

STANDARD CONSTRUCTION NOTES:

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - CDOT M & S STANDARDS
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) AND MUTCD CRITERIA.
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DPW, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

GRADING NOTES:

- CONSTRUCTION MAY NOT COMMENCE UNTIL A CONSTRUCTION PERMIT IS OBTAINED FROM PLANNING AND COMMUNITY DEVELOPMENT (PCD) AND A PRECONSTRUCTION CONFERENCE IS HELD WITH PCD.
- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF SITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. DURING CONSTRUCTION THE SWMP IS THE RESPONSIBILITY OF THE DESIGNATED STORMWATER MANAGER SHALL BE LOCATED ON SITE AT ALL TIMES AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- ONCE THE ESQCP HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL BMPs AS INDICATED ON THE G&EC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY PCD INSPECTIONS STAFF.
- SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 21 CALENDAR DAYS AFTER FINAL GRADING, OR FINAL EARTH DISTURBANCE, HAS BEEN COMPLETED. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMPs SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND ESTABLISHED.
- TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO STANDARDS AND SPECIFICATION PRESCRIBED IN THE DCM VOLUME II AND THE ENGINEERING CRITERIA MANUAL (ECM) APPENDIX I.
- ALL PERSONS ENGAGED IN EARTH DISTURBANCE SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BMPs IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS OF THE DRAINAGE CRITERIA MANUAL (DCM) VOLUME II AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN (SWMP).
- ALL TEMPORARY EROSION CONTROL FACILITIES INCLUDING BMPs AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCE OPERATIONS, SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS, THE SWMP AND THE DCM VOLUME II AND MAINTAINED THROUGHOUT THE DURATION OF THE EARTH DISTURBANCE OPERATION.
- ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME.
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE DISCHARGE TO A NON-EROSIVE VELOCITY.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- EROSION CONTROL BLANKETING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
- BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. BMP'S MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- VEHICLE TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFFSITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR IN THE DITCHLINE.
- INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, OR COUNTY AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO ACTUAL CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY RMG ENGINEERS AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT. WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:
COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
WOOD - PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER, CO 80246-1530
ATTN: PERMITS UNIT

For type C curb use
Optional Type C.
Unresolved.

LEGEND

- | | | |
|-----------------------------|------|-----------------------------|
| EXISTING | (E) | BOUNDARY |
| PROPOSED | (P) | RIGHT-OF-WAY |
| CURB & GUTTER | C&G | LOT LINE |
| EASEMENT | ESMT | EASEMENT |
| PUBLIC | PUB | (E) CONTOUR, INDEX |
| PUBLIC IMPROVEMENT | PI | (E) CONTOUR |
| BEGIN TRANSITION | BT | (E) STORM SEWER |
| EDGE OF ASPHALT | EOA | (P) CONTOUR, INDEX |
| GRADE BREAK | GB | (P) CONTOUR |
| END TRANSITION | ET | (P) STORM SEWER, INLET, MH |
| CURB RETURN | CR | INLET DETAIL CALL-OUT |
| CURB RETURN | CR | POINT OF CURVATURE |
| POINT OF TANGENCY | PT | CURB RETURN RADIUS CALL-OUT |
| POINT ON CURVE | PCC | GRADE CALL-OUT |
| POINT OF COMPOUND CURVATURE | PRC | SPOT ELEVATION |
| POINT OF REVERSE CURVATURE | PR | |
| RADIUS POINT | RP | |
| TYPE 'A' CURB AND GUTTER | [A] | |
| TYPE 'C' CURB AND GUTTER | [C] | |

Update to include all abbreviations & line types
used. Example missing items: A.D., PVI, STA,
FL, etc.
Unresolved.

BENCHMARK:

NOS BENCHMARK U 404: LOCATED 0.35 MILES NORTH OF MAIN STREET IN
FOUNTAIN, 128.0 FEET NORTHEAST OF THE CENTERLINE OF U.S. HIGHWAY 85,
44.6 FEET SOUTHWEST OF A POWER LINE CROSSING AND 20.7 FEET NORTH OF
THE CENTER OF A SANITARY SEWER MANHOLE COVER.
ELEVATION = 5737.76 (NAVD88)

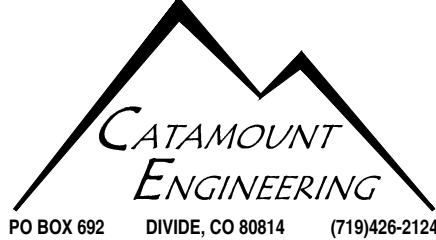
PREPARED FOR:

AVATAR EQUITIES, LLC

6800 JERICHO TURNPIKE
SUITE 120W #204
SYOSSET, NY 11791

BASIS OF BEARINGS:

THE WEST LINE OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 14,
TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE 6TH P.M., MONUMENTED AT THE
NORTH QUARTER (N 1/4) CORNER WITH A 3 1/4" ALUMINUM CAP, STAMPED
"BARRON LAND 2018 PLS 38141" AND AT THE CENTER QUARTER (C 1/4)
CORNER WITH A 3 1/4" ALUMINUM CAP, STAMPED "OLIVER E. WATTS 2000
PE-LS 9853" AND BEARS S 00°24'11" E, 2640.42 FEET.



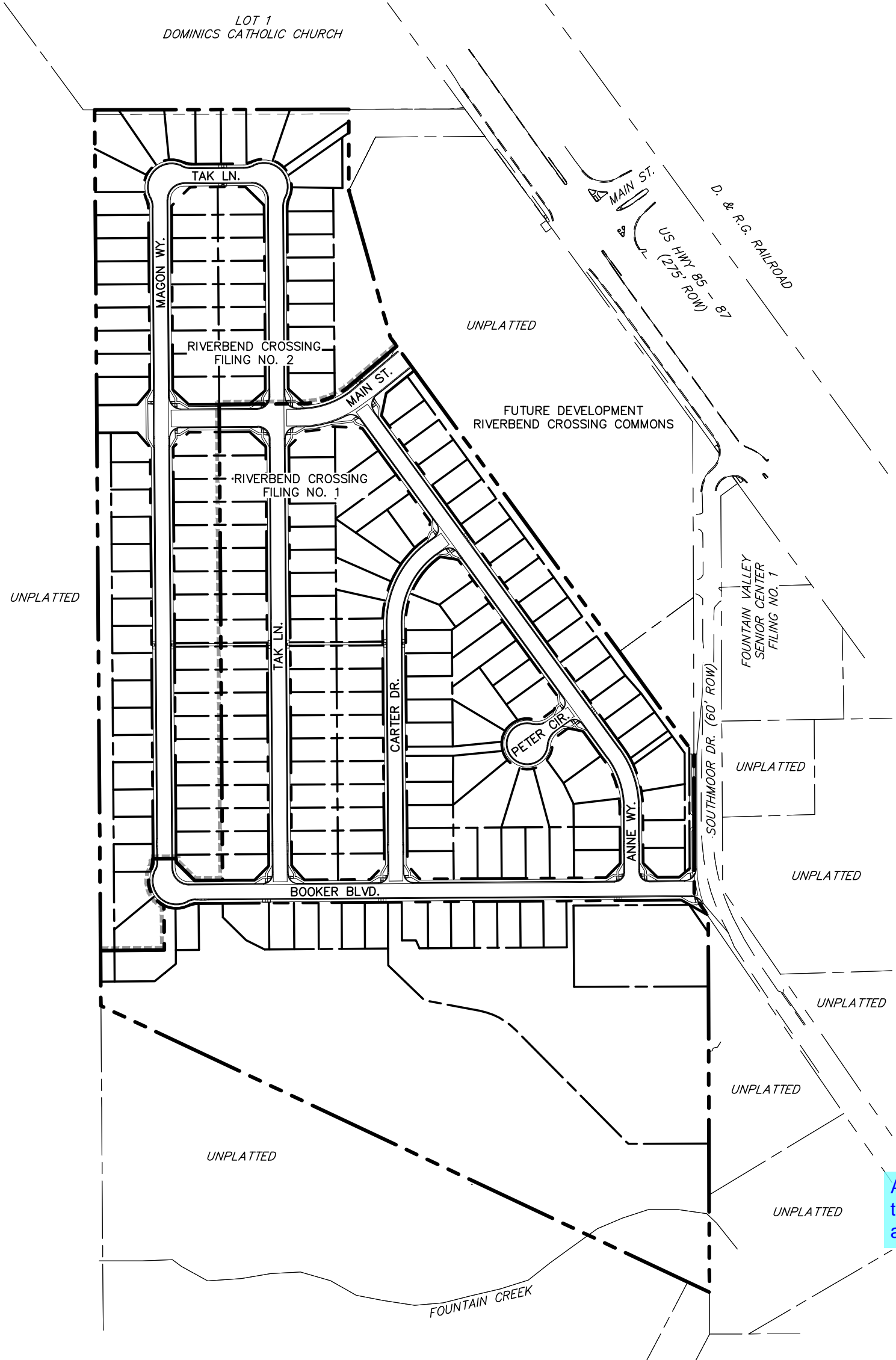
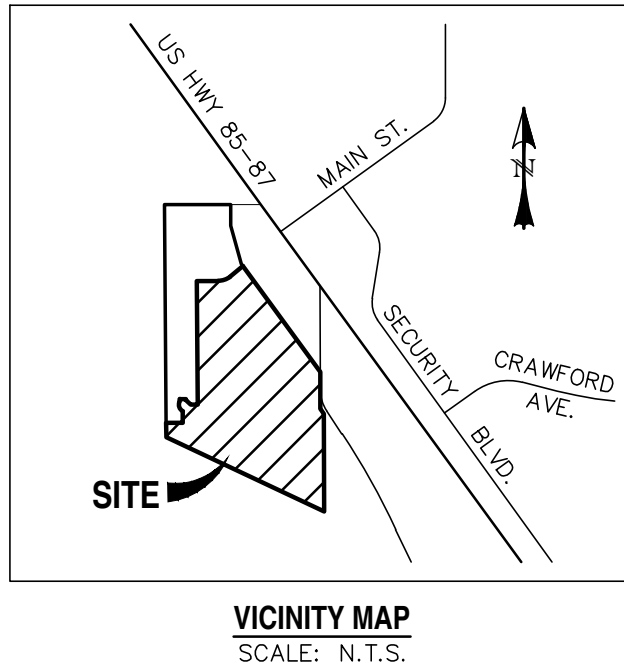
RIVERBEND CROSSING
FILING NO. 1
STREET, STORM, & STRIPING
CONSTRUCTION DRAWINGS

DESIGNED BY:	MGP	DRAWN BY:	MGP
SCALE:	N/A	DATE:	02/10/20
JOB NUMBER	17-114	SHEET	1 OF 17

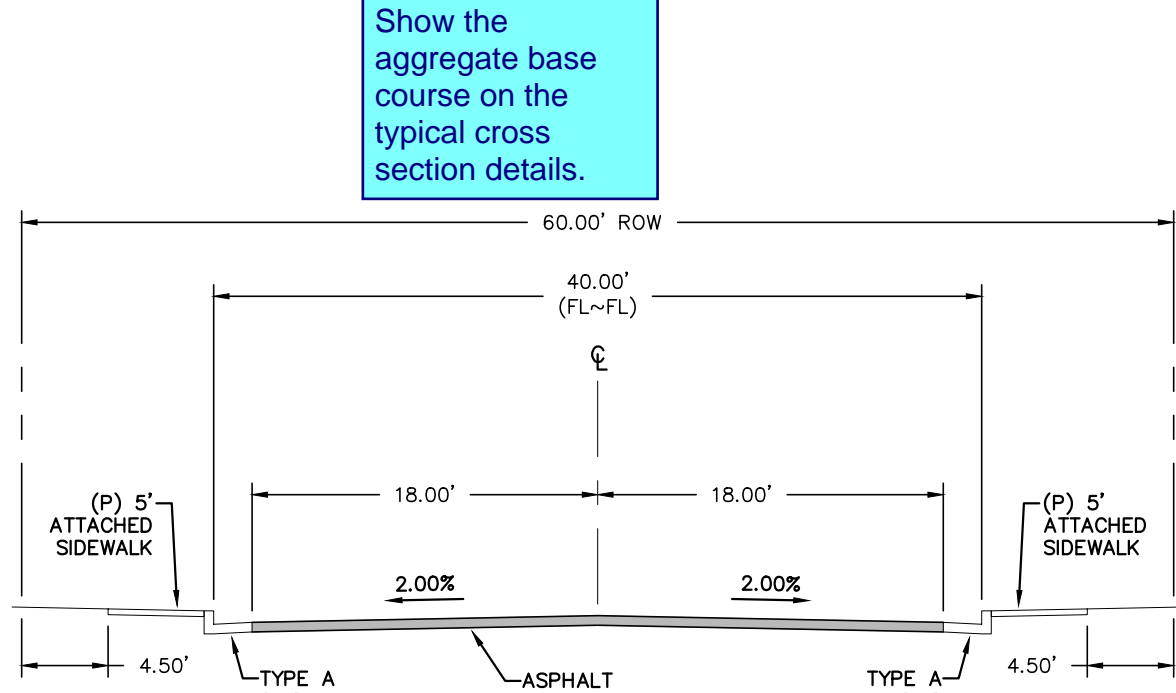
RIVERBEND CROSSING FILING NO. 1

STREET IMPROVEMENT, STORM SEWER, AND SIGNAGE & STRIPING CONSTRUCTION DRAWINGS

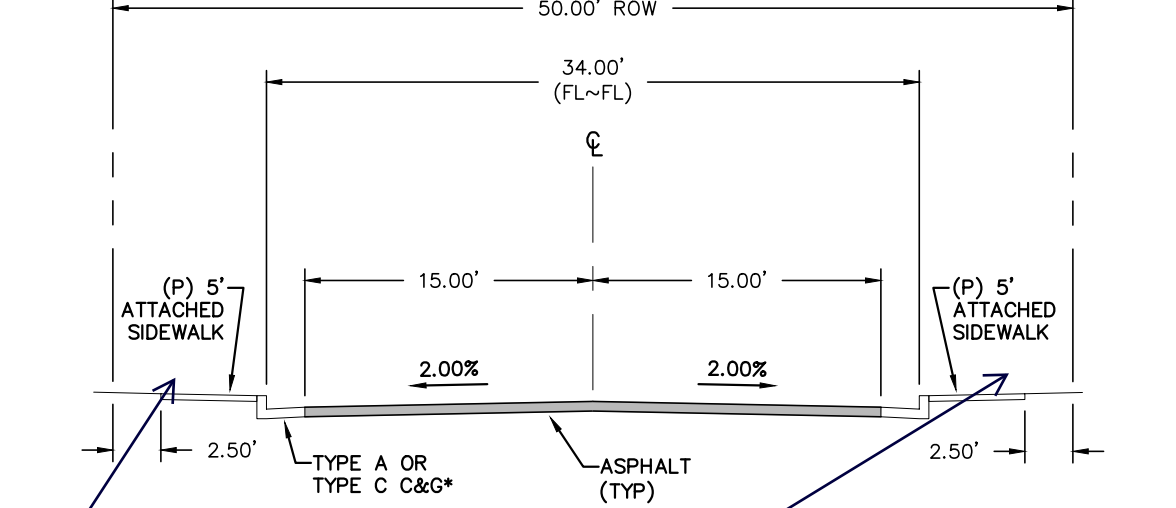
EL PASO COUNTY, COLORADO



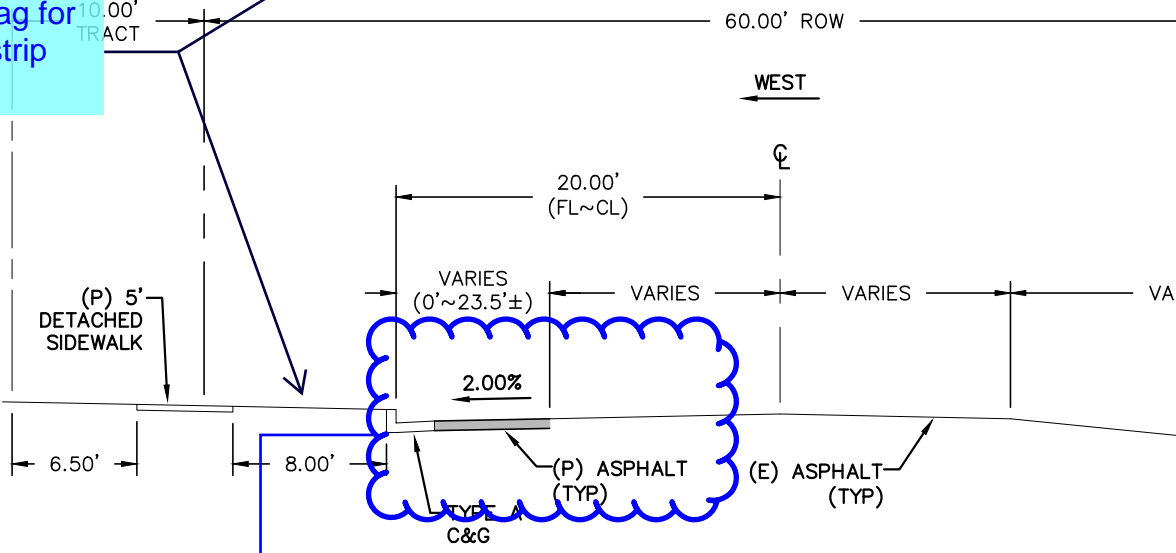
SITE MAP
SCALE: N.T.S.



TYPICAL SECTION - URBAN RESIDENTIAL COLLECTOR - MODIFIED*
(* ATTACHED SIDEWALKS)
SCALE: N.T.S.

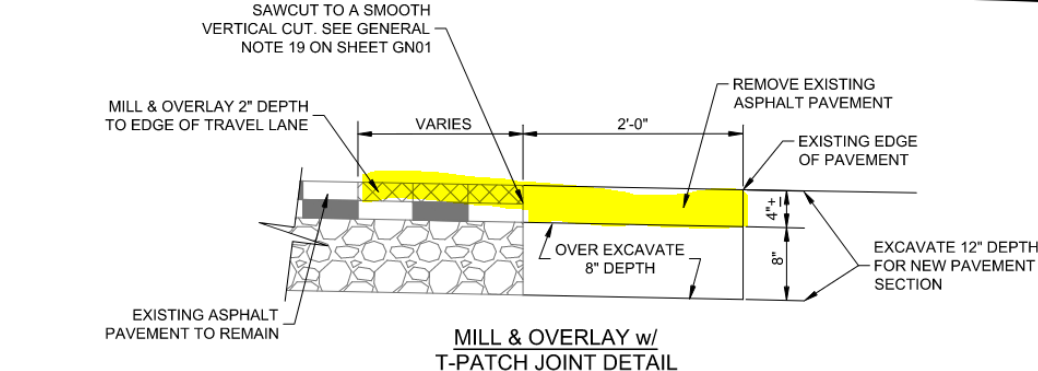


TYPICAL SECTION - URBAN LOCAL
(*SEE PLANS FOR LOCATIONS)
SCALE: N.T.S.



SOUTHMOOR DRIVE WIDENING DETAIL - URBAN RESIDENTIAL COLLECTOR
SCALE: N.T.S.

Provide sawcut construction detail. Plan view to show extent of
mill/overlay. There needs to be a t-cap versus a straight vertical edge
between the existing asphalt and new asphalt (see example detail below).



Sheet 16 is missing.

CONSTRUCTION PLANS AND SPECIFICATIONS ENGINEERS STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL, PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

DAVID L. MUJARES, COLORADO P.E. #40510

DATE

OWNER/DEVELOPER STATEMENT:

I, THE OWNER/DEVELOPER, HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

OWNER/DEVELOPER NAME:

DATE

EL PASO COUNTY APPROVAL:

"COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT."

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

JENNIFER IRVINE, P.E.
COUNTY ENGINEER / ECM ADMINISTRATOR

DATE

SHEET INDEX:

- | | |
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| BOOKER BOULEVARD | 4 OF 17 |
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| CARTER DRIVE | 6 OF 17 |
| TAK LANE | 7 OF 17 |
| STM-01, STM-02, & STM-02A | 8 OF 17 |
| STM-02 & STM-03A | 9 OF 17 |
| STM-04, STM-04A, & STM-04B | 10 OF 17 |
| STM-05, STM-05A, & STM-05B | 11 OF 17 |
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PCD FILE #: SF-18-044

Street construction plans for Southmoor Drive related to the commercial development requires County review/approval.

Provide the street alignment bearing information. Survey info missing to tie in the alignment to realworld coordinate.

Extend proposed sidewalk to the edge of property line.

provide alignment curve data. Provide station equation to Booker Blvd centerline alignment.

