

CROSSROADS NORTH PRELIMINARY PLAN

LOCATED IN THE EAST 1/2 OF SECTION 8, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO

LEGAL DESCRIPTION:

A PORTION OF LOTS 7, 12, 13, 14, 15, 16, 17, 18, 19, AND 20, HILLCREST ACRES RECORDED MAY 12, 1960, IN PLAT BOOK B-2, PAGE 64 IN THE RECORD OF EL PASO COUNTY, COLORADO EXCEPT THOSE PARCELS OF LAND AS DESCRIBED IN THE FOLLOWING RECEPTION NUMBERS: 204068322, 202058754, 214119767, 214119796, 214116022, AND 214116021 RECORDED IN THE OFFICIAL PUBLIC RECORDS OF EL PASO COUNTY, COLORADO.

PRELIMINARY PLAN NOTES

- THE FOLLOWING REPORTS HAVE BEEN SUBMITTED IN ASSOCIATION WITH THE PRELIMINARY PLAN FOR THIS SUBDIVISION AND ARE ON FILE AT THE COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT: TRANSPORTATION IMPACT STUDY; DRAINAGE REPORT; WATER RESOURCES REPORT; WASTEWATER DISPOSAL REPORT; GEOLOGY AND SOILS REPORT; FIRE PROTECTION REPORT; NATURAL FEATURES REPORT.
- ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAN SHALL BE MAINTAINED BY THE LOT OWNERS UNLESS OTHERWISE INDICATED. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OR RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.
- UNLESS OTHERWISE INDICATED, ALL FRONT, SIDE AND REAR LOT LINES ARE HEREBY PLATTED ON EITHER SIDE WITH A 10 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT. ALL EXTERIOR SUBDIVISION BOUNDARIES ARE HEREBY PLATTED WITH A 10 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT. THE SOLE RESPONSIBILITY FOR MAINTENANCE OF THESE EASEMENTS IS HEREBY VESTED WITH THE INDIVIDUAL PROPERTY OWNERS.
- DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEW AND PERMIT REQUIREMENTS, AND OTHER AGENCY REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO DIVISION OF WILDLIFE, COLORADO DEPARTMENT OF TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS, AND THE U.S. FISH AND WILDLIFE SERVICE REGARDING THE ENDANGERED SPECIES ACT, PARTICULARLY AS RELATED TO THE LISTED SPECIES IDENTIFIED IN THE PROJECTS ENVIRONMENTAL ASSESSMENT.
- NO DRIVEWAY SHALL BE ESTABLISHED UNLESS AN ACCESS PERMIT HAS BEEN GRANTED BY EL PASO COUNTY.
- MAILBOXES SHALL BE INSTALLED IN ACCORDANCE WITH EL PASO COUNTY AND US POSTAL SERVICE REGULATIONS.
- EXCEPT AS OTHERWISE NOTED ON THE PRELIMINARY PLAN, INDIVIDUAL LOT PURCHASERS ARE RESPONSIBLE FOR CONSTRUCTING DRIVEWAYS, INCLUDING NECESSARY DRAINAGE CULVERTS PER LAND DEVELOPMENT CODE SECTION 6.3.C.2 AND 6.2.2.C.3.
- AT THE TIME OF APPROVAL OF THIS PROJECT, THIS PROPERTY IS LOCATED WITHIN THE CIMARRON HILLS FIRE PROTECTION DISTRICT, WHICH HAS ADOPTED A FIRE CODE WITH FIRE MITIGATION REQUIREMENTS DEPENDING UPON THE LEVEL OF FIRE RISK ASSOCIATED WITH THE PROPERTY AND STRUCTURES. THE OWNER OF ANY LOT SHOULD CONTACT THE FIRE DISTRICT TO DETERMINE THE EXACT DEVELOPMENT REQUIREMENTS RELATIVE TO THE ADOPTED FIRE CODE.
- NO-BUILD AREAS ARE AS SHOWN ON THE PLANS. NO-BUILD AREAS INCLUDE, BUT ARE NOT LIMITED TO, WITHIN DESIGNATED DRAINAGE EASEMENTS, NO-BUILD AREAS WITHIN INDIVIDUAL LOTS ARE THE RESPONSIBILITY OF THE PROPERTY OWNER. ALL OTHER NO-BUILD AREAS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER'S ASSOCIATION.
- THIS PROPERTY MAY BE ADVERSELY IMPACTED BY NOISE, DUST, FUMES, AND LIGHT POLLUTION CAUSED BY ADJACENT INDUSTRIAL PROPERTIES AND ACTIVITIES. THE BUYER SHOULD RESEARCH AND BE AWARE OF THE POTENTIALITY AND THE RAMIFICATIONS THEREOF.
- SIGNAGE IS NOT APPROVED WITH THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT AT 2880 INTERNATIONAL CIRCLE FOR A SIGN PLAN APPLICATION.
- RETAINING WALLS EXCEEDING 4 FEET WILL NEED TO BE STRUCTURALLY ENGINEERED.
- ALL "STOP SIGNS" AND OTHER TRAFFIC CONTROL SIGNAGE SHALL BE INSTALLED BY THE DEVELOPER AT LOCATIONS SHOWN ON THE SITE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS.
- PRIOR TO BUILDING PERMIT APPROVAL, A FINAL SUBDIVISION PLAT SHALL BE SUBMITTED FOR REVIEW BY THE EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT, AND APPROVAL BY THE BOARD OF COUNTY COMMISSIONERS, OR DESIGNEE MUST BE RECORDED, OR AUTHORIZED DESIGNEE, AND THE PLAT SHALL BE RECORDED.
- FOUR TO SIX FOOT TALL DECORATIVE FENCE WILL BE CONSTRUCTED ALONG THE PERIMETER OF THE AREA OF DEVELOPMENT. THE MATERIAL AND LOCATION SHALL BE PROVIDED WITH THE SITE DEVELOPMENT PLAN.
- ALL STREETS SHALL BE NAMED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS AND ANY APPROVED DEVIATIONS. UPON ACCEPTANCE BY EL PASO COUNTY, PUBLIC STREETS SHALL BE MAINTAINED BY THE COUNTY.
- NOTWITHSTANDING ANYTHING DEPICTED IN THIS PLAN IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE (LDC), THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL (DCM), AND DCM VOLUME 2. ANY DEVIATIONS FROM THESE STANDARDS MUST BE SPECIFICALLY REQUESTED AND APPROVED IN WRITING TO BE ACCEPTABLE. THE APPROVAL OF THIS PRELIMINARY PLAN DOES NOT IMPLICITLY ALLOW ANY DEVIATIONS OR WAIVERS THAT HAVE NOT BEEN OTHERWISE APPROVED THROUGH THE DEVIATION APPROVAL PROCESS.
- DEVELOPMENT OF THE PROPERTY WILL BE IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE EL PASO COUNTY LAND DEVELOPMENT CODE FOR CR ZONING, AND THE COMMERCIAL AVIATION DISTRICT OVERLAY (CAD-O).
- THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAPS NUMBERED 19841005767, DATED DECEMBER 7, 2016, THE LIMITS OF WHICH ARE SHOWN ON THE SURVEY. AREAS WITHIN THE FLOODPLAIN ARE ZONE A.E. AREAS OUTSIDE THE FLOODPLAIN ARE ZONE X.
- WATER AND WASTEWATER SERVICES FOR THIS SUBDIVISION WILL BE PROVIDED BY THE CHEROKEE METROPOLITAN DISTRICT (CHEROKEE) SUBJECT TO THE DISTRICT'S RULES, REGULATIONS AND SPECIFICATIONS. THE OFFICE OF THE STATE ENGINEER HAS ISSUED AN OPINION OF WATER INADEQUACY BASED ON ITS ANALYSIS AND INTERPRETATION OF A STIPULATED AGREEMENT CONCERNING THE AVAILABILITY OF CERTAIN WATER RIGHTS FOR USE OUTSIDE OF THE UPPER BLACK SQUIRREL CREEK DESIGNATED BASIN, AND THUS FOUND INSUFFICIENCY OF WATER RESOURCES FOR THIS SUBDIVISION BASED ON THAT AGREEMENT. THIS INTERPRETATION DIFFERS FROM CERTAIN OPINIONS ISSUED BY THE OFFICE IN THE PAST, BASED ON ITS OWN REVIEW OF THE STIPULATED AGREEMENT AND ITS HISTORY (AND NOT THE AMOUNT OF WATER ACTUALLY AVAILABLE) THE BOARD OF COUNTY COMMISSIONERS IN AN OPEN AND PUBLIC HEARING DID NOT ACCEPT THE INTERPRETATION OF THE STATE ENGINEER'S OFFICE. THE BOARD OF COUNTY COMMISSIONERS FOUND THAT CHEROKEE HAS COMMITTED TO PROVIDE WATER SERVICE TO THE SUBDIVISION AND ASSERTED THAT ITS LONG TERM WATER SERVICE CAPABILITIES ARE SUFFICIENT. THE BOARD OF COUNTY COMMISSIONERS MADE THIS DETERMINATION IN RELIANCE UPON THE TESTIMONY AND EXPERTISE PROVIDED BY CHEROKEE AT THE PUBLIC HEARINGS THEREON. AT THE HEARING, CHEROKEE ASSERTED THAT ITS PLANS AND CONTINUED FINANCIAL INVESTMENT IN INFRASTRUCTURE ARE DESIGNED TO ALLOW CHEROKEE TO CONTINUE TO PROVIDE THIS SUBDIVISION AND ITS EXISTING CUSTOMERS WITH WATER AND WASTEWATER SERVICES FOR 300 YEARS OR MORE.
- THE PROPERTY IS LOCATED IN THE AIRPORT OVERLAY ZONE. THIS SERVES AS NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACTS ON THIS PROPERTY DUE TO ITS CLOSE PROXIMITY TO AN AIRPORT, WHICH IS BEING DISCLOSED TO ALL PROSPECTIVE PURCHASERS CONSIDERING THE USE OF THIS PROPERTY FOR RESIDENTIAL AND OTHER PURPOSES. THIS PROPERTY IS SUBJECT TO THE OVERFLIGHT AND ASSOCIATED NOISE OF ARRIVING AND DEPARTING AIRCRAFT DURING THE COURSE OF NORMAL AIRPORT OPERATIONS. ALL PROPERTY WITHIN THIS SUBDIVISION IS SUBJECT TO AN AVIGATION EASEMENT AS RECORDED IN BOOK 2478 AT PAGE 304, OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER.
- A 30 DB(A) INDOOR NOISE REDUCTION SHALL BE ACHIEVED BY APPROVED CONSTRUCTION TECHNIQUES AS EVIDENCED BY A NOISE REDUCTION CERTIFICATE PRIOR TO SITE DEVELOPMENT PLAN APPROVAL.
- ALL PROPERTY WITHIN THIS SUBDIVISION WILL BE SUBJECT TO A RECIPROCAL ACCESS/PARKING AGREEMENT AS RECORDED AT RECEPTION NO. [REDACTED] OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER, WHICH SHALL BE DEDICATED BY THE SUBSEQUENT PLAT OR BY SEPARATE INSTRUMENT PRIOR TO SUBMITTAL AND APPROVAL OF THE FINAL PLAT.
- A TITLE 32 SPECIAL DISTRICT ANNUAL REPORT AND DISCLOSURE FORM SATISFACTORY TO THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE RECORDED WITH EACH PLAT
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OR DESIGNATED ENTITY APPROVED BY THE BOARD OF COUNTY COMMISSIONERS (BOCC).
- LANDSCAPING SHALL CONFORM TO THE REQUIREMENTS OF CHAPTER 6 OF THE COUNTY CODE TOGETHER WITH ALL APPLICABLE CONDITIONS OF APPROVAL IMPOSED BY THE BOCC.
- FINAL LOCATION OF PROPOSED WATER EASEMENT HAS YET TO BE DETERMINED BY THE CIMARRON METROPOLITAN DISTRICT. CROSSROADS METRO DISTRICT NO. 2, AND COLORADO DEPARTMENT OF TRANSPORTATION. LOTS, EASEMENTS, AND ROAD CONFIGURATIONS AND ALIGNMENTS MAY BE SUBJECT TO MINOR CHANGES IN ORDER TO REFLECT FUTURE AGREEMENT(S) AND FINAL EASEMENT ALIGNMENT. FINAL LOCATIONS WILL PROVIDE FOR THE OVERALL REQUIRED WATER LOOP FROM MEADOWBROOK PKWY. SOUTH TO AIR LANE SOUTH OF HWY 94. FINAL LOCATIONS OF REQUIRED EASEMENTS AND UTILITY LINES SHALL BE PROVIDED PRIOR TO OR CONCURRENT WITH ANY FINAL PLAT SUBMITTAL.

