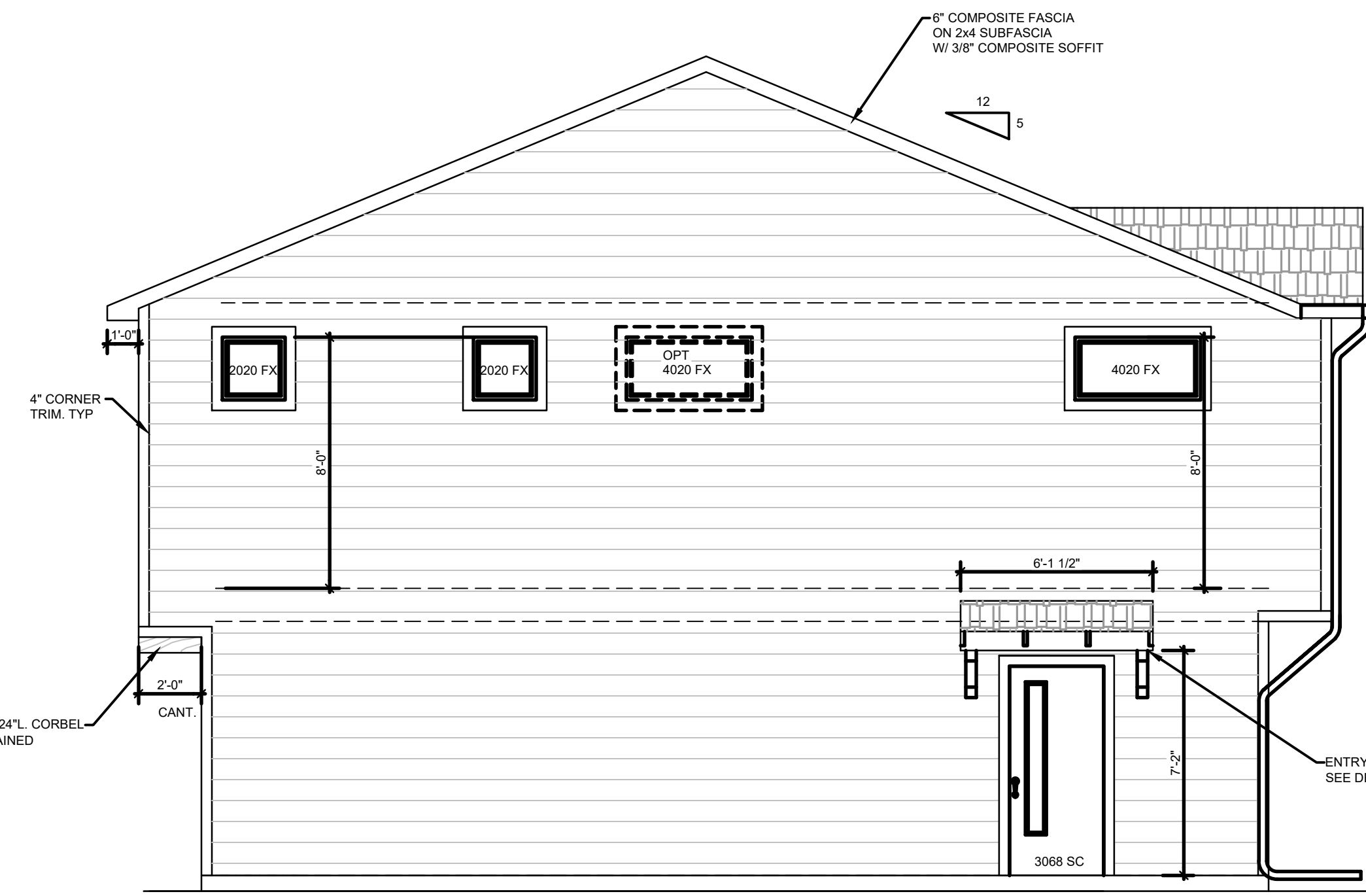
SMALL LOT PUD DEVELOPMENT PLAN
 ELEVATIONS - 1108M

SHEET EL

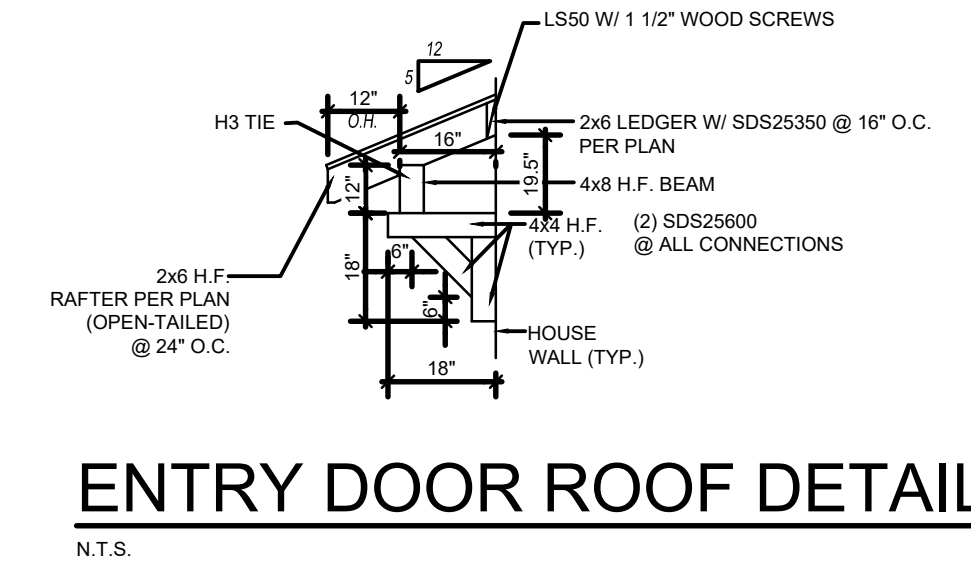
10



FRONT ELEVATION "R"
1/4"=1'-0"

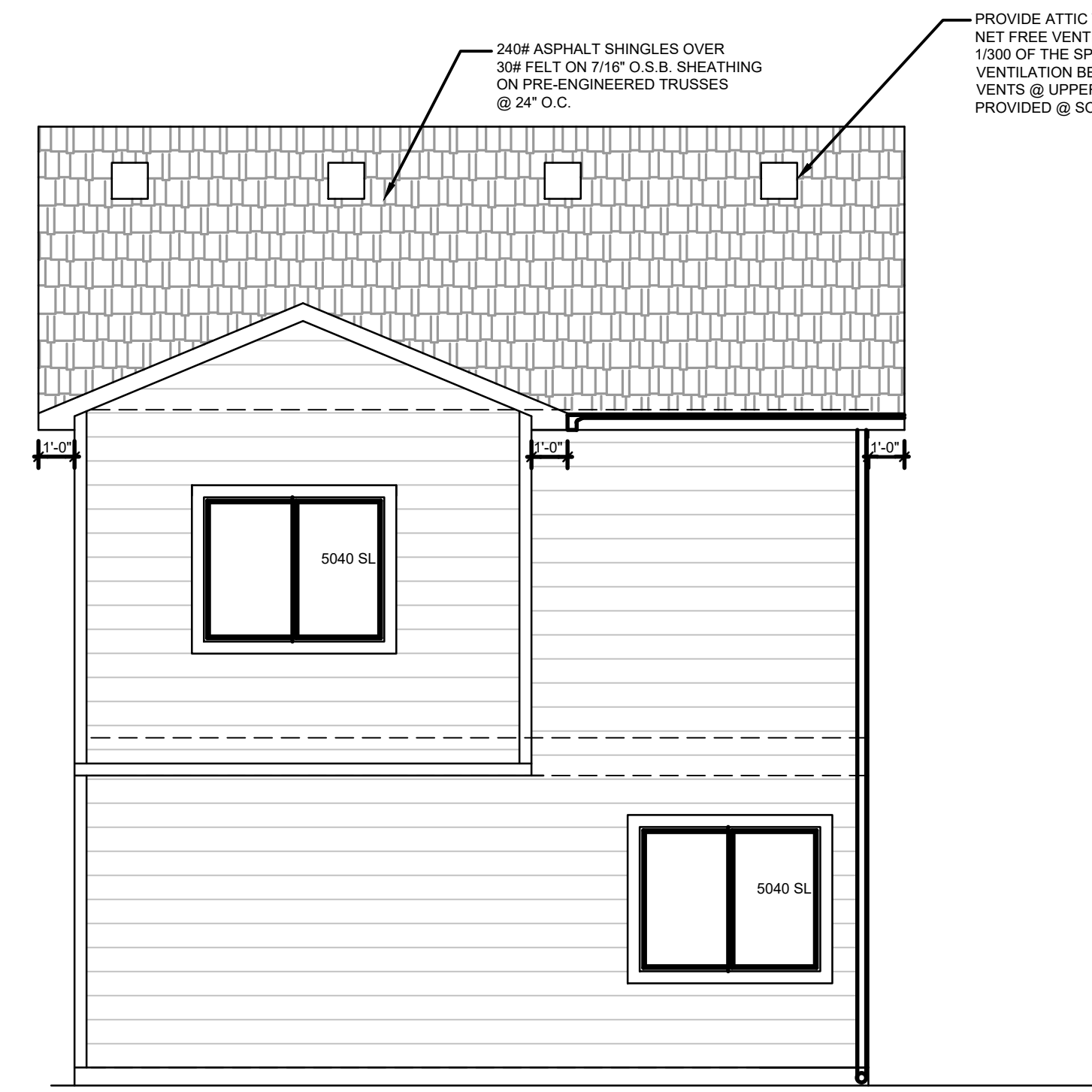


RIGHT ELEVATION
1/4"=1'-0"

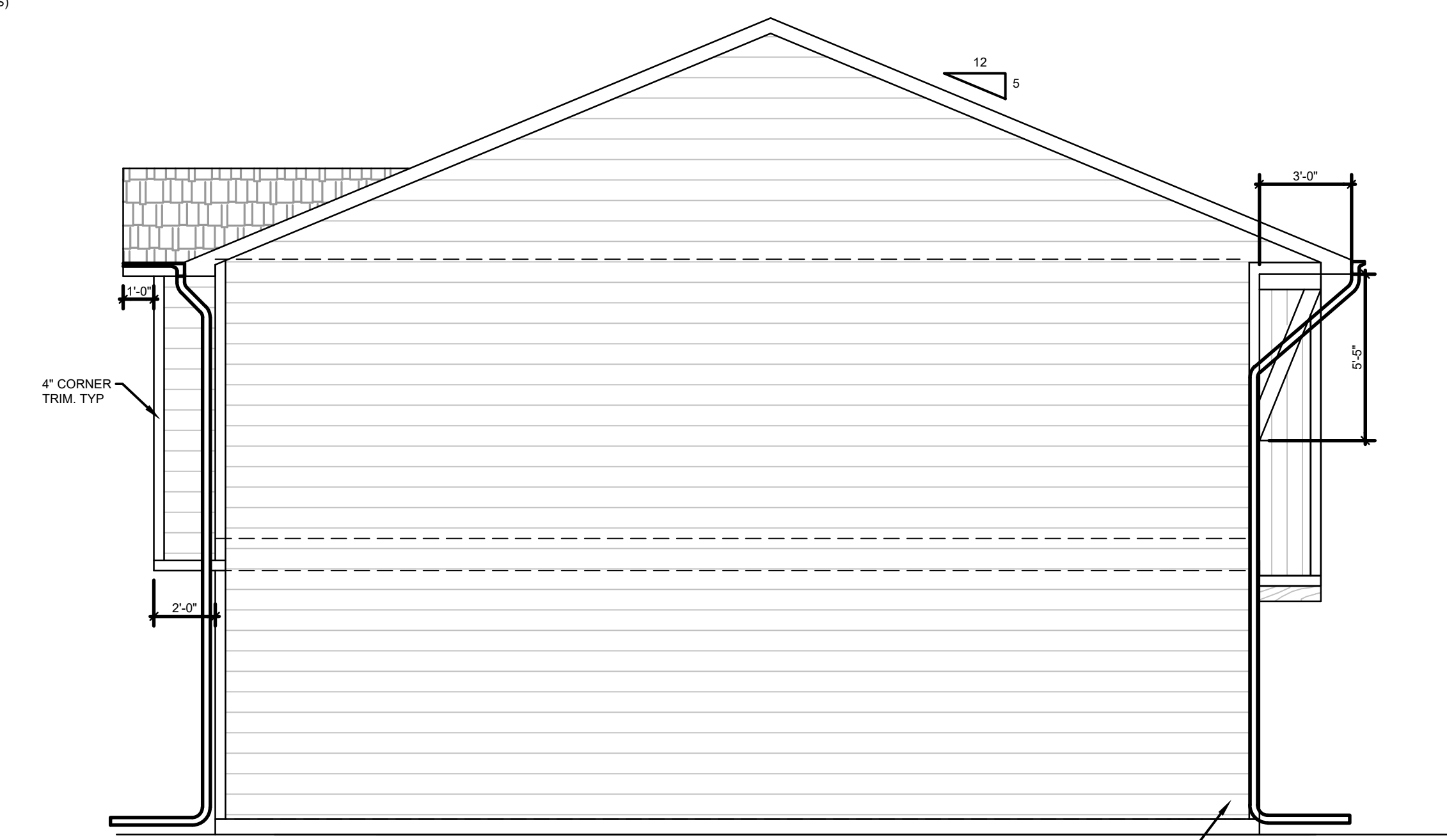


ENTRY DOOR ROOF DETAIL
N.T.S.

ALL DOWNSPOUTS TO DRAIN AWAY FROM FRONT OR REAR OF HOME



REAR ELEVATION
1/4"=1'-0"



LEFT ELEVATION
1/4"=1'-0"

UNIT TYPE: 1108R

CITY APPROVAL:

LAND USE REVIEW FILE NO: CPC PUD 21-00018

DRAWN BY: AL	JOB DATE: 4/23/2021	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: _____	JOB NUMBER: 201135	0" = 1"
CAD DATE: 4/23/2021		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2020\201135\CAD\Drawings\C\SDP\Arch_Elevations		

