

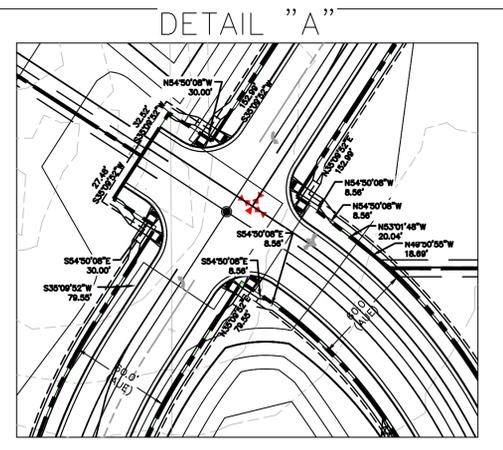
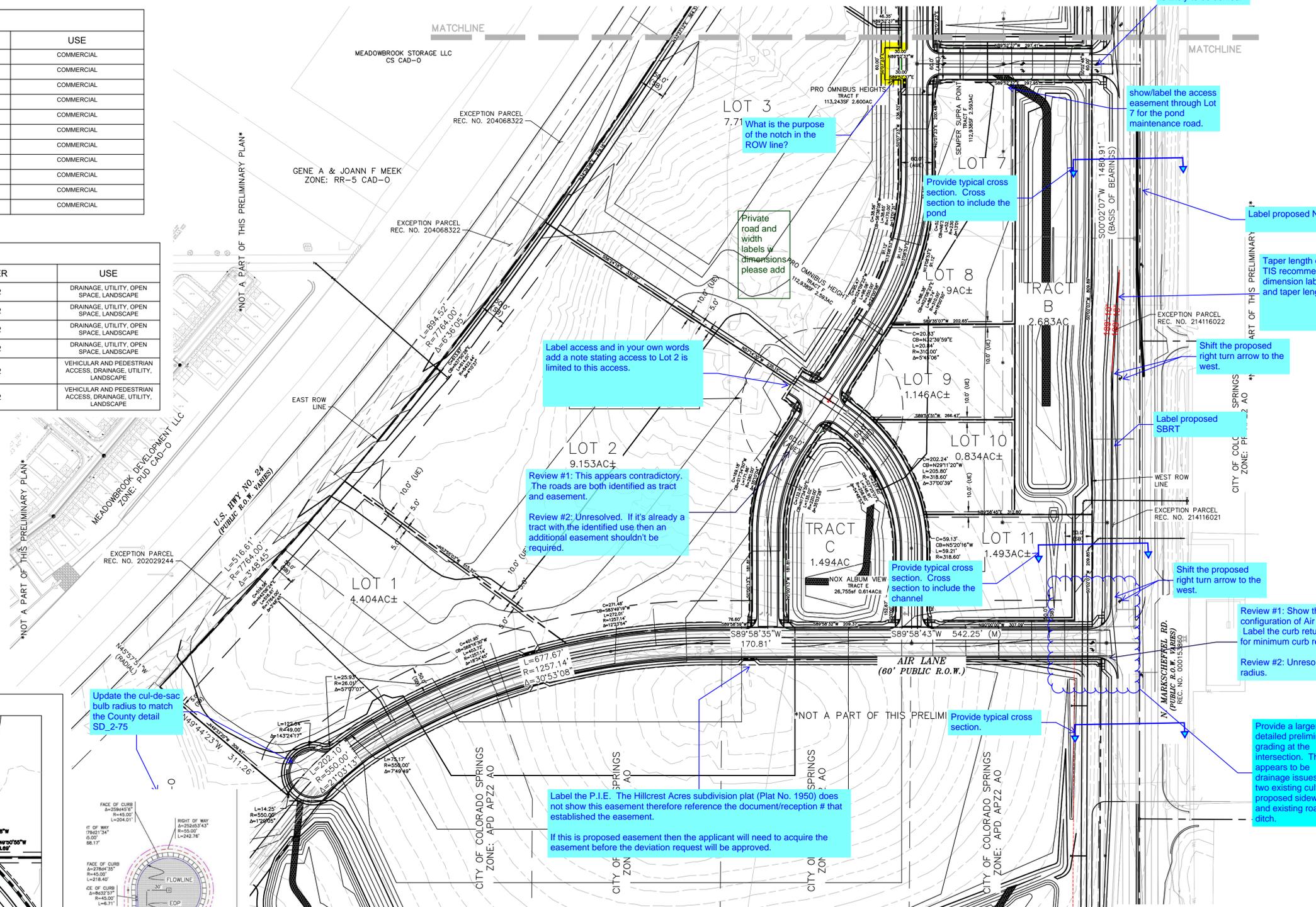
CROSSROADS NORTH PRELIMINARY PLAN