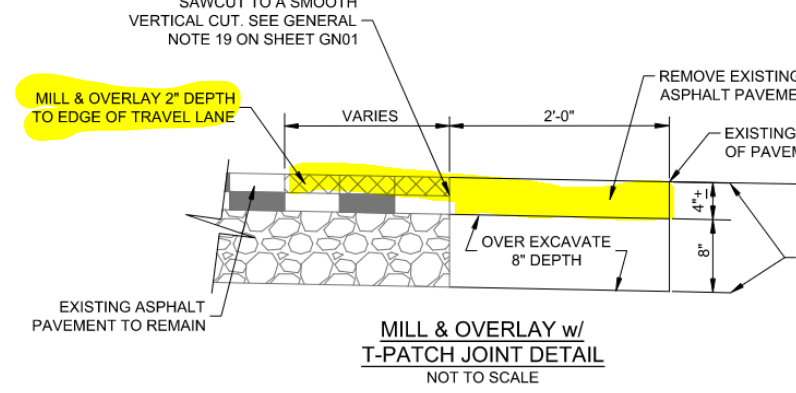
Adjust to a smoother transition. Per the typical cross section on sheet 1 this should be C&G. If not, then provide a second typical cross section detail and identify the station range where each section detail applies. Per the TIS, recommended transition section in order to incorporate specific striping appears to start at 12+00.

Adjust sidewalk alignment. Modify manhole rim to match proposed sidewalk.

SAWCUT & PAVEMENT NOTES:

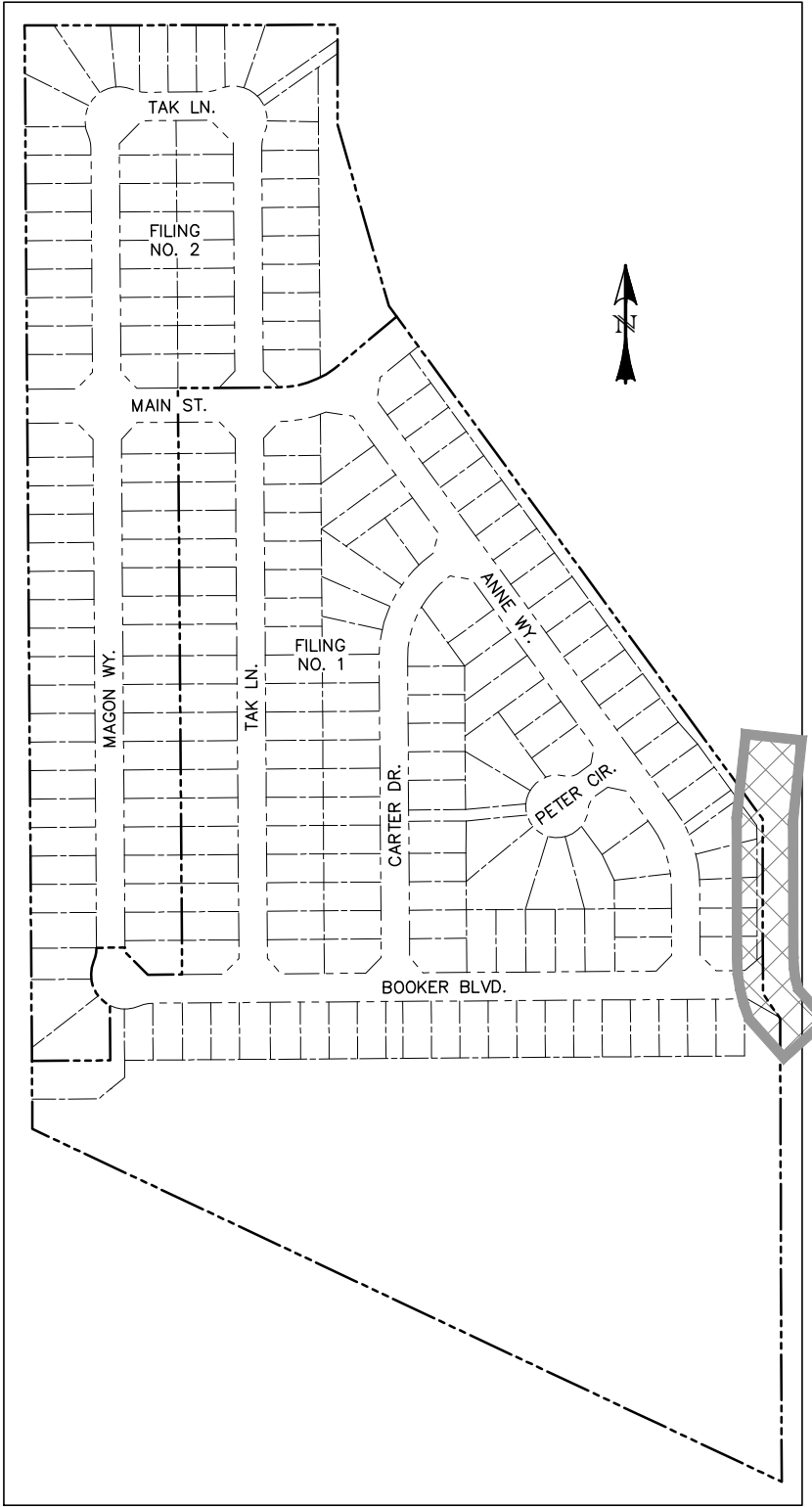
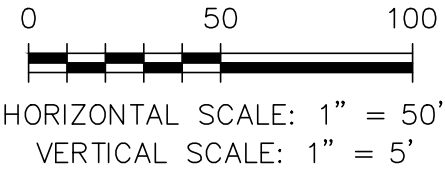
- EXISTING PAVEMENT MAY BE ROUGH CUT INITIALLY.
- A SQUARE VERTICAL CUT SHALL BE MADE IN THE EXISTING A.C. PAVEMENT AFTER PLACEMENT OF BACKFILL PRIOR TO PAVEMENT REPLACEMENT.
- THICKNESS OF NEW A.C. PAVEMENT AND BASE COURSE REPLACEMENT SHALL BE:
 - 4" A.C. WITH 12" BASE,
 - OR
 - 8" A.C. FULL DEPTH,
 - OR
 - MATCH EXISTING,
 - OR
 - PER GEOTECHNICAL ENGINEERS RECOMMENDATION, WHICHEVER IS GREATER.

Provide sawcut construction detail. Plan view to show extent of mill/overlay. There needs to be a t-cap versus a straight vertical edge between the existing asphalt and new asphalt (see example detail below).

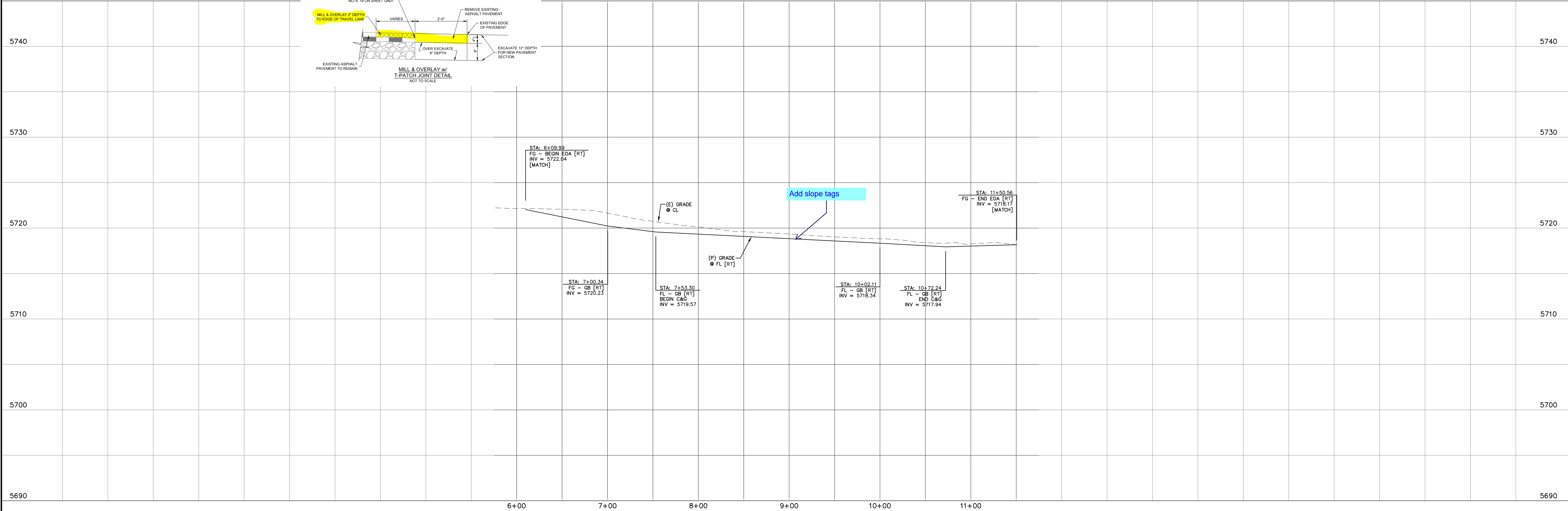


LINE TABLE		
LINE	BEARING	DISTANCE
L1	SS' 26' 20"W	144.00
L2	S0' 07' 59"E	244.74
L3	S40' 23' 39"E	82.56

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	1'00'30"	231.00	4.06



LOCATION MAP
SCALE: N.T.S.



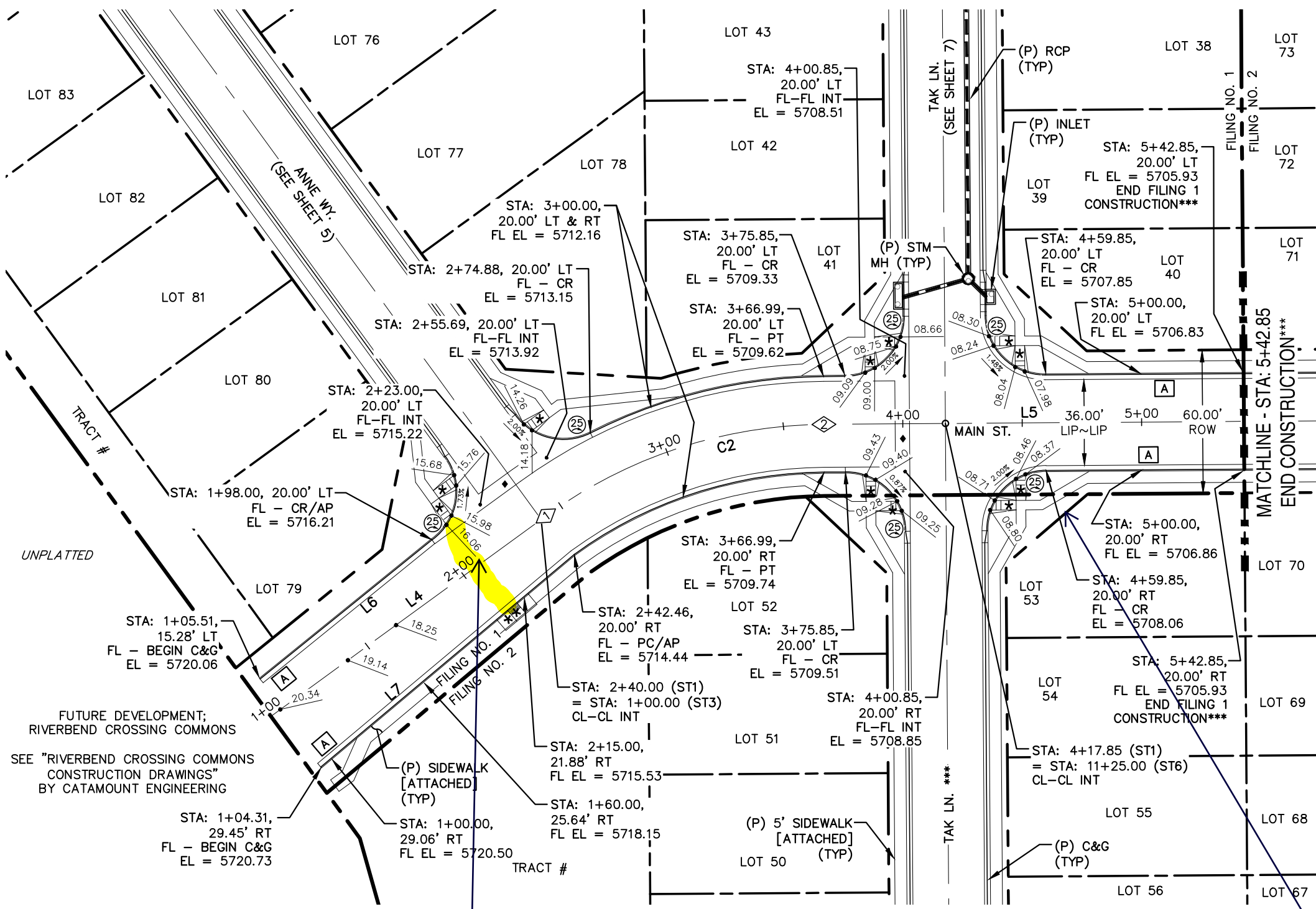
REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	08/17/20

Know what's below.
Call 72 hours before you dig.
For more details visit:
www.call811.com

STREET NAME ABBREVIATIONS:	PREPARED FOR:	PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF CATAMOUNT ENGINEERING.
MAIN STREET = ST1 BOOKER BLVD = ST2 ANNE WAY = ST3 CARTER DRIVE = ST4 PETER CIRCLE = ST5 TAK LANE = ST6 MAGON WAY = ST7 CUL-DE-SAC - FL = CDS	AVATAR EQUITIES, LLC 6800 JERICHO TURNPIKE SUITE 120W #204 SYOSSET, NY 11791	DAVID L. MUJARES, COLORADO PE #40510

CATAMOUNT ENGINEERING
321 W. HENRIETTA AVE
WOODLAND PARK, CO 80869
PO BOX 221
(719)428-2124

RIVERBEND CROSSING FILING NO. 1 SOUTHMOOR DRIVE STREET IMPROVEMENT PLAN	DESIGNED BY: MGP SCALE: 1" = 50' JOB NUMBER: 17-114	DRAWN BY: MGP DATE: 02/10/20 SHEET: 2 OF 17
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- * PED INTERSECTION RAMP (REF: SD 2-41 & SD 2-42)
- ** PARALLEL PED RAMP (REF: SD 2-50)
- ♦ STANDARD CROSSSPAN (REF: SD 2-26)

Double check and make sure the roadway grade (ADA path cross slope) is 5% max.

*** FILING CONSTRUCTION NOTE:
SEE "RIVERBEND COMMONS FILING NO. 2 STREETS, STORM SEWER, AND SIGNAGE AND STRIPING" CONSTRUCTION PLANS BY CATAMOUNT ENGINEERING.

Provide detailed spot elevations at all ramps. See example to the right from another project. Unresolved.

LINE TABLE - CL		
LINE	BEARING	DISTANCE
L4	S53° 55' 10"W	142.46
L5	S89° 35' 49"W	175.85
L8	S53° 55' 25"W	138.79

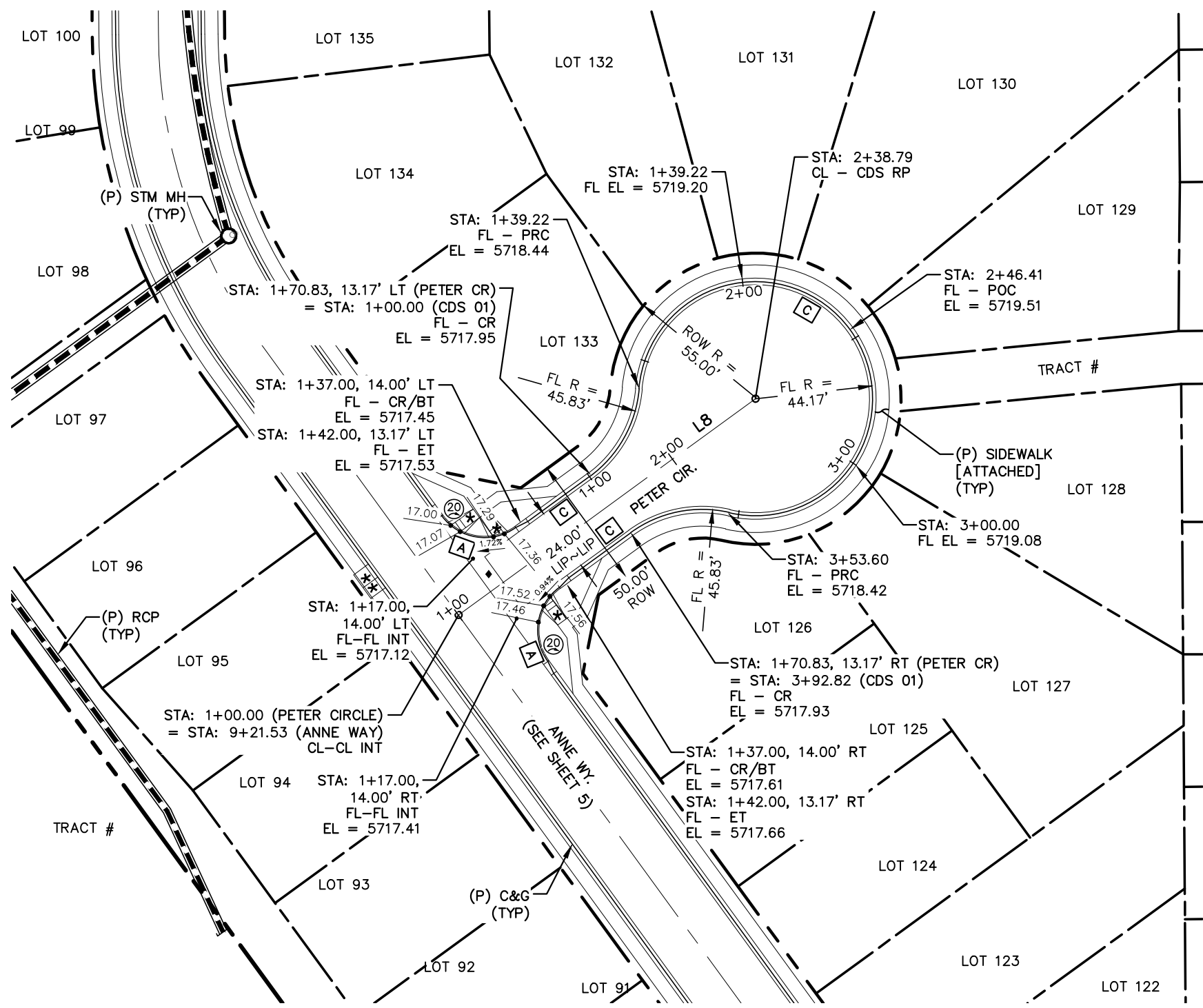
CURVE TABLE - CL			
CURVE	DELTA	RADIUS	LENGTH
C2	35°40'40"	200.00	124.54

LINE TABLE - FL		
LINE	BEARING	DISTANCE
L6	S50° 59' 57"W	92.61
L7	S50° 00' 24"W	138.46

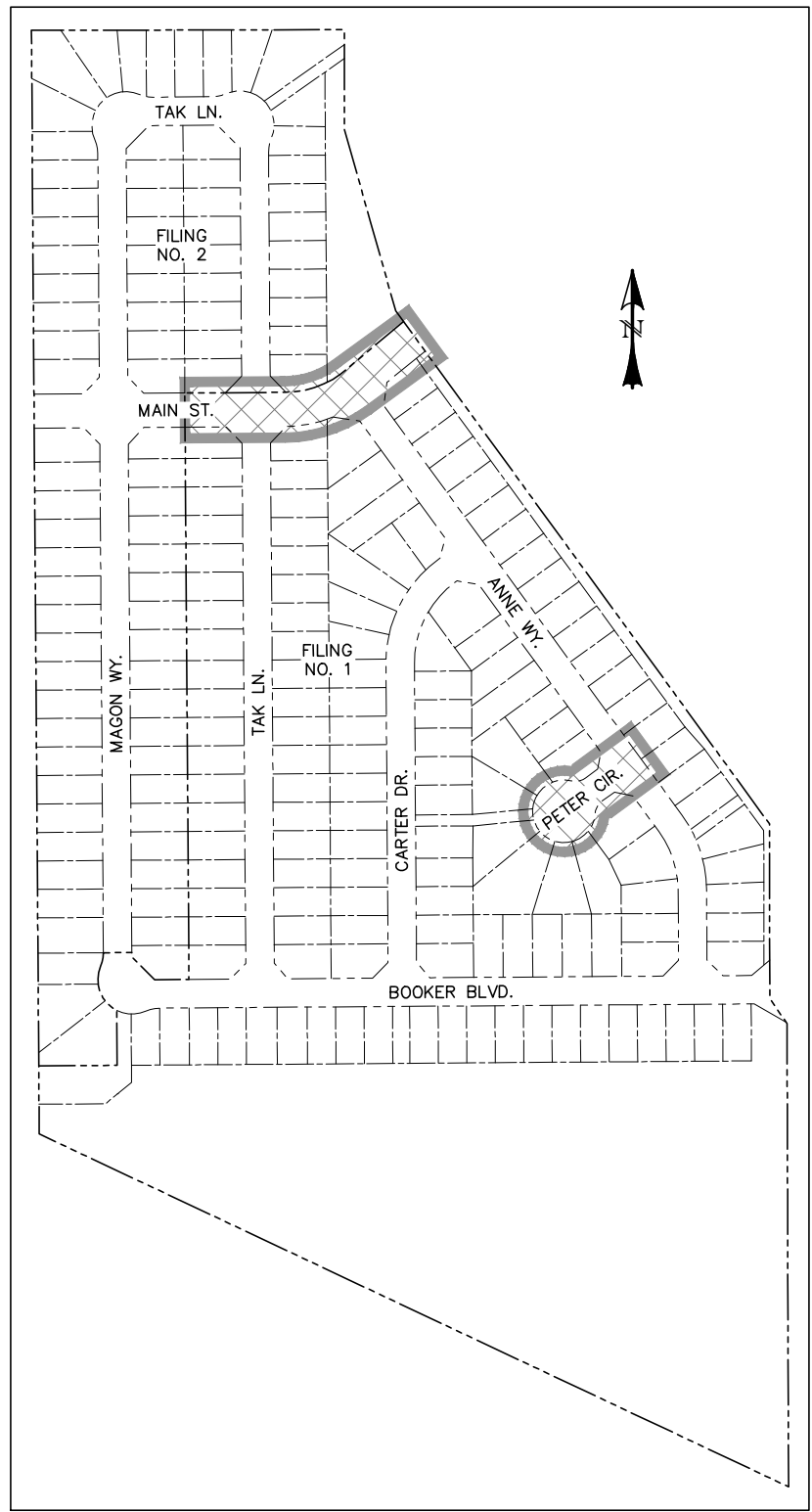
POINT TABLE - CL		
NUMBER	STATION	TYPE
1	2+42.46	PC
2	3+66.99	PT