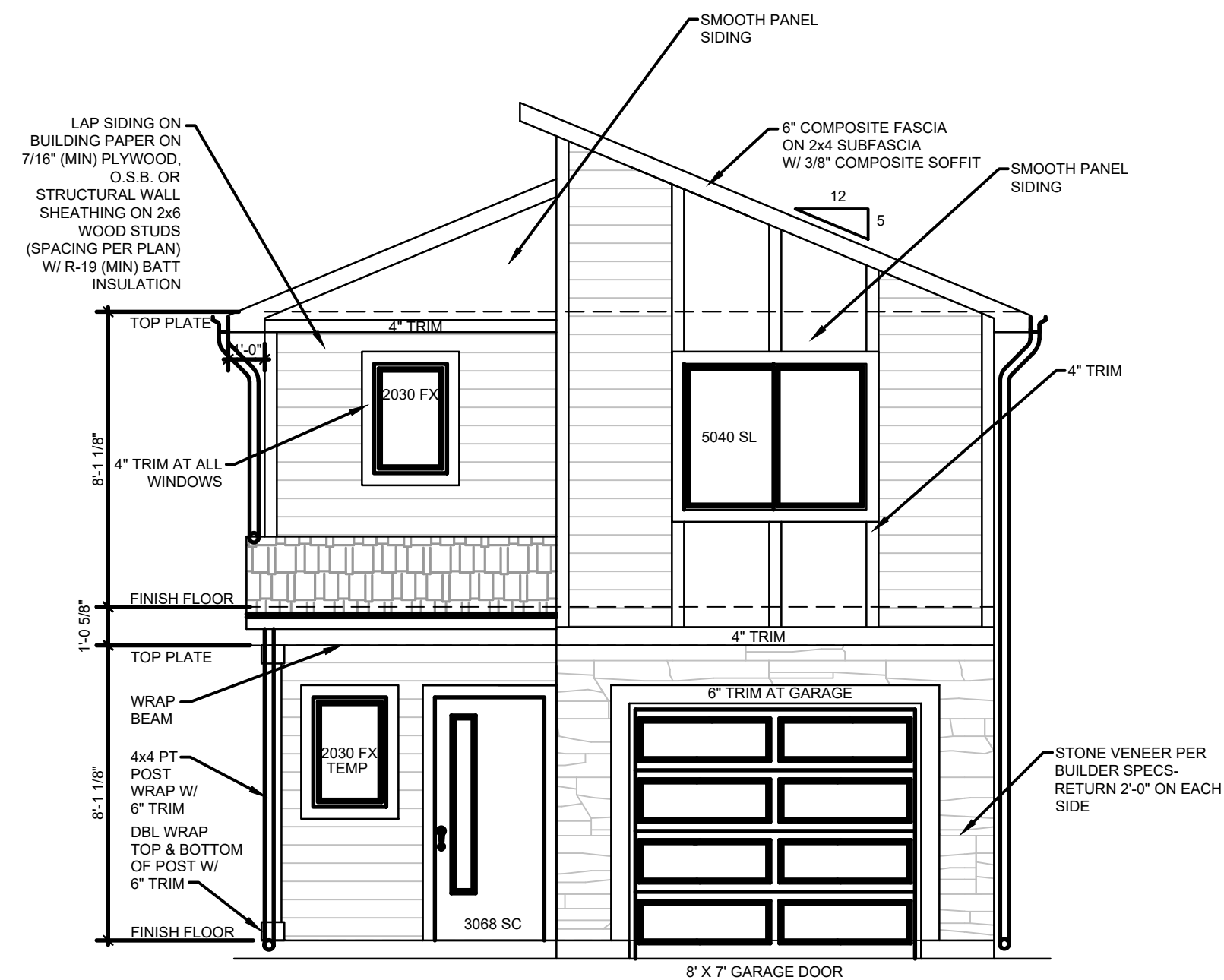
NO.	DATE	BY	REVISION DESCRIPTION

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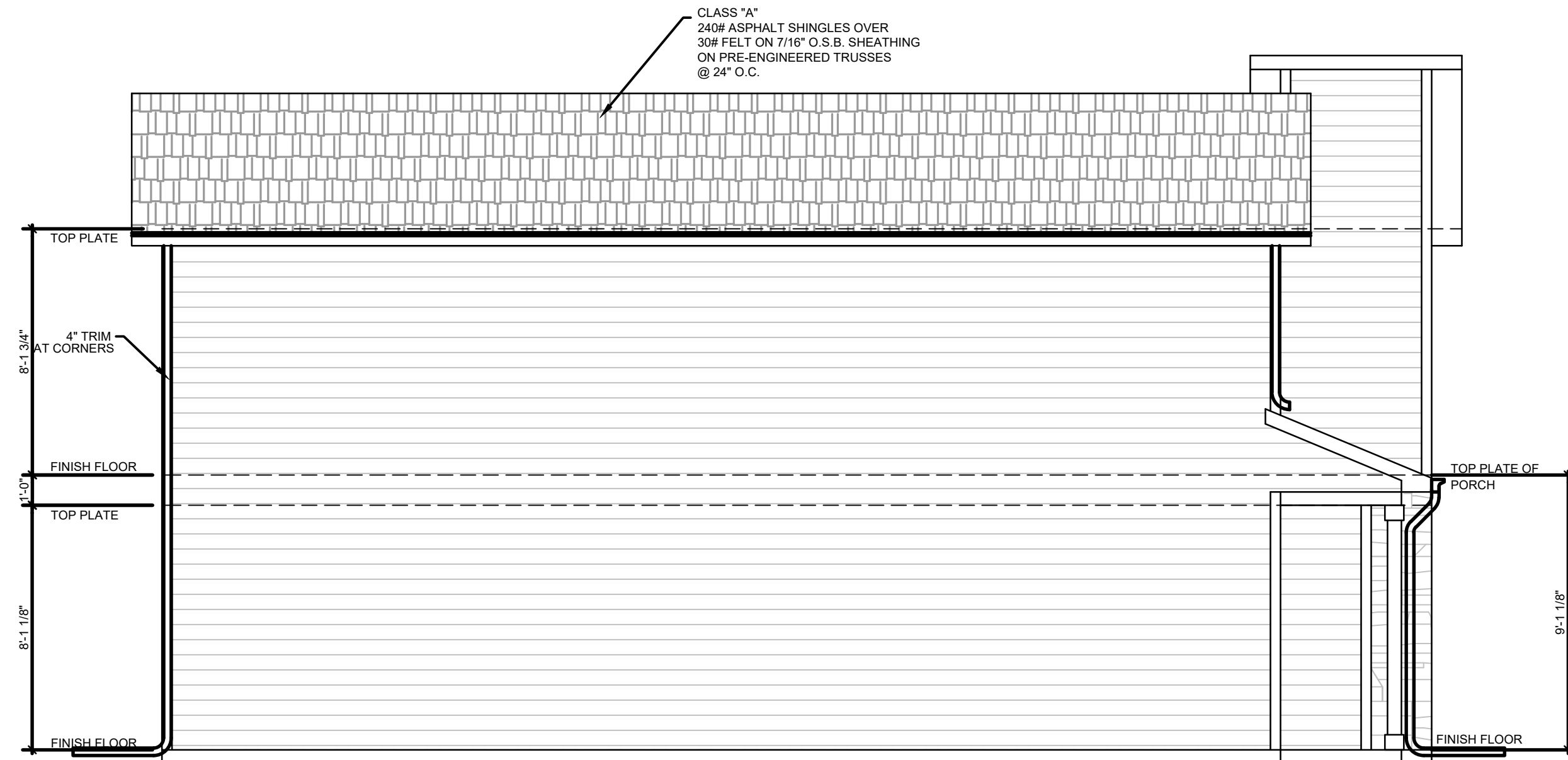
HORSESHOE
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO



SMALL LOT PUD DEVELOPMENT PLAN
 ELEVATIONS -1108R

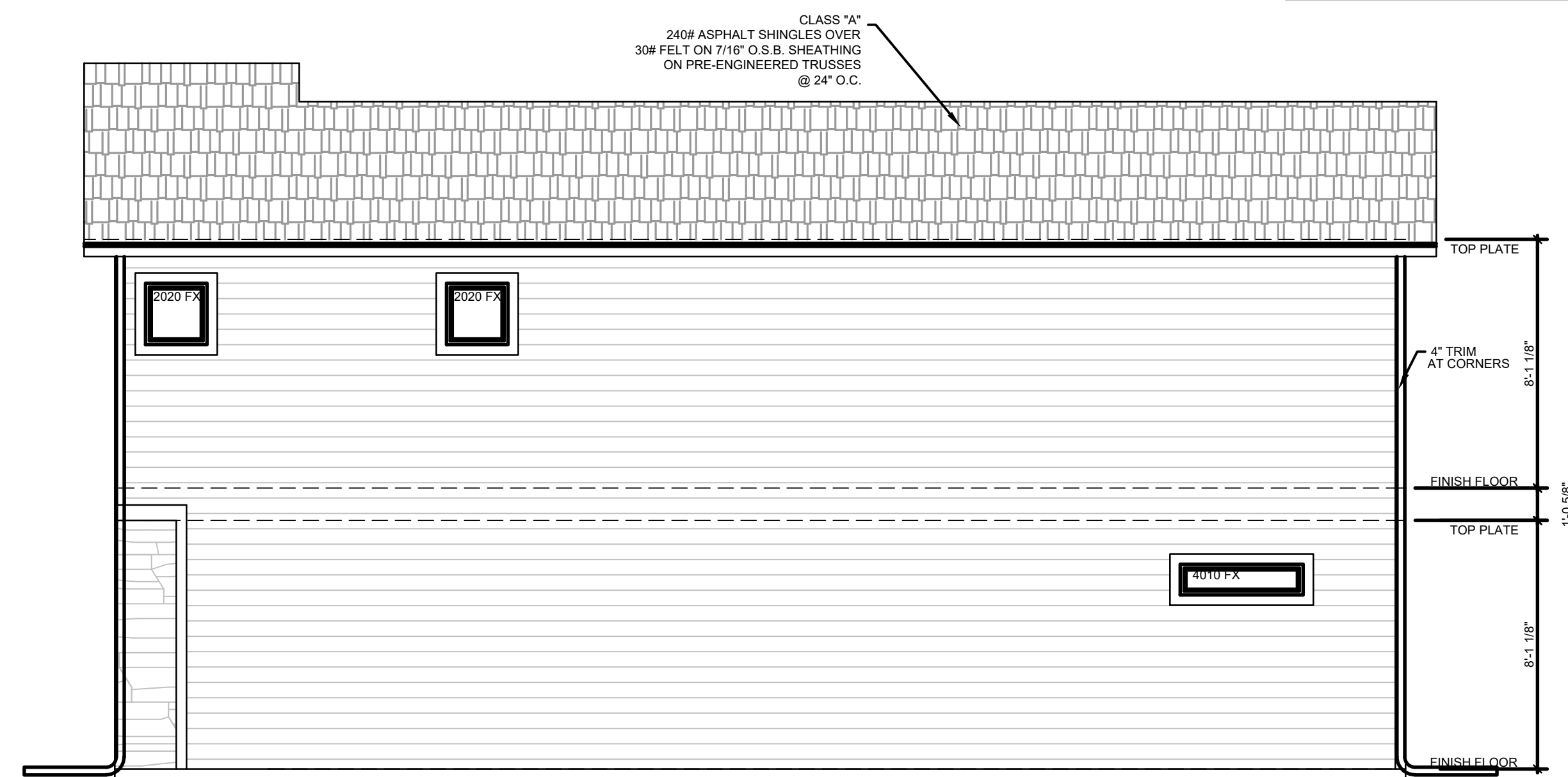


FRONT ELEVATION-1367 "M"
1/4"=1'-0"



LEFT SIDE ELEVATION
1/4"=1'-0"

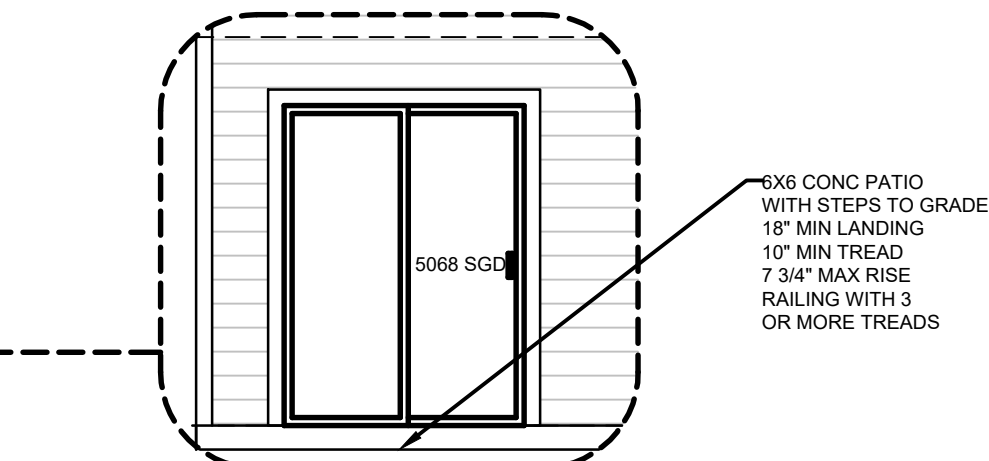
ALL DOWNSPOUTS TO DRAIN AWAY FROM FRONT OR REAR OF HOME



RIGHT SIDE ELEVATION
1/4"=1'-0"



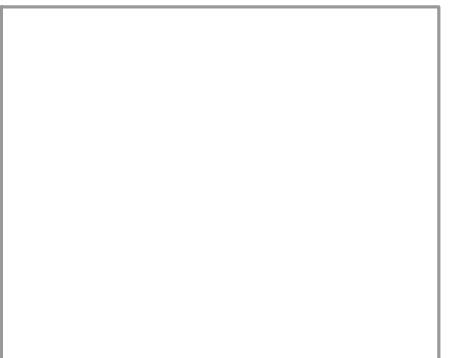
REAR ELEVATION
1/4"=1'-0"



OPT. SLIDER ILO WINDOW
1/4"=1'-0"

UNIT TYPE: 1367M

CITY APPROVAL:



LAND USE REVIEW FILE NO: CPC PUD 21-00018

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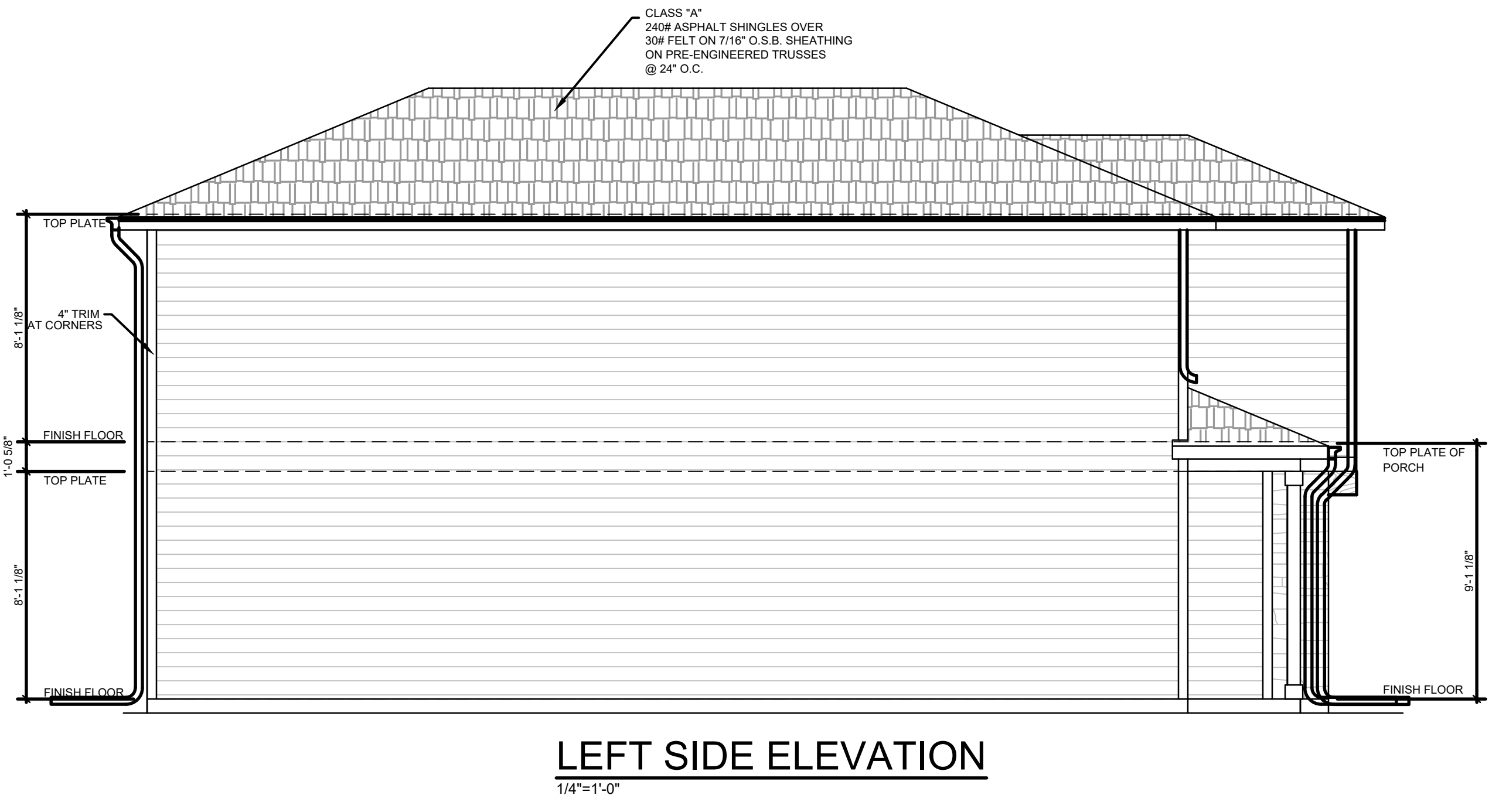
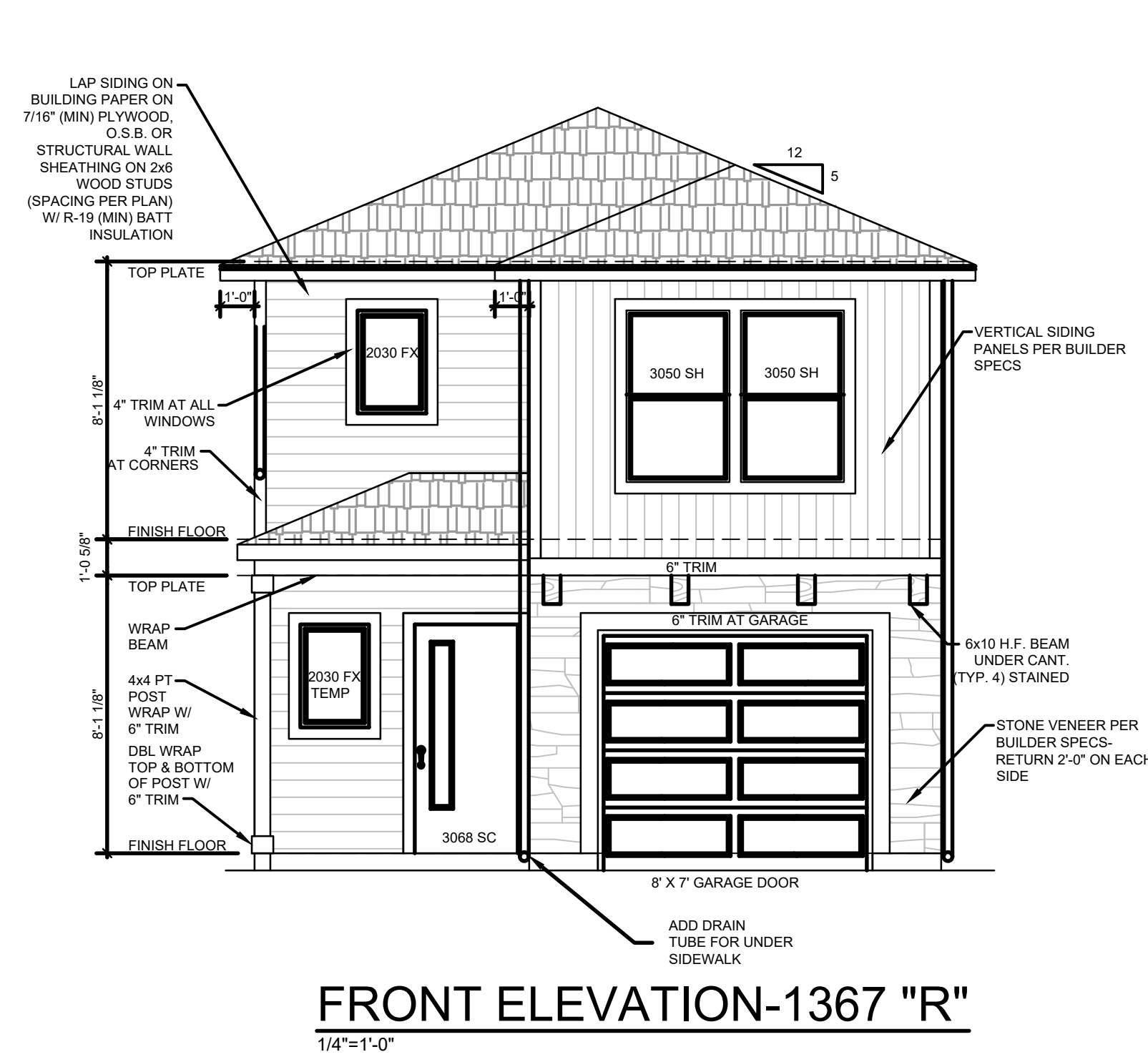
HORSESHOE
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO



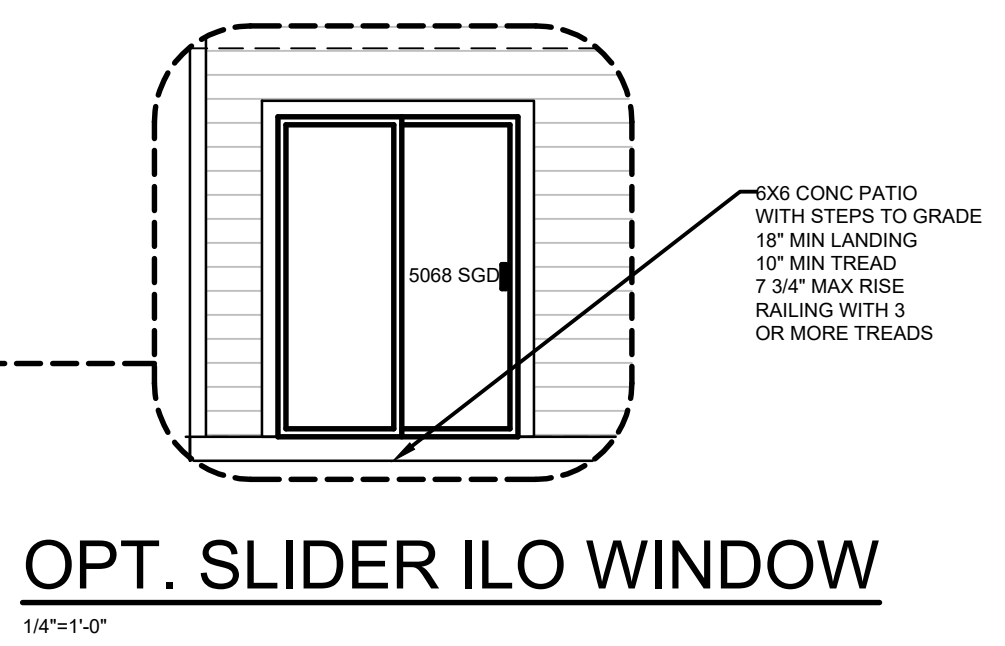
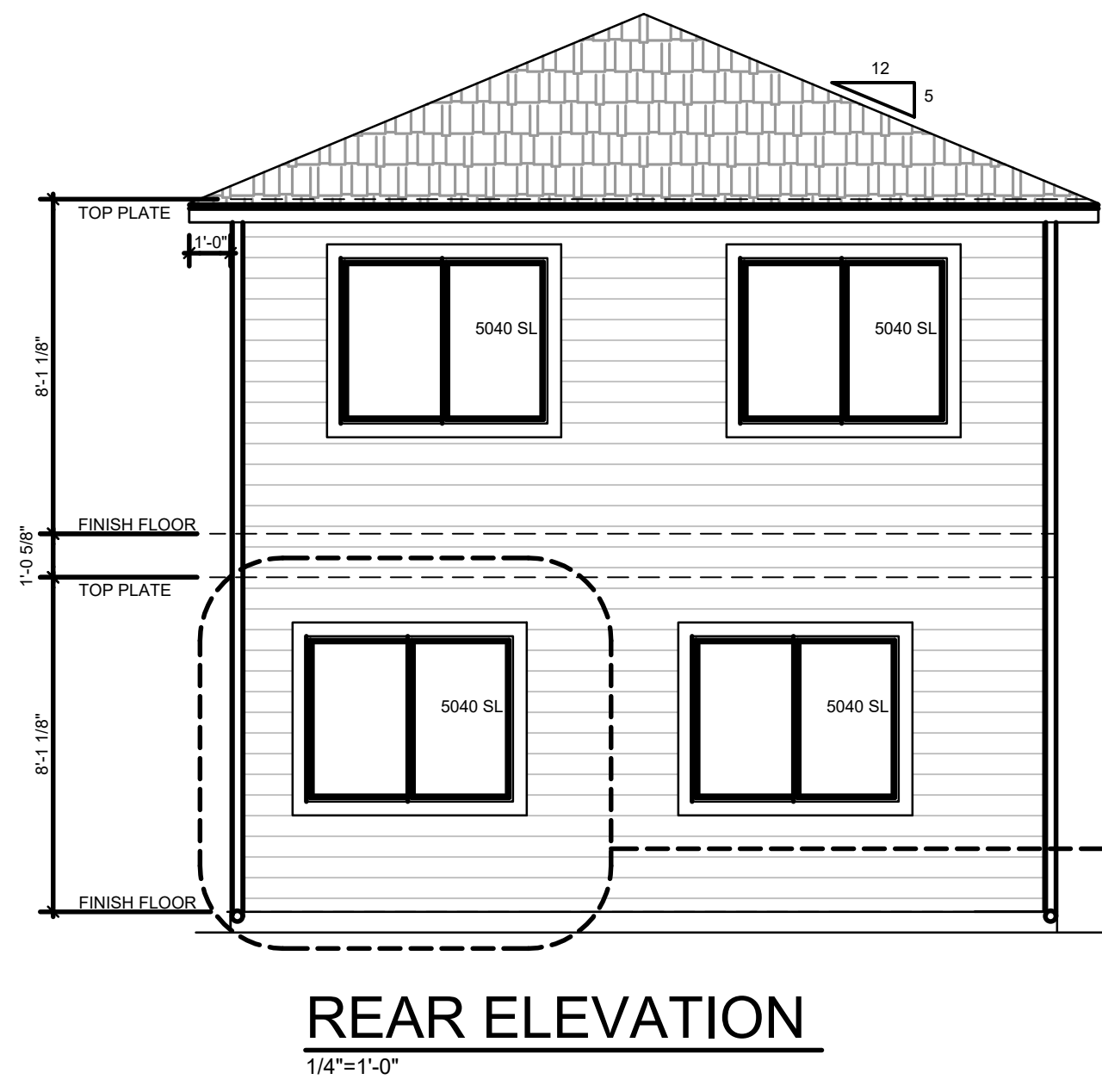
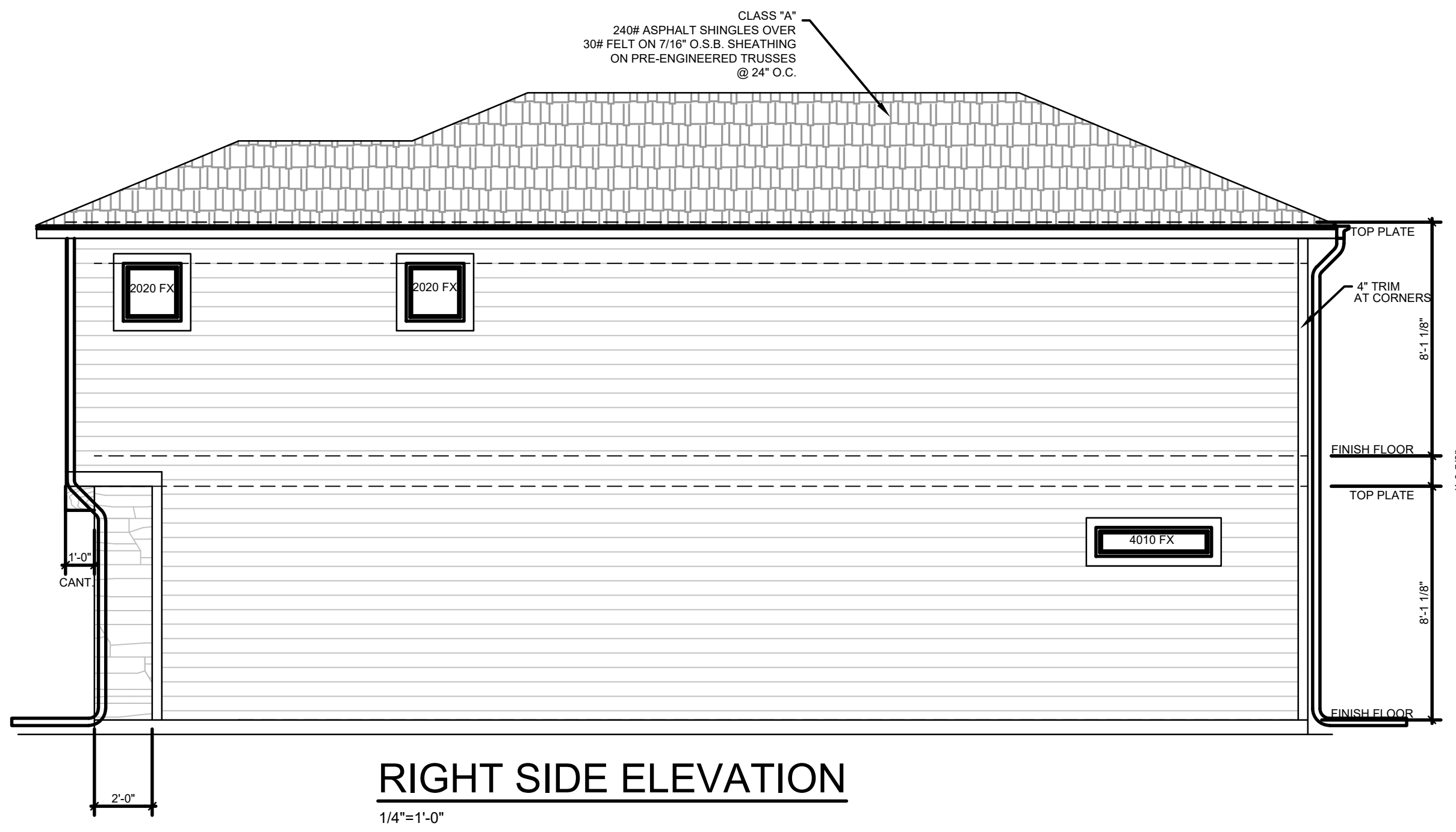
SMALL LOT PUD DEVELOPMENT PLAN
 ELEVATIONS -1367M

SHEET
EL

12



ALL DOWNSPOUTS TO DRAIN AWAY FROM FRONT OR REAR OF HOME



UNIT TYPE: 1367R

CITY APPROVAL:

LAND USE REVIEW FILE NO: CPC PUD 21-00018

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 CAD FILE: J:\2020\201135\CAD\DWG\C\SDP\Arch_Elevations

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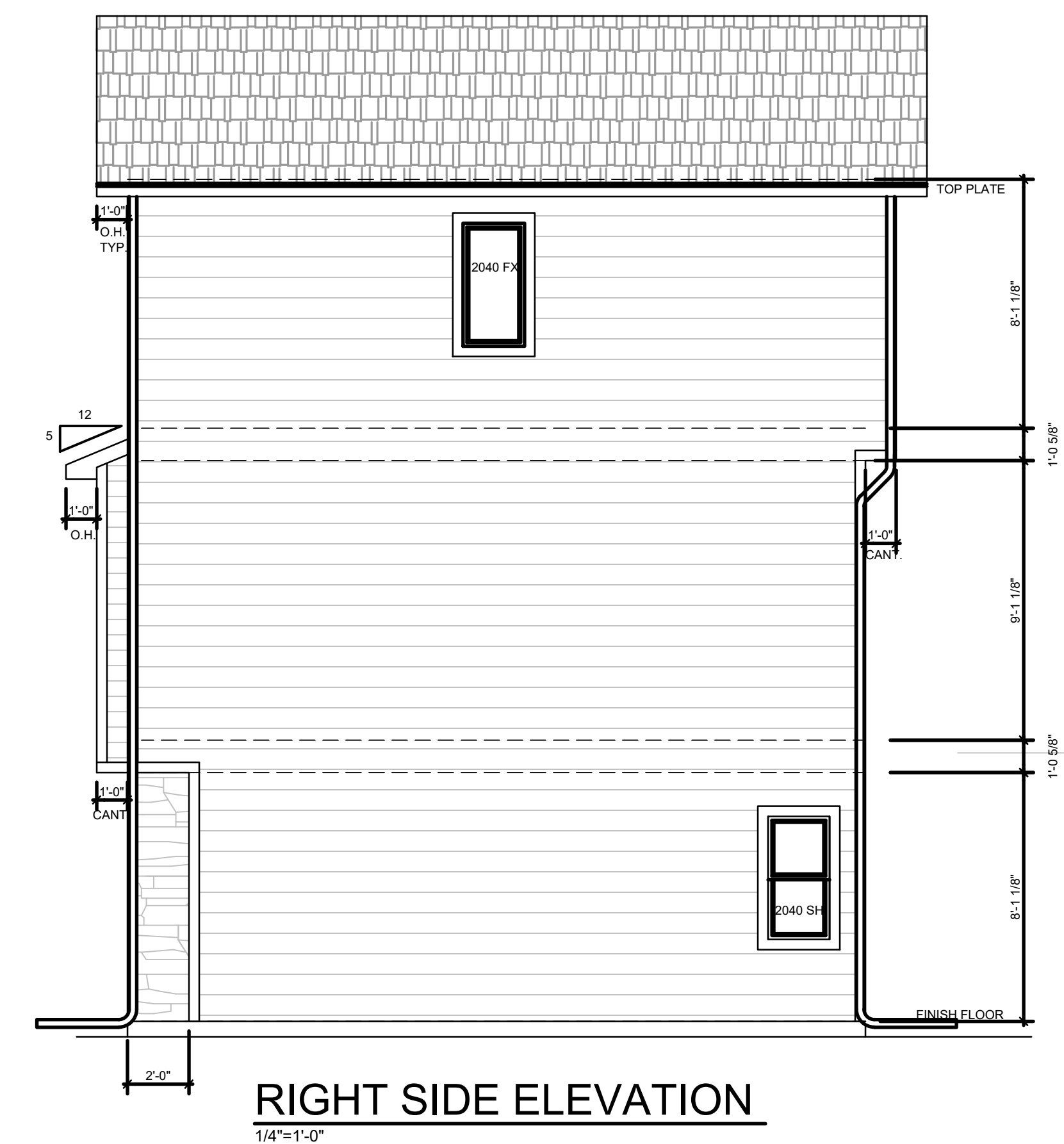
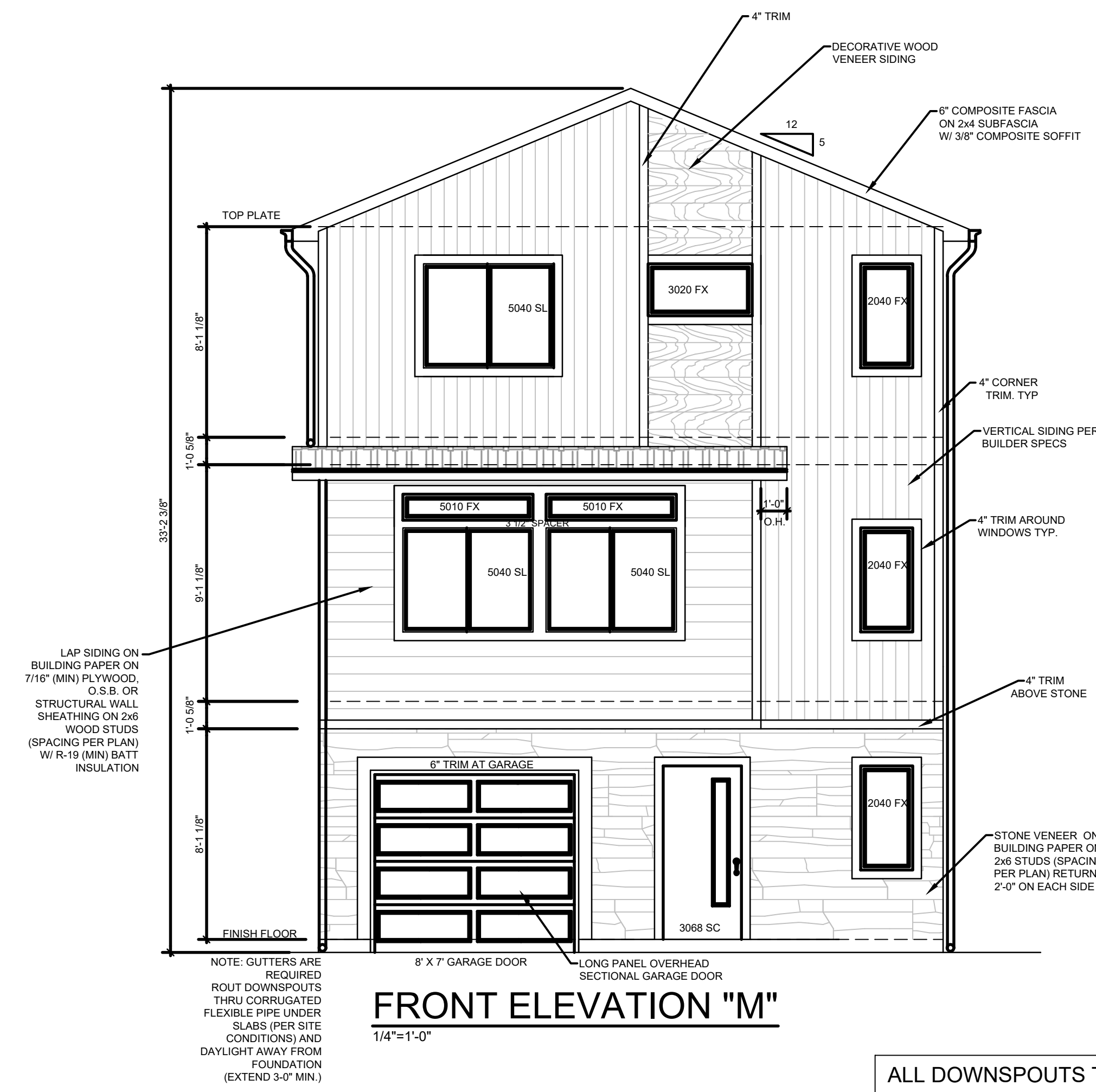
NO.	DATE	BY	REVISION DESCRIPTION

