

CROSSROADS NORTH PRELIMINARY PLAN

LOCATED IN THE EAST 1/2 OF SECTION 8, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO

LEGAL DESCRIPTION:

A PORTION OF LOTS 7, 12, 13, 14, 15, 16, 17, 18, 19, AND 20, HILLCREST ACRES RECORDED MAY 12, 1960, IN PLAT BOOK B-2, PAGE 64 IN THE RECORD OF EL PASO COUNTY, COLORADO EXCEPT THOSE PARCELS OF LAND AS DESCRIBED IN THE FOLLOWING RECEPTION NUMBERS: 204068322, 202058754, 214119767, 214119796, 214116022, AND 214116021 RECORDED IN THE OFFICIAL PUBLIC RECORDS OF EL PASO COUNTY, COLORADO.

PRELIMINARY PLAN NOTES

- THE FOLLOWING REPORTS HAVE BEEN SUBMITTED IN ASSOCIATION WITH THE PRELIMINARY PLAN FOR THIS SUBDIVISION AND ARE ON FILE AT THE COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT: TRANSPORTATION IMPACT STUDY; DRAINAGE REPORT; WATER RESOURCES REPORT; WASTEWATER DISPOSAL REPORT; GEOLOGY AND SOILS REPORT; FIRE PROTECTION REPORT; NATURAL FEATURES REPORT.
- ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE LOT OWNERS UNLESS OTHERWISE INDICATED. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OR RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.
- UNLESS OTHERWISE INDICATED, ALL FRONT, SIDE AND REAR LOT LINES ARE HEREBY PLATTED ON EITHER SIDE WITH A 10 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT. ALL EXTERIOR SUBDIVISION BOUNDARIES ARE HEREBY PLATTED WITH A 10 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT. THE SOLE RESPONSIBILITY FOR MAINTENANCE OF THESE EASEMENTS IS HEREBY VESTED WITH THE INDIVIDUAL PROPERTY OWNERS.
- DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEW AND PERMIT REQUIREMENTS, AND OTHER AGENCY REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO DIVISION OF WILDLIFE, COLORADO DEPARTMENT OF TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS, AND THE U.S. FISH AND WILDLIFE SERVICE REGARDING THE ENDANGERED SPECIES ACT, PARTICULARLY AS RELATED TO THE LISTED SPECIES IDENTIFIED IN THE PROJECTS ENVIRONMENTAL ASSESSMENT.
- NO DRIVEWAY SHALL BE ESTABLISHED UNLESS AN ACCESS PERMIT HAS BEEN GRANTED BY EL PASO COUNTY.
- MAILBOXES SHALL BE INSTALLED IN ACCORDANCE WITH EL PASO COUNTY AND US POSTAL SERVICE REGULATIONS.
- EXCEPT AS OTHERWISE NOTED ON THE PRELIMINARY PLAN, INDIVIDUAL LOT PURCHASERS ARE RESPONSIBLE FOR CONSTRUCTING DRIVEWAYS, INCLUDING NECESSARY DRAINAGE CULVERTS PER LAND DEVELOPMENT CODE SECTION 6.3.3.C.2 AND 6.2.2.C.3.
- AT THE TIME OF APPROVAL OF THIS PROJECT, THIS PROPERTY IS LOCATED WITHIN THE CIMARRON HILLS FIRE PROTECTION DISTRICT, WHICH HAS ADOPTED A FIRE CODE WITH FIRE MITIGATION REQUIREMENTS DEPENDING UPON THE LEVEL OF FIRE RISK ASSOCIATED WITH THE PROPERTY AND STRUCTURES. THE OWNER OF ANY LOT SHOULD CONTACT THE FIRE DISTRICT TO DETERMINE THE EXACT DEVELOPMENT REQUIREMENTS RELATIVE TO THE ADOPTED FIRE CODE.
- NO-BUILD AREAS ARE AS SHOWN ON THE PLANS. NO-BUILD AREAS INCLUDE, BUT ARE NOT LIMITED TO, WITHIN DESIGNATED DRAINAGE EASEMENTS, NO-BUILD AREAS WITHIN INDIVIDUAL LOTS ARE THE RESPONSIBILITY OF THE PROPERTY OWNER. ALL OTHER NO-BUILD AREAS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER'S ASSOCIATION.
- THIS PROPERTY MAY BE ADVERSELY IMPACTED BY NOISE, DUST, FUMES, AND LIGHT POLLUTION CAUSED BY ADJACENT INDUSTRIAL PROPERTIES AND ACTIVITIES. THE BUYER SHOULD RESEARCH AND BE AWARE OF SUCH POTENTIALS AND THE RAMIFICATIONS THEREOF.
- SIGNAGE IS NOT APPROVED WITH THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT AT 2880 INTERNATIONAL CIRCLE FOR A SIGN PLAN APPLICATION.
- RETAINING WALLS EXCEEDING 4-FEET WILL NEED TO BE STRUCTURALLY ENGINEERED.
- ALL "STOP SIGNS" AND OTHER TRAFFIC CONTROL SIGNAGE SHALL BE INSTALLED BY THE DEVELOPER AT LOCATIONS SHOWN ON THE SITE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS.
- PRIOR TO BUILDING PERMIT APPROVAL, A FINAL SUBDIVISION PLAT SHALL BE SUBMITTED FOR REVIEW BY THE EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT, AND APPROVAL BY THE BOARD OF COUNTY COMMISSIONERS, OR DESIGNEE MUST BE RECORDED, OR AUTHORIZED DESIGNEE, AND THE PLAT SHALL BE RECORDED.
- FOUR TO SIX FOOT TALL DECORATIVE FENCE WILL BE CONSTRUCTED ALONG THE PERIMETER OF THE AREA OF DEVELOPMENT. THE MATERIAL AND LOCATION SHALL BE PROVIDED WITH THE SITE DEVELOPMENT PLAN.
- ALL STREETS SHALL BE NAMED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS AND ANY APPROVED DEVIATIONS. UPON ACCEPTANCE BY EL PASO COUNTY, PUBLIC STREETS SHALL BE MAINTAINED BY THE COUNTY.
- NOTWITHSTANDING ANYTHING DEPICTED IN THIS PLAN IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE (LDC), THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL (DCM), AND DCM VOLUME 2. ANY DEVIATIONS FROM THESE STANDARDS MUST BE SPECIFICALLY REQUESTED AND APPROVED IN WRITING TO BE ACCEPTABLE. THE APPROVAL OF THIS PRELIMINARY PLAN DOES NOT IMPLICITLY ALLOW ANY DEVIATIONS OR WAIVERS THAT HAVE NOT BEEN OTHERWISE APPROVED THROUGH THE DEVIATION APPROVAL PROCESS.
- DEVELOPMENT OF THE PROPERTY WILL BE IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE EL PASO COUNTY LAND DEVELOPMENT CODE FOR CR ZONING, AND THE COMMERCIAL AVIATION DISTRICT OVERLAY (CAD-O).
- THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAPS NUMBER 19041C05767, DATED DECEMBER 7, 2018, THE LIMITS OF WHICH ARE SHOWN ON THE SURVEY. AREAS WITHIN THE FLOODPLAIN ARE ZONE AE, AREAS OUTSIDE THE FLOODPLAIN ARE ZONE X.
- WATER AND WASTEWATER SERVICES FOR THIS SUBDIVISION WILL BE PROVIDED BY THE CHEROKEE METROPOLITAN DISTRICT (CHEROKEE) SUBJECT TO THE DISTRICT'S RULES, REGULATIONS AND SPECIFICATIONS. THE OFFICE OF THE STATE ENGINEER HAS ISSUED AN OPINION OF WATER INADEQUACY BASED ON ITS ANALYSIS AND INTERPRETATION OF A STIPULATED AGREEMENT CONCERNING THE AVAILABILITY OF CERTAIN WATER RIGHTS FOR USE OUTSIDE OF THE UPPER BLACK CREEK DESIGNATED BASIN, AND THUS FOUND INSUFFICIENCY OF WATER RESOURCES FOR THIS SUBDIVISION BASED ON THAT AGREEMENT. THIS INTERPRETATION DIFFERS FROM CERTAIN OPINIONS ISSUED BY THE OFFICE IN THE PAST. BASED ON ITS OWN REVIEW OF THE STIPULATED AGREEMENT AND ITS HISTORY (AND NOT THE AMOUNT OF WATER ACTUALLY AVAILABLE) THE BOARD OF COUNTY COMMISSIONERS IN AN OPEN AND PUBLIC HEARING DID NOT ACCEPT THE INTERPRETATION OF THE STATE ENGINEER'S OFFICE. THE BOARD OF COUNTY COMMISSIONERS FOUND THAT CHEROKEE HAS COMMITTED TO PROVIDE WATER SERVICE TO THE SUBDIVISION AND ASSERTED THAT ITS LONG TERM WATER SERVICE CAPABILITIES ARE SUFFICIENT. THE BOARD OF COUNTY COMMISSIONERS MADE THIS DETERMINATION IN RELIANCE UPON THE TESTIMONY AND EXPERTISE PROVIDED BY CHEROKEE AT THE PUBLIC HEARING THEREON. AT THE HEARING, CHEROKEE ASSERTED THAT ITS PLANS AND CONTINUED FINANCIAL INVESTMENT IN INFRASTRUCTURE ARE DESIGNED TO ALLOW CHEROKEE TO CONTINUE TO PROVIDE THIS SUBDIVISION AND ITS EXISTING CUSTOMERS WITH WATER AND WASTEWATER SERVICES FOR 300 YEARS OR MORE.
- THE PROPERTY IS LOCATED IN THE AIRPORT OVERLAY ZONE. THIS SERVES AS NOTICE OF POTENTIAL AIRCRAFT OVERLIGHT AND NOISE IMPACTS ON THIS PROPERTY DUE TO ITS CLOSE PROXIMITY TO AN AIRPORT, WHICH IS BEING DISCLOSED TO ALL PROSPECTIVE PURCHASERS CONSIDERING THE USE OF THIS PROPERTY FOR RESIDENTIAL AND OTHER PURPOSES. THIS PROPERTY IS SUBJECT TO THE OVERLIGHT AND ASSOCIATED NOISE OF ARRIVING AND DEPARTING AIRCRAFT DURING THE COURSE OF NORMAL AIRPORT OPERATIONS. ALL PROPERTY WITHIN THIS SUBDIVISION IS SUBJECT TO AN AVIGATION EASEMENT AS RECORDED IN BOOK 2478 AT PAGE 304, OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER.
- A 30 DB(A) INDOOR NOISE REDUCTION SHALL BE ACHIEVED BY APPROVED CONSTRUCTION TECHNIQUES AS EVIDENCED BY A NOISE REDUCTION CERTIFICATE PRIOR TO SITE DEVELOPMENT PLAN APPROVAL.
- ALL PROPERTY WITHIN THIS SUBDIVISION WILL BE SUBJECT TO A RECIPROCAL ACCESS/PARKING AGREEMENT AS RECORDED AT RECEPTION NO. [REDACTED] OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER, WHICH SHALL BE DEDICATED BY THE SUBSEQUENT PLAT OR BY SEPARATE INSTRUMENT PRIOR TO SUBMITTAL AND APPROVAL OF THE FINAL PLAT.
- A TITLE 32 SPECIAL DISTRICT ANNUAL REPORT AND DISCLOSURE FORM SATISFACTORY TO THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE RECORDED WITH EACH PLAT.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OR DESIGNATED ENTITY APPROVED BY THE BOARD OF COUNTY COMMISSIONERS (BOCC).
- LANDSCAPING SHALL CONFORM TO THE REQUIREMENTS OF CHAPTER 6 OF THE COUNTY CODE TOGETHER WITH ALL APPLICABLE CONDITIONS OF APPROVAL IMPOSED BY THE BOCC.
- FINAL LOCATION OF PROPOSED WATER EASEMENT HAS YET TO BE DETERMINED BY THE CIMARRON METROPOLITAN DISTRICT. CROSSROADS METRO DISTRICT NO. 2, AND COLORADO DEPARTMENT OF TRANSPORTATION. LOTS, EASEMENTS, AND ROAD CONFIGURATIONS AND ALIGNMENTS MAY BE SUBJECT TO MINOR CHANGES IN ORDER TO REFLECT FUTURE AGREEMENT(S) AND FINAL EASEMENT ALIGNMENT. FINAL LOCATIONS WILL PROVIDE FOR THE OVERALL REQUIRED WATER LOOP FROM MEADOWBROOK PKWY, SOUTH TO AIR LANE SOUTH OF HIGH 94. FINAL LOCATIONS OF REQUIRED EASEMENTS AND UTILITY LINES SHALL BE PROVIDED PRIOR TO OR CONCURRENT WITH ANY FINAL PLAT SUBMITTAL.