FLOODPLAIN NOTES:

- PORTIONS OF THIS PROPERTY ARE LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBER 19841005767, EFFECTIVE DATE: DECEMBER 7, 2016, AND MODIFIED PER LOMR CASE NO. 19-08-0605P.
- THE JIMMY CAMP CREEK EAST TRIBUTARY IS TO BE DEDICATED TO, OWNED AND MAINTAINED BY THE LORSON RANCH METROPOLITAN DISTRICT NO. 1. JIMMY CAMP CREEK EAST TRIBUTARY CHANNEL IMPROVEMENTS TO BE COMPLETED BY THE DEVELOPER/OWNER AS REQUIRED.

PROJECT TEAM:

OWNER/DEVELOPER:
CROSSROADS METROPOLITAN DISTRICT NO. 2
C/O THE EQUITY GROUP
ATTN: DANNY MIENKA
90 SOUTH CASCADE AVENUE, SUITE 1500
COLORADO SPRINGS, CO 80903

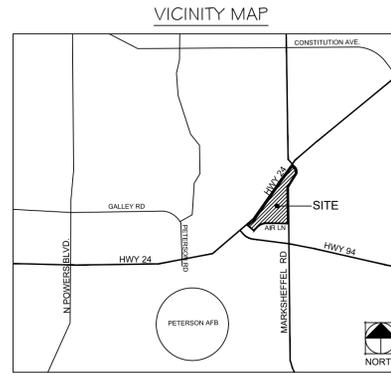
PLANNERS/LANDSCAPE ARCH:
KIMLEY-HORN
2 NORTH NEVADA AVENUE
SUITE 300
COLORADO SPRINGS, CO 80903

CIVIL ENGINEER:
MS CIVIL CONSULTANTS, INC.
102 PIKES PEAK AVENUE
5TH FLOOR
COLORADO SPRINGS, CO 80903

SHEET INDEX:

01	COVER SHEET
02	PRELIMINARY PLAN - 1
03	PRELIMINARY PLAN - 2
04	LANDSCAPE SHEET
05	LANDSCAPE STREET DETAIL SHEET

Include a preliminary grading plan showing proposed contours. Include slope tags along the road centerline.



SITE DATA TABLE:

TAX ID NUMBERS	5408001008, 5408001029, 5408001032, 5408001033, 5408001034, 5408001041, 5408001042, 5408001050, 5408001051, & 5408001052
CURRENT ZONING:	CR CAD-O, M CAD-O, I-2 CAD-O
PROPOSED ZONING:	CR CAD-O
PROPOSED LOTS:	11
TOTAL SITE ACREAGE:	44.34 AC
MINIMUM LOT SIZE:	1.28 AC
FRONT SETBACKS	25' FRONT, 25' SIDE/REAR, 0' SIDE/REAR SETBACK ADJACENT TO CR ZONE
LOT SETBACKS	50' FRONT, 25' SIDE/REAR, 0' SIDE/REAR SETBACK ADJACENT TO CR ZONE
LANDSCAPE SETBACKS	EXPRESSWAY, PRINCIPAL ARTERIAL: 25' SETBACK (1 TREE/25' FRONTAGE) MINOR ARTERIAL: 20' SETBACK (1 TREE/25' FRONTAGE) NON-ARTERIAL: 10' SETBACK (1 TREE/30' FRONTAGE)
MAXIMUM LOT COVERAGE	NONE
MAXIMUM BUILDING HEIGHT	30' (UNLESS OTHERWISE IMPACTED BY CAD-O RESTRICTIONS)