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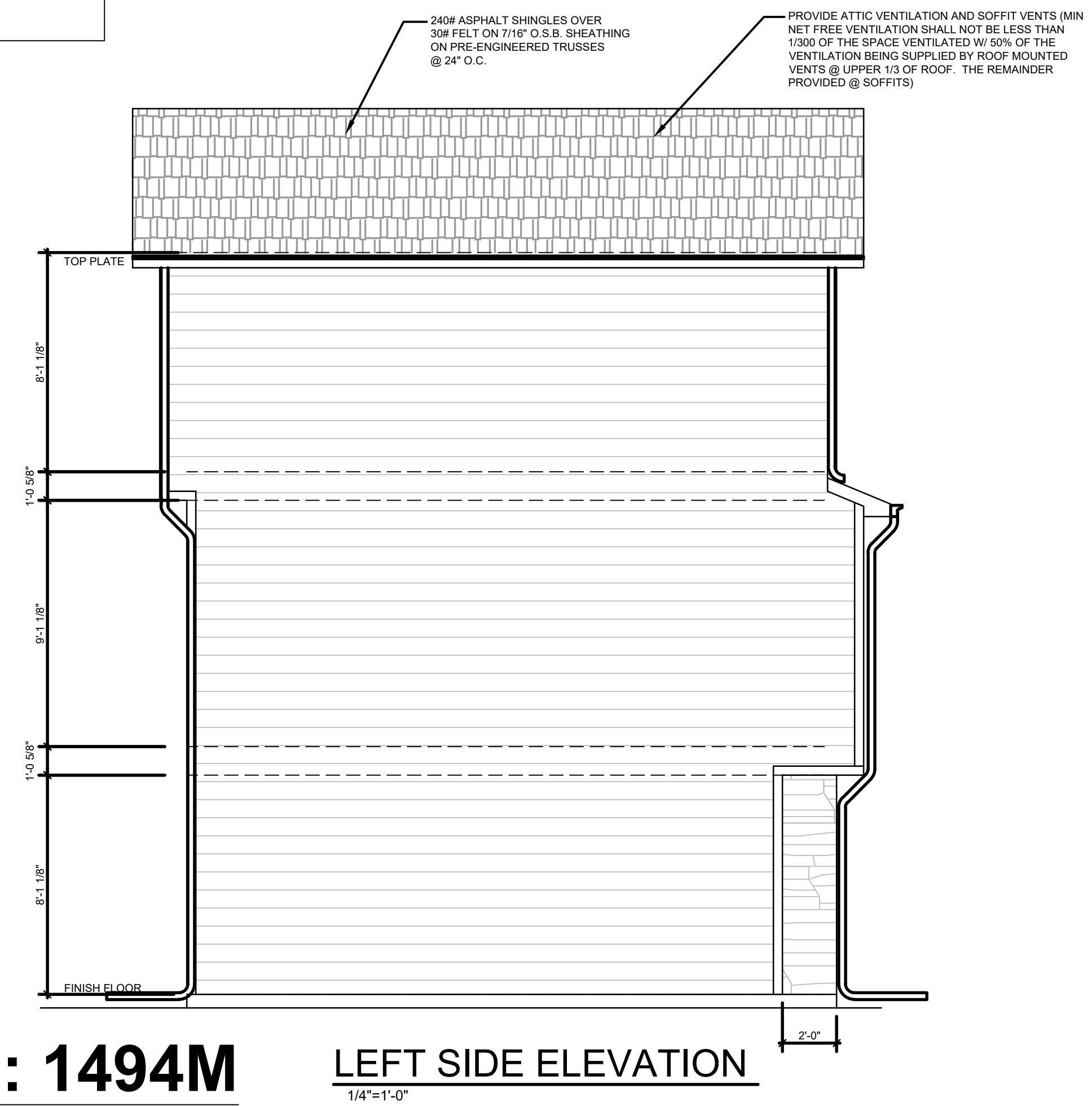
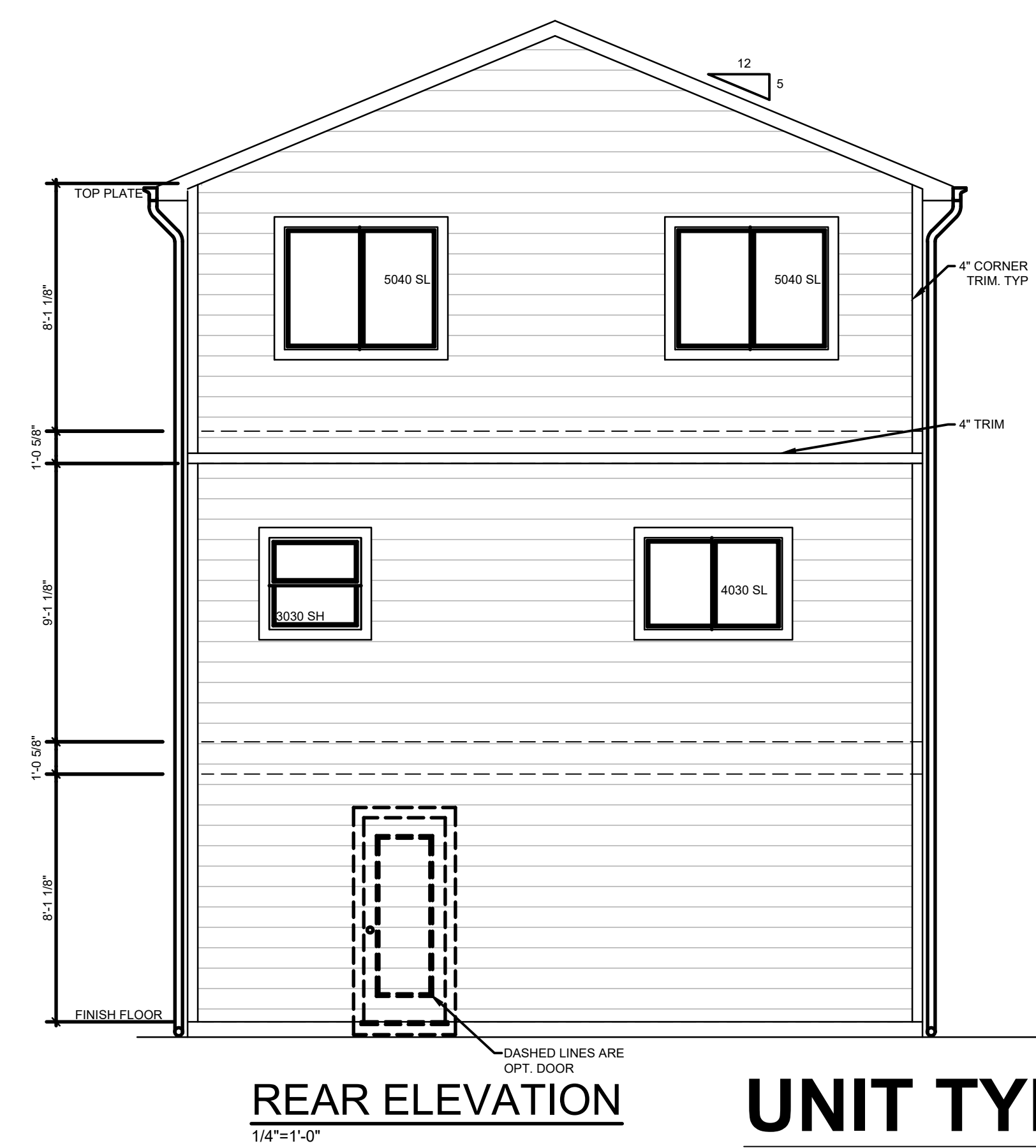
HORSESHOE
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO



SMALL LOT PUD DEVELOPMENT PLAN
 ELEVATIONS -1367R



ALL DOWNSPOUTS TO DRAIN AWAY FROM FRONT OR REAR OF HOME



UNIT TYPE: 1494M

CITY APPROVAL:

LAND USE REVIEW FILE NO: CPC PUD 21-00018

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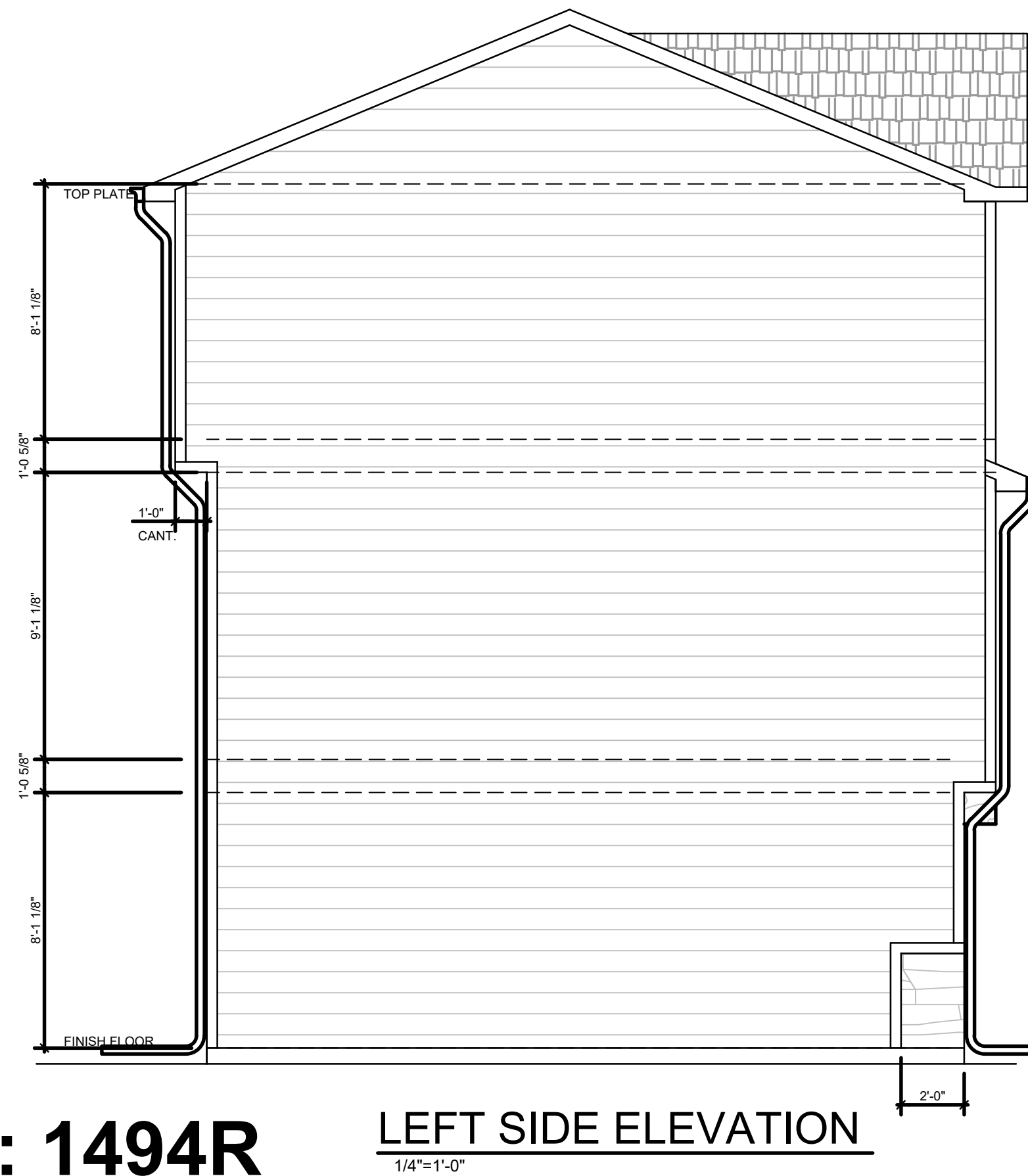
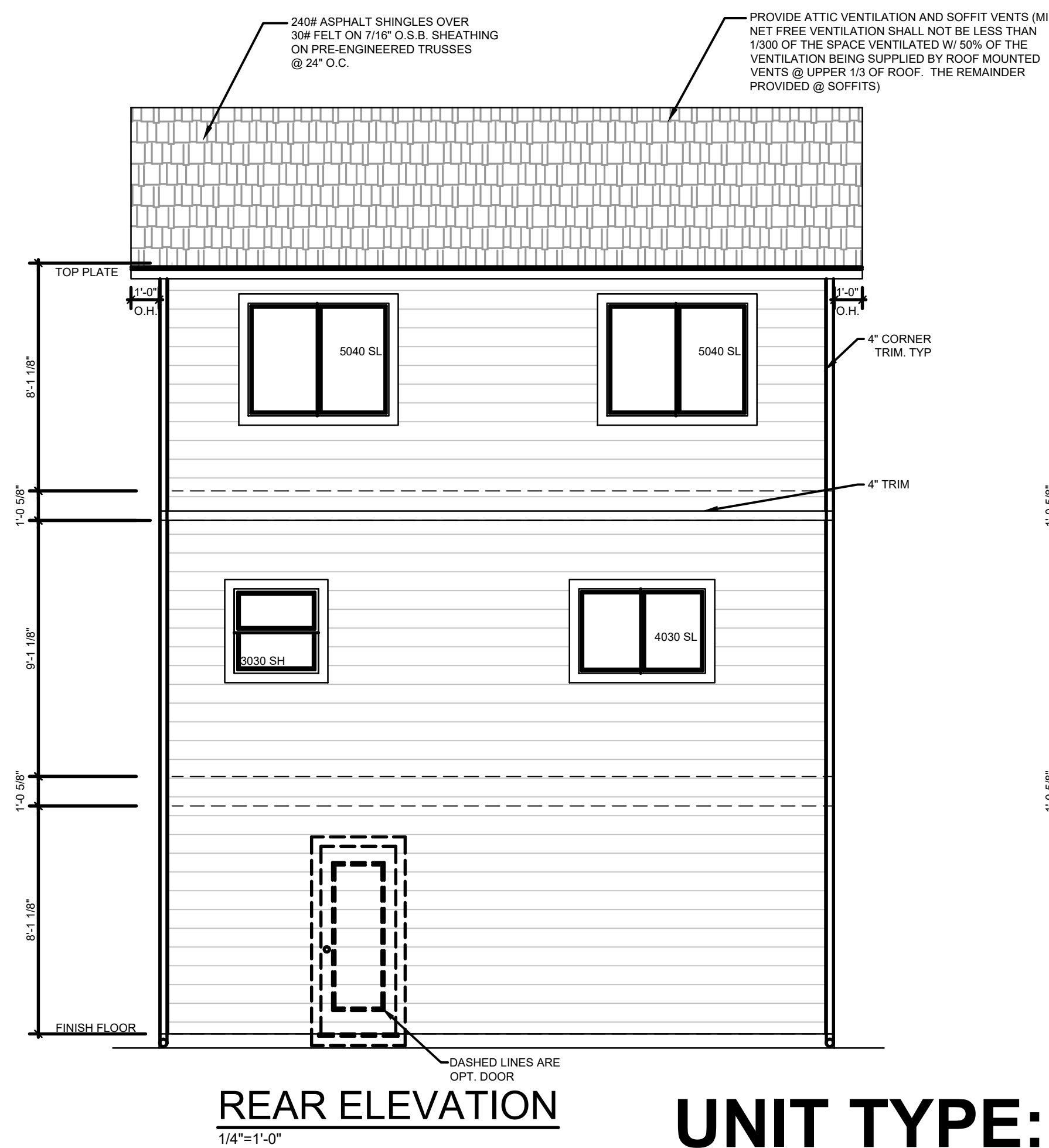
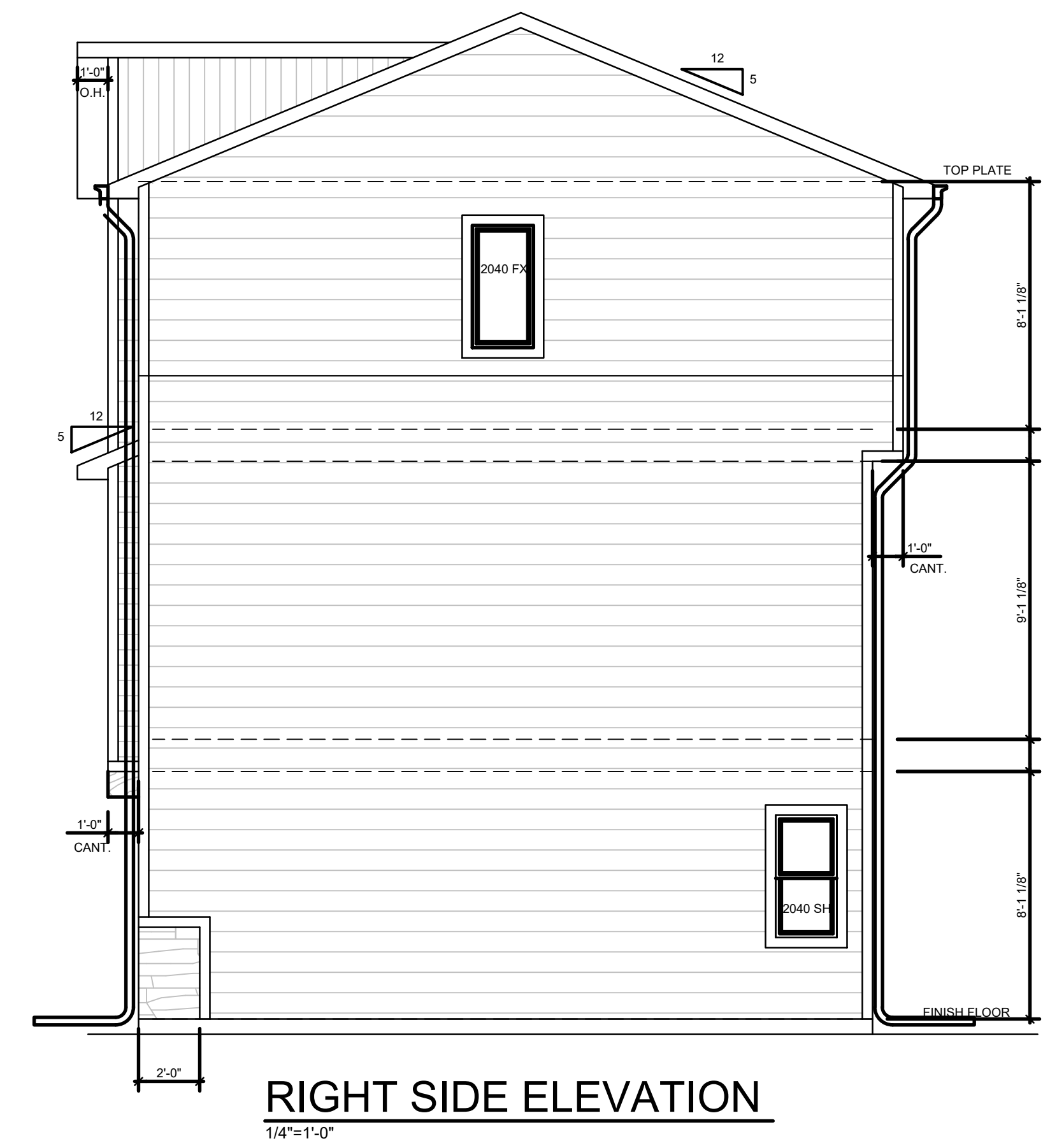
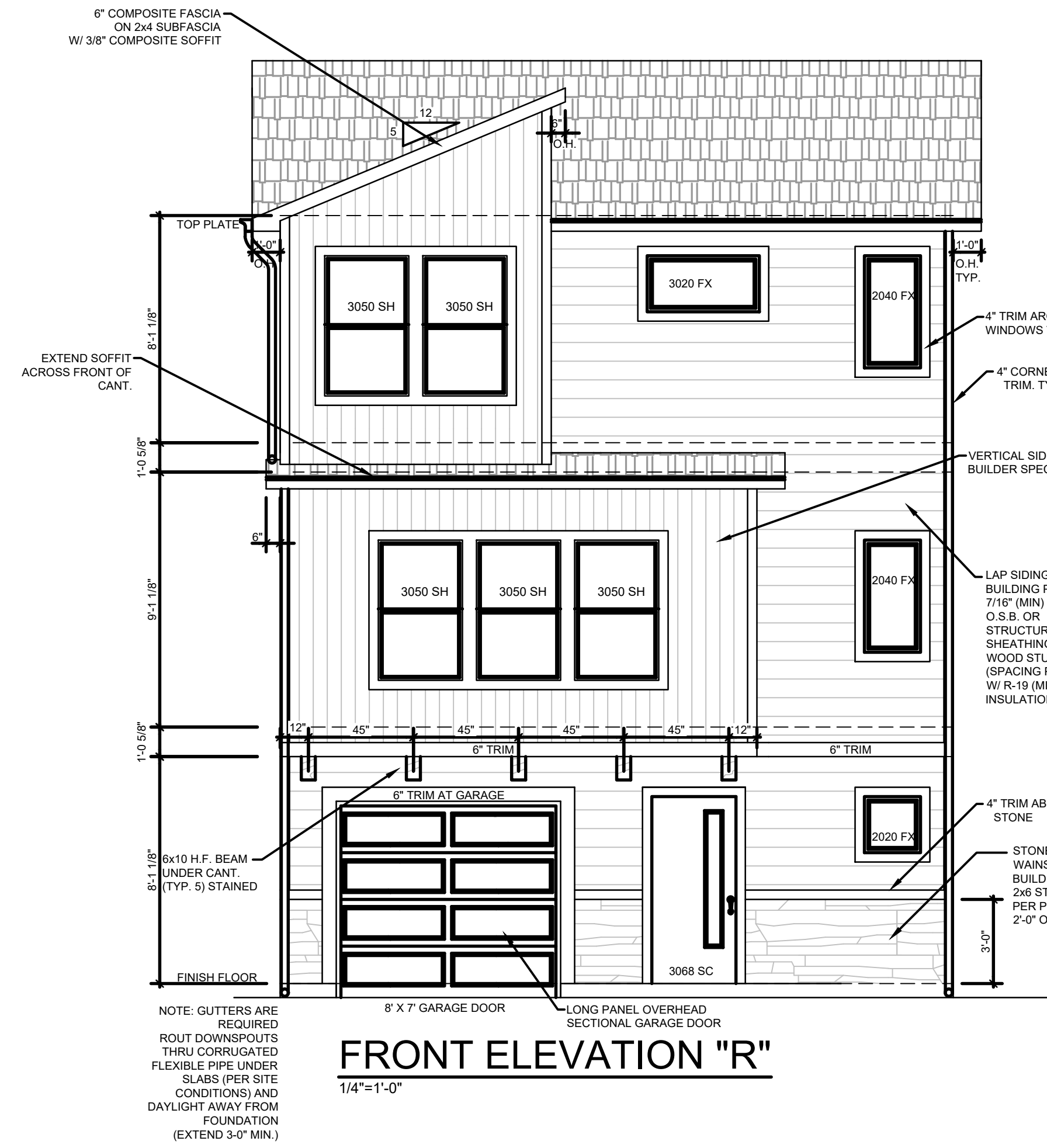
NO.	DATE	BY	REVISION DESCRIPTION

