

CHRISTIAN BROTHERS AUTOMOTIVE - FALCON

LOT 2, WOODMEN HILLS FILING NO. 7J, BEING A PORTION OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 13 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN

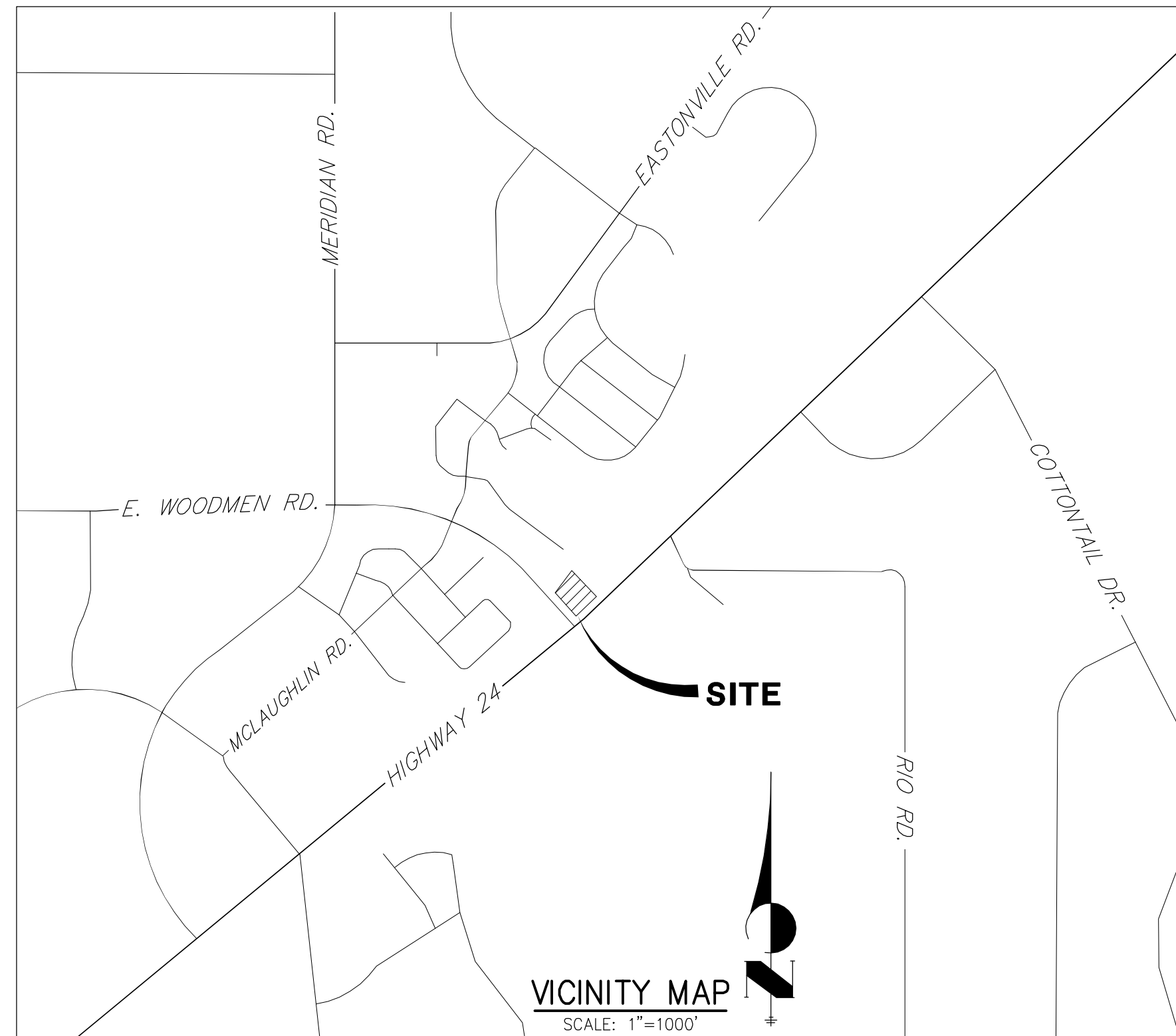
COUNTY OF EL PASO, STATE OF COLORADO

SITE DEVELOPMENT PLAN

GRADING AND EROSION CONTROL NOTES

1. CONSTRUCTION MAY NOT COMMENCE UNTIL A CONSTRUCTION PERMIT IS OBTAINED FROM PLANNING AND COMMUNITY DEVELOPMENT AND A PRECONSTRUCTION CONFERENCE IS HELD WITH PLANNING AND COMMUNITY DEVELOPMENT INSPECTIONS.
2. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF SITE WATERS, INCLUDING WETLANDS.
3. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS TO REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
4. A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. DURING CONSTRUCTION THE SWMP IS THE RESPONSIBILITY OF THE DESIGNATED STORMWATER MANAGER, SHALL BE LOCATED ON SITE AT ALL TIMES AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
5. ONCE THE ESQCP HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL BMP'S AS INDICATED ON THE GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY PCD INSPECTIONS STAFF.
6. SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 21 CALENDAR DAYS AFTER FINAL GRADING, OR FINAL EARTH DISTURBANCE, HAS BEEN COMPLETED. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMP'S SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND ESTABLISHED.
7. TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO STANDARDS AND SPECIFICATION PRESCRIBED IN THE DCM VOLUME II AND THE ENGINEERING CRITERIA MANUAL (ECM) APPENDIX I.
8. ALL PERSONS ENGAGED IN EARTH DISTURBANCE SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BMP'S IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS OF THE DRAINAGE CRITERIA MANUAL (DCM) VOLUME II AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN (SWMP).
9. ALL TEMPORARY EROSION CONTROL FACILITIES INCLUDING BMP'S AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCE OPERATIONS, SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS, THESWMP AND THE DCM VOLUME II AND MAINTAINED THROUGHOUT THE DURATION OF THE EARTH DISTURBANCE OPERATION.
10. ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME.
11. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE DISCHARGE TO A NON-EROSIVE VELOCITY.
12. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
13. EROSION CONTROL BLANKETING IS TO BE USED ON SLOPES STEEPER THAN 3:1.
14. BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. BMP'S MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
15. VEHICLE TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFFSITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
17. THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
18. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
19. NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
20. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
21. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR IN THE DITCHLINE.
22. INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, OR COUNTY AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
23. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
24. PRIOR TO ACTUAL CONSTRUCTION THE PERMITEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
25. A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
26. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY _____ AND SHALL BE CONSIDERED A PART OF THESE PLANS.
27. AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
 WATER QUALITY CONTROL DIVISION
 WOOD - PERMITS
 4300 CHERRY CREEK DRIVE SOUTH
 DENVER, CO 80246-1530
 ATTN: PERMITS UNIT