SOILS & GEOLOGY CONDITIONS, CONSTRAINTS, & HAZARDS NOTED

- A GEOLOGIC HAZARDS EVALUATION AND PRELIMINARY GEOTECHNICAL INVESTIGATION, CROSSROADS NORTH, MARKSHEFFEL ROAD AND STATE HIGHWAY 24, EL PASO COUNTY, COLORADO, FOR THE EQUITY GROUP, WAS COMPLETED BY C.T. THOMPSON ON OCTOBER 6, 2020 AND INCLUDED THE AREA OF DEVELOPMENT PROPOSED WITH THE CROSSROADS NORTH DEVELOPMENT. THE GEOLOGY AND SOILS REPORT FOR THE CROSSROADS NORTH DEVELOPMENT WAS PROVIDED AS PART OF THE CROSSROADS NORTH PRELIMINARY PLAN SUBMITTED TO THE EL PASO BOARD OF COUNTY COMMISSIONERS, PLANNING AND COMMUNITY DEVELOPMENT FILE NUMBER (TBD). DEVELOPERS AND HOME OWNERS SHOULD BECOME FAMILIAR WITH THIS REPORT AND ITS CONTENTS. **
- THERE ARE NO SIGNIFICANT GEOLOGICAL HAZARDS, HOWEVER, THE POTENTIAL FOR GEOLOGIC CONSTRAINTS DO EXIST RELATED TO THE POTENTIAL FOR SHALLOW GROUNDWATER TABLES, EXPANSIVE CLAY OR CLAYEY SANDSTONE, ERODIBLE SANDY SOILS. THESE GEOLOGICAL CONDITIONS ARE CONSIDERED RELATIVELY COMMON TO THE AREA WITH MITIGATION ACCOMPLISHED BY IMPLEMENTING COMMON ENGINEERING AND CONSTRUCTION PRACTICES. IF THE PREVIOUSLY LISTED POTENTIAL GEOLOGICAL HAZARDS ARE FOUND TO EXIST, AN EVALUATION SHALL BE PERFORMED AT THE TIME OF FINAL GEOTECHNICAL INVESTIGATION FOR THOSE INDIVIDUAL LOTS. WE DID NOT IDENTIFY GEOLOGIC HAZARDS THAT WE BELIEVE PRELUDED DEVELOPMENT OF THE SITE. THE CONDITIONS IDENTIFIED AT THE SITE THAT MAY POSE CONSTRAINTS TO DEVELOPMENT INCLUDED THE PRESENCE OF POTENTIALLY HYDRO-COMPACTIVE SOILS, EXISTING FILL STOCKPILES, AND EROSION. REGIONAL GEOLOGIC CONDITIONS THAT IMPACT THE SITE INCLUDE SEISMICITY AND RADIOACTIVITY. WE BELIEVE EACH OF THESE CONDITIONS CAN BE MITIGATED WITH ENGINEERING DESIGN AND CONSTRUCTION METHODS COMMONLY EMPLOYED IN THIS AREA. THESE CONDITIONS ARE DISCUSSED IN GREATER DETAIL IN THE SECTIONS THAT FOLLOW. **
- CONVENTIONAL SPREAD FOOTINGS AND MAT FOUNDATIONS UNDERLAIN BY THE ON-SITE, NATURAL SANDS AND GRADING FILL WILL BE APPROPRIATE FOR LIGHTLY TO MODERATELY-LOADED BUILDINGS AT THE SITE. MODERATELY TO MORE HEAVILY-LOADED STRUCTURES MAY REQUIRE MODIFICATION OF THE NEAR-SURFACE AND SOILS (SUB-EXCAVATION AND DENSE COMPACTION UNDER CONTROLLED CONDITIONS). PRIOR TO CONSTRUCTION OF FOOTING FOUNDATIONS, A DEEP FOUNDATION SUCH AS DRILLED BEDROCK PIERS MAY BE AN APPROPRIATE OPTION FOR HEAVILY-LOADED STRUCTURES, IF THE BEDROCK FORMATION IS ENCOUNTERED AS A REASONABLE DEPTH. **
- SITE-SPECIFIC SOIL STUDIES SHALL BE PERFORMED FOR THE LOTS WITHIN THIS SUBDIVISION PRIOR TO FOUNDATION CONSTRUCTION TO IDENTIFY SUBSURFACE SOIL CONDITIONS ANTICIPATED TO SUPPORT FOUNDATIONS AND PROVIDE PERTINENT GEOTECHNICAL-RELATED PARAMETERS AND RECOMMENDATIONS FOR FOUNDATION DESIGN AND CONSTRUCTION. **

**REFER TO THE SOILS REPORT FOR MORE DETAILED INFORMATION.

ITE CONDITIONS

The Crossroads North property consists of about 40 acres of land located south of the intersection of Marksheffel Road and US Highway 24 (eastern half of Section 8, T14S, R65W).

where are these channels or tracts easements on prelim plan as recommended in GEO report?

Add the following notes:
1. There shall be no direct lot access to Marksheffel Road and US Highway 24. (Note: This note may need to be revised to include Air Lane based on comments to the TIS to provide recommendation on Air Lane Road classification.)
2. All streets shown, except for Air Lane, are private and will be owned and maintained by [xxx].

how is this not considered a constraint in the GEO report, and why is it not mapped as required.

see checklist requirements....

verify w Gilbert this is appropriate for all lots / tracts

identify them on plan

show all retaining walls and heights on plans all sheets

show on LS plan please and detail; verify not within line of sight/sight triangles

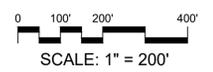
name of report prepared by

shrink? provide match lines if this a key map

are the detention ponds proposed OFFSITE? Please show on plan, provide ownership permission on application docs, easements?

has this land been given to the applicant yet for the sports park?

is that a district?



SP207

PCD FILE NO: XXXXXXXXXX

Kimley-Horn
ASSOCIATES, INC.
2018 KIMLEY-HORN AND ASSOCIATES, INC.
100 NORTH NEVADA AVE., SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

DESIGNED BY: LMS
DRAWN BY: LMS
CHECKED BY: JEH
DATE: XX/XX/20

PROJECT NO. 096956000
SHEET OF

REVISION: _____ BY: _____ DATE: _____

CROSSROADS NORTH PRELIMINARY PLAN

LOCATED IN THE EAST 1/2 OF SECTION 8, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO

LOT TABLE		
LOT NO.	SF/AC±	USE
1	197,834.40SF± / 4.54AC±	COMMERCIAL
2	400,274SF± / 9.19AC±	COMMERCIAL
3	339,627SF± / 7.80AC±	COMMERCIAL
4	76,255SF± / 1.75AC±	COMMERCIAL
5	154,848SF± / 3.56AC±	COMMERCIAL
6	82,164SF± / 1.89AC±	COMMERCIAL
7	58,100SF± / 1.33AC±	COMMERCIAL
8	47,705SF± / 1.10AC±	COMMERCIAL
9	49,200SF± / 1.13AC±	COMMERCIAL
10	56,686SF± / 1.30AC±	COMMERCIAL
11	65,088SF± / 1.49AC±	COMMERCIAL

one lot table per prelim plan please....we do not need to repeat information.

TRACT TABLE			
TRACT	SF/AC±	OWNER	USE
A	124,528.21SF± / 2.86AC±	CMD2	DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE
B	63,469.91SF± / 1.46AC±	CMD2	DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE
C	64,364SF± / 1.48AC±	CMD2	DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE
D	11,340SF± / 0.26AC±	CMD2	DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE
E	26,211SF± / 0.60AC±	CMD2	VEHICULAR AND PEDESTRIAN ACCESS, DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE
F	113,243SF± / 2.60AC±	CMD2	VEHICULAR AND PEDESTRIAN ACCESS, DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE

state what the these tracts purposed for? are any future development? Tracts shown in Drainage report clearly are not intended for pedestrians to walk about it so its not landscape / openspace and are utility's in the drainage tracts allowed ?

if one drives on it its not open space/ landscape- is also likely not a drainage pond

*CMD2-CROSSROADS METROPOLITAN DISTRICT NO. 2

- Scale Adequate to represent the information (1"=200' preferred)
- Size Maximum Size forty-two (42') on one side
- Contours One acre or less lot size two foot contours (2')
Larger than one acre five foot contours (5')
Accuracy to be no less than 1/4 contour interval
Mountainous Topography-High Relief twenty foot contours (20')
Contours extended no less than 100' onto adjacent property?
- General Information Required on Plan
- Subdivision Name
- General Legal Description by 1/4 Section, Section, Township, Range
- Legal includes approximate survey tie to an accepted survey monument?
- Name & address of person/corporation/organization preparing preliminary plan
- Name & address of subdivider
- Name & address of property owners, within, surrounded by, and adjacent to the subdivision including identification of all platted subdivisions by name
- Date of preparation, north point, written and graphic scale
- Vicinity map to locate tract - map to show relationship to existing major thoroughfares
- Boundary lines of the subdivision showing approximate length of lines
- Approximate location, length, width, surfacing, functional classification, and names of existing and proposed maintained and dedicated public and private streets
- Approximate length of street centerlines, radii of curves, centerline grades, and type of curb, gutter and sidewalk
- Approximate location, length, width and use of all existing and proposed easements, utility rights of way, major utility facilities, intersection, bridges, culverts, and drainage ways. Indicate underground facilities
- Approximate location, length, width and type of all non-thoroughfare transportation

Crossroads Metro District 2- correct? identify name at least once...

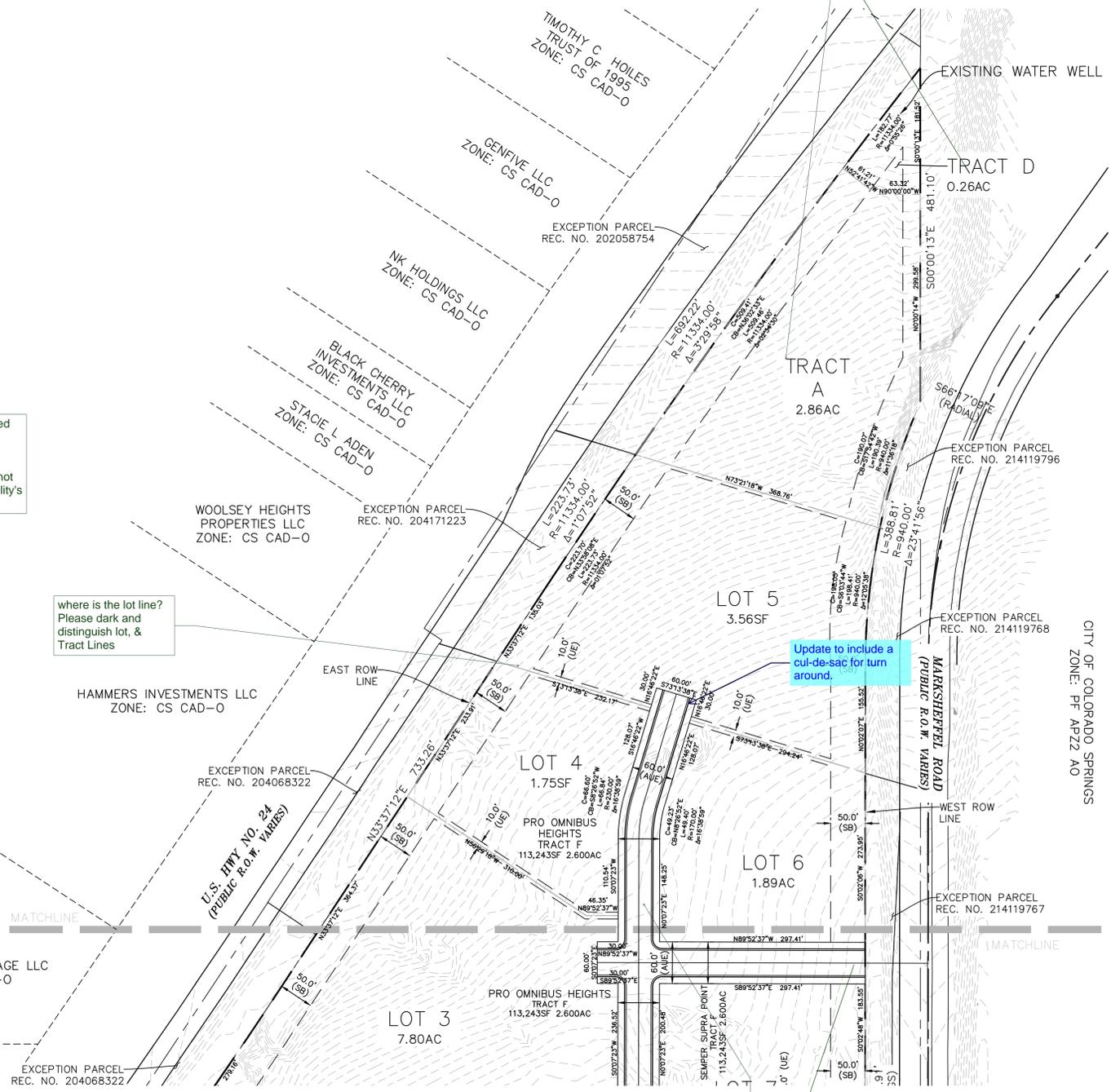
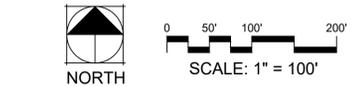
please specifically show trails/sidewalks in tracts that are specifically for pedestrian facilities- i don't think thats the case for all tracts? Are here sidewalks adjacent to private road tract or within them?

there are multiple checklist items missing- please add.

- links (e.g. paths, bikeways, trails, PRT, guideways, railroads, etc.)
- Approximate layout, dimensions, angles, land use, and acreage or square footage of each lot
- The approximate location of land to be conveyed or reserved in deeds for the use of all property owners, residents, or the general public and the proposed methods of dedication and maintenance of such lands; to include but not be limited to: parks, open space, public streets and thoroughfares, bikeways, paths, trails, schools and school sites, public utilities, and community and social service facilities
- If fees are to be paid in lieu of land, the approximate amount of such fees and the concurrence of the parties involved are to be shown
- Notes to indicate disposition, maintenance responsibility, and service responsibility (suppliers) for water and sanitation, energy supplies, common areas, and other services and areas which will serve the community must be shown
- Approximate location of existing and proposed structures
- Approximate location of:
 - (1) Watercourses, existing bodies of water, and other water features
 - (2) Sites of historic or archaeological significance as inventoried in the El Paso County Historic Preservation Plan
 - (3) Identified and inventoried sites of natural or scenic importance

- (AUE) ACCESS & UTILITY EASEMENT
- (UE) UTILITY EASEMENT
- (SB) SETBACK LINE
- (LS) LANDSCAPE SETBACK

All Sheets should have this info for every prelim plan submitted to County at a minimum...



what tract is this? all tracts and lots must have a closed boundary, distance, bearings, SF, shall be shown for each. put label in side so we know which segment is which please..

identify sheet name used on index

DESIGNED BY: LMS
PROJECT NO. 096956000

DRAWN BY: LMS
SHEET

CHECKED BY: JEH
OF

DATE: XX/XX/20
PCD FILE NO: XXXXXXXXXX

Kimley»Horn
2018 KIMLEY-HORN AND ASSOCIATES, INC.
600 NORTH NEWHOPE AVE., SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

CROSSROADS NORTH
PRELIMINARY PLAN

REVISION NO. BY DATE APPR.

K:\COS_LA\096956000 - Crossroads North Working\096956000-PP.dwg Salazar, Larry 11/4/2020 10:06 AM

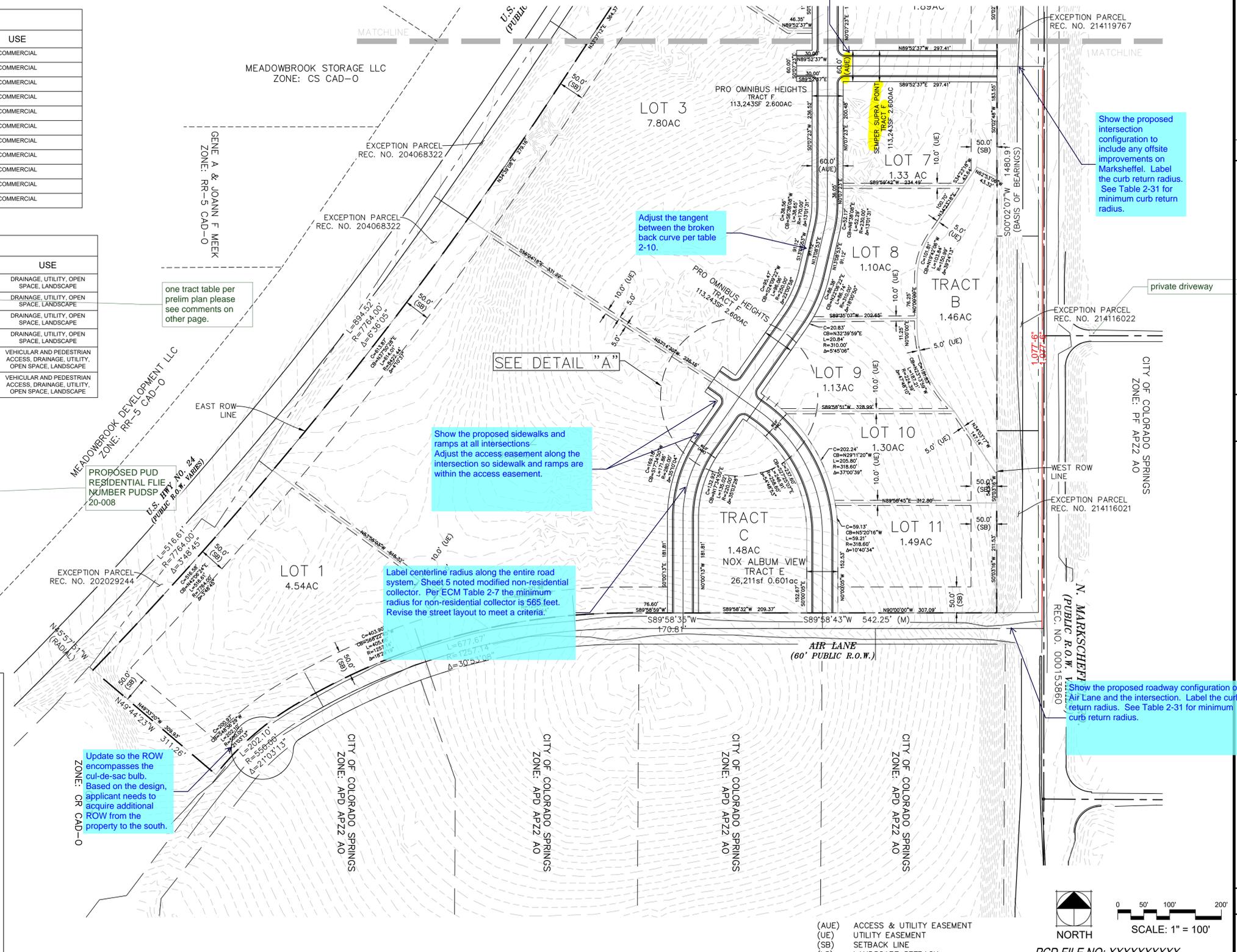
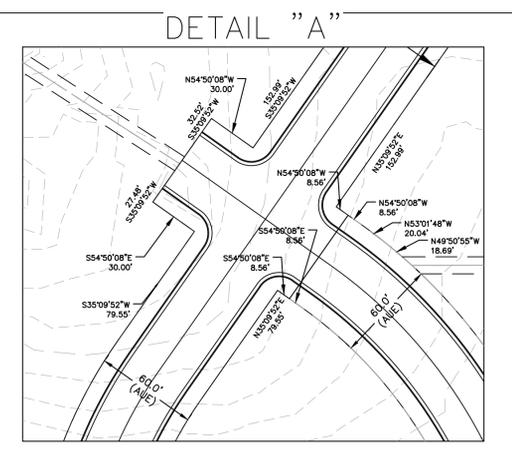
CROSSROADS NORTH PRELIMINARY PLAN

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7	58,100.5SF± / 1.33AC±	COMMERCIAL
8	47,705.5SF± / 1.10AC±	COMMERCIAL
9	49,200.5SF± / 1.13AC±	COMMERCIAL
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TRACT TABLE			
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E	26,211.5SF± / 0.60AC±	CMD2	VEHICULAR AND PEDESTRIAN ACCESS, DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE
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*CMD2-CROSSROADS METROPOLITAN DISTRICT NO. 2



This appears contradictory. The roads are both identified as tract and easement.