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HORSESHOE
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO



SMALL LOT PUD DEVELOPMENT PLAN
 ELEVATIONS -1494M



ALL DOWNSPOUTS TO DRAIN AWAY FROM FRONT OR REAR OF HOME

UNIT TYPE: 1494R

CITY APPROVAL:

LAND USE REVIEW FILE NO: CPC PUD 21-00018

DRAWN BY: AL JOB DATE: 4/23/2021
 APPROVED: JOB NUMBER: 201135
 CAD DATE: 4/23/2021
 CAD FILE: J:\2020\201135\CAD\Drawings\CSDP\Arch_Elevations

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HORSESHOE
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO



SMALL LOT PUD DEVELOPMENT PLAN
 ELEVATIONS -1494R

SHEET
 EL 15



FRONT ELEVATION "M"

1/4"=1'-0"

NOTE: GUTTERS ARE REQUIRED ROUT DOWNSPOUTS THRU CORRUGATED FLEXIBLE PIPE UNDER SLABS (PER SITE CONDITIONS) AND DAYLIGHT AWAY FROM FOUNDATION (EXTEND 3'-0" MIN.)



RIGHT SIDE ELEVATION

1/4"=1'-0"

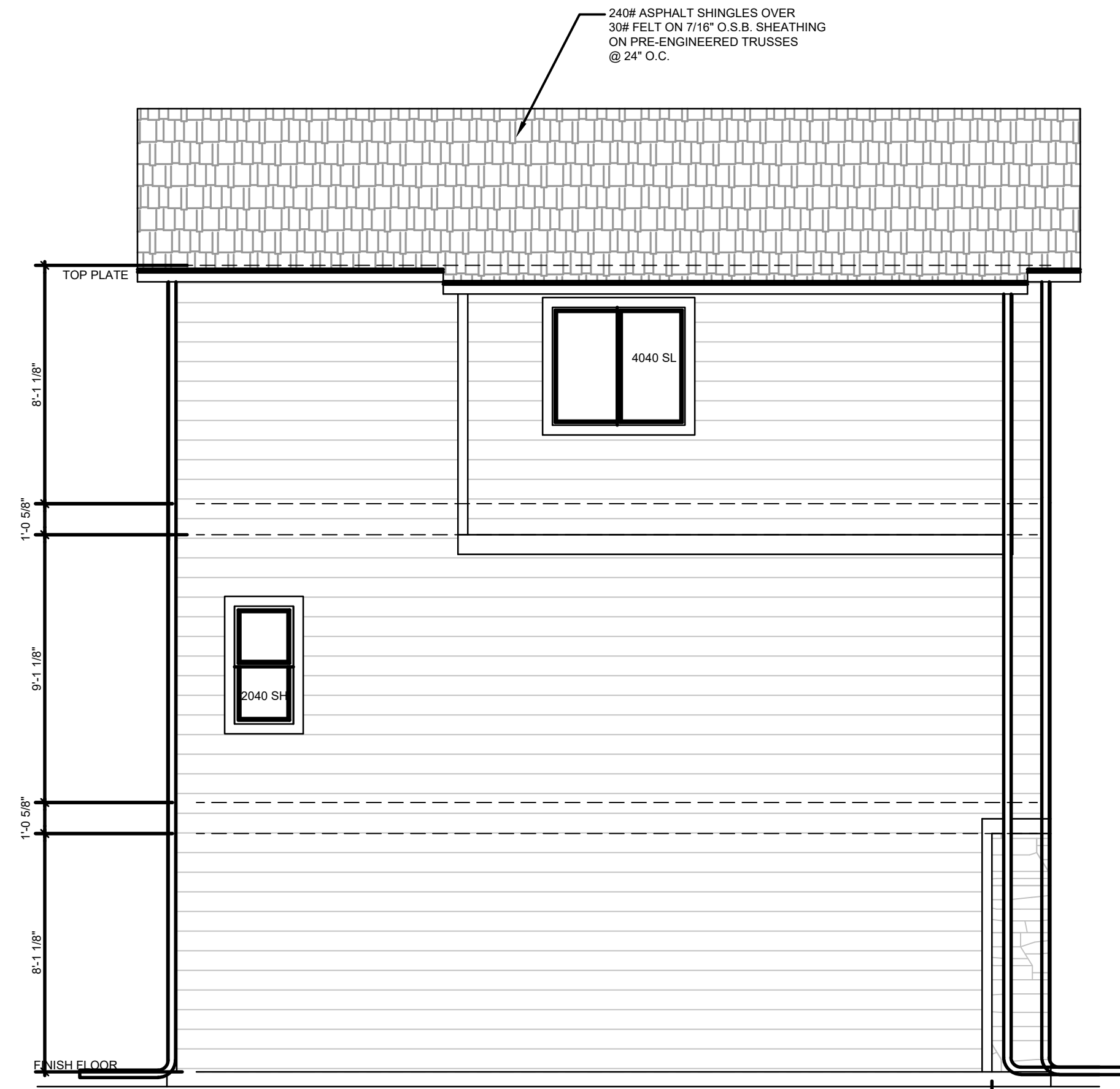
PROVIDE ATTIC VENTILATION AND SOFFIT VENTS (MIN NET FREE VENTILATION SHALL NOT BE LESS THAN 1/300 OF THE SPACE VENTILATED W/ 50% OF THE VENTILATION BEING SUPPLIED BY ROOF MOUNTED VENTS @ UPPER 1/3 OF ROOF. THE REMAINDER PROVIDED @ SOFFITS)



REAR ELEVATION

1/4"=1'-0"

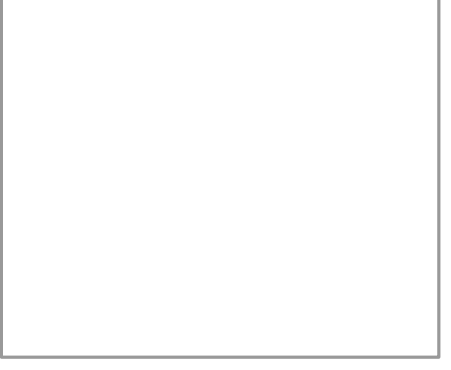
ALL DOWNSPOUTS TO DRAIN AWAY FROM FRONT OR REAR OF HOME



LEFT SIDE ELEVATION

1/4"=1'-0"

CITY APPROVAL:



LAND USE REVIEW FILE NO: CPC PUD 21-00018

DRAWN BY: AL JOB DATE: 4/23/2021
 APPROVED: _____ JOB NUMBER: 201135
 CAD DATE: 4/23/2021
 CAD FILE: J:\2020\201135\CAD\DWG\C\SDP\Arch_Elevations

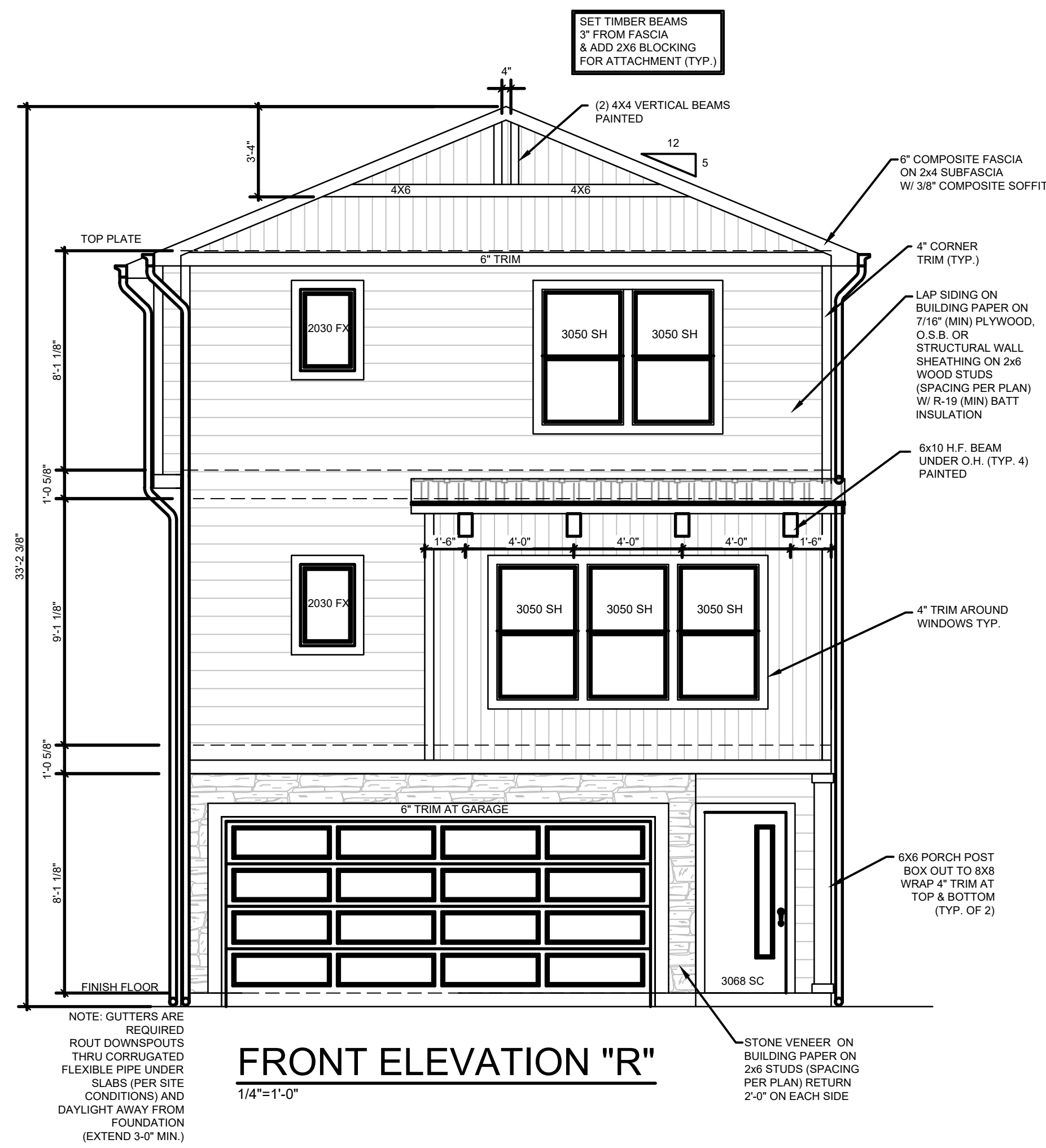
NO.	DATE	BY	REVISION DESCRIPTION

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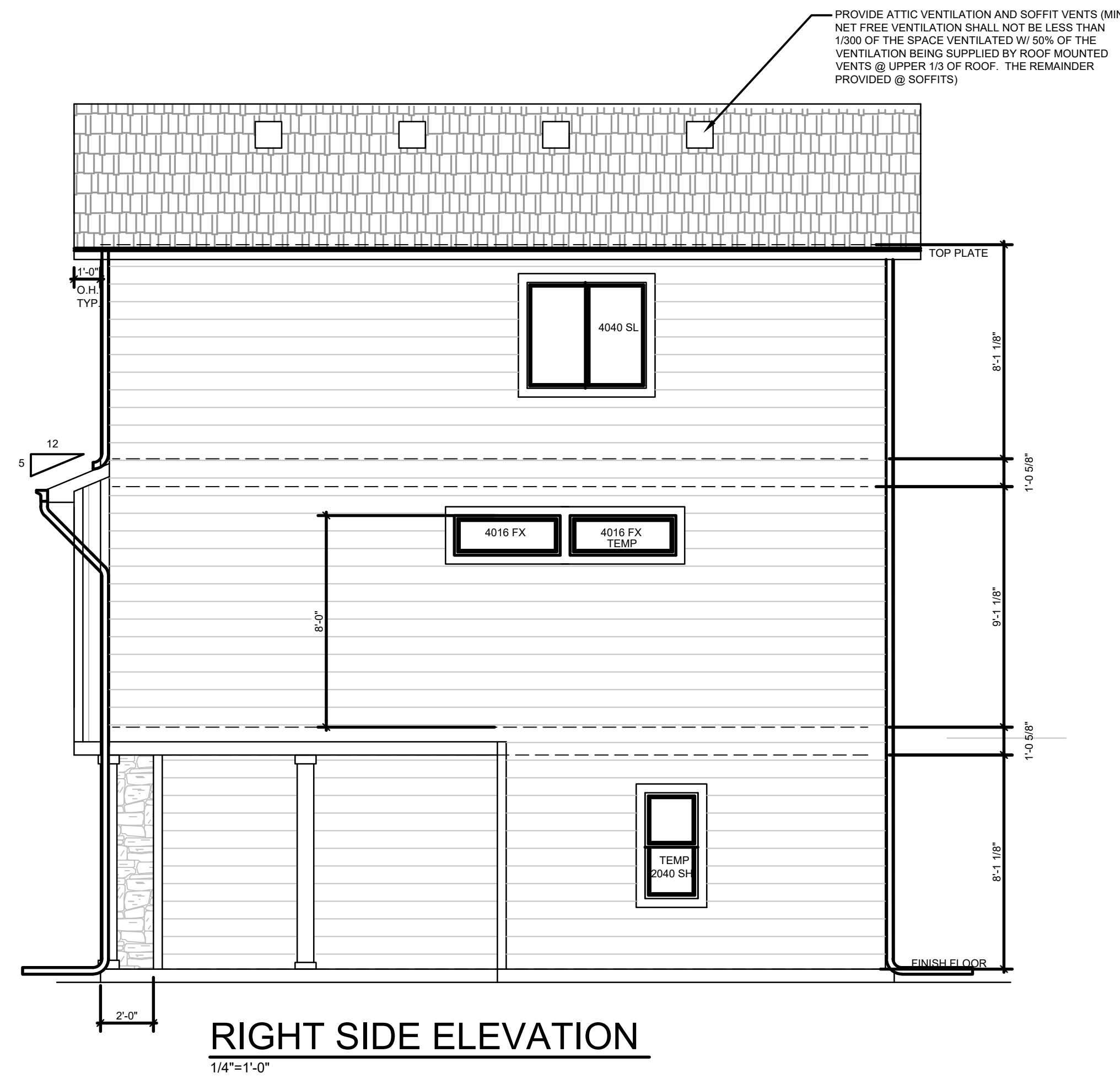
CHALLENGER HOMES
 HORSESHOE CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO

SMALL LOT PUD DEVELOPMENT PLAN
 ELEVATIONS -1727M

SHEET EL 16



FRONT ELEVATION "R"
1/4"=1'-0"