SHEET INDEX	
1	- COVER SHEET
2	- LEGEND
3	- SITE PLAN
4	- PRELIMINARY GRADING PLAN
5	- UTILITY SERVICE PLAN
6	- GRADING & EROSION CONTROL PLAN

AGENCIES

OWNER/DEVELOPER:	CHRISTIAN BROTHERS AUTOMOTIVE 17725 KATHY FREEWAY, SUITE 200 HOUSTON, TX 77094 JONATHAN WAKEFIELD, (832) 655-5940
CIVIL ENGINEER:	JR ENGINEERING, LLC 3730 SINTON ROAD, SUITE 219 COLORADO SPRINGS, COLORADO 80907 GLENN ELLIS, PE (303) 267-6241
ENGINEERING DIVISION:	EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT PIKES PEAK REGIONAL DEVELOPMENT CENTER 2880 INTERNATIONAL CIRCLE, SUITE 110 COLORADO SPRINGS, COLORADO 80910 (719) 520-6300
GAS DEPARTMENT:	COLORADO SPRINGS UTILITIES 1521 HANCOCK EXPRESSWAY COLORADO SPRINGS, COLORADO 80947 TONY COLVIN (719) 668-5768
ELECTRIC DEPARTMENT:	MOUNTAINVIEW ELECTRIC ASSOCIATION 11140 E. WOODMEN RD. PEYTON, COLORADO 80831 719) 495-2283
TELEPHONE COMPANY:	CENTURY LINK (LOCATORS) (719) 597-8418 A.T.& T. (LOCATORS) (719) 635-3674
FIRE DEPARTMENT:	FALCON FIRE PROTECTION DISTRICT 7030 OLD MERIDIAN ROAD PEYTON, CO 80831 TRENT HALWIG (719) 495-4050
WATER AND SANITARY	WOODMEN HILLS METRO DISTRICT 8046 EASTONVILLE RD. PEYTON, CO 80831 DANNY EVERETT (719) 495-2500

The following note should be added to all site development plans or non-residential site plans, as applicable, prior to PCD approval:
 The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

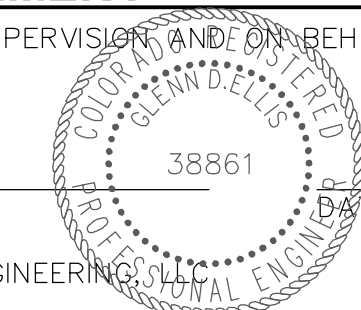
Also an individual sheet depicting the ADA route is required.

PRELIMINARY
NOT FOR
CONSTRUCTION

ENGINEER'S STATEMENT

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

GLENN D. ELLIS, P.E.
 COLORADO P.E. 38861
 FOR AND ON BEHALF OF JR ENGINEERING



PREPARED FOR CHRISTIAN BROTHERS AUTOMOTIVE 17725 KATHY FREEWAY, SUITE 200 HOUSTON, TX 77094 JONATHAN WAKEFIELD (832) 655-5940 JWAKEFIELD@CBAC.COM	UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.
J.R. ENGINEERING A Westman Company Central 303-740-9888 • Colorado Springs 719-588-2593 Fort Collins 970-491-9888 • www.jrengineering.com	BY _____ DATE _____ No. _____ REVISION _____ H-SCALE 1"=1000' V-SCALE N/A DATE 01/26/18 DESIGNED BY NQJ DRAWN BY NQJ CHECKED BY _____
CHRISTIAN BROTHERS AUTOMOTIVE - FALCON COVER SHEET	SHEET 1 OF 6 JOB NO. 25127.00

LAYER LINETYPE LEGEND

Table with 3 columns: Layer Name, Existing Linetype, Proposed Linetype. Includes items like PHASE LINE, MATCH LINE, SECTION LINE, BOUNDARY LINE, PROPERTY LINE, EASEMENT LINE, RIGHT OF WAY, R.O.W. A LINE, CENTERLINE, CITY LIMITS, WIRE FENCE, CHAIN LINK FENCE, WOOD FENCE, MASONRY FENCE, GUARDRAIL, CONC. BARRIER, CABLE TV, ELECTRIC, FIBER OPTIC, GAS MAIN, IRRIGATION MAIN, OIL/PETRO. MAIN, OVERHEAD UTILITY, SANITARY SEWER, STORM DRAIN, TELEPHONE, WATER MAIN, RAW WATER LINE, SWALE/WATERWAY FLOWLINE, DIVERSION DITCH, DIVERSION CHANNEL, MAJOR DRAINAGE BASIN, MINOR DRAINAGE BASIN, TOP OF SLOPE, TOE OF SLOPE, EDGE OF WATER, INDEX CONTOUR, INTERMEDIATE CONTOUR, DEPRESSION CONT. (INDEX), DEPRESSION CONT. (INTER), TOP OF CUTS, TOE OF FILLS, CUT AND FILL LINE, SILT FENCE, 100 YEAR FLOODPLAIN, 500 YEAR FLOODPLAIN, FLOODWAY, BASE FLOOD ELEVATION, EDGE OF WETLANDS, STONE WALL.

UTILITIES LEGEND

Table with 3 columns: Utility Name, Existing Symbol, Proposed Symbol. Includes Storm Sewer (MANHOLE, STORM INLET, AREA INLET - SQUARE, AREA INLET - ROUND, FLARED END SECTION, RIPRAP), Sanitary Sewer (LINE MARKER, SERVICE MARKER, CLEAN-OUT, MANHOLE W/ DIRECTIONAL FLOW ARROW), Water Line (LINE MARKER, SERVICE MARKER, FIRE HYDRANT, FIRE CONNECTION, MANHOLE, BEND, BLOW-OFF VALVE, WELL, METER, VALVE, REDUCER, THRUST BLOCK, CROSS, PLUG W/ THRUST BLOCK, TEE, REVERSE ANCHOR, ANODE, AIR & VACUUM VALVE ASSEMBLY, TRANSMISSION BLOW-OFF ASSEMBLY), Gas Line (MARKER, SERVICE MARKER, METER, VALVE, PLUG, TEE), Dry Utilities (CABLE TV MARKER, CABLE TELEVISION PEDESTAL, ELECTRIC MARKER, ELECTRIC SERVICE MARKER, ELECTRICAL PEDESTAL, ELECTRICAL METER, ELECTRICAL MANHOLE, FIBER-OPTIC MARKER, IRRIGATION PEDESTAL, TELEPHONE MARKER, TELEPHONE PEDESTAL, TELEPHONE MANHOLE, UTILITY POLE, GUY ANCHOR, GUY POLE), Misc. Utilities (VENT PIPE, TEST HOLE DESIGNATOR).

MONUMENTATION LEGEND

Table with 3 columns: Monument Name, Existing Symbol, Proposed Symbol. Includes Aluminum Cap - Found, Brass Cap - Found, Benchmark - Found, Cross - Found, Monument - Set, Monument - Found (Default), Monument - Found (Alternate 1-7), Nail & Washer - Found, Panel - Found, PK Nail - Found, Row Monument - Found, Row Marker - Found, Section Corner - Found, Section Corner - Set, Quarter-Section Corner - Found, Quarter-Section Corner - Set, Section Center - Found, Section Center - Found, Control/Traverse Point - Set.

TRAFFIC LEGEND

Table with 3 columns: Traffic Feature, Existing Symbol, Proposed Symbol. Includes Parking Meter, Traffic Signal Box, Traffic Signal Pole, Traffic Signal, Barricade, Guard Rail Post, Impact Attenuator, Bridge Style Highway Sign Post, Cantilever Style Highway Sign Post Sign, Railroad Marker/Sign, Street Light, Street Light - Single, Street Light - Double, Luminaire, Alternate Luminaire, Signal Mast Arm W/ Luminaire, Pedestal Pole Foundation, Traffic Signal Pole, Round Pull Box, Medium Pull Box, Large Pull Box (20x33x15), Signal Head Without Back Plate, Signal Head With Back Plate, Pedestrian Signal Head, Video Image Detector, Opticom Detector, Vehicle Detection Zone.

STORM WATER MANAGEMENT

Table with 3 columns: Feature Name, Key Symbol, Proposed Symbol. Includes Check Dam, Construction Road Stabilization, Curb Sock Inlet Protection, Concrete Washout Area, Diversion Ditch and Dike, Temporary, Diversion Channel, Temporary, Dewatering, Erosion Control Blanket, Inlet Filter, Inlet Protection, Mulching, Outlet Protection, Paved Flume, Permanent Seeding, Reinforced Concrete Dam, Rough Cut Street Control, Sediment Basin, Sediment Control Log, Silt Fence, Surface Roughening, Stabilized Staging Area, Sediment Trap, Straw Bale Barrier, Terracing, Temporary Seeding, Temporary Stream Crossing Culvert/Bridge, Temporary Stream Crossing Ford Type, Temporary Slope Drain, Vehicle Tracking Control, Vehicle Tracking Control with Wash Rack.

DRAINAGE REPORT PLANS

Table with 3 columns: Feature Name, Key Symbol, Proposed Symbol. Includes Basin Designation (No Coefficient), Basin Designation (1 Coefficient), Basin Designation (2 Coefficients), Analysis Point Identifier, Basin Designation (Historic), Basin Designation (Developed), Sub-Basin Designation (Developed), Drainage Pipe Identifier, Drainage Point Identifier (Hexagonal), Drainage Point Identifier (Triangular), SWMM Designation 1, SWMM Designation 2, SWMM Designation 3, SWMM Designation 4.

LANDSCAPE LEGEND

Table with 3 columns: Landscape Feature, Existing Symbol, Proposed Symbol. Includes Tree - Coniferous, Tree - Deciduous, Shrub/Bush, Shrubs and Bushes, Irrigation Box, Irrigation Sprinkler, Irrigation Valve, Bollard, Flagpole.