FLOODPLAIN NOTES:

- PORTIONS OF THIS PROPERTY ARE LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBER 19041C05767, EFFECTIVE DATE: DECEMBER 7, 2018, AND MODIFIED PER LOMR CASE NO. 19-08-0605P.
- THE JIMMY CAMP CREEK EAST TRIBUTARY IS TO BE DEDICATED TO, OWNED AND MAINTAINED BY THE LORSON RANCH METROPOLITAN DISTRICT NO. 1. JIMMY CAMP CREEK EAST TRIBUTARY CHANNEL IMPROVEMENTS TO BE COMPLETED BY THE DEVELOPER/OWNER AS REQUIRED.

PROJECT TEAM:

OWNER/DEVELOPER:
CROSSROADS METROPOLITAN DISTRICT NO. 2
C/O THE EQUITY GROUP
ATTN: DANNY MIENTKA
90 SOUTH CASCADE AVENUE, SUITE 1500
COLORADO SPRINGS, CO 80903

PLANNERS/LANDSCAPE ARCH:
KIMLEY-HORN
2 NORTH NEVADA AVENUE
SUITE 300
COLORADO SPRINGS, CO 80903

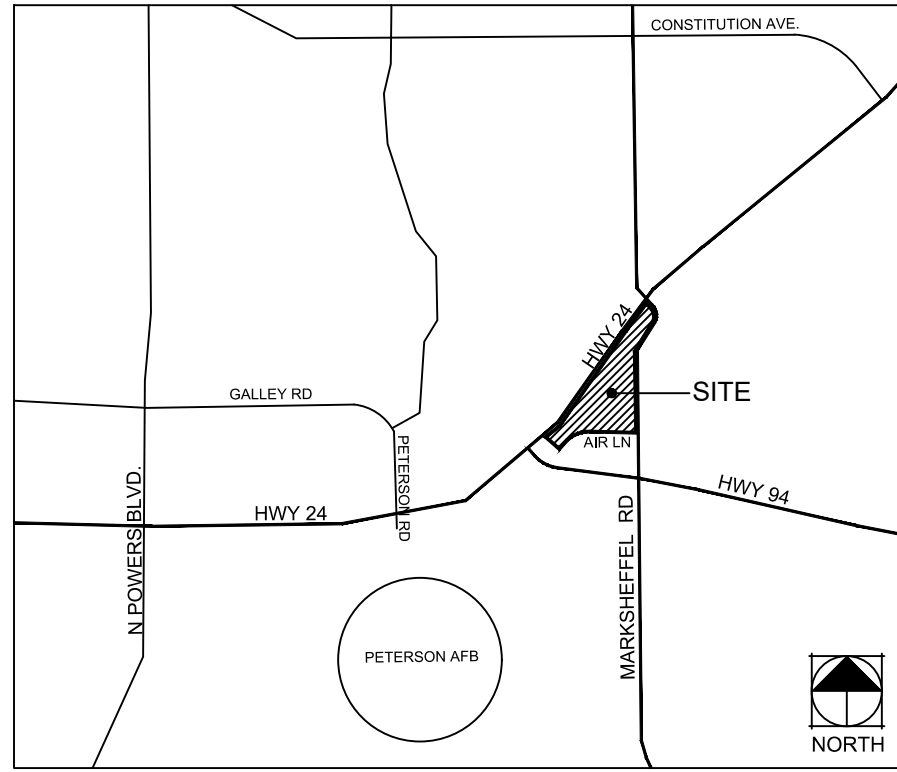
CIVIL ENGINEER:
MS CIVIL CONSULTANTS, INC.
102 PIKES PEAK AVENUE
5TH FLOOR
COLORADO SPRINGS, CO 80903

SHEET INDEX:

01	COVER SHEET
02	PRELIMINARY PLAN - 1
03	PRELIMINARY PLAN - 2
04	LANDSCAPE SHEET
05	LANDSCAPE STREET DETAIL SHEET

Include a preliminary grading plan showing proposed contours.
Include slope tags along the road centerline.