STA: 28+66.59, 27.52' L
ELEV. 5849.50

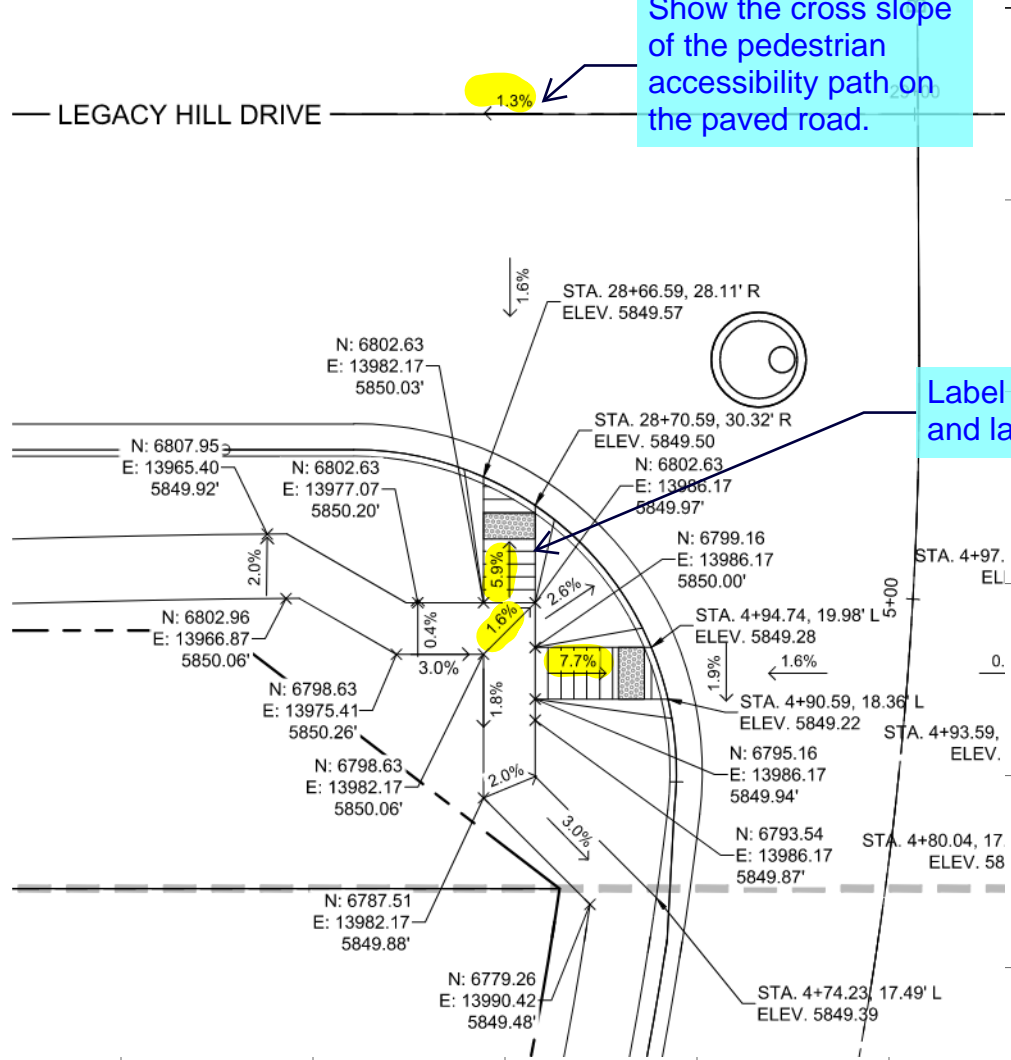
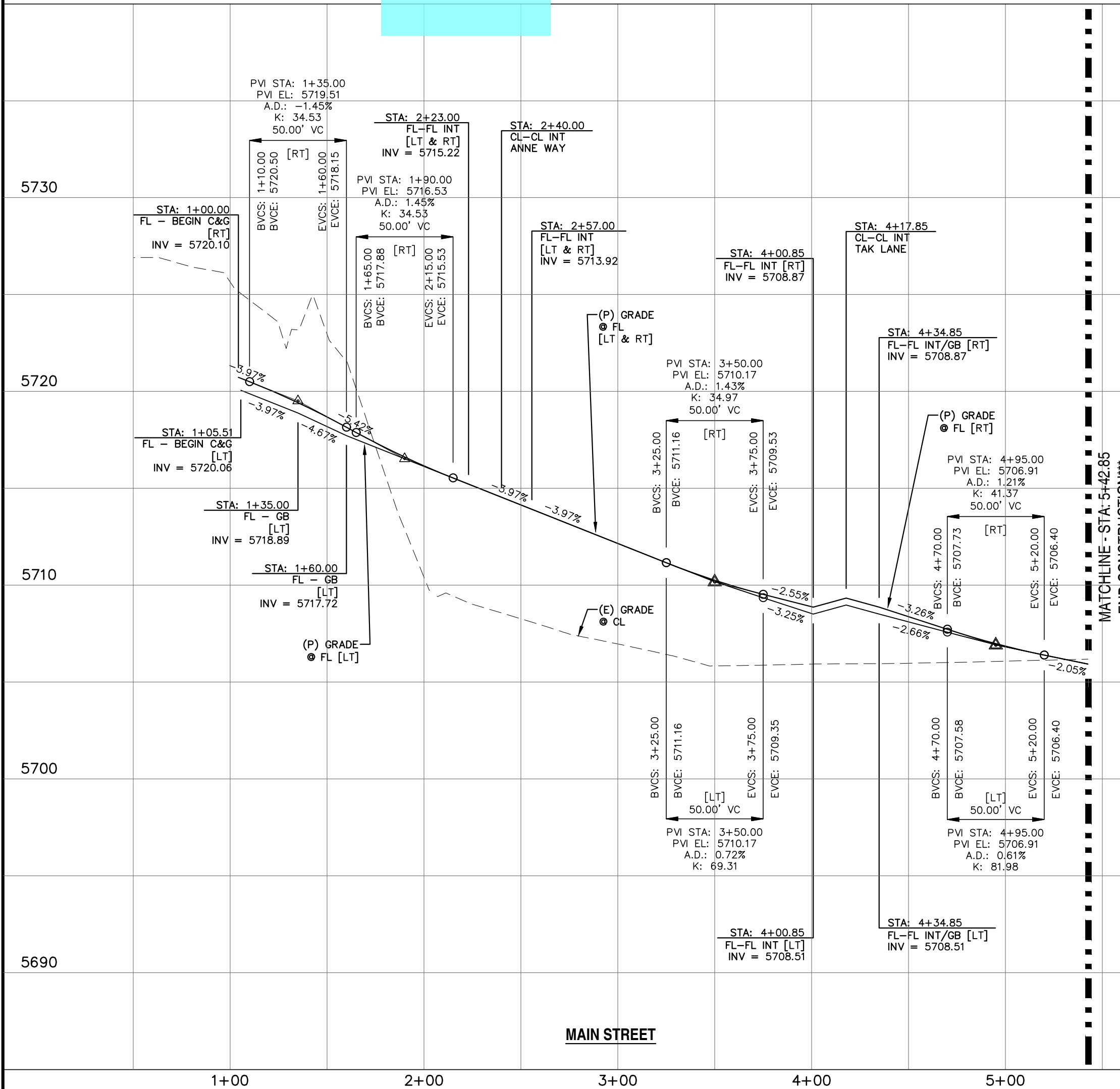
HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'



PETER CIRCLE - LOCAL
STA: 1+00 ~ 3+00

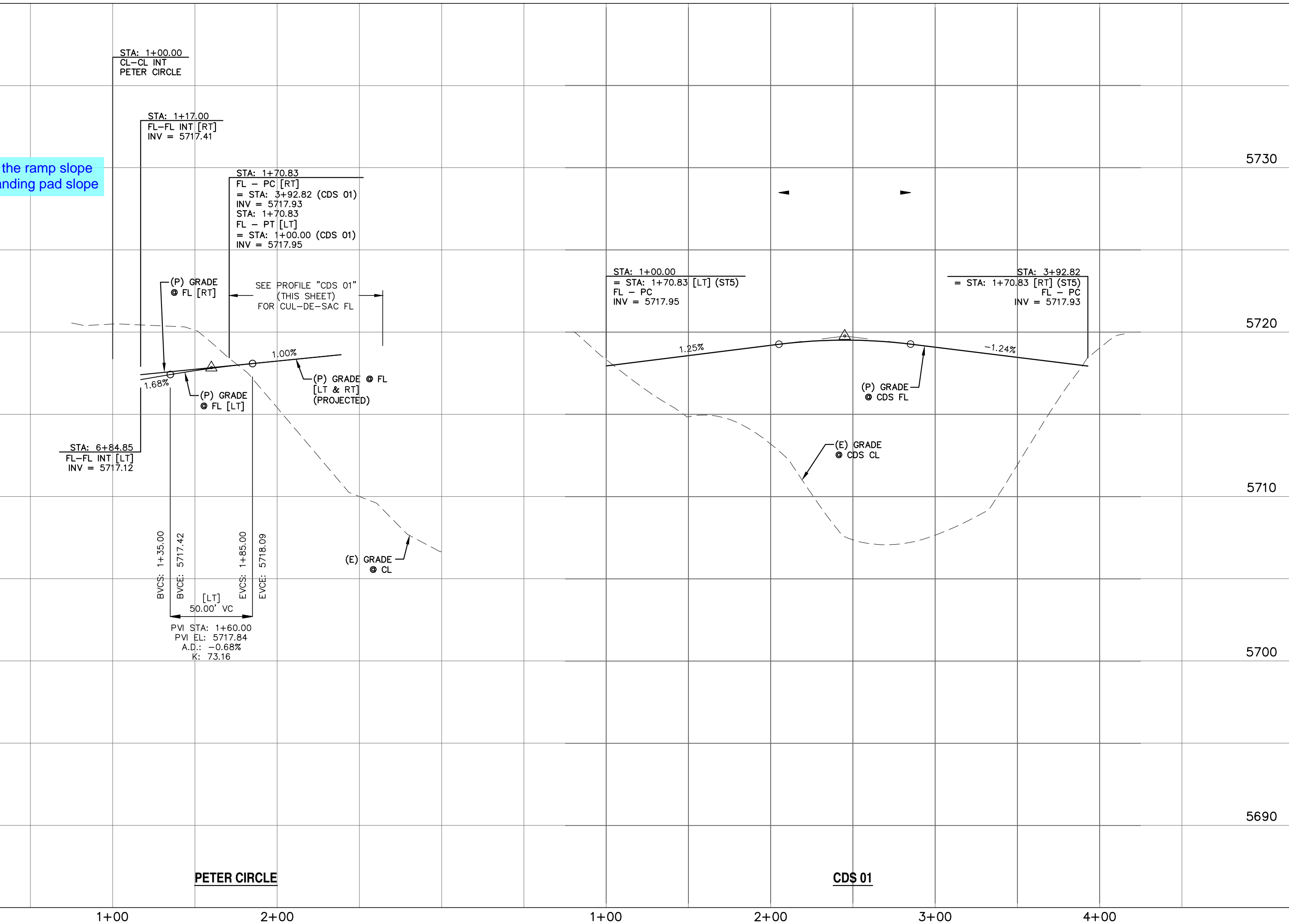


LOCATION MAP
SCALE: N.T.S.



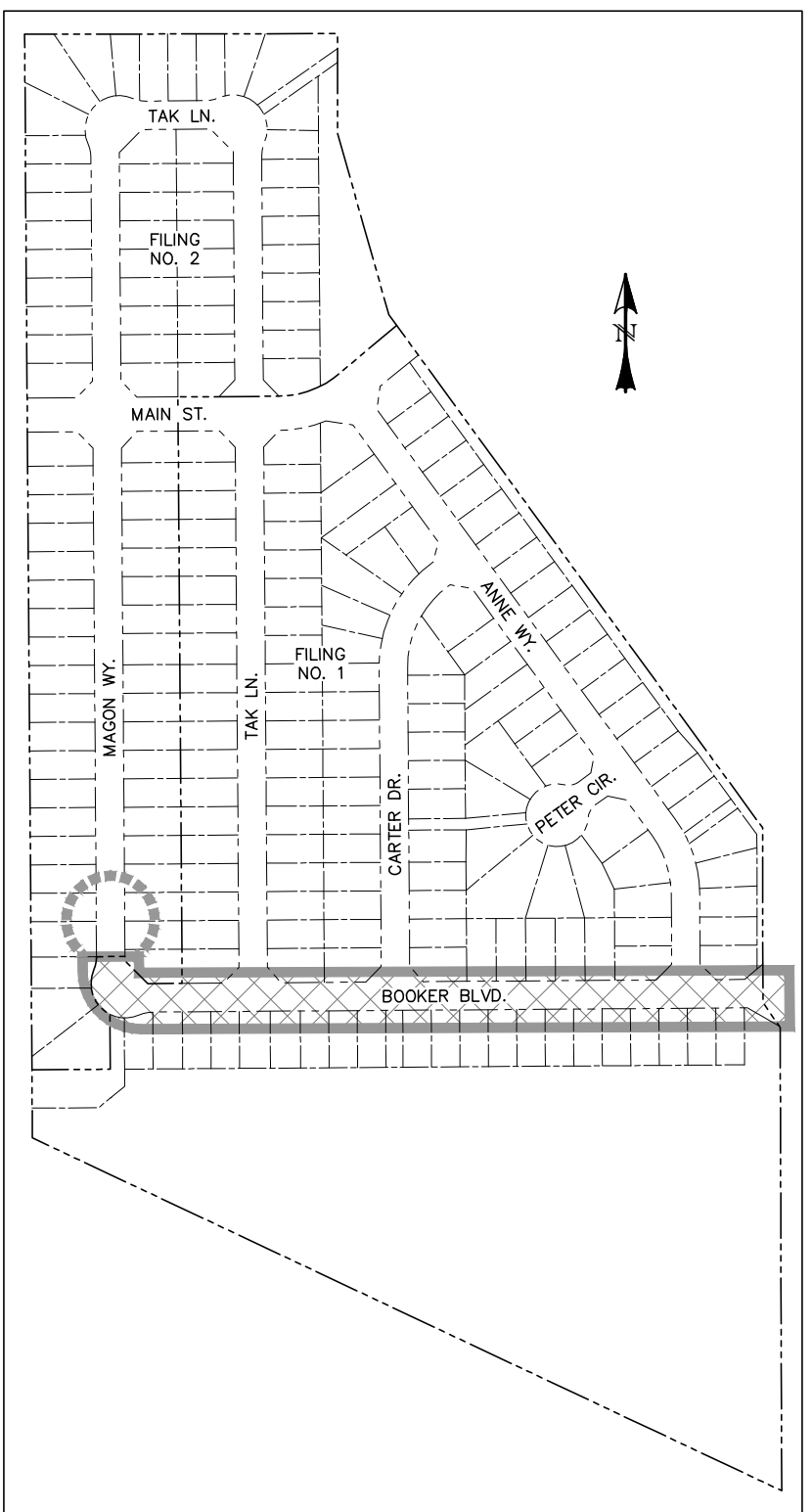
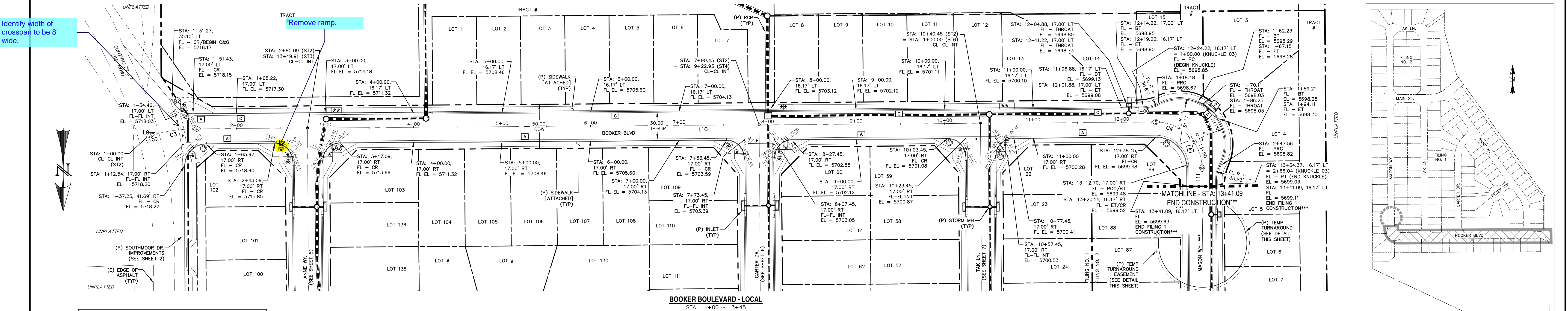
Show the cross slope of the pedestrian accessibility path on the paved road.

Label the ramp slope and landing pad slope

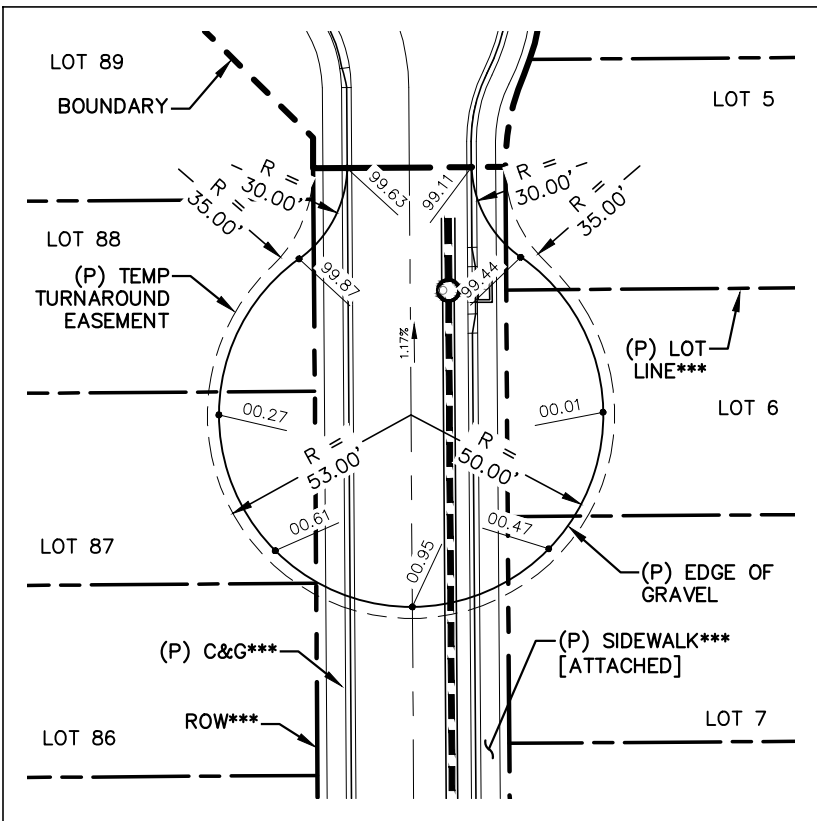
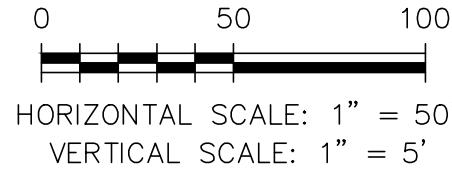


REV.	DESCRIPTION	DATE	811 Know what's below. Call 72 hours before you dig. For more details visit: www.call811.com	STREET NAME ABBREVIATIONS: MAIN STREET BOOKER BLVD ANNE WAY CARTER DRIVE PETER CIRCLE TAK LANE MAGON WAY CUL-DE-SAC - FL	PREPARED FOR: AVATAR EQUITIES, LLC 6800 JERICHO TURNPIKE SUITE 1200 #204 SYOSSET, NY 11791	PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF CATAMOUNT ENGINEERING. DAVID L. MUJARES, COLORADO PE #40510	CATAMOUNT ENGINEERING 321 W. HENRIETTA AVE PO BOX 221 WOODLAND PARK, CO 80869 (719) 428-2124	RIVERBEND CROSSING FILING NO. 1 MAIN STREET & PETER CIRCLE STREET IMPROVEMENT PLAN	DESIGNED BY: MGP SCALE: 1" = 50' JOB NUMBER: 17-114	DRAWN BY: MGP DATE: 02/10/20 SHEET: 3 OF 17
------	-------------	------	--	--	--	---	--	---	---	---

Identify width of crossspan to be 8' wide.



LOCATION MAP
SCALE: N.T.S.



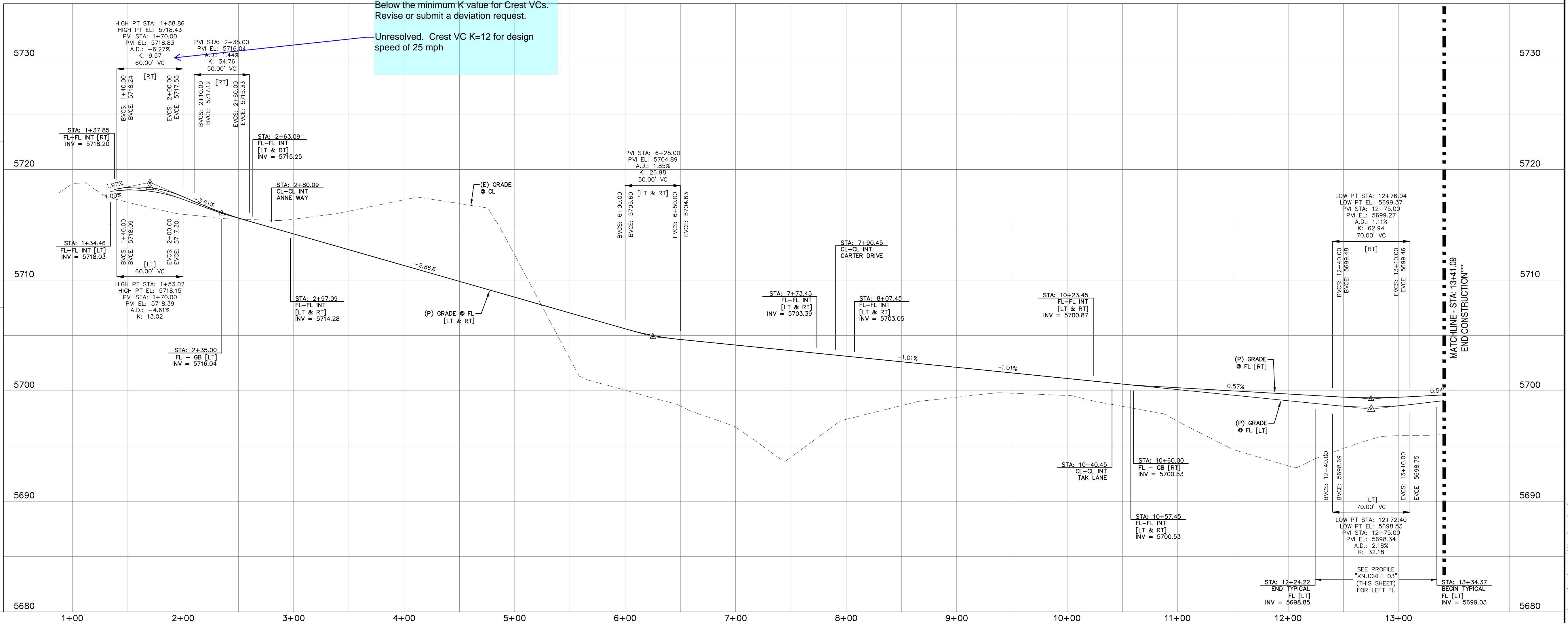
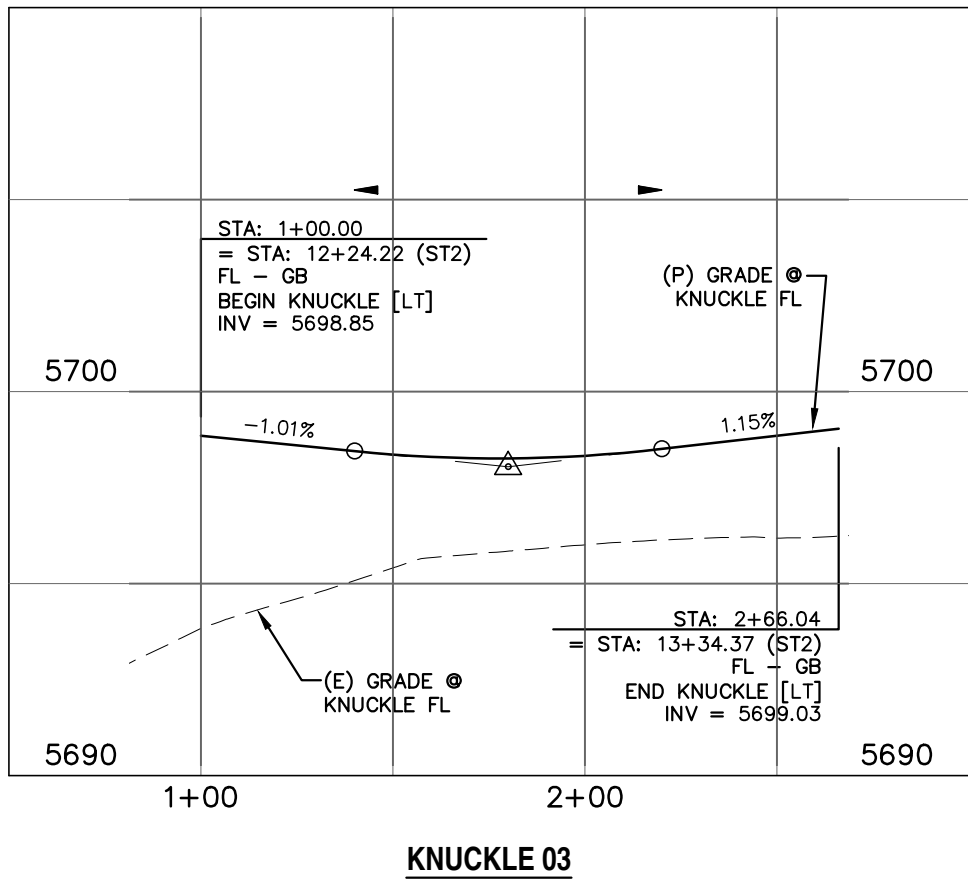
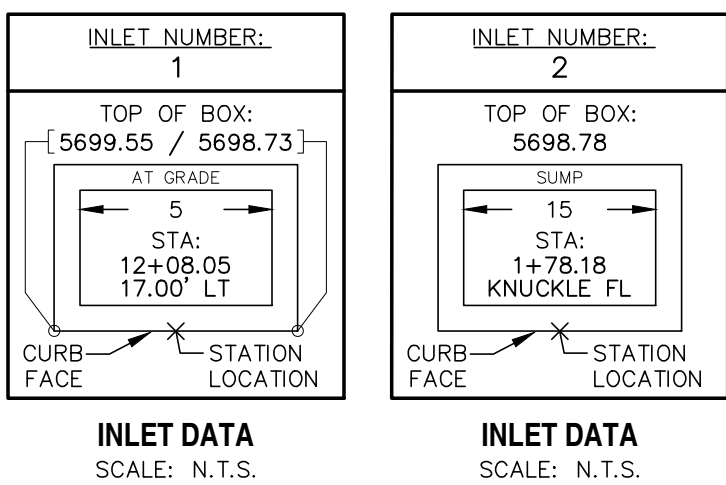
- ★ PED INTERSECTION RAMP (REF: SD 2-41 & SD 2-42)
- ★★ PARALLEL PED RAMP (REF: SD 2-50)
- ♦ STANDARD CROSSSPAN (REF: SD 2-26)

LINE TABLE		
LINE	BEARING	DISTANCE
L9	S74° 21' 33"W	1.90
L10	S89° 35' 49"W	1083.37
L11	N0° 24' 11"W	20.96

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C3	15°14'16"	200.00	53.19
C4	90°00'00"	52.00	81.68

POINT TABLE - CL		
NUMBER	STATION	TYPE
3	1+01.90	PC
4	1+55.09	PT
5	12+38.45	PC
6	13+20.14	PT

*** FILING CONSTRUCTION NOTE:
SEE "RIVERBEND COMMONS FILING NO. 2 STREETS, STORM SEWER, AND SIGNAGE AND STRIPING" CONSTRUCTION PLANS BY CATAMOUNT ENGINEERING.



REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	08/17/20

811 Know what's below.
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For more details visit:
www.call811.com

STREET NAME ABBREVIATIONS:
MAIN STREET = S11
BOOKER BLVD = S12
ANNE WAY = S13
CARTER DRIVE = S14
PETER CIRCLE = S15
TAK LANE = S16
MAGON WAY = S17
CL-DE-SAC - FL = CDS

PREPARED FOR:
AVATAR EQUITIES, LLC
6800 JERICHO TURNPIKE
SUITE 120W #204
SYOSSET, NY 11791

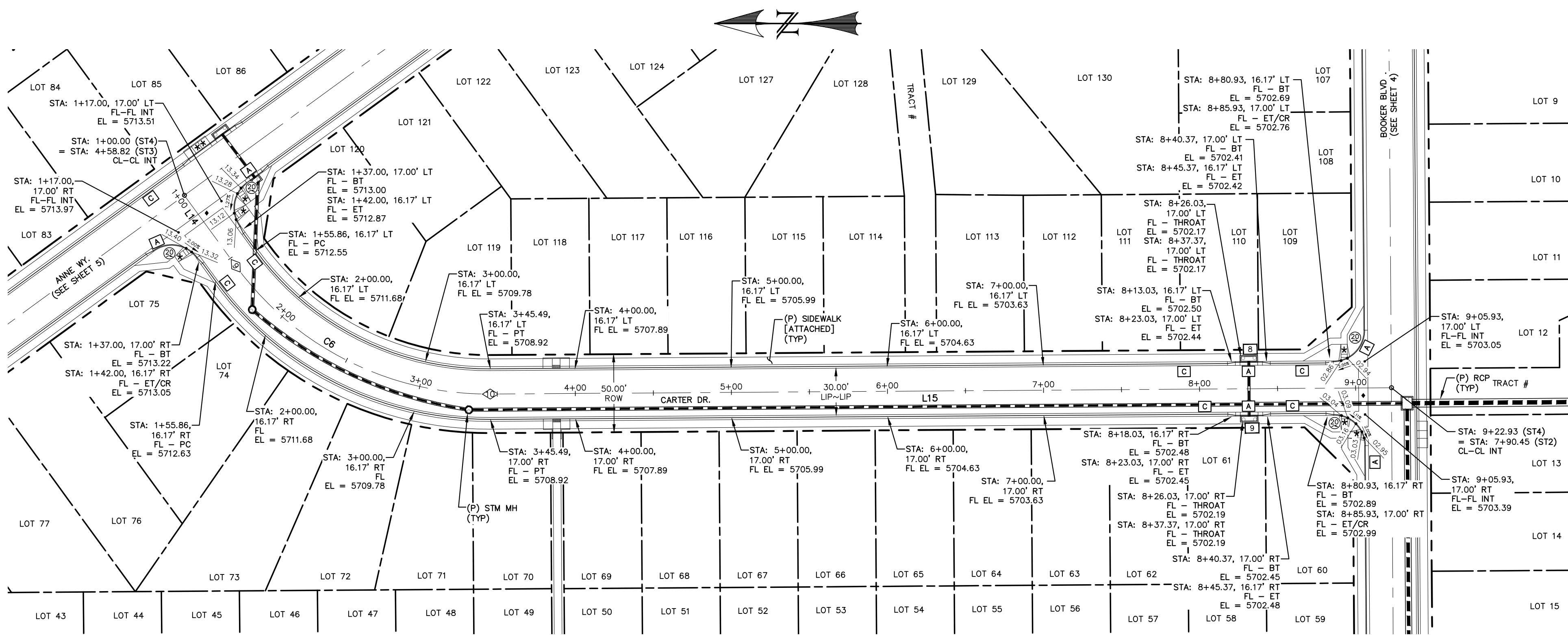
PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF CATAMOUNT ENGINEERING.
DAVID L. MUJARES, COLORADO PE #40510
DATE



RIVERBEND CROSSING
FILING NO. 1
BOOKER BLVD
STREET IMPROVEMENT PLAN

DESIGNED BY: MGP	DRAWN BY: MGP
SCALE: 1" = 50'	DATE: 02/10/20
JOB NUMBER	SHEET
17-114	4 OF 17

W:\Customer\Drawings\811\2023\10231010.dwg - 10/10/2023 1:55:10 PM - MGP



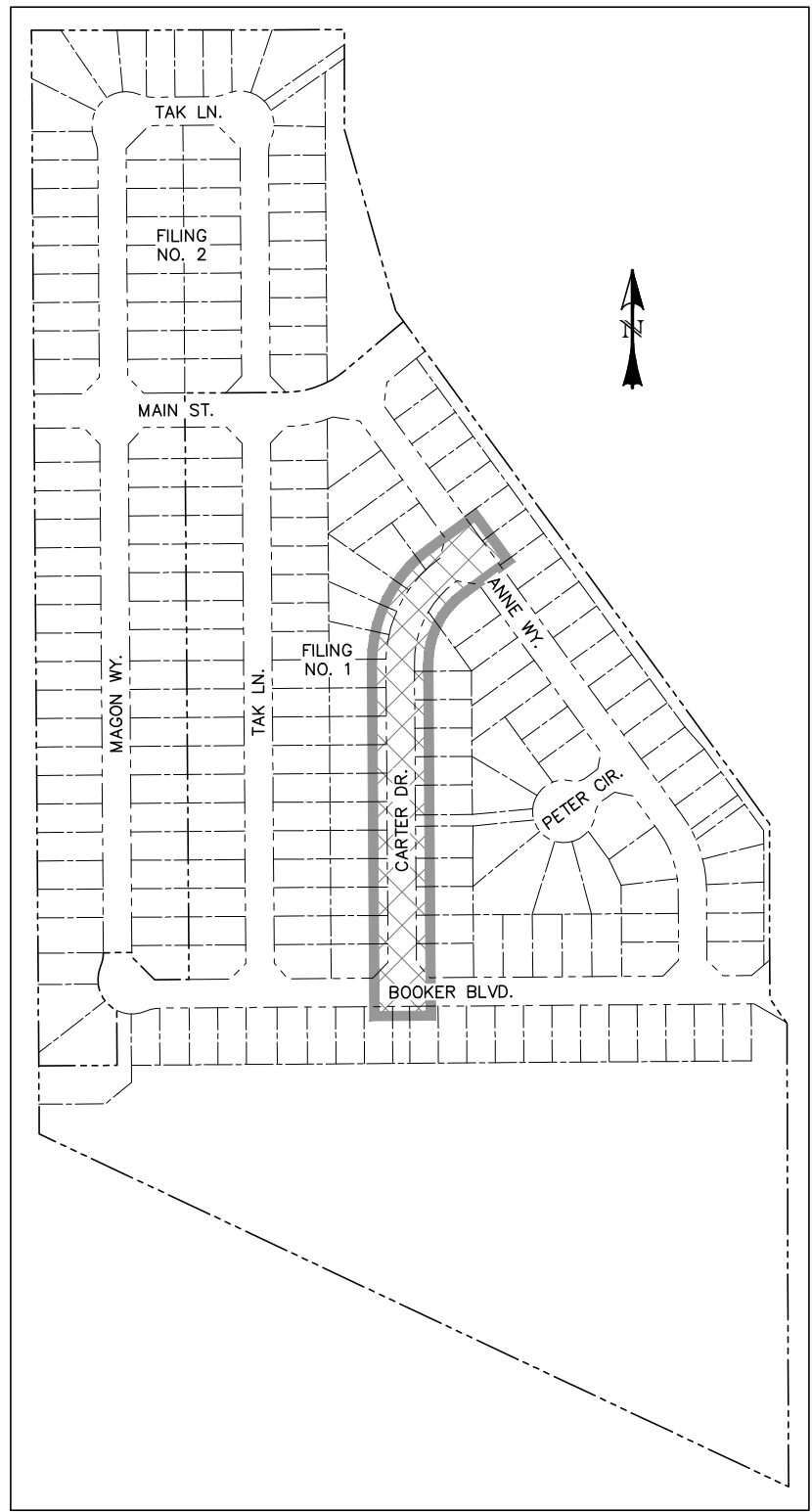
- ★ PED INTERSECTION RAMP
(REF: SD 2-41 & SD 2-42)
- ★★ PARALLEL PED RAMP
(REF: SD 2-50)
- ◆ STANDARD CROSSSPAN
(REF: SD 2-26)

LINE TABLE		
LINE	BEARING	DISTANCE
L14	S53° 55' 25.22"W	55.86
L15	S0° 24' 10.53"E	577.43

CARTER DRIVE
STA: 1+00 ~ 9+25

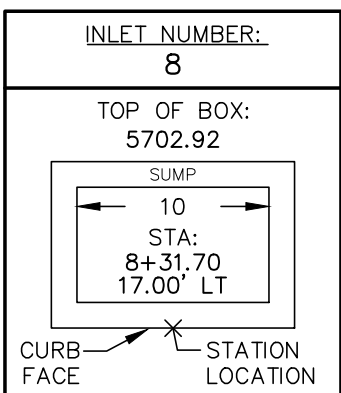
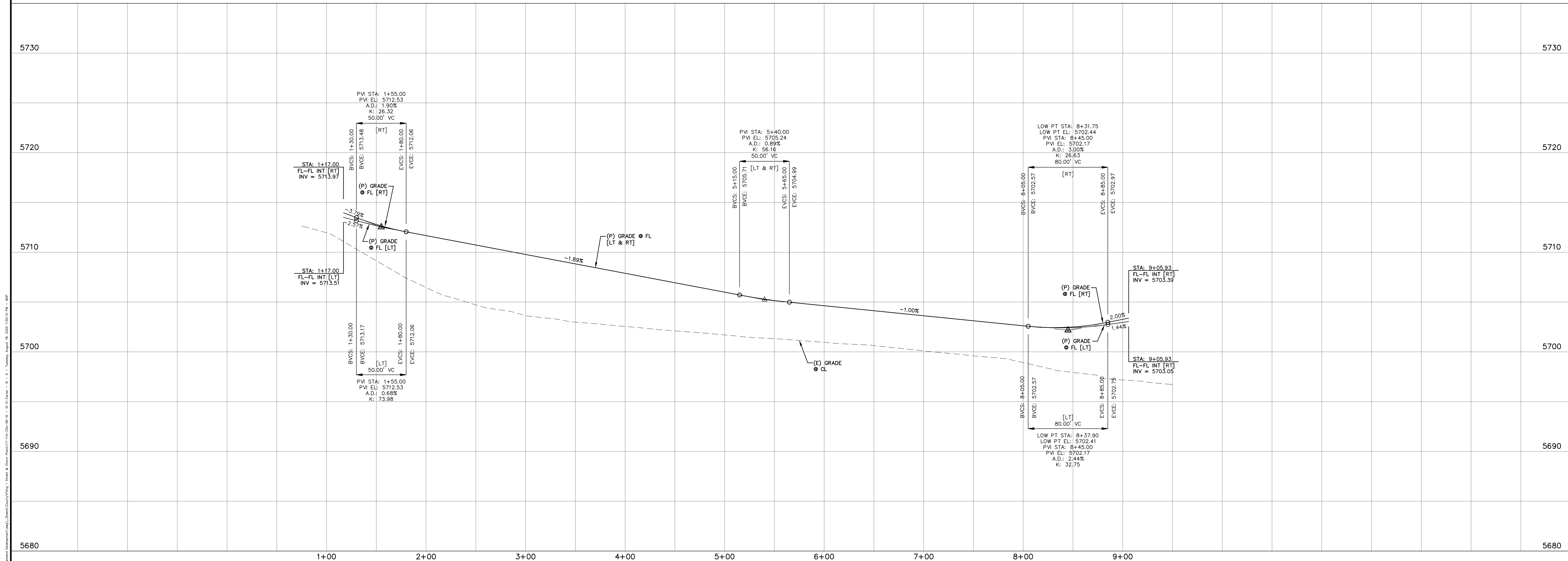
CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C6	54°19'36"	200.00	189.64

0 50 100
HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'

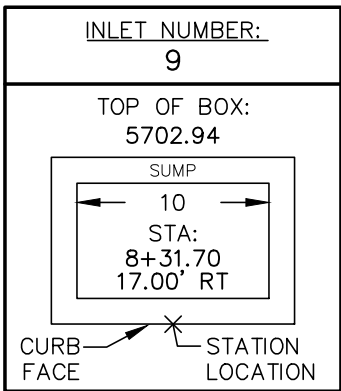


LOCATION MAP
SCALE: N.T.S.

POINT TABLE - CL		
NUMBER	STATION	TYPE
9	1+55.86	PC
10	3+45.49	PT



INLET DATA
SCALE: N.T.S.



INLET DATA
SCALE: N.T.S.

REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	08/17/20

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STREET NAME ABBREVIATIONS:
MAIN STREET = ST1
BOOKER BLVD = ST2
ANNE WAY = ST3
CARTER DRIVE = ST4
PETER CIRCLE = ST5
TAK LANE = ST6
MAGON WAY = ST7
CL-DE-SAC = FL

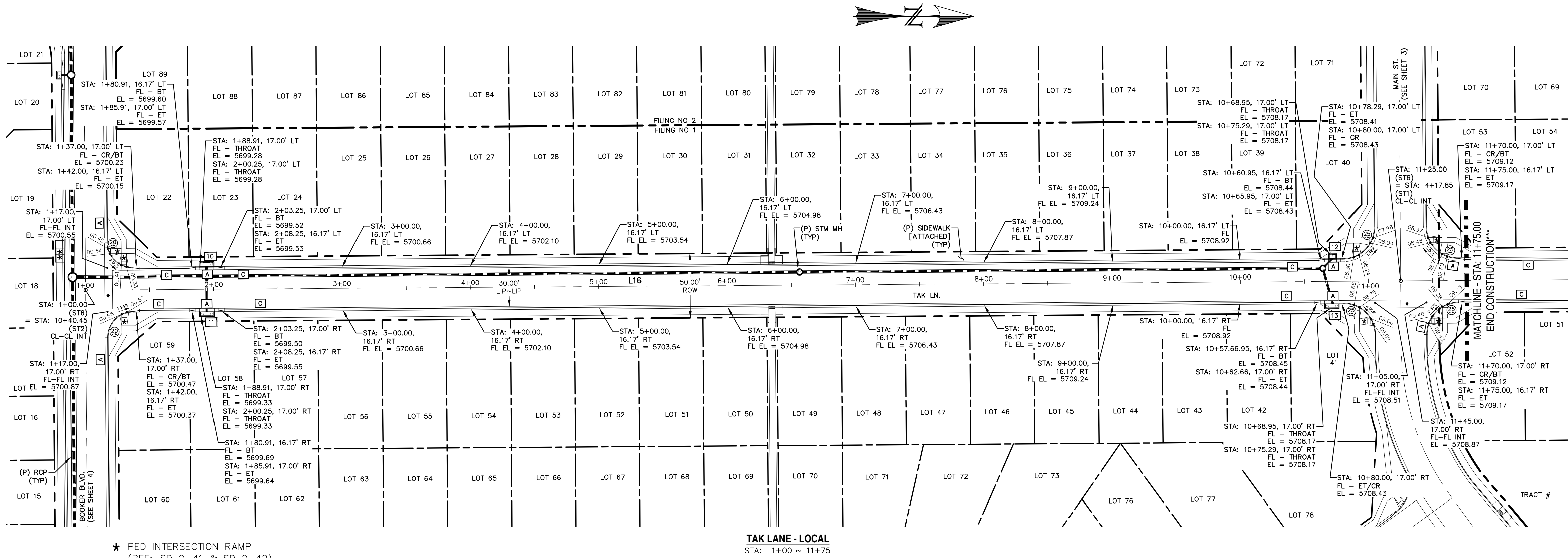
PREPARED FOR:
AVATAR EQUITIES, LLC
6800 JERICHO TURNPIKE
SUITE 120W #204
SYOSSET, NY 11791

PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF CATAMOUNT ENGINEERING.
DAVID L. MUJARES, COLORADO PE #40510
DATE

CATAMOUNT ENGINEERING
321 W. HENRIETTA AVE
PO BOX 221
WOODLAND PARK, CO 80869
(719)428-2124

RIVERBEND CROSSING
FILING NO. 1
CARTER DRIVE
STREET IMPROVEMENT PLAN

DESIGNED BY: MGP
SCALE: 1" = 50'
JOB NUMBER: 17-114
DRAWN BY: MGP
DATE: 02/10/20
SHEET: 6 OF 17

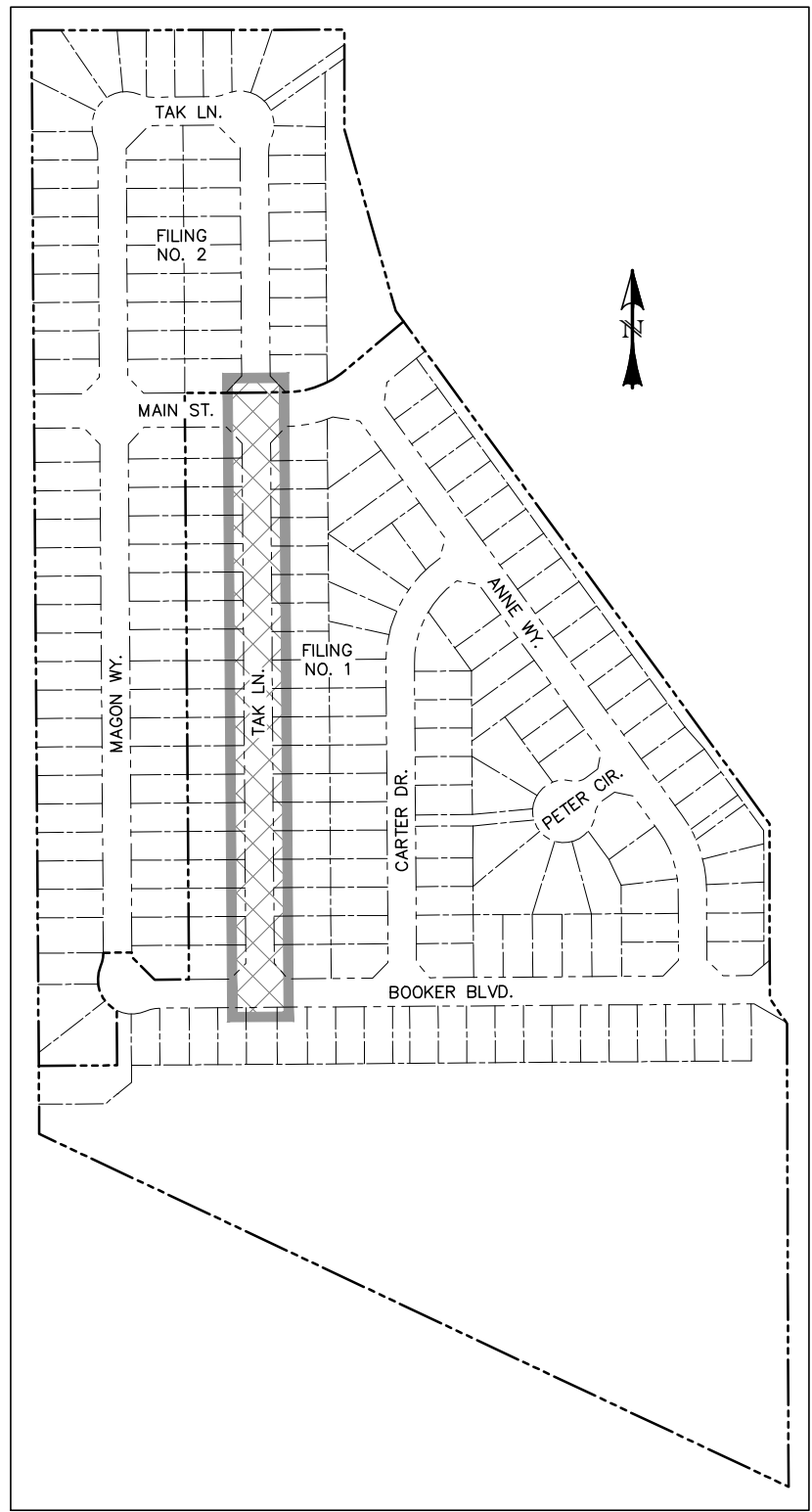
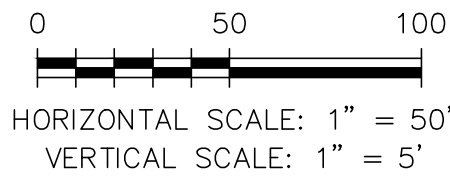


- ★ PED INTERSECTION RAMP
(REF: SD 2-41 & SD 2-42)
- ★★ PARALLEL PED RAMP
(REF: SD 2-50)
- STANDARD CROSSSPAN
(REF: SD 2-26)

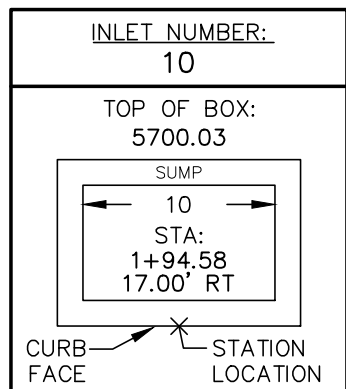
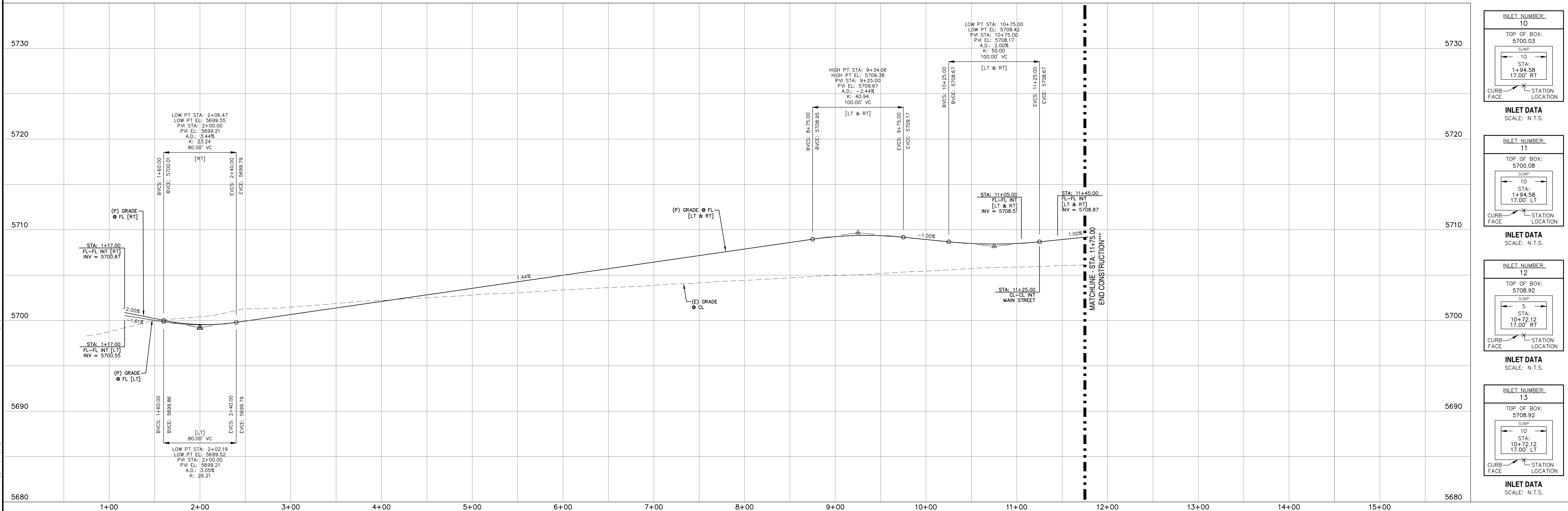
LINE TABLE		
LINE	BEARING	DISTANCE
L16	N0° 24' 10"W	1076.50

TAK LANE - LOCAL
STA: 1+00 ~ 11+75

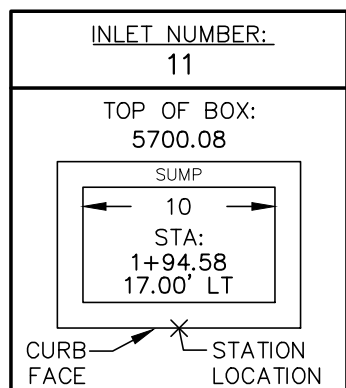
*** FILING CONSTRUCTION NOTE:
SEE "RIVERBEND COMMONS FILING NO. 2 STREETS,
STORM SEWER, AND SIGNAGE & STRIPING"
CONSTRUCTION PLANS BY CATAMOUNT ENGINEERING.



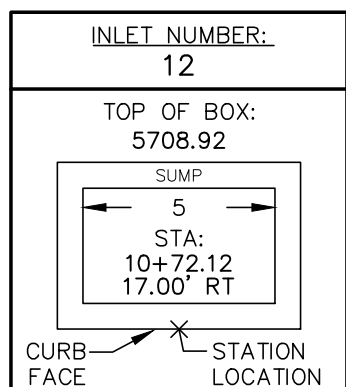
LOCATION MAP
SCALE: N.T.S.



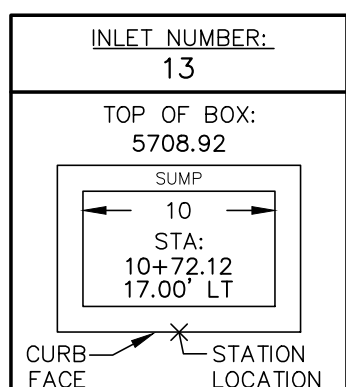
INLET DATA
SCALE: N.T.S.



INLET DATA
SCALE: N.T.S.



INLET DATA
SCALE: N.T.S.



INLET DATA
SCALE: N.T.S.

REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	08/17/20

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STREET NAME ABBREVIATIONS:
= ST1
MAIN STREET
= ST2
BOOKER BLVD
= ST3
ANNE WAY
= ST4
CARTER DRIVE
= ST5
PETER CIRCLE
= ST6
TAK LANE
= ST7
MAGON WAY
= CDS
OUL-DE-SAC - FL

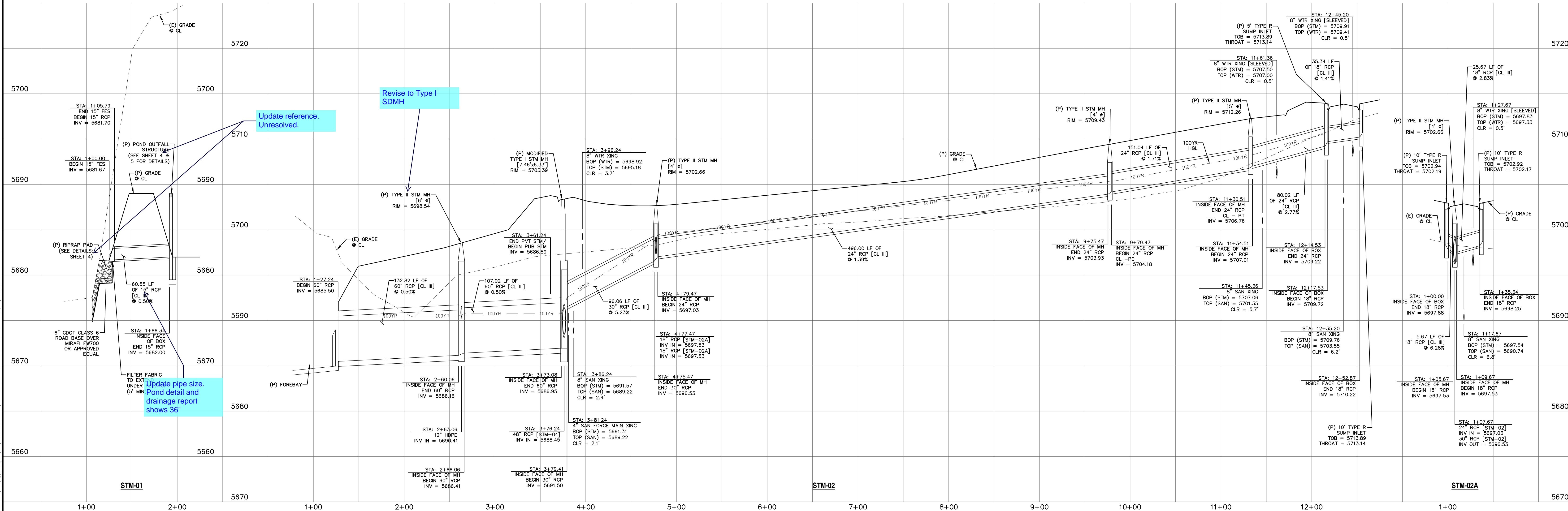
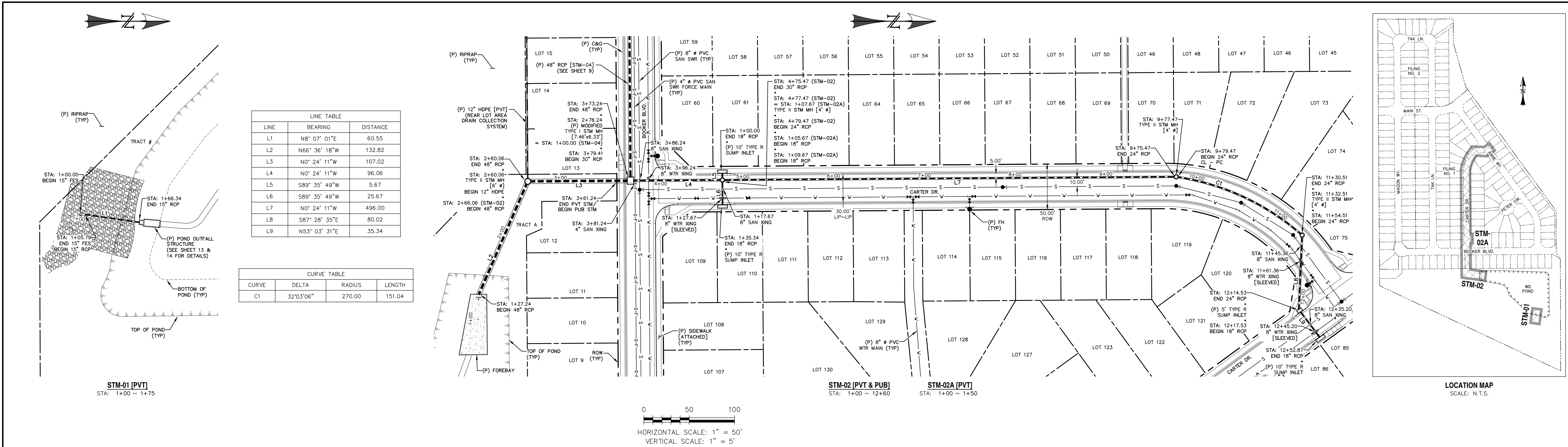
PREPARED FOR:
AVATAR EQUITIES, LLC
6800 JERICHO TURNPIKE
SUITE 120W #204
SYOSSET, NY 11791

PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF CATAMOUNT ENGINEERING.
DAVID L. MUJARES, COLORADO PE #40510
DATE

CATAMOUNT ENGINEERING
321 N. HENRIETTA AVE. WOODLAND PARK, CO 80869
PO BOX 221 (719) 428-2124

RIVERBEND CROSSING
FILING NO. 1
TAK LANE
STREET IMPROVEMENT PLAN

DESIGNED BY: MGP
SCALE: 1" = 50'
JOB NUMBER: 17-114
DRAWN BY: MGP
DATE: 02/10/20
SHEET: 7 OF 17

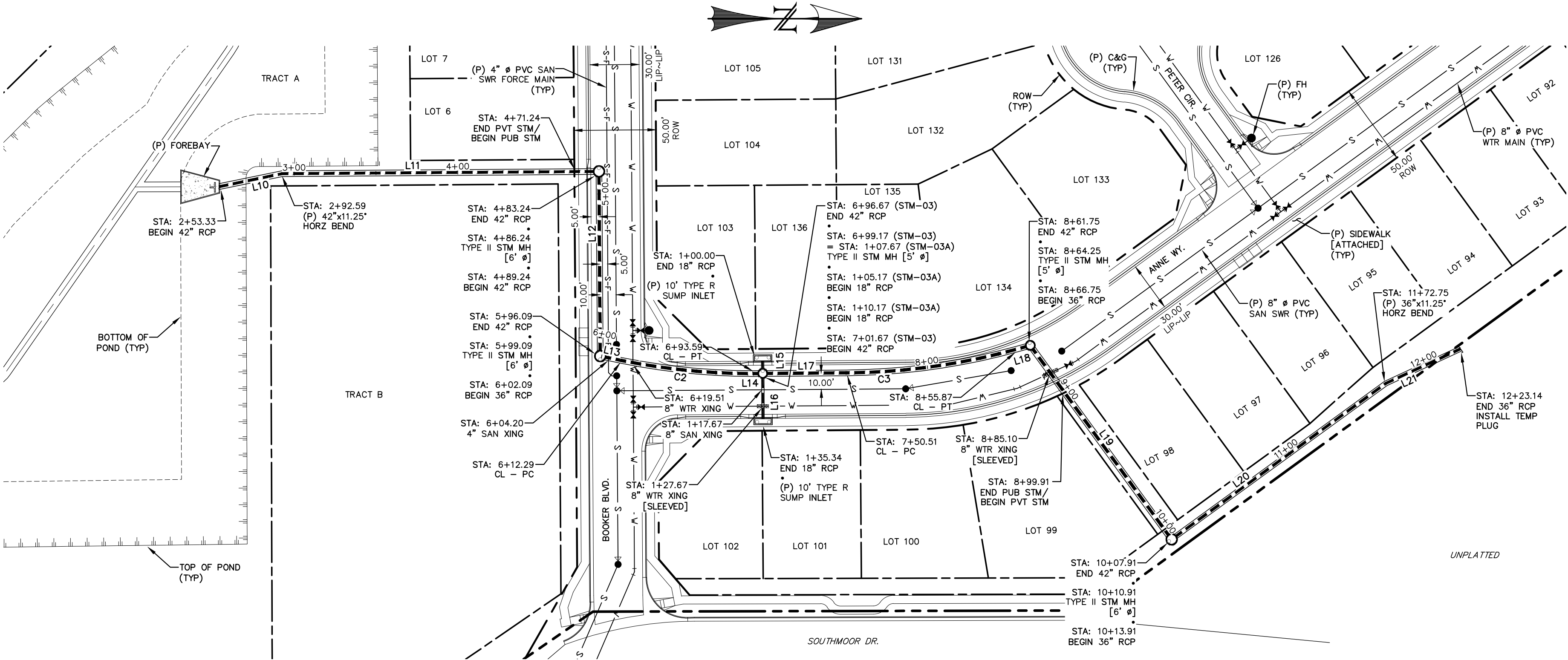


LINE TABLE		
LINE	BEARING	DISTANCE
L10	N11° 39' 11"W	39.27
L11	N0° 24' 11"W	190.65
L12	N89° 35' 49"E	106.85
L13	N11° 29' 15"E	10.20
L14	S0° 09' 27"E	3.08
L15	S89° 35' 49"W	5.17
L16	N89° 35' 49"E	25.17
L17	N0° 24' 11"W	48.85
L18	N15° 29' 41"W	5.88
L19	N53° 55' 25"E	141.16
L20	N36° 04' 35"W	158.84
L21	N24° 49' 35"W	50.39

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C2	11°38'42"	400.00	81.30
C3	15°05'30"	400.00	105.36

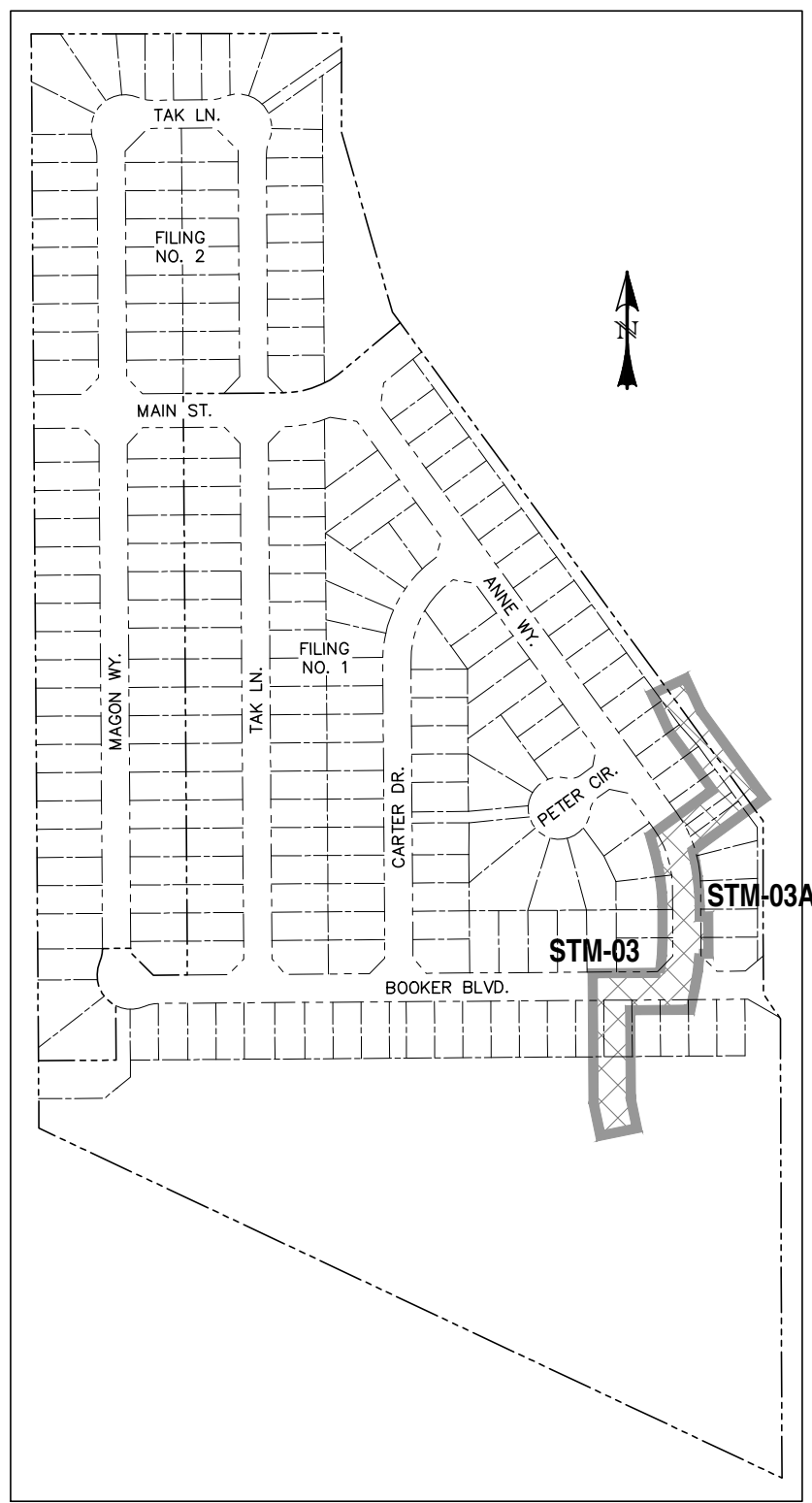
0 50 100
HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'

Revise to Type I SDMH

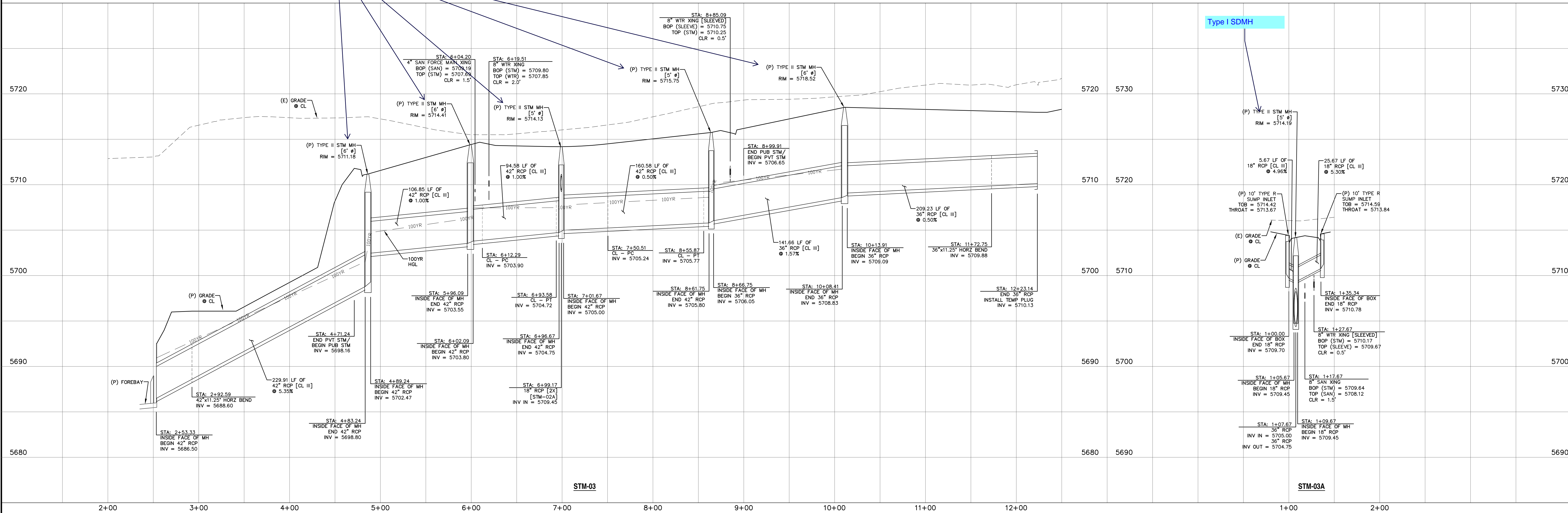


STM-03 [PVT & PUB]
STA: 2+50 ~ 12+50

STM-03A [PUB]
STA: 1+00 ~ 1+50



LOCATION MAP
SCALE: N.T.S.



Type I SDMH

REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	08/17/20

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www.call811.com

PREPARED FOR:
AVATAR EQUITIES, LLC
6800 JERICHO TURNPIKE
SUITE 120W #204
SYOSSET, NY 11791

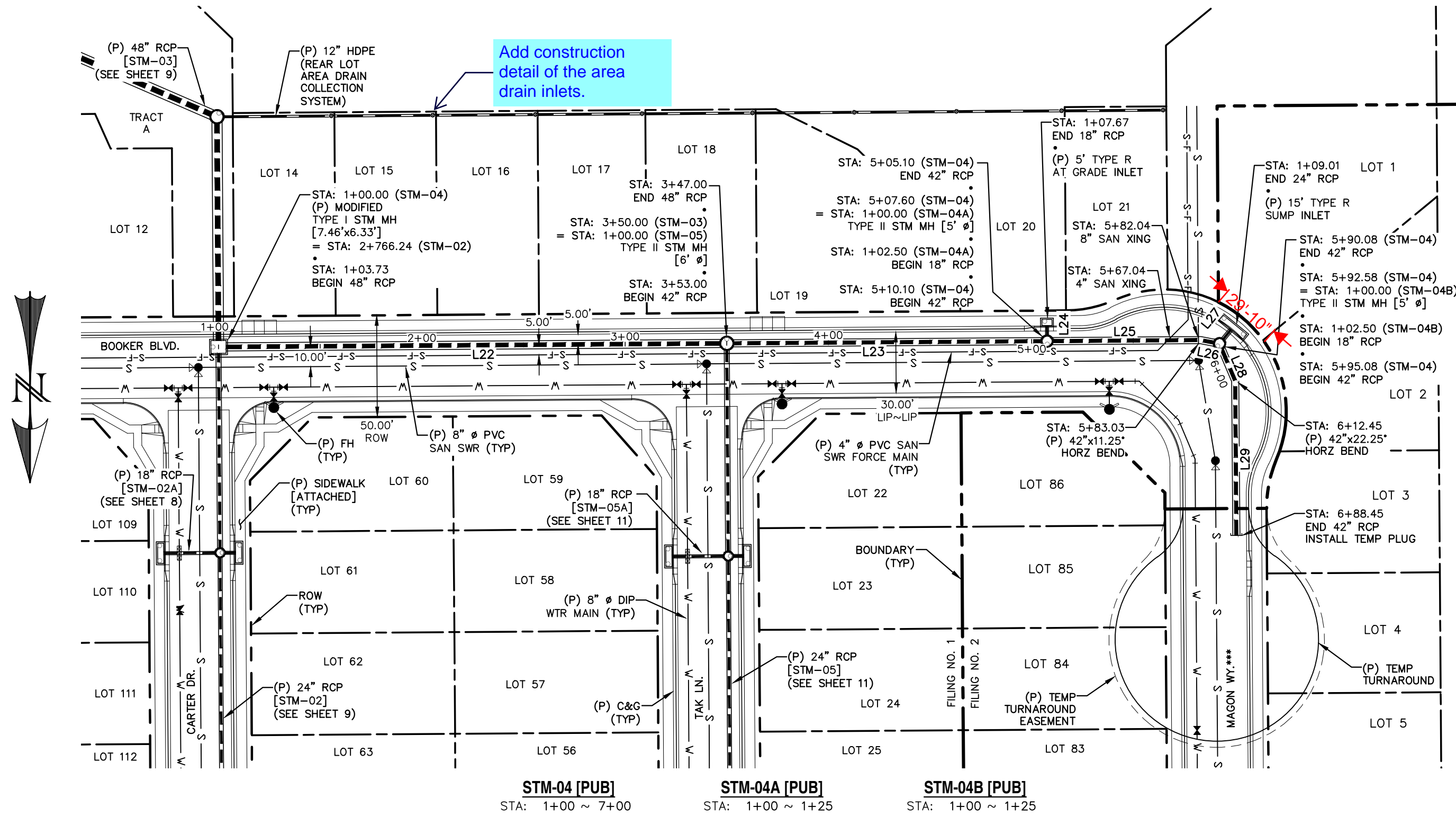
PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF CATAMOUNT ENGINEERING.
DAVID L. MUJARES, COLORADO PE #40510

DATE

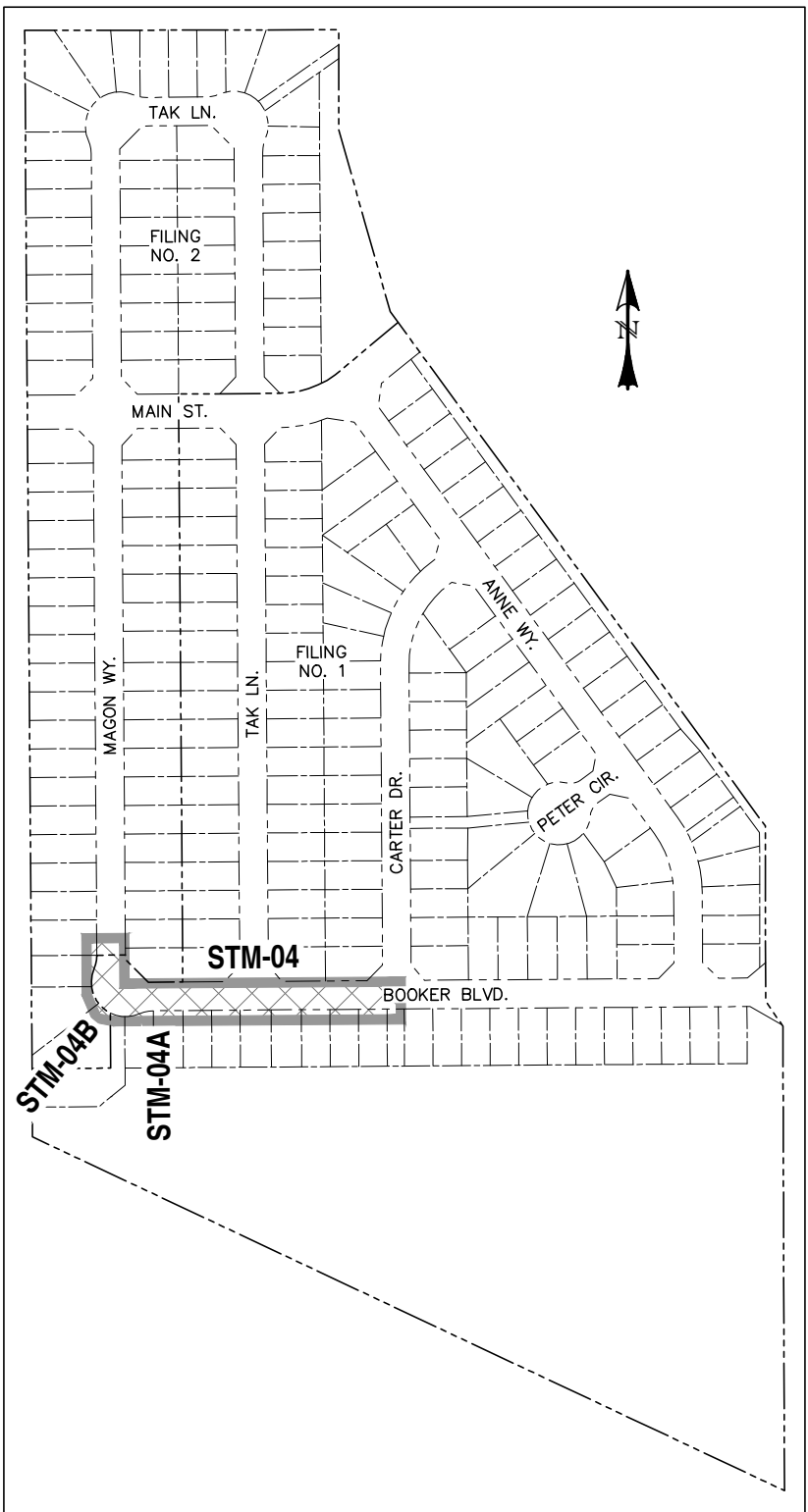


DESIGNED BY: MGP		DRAWN BY: MGP	
SCALE: 1" = 50'		DATE: 02/10/20	
JOB NUMBER		SHEET	
17-114		9 OF 17	

RIVERBEND CROSSING
FILING NO. 1
STORM SEWER 03 & 03A
PLAN & PROFILE



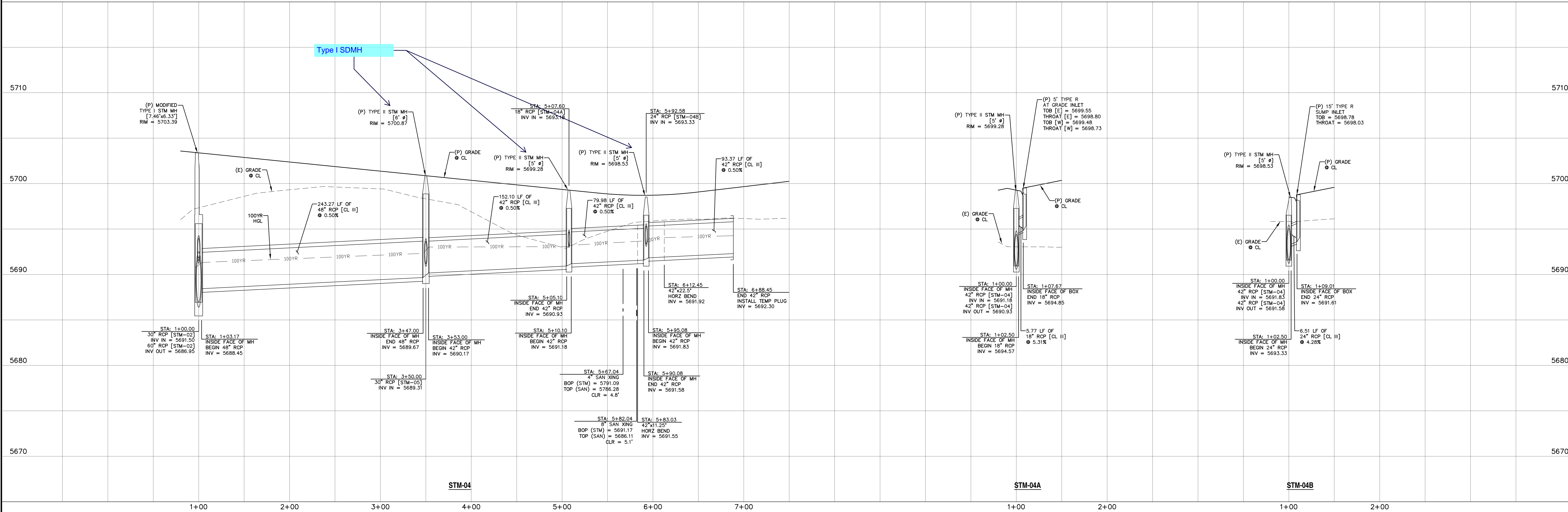
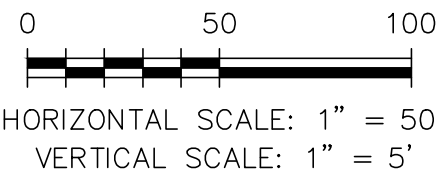
LINE TABLE		
LINE	BEARING	DISTANCE
L22	S89° 35' 49"W	243.27
L23	S89° 35' 49"W	152.10
L24	S0° 24' 11"E	5.17
L25	S89° 35' 49"W	72.93
L26	N79° 09' 11"W	7.05
L27	S39° 10' 47"W	6.51
L28	N22° 54' 11"W	17.37
L29	N0° 24' 11"W	76.00



LOCATION MAP
SCALE: N.T.S.

*** FILING CONSTRUCTION NOTE:

SEE "RIVERBEND COMMONS FILING NO. 2 STREETS,
STORM SEWER, AND SIGNAGE AND STRIPING"
CONSTRUCTION PLANS BY CATAMOUNT ENGINEERING.



REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	08/17/20

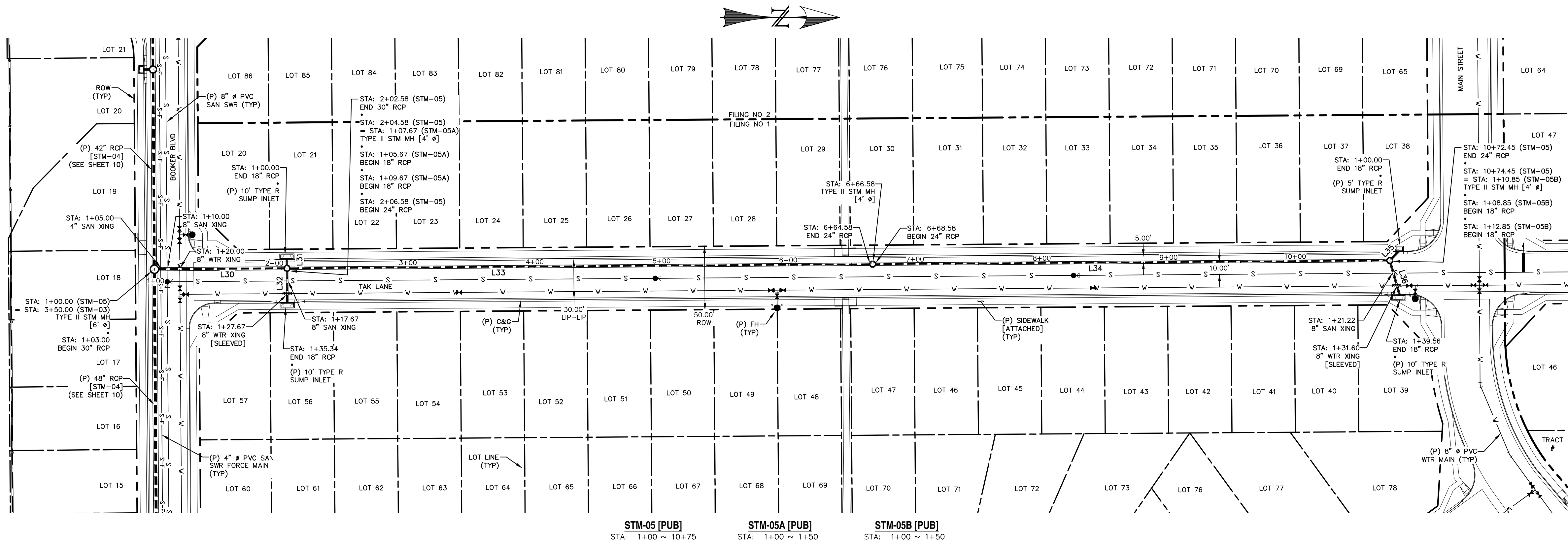


PREPARED FOR:
AVATAR EQUITIES, LLC
6800 JERICHO TURNPIKE
SUITE 1200
SYOSSET, NY 11791

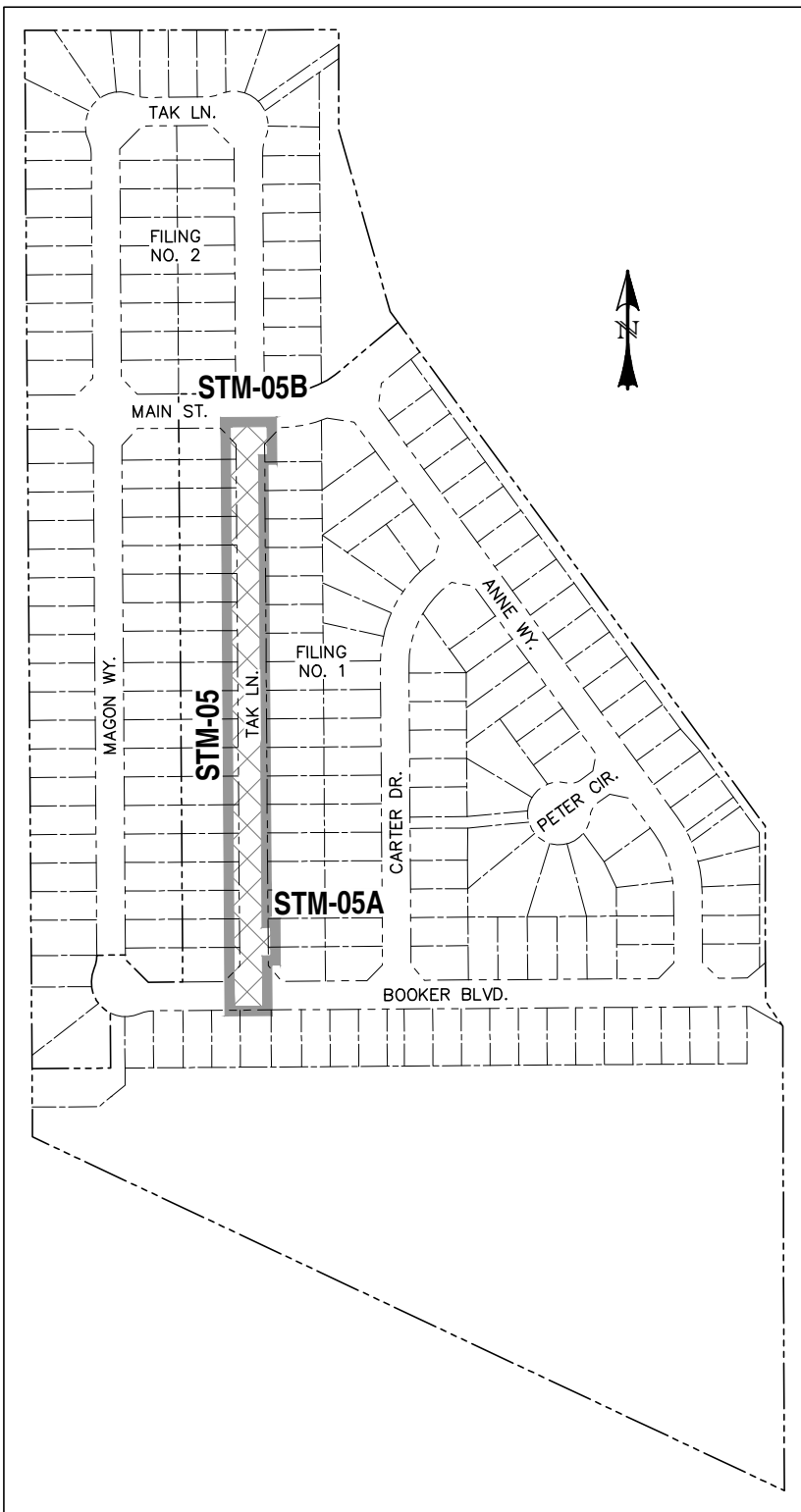
PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF CATAMOUNT ENGINEERING.
DAVID L. MUJARES, COLORADO PE #40510
DATE



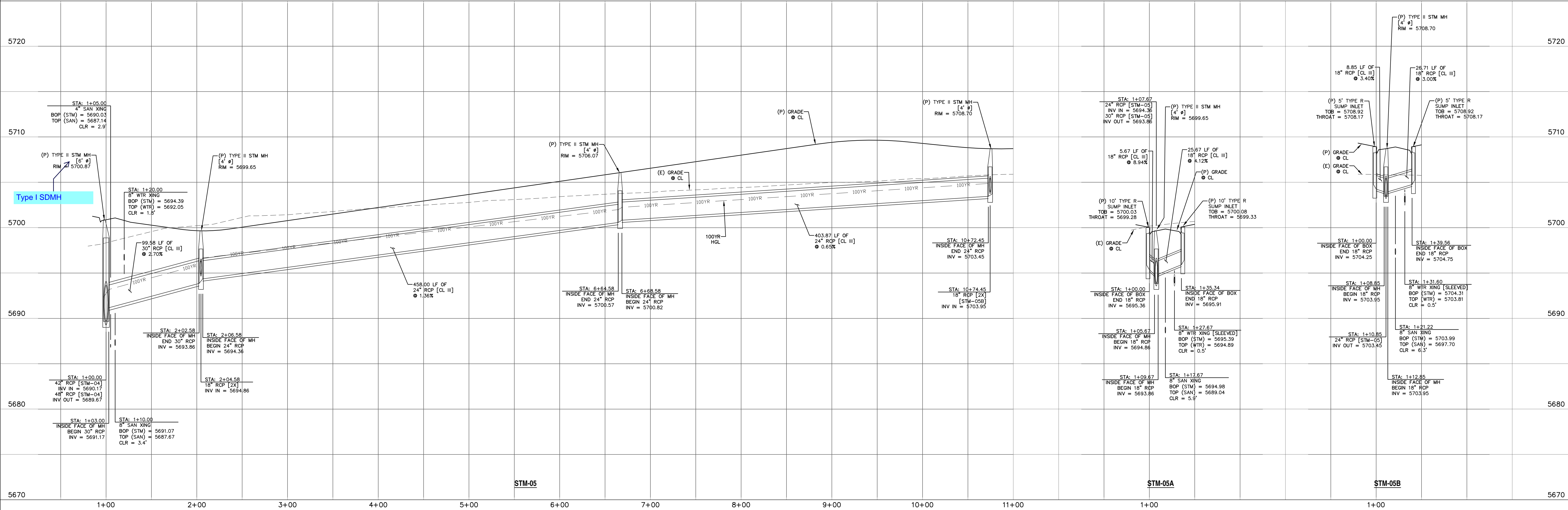
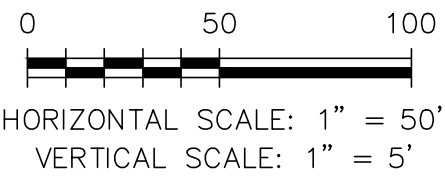
RIVERBEND CROSSING FILING NO. 1 STORM SEWER PLAN & PROFILE	
DESIGNED BY: MGP	DRAWN BY: MGP
SCALE: 1" = 50'	DATE: 02/10/20
JOB NUMBER	SHEET
17-114	10 OF 17



LINE TABLE		
LINE	BEARING	DISTANCE
L30	N0° 24' 11"W	99.58
L31	S89° 35' 49"W	5.67
L32	N89° 35' 49"E	25.67
L33	N0° 24' 11"W	458.00
L34	N0° 24' 11"W	403.87
L35	N45° 24' 11"W	8.85
L36	N74° 06' 14"E	26.71



LOCATION MAP
SCALE: N.T.S.



REV.	DESCRIPTION	DATE
1	ADDRESS AGENCY COMMENTS	08/17/20

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www.call811.com

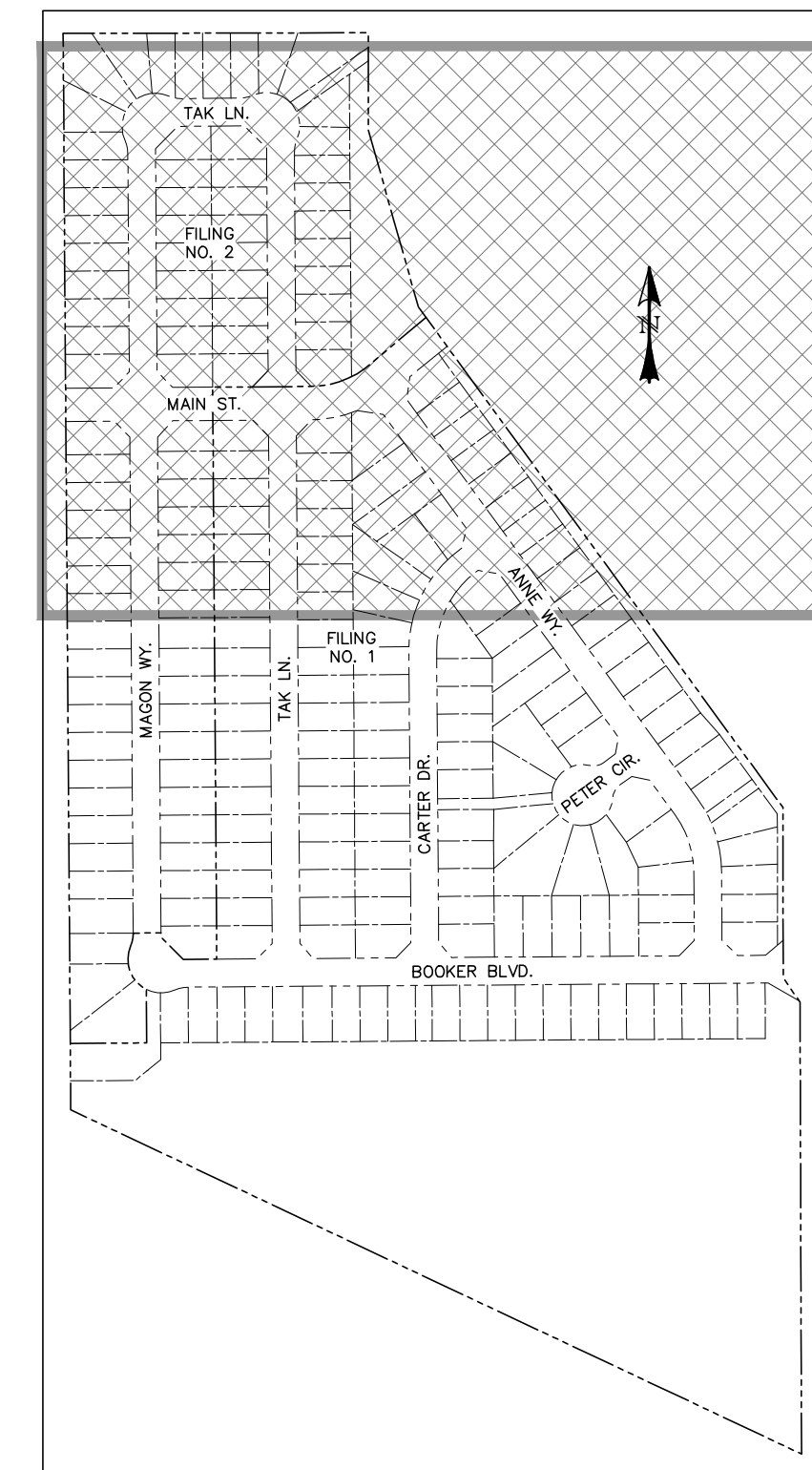
PREPARED FOR:
AVATAR EQUITIES, LLC
6800 JERICHO TURNPIKE
SUITE 120W #204
SYOSSET, NY 11791

PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF CATAMOUNT ENGINEERING.
DAVID L. MUJARES, COLORADO PE #40510

321 W. HENRIETTA AVE
WOODLAND PARK, CO 80866
PO BOX 221
(719) 428-2124

RIVERBEND CROSSING
FILING NO. 1
STORM SEWER
PLAN & PROFILE

DESIGNED BY: MGP	DRAWN BY: MGP
SCALE: 1" = 50'	DATE: 02/10/20
JOB NUMBER	SHEET
17-114	11 OF 17



1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE FOR ONE YEAR OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES.
4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
7. ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAYS SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAYS SIGNS BEING 6" UPPER-LOWER CASE LETTERING ON 12" BLANK WITH WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING 18" HIGH WITH WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS."
8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, SUCH AS THE CDD "T" SIGN, THE SIGN SHALL BE MOUNTED ON THE P2 TUBULAR STEEL POST SUBBASE DESIGN.
10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVE MARKINGS WITH THREEED LEADING EDGES PER CDDT STANDARD 6-62P-7-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP LINES SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8" LONG PER CDDT 6-62P-7-1.
12. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDDT 6-62P-7-1.
13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY DEVELOPMENT SERVICES (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

(E)
(P)
(F)
C&G



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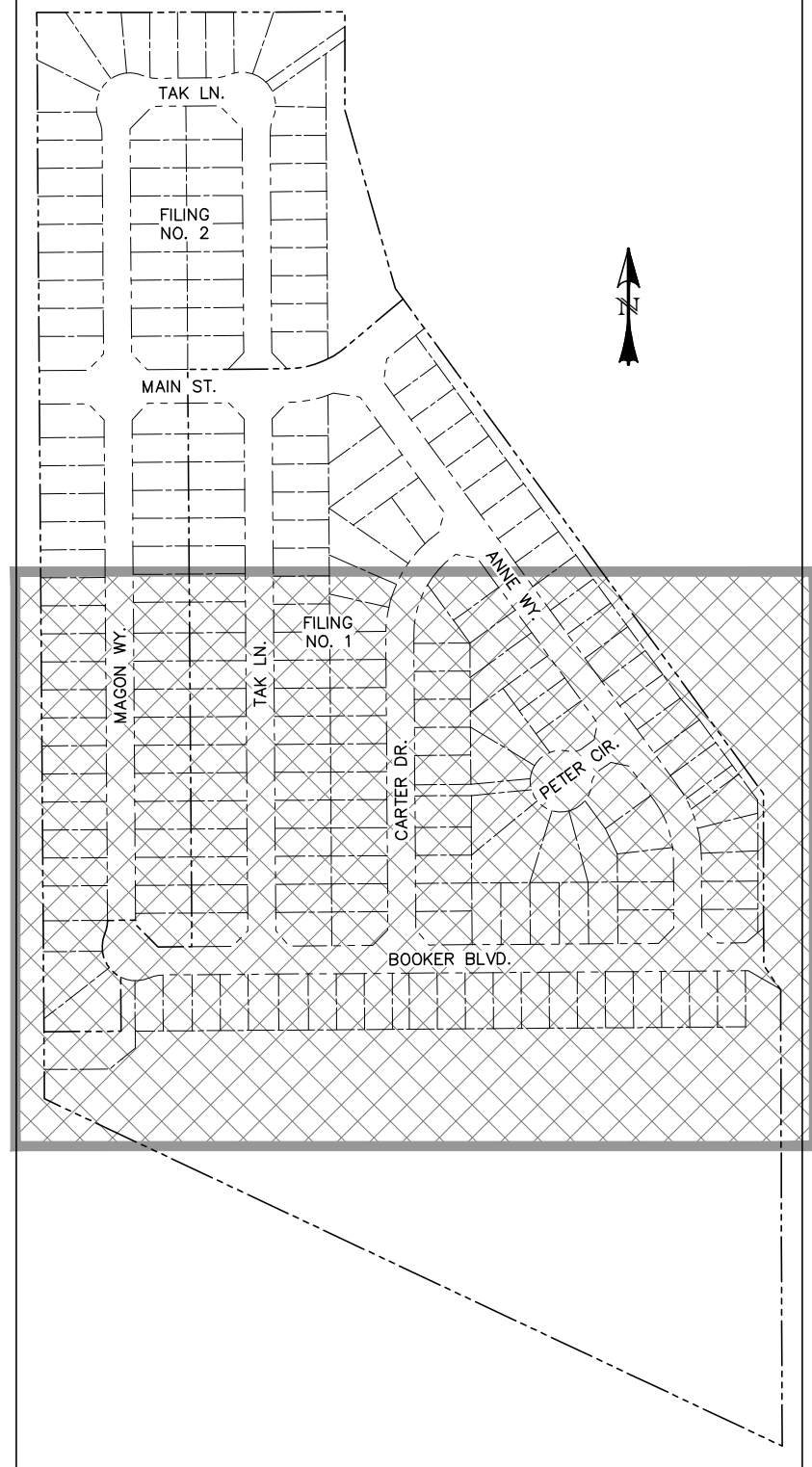
PREPARED UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF CATAMOUNT ENGINEERING

DAVID L. MIJARES, COLORADO PE #40510

DATE



DESIGNED BY:	MGP	DRAWN BY:	MGP
SCALE:	1" = 50'	DATE:	02/10/20
JOB NUMBER		SHEET	
17-114		12 OF 17	



0 50 100

SCALE: 1" = 50'

1. ALL CURRENT AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES.
4. ALL SIGNS SHOWN ON THE STRIPING AND SIGNING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY BE USED OR BE REVISED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
7. ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH BLACK AND ROADWAY SIGNS BEING "4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING "6" LETTERING. UPPER-LOWER CASE ON 12" BLANK, WITH WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMIT 40 MPH OR GREATER SHALL HAVE "8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS".
8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75 SQUARE POST WITH A 1.75" DIA. BASE. ALL OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SUBPADE DESIGN.
10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 1/25 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-614-8. STOP LINES AND CROSSWALK LINES SHALL BE 4" WIDE AND 2" LONG. BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.
12. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 1/5MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPINGS AS REQUIRED BY CDOT S-627-1.
13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY DEVELOPMENT SERVICES (719) 250-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

(E)
(P)
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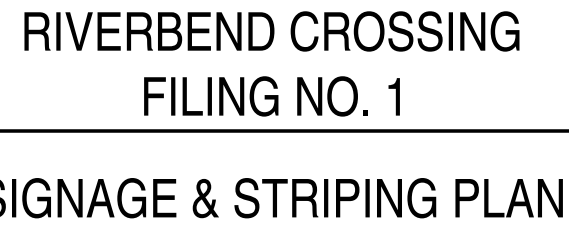


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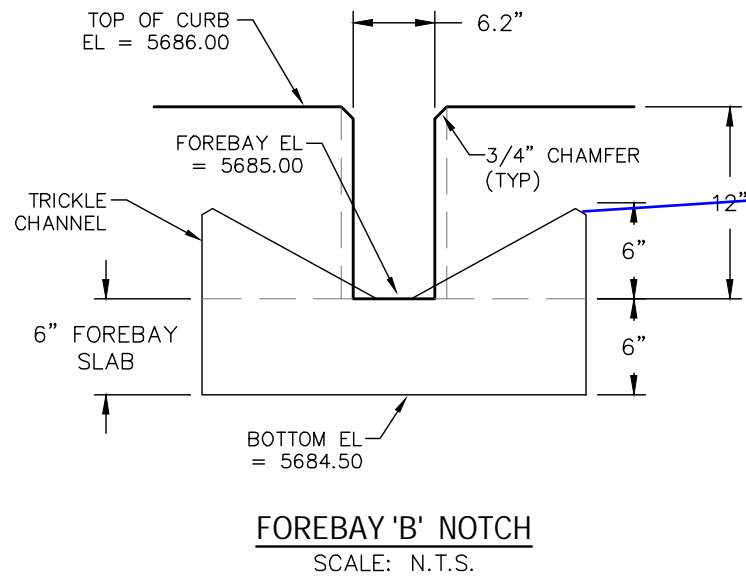
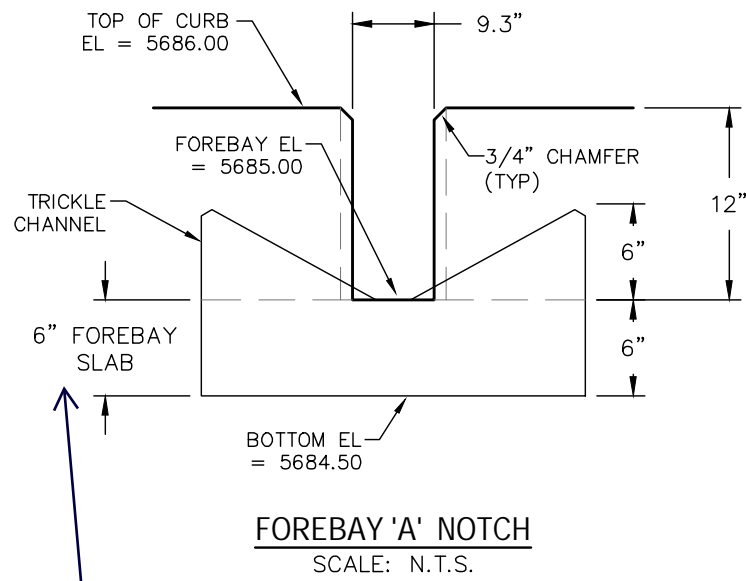
DAVID L. MIJARES, COLORADO PE #40510

DATE



DESIGNED BY:	MGP	DRAWN BY:	MGP
SCALE:	1" = 50'	DATE:	02/10/20
JOB NUMBER	SHEET		
17-114	13 OF 17		

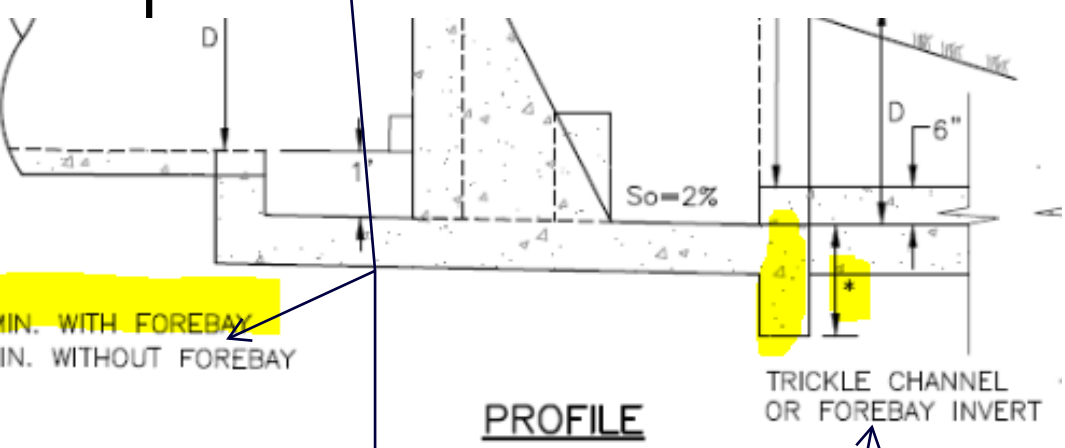
Update the forebay detail to show the finished ground relative to the forebay top of curb. Based on the Forebay notch detail, finished ground is 6" lower than top of curb. Soil riprap is required when downstream grade is lower than top of curb.



Revise the outlet structure/energy dissipator. Per UDFCD Vol 2. The baffle design provided is only appropriate for up to 48" diameter. For the larger 60" diameter conduits use the Type VI impact basin. See Figure 9-45 in UDFCD DCM Vol 2 and/or EPC DCM Vol 1 Figure 10-8a and Figure 10-8b. Provide the design calculations in the drainage report. Unresolved.

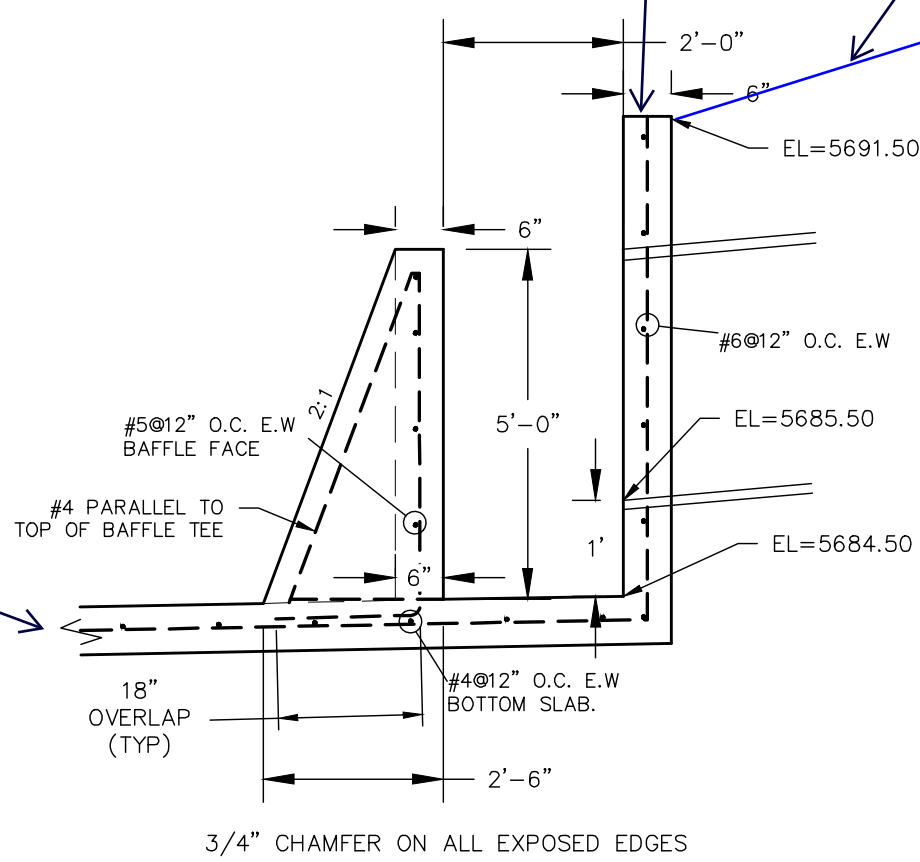
Impact Basins for Small Outlets

Figures 9-43 and 9-44 provide design layout for circular outlets up to 48 inches in diameter. Unlike the Type VI impact basin used for large outlets, the modified basin does not require sizing for flow under velocities recommended in the *Streets, Inlets, and Storm Drains* chapter. However, use of this detail is limited to exit velocities of 18 feet per second or less. For larger conduits and higher exit velocities, it is recommended that the Type VI impact basin be used.



Based on height of headwall, provide a safety rail

Draw and label finished ground

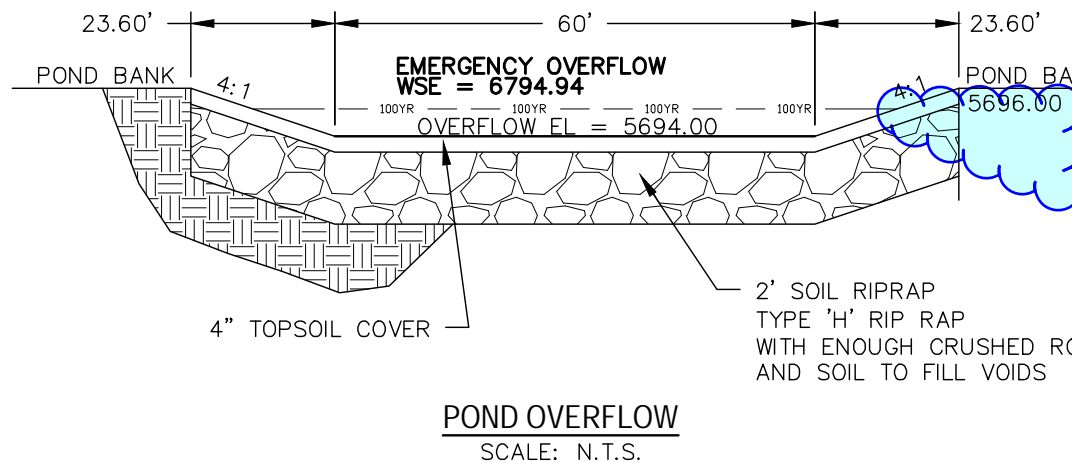
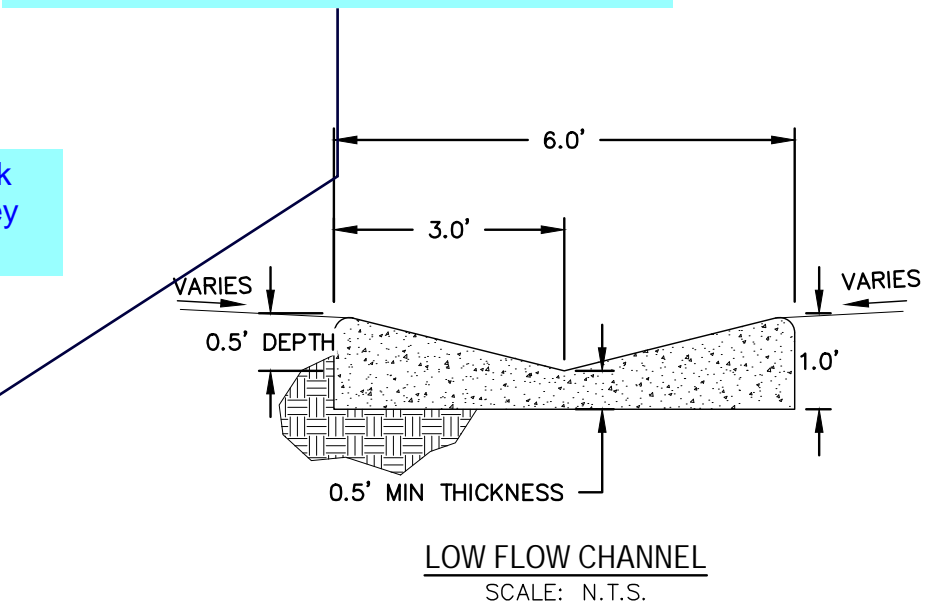
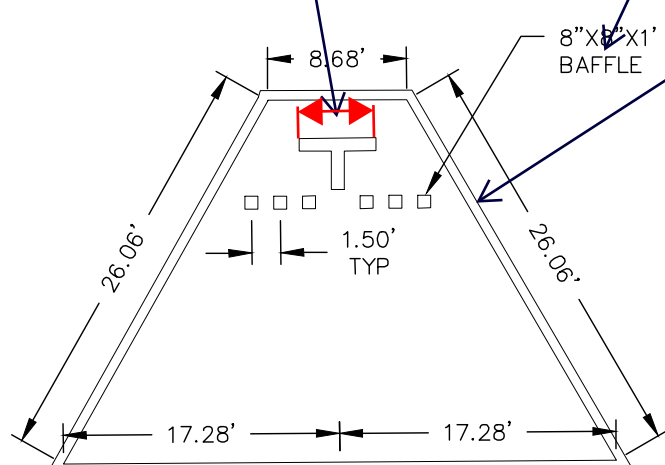


Forebay "B" Baffle detail is missing.

Label width label of baffle.

Provide spot elevation along the forebay wall and forebay floor. Not enough detail provide to show the profile of the wingwalls.

Update baffle block label to specify they are 1' high.



LINE TABLE		
LINE	BEARING	DISTANCE
L1	N14° 30' 05.17"E	13.21
L2	N51° 46' 58.47"W	188.49
L4	N35° 20' 23.20"W	39.21
L6	N77° 26' 49.20"W	107.20
L7	S0° 11' 17.58"E	39.43

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	16°26'35"	50.00	14.35
C2	42°06'26"	50.00	36.75

Revise to continue the 4:1 to the top of bank. Unresolved. See example to the right

Revise access ramp to 15' wide minimum @ 12% max per EPC DCM 11.2.2.

Label low channel slope. Unresolved.

Label bottom of pond slope. Slope towards the trickle channel or micropool at a 3% min. slope.

Identify as Extended Detention Basin. This pond is designed for both WQ and Detention. Unresolved.

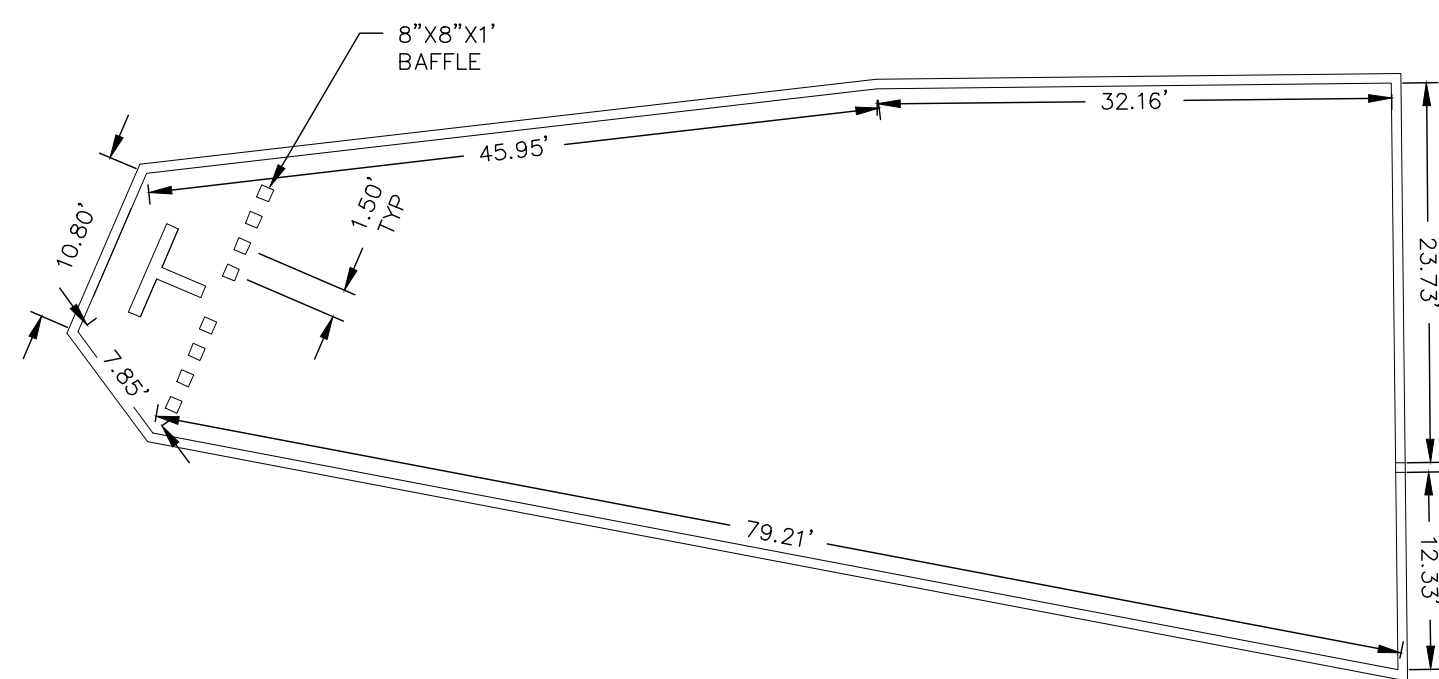
WARNING
THIS AREA IS A STORMWATER FACILITY AND IS SUBJECT TO PERIODIC FLOODING

NOTES:

- SIGN SHALL BE A MINIMUM OF 3 SF.
- SIGN SHALL BE FABRICATED OF DURABLE MATERIALS SUCH AS METAL OR PLASTIC.
- SIGN SHALL HAVE RED LETTERING ON A WHITE BACKGROUND.

WARNING SIGN DETAIL
SCALE: N.T.S.

LEGEND	
EXISTING	(E)
PROPOSED	(P)
CURB AND GUTTER	C&G
BOUNDARY	---
RIGHT-OF-WAY	---
LOT LINE	---
(E) CONTOUR, INDEX	---
(E) CONTOUR	---
(P) CONTOUR, INDEX	---
(P) CONTOUR	---
(E) STORM SEWER	---
(P) STORM SEWER	---

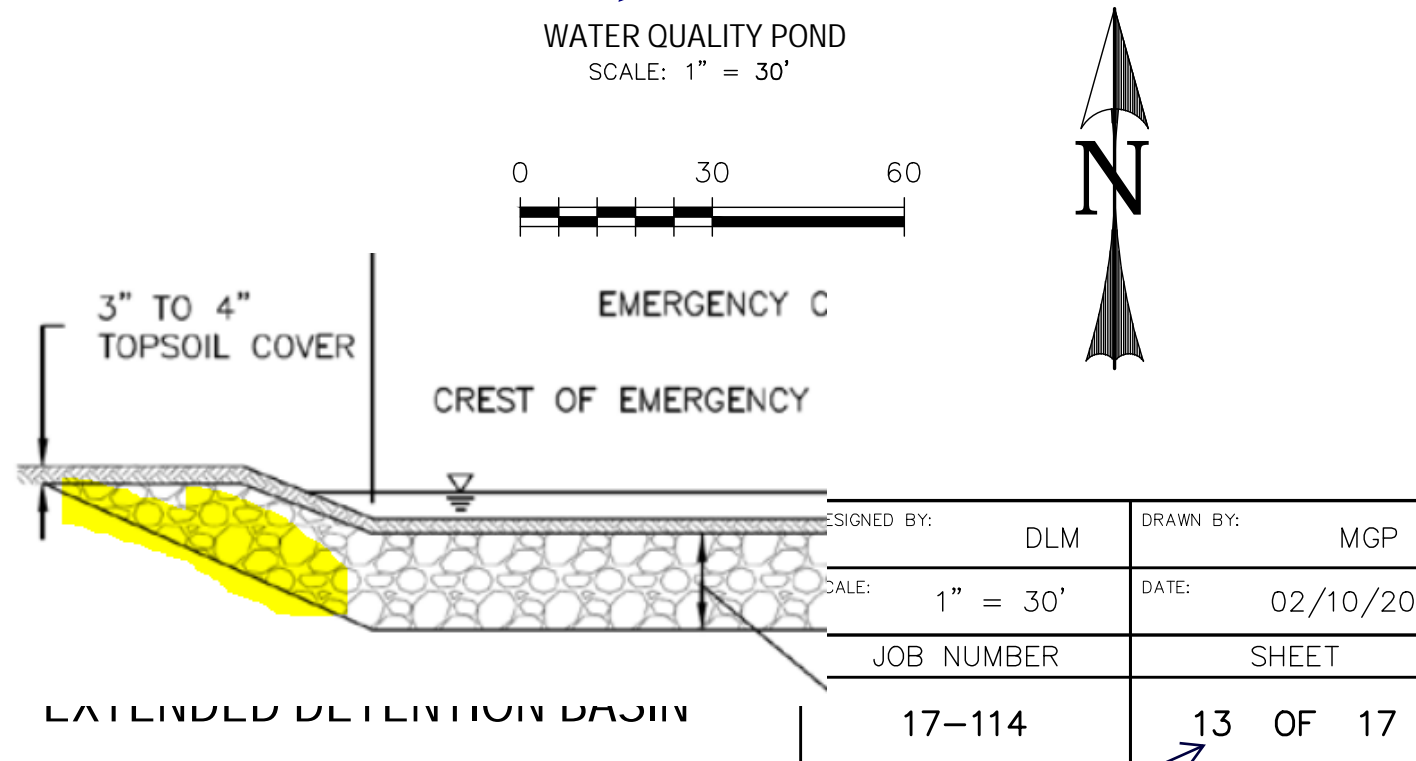


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AVATAR EQUITIES, LLC
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SYOSSET, NY 11791

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DAVID L. MIJARES, COLORADO PE #40510
DATE

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301 W. HENRIETTA AVE
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WOODLAND PARK, CO 80066
(719) 426-2124



Update Sheet number

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DRAWN BY: MGP
SCALE: 1" = 30'
DATE: 02/10/20
JOB NUMBER: 17-114
SHEET: 13 OF 17