LOCATED IN THE EAST 1/2 OF SECTION 8, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO

| LOT TABLE | | |
|-----------|-------------------------|------------|
| LOT NO. | SF/AC± | USE |
| 1 | 197,834.40SF± / 4.54AC± | COMMERCIAL |
| 2 | 400,274SF± / 9.19AC± | COMMERCIAL |
| 3 | 339,627SF± / 7.80AC± | COMMERCIAL |
| 4 | 76,256SF± / 1.75AC± | COMMERCIAL |
| 5 | 154,848SF± / 3.56AC± | COMMERCIAL |
| 6 | 82,164SF± / 1.89AC± | COMMERCIAL |
| 7 | 58,100SF± / 1.33AC± | COMMERCIAL |
| 8 | 47,705SF± / 1.10AC± | COMMERCIAL |
| 9 | 49,200SF± / 1.13AC± | COMMERCIAL |
| 10 | 56,688SF± / 1.30AC± | COMMERCIAL |
| 11 | 65,088SF± / 1.49AC± | COMMERCIAL |

| TRACT TABLE | | | |
|-------------|-------------------------|-------|---|
| TRACT | SF/AC± | OWNER | USE |
| A | 124,528.21SF± / 2.86AC± | CMD2 | DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE |
| B | 116,849.91SF± / 2.68AC± | CMD2 | DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE |
| C | 64,364SF± / 1.48AC± | CMD2 | DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE |
| D | 11,340SF± / 0.26AC± | CMD2 | DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE |
| E | 26,211SF± / 0.60AC± | CMD2 | VEHICULAR AND PEDESTRIAN ACCESS, DRAINAGE, UTILITY, LANDSCAPE |
| F | 113,243SF± / 2.60AC± | CMD2 | VEHICULAR AND PEDESTRIAN ACCESS, DRAINAGE, UTILITY, LANDSCAPE |

*CMD2-CROSSROADS METROPOLITAN DISTRICT NO. 2



Revise to Right-In/Right-Out. See comment on the deviation request. The deviation request is likely to be denied.

What is the purpose of the notch in the ROW line?

show/label the access easement through Lot 7 for the pond maintenance road.

Provide typical cross section. Cross section to include the pond

Label proposed NBLT

Taper length does not meet criteria or the TIS recommendation. Revise and provide dimension label for all turn lane striping and taper length for all proposed locations.

Label access and in your own words add a note stating access to Lot 2 is limited to this access.

Shift the proposed right turn arrow to the west.

Label proposed SBRT

Review #1: This appears contradictory. The roads are both identified as tract and easement.

Review #2: Unresolved. If it's already a tract with the identified use then an additional easement shouldn't be required.

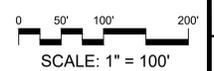
Shift the proposed right turn arrow to the west.

Provide typical cross section. Cross section to include the channel

Review #1: Show the proposed roadway configuration of Air Lane and the intersection. Label the curb return radius. See Table 2-31 for minimum curb return radius.

Review #2: Unresolved. Label the curb return radius.

Provide a larger detailed preliminary grading at the intersection. There appears to be drainage issues with two existing culverts, proposed sidewalk and existing roadside ditch.



PCD FILE NO: SP207

DESIGNED BY: LMS
DRAWN BY: LMS
CHECKED BY: JEH
DATE: XX/XX/20

PROJECT NO. 096956000
SHEET

BY DATE APPR.
REVISION NO. 453-0180

Horn
JAMES, INC.
303 (719) 453-0180

Kim
KIMLEY-HORN
414/22 KIMLEY-
HORN, NEWBY
COLORADO SPRING

CROSSROADS NORTH
PRELIMINARY PLAN
PRELIM PLAN 2

OR 04

Preliminary Plan Drawings_v2.pdf Markup Summary 6-23-2022

dsdlaforce (56)



Subject: Callout
Page Label: [1] 01 COVER
Author: dsdlaforce
Date: 6/23/2022 8:20:55 AM
Status:
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Layer:
Space:

Add Air Lane, and Semper Supra Point. Add the following as a second sentence: Only Lot 1 shall be permitted access from Air Lane. Access to Lot 2 and 3 are limited to the locations shown on the plan.



