

CROSSROADS NORTH PRELIMINARY PLAN

SITUATED IN THE EAST HALF OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
COUNTY OF EL PASO, STATE OF COLORADO

LEGAL DESCRIPTION

A PORTION OF LOTS 7, 12, 13, 14, 15, 16, 17, 18, 19, AND 20, HILLCREST ACRES RECORDED MAY 12, 1960, IN PLAT BOOK B-2, PAGE 64 IN THE RECORD OF EL PASO COUNTY, COLORADO EXCEPT THOSE PARCELS OF LAND AS DESCRIBED IN THE FOLLOWING RECEPTION NUMBERS: 204068322, 202058754, 214119767, 214119796, 214116022, AND 214116021 RECORDED IN THE OFFICIAL PUBLIC RECORDS OF EL PASO COUNTY, COLORADO.

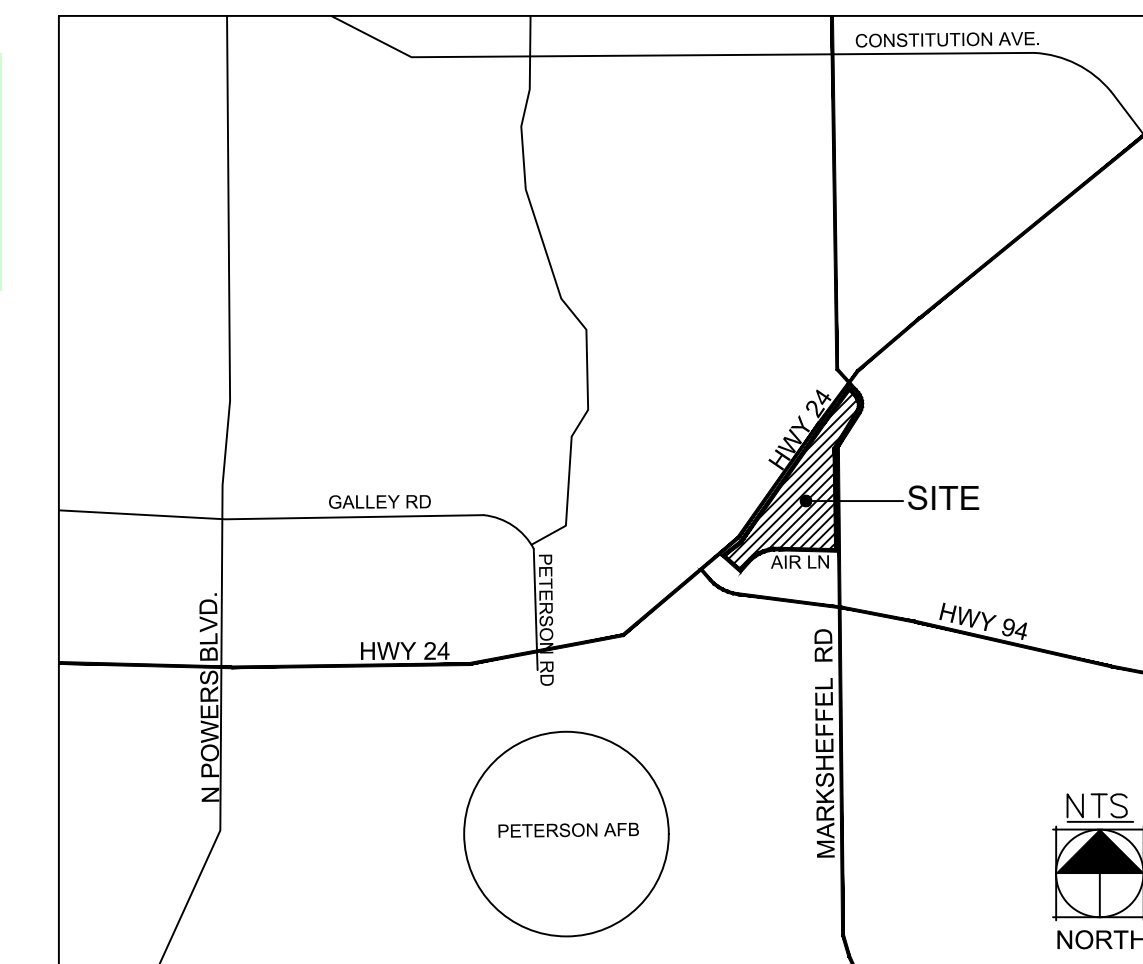
PRELIMINARY PLAN NOTES

- THE FOLLOWING REPORTS HAVE BEEN SUBMITTED IN ASSOCIATION WITH THE PRELIMINARY PLAN FOR THIS SUBDIVISION AND ARE ON FILE AT THE COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT: TRANSPORTATION IMPACT STUDY; DRAINAGE REPORT; WATER RESOURCES REPORT; WASTEWATER DISPOSAL REPORT; GEOLOGY AND SOILS REPORT; FIRE PROTECTION REPORT; NATURAL FEATURES REPORT.
- ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE LOT OWNERS UNLESS OTHERWISE INDICATED. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OR RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.
- UNLESS OTHERWISE INDICATED, ALL FRONT, SIDE AND REAR LOT LINES ARE HEREBY PLATTED ON EITHER SIDE WITH A 10 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT. ALL EXTERIOR SUBDIVISION BOUNDARIES ARE HEREBY PLATTED WITH A 10 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT. THE SOLE RESPONSIBILITY FOR MAINTENANCE OF THESE EASEMENTS IS HEREBY VESTED WITH THE INDIVIDUAL PROPERTY OWNERS.
- DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEW AND PERMIT REQUIREMENTS, AND OTHER AGENCY REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO DIVISION OF WILDLIFE, COLORADO DEPARTMENT OF TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS, AND THE U.S. FISH AND WILDLIFE SERVICE REGARDING THE ENDANGERED SPECIES ACT, PARTICULARLY AS RELATED TO THE LISTED SPECIES IDENTIFIED IN THE PROJECTS ENVIRONMENTAL ASSESSMENT.
- NO DRIVEWAY SHALL BE ESTABLISHED UNLESS AN ACCESS PERMIT HAS BEEN GRANTED BY EL PASO COUNTY.
- MAILBOXES SHALL BE INSTALLED IN ACCORDANCE WITH EL PASO COUNTY AND US POSTAL SERVICE REGULATIONS.
- EXCEPT AS OTHERWISE NOTED ON THE PRELIMINARY PLAN, INDIVIDUAL LOT PURCHASERS ARE RESPONSIBLE FOR CONSTRUCTING PRIVATE DRIVEWAY ACCESS POINTS, INCLUDING NECESSARY DRAINAGE CULVERTS PER LAND DEVELOPMENT CODE SECTION 6.3.3.C.2 AND 6.2.2.C.3.
- AT THE TIME OF APPROVAL OF THIS PROJECT, THIS PROPERTY IS LOCATED WITHIN THE CIMARRON HILLS FIRE PROTECTION DISTRICT, WHICH HAS ADOPTED A FIRE CODE WITH FIRE MITIGATION REQUIREMENTS DEPENDING UPON THE LEVEL OF FIRE RISK ASSOCIATED WITH THE PROPERTY AND STRUCTURES. THE OWNER OF ANY LOT SHOULD CONTACT THE FIRE DISTRICT TO DETERMINE THE EXACT DEVELOPMENT REQUIREMENTS RELATIVE TO THE ADOPTED FIRE CODE.
- NO-BUILD AREAS ARE AS SHOWN ON THE PLANS. NO-BUILD AREAS INCLUDE, BUT ARE NOT LIMITED TO, WITHIN DESIGNATED DRAINAGE EASEMENTS, NO-BUILD AREAS WITHIN INDIVIDUAL LOTS ARE THE RESPONSIBILITY OF THE PROPERTY OWNER. ALL OTHER NO-BUILD AREAS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER'S ASSOCIATION.
- THIS PROPERTY MAY BE ADVERSELY IMPACTED BY NOISE, DUST, FUMES, AND LIGHT POLLUTION CAUSED BY ADJACENT INDUSTRIAL PROPERTIES AND ACTIVITIES. THE BUYER SHOULD RESEARCH AND BE AWARE OF THIS POTENTIALITY AND THE RAMIFICATIONS THEREOF.
- SIGNAGE IS NOT APPROVED WITH THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT AT 2880 INTERNATIONAL CIRCLE FOR A SIGN PLAN APPLICATION.
- RETAINING WALLS EXCEEDING 4- FEET WILL NEED TO BE STRUCTURALLY ENGINEERED.
- ALL "STOP SIGNS" AND OTHER TRAFFIC CONTROL SIGNAGE SHALL BE INSTALLED BY THE DEVELOPER AT LOCATIONS SHOWN ON THE SITE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS.
- PRIOR TO BUILDING PERMIT APPROVAL, A FINAL SUBDIVISION PLAT SHALL BE SUBMITTED FOR REVIEW BY THE EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT, AND APPROVAL BY THE BOARD OF COUNTY COMMISSIONERS, OR DESIGNEE MUST BE RECORDED, OR AUTHORIZED DESIGNEE, AND THE PLAT SHALL BE RECORDED.
- NOTWITHSTANDING ANYTHING DEPICTED IN THIS PLAN IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE (LDC), THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL (DCM), AND DCM VOLUME 2. ANY DEVIATIONS FROM THESE STANDARDS MUST BE SPECIFICALLY REQUESTED AND APPROVED IN WRITING TO BE ACCEPTABLE. THE APPROVAL OF THIS PRELIMINARY PLAN DOES NOT IMPLICITLY ALLOW ANY DEVIATIONS OR WAIVERS THAT HAVE NOT BEEN OTHERWISE APPROVED THROUGH THE DEVIATION APPROVAL PROCESS.
- DEVELOPMENT OF THE PROPERTY WILL BE IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE EL PASO COUNTY LAND DEVELOPMENT CODE FOR CR ZONING, AND THE COMMERCIAL AVIATION DISTRICT OVERLAY (CAD-O).
- THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAPS NUMBERED 08041C07586, DATED DECEMBER 7, 2018, THE LIMITS OF WHICH ARE SHOWN ON THE SURVEY. AREAS WITHIN THE FLOODPLAIN ARE ZONE AE, AREAS OUTSIDE THE FLOODPLAIN ARE ZONE X.
- WATER AND WASTEWATER SERVICES FOR THIS SUBDIVISION WILL BE PROVIDED BY THE CHEROKEE METROPOLITAN DISTRICT (CHEROKEE) SUBJECT TO THE DISTRICT'S RULES, REGULATIONS AND SPECIFICATIONS. THE OFFICE OF THE STATE ENGINEER HAS ISSUED AN OPINION OF WATER INADEQUACY BASED ON ITS ANALYSIS AND INTERPRETATION OF A STIPULATED AGREEMENT CONCERNING THE AVAILABILITY OF CERTAIN WATER RIGHTS FOR USE OUTSIDE OF THE UPPER BLACK SQUIRREL CREEK DESIGNATED BASIN, AND THUS FOUND INSUFFICIENCY OF WATER RESOURCES FOR THIS SUBDIVISION BASED ON THAT AGREEMENT. THIS INTERPRETATION DIFFERS FROM CERTAIN OPINIONS ISSUED BY THE OFFICE IN THE PAST. BASED ON ITS OWN REVIEW OF THE STIPULATED AGREEMENT AND ITS HISTORY (AND NOT THE AMOUNT OF WATER ACTUALLY AVAILABLE) THE BOARD OF COUNTY COMMISSIONERS IN AN OPEN AND PUBLIC HEARING DID NOT ACCEPT THE INTERPRETATION OF THE STATE ENGINEER'S OFFICE. THE BOARD OF COUNTY COMMISSIONERS FOUND THAT CHEROKEE HAS COMMITTED TO PROVIDE WATER SERVICE TO THE SUBDIVISION AND ASSERTED THAT ITS LONG TERM WATER SERVICE CAPABILITIES ARE SUFFICIENT. THE BOARD OF COUNTY COMMISSIONERS MADE THIS DETERMINATION IN RELIANCE UPON THE TESTIMONY AND EXPERTISE PROVIDED BY CHEROKEE AT THE PUBLIC HEARING THEREON. AT THE HEARING, CHEROKEE ASSERTED THAT ITS PLANS AND CONTINUED FINANCIAL INVESTMENT IN INFRASTRUCTURE ARE DESIGNED TO ALLOW CHEROKEE TO CONTINUE TO PROVIDE THIS SUBDIVISION AND ITS EXISTING CUSTOMERS WITH WATER AND WASTEWATER SERVICES FOR 300 YEARS OR MORE.
- THE PROPERTY IS LOCATED IN THE AIRPORT OVERLAY ZONE. THIS SERVES AS NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACTS ON THIS PROPERTY DUE TO ITS CLOSE PROXIMITY TO AN AIRPORT, WHICH IS BEING DISCLOSED TO ALL PROSPECTIVE PURCHASERS CONSIDERING THE USE OF THIS PROPERTY FOR RESIDENTIAL AND OTHER PURPOSES. THIS PROPERTY IS SUBJECT TO THE OVERFLIGHT AND ASSOCIATED NOISE OF ARRIVING AND DEPARTING AIRCRAFT DURING THE COURSE OF NORMAL AIRPORT OPERATIONS. ALL PROPERTY WITHIN THIS SUBDIVISION IS SUBJECT TO AN AVIGATION EASEMENT AS RECORDED IN BOOK 2478 AT PAGE 304, OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER.
- A 30 DB(A) INDOOR NOISE REDUCTION SHALL BE ACHIEVED BY APPROVED CONSTRUCTION TECHNIQUES AS EVIDENCED BY A NOISE REDUCTION CERTIFICATE PRIOR TO SITE DEVELOPMENT PLAN APPROVAL.
- ALL PROPERTY WITHIN THIS SUBDIVISION WILL BE SUBJECT TO A RECIPROCAL ACCESS/PARKING AGREEMENT TO BE RECORDED AT THE FINAL PLAT PHASE OR BY A SEPARATE INSTRUMENT PRIOR TO SUBMITTAL AND APPROVAL OF THE FINAL PLAT.
- A TITLE 32 SPECIAL DISTRICT ANNUAL REPORT AND DISCLOSURE FORM SATISFACTORY TO THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE RECORDED WITH EACH PLAT.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OR DESIGNATED ENTITY APPROVED BY THE BOARD OF COUNTY COMMISSIONERS (BOCC).
- LANDSCAPING SHALL CONFORM TO THE REQUIREMENTS OF CHAPTER 6 OF THE COUNTY CODE TOGETHER WITH ALL APPLICABLE CONDITIONS OF APPROVAL IMPOSED BY THE BOCC.
- FINAL LOCATION OF PROPOSED WATER EASEMENT HAS YET TO BE DETERMINED BY THE CHEROKEE METROPOLITAN DISTRICT, CROSSROADS METRO DISTRICT NO. 2, AND COLORADO DEPARTMENT OF TRANSPORTATION. LOTS, EASEMENTS, AND ROAD CONFIGURATIONS AND ALIGNMENTS MAY BE SUBJECT TO MINOR CHANGES IN ORDER TO REFLECT FUTURE AGREEMENT(S) AND FINAL EASEMENT ALIGNMENT. FINAL LOCATIONS WILL PROVIDE FOR THE OVERALL REQUIRED WATER LOOP FROM MEADOWBROOK PKWY, SOUTH TO AIR LANE SOUTH OF HIGH 94. FINAL LOCATIONS OF REQUIRED EASEMENTS AND UTILITY LINES SHALL BE PROVIDED PRIOR TO OR CONCURRENT WITH ANY FINAL PLAT SUBMITTAL.
- THERE SHALL BE NO DIRECT LOT ACCESS TO MARKSHEFFEL ROAD, US HIGHWAY 24, AIR LANE NOR SEMPER SUPRA POINT
- LOTS 1, 2 AND 3 WILL BE GRANTED ACCESS THROUGH AIR LANE
- ACCESS TO LOTS 4 - 15 ARE LIMITED TO THE LOCATIONS SHOWN ON THE PLAN.
- ALL STREETS SHOWN, EXCEPT FOR AIR LANE, ARE PRIVATE AND WILL BE OWNED AND MAINTAINED BY CROSSROADS METROPOLITAN DISTRICT 2.
- THE PRIVATE ROADS AS SHOWN ON THIS PLAT WILL NOT BE MAINTAINED BY EL PASO COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN CONFORMANCE WITH EL PASO COUNTY STANDARDS IN EFFECT AT THE DATE OF THE REQUEST FOR DEDICATION AND MAINTENANCE.