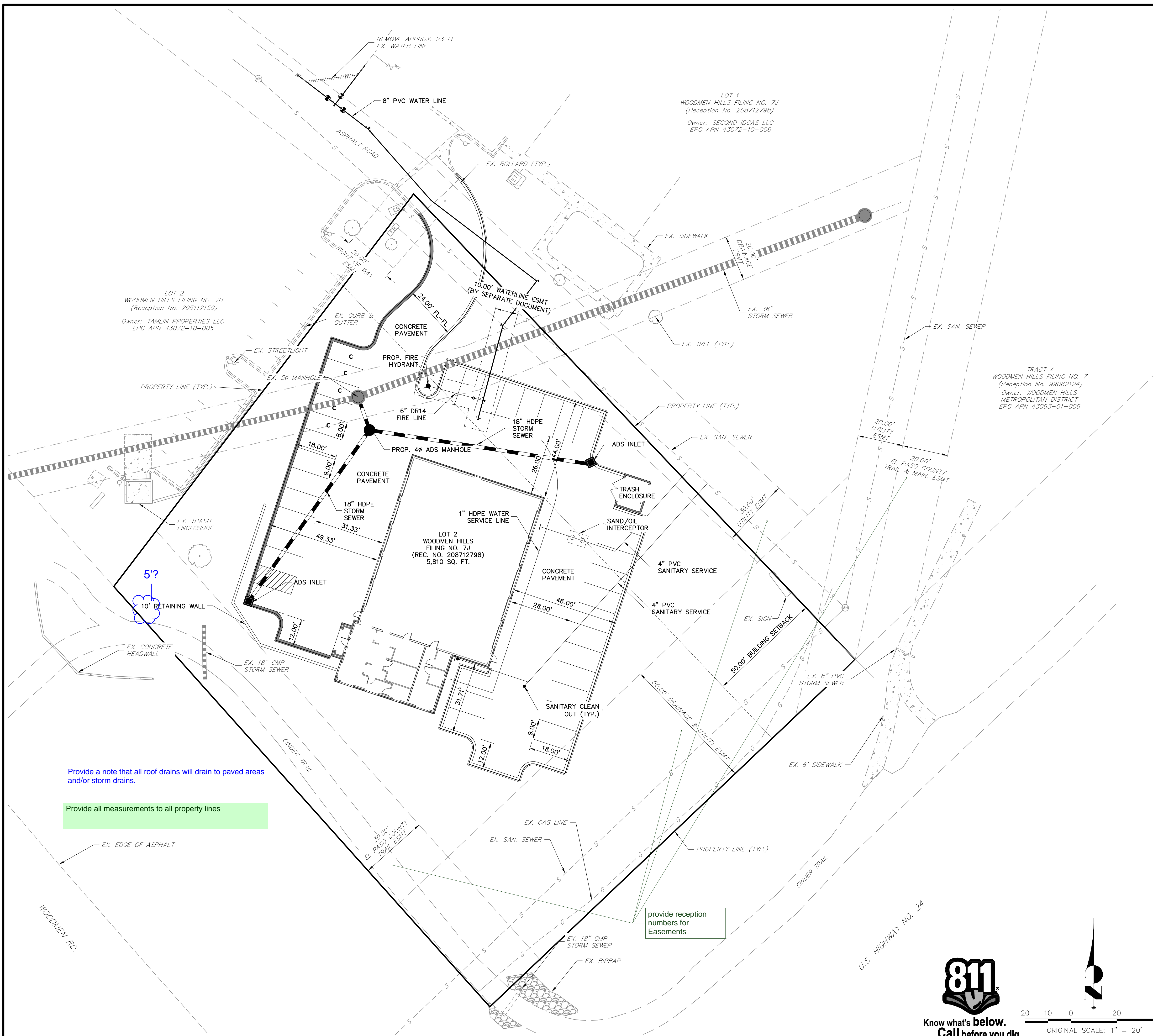
UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

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A Westman Company
Central 303-740-9383 • Colorado Springs 719-583-2593
Fort Collins 970-491-9888 • www.jrengineering.com

Table with 4 columns: No., REVISION, N/A, N/A. Includes rows for H-SCALE, V-SCALE, DATE, DESIGNED BY, DRAWN BY, CHECKED BY.

CHRISTIAN BROTHERS
AUTOMOTIVE - FALCON
LEGEND



LOT 2
WOODMEN HILLS FILING NO. 7H
(Reception No. 205112159)
Owner: TAMLIN PROPERTIES LLC
EPC APN 43072-10-005

LOT 1
WOODMEN HILLS FILING NO. 7J
(Reception No. 208712798)
Owner: SECOND ID GAS LLC
EPC APN 43072-10-006

TRACT A
WOODMEN HILLS FILING NO. 7
(Reception No. 99062124)
Owner: WOODMEN HILLS METROPOLITAN DISTRICT
EPC APN 43063-01-006

LOT 2
WOODMEN HILLS FILING NO. 7J
(REC. NO. 208712798)
5,810 SQ. FT.

Provide a note that all roof drains will drain to paved areas and/or storm drains.

Provide all measurements to all property lines

provide reception numbers for Easements

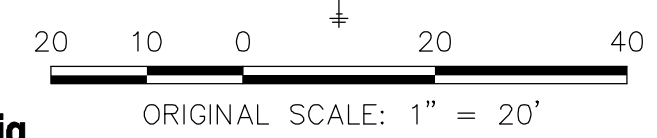
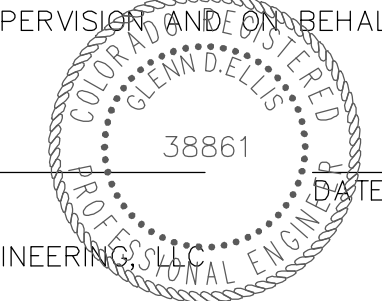
- LEGEND**
- 6" VERT. CURB W/ 1' GUTTER
 - SPILL CURB W/ 1' GUTTER
 - c COMPACT PARKING STALLS (8' X 18')

PRELIMINARY
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ENGINEER'S STATEMENT

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COLORADO P.E. 38861
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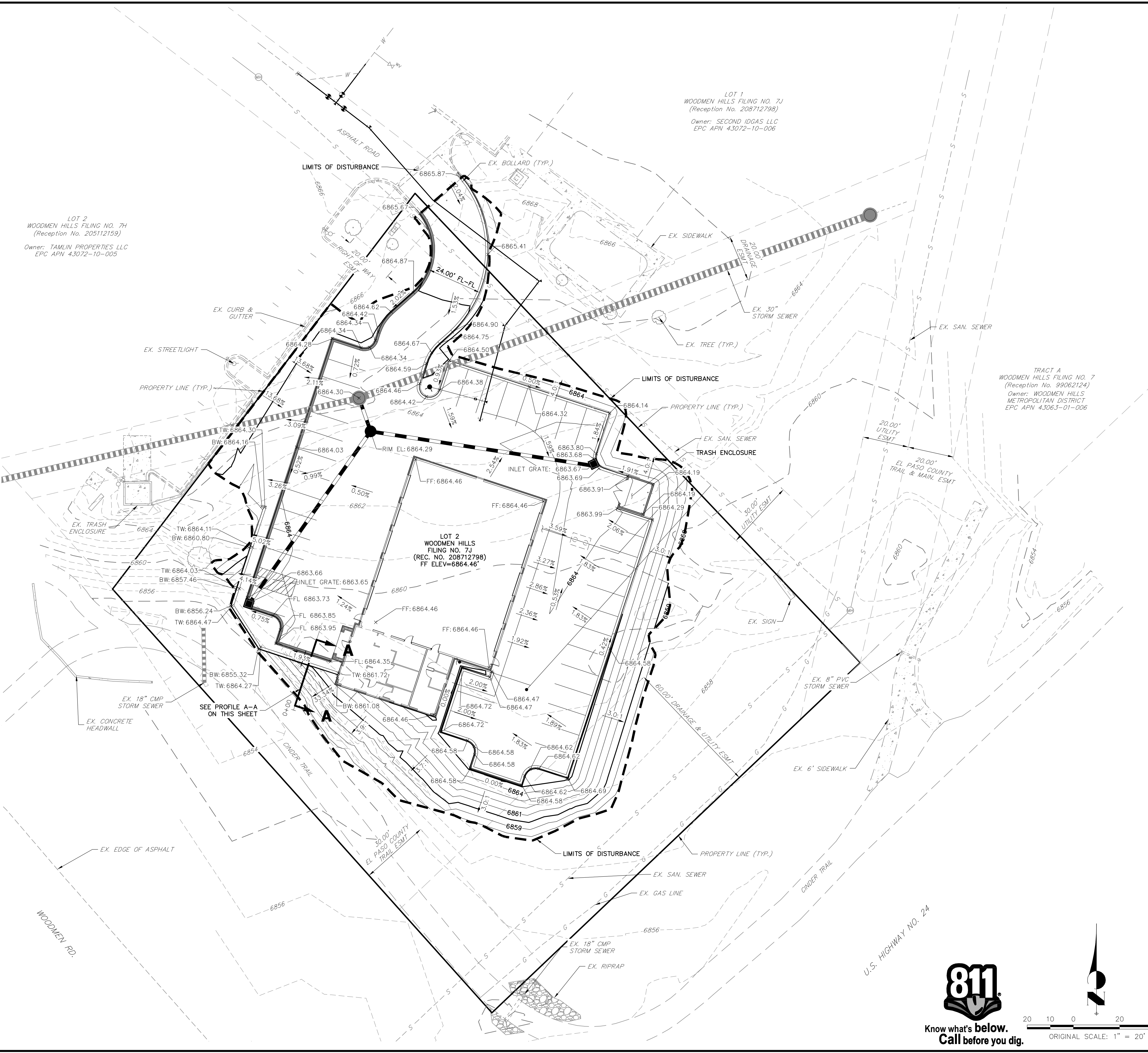
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No.	REVISION	BY	DATE

H-SCALE	1"=20'
V-SCALE	N/A
DATE	01/26/18
DESIGNED BY	NQJ
DRAWN BY	NQJ
CHECKED BY	

CHRISTIAN BROTHERS AUTOMOTIVE – FALCON
SITE PLAN

SHEET 3 OF 6
JOB NO. 25127.00



LEGEND:

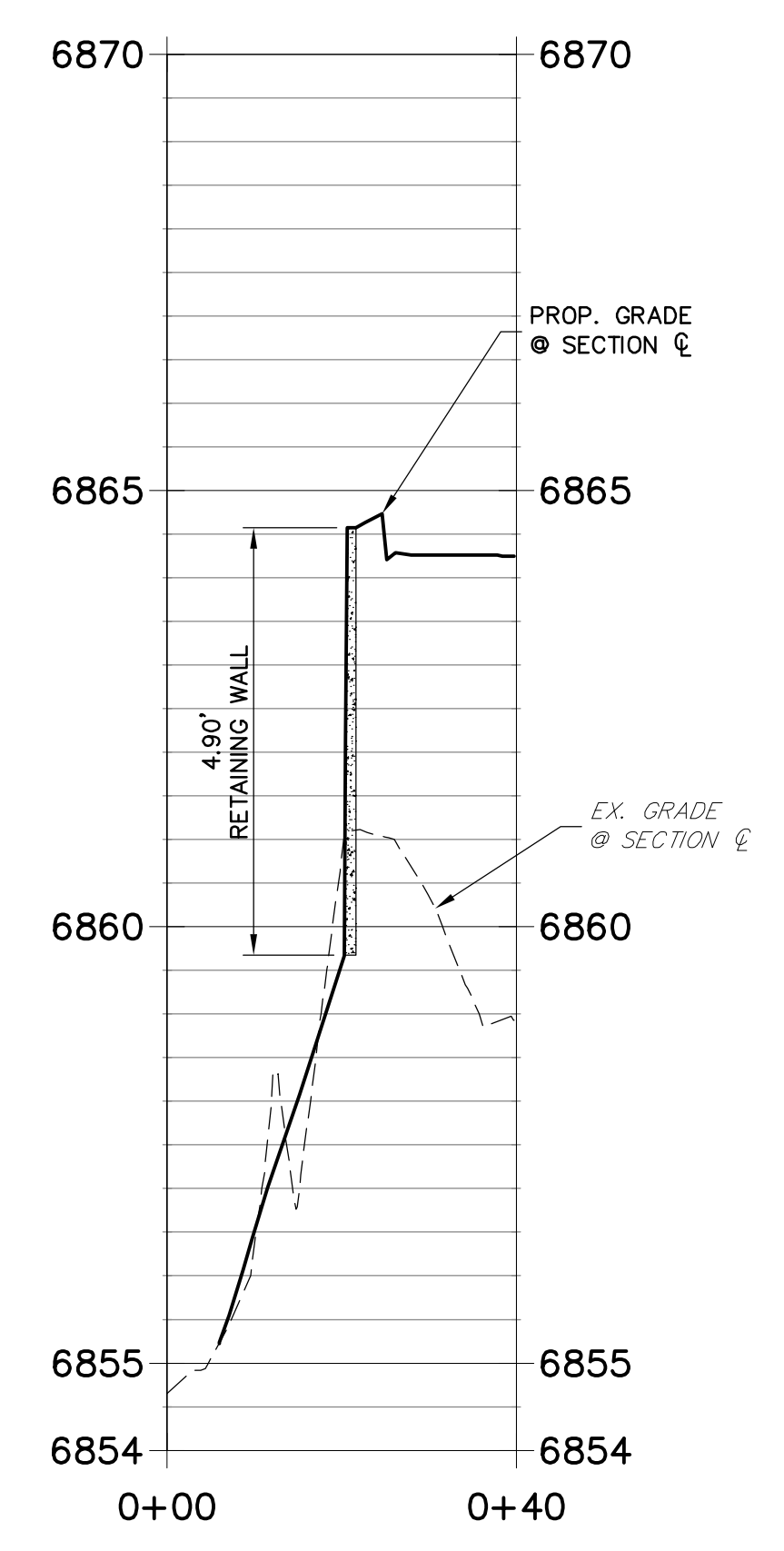
	PROPOSED CONTOUR
	EXISTING CONTOUR
	PROPOSED STORM PIPE
	EX. STORM PIPE
	PROPOSED EASEMENT
	EXISTING EASEMENT
	EXISTING PROPERTY LINE
	EXISTING RIGHT OF WAY
	LIMITS OF DISTURBANCE (LOD)
	TOP OF WALL
	BOTTOM OF WALL

- NOTES**
1. ALL ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.
 2. TOTAL DISTURBED AREA: 0.77 AC

PRELIMINARY EARTHWORK

CUT (CY)	FILL (CY)	NET (CY)
109	3,472	3,363

**SECTION A-A PROFILE
STA 0+00.00 TO 0+40.00**



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PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

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COLORADO P.E. 38861
FOR AND ON BEHALF OF JR ENGINEERING

DATE: _____

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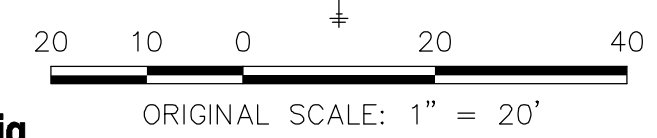
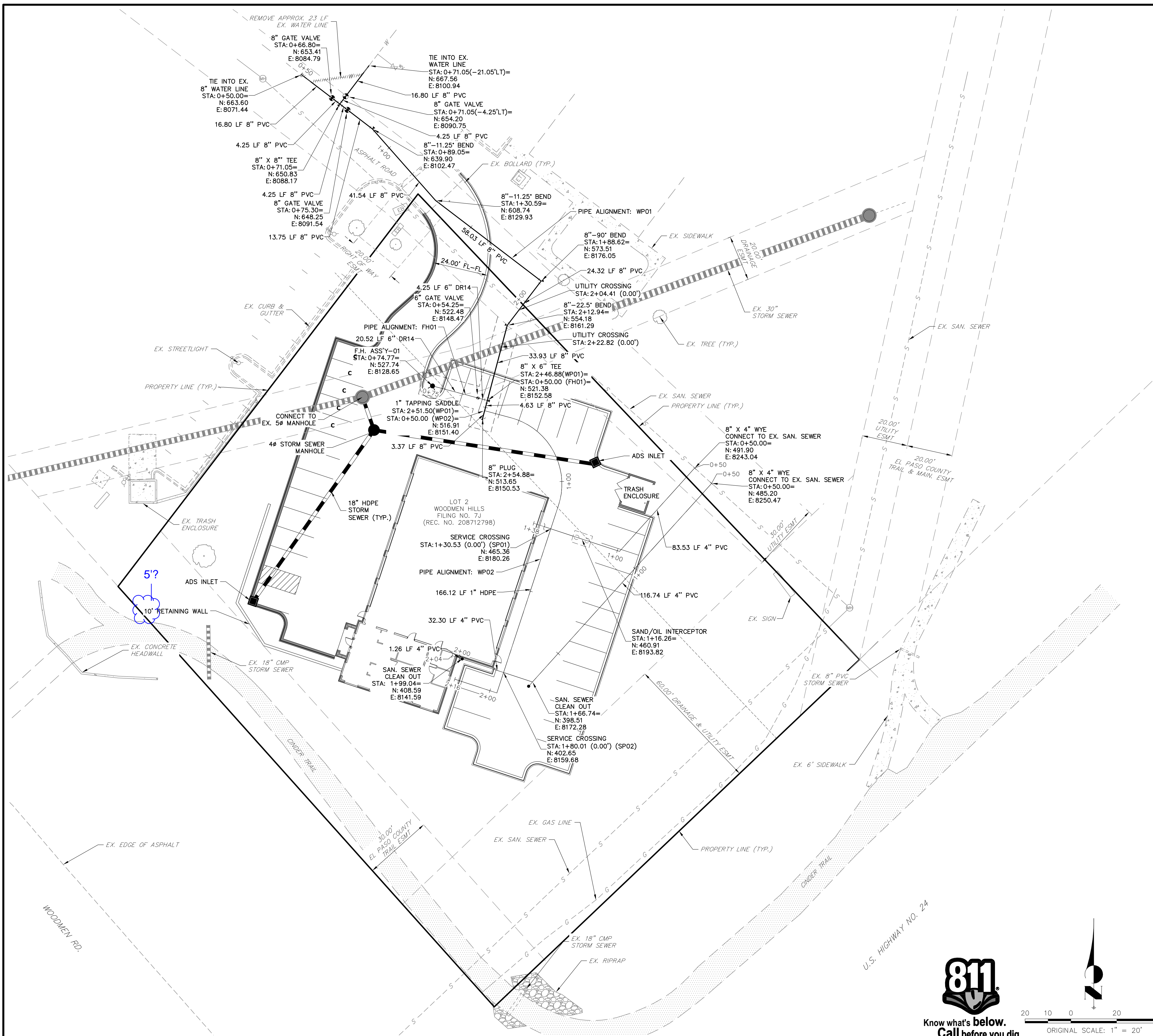
No.	REVISION	BY	DATE

CHRISTIAN BROTHERS AUTOMOTIVE - FALCON
PRELIMINARY GRADING PLAN

SHEET 4 OF 6
JOB NO. 25127.00

811
Know what's below.
Call before you dig.

ORIGINAL SCALE: 1" = 20'

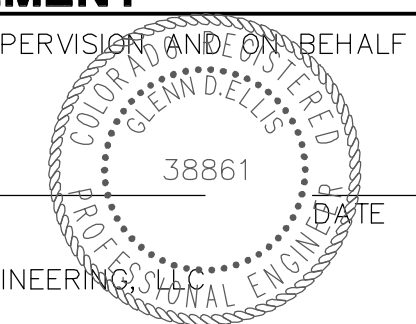


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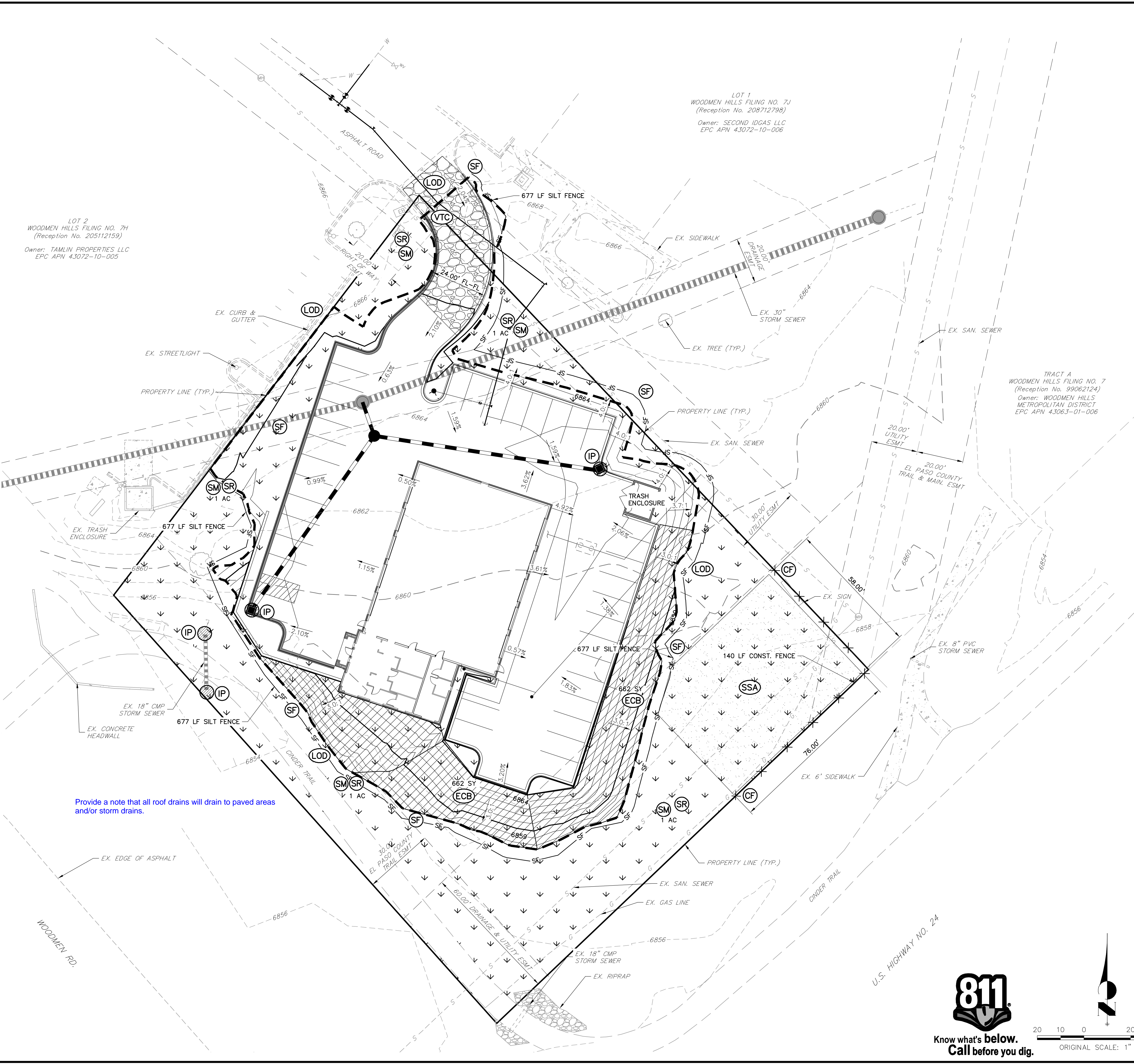
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No.	REVISION	BY	DATE

**CHRISTIAN BROTHERS
AUTOMOTIVE - FALCON**
UTILITY SERVICE PLAN

H-SCALE: 1"=20'
V-SCALE: N/A
DATE: 01/26/18
DESIGNED BY: NQJ
DRAWN BY: NQJ
CHECKED BY: NQJ

SHEET 5 OF 6
JOB NO. 25127.00



LOT 2
WOODMEN HILLS FILING NO. 7H
(Reception No. 205112159)
Owner: TAMLIN PROPERTIES LLC
EPC APN 43072-10-005

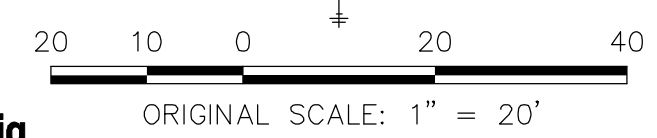
LOT 1
WOODMEN HILLS FILING NO. 7J
(Reception No. 208712798)
Owner: SECOND IDGAS LLC
EPC APN 43072-10-008

TRACT A
WOODMEN HILLS FILING NO. 7
(Reception No. 99062124)
Owner: WOODMEN HILLS
METROPOLITAN DISTRICT
EPC APN 43063-01-006

- LEGEND**
- 5800 — CONCRETE CURB & GUTTER
 - - - - - EXISTING INDEX CONTOUR
 - - - - - 5000 EXISTING CONTOUR
 - - - - - 5000 PROPOSED INDEX CONTOUR
 - - - - - 5000 PROPOSED CONTOUR
 - - - - - PROPOSED EASEMENT
 - - - - - EXISTING EASEMENT
 - - - - - RIGHT OF WAY
 - - - - - PROPERTY LINE
 - - - - - LOD LIMIT OF CONSTRUCTION
 - CM CONSTRUCTION MARKER
 - IP INLET PROTECTION
 - TSD TEMPORARY SLOPE DRAIN
 - - - - - SF SILT FENCE
 - - - - - CF CONSTRUCTION FENCE
 - SR SM SURFACE ROUGHENING/SEEDING & MULCHING
 - SSA STABILIZED STAGING AREA
 - VTC VEHICLE TRACKING CONTROL
 - CWA CONCRETE WASHOUT AREA
 - RS ROCK SOCK
 - SB SEDIMENT BASIN
 - SD SLOPE DRAIN
 - SCL SEDIMENT CONTROL LOG
 - ECB EROSION CONTROL BLANKET
 - C/F - CUT-FILL LIMITS

EARTHWORK TOTALS		
CUT (CY)	FILL (CY)	NET (CY)
109	3,472	3,363

Provide a note that all roof drains will drain to paved areas and/or storm drains.

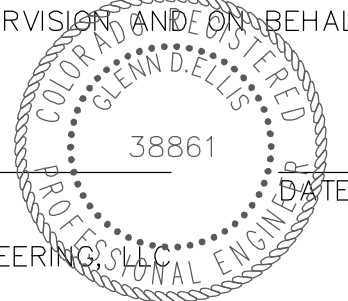


PRELIMINARY
NOT FOR
CONSTRUCTION

ENGINEER'S STATEMENT

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

GLENN D. ELLIS, P.E.
COLORADO P.E. 38861
FOR AND ON BEHALF OF JR ENGINEERING



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE AGENCIES, JR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
CHRISTIAN BROTHERS AUTOMOTIVE
17725 KATY FREEWAY, SUITE 200
HOUSTON, TX 77094
JONATHAN WAKEFIELD
(832) 655-5940
JWAKEFIELD@CBAC.COM

J.R. ENGINEERING
A Westman Company
Central 303-740-9888 • Colorado Springs 719-588-2683
Fort Collins 970-491-9888 • www.jrengineering.com

No.	REVISION	BY	DATE
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

CHRISTIAN BROTHERS
AUTOMOTIVE - FALCON
GRADING & EROSION
CONTROL PLAN

Markup Summary

Locked (7)



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Status:
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Author: dsdsevigny
Date: 3/5/2018 11:13:01 AM
Color: ■

The following note should be added to all site development plans or non-residential site plans, as applicable, prior to PCD approval:
The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

Also an individual sheet depicting the ADA route is required.



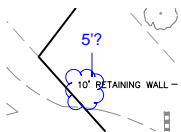
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Provide a note that all roof drains will drain to paved areas and/or storm drains.



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Date: 3/5/2018 11:13:11 AM
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Provide all measurements to all property lines



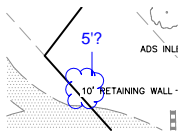
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5'?



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Page Label: 3
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Author: dsdsevigny
Date: 3/5/2018 11:13:12 AM
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provide reception numbers for Easements



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Color: ■

5'?



Subject: Text Box
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Author: dsdrice
Date: 3/5/2018 11:13:15 AM
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Provide a note that all roof drains will drain to paved areas and/or storm drains.