Subject: Callout
Page Label: [1] 01 COVER
Author: dsdlaforce
Date: 6/23/2022 10:47:13 AM
Status:
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Review #1: Include a preliminary grading plan showing proposed contours. Include slope tags along the road centerline.

Review #2: Staff recommends placing the existing and proposed grading within additional sheets titled preliminary grading plan. Having everything combined within the preliminary plan sheets is making the sheet too busy to clearly show all the information. Additionally, per the Review #1 comments include slope tags along the centerline of the road.

Similar comment applies for the utilities (Wtr, San). Staff recommends placing these in a separate preliminary utility plan. On the separate utility plan turn off the striping layer. Its difficult to differentiate between Water, Sanitary and the lane striping. See the snippet to the left for an example which shows lane striping water line, sewer line and C&G.

Roadway striping and tapers will be reviewed once the above comment is addressed.



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Page Label: [1] 01 COVER
Author: dsdlaforce
Date: 6/22/2022 1:36:01 PM
Status:
Color: ■
Layer:
Space:

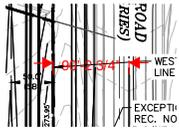


Subject: Callout
Page Label: [1] 01 COVER
Author: dsdlaforce
Date: 6/23/2022 9:44:16 AM
Status:
Color: ■
Layer:
Space:

Revise floodplain to match the drainage report.



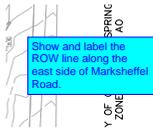
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Author: dsdlaforce
Date: 6/23/2022 9:44:03 AM
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Subject: Length Measurement
Page Label: [2] 02 PRELIM PLAN 1
Author: dsdlaforce
Date: 6/20/2022 10:46:05 AM
Status:
Color: ■
Layer:
Space:



Subject: Length Measurement
Page Label: [2] 02 PRELIM PLAN 1
Author: dsdlaforce
Date: 6/20/2022 10:46:15 AM
Status:
Color: ■
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Subject: Text Box
Page Label: [2] 02 PRELIM PLAN 1
Author: dsdlaforce
Date: 6/20/2022 10:47:10 AM
Status:
Color: ■
Layer:
Space:

Show and label the ROW line along the east side of Marksheffel Road.



Subject: Text Box
Page Label: [2] 02 PRELIM PLAN 1
Author: dsdlaforce
Date: 6/20/2022 10:58:31 AM
Status:
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Per the TIS the 2040 analysis identifies the need for 6 lane widening of Marksheffel Road. Additional ROW will be required along the Marksheffel Road corridor. Per County Criteria a 6-ln principal arterial consist of a 210' ROW. It appears the ROW is approximately 90' for the road centerline. As such 15' additional ROW would be required along the frontage. Update the plan to show the additional ROW dedication.



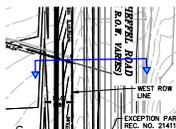
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Page Label: [2] 02 PRELIM PLAN 1
Author: dsdlaforce
Date: 6/22/2022 1:39:13 PM
Status:
Color: ■
Layer:
Space:

Label proposed SBRT



Subject: Callout
Page Label: [2] 02 PRELIM PLAN 1
Author: dsdlaforce
Date: 6/20/2022 11:27:28 AM
Status:
Color: ■
Layer:
Space:

Shift the proposed right turn arrow to the west.

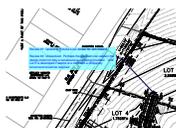


Subject: PolyLine
Page Label: [2] 02 PRELIM PLAN 1
Author: dsdlaforce
Date: 6/20/2022 11:29:50 AM
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Subject: Callout
Page Label: [2] 02 PRELIM PLAN 1
Author: dsdlaforce
Date: 6/23/2022 11:25:37 AM
Status:
Color: ■
Layer:
Space:

Provide typical cross section. Cross section to include the channel



Subject: Callout
Page Label: [2] 02 PRELIM PLAN 1
Author: dsdlaforce
Date: 6/22/2022 9:19:34 AM
Status:
Color: ■
Layer:
Space:

Review #1: Update to include a cul-de-sac for turn around.