Show the proposed intersection configuration to include any offsite improvements on Marksheffel. Label the curb return radius. See Table 2-31 for minimum curb return radius.

Adjust the tangent between the broken back curve per table 2-10.

one tract table per prelim plan please see comments on other page.

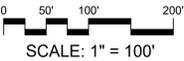
Show the proposed sidewalks and ramps at all intersections. Adjust the access easement along the intersection so sidewalk and ramps are within the access easement.

Label centerline radius along the entire road system. Sheet 5 noted modified non-residential collector. Per ECM Table 2-7 the minimum radius for non-residential collector is 565 feet. Revise the street layout to meet a criteria.

Update so the ROW encompasses the cul-de-sac bulb. Based on the design, applicant needs to acquire additional ROW from the property to the south.

Show the proposed roadway configuration of Air Lane and the intersection. Label the curb return radius. See Table 2-31 for minimum curb return radius.

- (AUE) ACCESS & UTILITY EASEMENT
- (UE) UTILITY EASEMENT
- (SB) SETBACK LINE
- (LS) LANDSCAPE SETBACK



SCALE: 1" = 100'

Kimley»Horn

2018 KIMLEY-HORN AND ASSOCIATES, INC.
 100 NORTH NEWHOPE AVE., SUITE 300
 COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

CROSSROADS NORTH
PRELIMINARY PLAN

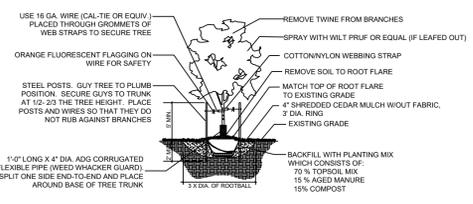
PROJECT NO. 096956000
 SHEET _____ OF _____
 DESIGNED BY: LMS
 DRAWN BY: LMS
 CHECKED BY: JEH
 DATE: XX/XX/20

REVISION NO. _____
 BY _____ DATE _____
 APPR. _____

K:\COS_LA\096956000 - Crossroads North\Working\096956000-PP.dwg

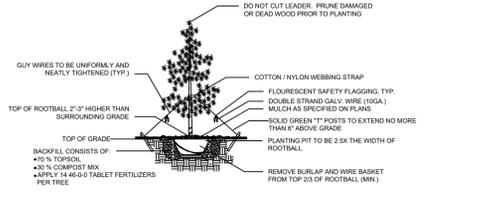
CROSSROADS NORTH PRELIMINARY PLAN / LANDSCAPE STANDARDS

LOCATED IN THE EAST 1/2 OF SECTION 8, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO

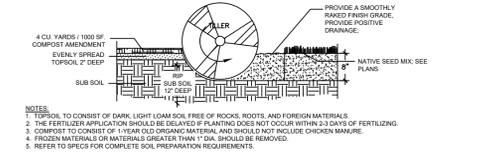


NOTES:
1. SET PIT SO THAT TOP OF THE ROOT FLARE IS LEVEL WITH SURROUNDING GRADE. THE ROOT FLARE SHOULD DETERMINE THE DEPTH OF THE PIT, NOT THE TOP OF THE ROOT BALL.
2. THE BALL OF TREE SHOULD SET ON UNDISTURBED SOIL.
3. CUT BOTTOM OF BASKET. REMOVE ALL SOIL FROM ROOT BALL TO TOP OF ROOT FLARE. SET TREE AND REMOVE ENTIRE BASKET AFTER CORRECT PLACEMENT. REMOVE BURLAP FROM THE SIDE OF THE ROOT BALL. REMOVE ALL TWINE FROM AROUND THE TRUNK AND BACKFILL.

1 DECIDUOUS TREE PLANTING PLANTING DETAIL NTS

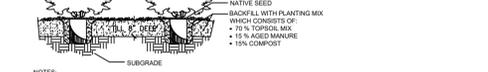


2 EVERGREEN TREE PLANTING PLANTING DETAIL NTS



NOTES:
1. TOPSOIL TO CONSIST OF DARK, LIGHT LOAM SOIL, FREE OF ROCKS, ROOTS, AND FOREIGN MATERIALS.
2. THE FERTILIZER APPLICATION SHOULD BE DELAYED IF PLANTING DOES NOT OCCUR WITHIN 2-3 DAYS OF FERTILIZING.
3. COMPOST TO CONSIST OF 1-YEAR OLD ORGANIC MATERIAL AND SHOULD NOT INCLUDE CHICKEN MANURE.
4. FROZEN MATERIALS OR MATERIALS GREATER THAN 1" DIA. SHOULD BE REMOVED.
5. REFER TO SPECS FOR COMPLETE SOIL PREPARATION REQUIREMENTS.

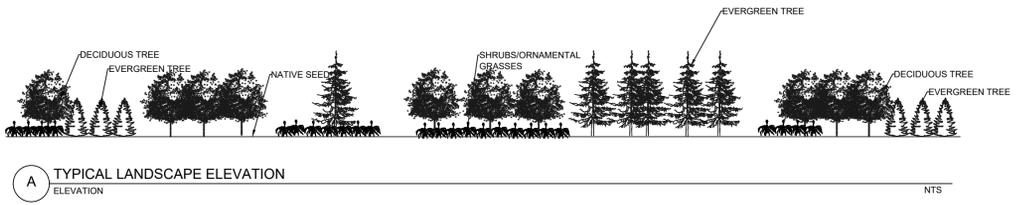
3 SOIL PREP- NATIVE SEED AREAS PLANTING DETAIL NTS



NOTES:
1. CONTRACTOR TO WATER PLANT MATERIAL DAILY UNTIL AN AUTOMATIC IRRIGATION SYSTEM IS OPERATIONAL OR OTHER IRRIGATION PROVISIONS ARE PROVIDED.
2. THE FINISH GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM WALLS AND BUILDINGS.
3. THE TILING OF PLANTING BEDS AND PLACEMENT OF BACKFILL IS TO OCCUR LAST PRIOR TO PLANTING. THEREAFTER, PROTECTION FROM COMPACTION AND CONSTRUCTION TRAFFIC SHOULD BE PROVIDED.

4 SHRUB DETAIL PLANTING DETAIL NTS

LANDSCAPE MATERIAL SCHEDULE		NOTES	
COBBLE MULCH	PER PLAN	COBBLE TO BE 1"-2" WHOLE RIVER ROCK INSTALLED TO A DEPTH OF 3" OVER WEED BARRIER FABRIC. SUBMIT SAMPLE FOR OWNER REPRESENTATIVE APPROVAL PRIOR TO INSTALLATION.	
NATIVE SEED	PER PLAN	NATIVE SEED	



DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH	SIZE	NOTES
●	PV	TBD	<i>Prunus virginiana</i>	Canada Chokecherry	20-30'	15-20'	2.0' Caliper	B&B
●	QM	TBD	<i>Quercus macrocarpa</i>	BUR OAK	30-35'	30-35'	2.0' Caliper	B&B
●	AG	TBD	<i>Acer glabrala 'Flame'</i>	FLAME AMUR MAPLE	15-20'	15-20'	2.0' Caliper	B&B
●	CP	TBD	<i>Crataegus phaenopynum</i>	WASHINGTON HAWTHORN	20-25'	15-25'	2.0' Caliper	B&B
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH	SIZE	NOTES
●	PE	TBD	<i>Pinus edulis</i>	PINYON PINE	15-20'	10-15'	6" HT	B&B
●	JS	TBD	<i>Juniperus scopulorum</i>	ROCKY MOUNTAIN JUNIPER	20-25'	8-12'	6" HT	B&B
●	PN	TBD	<i>Pinus Nigra</i>	Ponderosa Pine	25-30'	15-20'	6" HT	B&B
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH	SIZE	NOTES
●	YF	TBD	<i>Yucca filamentosa 'Bright Edge'</i>	BRIGHT EDGE YUCCA	2'-3'	2'-4'	5 GAL	CONTAINER
●	CN	TBD	<i>Chrysothamnus nauseosus var. nauseosus</i>	Baby Blue Rabbitbrush	1'-4'	1'-4'	5 GAL	CONTAINER
●	BT	TBD	<i>Berberis thunbergii 'Rose Glow'</i>	Rose Glow Japanese Barberry	3'-5'	3'-5'	5 GAL	CONTAINER
●	BD	TBD	<i>Buddleja davidii nanhoensis 'Mango'</i>	Petite Indigo Butterfly Bush	4'-5'	4'-5'	5 GAL	CONTAINER
●	JA	TBD	<i>Jamesia americana</i>	Waxflower	4'-5'	5'-8'	5 GAL	CONTAINER
●	PA	TBD	<i>Perovskia atriplicifolia 'Little Spire'</i>	Little Spire Russian Sage	2'-3'	2'-3'	5 GAL	CONTAINER

STREET NAME OR ZONE BOUNDARY:	HIGHWAY 24	MARKSCHEFFEL RD	AJR LANE	PRO OMNIBUS HT	SEMPER SUPRA PT	NOX ALBUM VW
STREET CLASSIFICATION:	EXPRESSWAY	MAJOR ARTERIAL	NON ARTERIAL	NON ARTERIAL	NON ARTERIAL	NON ARTERIAL
SETBACK DEPTH REQUIRED/PROVIDED:	25' / 25'	25' / 25'	25' / 25'	107' / 10'	107' / 10'	107' / 10'
LINEAR FOOTAGE:	2542'	1870'	1593'	1476'	328'	535'
TREE/FEET REQUIRED:	11 / 20'	1 / 20'	1 / 20'	1 / 30'	1 / 30'	1 / 30'
NUMBER OF TREES REQUIRED/PROVIDED:	127 / 127	80 / 80	13 / 13	40 / 40	40 / 40	40 / 40
PLANT ABBREVIATION DENOTED ON PLAN:	HB	MB	SB	PB	PB	PB
% GROUND PLANE VEG. REQUIRED/PROVIDED:	75 / 75%	75 / 75%	75 / 75%	75 / 75%	75 / 75%	75 / 75%

- GENERAL NOTES**
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIAL FOR ONE YEAR AFTER SUBSTANTIAL COMPLETION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIALS IN A HEALTHY STATE DURING CONSTRUCTION AND THROUGH FINAL COMPLETION AS PART OF PLANTING COST. ANY DAMAGE TO PLANT MATERIAL SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. AFTER FINAL COMPLETION, OWNER SHALL BE RESPONSIBLE FOR PLANT MAINTENANCE.
 - PLANT QUANTITIES ARE PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY AND SHALL BE VERIFIED BY CONTRACTOR BY REVIEWING PLANTING PLAN SYMBOLS AND GENERATING SEPARATE PLANT LIST.
 - ALL DECIDUOUS TREES SHALL BE WRAPPED IN THE FALL WITH STRETCHABLE TREE WRAP IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICE; WRAP SHALL BE REMOVED NO LATER THAN MAY 1 OF THE FOLLOWING SPRING. INSTALL WOOD MULCH UNDER EACH TREE; REFER TO TREE PLANTING DETAIL. WOOD MULCH SHALL BE SHREDDED WOOD MULCH.
 - TREE PLANTING SOIL AMENDMENT AND FERTILIZER REQUIREMENTS: BACKFILL SOIL WITHIN EACH TREE PIT SHALL CONSIST OF 30% COMPOST AND 70% EXISTING SOIL.
 - COBBLE MULCH AREAS; INSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS PRIOR TO PLACING GRAVEL MULCH; INSTALL WEED BARRIER FABRIC UNDER ALL GRAVEL MULCH; ROLL FABRIC WITHOUT STRETCHING OR PULLING; OVERLAP FABRIC EDGES A MINIMUM OF 6". STAKE FABRIC PER MANUFACTURER'S SPECIFICATIONS. COBBLE (2"-4" WHOLE RIVER ROCK) SHOULD BE PLACED IN DESIGNATED AREA AS SHOWN ON PLANS AT A 4" DEPTH; ENSURE WEED BARRIER FABRIC IS NOT VISIBLE. SUBMIT SAMPLE FOR OWNER REPRESENTATIVE APPROVAL PRIOR TO INSTALLATION.
 - ALL PLANT MATERIALS SHALL HAVE BACKFILL CAREFULLY PLACED AROUND BASE AND SIDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL, THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS AND LOOSE BURLAP AROUND BASE OF TRUNK SHALL BE REMOVED AT THIS TIME. REMAINDER OF PIT SHALL THEN BE BACKFILLED, ALLOWING FOR DEPTH OF MULCH, SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
 - LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING EROSION CONTROL MEASURES DURING HIS DURATION OF WORK ON-SITE.
 - LANDSCAPE CONTRACTOR IS RESPONSIBLE TO PROVIDE EROSION CONTROL BLANKET ON ALL SLOPES.
 - ALL AREAS DISTURBED DURING CONSTRUCTION TO BE RESEED.
 - CONTRACTOR SHALL PROVIDE ALL DEVICES AND LABOR NEEDED TO ESTABLISH NATIVE SEED.
 - ALL TREES SHALL BE IRRIGATED VIA A DRIP SYSTEM. FINAL DESIGN AND P.O.C WILL BE IDENTIFIED FINAL BUILDING PERMIT.

provide exhibit showing locations

NO.	REVISION	BY	DATE	APPR.

2018 KIMLEY-HORN AND ASSOCIATES, INC.
2018 KIMLEY-HORN AND ASSOCIATES, INC.
2018 KIMLEY-HORN AND ASSOCIATES, INC.
2018 KIMLEY-HORN AND ASSOCIATES, INC.

CROSSROADS NORTH
PRELIMINARY PLAN

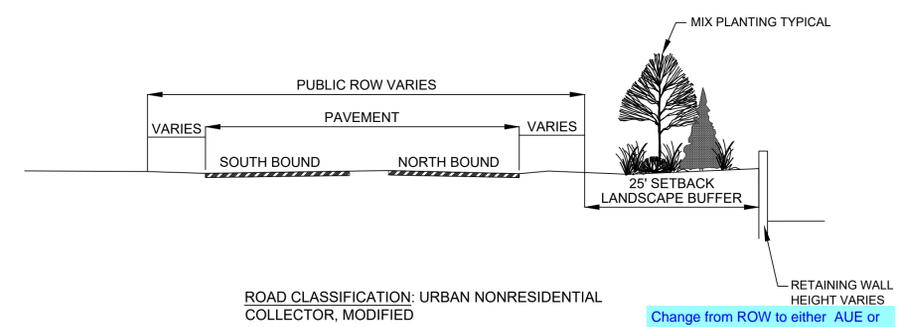
PROJECT NO.
096956000

SHEET

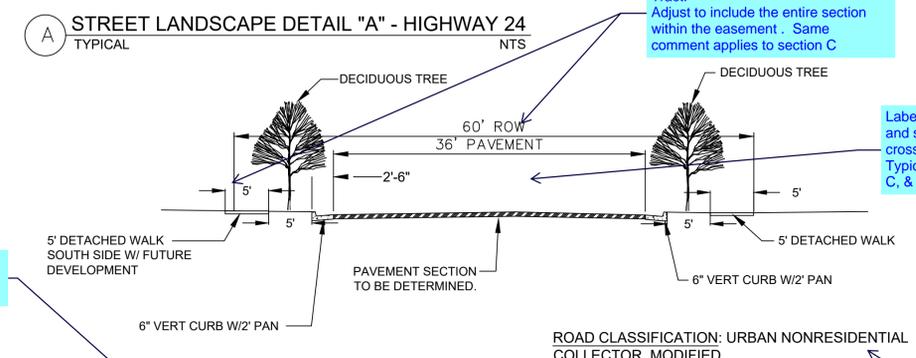
OF

CROSSROADS NORTH PRELIMINARY PLAN / LANDSCAPE STANDARDS

LOCATED IN THE EAST 1/2 OF SECTION 8, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO



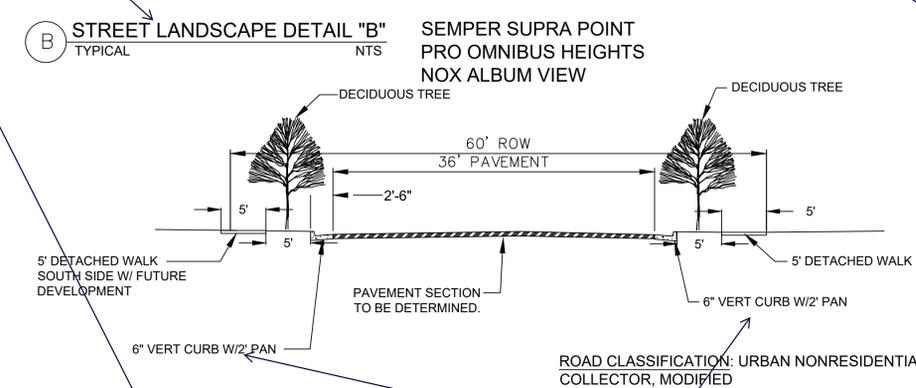
where is the exhibit showing the street trees? please provide and verify line of sight/sight triangles are shown...if Developer is installing with development...if you want to enforce standards shown in details



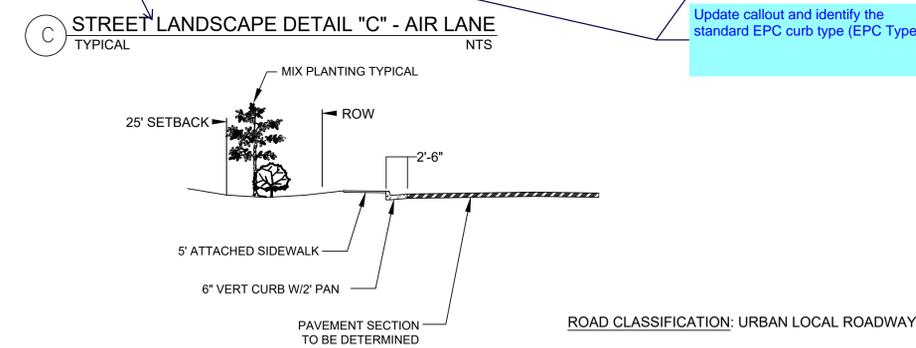
Change from ROW to either AUE or Tract. Adjust to include the entire section within the easement. Same comment applies to section C

Label lane widths and street/sidewalk cross slopes. Typical for sections B, C, & D

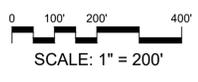
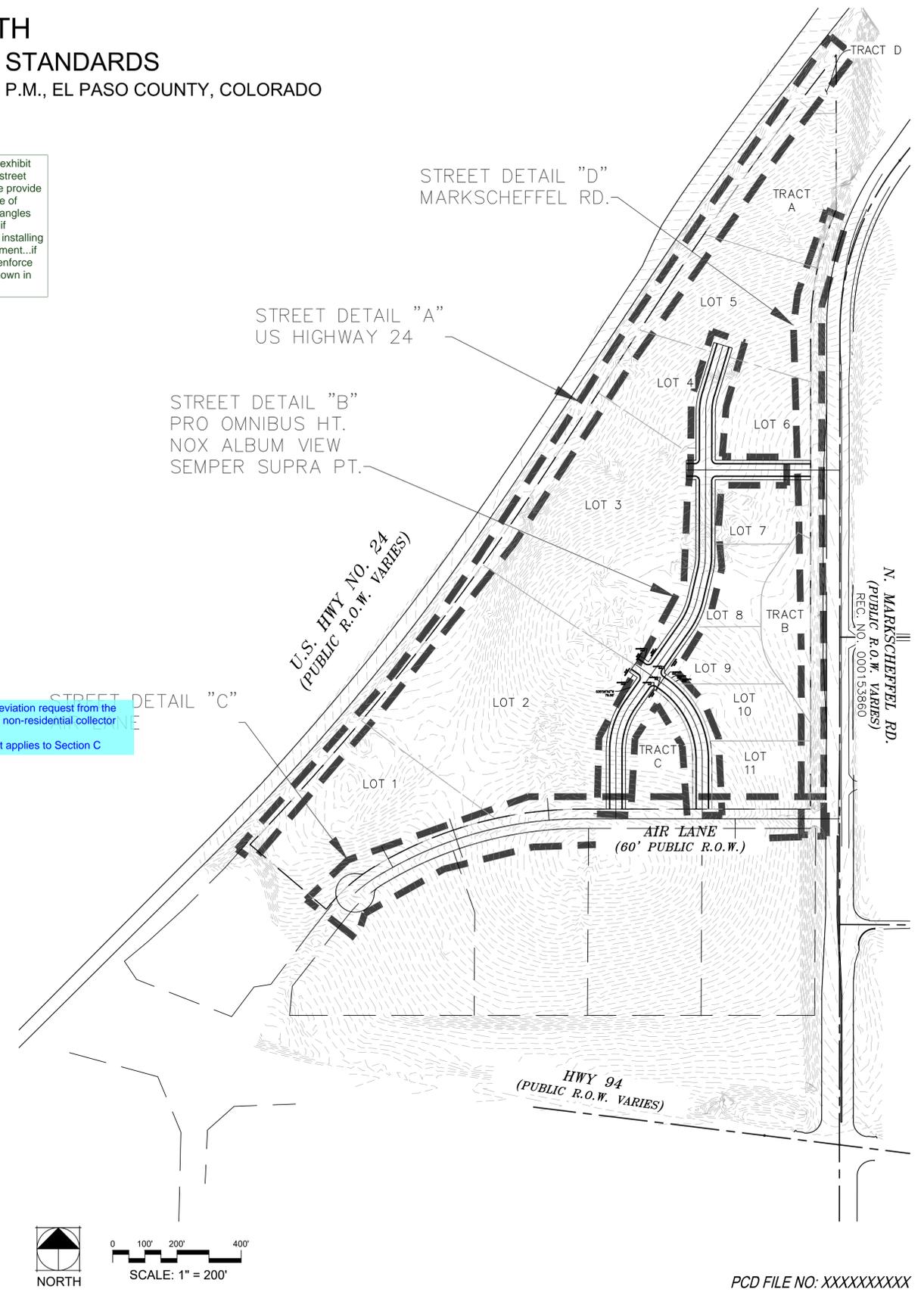
Update Sections B, & C by inserting the word "and" between street landscape.



This requires deviation request from the standard urban non-residential collector cross section. Same comment applies to Section C



Update callout and identify the standard EPC curb type (EPC Type A)



NO.	REVISION	BY	DATE	APPR.

Kimley»Horn

2018 KIMLEY-HORN AND ASSOCIATES, INC.
1000 NORTH NEWYORK AVE., SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

DESIGNED BY: LMS
DRAWN BY: LMS
CHECKED BY: JEH
DATE: XX/XX/20

CROSSROADS NORTH
PRELIMINARY PLAN

PROJECT NO.
096956000

SHEET

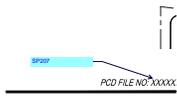
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PCD FILE NO: XXXXXXXXXX

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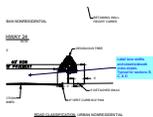
Prelim Plan V_1 redlines.pdf Markup Summary 12-18-2020

dsdlaforce (20)



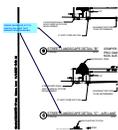
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SP207



Subject: Callout
Page Label: [5] 096956000-PP - DETAILS
Author: dsdlaforce
Date: 12/14/2020 4:50:04 PM
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Space:

Label lane widths
and street/sidewalk cross slopes.
Typical for sections B, C, & D



Subject: Callout
Page Label: [5] 096956000-PP - DETAILS
Author: dsdlaforce
Date: 12/15/2020 2:35:14 PM
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Update Sections B, & C by inserting the word "and"
between street landscape.



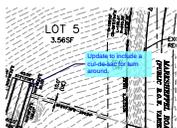
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Author: dsdlaforce
Date: 12/15/2020 2:36:45 PM
Status:
Color: ■
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Space:

This requires deviation request from the standard
urban non-residential collector cross section.
Same comment applies to Section C



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Page Label: [3] 096956000-PP - PRELIMINARY PLAN-2
Author: dsdlaforce
Date: 12/15/2020 2:39:32 PM
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Show the proposed sidewalks and ramps at all
intersections
Adjust the access easement along the intersection
so sidewalk and ramps are within the access
easement.



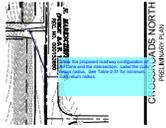
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Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdlaforce
Date: 12/16/2020 5:02:40 PM
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Space:

Update to include a cul-de-sac for turn around.



Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdlaforce
Date: 12/16/2020 5:06:49 PM
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Include a preliminary grading plan showing proposed contours. Include slope tags along the road centerline.



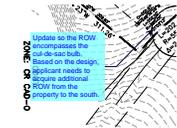
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Author: dsdlaforce
Date: 12/16/2020 5:08:15 PM
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Show the proposed roadway configuration of Air Lane and the intersection. Label the curb return radius. See Table 2-31 for minimum curb return radius.



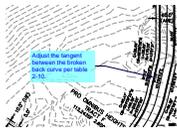
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Date: 12/16/2020 5:09:15 PM
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Show the proposed intersection configuration to include any offsite improvements on Marksheffel. Label the curb return radius. See Table 2-31 for minimum curb return radius.



Subject: Callout
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Author: dsdlaforce
Date: 12/16/2020 5:11:15 PM
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Update so the ROW encompasses the cul-de-sac bulb. Based on the design, applicant needs to acquire additional ROW from the property to the south.



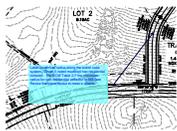
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Date: 12/16/2020 5:13:35 PM
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Adjust the tangent between the broken back curve per table 2-10.



Subject: Text Box
Page Label: [1] 096956000-PP - COVER
Author: dsdlaforce
Date: 12/16/2020 5:21:23 PM
Status:
Color: ■
Layer:
Space:

Add the following notes:
 1. There shall be no direct lot access to Marksheffel Road and US Highway 24. {Note: This note may need to be revised to include Air Lane based on comments to the TIS to provide recommendation on Air Lane Road classification.}
 2. All streets shown, except for Air Lane, are private and will be owned and maintained by [xxx].

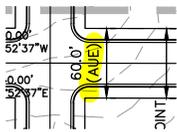


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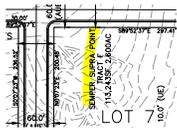
Label centerline radius along the entire road system. Sheet 5 noted modified non-residential collector. Per ECM Table 2-7 the minimum radius for non-residential collector is 565 feet. Revise the street layout to meet a criteria.



Subject: Highlight
Page Label: [3] 096956000-PP - PRELIMINARY PLAN-2
Author: dsdlaforce
Date: 12/16/2020 5:24:49 PM
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Subject: Highlight
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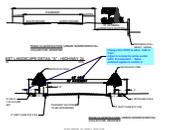


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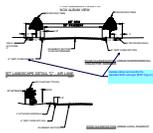
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Author: dsdlaforce
Date: 12/16/2020 5:27:06 PM
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Layer:
Space:

This appears contradictory. The roads are both identified as tract and easement.



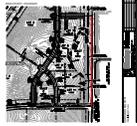
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Page Label: [5] 096956000-PP - DETAILS
Author: dsdlaforce
Date: 12/16/2020 5:29:08 PM
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Space:

Change from ROW to either AUE or Tract. Adjust to include the entire section within the easement. Same comment applies to section C



Subject: Callout
Page Label: [5] 096956000-PP - DETAILS
Author: dsdlaforce
Date: 12/16/2020 5:31:48 PM
Status:
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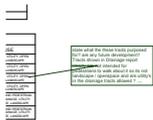
Update callout and identify the standard EPC curb type (EPC Type A)



Subject: Polylength Measurement
Page Label: [3] 096956000-PP - PRELIMINARY PLAN-2
Author: dsdlaforce
Date: 12/16/2020 7:10:53 AM
Status:
Color: ■
Layer:
Space:

1,077'-6"

dsdparsons (47)



Subject: Callout
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 1:14:32 PM
Status:
Color: ■
Layer:
Space:

state what the these tracts purposed for? are any future development? Tracts shown in Drainage report clearly are not intended for pedestrians to walk about it so its not landscape / openspace and are utility's in the drainage tracts allowed ?



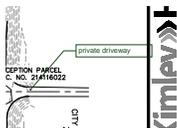
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Page Label: [5] 096956000-PP - DETAILS
Author: dsdparsons
Date: 12/17/2020 10:55:16 AM
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Layer:
Space:

where is the exhibit showing the street trees? please provide and verify line of sight/sight triangles are shown....if Developer is installing with development...if you want to enforce standards shown in details



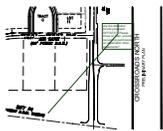
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Date: 12/17/2020 10:55:48 AM
Status:
Color: ■
Layer:
Space:

provide exhibit showing locations



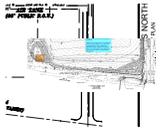
Subject: Callout
Page Label: [3] 096956000-PP - PRELIMINARY PLAN-2
Author: dsdparsons
Date: 12/17/2020 10:56:11 AM
Status:
Color: ■
Layer:
Space:

private driveway

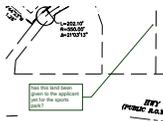


Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 10:59:48 AM
Status:
Color: ■
Layer:
Space:

are the detention ponds proposed OFFSITE?
 Please show on plan, provide ownership
 permission on application docs, easements?

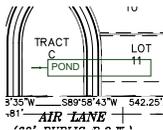


Subject: Image
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:00:07 AM
Status:
Color: ■
Layer:
Space:



Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:03:31 AM
Status:
Color: ■
Layer:
Space:

has this land been given to the applicant yet for the
 sports park?



Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:04:53 AM
Status:
Color: ■
Layer:
Space:

POND



Subject: Arrow
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:08:43 AM
Status:
Color: ■
Layer:
Space:



Subject: Image
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 11:11:11 AM
Status:
Color: ■
Layer:
Space:



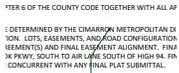
Subject: Callout
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 11:11:17 AM
Status:
Color: ■
Layer:
Space:

there are multiple checklist items missing- please add.



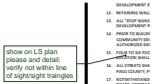
Subject: Callout
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 11:13:50 AM
Status:
Color: ■
Layer:
Space:

All Sheets should have this info for every prelim plan submitted to County at a minimum...



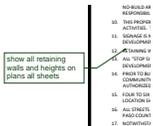
Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:18:59 AM
Status:
Color: ■
Layer:
Space:

is that a district?



Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:19:58 AM
Status:
Color: ■
Layer:
Space:

show on LS plan please and detail; verify not within line of sight/sight triangles



Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:20:44 AM
Status:
Color: ■
Layer:
Space:

show all retaining walls and heights on plans all sheets



Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:21:16 AM
Status:
Color: ■
Layer:
Space:

identify them on plan



Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:22:26 AM
Status:
Color: ■
Layer:
Space:

verify w Gilbert this is appropriate for all lots / tracts



Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:22:42 AM
Status:
Color: ■
Layer:
Space:

verify correct



Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:23:27 AM
Status:
Color: ■
Layer:
Space:

name of report prepared by



Subject: Image
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:46:00 AM
Status:
Color: ■
Layer:
Space:

where are these channels or tracts easements on
prelim plan as recommended in GEO report?



Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:46:45 AM
Status:
Color: ■
Layer:
Space:

this section needs to be reevaluated based on
report...



Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 11:47:21 AM
Status:
Color: ■
Layer:
Space:



Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 12:35:17 PM
Status:
Color: ■
Layer:
Space:

how is this not considered a constraint in the GEO report, and why is it not mapped as required.



Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 12:38:50 PM
Status:
Color: ■
Layer:
Space:

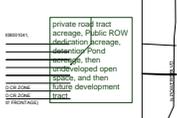


Subject: Polygon
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 12:39:08 PM
Status:
Color: ■
Layer:
Space:



Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 12:39:23 PM
Status:
Color: ■
Layer:
Space:

delete this



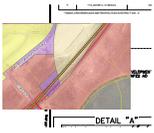
Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 12:43:18 PM
Status:
Color: ■
Layer:
Space:

private road tract acreage, Public ROW dedication acreage, detention Pond acreage, then undeveloped open space, and then future development tract

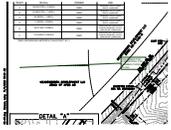


Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 12:44:07 PM
Status:
Color: ■
Layer:
Space:

see checklist requirements....

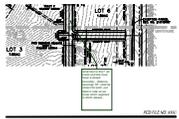


Subject: Image
Page Label: [3] 096956000-PP - PRELIMINARY PLAN-2
Author: dsdparsons
Date: 12/17/2020 12:45:27 PM
Status:
Color: ■
Layer:
Space:



Subject: Callout
Page Label: [3] 096956000-PP - PRELIMINARY PLAN-2
Author: dsdparsons
Date: 12/17/2020 12:46:47 PM
Status:
Color: ■
Layer:
Space:

PROPOSED PUD RESIDENTIAL FLIE NUMBER PUDSP 20-008



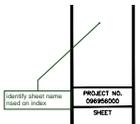
Subject: Callout
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 12:49:43 PM
Status:
Color: ■
Layer:
Space:

what tract is this? all tracts and lots must have a closed boundary , distance , bearings, SF, shall be shown for each. put label in side so we know which segment is which please..



Subject: Callout
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 12:50:38 PM
Status:
Color: ■
Layer:
Space:

where is the lot line? Please dark and distinguish lot, & Tract Lines



Subject: Callout
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 12:51:14 PM
Status:
Color: ■
Layer:
Space:

identify sheet name used on index

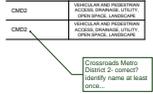


Subject: Callout
Page Label: [1] 096956000-PP - COVER
Author: dsdparsons
Date: 12/17/2020 12:51:39 PM
Status:
Color: ■
Layer:
Space:

shrink? provide match lines if this a key map



Subject: Image
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 12:52:10 PM
Status:
Color: ■
Layer:
Space:



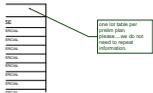
Subject: Callout
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 9:42:25 AM
Status:
Color: ■
Layer:
Space:

Crossroads Metro District 2- correct? identify name at least once...



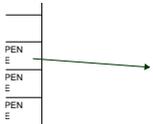
Subject: Callout
Page Label: [3] 096956000-PP - PRELIMINARY PLAN-2
Author: dsdparsons
Date: 12/17/2020 9:45:06 AM
Status:
Color: ■
Layer:
Space:

one tract table per prelim plan please see comments on other page.

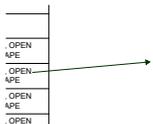


Subject: Callout
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 9:45:35 AM
Status:
Color: ■
Layer:
Space:

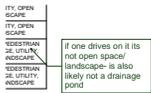
one lot table per prelim plan please....we do not need to repeat information.



Subject: Arrow
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 9:46:28 AM
Status:
Color: ■
Layer:
Space:

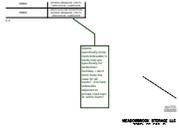


Subject: Arrow
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 9:46:33 AM
Status:
Color: ■
Layer:
Space:



Subject: Callout
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 9:47:35 AM
Status:
Color: ■
Layer:
Space:

if one drives on it its not open space/ landscape- is also likely not a drainage pond

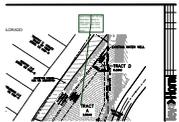


Subject: Callout
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 9:52:55 AM
Status:
Color: ■
Layer:
Space:

please specifically show trails/sidewalks in tracts that are specifically for pedestrian facilities- i don't think thats the case for all tracts? Are here sidewalks adjacent to private road tract or within them?



Subject: Arrow
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 9:54:50 AM
Status:
Color: ■
Layer:
Space:



Subject: Callout
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 9:57:38 AM
Status:
Color: ■
Layer:
Space:

what is this for- its not detention based on GEC plan? Is there 2 tracts? I can't see boundary lines or lot lines?



Subject: Arrow
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 9:57:41 AM
Status:
Color: ■
Layer:
Space:



Subject: Callout
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 9:58:08 AM
Status:
Color: ■
Layer:
Space:

not detention

NO.	DESCRIPTION	DATE
1
2
3
4
5

Subject: Arrow
Page Label: [2] 096956000-PP - PRELIMINARY PLAN
Author: dsdparsons
Date: 12/17/2020 9:58:12 AM
Status:
Color: ■
Layer:
Space: