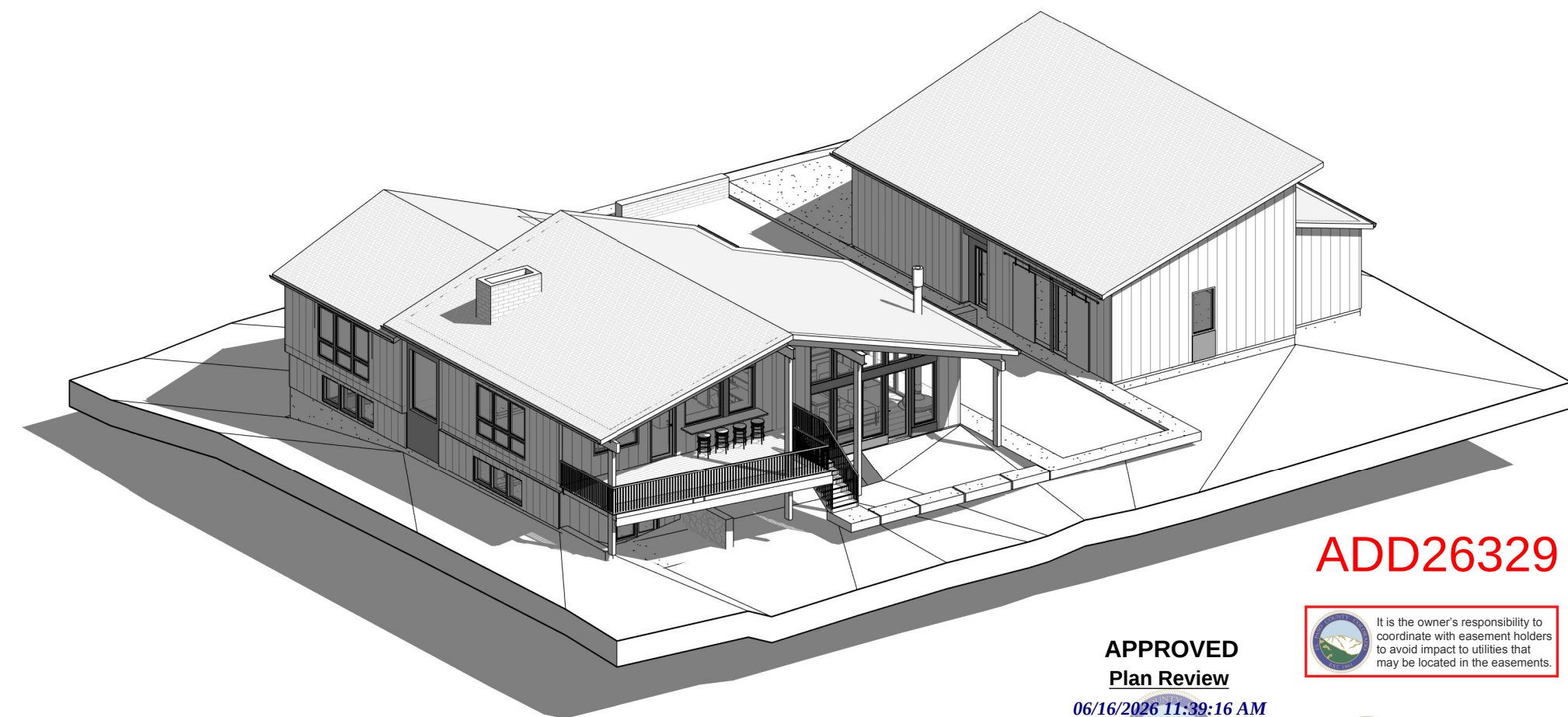
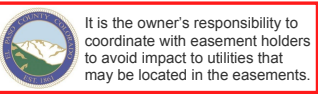


McMEANS RESIDENCE

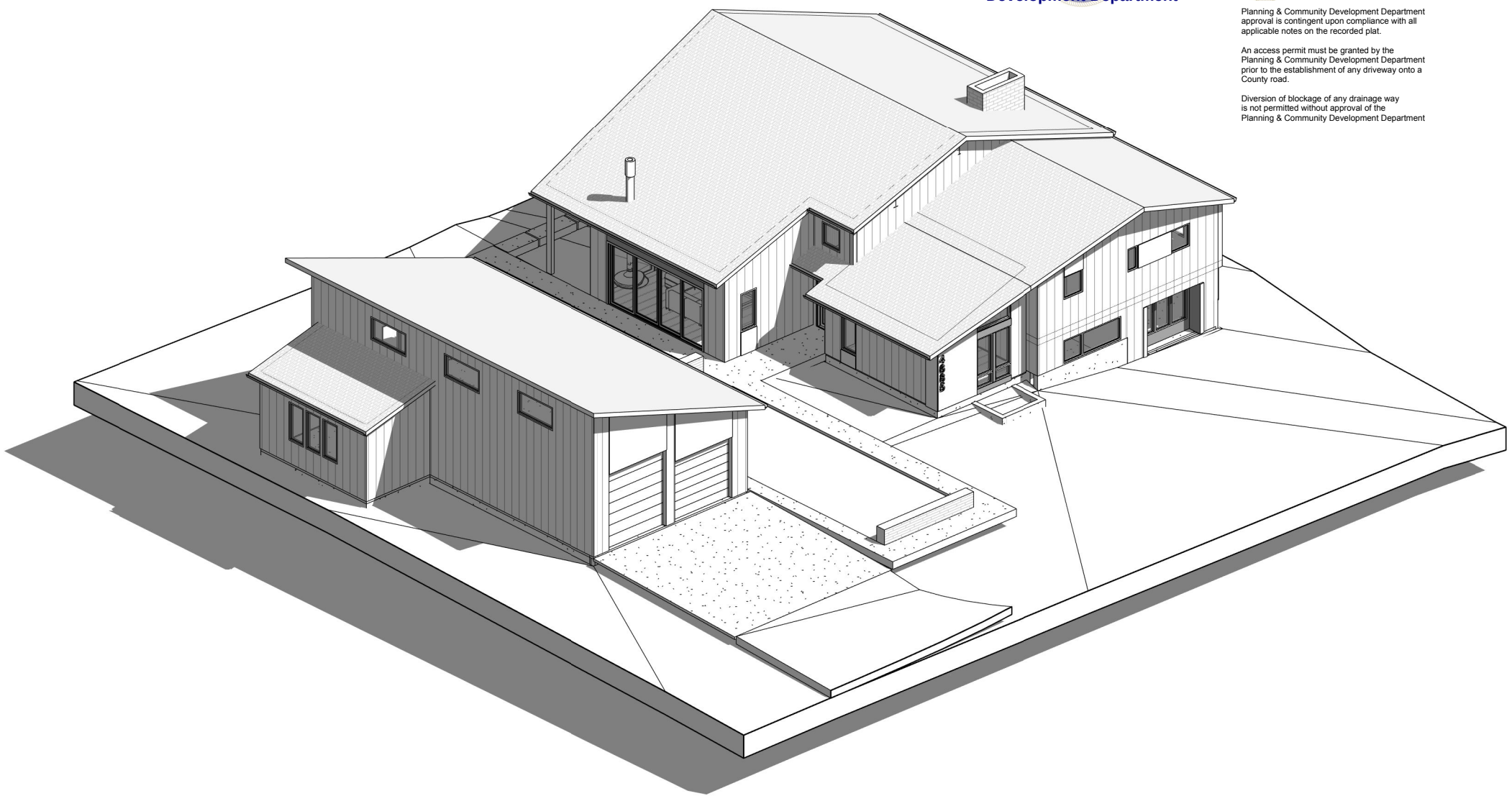


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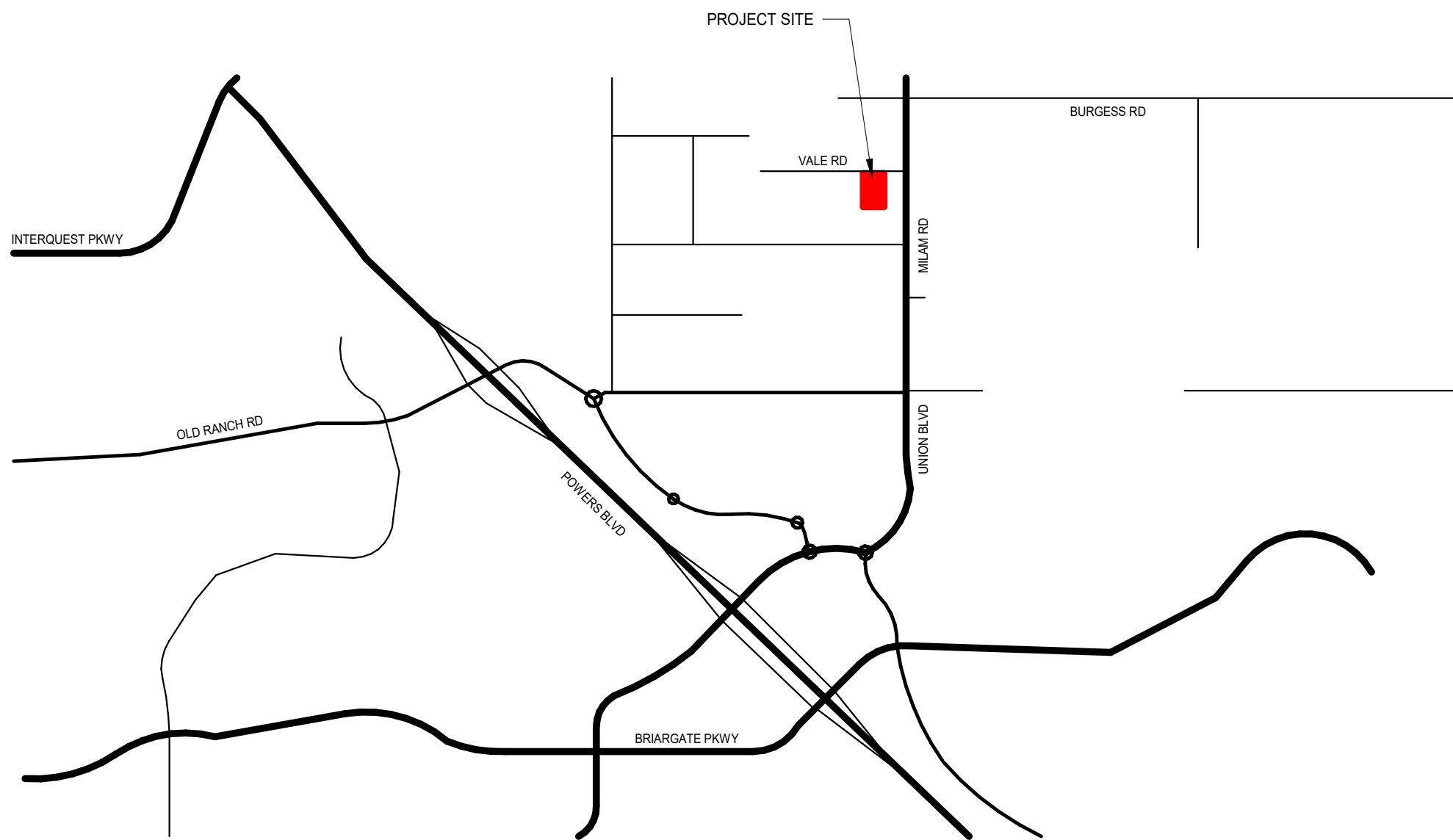
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Plan Review
06/16/2026 11:39:16 AM
davyounger
EPC Planning & Community
Development Department



ANY APPROVAL GIVEN BY EL PASO COUNTY DOES NOT IMPLY THE NEED TO COMPLY WITH ANY OTHER FEDERAL, STATE, OR LOCAL LAWS, RULES, OR REGULATIONS. Planning & Community Development Department approval is contingent upon compliance with all applicable rules on the recordable plan. No approval given shall be construed as approval by the Planning & Community Development Department prior to the establishment of any other rules or County rules. Disapproval of drawings or any drawings may be withdrawn without approval of the Planning & Community Development Department.

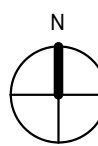


3D VIEWS - FOR REFERENCE ONLY



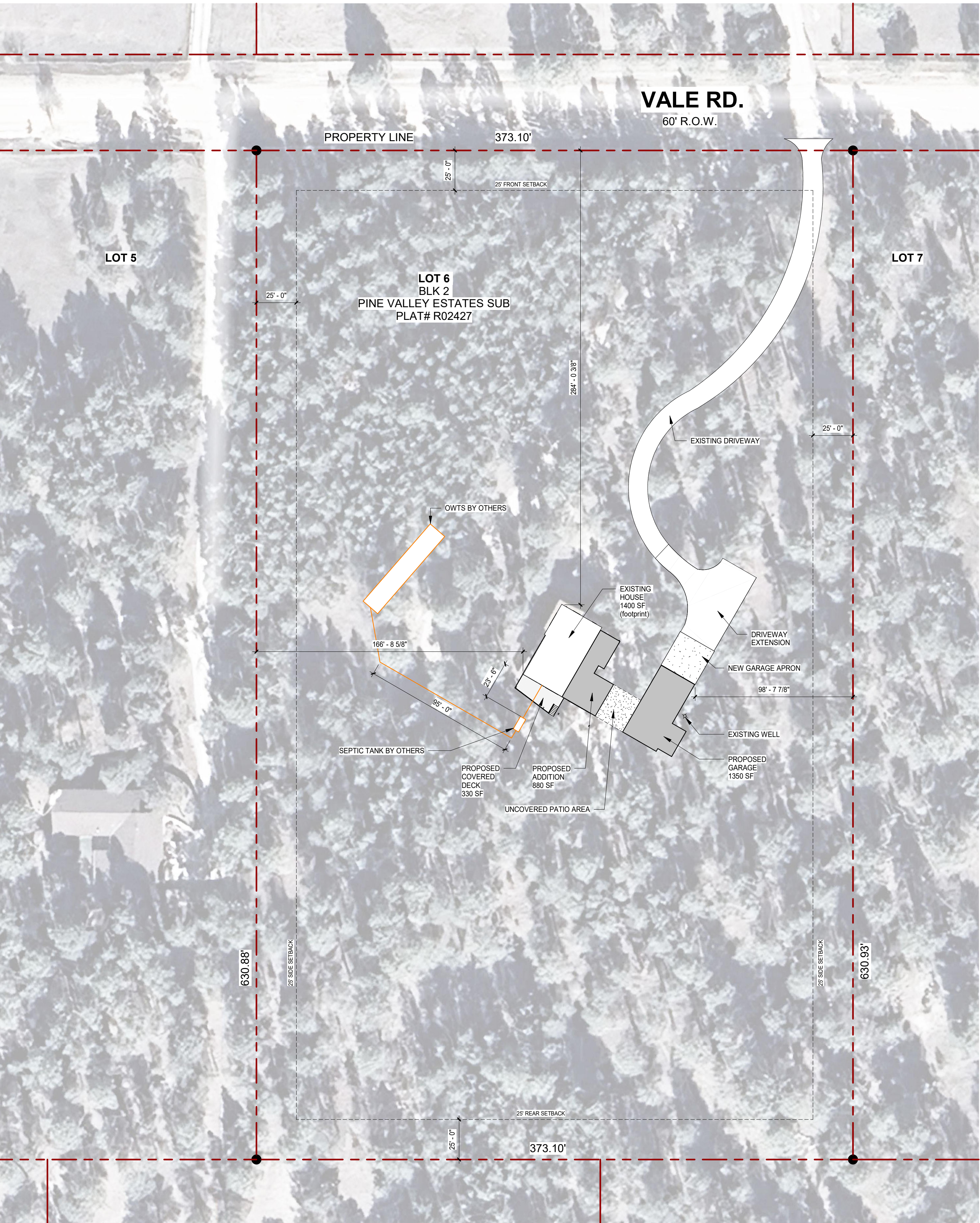
VICINITY MAP

SCALE: NTS



SITE PLAN

SCALE: 1" = 40'



PROJECT DATA

PROJECT CONTACTS:

HOME OWNER:
MCMEANS, MATTHEW W & JESSICA J
PO BOX 88261
COLORADO SPRINGS, CO 80908-8261
Ph: 803-257-3551
Email: jessicajmcmeans@gmail.com

GENERAL CONTRACTOR:
SOUTHERN MESA LLC
KYLE COOKRAM
4756 N Chestnut St
Colorado Springs, CO 80907
Ph: 719-424-8735
kyle@southernmesallc.com

STRUCTURAL ENGINEER:
MBA Engineering LTD
5780 E Woodmen Rd, Suite 110
Colorado Springs CO 80924
Ph: 719-487-0812
office@mbarld.com

CODES

2023 Pikes Peak Regional Building Code
BUILDING RESIDENTIAL - 2021 IRC
MECHANICAL - 2021 IMC
PLUMBING - 2021 IPC
ELECTRICAL - 2023 NEC
ENERGY CODE - 2021 IECC AMND

ATTACHMENTS(FUTURE)

1. FOUNDATION ENGINEERING
2. IECC COMPLIANCE DOCUMENT
3. RESIDENTIAL HVAC EQUIPMENT CERTIFICATE
4. HVAC DUCT LAYOUTS AND CALCULATIONS

SHEET INDEX

A000 SITE PLAN & PROJECT INFO
A001 SITE PLAN ENLARGED - PARTIAL
A100 EXISTING AND DEMO PLANS
A200 FLOOR PLANS - BASEMENT AND LOWER LEVEL
A201 FLOOR PLANS - MAIN AND MID LEVEL
A202 ROOF PLAN
A400 BUILDING ELEVATIONS
A401 BUILDING ELEVATIONS
A500 BUILDING SECTIONS
A501 BUILDING SECTIONS
A700 INTERIOR ELEVATIONS AND DETAILS
A701 INTERIOR ELEVATIONS
A900 GARAGE PLANS, FRAMING PLANS, DETAILS
A901 GARAGE - BUILDING ELEVATIONS
S101 FRAMING PLANS AND DETAILS - FLOOR
S102 FRAMING PLANS AND DETAILS - ROOF
P100 PLUMBING PLANS
E100 ELECTRICAL PLANS

ENERGY CODE REQUIREMENTS:

CLIMATE ZONE 5B

R-49 CEILING
R-20 WALLS, WOOD FRAMED
R-30 FLOORS (OR FILLED CAVITY R-19 MIN.)
R-19 CRAWL SPACE WALL
R-19 BASEMENT WALL
U-0.32 WINDOWS

GENERAL PROJECT NOTES

1. THIS SET OF CONSTRUCTION DOCUMENTS ARE FOR THE COMMUNICATION OF GENERAL DESIGN INTENT. ALL WORK BY VENDORS AND SUBCONTRACTORS SHALL BE COORDINATED BY THE GENERAL CONTRACTOR.
2. THIS SET OF CONSTRUCTION DOCUMENTS ARE FOR THE COMMUNICATION OF GENERAL PROJECT SCOPE. EACH VENDOR, CONTRACTOR, SUBCONTRACTOR IS RESPONSIBLE TO PROVIDE MATERIALS AND COMPONENTS TO COMPLETE THEIR SCOPE OF WORK WHETHER OR NOT SPECIFICALLY CALLED OUT IN THIS SET OF DOCUMENTS.
3. ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES. ALL CONTRACTORS AND SUBCONTRACTORS EXECUTING WORK ON THE PROJECT SHALL BE LICENSED AND BONDED WITHIN THE COUNTY WHERE THE PROJECT IS LOCATED.
4. EACH CONTRACTOR, SUBCONTRACTOR, AND VENDOR SHALL FIELD VERIFY ALL SITE CONDITIONS AND DIMENSIONS BEFORE PRODUCING OR ORDERING MATERIAL. GENERAL CONTRACTOR IS TO BE NOTIFIED OF ANY DISCREPANCIES AND ISSUES PRIOR TO WORK COMMENCING.
5. CONTRACTOR TO BECOME FAMILIAR WITH FULL PROJECT SCOPE AND IS TO COORDINATE ALL DISCIPLINES AND TRADES.
6. INSTALL ALL PRODUCTS PER MANUFACTURER'S RECOMMENDATIONS.

SITE AND BUILDING DATA

PROJECT SUMMARY: ADDITION AND RENOVATION OF EXISTING SINGLE FAMILY HOME: NEW DETACHED GARAGE.

PARCEL ID#: 6223002002

LEGAL DESCRIPTION: LOT 6 BLK 2 PINE VALLEY ESTATES SUB

ADDRESS: 4685 VALE RD COLORADO SPRINGS CO 80908

OWNER: MCMEANS, MATTHEW AND JESSICA

ZONING: RR-5 **PLAT 2427**

LOT AREA: 235,381 SF (5.4 ACRES)

LOT COVERAGE:
EXISTING HOUSE: 1447 SF
PROPOSED ADDITION: 680 SF
PROPOSED GARAGE: 1350 SF
TOTAL: 3477 SF (1.5%)
25% ALLOWED

AREAS:
MAIN & MID LEVEL: 2,327
LOWER LEVEL & BASEMENT: 2,280
TOTAL HOUSE: 4,607

BED-5 BATH-3

HIGHEST POINT OF NEW CONSTRUCTION: 24'-11"
30' ALLOWED

CLIMATE ZONE: 5B

Roof Truss P/SF: 40 (Elevation: 7,119 Feet)

PROPERTY HAS EXISTING WELL WATER

PROJECT PROPOSES REPLACEMENT OF EXISTING SEPTIC SYSTEM

CURB

RESIDENTIAL AND URBAN DESIGN

Drawings Provided By:

Colorado Urbanism LLC
Sam Friesema
305 South El Paso Street
Co. Springs CO 80903
Ph: 719-494-4951
samfriesema@gmail.com

McMeans Residence

4685 VALE ROAD COLORADO SPRINGS 80908

Construction Documents

Date: 05.14.2026

COVER SHEET / SITE PLAN

A000

RESIDENTIAL



2023 PPRBC
2021 IECC

1 PLAN 2 PERMITS

Address: 4685 VALE RD, COLORADO SPRINGS

Parcel: 6223002002

Plan Track #: 213633

Received: 28-May-2026 (NICOLASV)

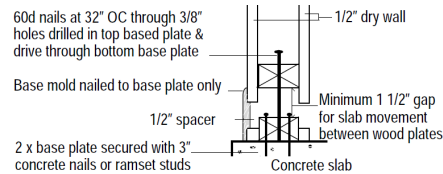
Description:

ADDITION

Contractor: SOUTHERN MESA LLC

Type of Unit:

1. Minimum finished ceiling height 7'0"
6'8" under beams, pipes & ducts not to exceed
50% of floor area or 8' whichever is greater
2. 2x4 const @ 24" oc-max-floating (non bearing)
3. 1/2" type gyp board required under stair enclosure
when used for storage.



FLOATING WALL DETAIL (required)

PROVIDE ESCAPE AND RESCUE OPENING:

- 1) Minimum net clear opening area: 5.7 sq. ft. or
5.0 sq. ft. at grade floor or below grade
- 2) Minimum net clear opening height: 24"
- 3) Minimum net clear opening width: 20"
- 4) Maximum sill height: 44"

Area wells with a horizontal area of not less than 9 sf with a projection of not less than 36" required. R310.4. Window wells with a depth of 44" or more shall be provided with a permanently affixed ladder or steps in compliance with section R310.4.2.

Required PPRBD Departments (5)

Floodplain

(N/A) RBD GIS

Construction

Released for Permit

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Electrical

Mechanical

Released for Permit

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Plumbing

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.

Alterations, repairs and additions: When interior alterations, repairs or additions requiring a permit occur in existing dwellings, the dwelling unit shall be provided with smoke alarms AND carbon monoxide alarms located as required for new dwellings; smoke alarms shall be interconnected.

Required Outside Departments (2)

County Zoning

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EPC Health Dept