Review #2: Unresolved. Perhaps the applicant can explain the design intent for why a turnaround is not being provided. Until Lot 5 is developed it seems at a minimum a temporary turnaround would be required.



Subject: Callout
Page Label: [2] 02 PRELIM PLAN 1
Author: dsdlaforce
Date: 6/22/2022 9:22:29 AM
Status:
Color: ■
Layer:
Space:

Reminder: Deviation request for the private road cross section and design is pending approval. If denied the applicant will need to adjust the road horizontal alignment to meet County criteria.



Subject: Callout
Page Label: [2] 02 PRELIM PLAN 1
Author: dsdlaforce
Date: 6/23/2022 9:40:52 AM
Status:
Color: ■
Layer:
Space:

At a minimum label the proposed and existing major contour line elevation.

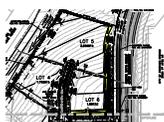
There seems to be discrepancies between proposed and existing contours. The number of proposed contours suggests retaining walls are needed along the perimeter of the site. Identify and label all retaining walls. On the preliminary grading plan provide top and bottom of elevation to identify wall heights.

Provide typical cross section of the retaining walls. Information to be provided is it's relative distance from the ROW and existing road, horizontal distance between retaining wall, min/max height of each terrace. Multiple cross sections may be required if different areas of the site has different layouts for the retaining wall.



Subject: Text Box
Page Label: [2] 02 PRELIM PLAN 1
Author: dsdlaforce
Date: 6/22/2022 2:06:36 PM
Status:
Color: ■
Layer:
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Provide legends of the different linetypes and symbols used and provide complete abbreviations list. Example: sheet 4 includes P.I.E. and EOP.



Subject: Highlight
Page Label: [2] 02 PRELIM PLAN 1
Author: dsdlaforce
Date: 6/23/2022 9:33:27 AM
Status:
Color: ■
Layer:
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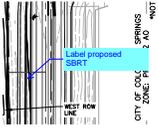
Subject: Callout
Page Label: [2] 02 PRELIM PLAN 1
Author: dsdlaforce
Date: 6/23/2022 9:34:35 AM
Status:
Color: ■
Layer:
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Show & label the drainage easement for the channel within Lots 5 & 6.



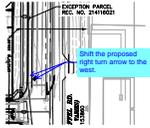
Subject: Callout
Page Label: [2] 02 PRELIM PLAN 1
Author: dsdlaforce
Date: 6/23/2022 9:37:28 AM
Status:
Color: ■
Layer:
Space:

Identify how access is provided to Tract A and D. Access easement through Lot 5 appears to be required.



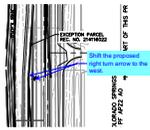
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Page Label: [3] 03 PRELIM PLAN 2
Author: dsdlaforce
Date: 6/20/2022 11:19:15 AM
Status:
Color: ■
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Space:

Label proposed SBRT



Subject: Callout
Page Label: [3] 03 PRELIM PLAN 2
Author: dsdlaforce
Date: 6/20/2022 11:27:12 AM
Status:
Color: ■
Layer:
Space:

Shift the proposed right turn arrow to the west.



Subject: Callout
Page Label: [3] 03 PRELIM PLAN 2
Author: dsdlaforce
Date: 6/20/2022 11:26:58 AM
Status:
Color: ■
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Shift the proposed right turn arrow to the west.

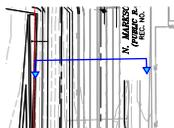


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Status:
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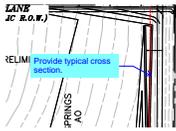


Subject: Callout
Page Label: [3] 03 PRELIM PLAN 2
Author: dsdlaforce
Date: 6/23/2022 11:24:47 AM
Status:
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Provide typical cross section. Cross section to include the pond

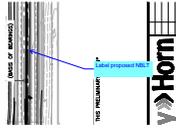


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Page Label: [3] 03 PRELIM PLAN 2
Author: dsdlaforce
Date: 6/20/2022 11:30:43 AM
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Subject: Callout
Page Label: [3] 03 PRELIM PLAN 2
Author: dsdlaforce
Date: 6/20/2022 11:30:43 AM
Status:
Color: ■
Layer:
Space:

Provide typical cross section.



Subject: Callout
Page Label: [3] 03 PRELIM PLAN 2
Author: dsdlaforce
Date: 6/20/2022 11:31:23 AM
Status:
Color: ■
Layer:
Space:

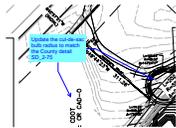
Label proposed NBLT



Subject: Callout
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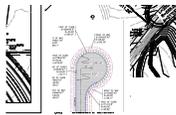
Revise to Right-In/Right-Out.

See comment on the deviation request. The deviation request is likely to be denied.



Subject: Callout
Page Label: [3] 03 PRELIM PLAN 2
Author: dsdlaforce
Date: 6/22/2022 9:33:36 AM
Status:
Color: ■
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Space:

Update the cul-de-sac bulb radius to match the County detail SD_2-75

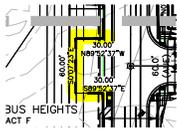


Subject: Image
Page Label: [3] 03 PRELIM PLAN 2
Author: dsdlaforce
Date: 6/22/2022 9:32:38 AM
Status:
Color: ■
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Subject: Callout
Page Label: [3] 03 PRELIM PLAN 2
Author: dsdlaforce
Date: 6/23/2022 8:21:36 AM
Status:
Color: ■
Layer:
Space:

What is the purpose of the notch in the ROW line?



Subject: Highlight
Page Label: [3] 03 PRELIM PLAN 2
Author: dsdlaforce
Date: 6/23/2022 7:27:14 AM
Status:
Color: ■
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Subject: Callout
Page Label: [3] 03 PRELIM PLAN 2
Author: dsdlaforce
Date: 6/23/2022 8:18:03 AM
Status:
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Layer:
Space:

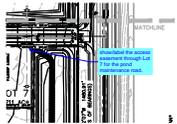
Label access and in your own words add a note stating access to Lot 2 is limited to this access.



Subject: Callout
Page Label: [3] 03 PRELIM PLAN 2
Author: dsdlaforce
Date: 6/23/2022 9:35:39 AM
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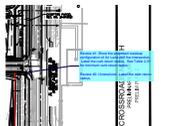
Label the P.I.E. The Hillcrest Acres subdivision plat (Plat No. 1950) does not show this easement therefore reference the document/reception # that established the easement.

If this is proposed easement then the applicant will need to acquire the easement before the deviation request will be approved.



Subject: Callout
Page Label: [3] 03 PRELIM PLAN 2
Author: dsdlaforce
Date: 6/23/2022 9:32:58 AM
Status:
Color: ■
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Space:

show/label the access easement through Lot 7 for the pond maintenance road.



Subject: Callout
Page Label: [3] 03 PRELIM PLAN 2
Author: dsdlaforce
Date: 6/23/2022 11:15:56 AM
Status:
Color: ■
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Space:

Review #1: Show the proposed roadway configuration of Air Lane and the intersection. Label the curb return radius. See Table 2-31 for minimum curb return radius.

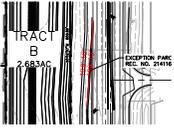
Review #2: Unresolved. Label the curb return radius.



Subject: Callout
Page Label: [3] 03 PRELIM PLAN 2
Author: dsdlaforce
Date: 6/23/2022 10:06:29 AM
Status:
Color: ■
Layer:
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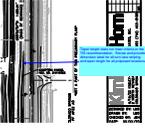
Review #1: This appears contradictory. The roads are both identified as tract and easement.

Review #2: Unresolved. If it's already a tract with the identified use then an additional easement shouldn't be required.



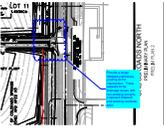
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Page Label: [3] 03 PRELIM PLAN 2
Author: dsdlaforce
Date: 6/23/2022 10:42:30 AM
Status:
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189'-10"



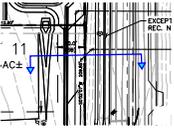
Subject: Callout
Page Label: [3] 03 PRELIM PLAN 2
Author: dsdlaforce
Date: 6/23/2022 10:46:14 AM
Status:
Color: ■
Layer:
Space:

Taper length does not meet criteria or the TIS recommendation. Revise and provide dimension label for all turn lane striping and taper length for all proposed locations.

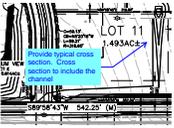


Subject: Cloud+
Page Label: [3] 03 PRELIM PLAN 2
Author: dsdlaforce
Date: 6/23/2022 11:18:38 AM
Status:
Color: ■
Layer:
Space:

Provide a larger detailed preliminary grading at the intersection. There appears to be drainage issues with two existing culverts, proposed sidewalk and existing roadside ditch.