VICINITY MAP



SITE DATA TABLE:

TAX ID NUMBERS	5408001008, 5408001029, 5408001032, 5408001033, 5408001034, 5408001041, 5408001042, 5408001050, 5408001051, & 5408001052
CURRENT ZONING:	CR CAD-O, M CAD-O, I-2 CAD-O
PROPOSED ZONING:	CR CAD-O
PROPOSED LOTS:	11
TOTAL SITE ACREAGE	44.34 AC
MINIMUM LOT SIZE	1.28 AC
FRONT-SETBACKS	20' FRONT, 25' SIDE/REAR, 0' SIDE/REAR SETBACK ADJACENT TO CR ZONE
LOT SETBACKS	50' FRONT, 25' SIDE/REAR, 0' SIDE/REAR SETBACK ADJACENT TO CR ZONE
LANDSCAPE SETBACKS	EXPRESSWAY, PRINCIPAL ARTERIAL: 25' SETBACK (1 TREE/25' FRONTAGE) MINOR ARTERIAL: 20' SETBACK (1 TREE/25' FRONTAGE) NON-ARTERIAL: 10' SETBACK (1 TREE/30' FRONTAGE)
MAXIMUM LOT COVERAGE	NONE
MAXIMUM BUILDING HEIGHT	50' (UNLESS OTHERWISE IMPACTED BY CAD-O RESTRICTIONS)

SOILS & GEOLOGY CONDITIONS, CONSTRAINTS, & HAZARDS NOTED

- A GEOLOGIC HAZARDS EVALUATION AND PRELIMINARY GEOTECHNICAL INVESTIGATION, CROSSROADS NORTH, MARKSCHEFFEL ROAD AND STATE HIGHWAY 24, EL PASO COUNTY, COLORADO, FOR THE EQUITY GROUP, WAS COMPLETED BY CTL THOMPSON, ON OCTOBER 6, 2020 AND INCLUDED THE AREA OF DEVELOPMENT PROPOSED WITH THE CROSSROADS NORTH DEVELOPMENT. THE GEOLOGY AND SOILS REPORT FOR THE CROSSROADS NORTH DEVELOPMENT WAS PROVIDED AS PART OF THE CROSSROADS NORTH PRELIMINARY PLAN SUBMITTED TO THE EL PASO BOARD OF COUNTY COMMISSIONERS. PLANNING AND COMMUNITY DEVELOPMENT FILE NUMBER [REDACTED]. DEVELOPERS AND HOME OWNERS SHOULD BECOME FAMILIAR WITH THIS REPORT AND ITS CONTENTS. **
- THERE ARE NO SIGNIFICANT GEOLOGICAL HAZARDS; HOWEVER, THE POTENTIAL FOR GEOLOGIC CONSTRAINTS DO EXIST RELATED TO THE POTENTIAL FOR SHALLOW GROUNDWATER TABLES, EXPANSIVE CLAY OR CLAYEY SANDSTONE, ERODIBLE SANDY SOILS. THESE GEOLOGICAL CONDITIONS ARE CONSIDERED RELATIVELY COMMON TO THE AREA WITH MITIGATION ACCOMPLISHED BY IMPLEMENTING COMMON ENGINEERING AND CONSTRUCTION PRACTICES. IF THE PREVIOUSLY LISTED POTENTIAL GEOLOGICAL HAZARDS ARE FOUND TO EXIST, AN EVALUATION SHALL BE PERFORMED AT THE TIME OF FINAL GEOTECHNICAL INVESTIGATION FOR THOSE INDIVIDUAL LOTS. WE DID NOT IDENTIFY GEOLOGIC HAZARDS THAT WE BELIEVE PRECLUDED DEVELOPMENT OF THE SITE. THE CONDITIONS IDENTIFIED AT THE SITE THAT MAY POSE CONSTRAINTS TO DEVELOPMENT INCLUDED THE PRESENCE OF POTENTIALLY HYDRO-COMPACTIVE SOILS, EXISTING FILL STOCKPILES, AND EROSION. REGIONAL GEOLOGIC CONDITIONS THAT IMPACT THE SITE INCLUDE SEISMICITY AND RADIOACTIVITY. WE BELIEVE EACH OF THESE CONDITIONS CAN BE MITIGATED WITH ENGINEERING DESIGN AND CONSTRUCTION METHODS COMMONLY EMPLOYED IN THIS AREA. THESE CONDITIONS ARE DISCUSSED IN GREATER DETAIL IN THE SECTIONS THAT FOLLOW. **
- CONVENTIONAL SPREAD FOOTINGS AND MAT FOUNDATIONS UNDERLAIN BY THE ON-SITE, NATURAL SANDS AND GRADING FILL WILL BE APPROPRIATE FOR LIGHTLY TO MODERATELY-LOADED BUILDINGS AT THE SITE. MODERATELY TO MORE HEAVILY-LOADED STRUCTURES MAY REQUIRE MODIFICATION OF THE NEAR-SURFACE AND SOILS (SUB-EXCAVATION AND DENSE COMPACTION UNDER CONTROLLED CONDITIONS). PRIOR TO CONSTRUCTION OF FOOTING FOUNDATIONS, A DEEP FOUNDATION SUCH AS DRILLED BEDROCK PILES MAY BE AN APPROPRIATE OPTION FOR HEAVILY-LOADED STRUCTURES, IF THE BEDROCK FORMATION IS ENCOUNTERED AS A REASONABLE DEPTH. **
- SITE-SPECIFIC SOILS STUDIES SHALL BE PERFORMED FOR THE LOTS WITHIN THIS SUBDIVISION PRIOR TO FOUNDATION CONSTRUCTION TO IDENTIFY SUBSURFACE SOIL CONDITIONS ANTICIPATED TO SUPPORT FOUNDATIONS AND PROVIDE PERTINENT GEOTECHNICAL-RELATED PARAMETERS AND RECOMMENDATIONS FOR FOUNDATION DESIGN AND CONSTRUCTION. **

**REFER TO THE SOILS REPORT FOR MORE DETAILED INFORMATION.

Add the following notes:

- There shall be no direct lot access to Markscheffel Road and US Highway 24. (Note: This note may need to be revised to include Air Lane based on comments to the TIS to provide recommendation on Air Lane Road classification.)
- All streets shown, except for Air Lane, are private and will be owned and maintained by [xxx].

how is this not considered a constraint in the GEO report, and why is it not mapped as required.



0 100' 200' 400'
SCALE: 1" = 200'

see checklist requirements....

delete this

private road tract acreage, Public ROW dedication acreage, detention Pond acreage, then undeveloped open space, and then future development

this section needs to be reevaluated based on report...

Overall plans should provide for the rapid conveyance of surface runoff to the storm/drain system and centralized drainage channels.

ITE CONDITIONS

The Crossroads North property consists of about 40 acres of land located south of the intersection of Markscheffel Road and US Highway 24 (eastern half of Section 8, T14S, R65W, of the 6th P.M., El Paso County, Colorado).

where are these channels or tracts easements on prelim plan as recommended in GEO report?

shrink? provide match lines if this a key map

are the detention ponds proposed OFFSITE? Please show on plan, provide ownership permission on application docs, easements?

has this land been given to the applicant yet for the sports park?

SP207

PCD FILE NO: XXXXXXXXXX

Kimley»Horn

2018 KIMLEY-HORN AND ASSOCIATES, INC.
2018 KIMLEY-HORN AND ASSOCIATES, INC.
2018 KIMLEY-HORN AND ASSOCIATES, INC.

DESIGNED BY: LMS
DRAWN BY: LMS
CHECKED BY: JEH
DATE: XX/XX/20

CROSSROADS NORTH
PRELIMINARY PLAN

PROJECT NO.
096956000

SHEET

OF

BY DATE APPR

NO.