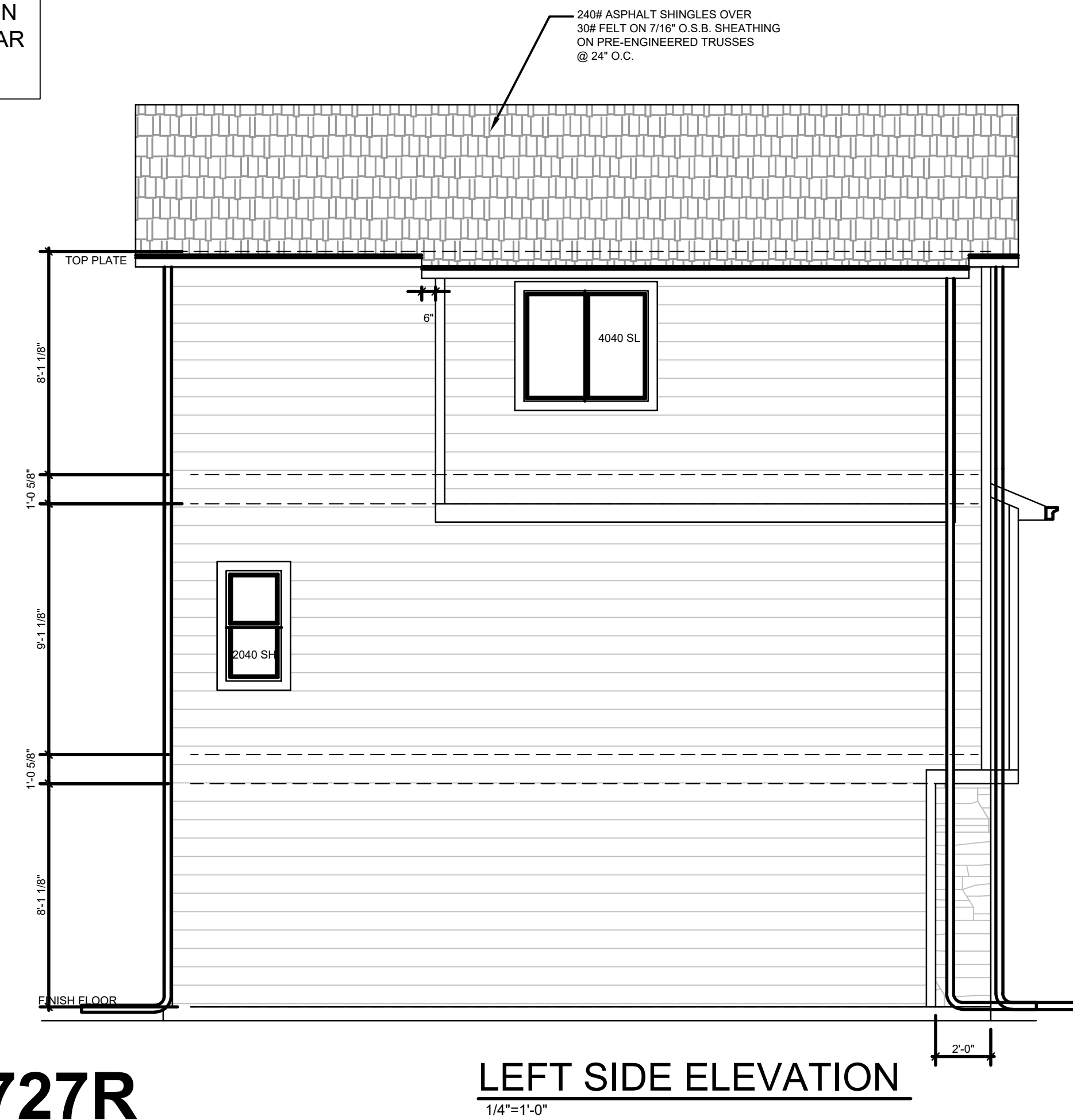


RIGHT SIDE ELEVATION
1/4"=1'-0"

ALL DOWNSPOUTS TO DRAIN AWAY FROM FRONT OR REAR OF HOME



REAR ELEVATION
1/4"=1'-0"



LEFT SIDE ELEVATION
1/4"=1'-0"

UNIT TYPE: 1727R

CITY APPROVAL:

LAND USE REVIEW FILE NO: CPC PUD 21-00018

DRAWN BY: AL JOB DATE: 4/23/2021
 APPROVED: _____ JOB NUMBER: 201135
 CAD DATE: 4/23/2021
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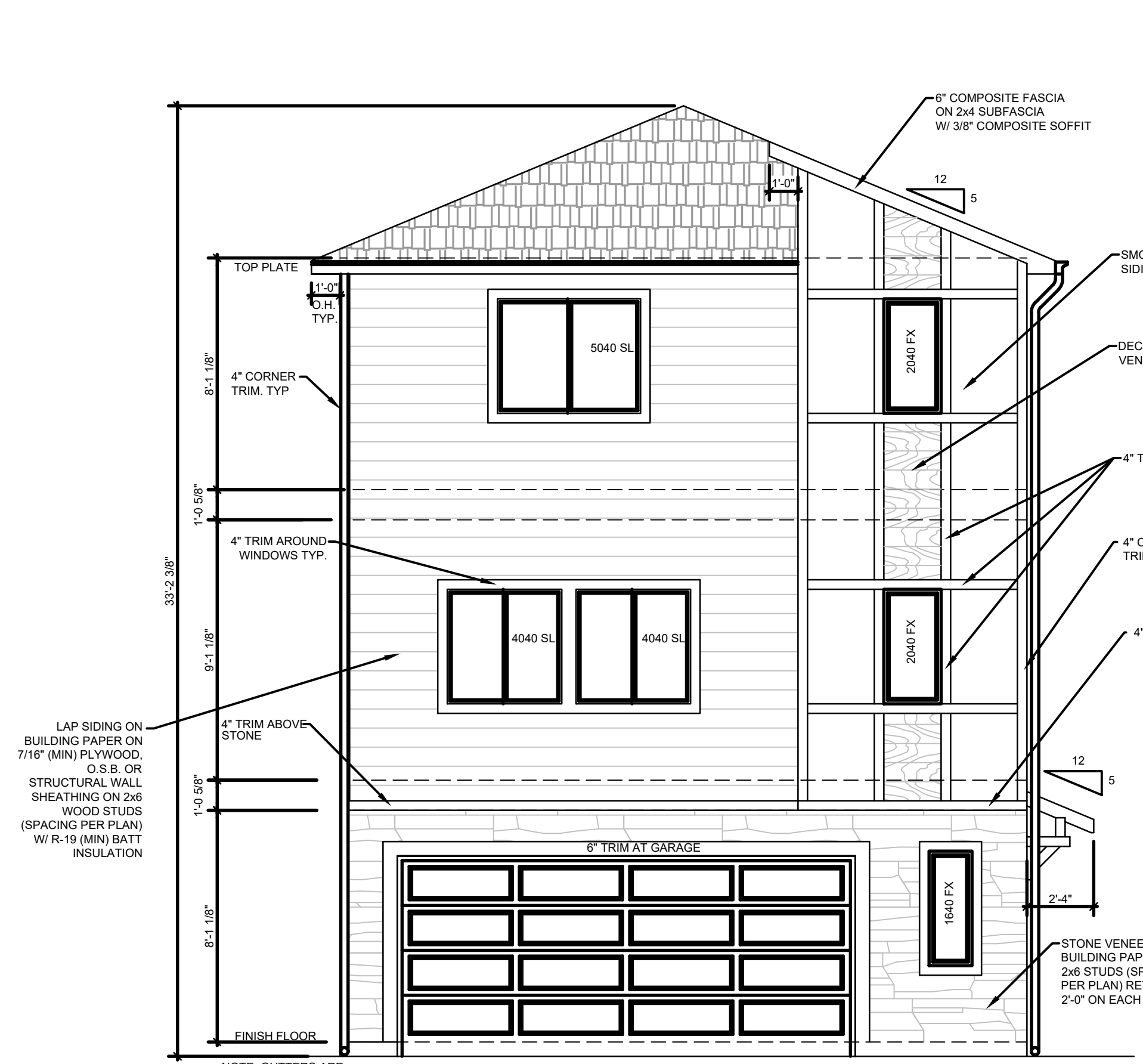
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HORSESHOE
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO

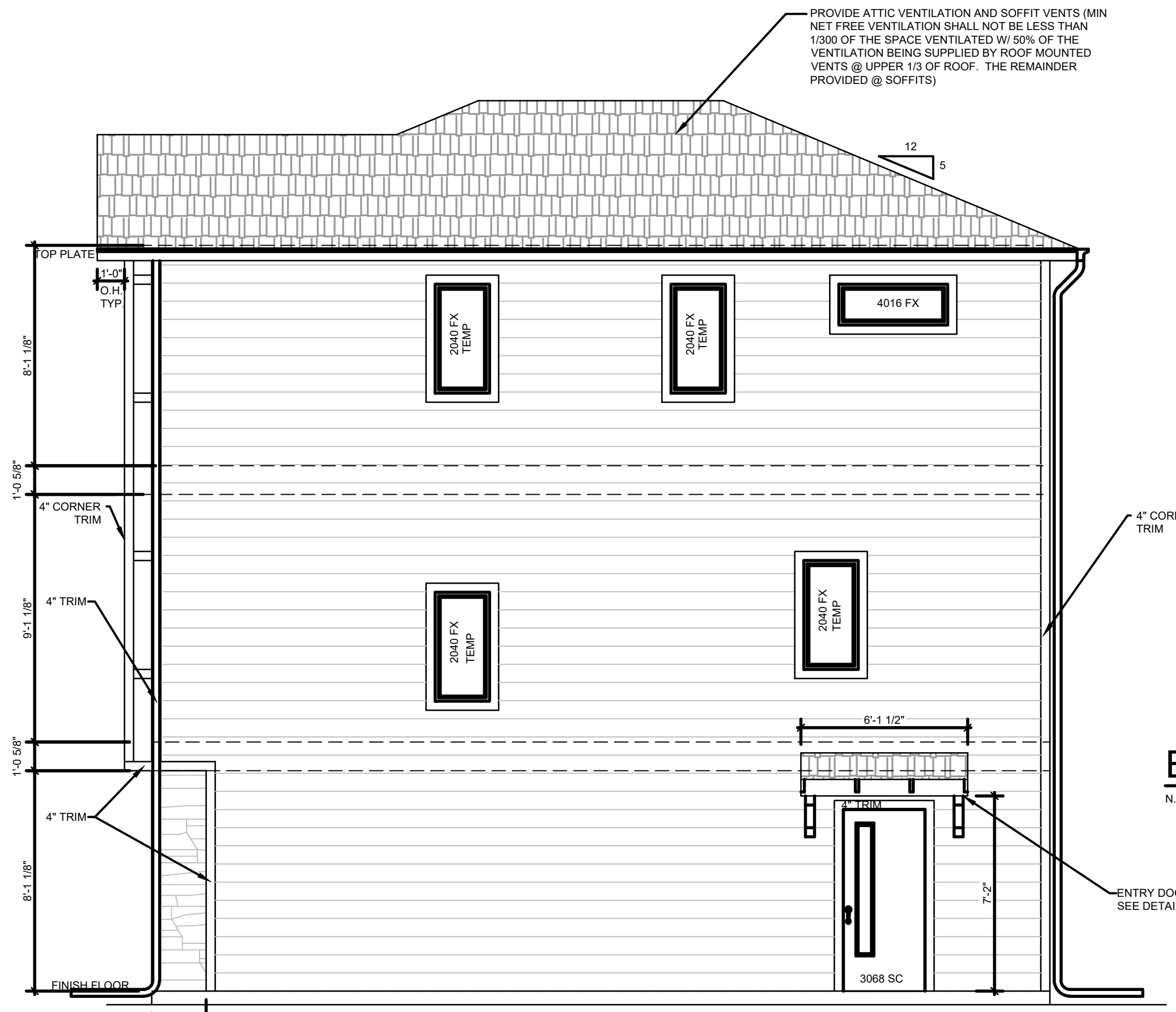


SMALL LOT PUD DEVELOPMENT PLAN
 ELEVATIONS -1727R

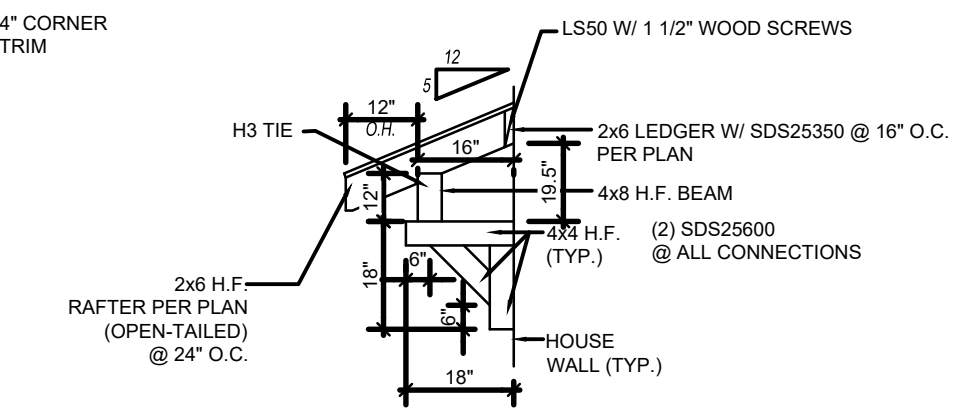


FRONT ELEVATION "M"
1/4"=1'-0"

NOTE: GUTTERS ARE REQUIRED. ROUTE DOWNSPOUTS THRU CORRUGATED FLEXIBLE PIPE UNDER SLABS (PER SITE CONDITIONS) AND DAYLIGHT AWAY FROM FOUNDATION (EXTEND 3'-0" MIN.)

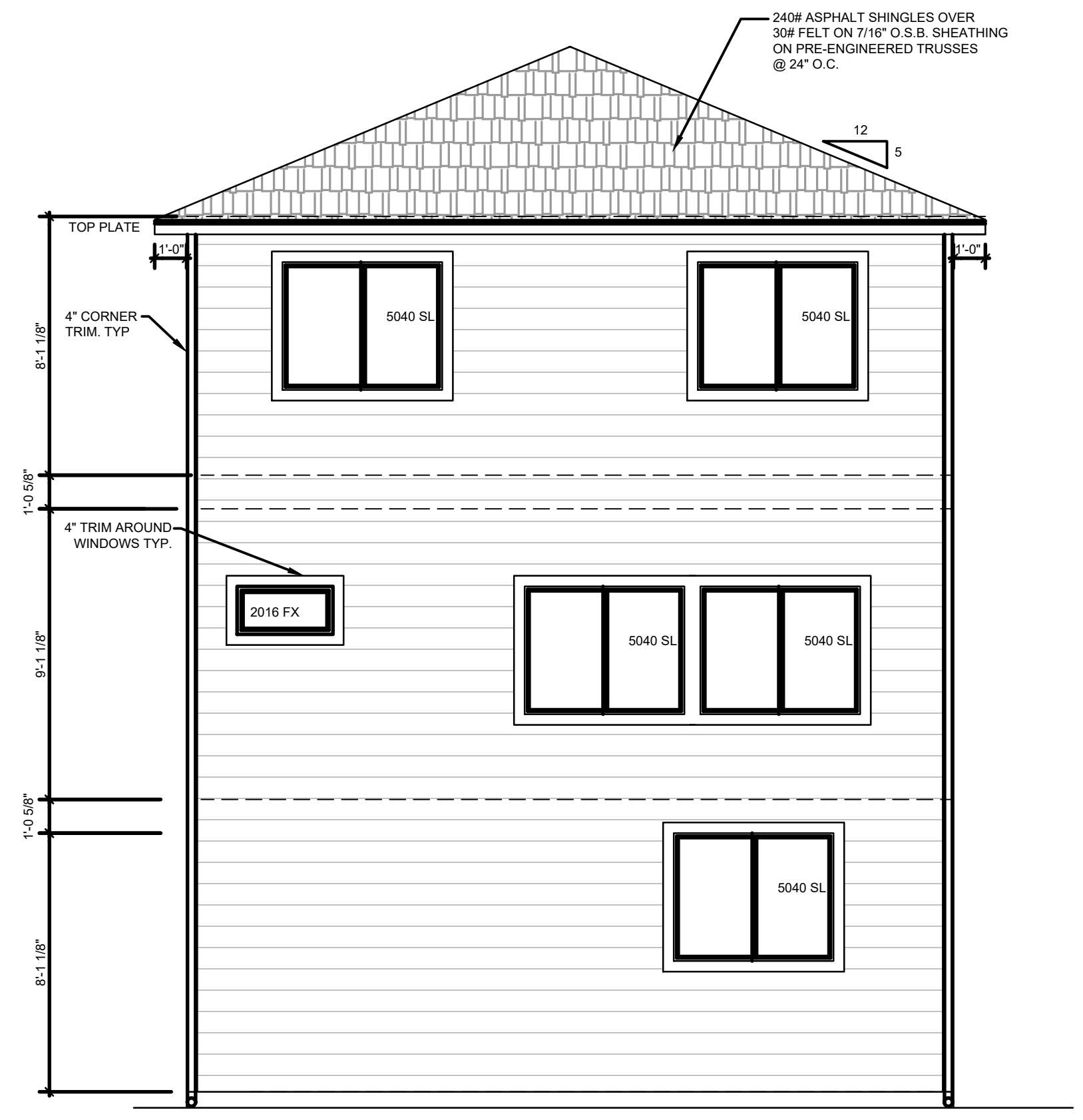


RIGHT SIDE ELEVATION
1/4"=1'-0"

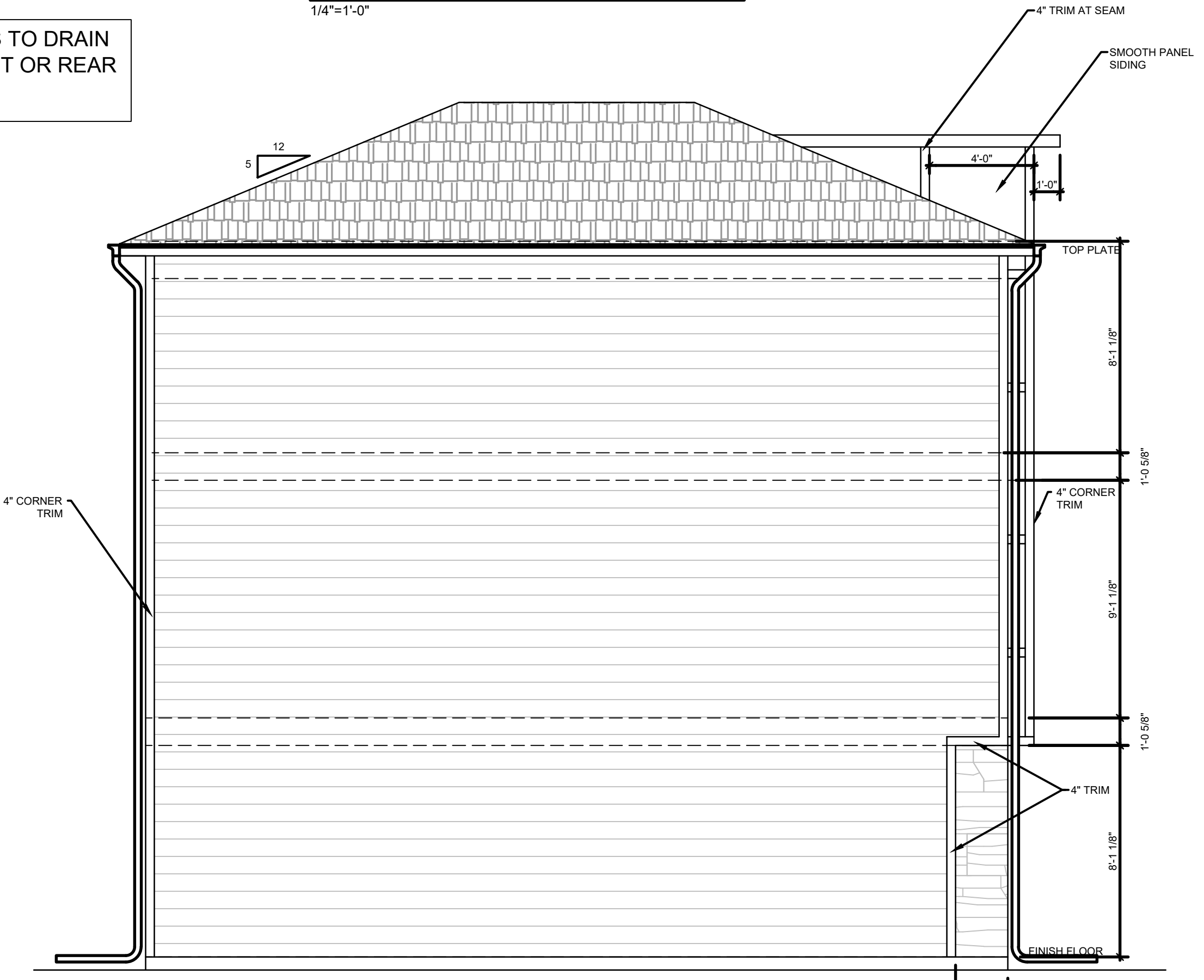


ENTRY DOOR ROOF DETAIL
N.T.S.

ALL DOWNSPOUTS TO DRAIN AWAY FROM FRONT OR REAR OF HOME



REAR ELEVATION
1/4"=1'-0"



LEFT SIDE ELEVATION
1/4"=1'-0"

UNIT TYPE: 1949M

CITY APPROVAL:

LAND USE REVIEW FILE NO: CPC PUD 21-00018

DRAWN BY: AL JOB DATE: 4/23/2021
 APPROVED: _____ JOB NUMBER: 201135
 CAD DATE: 4/23/2021
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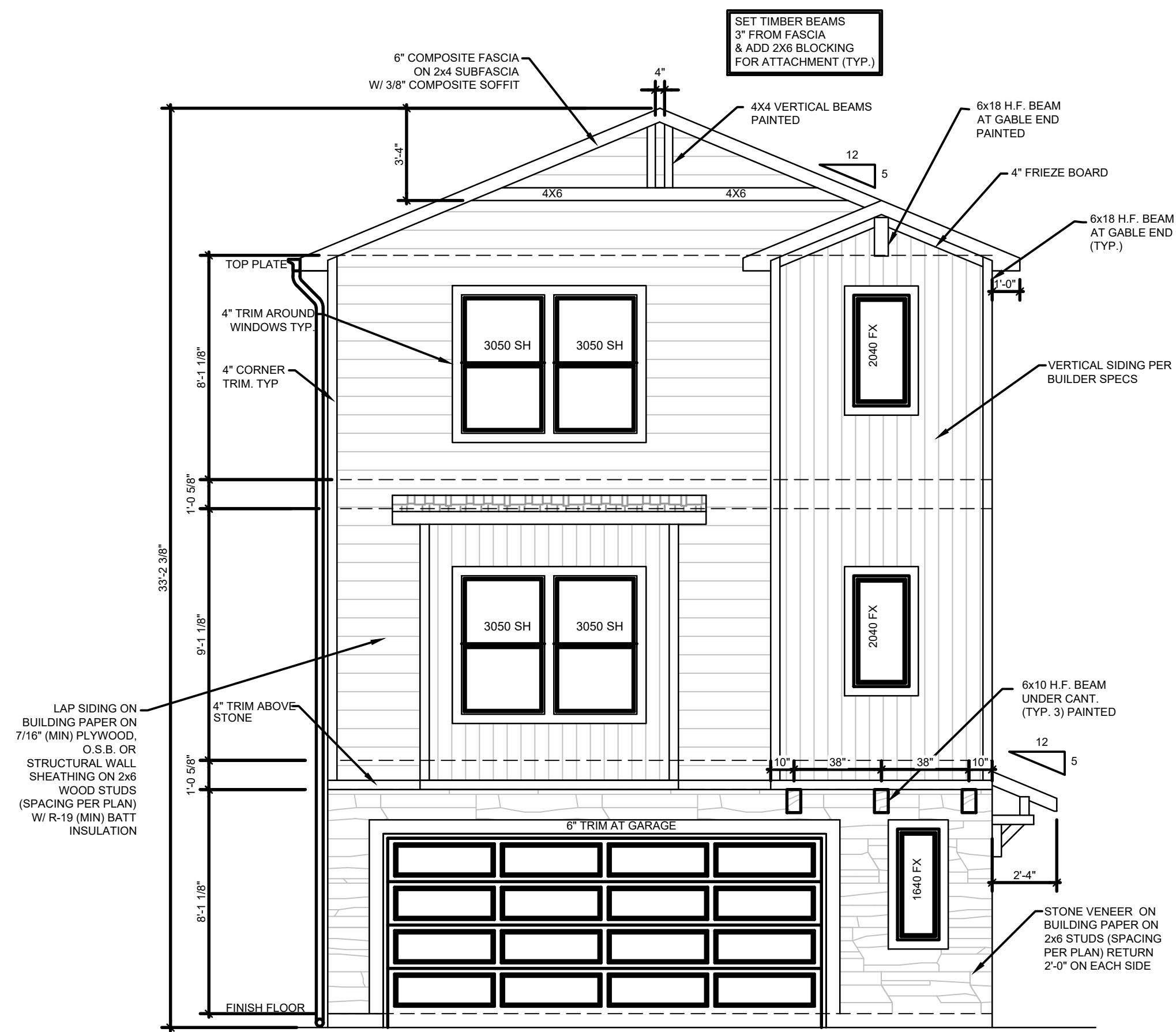
NO.	DATE	BY	REVISION DESCRIPTION

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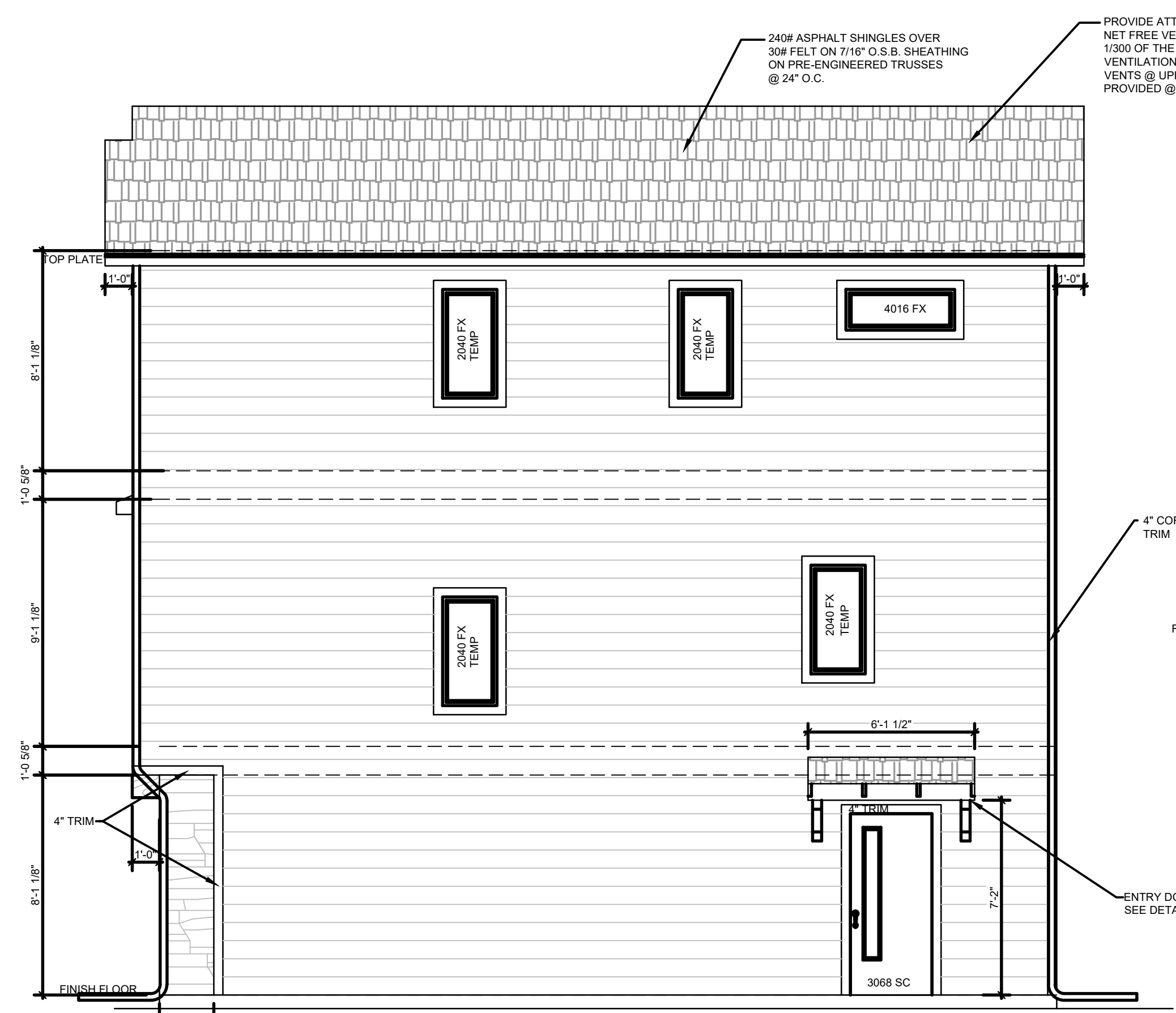
HORSESHOE
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO



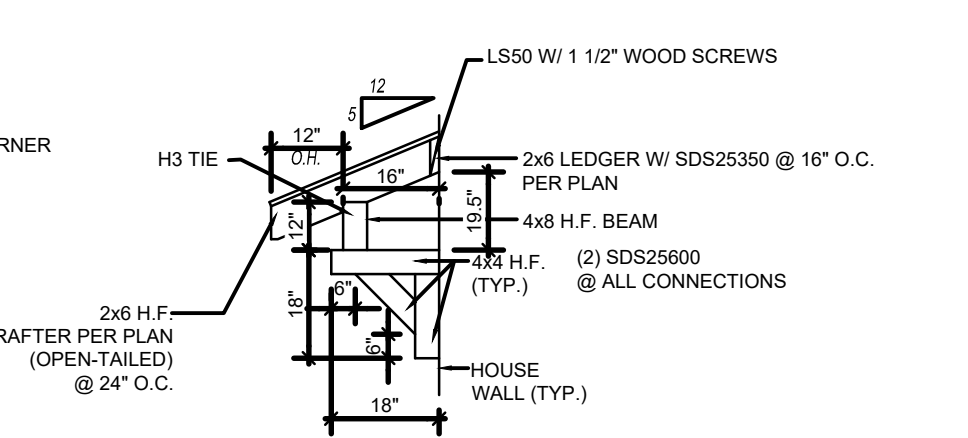
SMALL LOT PUD DEVELOPMENT PLAN
 ELEVATIONS -1949M



FRONT ELEVATION "R"
1/4"=1'-0"



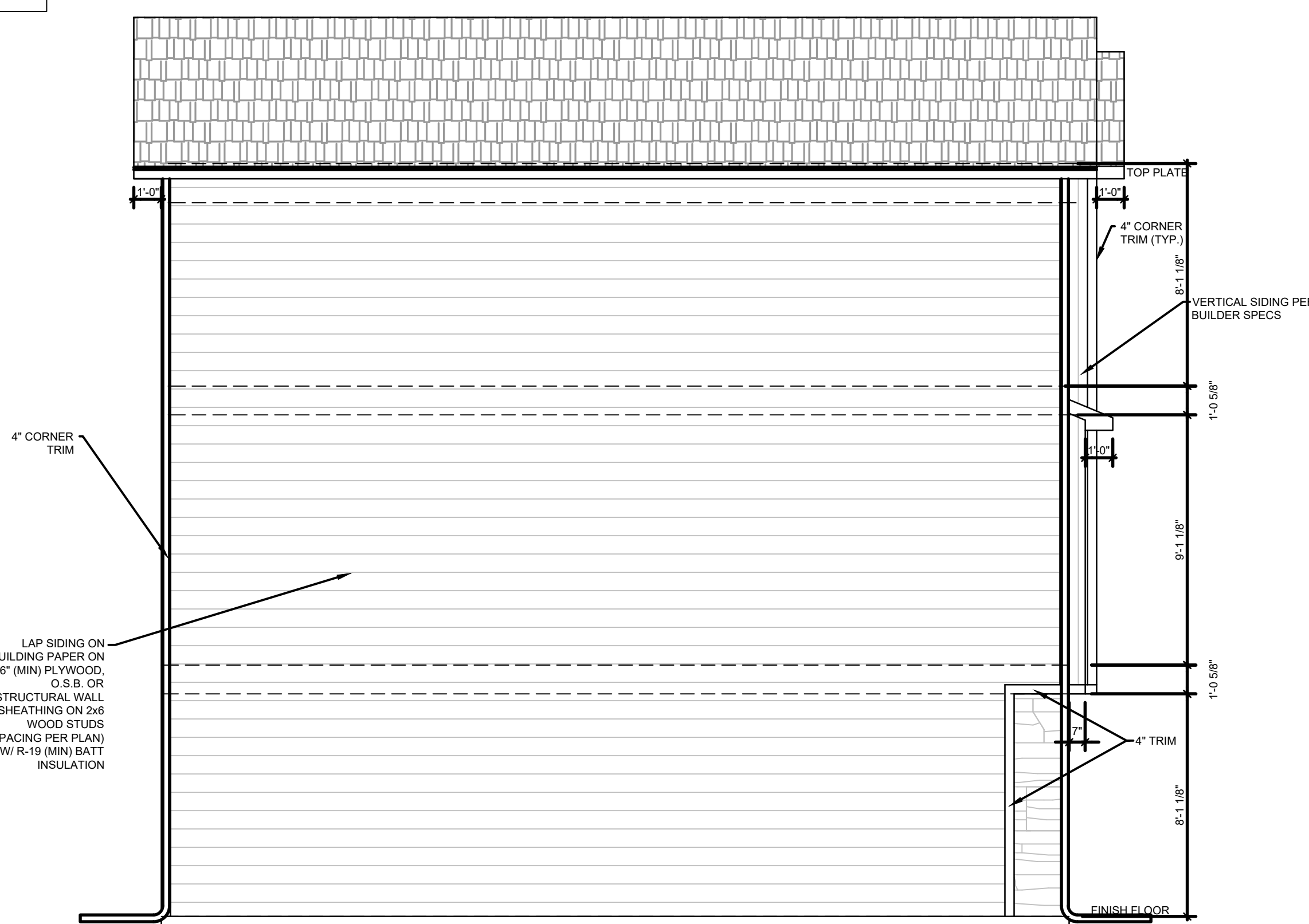
RIGHT SIDE ELEVATION
1/4"=1'-0"



ENTRY DOOR ROOF DETAIL
N.T.S.



REAR ELEVATION
1/4"=1'-0"



LEFT SIDE ELEVATION
1/4"=1'-0"

ALL DOWNSPOUTS TO DRAIN AWAY FROM FRONT OR REAR OF HOME

UNIT TYPE: 1949R

CITY APPROVAL:

LAND USE REVIEW FILE NO: CPC PUD 21-00018

DRAWN BY: AL	JOB DATE: 4/23/2021	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: _____	JOB NUMBER: 201135	0" = 1"
CAD DATE: 4/23/2021		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2020\201135\CAD\Drawings\CSDP\Arch_Elevations		

NO.	DATE	BY	REVISION DESCRIPTION

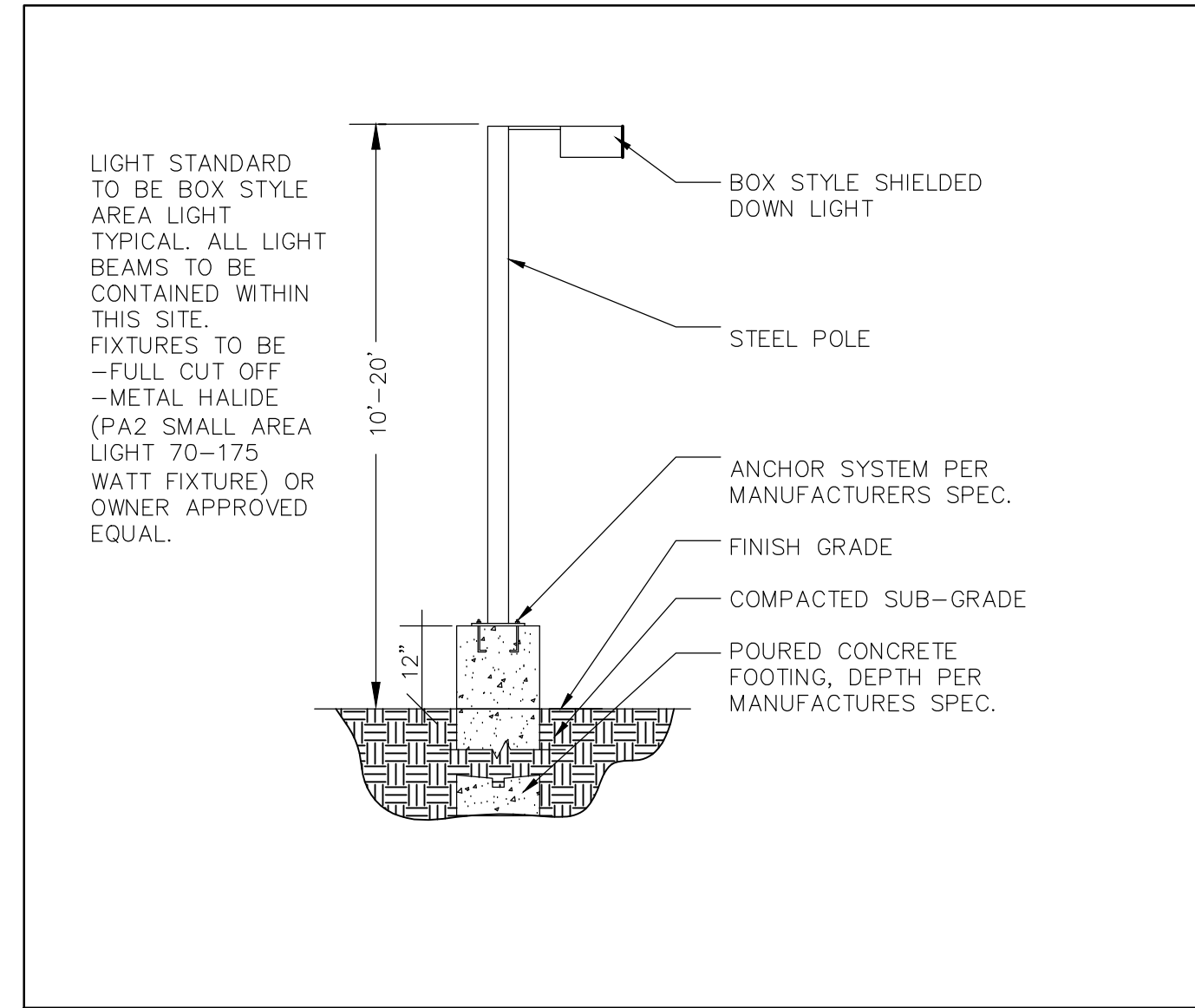
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COLORADO SPRINGS CO 80919
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HORSESHOE
CHALLENGER HOMES
COLORADO SPRINGS, COLORADO

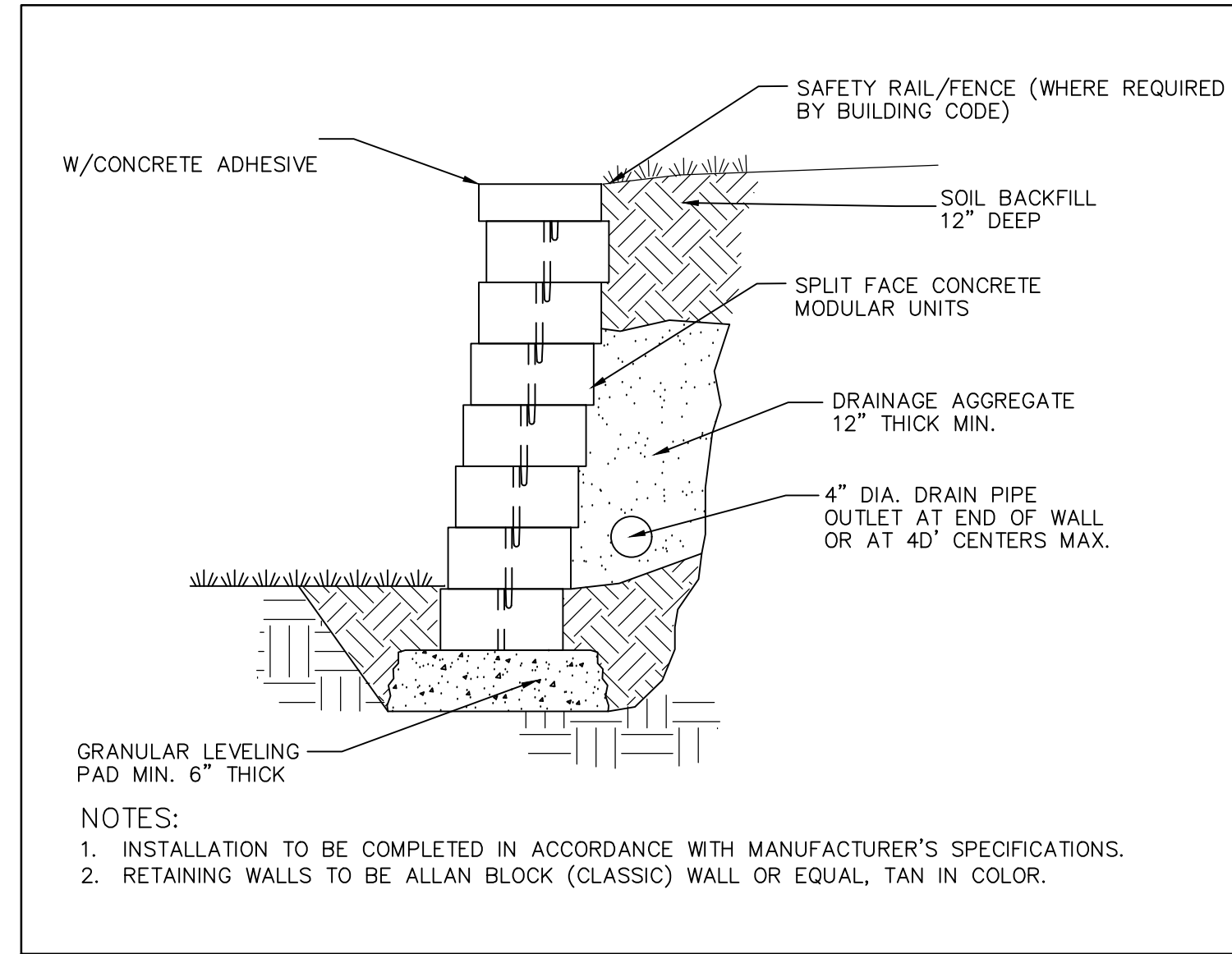
CHALLENGER HOMES

SMALL LOT PUD DEVELOPMENT PLAN
ELEVATIONS -1949R

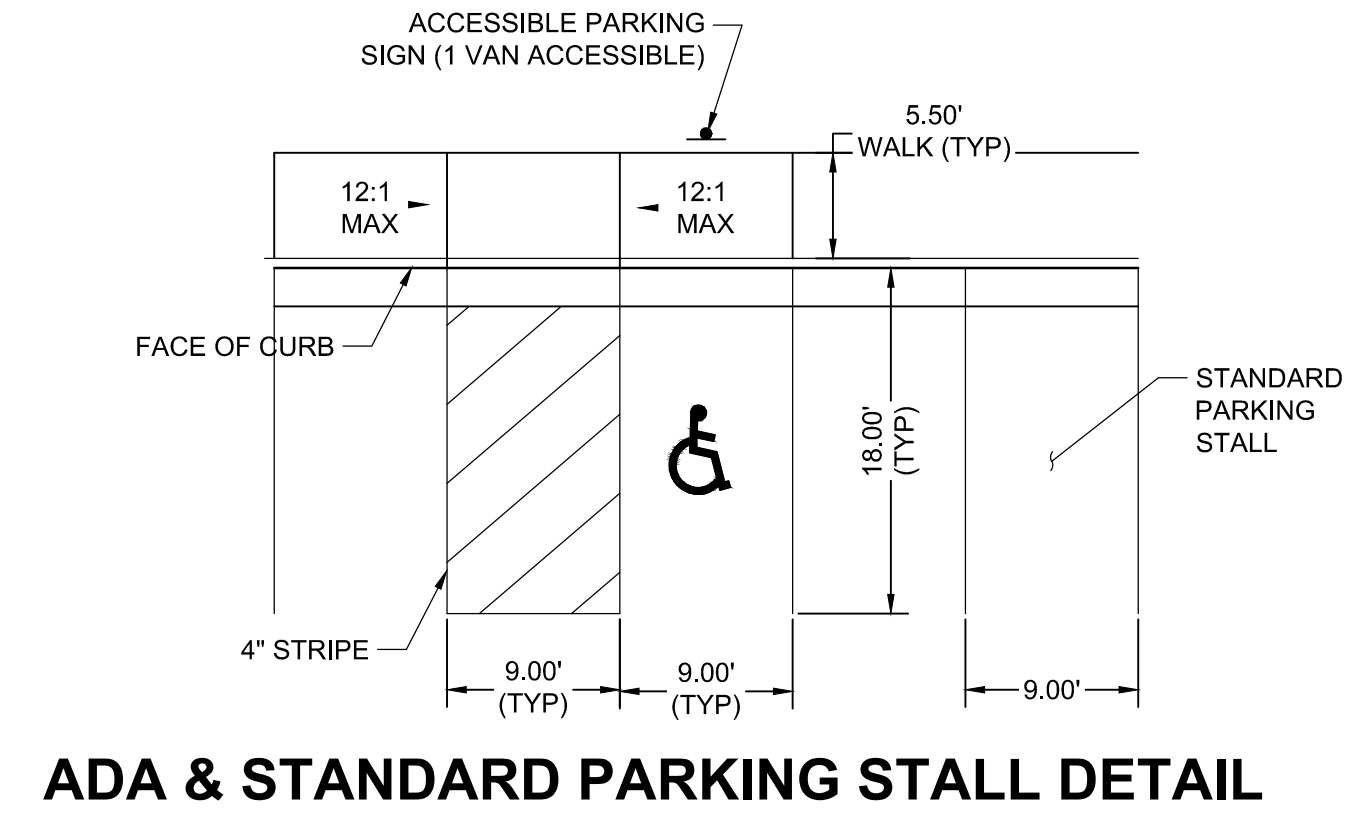
SHEET EL 19



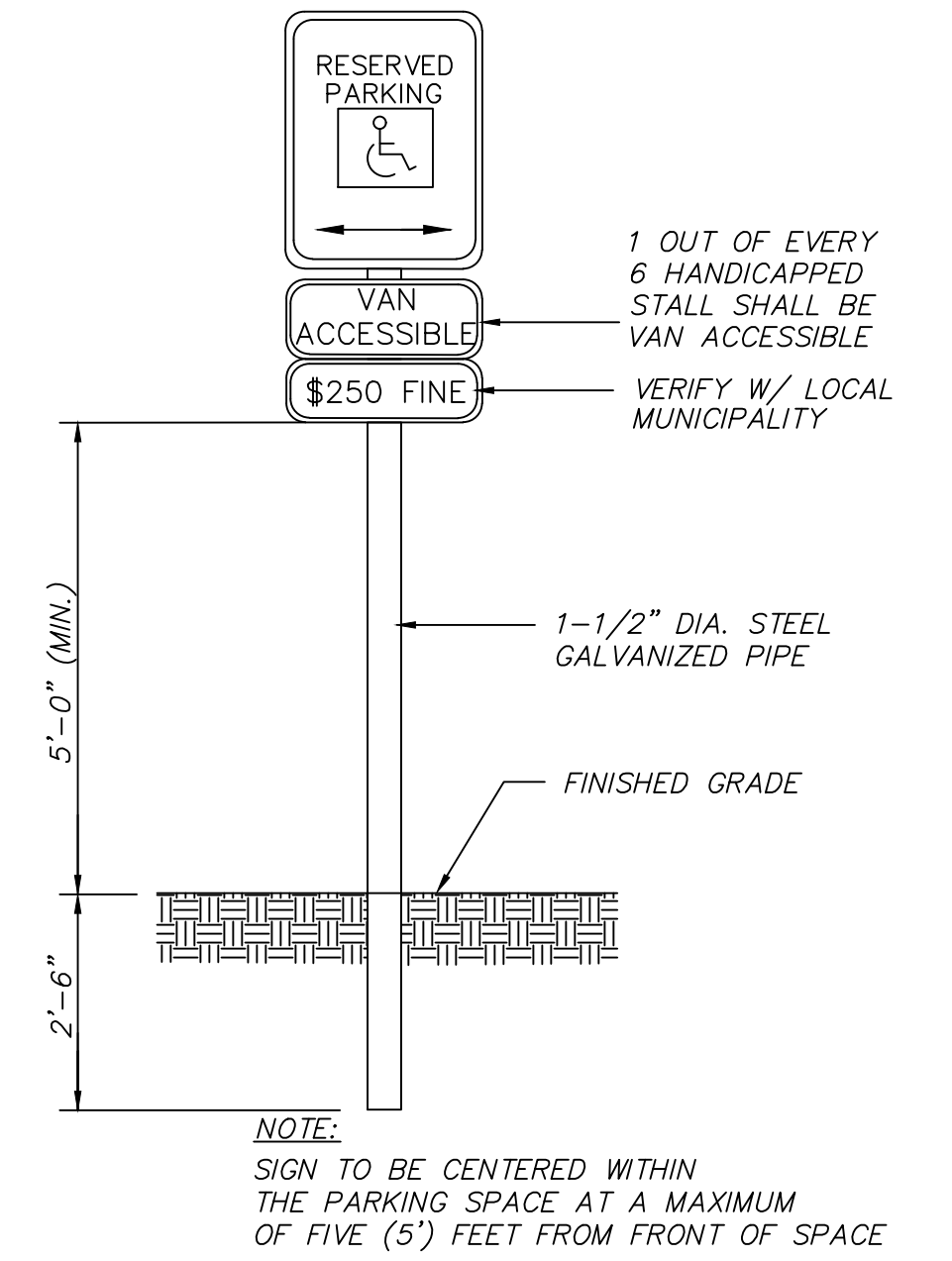
LIGHTPOLE DETAIL



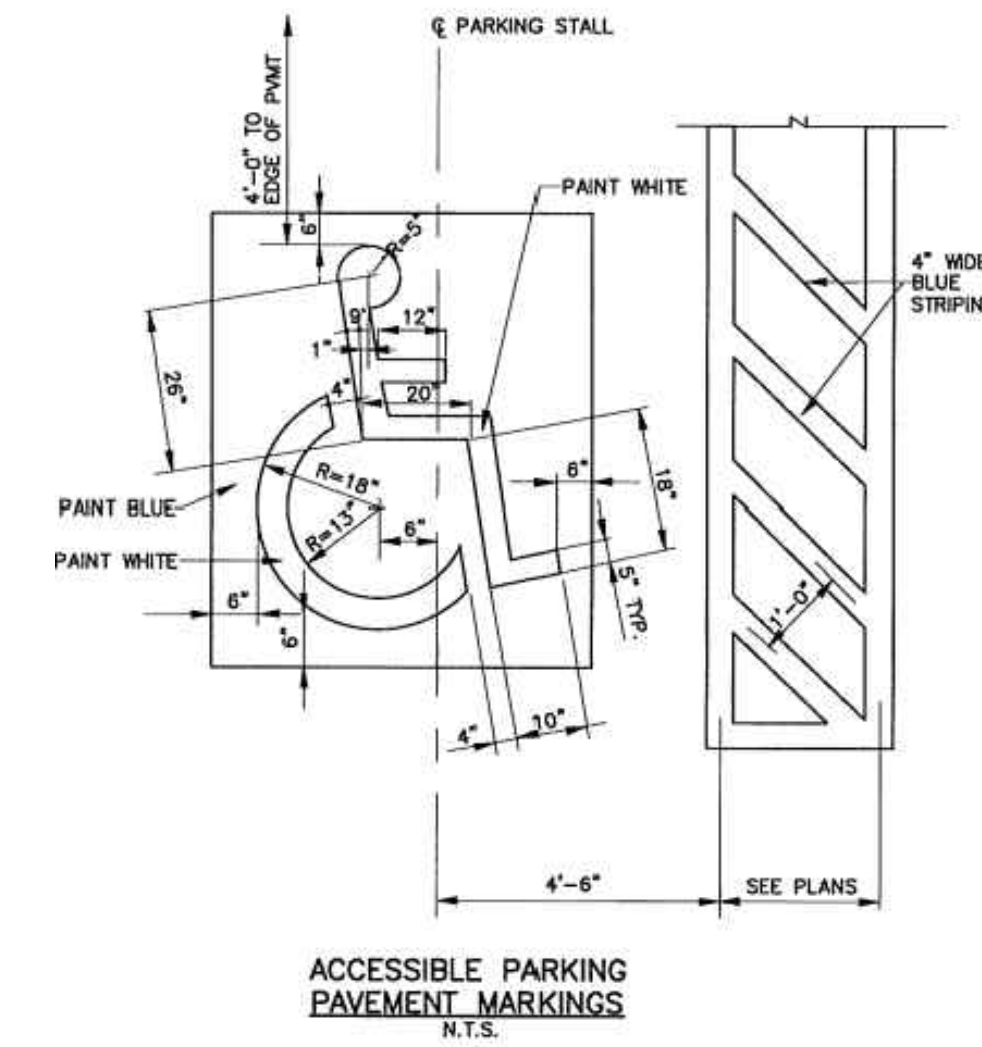
RETAINING WALL DETAIL



ADA & STANDARD PARKING STALL DETAIL



ACCESSIBLE PARKING SIGN



ACCESSIBLE PAVEMENT MARKINGS

CITY APPROVAL:

LAND USE REVIEW FILE NO: CPC PUD 21-00018

DRAWN BY: NQJ	JOB DATE: 4/23/2021	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: KMH	JOB NUMBER: 201135	0" = 1"
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NO.	DATE	BY	REVISION DESCRIPTION

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HORSESHOE
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO

CHALLENGER HOMES

SMALL LOT PUD DEVELOPMENT PLAN
 DETAILS

SHEET
 DT
 20