- THE SUBDIVIDER(S) AGREES ON BEHALF OF THEMSELVES AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 119-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.
- THE PROPERTY IS WITHIN THE SERVICE AREA OF THE CENTRAL MARKSHEFFEL METROPOLITAN DISTRICT AND, AS SUCH, IS SUBJECT TO AN ASSESSMENT FOR THE CONSTRUCTION OF MARKSHEFFEL ROAD.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
- A PUBLIC IMPROVEMENT EASEMENT FOR A SIDEWALK ALONG THE SOUTH RIGHT-OF-WAY LINE OF AIR LANE WILL ONLY BE ILLUSTRATED ON THE PRELIMINARY PLAN AND WILL BE DOCUMENTED DURING THE DEVELOPMENT PLAN AND FINAL PLAT APPROVAL PROCESS WITH THE CITY OF COLORADO SPRINGS.

Previous comment not addressed. This property is not located within this district. Delete this note.

VICINITY MAP



You have removed all of the landscape plan pages from this plan set. Please put them back.

SITE DATA TABLE:

TAX ID NUMBERS	5408001008, 5408001029, 5408001032, 5408001033, 5408001034, 5408001041, 5408001042, 5408001050, 5408001051, & 5408001052
CURRENT ZONING:	CR CAD-O
PROPOSED ZONING:	CR CAD-O
PROPOSED LOTS:	15
TOTAL SITE ACREAGE	44.34 AC
MINIMUM LOT SIZE	1.038 AC
TOTAL LOT ACREAGE	34.517 AC±
PRIVATE ROAD ACREAGE	2.436 AC±
DETENTION POND ACREAGE	4.265 AC±
OPEN SPACE ACREAGE	3.135 AC±

SOILS & GEOLOGY CONDITIONS, CONSTRAINTS & HAZARDS NOTES

- A GEOLOGIC HAZARDS EVALUATION AND PRELIMINARY GEOTECHNICAL INVESTIGATION, CROSSROADS NORTH, MARKSHEFFEL ROAD AND STATE HIGHWAY 24, EL PASO COUNTY, COLORADO, FOR THE EQUITY GROUP, WAS COMPLETED BY CTL THOMPSON ON OCTOBER 6, 2020 AND INCLUDED THE AREA OF DEVELOPMENT PROPOSED WITH THE CROSSROADS NORTH DEVELOPMENT. THE GEOLOGY AND SOILS REPORT FOR THE CROSSROADS NORTH DEVELOPMENT WAS PROVIDED AS PART OF THE CROSSROADS NORTH PRELIMINARY PLAN SUBMITTED TO THE EL PASO BOARD OF COUNTY COMMISSIONERS. PLANNING AND COMMUNITY DEVELOPMENT FILE NUMBER [TBD]. DEVELOPERS AND HOME OWNERS SHOULD BECOME FAMILIAR WITH THIS REPORT AND ITS CONTENTS. **
 - THERE ARE NO SIGNIFICANT GEOLOGIC HAZARDS; HOWEVER, THE POTENTIAL FOR GEOLOGIC CONSTRAINTS DO EXIST RELATED TO THE POTENTIAL FOR SHALLOW GROUNDWATER TABLES, EXPANSIVE CLAY OR CLAYEY SANDSTONE, ERODIBLE SANDY SOILS. THESE GEOLOGICAL CONDITIONS ARE CONSIDERED RELATIVELY COMMON TO THE AREA WITH MITIGATION ACCOMPLISHED BY IMPLEMENTING COMMON ENGINEERING AND CONSTRUCTION PRACTICES. IF THE PREVIOUSLY LISTED POTENTIAL GEOLOGICAL HAZARDS ARE FOUND TO EXIST, AN EVALUATION SHALL BE PERFORMED AT THE TIME OF FINAL GEOTECHNICAL INVESTIGATION FOR THOSE INDIVIDUAL LOTS.
WE DID NOT IDENTIFY GEOLOGIC HAZARDS THAT WE BELIEVE PRECLUDED DEVELOPMENT OF THE SITE. THE CONDITIONS IDENTIFIED AT THE SITE THAT MAY POSE CONSTRAINTS TO DEVELOPMENT INCLUDED THE PRESENCE OF POTENTIALLY HYDRO-COMPACTIVE SOILS, EXISTING FILL STOCKPILES, AND EROSION. REGIONAL GEOLOGIC CONDITIONS THAT IMPACT THE SITE INCLUDE SEISMICITY AND RADIOACTIVITY. WE BELIEVE EACH OF THESE CONDITIONS CAN BE MITIGATED WITH ENGINEERING DESIGN AND CONSTRUCTION METHODS COMMONLY EMPLOYED IN THIS AREA.**
 - CONVENTIONAL SPREAD FOOTINGS AND MAT FOUNDATIONS UNDERLAIN BY THE ON-SITE, NATURAL SANDS AND GRADING FILL WILL BE APPROPRIATE FOR LIGHTLY TO MODERATELY-LOADED BUILDINGS AT THE SITE. MODERATELY TO MORE HEAVILY-LOADED STRUCTURES MAY REQUIRE MODIFICATION OF THE NEAR-SURFACE AND SOILS (SUB-EXCAVATION AND DENSE COMPACTION UNDER CONTROLLED CONDITIONS), PRIOR TO CONSTRUCTION OF FOOTING FOUNDATIONS. A DEEP FOUNDATION SUCH AS DRILLED BEDROCK PIERS MAY BE AN APPROPRIATE OPTION FOR HEAVILY-LOADED STRUCTURES, IF THE BEDROCK FORMATION IS ENCOUNTERED AS A REASONABLE DEPTH. **
 - SITE-SPECIFIC SOILS STUDIES SHALL BE PERFORMED FOR THE LOTS WITHIN THIS SUBDIVISION PRIOR TO FOUNDATION CONSTRUCTION TO IDENTIFY SUBSURFACE SOIL CONDITIONS ANTICIPATED TO SUPPORT FOUNDATIONS AND PROVIDE PERTINENT GEOTECHNICAL-RELATED PARAMETERS AND RECOMMENDATIONS FOR FOUNDATION DESIGN AND CONSTRUCTION. **
 - GEO REPORT, OVERALL PLANS SHOULD PROVIDE FOR THE RAPID CONVEYANCE OF SURFACE RUNOFF TO THE STORM DRAIN SYSTEM AND CENTRALIZED DRAINAGE CHANNELS, WHICH WILL BE PROVIDED WITHIN THE EXISTING ROADWAY/PUBLIC SPACE TRACTS AND PROPOSED LOT DRAINAGE EASEMENTS.
- ** REFER TO THE SOILS REPORT FOR MORE DETAILED INFORMATION.

Previous comments have not been addressed regarding soils & geology notes.

Update this note to the standard format for Soil and Geology Conditions: Geologic Hazard Note-Final Plat: (to be customized based upon the individual circumstances)
The following lots have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in the report (Title of Report, generally from the Preliminary Plan file) by (author of the report) (date of report) in file (name of file and file number) available at the El Paso County Planning and Community Development Department:
•Downslope Creep:(name lots or location of area)
•Rockfall Source:(name lots or location of area)
•Rockfall Runout Zone:(name lots or location of area)
•Potentially Seasonally High Groundwater:(name lots or location of area)
•Other Hazard:
In Areas of High Groundwater:
Due to high groundwater in the area, all foundations shall incorporate an underground drainage system.

These geologic constraints also need to be depicted on the plan.

FLOODPLAIN NOTES

- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) PANEL NOS. 08041C07566, 08041C07586, 08041C07586, AND 08041C07586 REVISED DECEMBER 7, 2018, NO PORTION OF THIS SITE IS LOCATED WITHIN THE 100 YEAR FLOODPLAIN.

PROJECT TEAM

OWNER / DEVELOPER:
CROSSROADS METROPOLITAN DISTRICT NO. 2
C/O THE EQUITY GROUP
ATTN: DANNY MENTKA
90 SOUTH CASCADE AVENUE, SUITE 1500
COLORADO SPRINGS, CO 80903

CIVIL ENGINEER
MS CIVIL CONSULTANTS, INC.
212 N. WAHSATCH AVE., SUITE 305
COLORADO SPRINGS, CO 80903

PLANNER / LANDSCAPE ARCH.:
KIMLEY-HORN
2 NORTH NEVADA AVENUE
SUITE 300
COLORADO SPRINGS, CO 80903

SHEET INDEX:

01	COVER SHEET
02	PRELIMINARY PLAN - 1
03	PRELIMINARY PLAN - 2
04	GRADING SHEET
05	UTILITY SHEET
06-13	LANDSCAPE SHEETS

Previous comment has not been addressed. Include date of submission with provisions of dating revisions located in the lower right hand corner

Kimley»Horn

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2 NORTH NEVADA AVENUE, SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

COVER
SHEET 01 OF 14

CROSSROADS NORTH

PRELIMINARY PLAN

SITUATED IN THE EAST HALF OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
COUNTY OF EL PASO, STATE OF COLORADO

LOT TABLE		
LOT NO.	SF/AC±	USE
1	86,679SF± / 1.990AC±	COMMERCIAL
2	94,602SF± / 2.172AC±	COMMERCIAL
3	165,002SF± / 4.477AC±	COMMERCIAL
4	52,191SF± / 1.198AC±	COMMERCIAL
5	159,658SF± / 3.665AC±	COMMERCIAL
6	168,664SF± / 3.872AC±	COMMERCIAL
7	138,408SF± / 3.177AC±	COMMERCIAL
8	94,379SF± / 2.167AC±	COMMERCIAL
9	157,740SF± / 3.621AC±	COMMERCIAL
10	84,019SF± / 1.929AC±	COMMERCIAL
11	64,740SF± / 1.486AC±	COMMERCIAL
12	45,235SF± / 1.038AC±	COMMERCIAL
13	49,080SF± / 1.127AC±	COMMERCIAL
14	52,142SF± / 1.197AC±	COMMERCIAL
15	61,035SF± / 1.401AC±	COMMERCIAL

LOT TABLE TO REFERENCE SHEET 2 AND SHEET 3

Previous comments remain unaddressed. These need to be more specific. Every tract is not going to be used for drainage, open space, utility, and landscape.

TRACT TABLE			
TRACT	SF/AC±	OWNER	USE
A	122,408SF± / 2.810AC±	**CMD2	DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE
B	14,154SF± / 0.325AC±	**CMD2	DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE
C	138,367SF± / 3.176AC±	**CMD2	DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE
D	47,420SF± / 1.089AC±	**CMD2	DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE
E	106,104SF± / 2.436AC±	**CMD2	VEHICULAR AND PEDESTRIAN ACCESS, DRAINAGE, UTILITY, LANDSCAPE

**CMD2 = CROSSROADS METROPOLITAN DISTRICT NO. 2

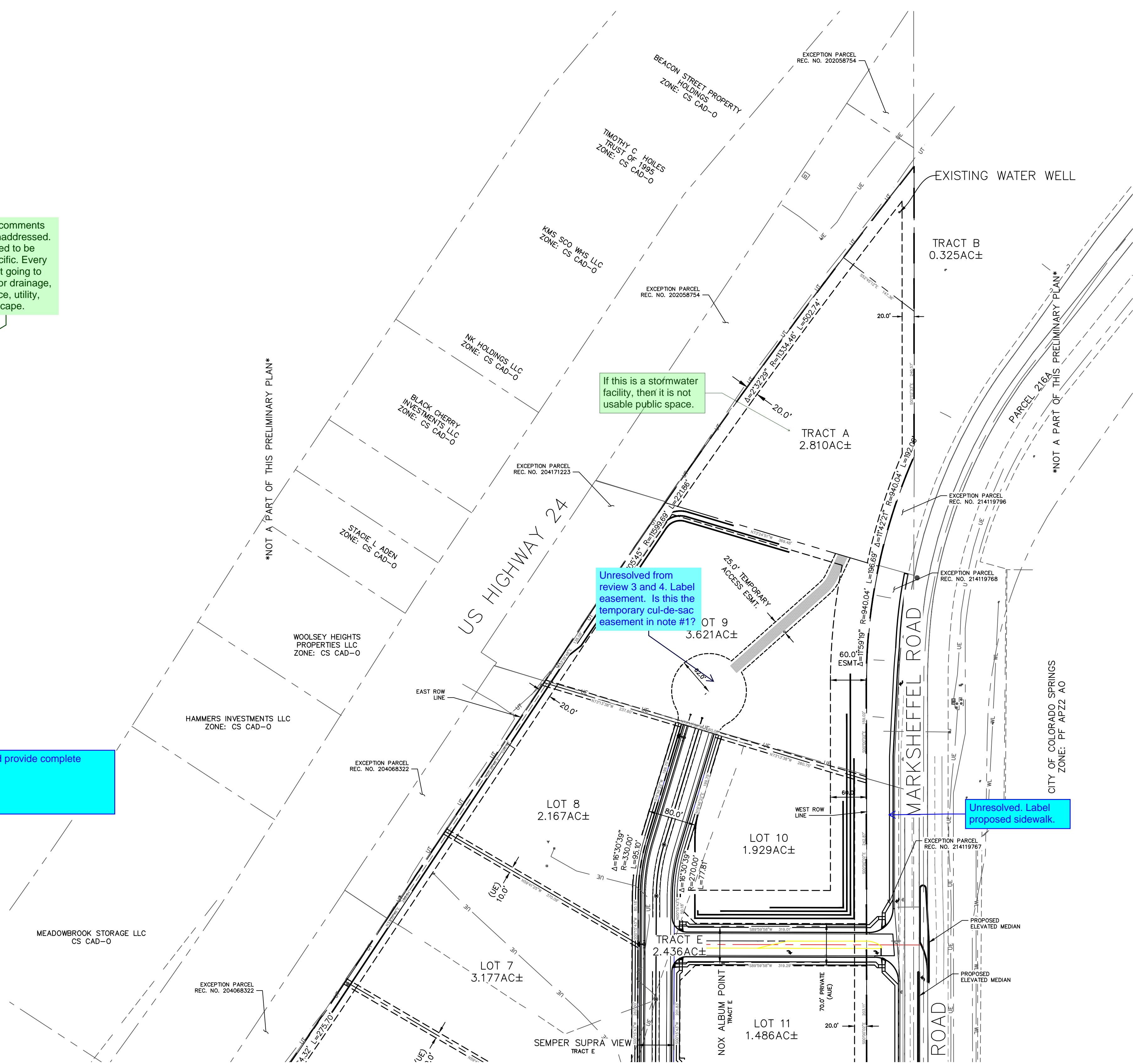
TRACT TABLE TO REFERENCE SHEET 2 AND SHEET 3

SHEET 2 SPECIFIC NOTES

1. A BLANKETED SHARED ACCESS EASEMENT WILL BE PROVIDED TO ALLOW CIRCULATION BETWEEN LOTS.
2. FINAL INTERNAL VEHICLE CIRCULATION WILL BE PROVIDED DURING THE SITE DEVELOPMENT PLAN PROCESS WITHIN EACH LOT, PROVIDING SHARED ACCESS AND CIRCULATION FOR ADJACENT LOTS.
3. TEMPORARY ACCESS EASEMENT WILL BE PROVIDED THROUGH LOT 9 TO TRACT A UNTIL DEVELOPMENT AND PERMANENT ACCESS IS PROVIDED DURING THE SITE DEVELOPMENT PLAN PROCESS.

Provide legends of the different linetypes and symbols used and provide complete abbreviations list. Example: sheet 4 includes P.I.E. and EOP. Unresolved.

Unresolved from review 3 and 4.



(AUE) ACCESS & UTILITY EASEMENT
(UE) UTILITY EASEMENT
(SB) SETBACK LINE
(LS) LANDSCAPE SETBACK



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PRELIM PLAN 1
SHEET 02 OF 14

CROSSROADS NORTH

PRELIMINARY PLAN

SITUATED IN THE EAST HALF OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
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LOT TABLE TO REFERENCE SHEET 2 AND SHEET 3

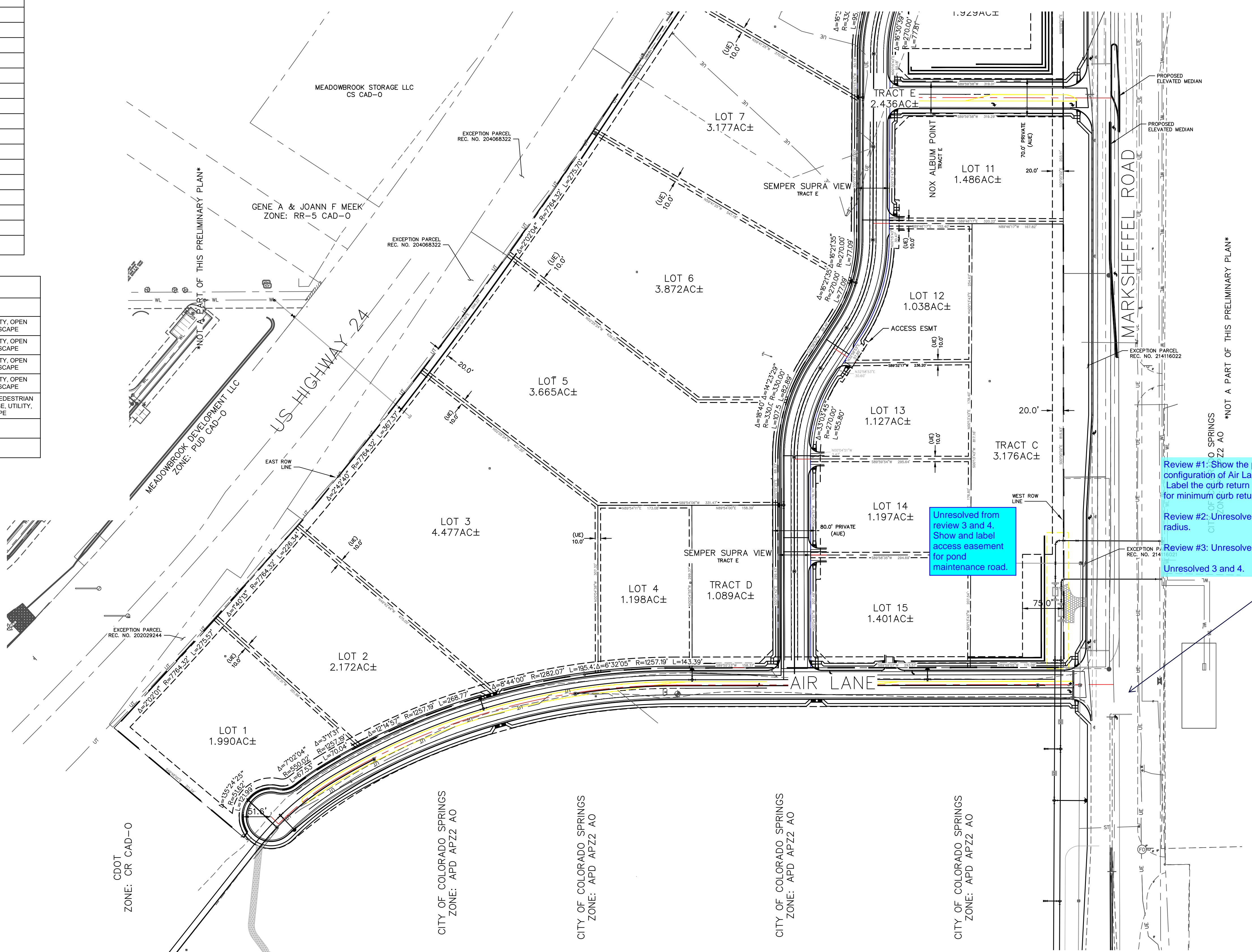
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**CMD2 = CROSSROADS METROPOLITAN DISTRICT NO. 2

TRACT TABLE TO REFERENCE SHEET 2 AND SHEET 3

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- A BLANKETED SHARED ACCESS EASEMENT WILL BE PROVIDED TO ALLOW CIRCULATION BETWEEN LOTS.
- FINAL INTERNAL VEHICLE CIRCULATION WILL BE PROVIDED DURING THE SITE DEVELOPMENT PLAN PROCESS WITHIN EACH LOT, PROVIDING SHARED ACCESS AND CIRCULATION FOR ADJACENT LOTS.
- LOT 1 THROUGH LOT 4 WILL BE ACCESSED BY WAY OF THE DESIGNATED SHARED ACCESS POINT OFF OF AIR LANE. ALL OTHER LOTS ACCESS WILL BE PROVIDED THROUGH A SHARED ACCESS WITH TRACT E (SEMPER SUPRA VIEW).



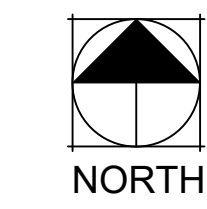
Unresolved from review 3 and 4. Show and label access easement for pond maintenance road.

Review #1: Show the proposed roadway configuration of Air Lane and the intersection. Label the curb return radius. See Table 2-31 for minimum curb return radius.
Review #2: Unresolved. Label the curb return radius.
Review #3: Unresolved.
Unresolved 3 and 4.



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COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

(AUE) ACCESS & UTILITY EASEMENT
(UE) UTILITY EASEMENT
(SB) SETBACK LINE
(LS) LANDSCAPE SETBACK



0 50' 100' 200'
SCALE: 1" = 100'

PRELIM PLAN 2
SHEET 03 OF 14

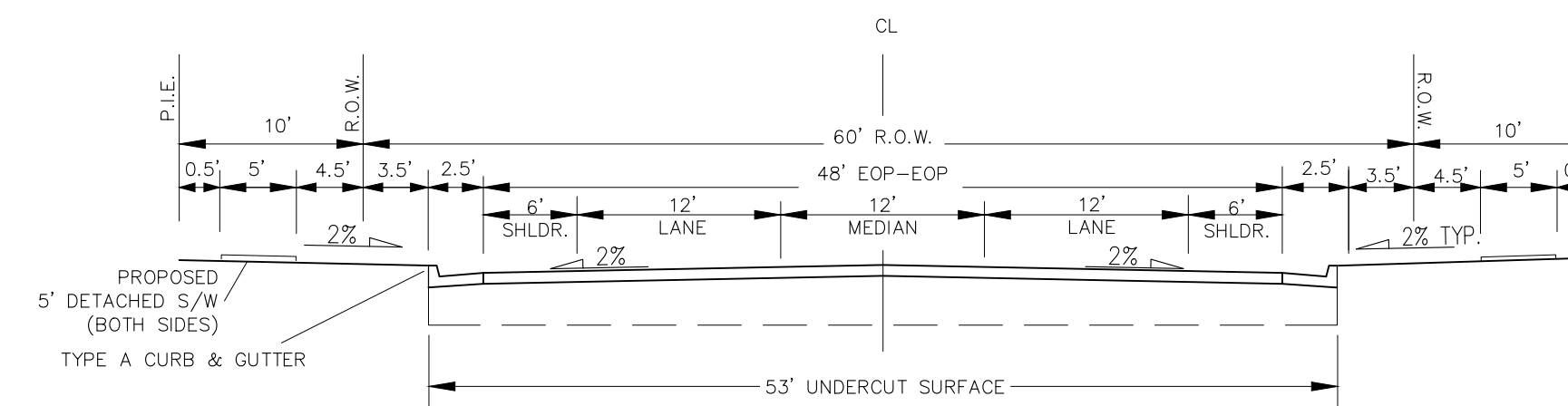
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CROSSROADS NORTH SITE UTILITY EXHIBIT

CROSSROADS NORTH
SITE UTILITY EXHIBIT
JOB #18-001
DECEMBER 19, 2023

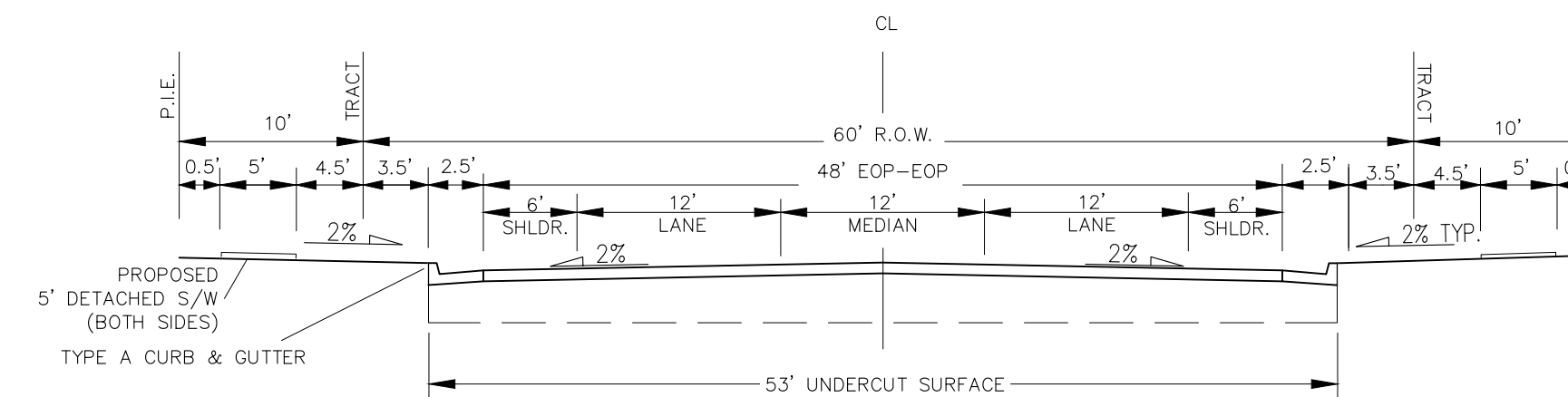
UTILITY PROVIDERS

- GAS - CSU
- ELECTRIC - CSU
- WATER - CSU FOR PARK SITE
- WATER - CHEROKEE MD FOR DEVELOPMENT
- SANITARY - CHEROKEE MD FOR PARK SITE BATHROOMS
- SANITARY - CHEROKEE MD FOR DEVELOPMENT
- STORM SEWER - EL PASO COUNTY OR PRIVATE



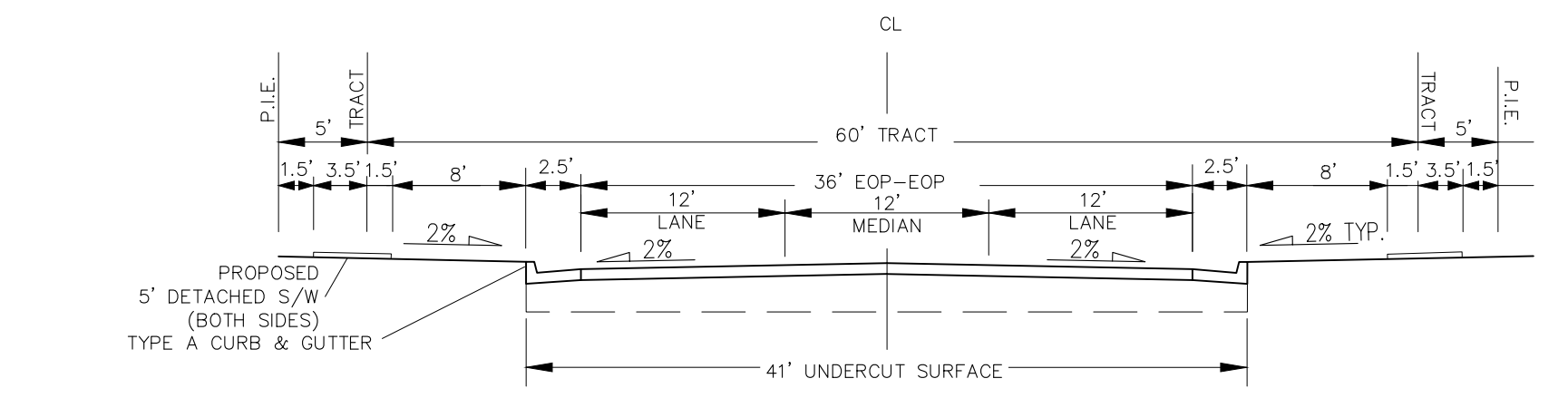
TYPICAL AIR LANE (PUB) 48' MAT
(STRIPED MEDIAN)

SCALE: NTS



TYPICAL PRO OMNIBUS HEIGHTS (PRVT) 48' MAT
(STRIPED MEDIAN)

SCALE: NTS

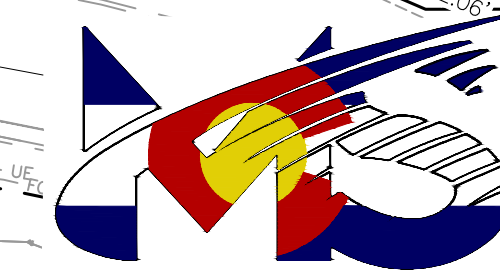
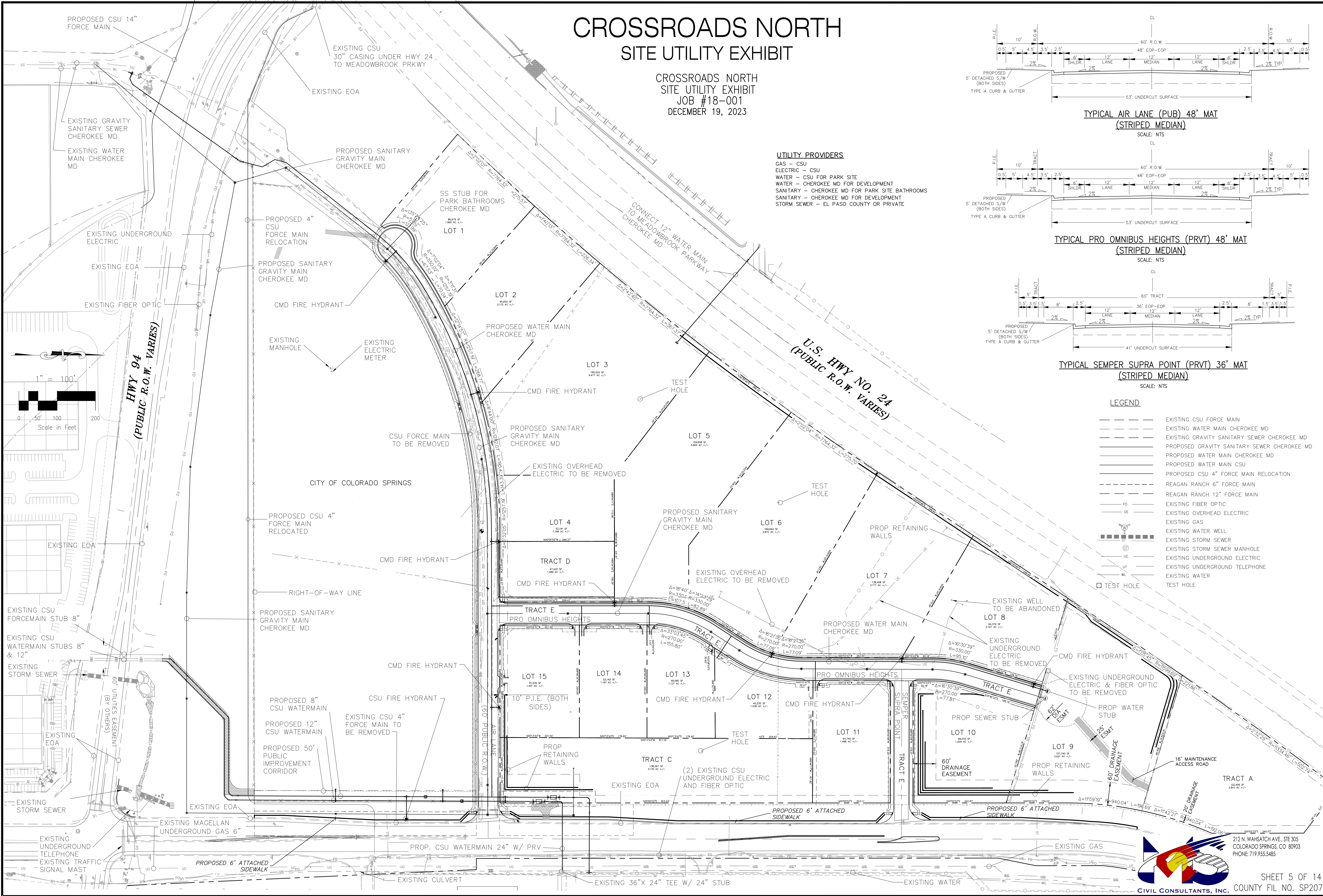


TYPICAL SEMPER SUPRA POINT (PRVT) 36' MAT
(STRIPED MEDIAN)

SCALE: NTS

LEGEND

- EXISTING CSU FORCE MAIN
- EXISTING WATER MAIN CHEROKEE MD
- EXISTING GRAVITY SANITARY SEWER CHEROKEE MD
- PROPOSED GRAVITY SANITARY SEWER CHEROKEE MD
- PROPOSED WATER MAIN CHEROKEE MD
- PROPOSED WATER MAIN CSU
- PROPOSED CSU 4" FORCE MAIN RELOCATION
- REAGAN RANCH 6" FORCE MAIN
- REAGAN RANCH 12" FORCE MAIN
- EXISTING FIBER OPTIC
- EXISTING OVERHEAD ELECTRIC
- EXISTING GAS
- EXISTING WATER WELL
- EXISTING STORM SEWER
- EXISTING STORM SEWER MANHOLE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND TELEPHONE
- EXISTING WATER
- TEST HOLE



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