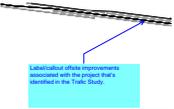


Subject: PolyLine
Page Label: [3] 03 PRELIM PLAN 2
Author: dsdlaforce
Date: 6/23/2022 11:24:11 AM
Status:
Color: ■
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Subject: Callout
Page Label: [3] 03 PRELIM PLAN 2
Author: dsdlaforce
Date: 6/23/2022 11:25:04 AM
Status:
Color: ■
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Space:

Provide typical cross section. Cross section to include the channel



Subject: Callout
Page Label: [4] 04 DETAILS
Author: dsdlaforce
Date: 6/22/2022 9:13:10 AM
Status:
Color: ■
Layer:
Space:

Label/callout offsite improvements associated with the project that's identified in the Traffic Study.



Subject: Callout
Page Label: [4] 04 DETAILS
Author: dsdlaforce
Date: 6/23/2022 10:14:03 AM
Status:
Color: ■
Layer:
Space:

identify the max height of the retaining wall.

Sheet 2 appears to indicate two tiers of retaining wall. Update to reflect the grading plan.



Subject: Callout
Page Label: [4] 04 DETAILS
Author: dsdlaforce
Date: 6/23/2022 10:22:45 AM
Status:
Color: ■
Layer:
Space:

Review #1: Label lane widths and street/sidewalk cross slopes. Typical for sections B, C, & D

Unresolved



Subject: Callout
Page Label: [4] 04 DETAILS
Author: dsdlaforce
Date: 6/23/2022 10:26:46 AM
Status:
Color: ■
Layer:
Space:

Revise. Marksheffel is Urban Principle Arterial.



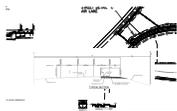
Subject: Callout
Page Label: [4] 04 DETAILS
Author: dsdlaforce
Date: 6/23/2022 10:38:38 AM
Status:
Color: ■
Layer:
Space:

Revise cross section. This needs to identify what is new and what is existing. Multiple cross section needed. One where a new southbound Right turn is added. Another where a northbound left turn is proposed. See snippet to the right for example.



Subject: Callout
Page Label: [4] 04 DETAILS
Author: dsdlaforce
Date: 6/23/2022 10:36:09 AM
Status:
Color: ■
Layer:
Space:

Revise to match the site plan which shows detached sidewalk.



Subject: Image
Page Label: [4] 04 DETAILS
Author: dsdlaforce
Date: 6/23/2022 10:38:50 AM
Status:
Color: ■
Layer:
Space:



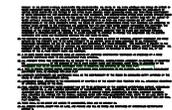
Subject: Text Box
Page Label: [1] 01 COVER
Author: dsdparsons
Date: 6/22/2022 4:44:10 PM
Status:
Color: ■
Layer:
Space:

delete this sentence; as it seems misplaced...without context



Subject: Pen
Page Label: [1] 01 COVER
Author: dsdparsons
Date: 6/22/2022 4:42:08 PM
Status:
Color: ■
Layer:
Space:

-



Subject: Text Box
Page Label: [1] 01 COVER
Author: dsdparsons
Date: 6/22/2022 4:47:22 PM
Status:
Color: ■
Layer:
Space:

this cant be open ended on a prelim plan as the prelim is not recorded; re-write note please



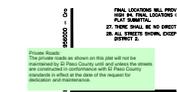
Subject: Reports on File
Page Label: [1] 01 COVER
Author: dsdparsons
Date: 6/22/2022 4:48:12 PM
Status:
Color: ■
Layer:
Space:

Note Regarding Reports on File:
The following reports have been submitted in association with the Preliminary Plan or Final Plat for this subdivision and are on file at the County Planning and Community Development Department: Transportation Impact Study; Drainage Report; Water Resources Report; Wastewater Disposal Report; Geology and Soils Report; Fire Protection Report; Wildfire Hazard Report; Natural Features Report; (other; modify based upon specific reports)



Subject: Easements
Page Label: [1] 01 COVER
Author: dsdparsons
Date: 6/22/2022 4:50:42 PM
Status:
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Easements:
Unless otherwise indicated, all side, front, and rear lot lines are hereby platted on either side with a 10 foot (use 5 feet for lots smaller than 2.5 acres) public utility and drainage easement unless otherwise indicated. All exterior subdivision boundaries are hereby platted with a 20 foot (use 7 feet for lots smaller than 2.5 acres) public utility and drainage easement. The sole responsibility for maintenance of these easements is hereby vested with the individual property owners.



Subject: Private Road
Page Label: [1] 01 COVER
Author: dsdparsons
Date: 6/22/2022 4:49:16 PM
Status:
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Private Roads:
The private roads as shown on this plat will not be maintained by El Paso County until and unless the streets are constructed in conformance with El Paso County standards in effect at the date of the request for dedication and maintenance.



Subject: Road Impact
Page Label: [1] 01 COVER
Author: dsdparsons
Date: 6/22/2022 4:50:10 PM
Status:
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The Subdivider(s) agrees on behalf of him/herself and any developer or builder successors and assignees that Subdivider and/or said successors and assigns shall be required to pay traffic impact fees in accordance with the El Paso County Road Impact Fee Program Resolution (Resolution No. 16-454), or any amendments thereto, at or prior to the time of building permit submittals. The fee obligation, if not paid at final plat recording, shall be documented on all sales documents and on plat notes to ensure that a title search would find the fee obligation before sale of the property.

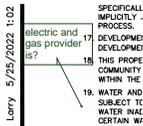


Subject: Callout
Page Label: [1] 01 COVER
Author: dsdparsons
Date: 6/23/2022 4:06:09 PM
Status:
Color: ■
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ADD the 6 notes provided.



Subject: Arrow
Page Label: [1] 01 COVER
Author: dsdparsons
Date: 6/22/2022 4:50:37 PM
Status:
Color: ■
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Subject: Callout
Page Label: [1] 01 COVER
Author: dsdparsons
Date: 6/22/2022 4:51:21 PM
Status:
Color: ■
Layer:
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electric and gas provider is?



Subject: Image
Page Label: [1] 01 COVER
Author: dsdparsons
Date: 6/22/2022 4:55:25 PM
Status:
Color: ■
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Space:



Subject: Callout
Page Label: [1] 01 COVER
Author: dsdparsons
Date: 6/22/2022 4:57:55 PM
Status:
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where did the overall site go? it was on sheet 1 previously. If you are breaking the prelim plan up, you need to have the key map showing the overall plan and various sections mapped in detail, w matchlines

| TABLE | |
|-------|-----------|
| 1 | 0.0000 AC |
| 2 | 0.0000 AC |
| 3 | 0.0000 AC |
| 4 | 0.0000 AC |
| 5 | 0.0000 AC |
| 6 | 0.0000 AC |
| 7 | 0.0000 AC |
| 8 | 0.0000 AC |
| 9 | 0.0000 AC |
| 10 | 0.0000 AC |
| 11 | 0.0000 AC |
| 12 | 0.0000 AC |
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| 14 | 0.0000 AC |
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| 84 | 0.0000 AC |
| 85 | 0.0000 AC |
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| 93 | 0.0000 AC |
| 94 | 0.0000 AC |
| 95 | 0.0000 AC |
| 96 | 0.0000 AC |
| 97 | 0.0000 AC |
| 98 | 0.0000 AC |
| 99 | 0.0000 AC |
| 100 | 0.0000 AC |

Subject: Cloud
Page Label: [1] 01 COVER
Author: dsdparsons
Date: 6/23/2022 4:04:00 PM
Status:
Color: ■
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| |
|-----------------|
| 5408001008, 540 |
| 5408001042, 540 |

Subject: Text Box
Page Label: [1] 01 COVER
Author: dsdparsons
Date: 6/23/2022 4:04:07 PM
Status:
Color: ■
Layer:
Space:

correct

| | |
|-----------|--------|
| 44.34 AC | please |
| 1.28 AC | verify |
| 33.357 AC | |
| 3.207 AC | |
| 3.361 AC | |
| 3.127 AC | |

Subject: Text Box
Page Label: [1] 01 COVER
Author: dsdparsons
Date: 6/23/2022 4:04:31 PM
Status:
Color: ■
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Space:

please verify

Marksheffel Road District Note:
 The property is within the Service Area of the Central Marksheffel Metropolitan District and, as such, is subject to an assessment for the construction of Marksheffel Road.

Subject: Marksheffel Road
Page Label: [1] 01 COVER
Author: dsdparsons
Date: 6/23/2022 4:05:13 PM
Status:
Color: ■
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The following note should be added to all site development plans or non-residential site plans, as applicable, prior to PCD approval:
 The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

Subject: ADA Note
Page Label: [1] 01 COVER
Author: dsdparsons
Date: 6/23/2022 4:05:56 PM
Status:
Color: ■
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Subject: Soils & Geology
Page Label: [1] 01 COVER
Author: dsdparsons
Date: 6/23/2022 4:07:18 PM
Status:
Color: ■
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Soil and Geology Conditions:
 Geologic Hazard Note-Final Plat: (to be customized based upon the individual circumstances)
 The following lots have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in the report (Title of Report, generally from the Preliminary Plan file) by (author of the report) (date of report) in file (name of file and file number) available at the El Paso County Planning and Community Development Department:
 ■Downslope Creep: (name lots or location of area)
 ■Rockfall Source:(name lots or location of area)
 ■Rockfall Runout Zone:(name lots or location of area)
 ■Potentially Seasonally High Groundwater:(name lots or location of area)
 ■Other Hazard:
 In Areas of High Groundwater:
 Due to high groundwater in the area, all foundations shall incorporate an underground drainage system.



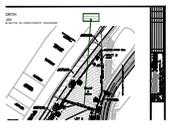
Subject: Callout
Page Label: [1] 01 COVER
Author: dsdparsons
Date: 6/23/2022 4:08:11 PM
Status:
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which lots have which constraints and the mitigation to be used? See standard note above



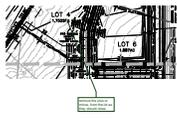
Subject: Callout
Page Label: [2] 02 PRELIM PLAN 1
Author: dsdparsons
Date: 6/22/2022 4:53:03 PM
Status:
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the outer perimeter of the preliminary plan should be a unique linetype, the lot lines should be easily distinguishable from easements, topo setbacks etc,



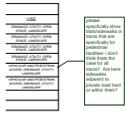
Subject: Callout
Page Label: [2] 02 PRELIM PLAN 1
Author: dsdparsons
Date: 6/22/2022 4:54:34 PM
Status:
Color: ■
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when printed can you read the distances for the lot lines? I was not able to...



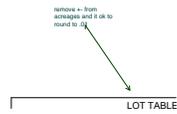
Subject: Callout
Page Label: [2] 02 PRELIM PLAN 1
Author: dsdparsons
Date: 6/22/2022 4:54:56 PM
Status:
Color: ■
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remove the plus or minus. from the lot as they should close.



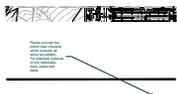
Subject: Callout
Page Label: [2] 02 PRELIM PLAN 1
Author: dsdparsons
Date: 6/23/2022 3:55:26 PM
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please specifically show trails/sidewalks in tracts that are specifically for pedestrian facilities- i don't think thats the case for all tracts? Are here sidewalks adjacent to private road tract or within them?



Subject: Callout
Page Label: [2] 02 PRELIM PLAN 1
Author: dsdparsons
Date: 6/23/2022 3:56:26 PM
Status:
Color: ■
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Space:

remove +- from acreages and it ok to round to .01



Subject: Callout
Page Label: [2] 02 PRELIM PLAN 1
Author: dsdparsons
Date: 6/23/2022 3:58:15 PM
Status:
Color: ■
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Please provide the prelim plan checklist which ensures all items are added. For example surfaces of row sidewalks, trails, parks ball fields.



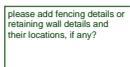
Subject: Text Box
Page Label: [3] 03 PRELIM PLAN 2
Author: dsdparsons
Date: 6/23/2022 4:00:03 PM
Status:
Color: ■
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Space:

Private road and width labels w dimensions please add



Subject: Text Box
Page Label: [4] 04 DETAILS
Author: dsdparsons
Date: 6/23/2022 4:03:05 PM
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Color: ■
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Is there a landscape plan to be submitted for the private roads and exterior perimeter for constancy? if so attached sheets please.



Subject: Text Box
Page Label: [4] 04 DETAILS
Author: dsdparsons
Date: 6/23/2022 4:02:43 PM
Status:
Color: ■
Layer:
Space:

please add fencing details or retaining wall details and their locations, if any?