REVISION

BY DATE APPR

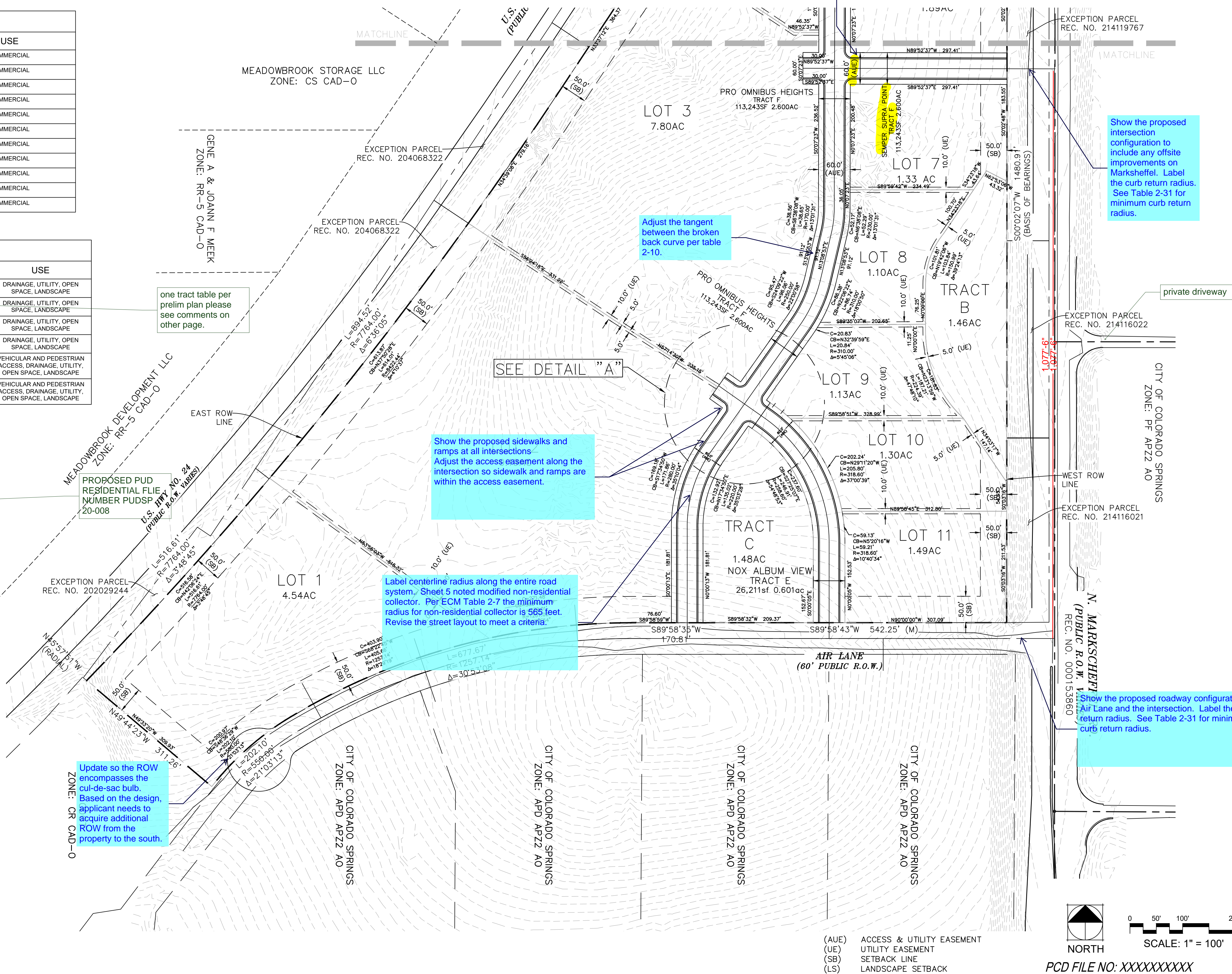
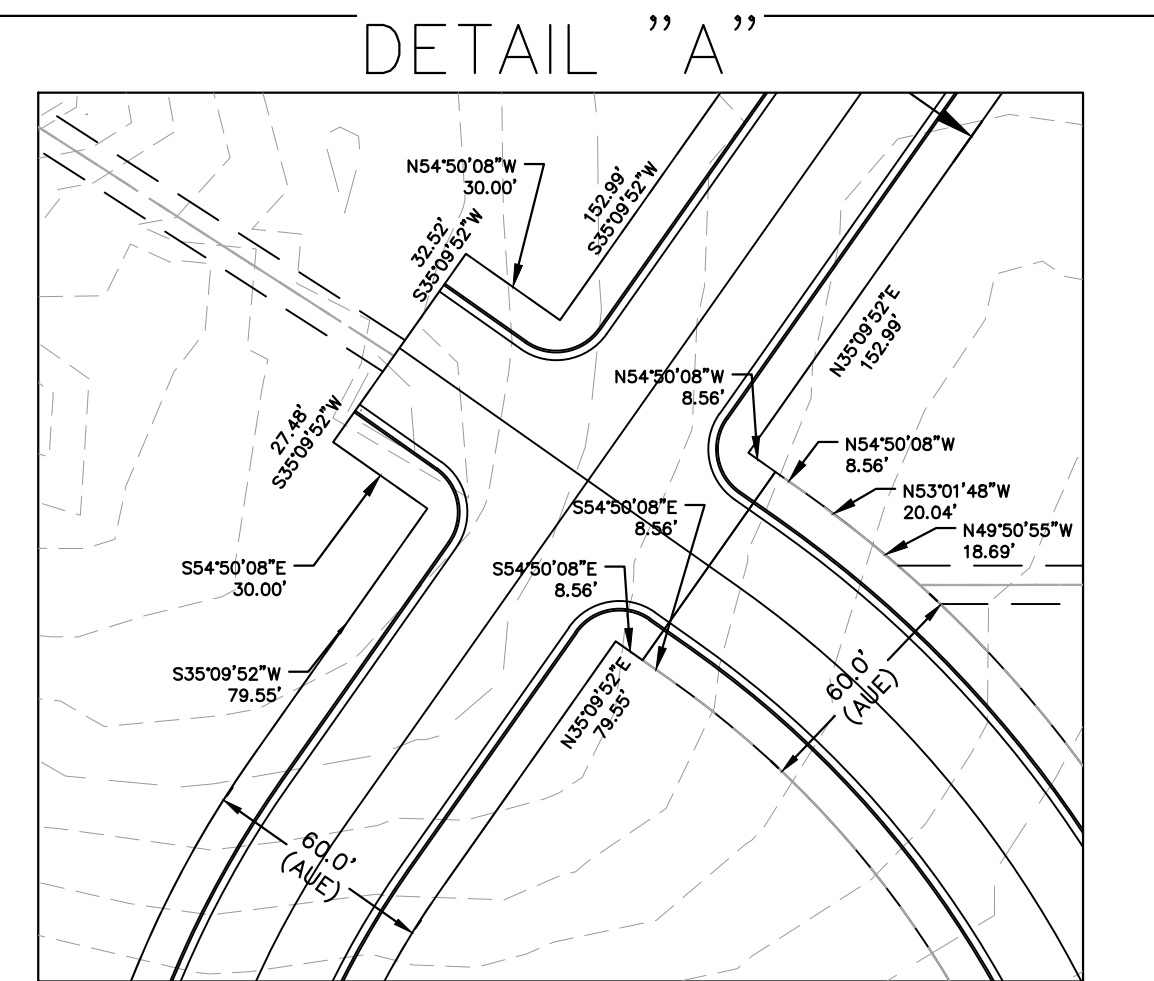
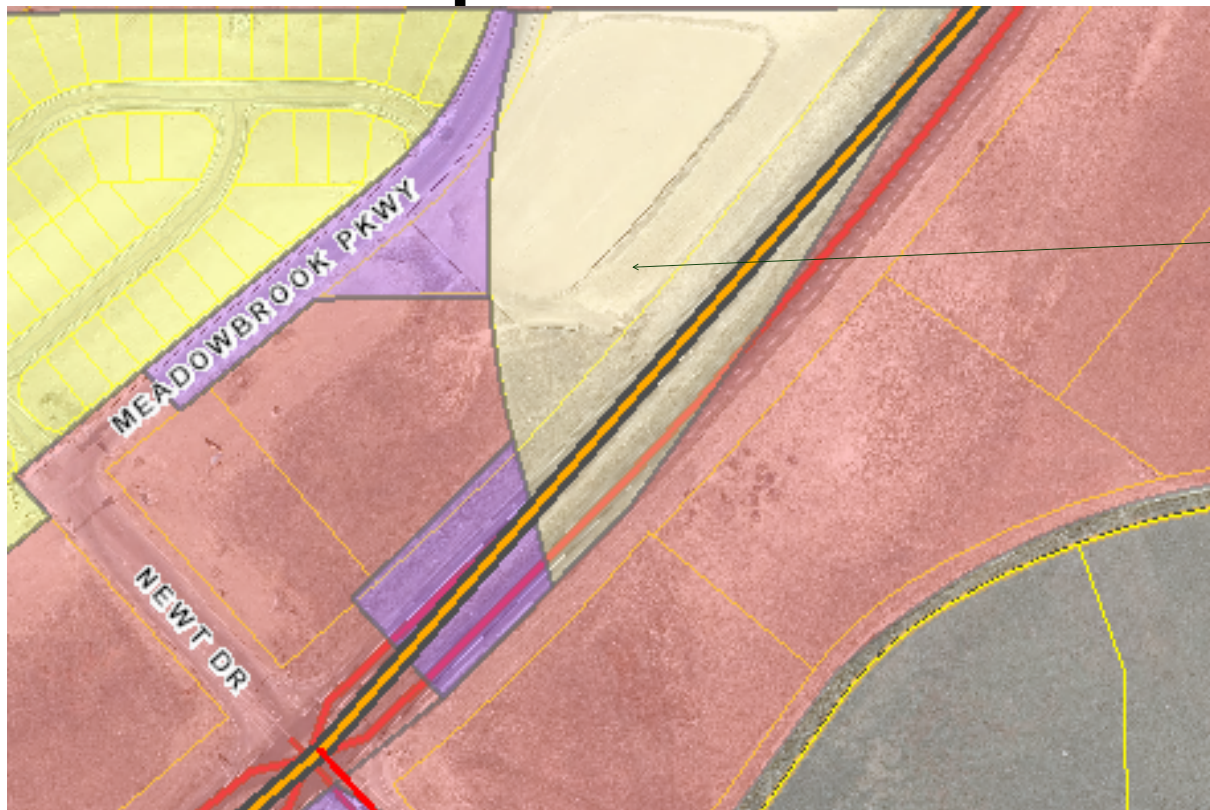
CROSSROADS NORTH PRELIMINARY PLAN

LOCATED IN THE EAST 1/2 OF SECTION 8, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO

LOT TABLE		
LOT NO.	SF/AC±	USE
1	197,834.40SF± / 4.54AC±	COMMERCIAL
2	400,274SF± / 9.19AC±	COMMERCIAL
3	339,627SF± / 7.80AC±	COMMERCIAL
4	76,255SF± / 1.75AC±	COMMERCIAL
5	154,848SF± / 3.56AC±	COMMERCIAL
6	82,164SF± / 1.89AC±	COMMERCIAL
7	58,100SF± / 1.33AC±	COMMERCIAL
8	47,705SF± / 1.10AC±	COMMERCIAL
9	49,200SF± / 1.13AC±	COMMERCIAL
10	56,686SF± / 1.30AC±	COMMERCIAL
11	65,088SF± / 1.49AC±	COMMERCIAL

TRACT TABLE			
TRACT	SF/AC±	OWNER	USE
A	124,528.21SF± / 2.86AC±	CMD2	DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE
B	63,469.91SF± / 1.46AC±	CMD2	DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE
C	64,364SF± / 1.48AC±	CMD2	DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE
D	11,340SF± / 0.26AC±	CMD2	DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE
E	26,211SF± / 0.60AC±	CMD2	VEHICULAR AND PEDESTRIAN ACCESS, DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE
F	113,243SF± / 2.60AC±	CMD2	VEHICULAR AND PEDESTRIAN ACCESS, DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE

*CMD2-CROSSROADS METROPOLITAN DISTRICT NO. 2



Kimley»Horn
2018 KIMLEY-HORN AND ASSOCIATES, INC.
100 NORTH NEW YORK AVE., SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

CROSSROADS NORTH
PRELIMINARY PLAN

DESIGNED BY: LMS
DRAWN BY: LMS
CHECKED BY: JEH
DATE: XX/XX/20

PROJECT NO.
096956000

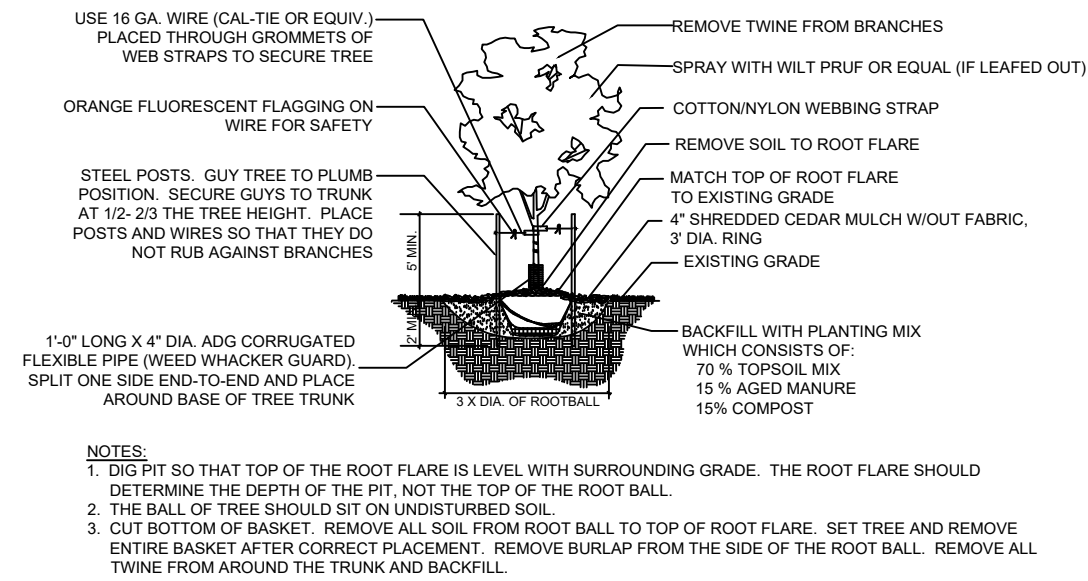
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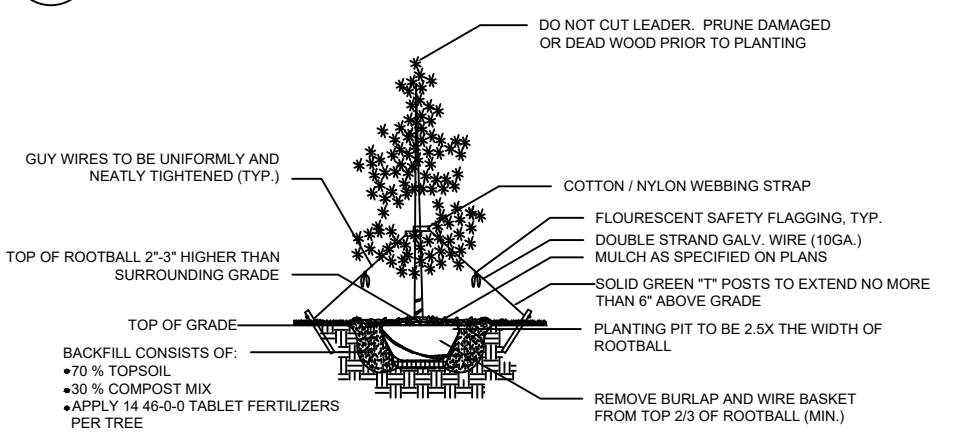
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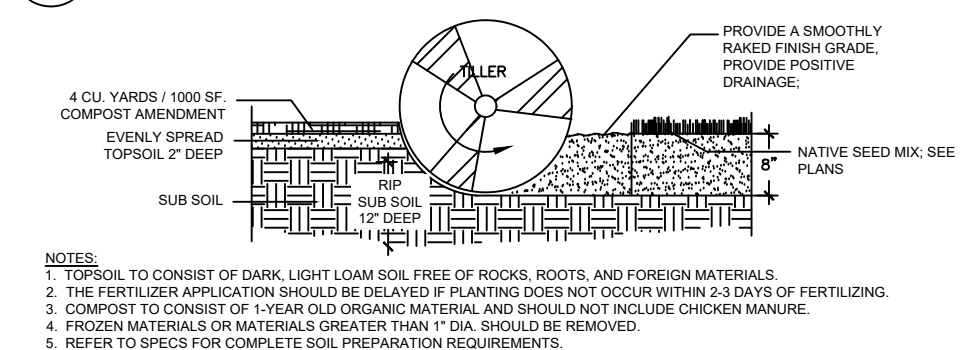
CROSSROADS NORTH
PRELIMINARY PLAN / LANDSCAPE STANDARDS
LOCATED IN THE EAST 1/2 OF SECTION 8, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO



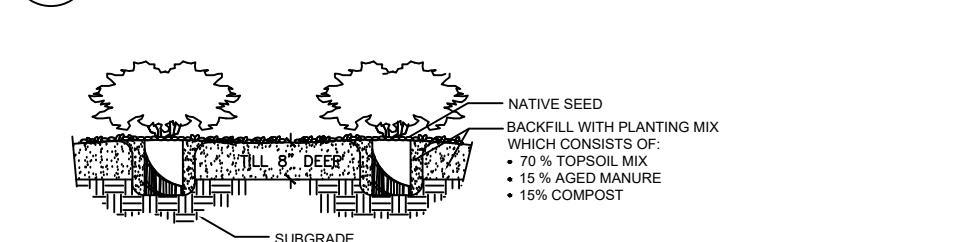
1 DECIDUOUS TREE PLANTING
PLANTING DETAIL



2 EVERGREEN TREE PLANTING
PLANTING DETAIL

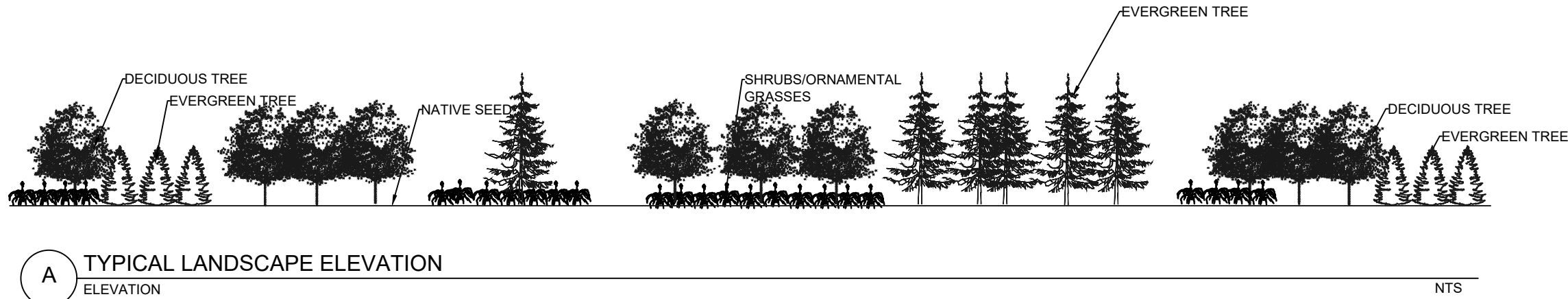


3 SOIL PREP- NATIVE SEED AREAS
PLANTING DETAIL



4 SHRUB DETAIL
PLANTING DETAIL

LANDSCAPE MATERIAL SCHEDULE	
STANDARD SYMBOL	NOTES
COBBLE MULCH	PER PLAN COBBLE TO BE 1/2\"/>
NATIVE SEED	PER PLAN NATIVE SEED



A TYPICAL LANDSCAPE ELEVATION
ELEVATION

PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH	SIZE	NOTES
	PV	TBD	Prunus virginiana	Canada Chokecherry	20-30'	15-20'	2.0' Caliper	B&B
	QM	TBD	Quercus macrocarpa	BUR OAK	30-35'	30-35'	2.0' Caliper	B&B
	AG	TBD	Acer glabrum	FLAME AMUR MAPLE	15-20'	15-20'	2.0' Caliper	B&B
	CP	TBD	Crataegus phaenopynum	WASHINGTON HAWTHORN	20-25'	15-25'	2.0' Caliper	B&B
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH	SIZE	NOTES
	PE	TBD	Pinus edulis	PINYON PINE	15-20'	10-15'	6\"/>	B&B
	JS	TBD	Juniperus scopulorum	ROCKY MOUNTAIN JUNIPER	20-25'	8-12'	6\"/>	B&B
	PN	TBD	Pinus nigra	Ponderosa Pine	25-30'	15-20'	6\"/>	B&B
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH	SIZE	NOTES
	YF	TBD	Yucca filamentosa	BRIGHT EDGE YUCCA	2-3'	2-4'	5 GAL	CONTAINER
	CN	TBD	Chrysothamnus nauseosus	Baby Blue Rabbitbrush	1-4'	1-4'	5 GAL	CONTAINER
	BT	TBD	Berberis thunbergii	Rose Glow Japanese Barberry	3-5'	3-5'	5 GAL	CONTAINER
	BD	TBD	Buddlejia davidii	Petite Indigo Butterfly Bush	4-5'	4-5'	5 GAL	CONTAINER
	JA	TBD	Jamesia americana	Waxflower	4-5'	5-8'	5 GAL	CONTAINER
	PA	TBD	Perovskia atriplicifolia	Little Spire Russian Sage	2-3'	2-3'	5 GAL	CONTAINER

LANDSCAPE SETBACKS:

STREET NAME OR ZONE BOUNDARY:	HIGHWAY 24	MARKSCHEFFEL RD	AIR LANE	PRO OMNIBUS HT.	SEMPER SUPRA PT.	NOX ALBUM VW.
STREET CLASSIFICATION:	EXPRESSWAY	MAJOR ARTERIAL	NON ARTERIAL	NON ARTERIAL	NON ARTERIAL	NON ARTERIAL
SETBACK DEPTH REQUIRED/PROVIDED:	25' / 25'	25' / 25'	25' / 25'	10' / 10'	10' / 10'	10' / 10'
LINEAR FOOTAGE:	2542'	1870'	1593'	1476'	328'	535'
TREE/FEET REQUIRED:	1 / 20'	1 / 30'	1 / 30'	1 / 30'	1 / 30'	1 / 30'
NUMBER OF TREES REQUIRED/PROVIDED:	127 / 127	80 / 80	13 / 13	40 / 40	40 / 40	40 / 40
PLANT ABBREVIATION DENOTED ON PLAN:	HB	MB	SB	PB	PB	PB
% GROUND PLANE VEG. REQUIRED/PROVIDED:	75 / 75%	75 / 75%	75 / 75%	75 / 75%	75 / 75%	75 / 75%

GENERAL NOTES

- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIAL FOR ONE YEAR AFTER SUBSTANTIAL COMPLETION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIALS IN A HEALTHY STATE DURING CONSTRUCTION AND THROUGH FINAL COMPLETION AS PART OF PLANTING COST. ANY DAMAGE TO PLANT MATERIAL SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. AFTER FINAL COMPLETION, OWNER SHALL BE RESPONSIBLE FOR PLANT MAINTENANCE.
- PLANT QUANTITIES ARE PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY AND SHALL BE VERIFIED BY CONTRACTOR BY REVIEWING PLANTING PLAN SYMBOLS AND GENERATING SEPARATE PLANT LIST.
- ALL DECIDUOUS TREES SHALL BE WRAPPED IN THE FALL WITH STRETCHABLE TREE WRAP IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICE; WRAP SHALL BE REMOVED NO LATER THAN MAY 1 OF THE FOLLOWING SPRING. INSTALL WOOD MULCH UNDER EACH TREE; REFER TO TREE PLANTING DETAIL. WOOD MULCH SHALL BE SHREDDED WOOD MULCH.
- TREE PLANTING SOIL AMENDMENT AND FERTILIZER REQUIREMENTS: BACKFILL SOIL WITHIN EACH TREE PIT SHALL CONSIST OF 30% COMPOST AND 70% EXISTING SOIL.
- COBBLE MULCH AREAS; INSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS PRIOR TO PLACING GRAVEL MULCH; INSTALL WEED BARRIER FABRIC UNDER ALL GRAVEL MULCH; ROLL FABRIC WITHOUT STRETCHING OR PULLING; OVERLAP FABRIC EDGES A MINIMUM OF 6\"/>
- ALL PLANT MATERIALS SHALL HAVE BACKFILL CAREFULLY PLACED AROUND BASE AND SIDES OF BALL, THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS AND LOOSE BURLAP AROUND BASE OF TRUNK SHALL BE REMOVED AT THIS TIME. REMAINDER OF PIT SHALL THEN BE BACKFILLED, ALLOWING FOR DEPTH OF MULCH, SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING EROSION CONTROL MEASURES DURING HIS DURATION OF WORK ON-SITE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO PROVIDE EROSION CONTROL BLANKET ON ALL SLOPES.
- ALL AREAS DISTURBED DURING CONSTRUCTION TO BE RESEED.
- CONTRACTOR SHALL PROVIDE ALL DEVICES AND LABOR NEEDED TO ESTABLISH NATIVE SEED.
- TREES SHALL BE IRRIGATED VIA A DRIP SYSTEM. FINAL DESIGN AND P.O.C WILL BE IDENTIFIED FINAL BUILDING PERMIT.

provide exhibit
showing locations

CROSSROADS NORTH
PRELIMINARY PLAN

Kimley»Horn

2018 KIMLEY-HORN AND ASSOCIATES, INC.
2018 KIMLEY-HORN AND ASSOCIATES, INC.
2018 KIMLEY-HORN AND ASSOCIATES, INC.

COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

DESIGNED BY: LMS
DRAWN BY: LMS
CHECKED BY: JEH
DATE: XX/XX/20

PROJECT NO.
096956000

SHEET

OF

PCD FILE NO: XXXXXXXXXX

CROSSROADS NORTH

PRELIMINARY PLAN / LANDSCAPE STANDARDS

where is the exhibit showing the street trees? please provide and verify line of sight/sight triangles are shown....if Developer is installing with development...if you want to enforce standards shown in details

STREET DETAIL "D"
MARKSCHEFFEL RD.

STREET DETAIL "A"
US HIGHWAY 24

STREET DETAIL "B"
PRO OMNIBUS HT.
NOX ALBUM VIEW
SEMPER SUPRA PT.

Update Sections B, & C by inserting the word "and" between street landscape.

Change from ROW to either AUE or Tract.
Adjust to include the entire section within the easement . Same comment applies to section C

Label lane widths
and street/sidewalk
cross slopes.
Typical for sections B,
C, & D

This requires deviation request from the standard urban non-residential collector cross section.
Same comment applies to Section C

Update callout and identify the standard EPC curb type (EPC Type A)

Kimley»»Horn
2018 KIMLEY-HORN AND ASSOCIATES, INC.
2 NORTH COLORADO AVE., SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

DESIGNED BY: LMS
DRAWN BY: LMS
CHECKED BY: JEH
DATE: XX/XX/20

CROSSROADS NORTH

PRELIMINARY PLAN

PROJECT NO.
096956000

SHEET

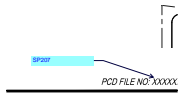
OF

K:\COS_LA\096956000 - Crossroads North\Working\096956000-PP.dwg Salazar, Larry 11/4/2020 10:09 AM

PCD FILE NO: XXXXXXXXXXXX

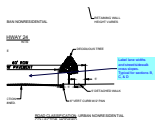
Prelim Plan V_1 redlines.pdf Markup Summary 12-18-2020

dsdlaforce (20)



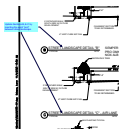
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Page Label: [1] 096956000-PP - COVER
Author: dsdlaforce
Date: 12/14/2020 4:46:24 PM
Status:
Color: ■
Layer:
Space:

SP207



Subject: Callout
Page Label: [5] 096956000-PP - DETAILS
Author: dsdlaforce
Date: 12/14/2020 4:50:04 PM
Status:
Color: ■
Layer:
Space:

Label lane widths
and street/sidewalk cross slopes.
Typical for sections B, C, & D



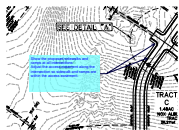
Subject: Callout
Page Label: [5] 096956000-PP - DETAILS
Author: dsdlaforce
Date: 12/15/2020 2:35:14 PM
Status:
Color: ■
Layer:
Space:

Update Sections B, & C by inserting the word "and"
between street landscape.



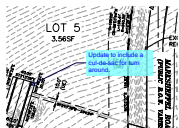
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Page Label: [5] 096956000-PP - DETAILS
Author: dsdlaforce
Date: 12/15/2020 2:36:45 PM
Status:
Color: ■
Layer:
Space:

This requires deviation request from the standard
urban non-residential collector cross section.
Same comment applies to Section C



Subject: Callout
Page Label: [3] 096956000-PP - PRELIMINARY PLAN-2
Author: dsdlaforce
Date: 12/15/2020 2:39:32 PM
Status:
Color: ■
Layer:
Space:

Show the proposed sidewalks and ramps at all
intersections
Adjust the access easement along the intersection
so sidewalk and ramps are within the access
easement.



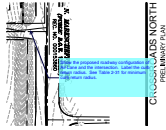
Subject: Callout
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdlaforce
Date: 12/16/2020 5:02:40 PM
Status:
Color: ■
Layer:
Space:

Update to include a cul-de-sac for turn around.



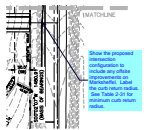
Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdlaforce
Date: 12/16/2020 5:06:49 PM
Status:
Color: ■
Layer:
Space:

Include a preliminary grading plan showing proposed contours. Include slope tags along the road centerline.



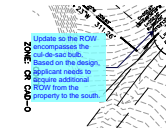
Subject: Callout
Page Label: [3] 096956000-PP - PRELIMINARY PLAN-2
Author: dsdlaforce
Date: 12/16/2020 5:08:15 PM
Status:
Color: ■
Layer:
Space:

Show the proposed roadway configuration of Air Lane and the intersection. Label the curb return radius. See Table 2-31 for minimum curb return radius.



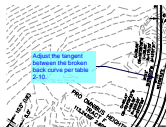
Subject: Callout
Page Label: [3] 096956000-PP - PRELIMINARY PLAN-2
Author: dsdlaforce
Date: 12/16/2020 5:09:15 PM
Status:
Color: ■
Layer:
Space:

Show the proposed intersection configuration to include any offsite improvements on Marksheffel. Label the curb return radius. See Table 2-31 for minimum curb return radius.



Subject: Callout
Page Label: [3] 096956000-PP - PRELIMINARY PLAN-2
Author: dsdlaforce
Date: 12/16/2020 5:11:15 PM
Status:
Color: ■
Layer:
Space:

Update so the ROW encompasses the cul-de-sac bulb. Based on the design, applicant needs to acquire additional ROW from the property to the south.



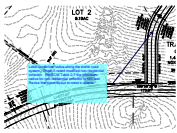
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Page Label: [3] 096956000-PP - PRELIMINARY PLAN-2
Author: dsdlaforce
Date: 12/16/2020 5:13:35 PM
Status:
Color: ■
Layer:
Space:

Adjust the tangent between the broken back curve per table 2-10.



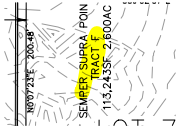
Subject: Text Box
Page Label: [1] 096956000-PP - COVER
Author: dsdlaforce
Date: 12/16/2020 5:21:23 PM
Status:
Color: ■
Layer:
Space:

Add the following notes:
1. There shall be no direct lot access to Marksheffel Road and US Highway 24. {Note: This note may need to be revised to include Air Lane based on comments to the TIS to provide recommendation on Air Lane Road classification.}
2. All streets shown, except for Air Lane, are private and will be owned and maintained by [xxx].

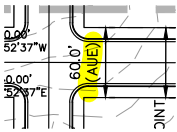


Subject: Callout
Page Label: [3] 096956000-PP - PRELIMINARY PLAN-2
Author: dsdlaforce
Date: 12/16/2020 5:22:26 PM
Status:
Color: ■
Layer:
Space:

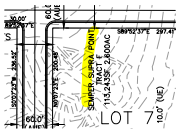
Label centerline radius along the entire road system. Sheet 5 noted modified non-residential collector. Per ECM Table 2-7 the minimum radius for non-residential collector is 565 feet. Revise the street layout to meet a criteria.



Subject: Highlight
Page Label: [3] 096956000-PP - PRELIMINARY PLAN-2
Author: dsdlaforce
Date: 12/16/2020 5:24:49 PM
Status:
Color: ■
Layer:
Space:



Subject: Highlight
Page Label: [3] 096956000-PP - PRELIMINARY PLAN-2
Author: dsdlaforce
Date: 12/16/2020 5:24:50 PM
Status:
Color: ■
Layer:
Space:

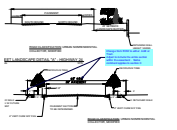


Subject: Highlight
Page Label: [3] 096956000-PP - PRELIMINARY PLAN-2
Author: dsdlaforce
Date: 12/16/2020 5:24:52 PM
Status:
Color: ■
Layer:
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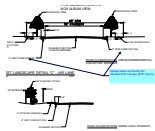
Subject: Callout
Page Label: [3] 096956000-PP - PRELIMINARY PLAN-2
Author: dsdlaforce
Date: 12/16/2020 5:27:06 PM
Status:
Color: ■
Layer:
Space:

This appears contradictory. The roads are both identified as tract and easement.



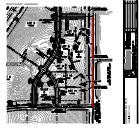
Subject: Callout
Page Label: [5] 096956000-PP - DETAILS
Author: dsdlaforce
Date: 12/16/2020 5:29:08 PM
Status:
Color: ■
Layer:
Space:

Change from ROW to either AUE or Tract. Adjust to include the entire section within the easement . Same comment applies to section C



Subject: Callout
Page Label: [5] 096956000-PP - DETAILS
Author: dsdlaforce
Date: 12/16/2020 5:31:48 PM
Status:
Color: ■
Layer:
Space:

Update callout and identify the standard EPC curb type (EPC Type A)



Subject: Polylength Measurement
Page Label: [3] 096956000-PP - PRELIMINARY PLAN-2
Author: dsdlaforce
Date: 12/16/2020 7:10:53 AM
Status:
Color: ■
Layer:
Space:

1,077'-6"

dsdparsons (47)



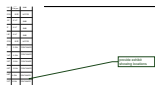
Subject: Callout
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 1:14:32 PM
Status:
Color: ■
Layer:
Space:

state what the these tracts purposed for? are any future development? Tracts shown in Drainage report clearly are not intended for pedestrians to walk about it so its not landscape / openspace and are utility's in the drainage tracts allowed ?



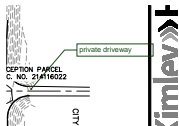
Subject: Callout
Page Label: [5] 096956000-PP - DETAILS
Author: dsdparsons
Date: 12/17/2020 10:55:16 AM
Status:
Color: ■
Layer:
Space:

where is the exhibit showing the street trees?
please provide and verify line of sight/sight triangles are shown....if Developer is installing with development...if you want to enforce standards shown in details



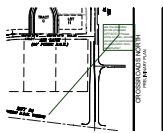
Subject: Callout
Page Label: [4] 096956000-PP - NOTES
Author: dsdparsons
Date: 12/17/2020 10:55:48 AM
Status:
Color: ■
Layer:
Space:

provide exhibit showing locations



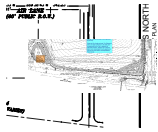
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Page Label: [3] 096956000-PP - PRELIMINARY PLAN-2
Author: dsdparsons
Date: 12/17/2020 10:56:11 AM
Status:
Color: ■
Layer:
Space:

private driveway

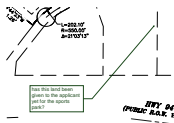


Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 10:59:48 AM
Status:
Color: ■
Layer:
Space:

are the detention ponds proposed OFFSITE?
Please show on plan, provide ownership
permission on application docs, easements?

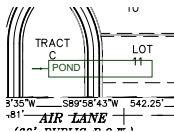


Subject: Image
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:00:07 AM
Status:
Color: ■
Layer:
Space:



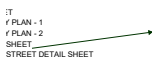
Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:03:31 AM
Status:
Color: ■
Layer:
Space:

has this land been given to the applicant yet for the
sports park?



Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:04:53 AM
Status:
Color: ■
Layer:
Space:

POND



Subject: Arrow
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:08:43 AM
Status:
Color: ■
Layer:
Space:



Subject: Image
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 11:11:11 AM
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Color: ■
Layer:
Space:



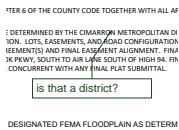
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Page Label: [2] 096956000-PP - PRELIMINARY PLAN
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Date: 12/17/2020 11:11:17 AM
Status:
Color: ■
Layer:
Space:

there are multiple checklist items missing- please add.



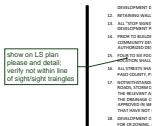
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Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 11:13:50 AM
Status:
Color: ■
Layer:
Space:

All Sheets should have this info for every prelim plan submitted to County at a minimum...



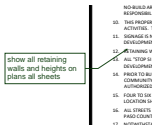
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Date: 12/17/2020 11:18:59 AM
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Color: ■
Layer:
Space:

is that a district?



Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:19:58 AM
Status:
Color: ■
Layer:
Space:

show on LS plan please and detail; verify not within line of sight/sight triangles



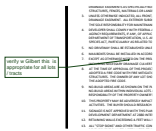
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Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:20:44 AM
Status:
Color: ■
Layer:
Space:

show all retaining walls and heights on plans all sheets



Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:21:16 AM
Status:
Color: ■
Layer:
Space:

identify them on plan



Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:22:26 AM
Status:
Color: ■
Layer:
Space:

verify w Gilbert this is appropriate for all lots / tracts



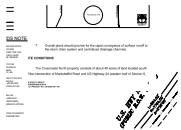
Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:22:42 AM
Status:
Color: ■
Layer:
Space:

verify correct



Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:23:27 AM
Status:
Color: ■
Layer:
Space:

name of report prepared by



Subject: Image
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:46:00 AM
Status:
Color: ■
Layer:
Space:



Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:46:45 AM
Status:
Color: ■
Layer:
Space:

where are these channels or tracts easements on prelim plan as recommended in GEO report?



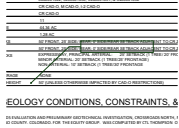
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Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:47:21 AM
Status:
Color: ■
Layer:
Space:

this section needs to be reevaluated based on report...



Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 12:35:17 PM
Status:
Color: ■
Layer:
Space:

how is this not considered a constraint in the GEO report, and why is it not mapped as required.



Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 12:38:50 PM
Status:
Color: ■
Layer:
Space:

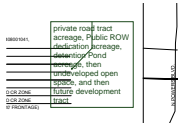


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Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 12:39:08 PM
Status:
Color: ■
Layer:
Space:



Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 12:39:23 PM
Status:
Color: ■
Layer:
Space:

delete this



Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 12:43:18 PM
Status:
Color: ■
Layer:
Space:

private road tract acreage, Public ROW dedication acreage, detention Pond acreage, then undeveloped open space, and then future development tract

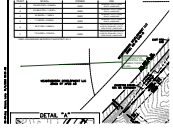


Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 12:44:07 PM
Status:
Color: ■
Layer:
Space:

see checklist requirements....



Subject: Image
Page Label: [3] 096956000-PP - PRELIMINARY PLAN-2
Author: dsdparsons
Date: 12/17/2020 12:45:27 PM
Status:
Color: ■
Layer:
Space:



Subject: Callout
Page Label: [3] 096956000-PP - PRELIMINARY PLAN-2
Author: dsdparsons
Date: 12/17/2020 12:46:47 PM
Status:
Color: ■
Layer:
Space:

PROPOSED PUD RESIDENTIAL FLIE NUMBER
PUDSP 20-008



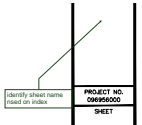
Subject: Callout
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 12:49:43 PM
Status:
Color: ■
Layer:
Space:

what tract is this? all tracts and lots must have a closed boundary , distance , bearings, SF, shall be shown for each. put label in side so we know which segment is which please..



Subject: Callout
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 12:50:38 PM
Status:
Color: ■
Layer:
Space:

where is the lot line? Please dark and distinguish lot, & Tract Lines



Subject: Callout
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 12:51:14 PM
Status:
Color: ■
Layer:
Space:

identify sheet name used on index

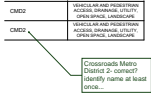


Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 12:51:39 PM
Status:
Color: ■
Layer:
Space:

shrink? provide match lines if this a key map



Subject: Image
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 12:52:10 PM
Status:
Color: ■
Layer:
Space:



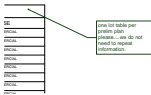
Subject: Callout
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 9:42:25 AM
Status:
Color: ■
Layer:
Space:

Crossroads Metro District 2- correct? identify name at least once...



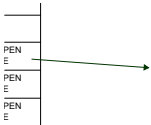
Subject: Callout
Page Label: [3] 096956000-PP - PRELIMINARY PLAN-2
Author: dsdparsons
Date: 12/17/2020 9:45:06 AM
Status:
Color: ■
Layer:
Space:

one tract table per prelim plan please see comments on other page.

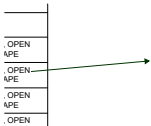


Subject: Callout
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 9:45:35 AM
Status:
Color: ■
Layer:
Space:

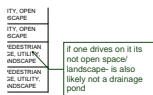
one lot table per prelim plan please....we do not need to repeat information.



Subject: Arrow
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 9:46:28 AM
Status:
Color: ■
Layer:
Space:

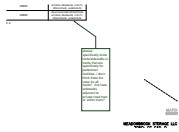


Subject: Arrow
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 9:46:33 AM
Status:
Color: ■
Layer:
Space:



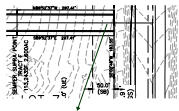
Subject: Callout
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 9:47:35 AM
Status:
Color: ■
Layer:
Space:

if one drives on it its not open space/ landscape- is also likely not a drainage pond



Subject: Callout
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 9:52:55 AM
Status:
Color: ■
Layer:
Space:

please specifically show trails/sidewalks in tracts that are specifically for pedestrian facilities- i don't think thats the case for all tracts? Are here sidewalks adjacent to private road tract or within them?

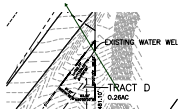


Subject: Arrow
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 9:54:50 AM
Status:
Color: ■
Layer:
Space:

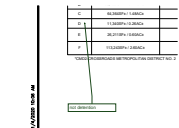


Subject: Callout
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 9:57:38 AM
Status:
Color: ■
Layer:
Space:

what is this for- its not detention based on GEC plan? Is there 2 tracts? I can't see boundary lines or lot lines?



Subject: Arrow
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 9:57:41 AM
Status:
Color: ■
Layer:
Space:



Subject: Callout
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 9:58:08 AM
Status:
Color: ■
Layer:
Space:

not detention

TABLE 1.1 - SUMMARY		
ITEM	DESCRIPTION	UNIT
1	ARROW	EA
2	ARROW	EA
3	ARROW	EA
4	ARROW	EA
5	ARROW	EA
6	ARROW	EA
7	ARROW	EA
8	ARROW	EA
9	ARROW	EA
10	ARROW	EA

Subject: Arrow
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 9:58:12 AM
Status:
Color: ■
Layer:
Space: