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CROSSROADS NORTH PRELIMINARY PLAN

LOCATED IN THE EAST 1/2 OF SECTION 8, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO

LEGAL DESCRIPTION:

A PORTION OF LOTS 7, 12, 13, 14, 15, 16, 17, 18, 19, AND 20, HILLCREST ACRES RECORDED MAY 12, 1960, IN PLAT BOOK B-2, PAGE 64 IN THE RECORD OF EL PASO COUNTY, COLORADO EXCEPT THOSE PARCELS OF LAND AS DESCRIBED IN THE FOLLOWING RECEPTION NUMBERS: 204068322, 202058754, 214119767, 214119796, 214116022, AND 214116021 RECORDED IN THE OFFICIAL PUBLIC RECORDS OF EL PASO COUNTY, COLORADO.

PRELIMINARY PLAN NOTES

1. THE FOLLOWING REPORTS HAVE BEEN SUBMITTED IN ASSOCIATION WITH THE PRELIMINARY PLAN FOR THIS SUBDIVISION AND ARE ON FILE AT THE COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT: TRANSPORTATION IMPACT STUDY; DRAINAGE REPORT; WATER RESOURCES REPORT; WASTEWATER DISPOSAL REPORT; GEOLOGY AND SOILS REPORT; FIRE PROTECTION REPORT; NATURAL FEATURES REPORT.
2. ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE LOT OWNERS UNLESS OTHERWISE INDICATED. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OR RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.
3. UNLESS OTHERWISE INDICATED, ALL FRONT, SIDE AND REAR LOT LINES ARE HEREBY PLATTED ON EITHER SIDE WITH A 10 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT. ALL EXTERIOR SUBDIVISION BOUNDARIES ARE HEREBY PLATTED WITH A 10 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT. THE SOLE RESPONSIBILITY FOR MAINTENANCE OF THESE EASEMENTS IS HEREBY VESTED WITH THE INDIVIDUAL PROPERTY OWNERS.
4. DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEW AND PERMIT REQUIREMENTS, AND OTHER AGENCY REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO DIVISION OF WILDLIFE, COLORADO DEPARTMENT OF TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS, AND THE U.S. FISH AND WILDLIFE SERVICE REGARDING THE ENDANGERED SPECIES ACT, PARTICULARLY AS RELATED TO THE LISTED SPECIES IDENTIFIED IN THE PROJECTS ENVIRONMENTAL ASSESSMENT.
5. NO DRIVEWAY SHALL BE ESTABLISHED UNLESS AN ACCESS PERMIT HAS BEEN GRANTED BY EL PASO COUNTY.
6. MAILBOXES SHALL BE INSTALLED IN ACCORDANCE WITH EL PASO COUNTY AND US POSTAL SERVICE REGULATIONS.
7. EXCEPT AS OTHERWISE NOTED ON THE PRELIMINARY PLAN, INDIVIDUAL LOT PURCHASERS ARE RESPONSIBLE FOR CONSTRUCTING DRIVEWAYS, INCLUDING NECESSARY DRAINAGE CULVERTS PER LAND DEVELOPMENT CODE SECTION 6.3.3.C.2 AND 6.2.2.C.3.
8. AT THE TIME OF APPROVAL OF THIS PROJECT, THIS PROPERTY IS LOCATED WITHIN THE CIMARRON HILLS FIRE PROTECTION DISTRICT, WHICH HAS ADOPTED A FIRE CODE WITH FIRE MITIGATION REQUIREMENTS DEPENDING UPON THE LEVEL OF FIRE RISK ASSOCIATED WITH THE PROPERTY AND STRUCTURES. THE OWNER OF ANY LOT SHOULD CONTACT THE FIRE DISTRICT TO DETERMINE THE EXACT DEVELOPMENT REQUIREMENTS RELATIVE TO THE ADOPTED FIRE CODE.
9. NO-BUILD AREAS ARE AS SHOWN ON THE PLANS. NO-BUILD AREAS INCLUDE, BUT ARE NOT LIMITED TO, WITHIN DESIGNATED DRAINAGE EASEMENTS, NO-BUILD AREAS WITHIN INDIVIDUAL LOTS ARE THE RESPONSIBILITY OF THE PROPERTY OWNER. ALL OTHER NO-BUILD AREAS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER'S ASSOCIATION.
10. THIS PROPERTY MAY BE ADVERSELY IMPACTED BY NOISE, DUST, FUMES, AND LIGHT POLLUTION CAUSED BY ADJACENT INDUSTRIAL PROPERTIES AND ACTIVITIES. THE BUYER SHOULD RESEARCH AND BE AWARE OF THIS POTENTIAL AND THE RAMIFICATIONS THEREOF.
11. SIGNAGE IS NOT APPROVED WITH THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT AT 2880 INTERNATIONAL CIRCLE FOR A SIGN PLAN APPLICATION.
12. RETAINING WALLS EXCEEDING 4-FEET WILL NEED TO BE STRUCTURALLY ENGINEERED.
13. ALL "STOP SIGNS" AND OTHER TRAFFIC CONTROL SIGNAGE SHALL BE INSTALLED BY THE DEVELOPER AT LOCATIONS SHOWN ON THE SITE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS.
14. PRIOR TO BUILDING PERMIT APPROVAL, A FINAL SUBDIVISION PLAT SHALL BE SUBMITTED FOR REVIEW BY THE EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT, AND APPROVAL BY THE BOARD OF COUNTY COMMISSIONERS, OR DESIGNEE MUST BE RECORDED, OR AUTHORIZED DESIGNEE, AND THE PLAT SHALL BE RECORDED.
15. FOUR TO SIX FOOT TALL DECORATIVE FENCE WILL BE CONSTRUCTED ALONG THE PERIMETER OF THE AREA OF DEVELOPMENT. THE MATERIAL AND LOCATION SHALL BE PROVIDED WITH THE SITE DEVELOPMENT PLAN.
16. ALL STREETS SHALL BE NAMED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS AND ANY APPROVED DEVIATIONS. UPON ACCEPTANCE BY EL PASO COUNTY, PUBLIC STREETS SHALL BE MAINTAINED BY THE COUNTY.
17. NOTWITHSTANDING ANYTHING DEPICTED IN THIS PLAN IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE (LDC), THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL (DCM), AND DCM VOLUME 2. ANY DEVIATIONS FROM THESE STANDARDS MUST BE SPECIFICALLY REQUESTED AND APPROVED IN WRITING TO BE ACCEPTABLE. THE APPROVAL OF THIS PRELIMINARY PLAN DOES NOT IMPLICITLY ALLOW ANY DEVIATIONS OR WAIVERS THAT HAVE NOT BEEN OTHERWISE APPROVED THROUGH THE DEVIATION APPROVAL PROCESS.
18. DEVELOPMENT OF THE PROPERTY WILL BE IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE EL PASO COUNTY LAND DEVELOPMENT CODE FOR CR ZONING, AND THE COMMERCIAL AVIATION DISTRICT OVERLAY (CAD-O).
19. THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAPS NUMBERED 19841C05767, DATED DECEMBER 7, 2018, THE LIMITS OF WHICH ARE SHOWN ON THE SURVEY. AREAS WITHIN THE FLOODPLAIN ARE ZONE AE, AREAS OUTSIDE THE FLOODPLAIN ARE ZONE X.
20. WATER AND WASTEWATER SERVICES FOR THIS SUBDIVISION WILL BE PROVIDED BY THE CHEROKEE METROPOLITAN DISTRICT (CHEROKEE) SUBJECT TO THE DISTRICT'S RULES, REGULATIONS AND SPECIFICATIONS. THE OFFICE OF THE STATE ENGINEER HAS ISSUED AN OPINION OF WATER INADEQUACY BASED ON ITS ANALYSIS AND INTERPRETATION OF A STIPULATED AGREEMENT CONCERNING THE AVAILABILITY OF CERTAIN WATER RIGHTS FOR USE OUTSIDE OF THE UPPER BLACK CREEK DESIGNATED BASIN, AND THUS FOUND INSUFFICIENCY OF WATER RESOURCES FOR THIS SUBDIVISION BASED ON THAT AGREEMENT. THIS INTERPRETATION DIFFERS FROM CERTAIN OPINIONS ISSUED BY THE OFFICE IN THE PAST. BASED ON ITS OWN REVIEW OF THE STIPULATED AGREEMENT AND ITS HISTORY (AND NOT THE AMOUNT OF WATER ACTUALLY AVAILABLE) THE BOARD OF COUNTY COMMISSIONERS IN AN OPEN AND PUBLIC HEARING DID NOT ACCEPT THE INTERPRETATION OF THE STATE ENGINEER'S OFFICE. THE BOARD OF COUNTY COMMISSIONERS FOUND THAT CHEROKEE HAS COMMITTED TO PROVIDE WATER SERVICE TO THE SUBDIVISION AND ASSERTED THAT ITS LONG TERM WATER SERVICE CAPABILITIES ARE SUFFICIENT. THE BOARD OF COUNTY COMMISSIONERS MADE THIS DETERMINATION IN RELIANCE UPON THE TESTIMONY AND EXPERTISE PROVIDED BY CHEROKEE AT THE PUBLIC HEARING THEREON. AT THE HEARING, CHEROKEE ASSERTED THAT ITS PLANS AND CONTINUED FINANCIAL INVESTMENT IN INFRASTRUCTURE ARE DESIGNED TO ALLOW CHEROKEE TO CONTINUE TO PROVIDE THIS SUBDIVISION AND ITS EXISTING CUSTOMERS WITH WATER AND WASTEWATER SERVICES FOR 300 YEARS OR MORE.
21. THE PROPERTY IS LOCATED IN THE AIRPORT OVERLAY ZONE. THIS SERVES AS NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACTS ON THIS PROPERTY DUE TO ITS CLOSE PROXIMITY TO AN AIRPORT, WHICH IS BEING DISCLOSED TO ALL PROSPECTIVE PURCHASERS CONSIDERING THE USE OF THIS PROPERTY FOR RESIDENTIAL AND OTHER PURPOSES. THIS PROPERTY IS SUBJECT TO THE OVERFLIGHT AND ASSOCIATED NOISE OF ARRIVING AND DEPARTING AIRCRAFT DURING THE COURSE OF NORMAL AIRPORT OPERATIONS. ALL PROPERTY WITHIN THIS SUBDIVISION IS SUBJECT TO AN AVIGATION EASEMENT AS RECORDED IN BOOK 2478 AT PAGE 304, OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER.
22. A 30 DB(A) INDOOR NOISE REDUCTION SHALL BE ACHIEVED BY APPROVED CONSTRUCTION TECHNIQUES AS EVIDENCED BY A NOISE REDUCTION CERTIFICATE PRIOR TO SITE DEVELOPMENT PLAN APPROVAL.
23. ALL PROPERTY WITHIN THIS SUBDIVISION WILL BE SUBJECT TO A RECIPROCAL ACCESS/PARKING AGREEMENT AS RECORDED AT RECEPTION NO. _____ OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER, WHICH SHALL BE DEDICATED BY THE SUBSEQUENT PLAT OR BY SEPARATE INSTRUMENT PRIOR TO SUBMITTAL AND APPROVAL OF THE FINAL PLAT.
24. A TITLE 32 SPECIAL DISTRICT ANNUAL REPORT AND DISCLOSURE FORM SATISFACTORY TO THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE RECORDED WITH EACH PLAT
25. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OR DESIGNATED ENTITY APPROVED BY THE BOARD OF COUNTY COMMISSIONERS (BOCC).
26. LANDSCAPING SHALL CONFORM TO THE REQUIREMENTS OF CHAPTER 6 OF THE COUNTY CODE TOGETHER WITH ALL APPLICABLE CONDITIONS OF APPROVAL IMPOSED BY THE BOCC.
27. FINAL LOCATION OF PROPOSED WATER EASEMENT HAS YET TO BE DETERMINED BY THE CIMARRON METROPOLITAN DISTRICT. CROSSROADS METRO DISTRICT NO. 2, AND COLORADO DEPARTMENT OF TRANSPORTATION. LOTS, EASEMENTS, AND ROAD CONFIGURATIONS AND ALIGNMENTS MAY BE SUBJECT TO MINOR CHANGES IN ORDER TO REFLECT FUTURE AGREEMENT(S) AND FINAL EASEMENT ALIGNMENT. FINAL LOCATIONS WILL PROVIDE FOR THE OVERALL REQUIRED WATER LOOP FROM MEADOWBROOK PKWY, SOUTH TO AIR LANE SOUTH OF HIGH 94. FINAL LOCATIONS OF REQUIRED EASEMENTS AND UTILITY LINES SHALL BE PROVIDED PRIOR TO OR CONCURRENT WITH ANY FINAL PLAT SUBMITTAL.

FLOODPLAIN NOTES:

1. PORTIONS OF THIS PROPERTY ARE LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBER 19841C05767, EFFECTIVE DATE: DECEMBER 7, 2018, AND MODIFIED PER LOMR CASE NO. 19-08-0605P.
2. THE JIMMY CAMP CREEK EAST TRIBUTARY IS TO BE DEDICATED TO, OWNED AND MAINTAINED BY THE LORSON RANCH METROPOLITAN DISTRICT NO. 1. JIMMY CAMP CREEK EAST TRIBUTARY CHANNEL IMPROVEMENTS TO BE COMPLETED BY THE DEVELOPER/ OWNER AS REQUIRED.

PROJECT TEAM:

OWNER/DEVELOPER:
CROSSROADS METROPOLITAN DISTRICT NO. 2
C/O THE EQUITY GROUP
ATTN: DANNY MIENTKA
90 SOUTH CASCADE AVENUE, SUITE 1500
COLORADO SPRINGS, CO 80903

PLANNERS/LANDSCAPE ARCH:
KIMLEY-HORN
2 NORTH NEVADA AVENUE
SUITE 300
COLORADO SPRINGS, CO 80903

CIVIL ENGINEER:
MS CIVIL CONSULTANTS, INC.
102 PIKES PEAK AVENUE
5TH FLOOR
COLORADO SPRINGS, CO 80903

SHEET INDEX:

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02	PRELIMINARY PLAN - 1
03	PRELIMINARY PLAN - 2
04	LANDSCAPE SHEET
05	LANDSCAPE STREET DETAIL SHEET

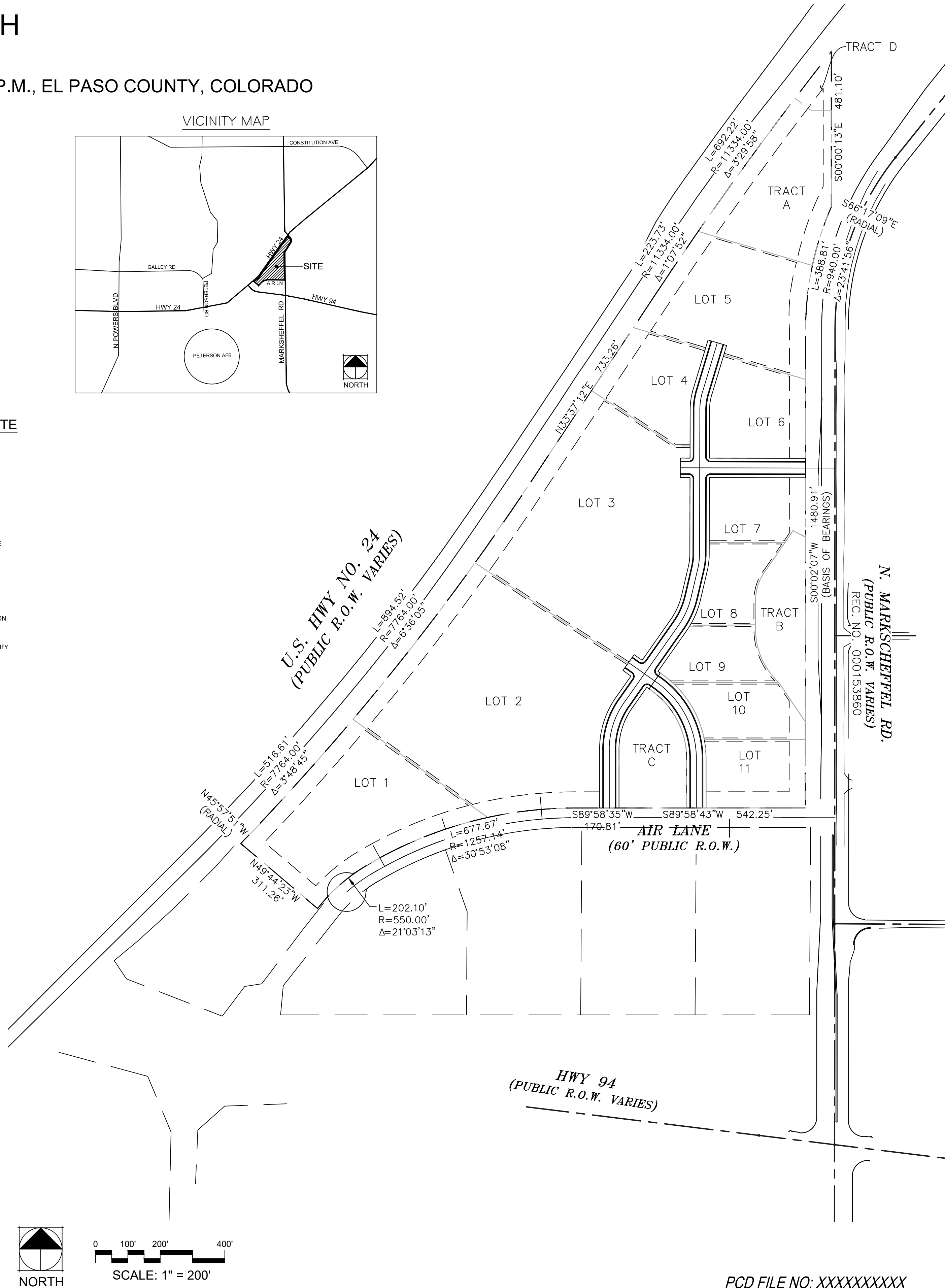
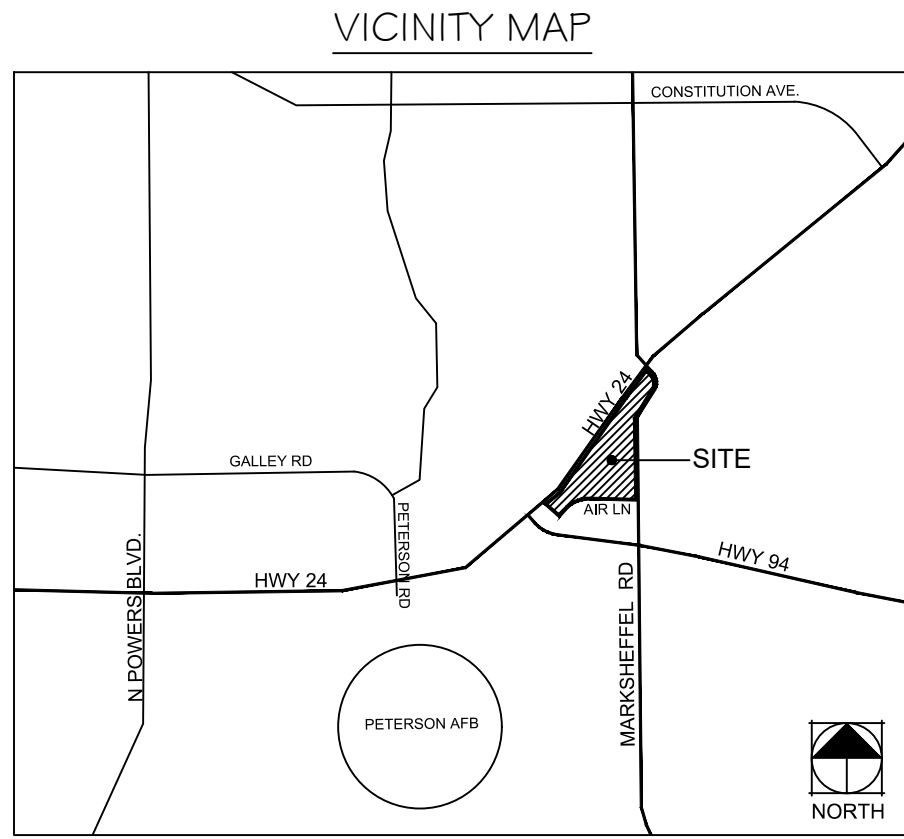
SITE DATA TABLE:

TAX ID NUMBERS	5408001008, 5408001029, 5408001032, 5408001033, 5408001034, 5408001041, 5408001042, 5408001050, 5408001051, & 5408001052
CURRENT ZONING:	CR CAD-O, M CAD-O, I-2 CAD-O
PROPOSED ZONING:	CR CAD-O
PROPOSED LOTS:	11
TOTAL SITE ACREAGE	44.34 AC
MINIMUM LOT SIZE	1.28 AC
FRONTAGE SETBACKS	50' FRONT, 25' SIDE/ REAR, 0' SIDE/REAR SETBACK ADJACENT TO CR ZONE
LOT SETBACKS	50' FRONT, 25' SIDE/ REAR, 0' SIDE/REAR SETBACK ADJACENT TO CR ZONE
LANDSCAPE SETBACKS	EXPRESSWAY, PRINCIPAL ARTERIAL: 25' SETBACK (1 TREE/ 25' FRONTAGE) MINOR ARTERIAL: 20' SETBACK (1 TREE/ 25' FRONTAGE) NON-ARTERIAL: 10' SETBACK (1 TREE/ 50' FRONTAGE)
MAXIMUM LOT COVERAGE	NONE
MAXIMUM BUILDING HEIGHT	50' (UNLESS OTHERWISE IMPACTED BY CAD-O RESTRICTIONS)

SOILS & GEOLOGY CONDITIONS, CONSTRAINTS, & HAZARDS NOTE

1. A GEOLOGIC HAZARDS EVALUATION AND PRELIMINARY GEOTECHNICAL INVESTIGATION, CROSSROADS NORTH, MARKSHEFFEL ROAD AND STATE HIGHWAY 24, EL PASO COUNTY, COLORADO, FOR THE EQUITY GROUP, WAS COMPLETED BY CTL THOMPSON ON OCTOBER 6, 2020 AND INCLUDED THE AREA OF DEVELOPMENT PROPOSED WITH THE CROSSROADS NORTH DEVELOPMENT. THE GEOLOGY AND SOILS REPORT FOR THE CROSSROADS NORTH DEVELOPMENT WAS PROVIDED AS PART OF THE CROSSROADS NORTH PRELIMINARY PLAN SUBMITTED TO THE EL PASO BOARD OF COUNTY COMMISSIONERS. PLANNING AND COMMUNITY DEVELOPMENT FILE NUMBER [TBD]. DEVELOPERS AND HOME OWNERS SHOULD BECOME FAMILIAR WITH THIS REPORT AND ITS CONTENTS. **
2. THERE ARE NO SIGNIFICANT GEOLOGICAL HAZARDS; HOWEVER, THE POTENTIAL FOR GEOLOGIC CONSTRAINTS DO EXIST RELATED TO THE POTENTIAL FOR SHALLOW GROUNDWATER TABLES, EXPANSIVE CLAY OR CLAYEY SANDSTONE, ERODIBLE SANDY SOILS. THESE GEOLOGICAL CONDITIONS ARE CONSIDERED RELATIVELY COMMON TO THE AREA WITH MITIGATION ACCOMPLISHED BY IMPLEMENTING COMMON ENGINEERING AND CONSTRUCTION PRACTICES. IF THE PREVIOUSLY LISTED POTENTIAL GEOLOGICAL HAZARDS ARE FOUND TO EXIST, AN EVALUATION SHALL BE PERFORMED AT THE TIME OF FINAL GEOTECHNICAL INVESTIGATION FOR THOSE INDIVIDUAL LOTS. WE DID NOT IDENTIFY GEOLOGIC HAZARDS THAT WE BELIEVE PRECLUDED DEVELOPMENT OF THE SITE. THE CONDITIONS IDENTIFIED AT THE SITE THAT MAY POSE CONSTRAINTS TO DEVELOPMENT INCLUDED THE PRESENCE OF POTENTIALLY HYDRO-COMPACTIVE SOILS, EXISTING FILL STOCKPILES, AND EROSION. REGIONAL GEOLOGIC CONDITIONS THAT IMPACT THE SITE INCLUDE SEISMICITY AND RADIOACTIVITY. WE BELIEVE EACH OF THESE CONDITIONS CAN BE MITIGATED WITH ENGINEERING DESIGN AND CONSTRUCTION METHODS COMMONLY EMPLOYED IN THIS AREA. THESE CONDITIONS ARE DISCUSSED IN GREATER DETAIL IN THE SECTIONS THAT FOLLOW. **
3. CONVENTIONAL SPREAD FOOTINGS AND MAT FOUNDATIONS UNDERLAIN BY THE ON-SITE, NATURAL SANDS AND GRADING FILL WILL BE APPROPRIATE FOR LIGHTLY TO MODERATELY-LOADED BUILDINGS AT THE SITE. MODERATELY TO MORE HEAVILY-LOADED STRUCTURES MAY REQUIRE MODIFICATION OF THE NEAR-SURFACE AND SOILS (SUB-EXCAVATION AND DENSE COMPACTION UNDER CONTROLLED CONDITIONS), PRIOR TO CONSTRUCTION OF FOOTING FOUNDATIONS. A DEEP FOUNDATION SUCH AS DRILLED BEDROCK PILES MAY BE AN APPROPRIATE OPTION FOR HEAVILY-LOADED STRUCTURES, IF THE BEDROCK FORMATION IS ENCOUNTERED AS A REASONABLE DEPTH. **
4. SITE-SPECIFIC SOILS STUDIES SHALL BE PERFORMED FOR THE LOTS WITHIN THIS SUBDIVISION PRIOR TO FOUNDATION CONSTRUCTION TO IDENTIFY SUBSURFACE SOIL CONDITIONS ANTICIPATED TO SUPPORT FOUNDATIONS AND PROVIDE PERTINENT GEOTECHNICAL-RELATED PARAMETERS AND RECOMMENDATIONS FOR FOUNDATION DESIGN AND CONSTRUCTION. **

**REFER TO THE SOILS REPORT FOR MORE DETAILED INFORMATION.



CROSSROADS NORTH PRELIMINARY PLAN

Kimley»Horn

2018 KIMLEY-HORN AND ASSOCIATES, INC.
100 NORTH NEVADA AVE., SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

DESIGNED BY: LMS
DRAWN BY: LMS
CHECKED BY: JEH
DATE: XX/XX/20

PROJECT NO.
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SHEET

OF

REVISION
BY
DATE
APPR

PCD FILE NO: XXXXXXXXXX

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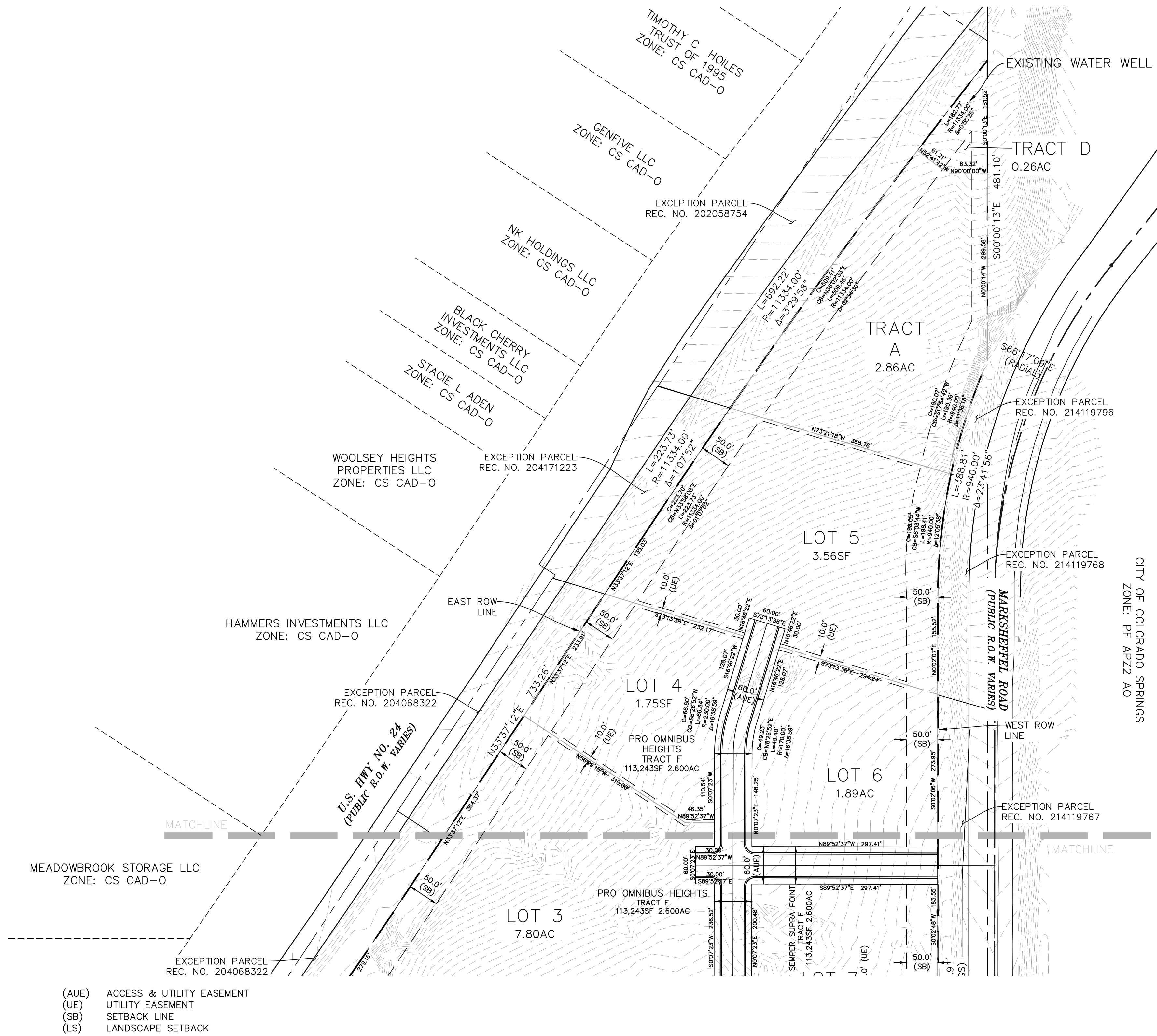
CROSSROADS NORTH PRELIMINARY PLAN

LOCATED IN THE EAST 1/2 OF SECTION 8, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO

LOT TABLE		
LOT NO.	SF/AC±	USE
1	197,834.40SF± / 4.54AC±	COMMERCIAL
2	400,274SF± / 9.19AC±	COMMERCIAL
3	339,627SF± / 7.80AC±	COMMERCIAL
4	76,255SF± / 1.75AC±	COMMERCIAL
5	154,848SF± / 3.56AC±	COMMERCIAL
6	82,164SF± / 1.89AC±	COMMERCIAL
7	58,100SF± / 1.33AC±	COMMERCIAL
8	47,705SF± / 1.10AC±	COMMERCIAL
9	49,200SF± / 1.13AC±	COMMERCIAL
10	56,686SF± / 1.30AC±	COMMERCIAL
11	65,088SF± / 1.49AC±	COMMERCIAL

TRACT TABLE			
TRACT	SF/AC±	OWNER	USE
A	124,528.21SF± / 2.86AC±	CMD2	DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE
B	63,469.91SF± / 1.46AC±	CMD2	DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE
C	64,364SF± / 1.48AC±	CMD2	DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE
D	11,340SF± / 0.26AC±	CMD2	DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE
E	26,211SF± / 0.60AC±	CMD2	VEHICULAR AND PEDESTRIAN ACCESS, DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE
F	113,243SF± / 2.60AC±	CMD2	VEHICULAR AND PEDESTRIAN ACCESS, DRAINAGE, UTILITY, OPEN SPACE, LANDSCAPE

*CMD2-CROSSROADS METROPOLITAN DISTRICT NO. 2



0 50' 100' 200'
SCALE: 1" = 100'

Kimley»Horn

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CROSSROADS NORTH
PRELIMINARY PLAN

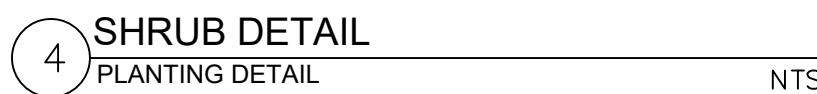
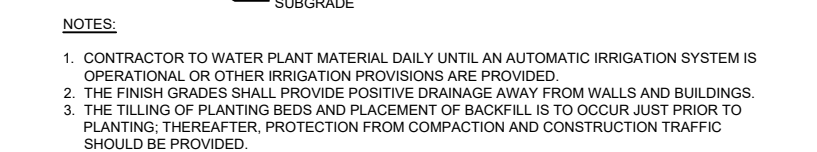
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A typical landscape elevation drawing showing a variety of trees and shrubs. The drawing is labeled 'A' in a circle and 'TYPICAL LANDSCAPE ELEVATION' below it. The trees are arranged in a row, with labels pointing to specific types: 'DECIDUOUS TREE', 'EVERGREEN TREE', 'NATIVE SEED', 'SHRUBS/ORNAMENTAL GRASSES', and 'EVERGREEN TREE'. The drawing is a black and white line art illustration.

PLANT SCHEDULE

LANDSCAPE SETBACKS:

GENERAL NOTES

- # CROSSROADS NORTH
- ## PRELIMINARY PLAN

Kimley»»Horn
2018 KIMLEY-HORN AND ASSOCIATES, INC.
2 NORTH NEVADA AVE., SUITE 300

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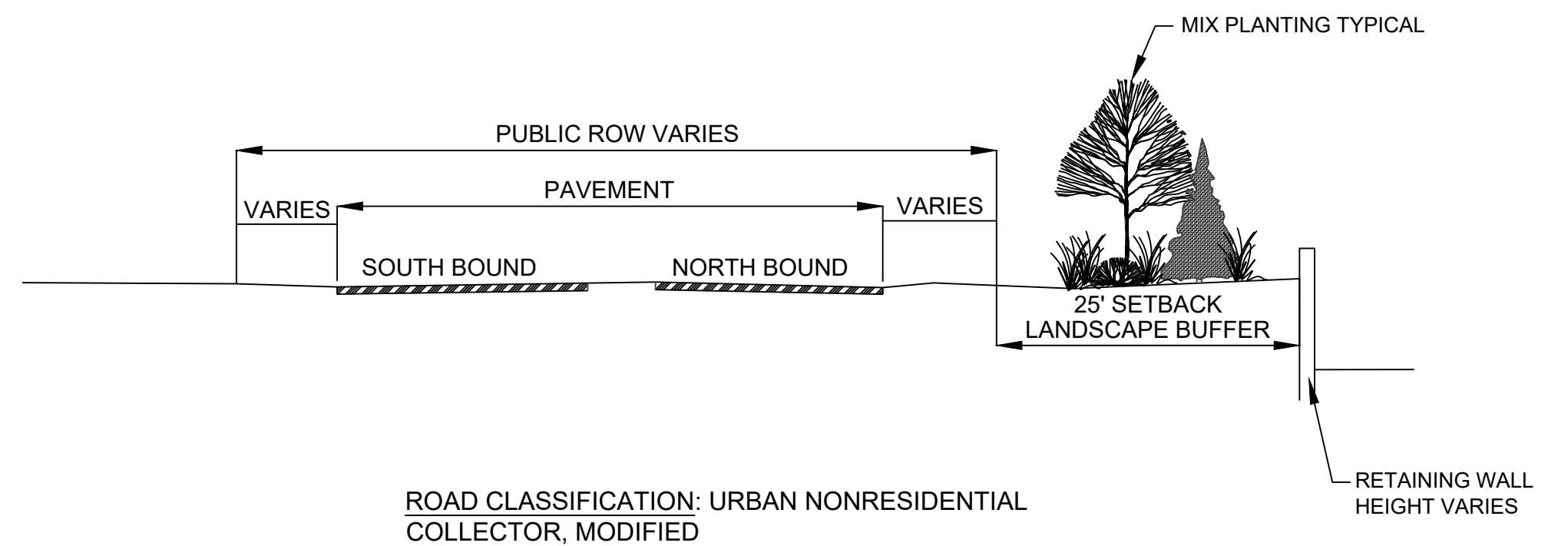
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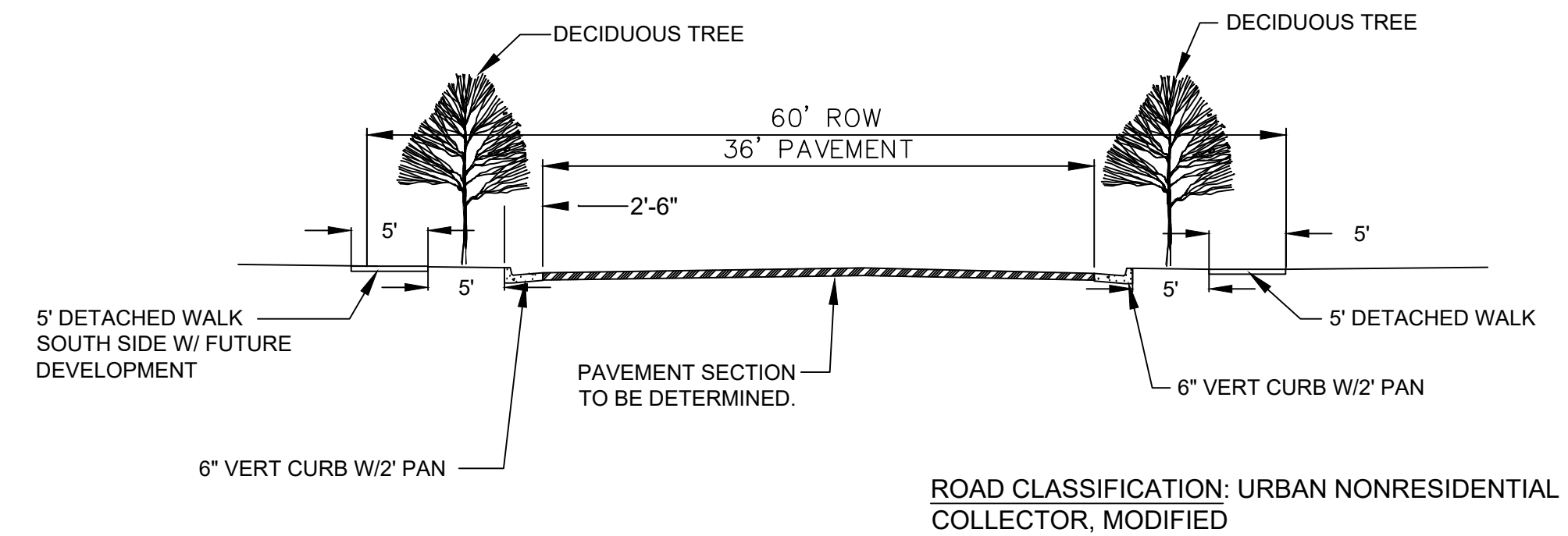
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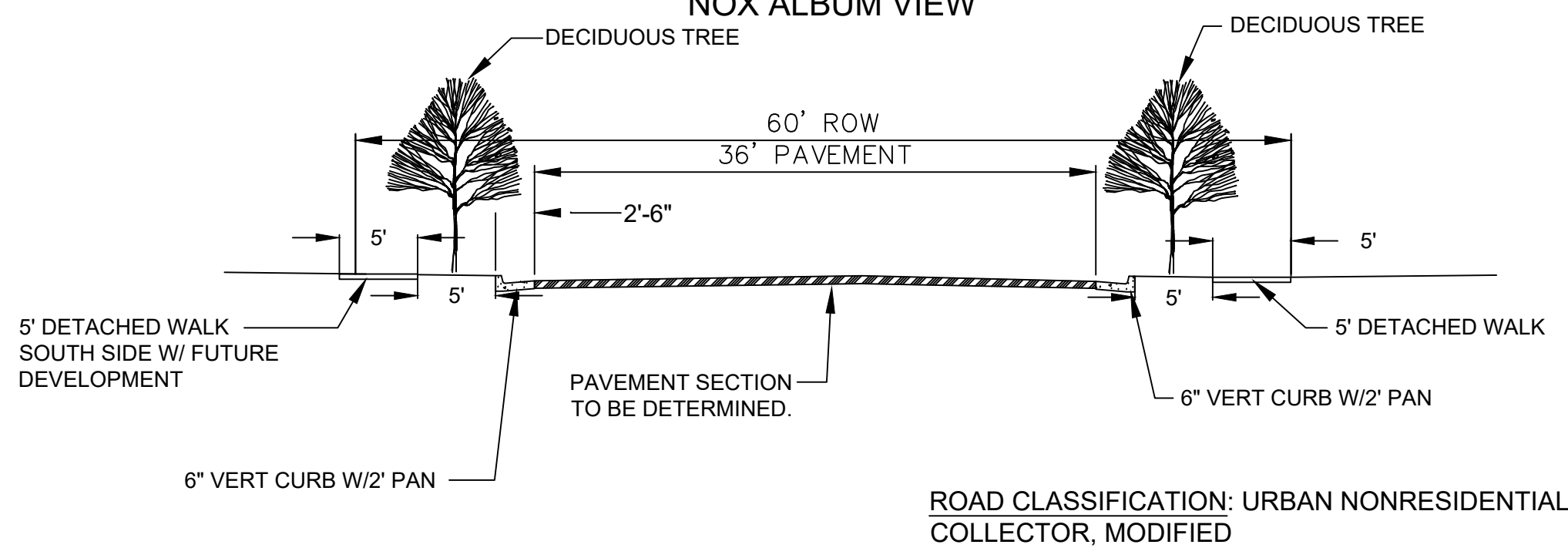
CROSSROADS NORTH
PRELIMINARY PLAN / LANDSCAPE STANDARDS
LOCATED IN THE EAST 1/2 OF SECTION 8, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO



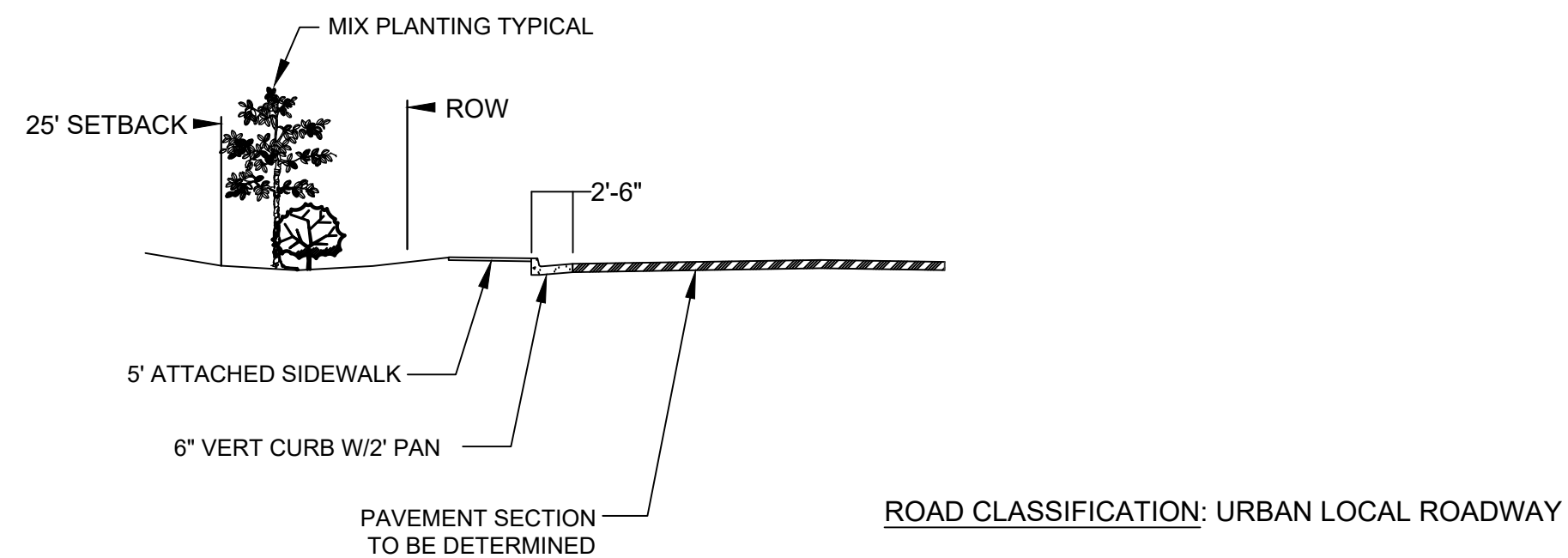
A STREET LANDSCAPE DETAIL "A" - HIGHWAY 24
TYPICAL NTS



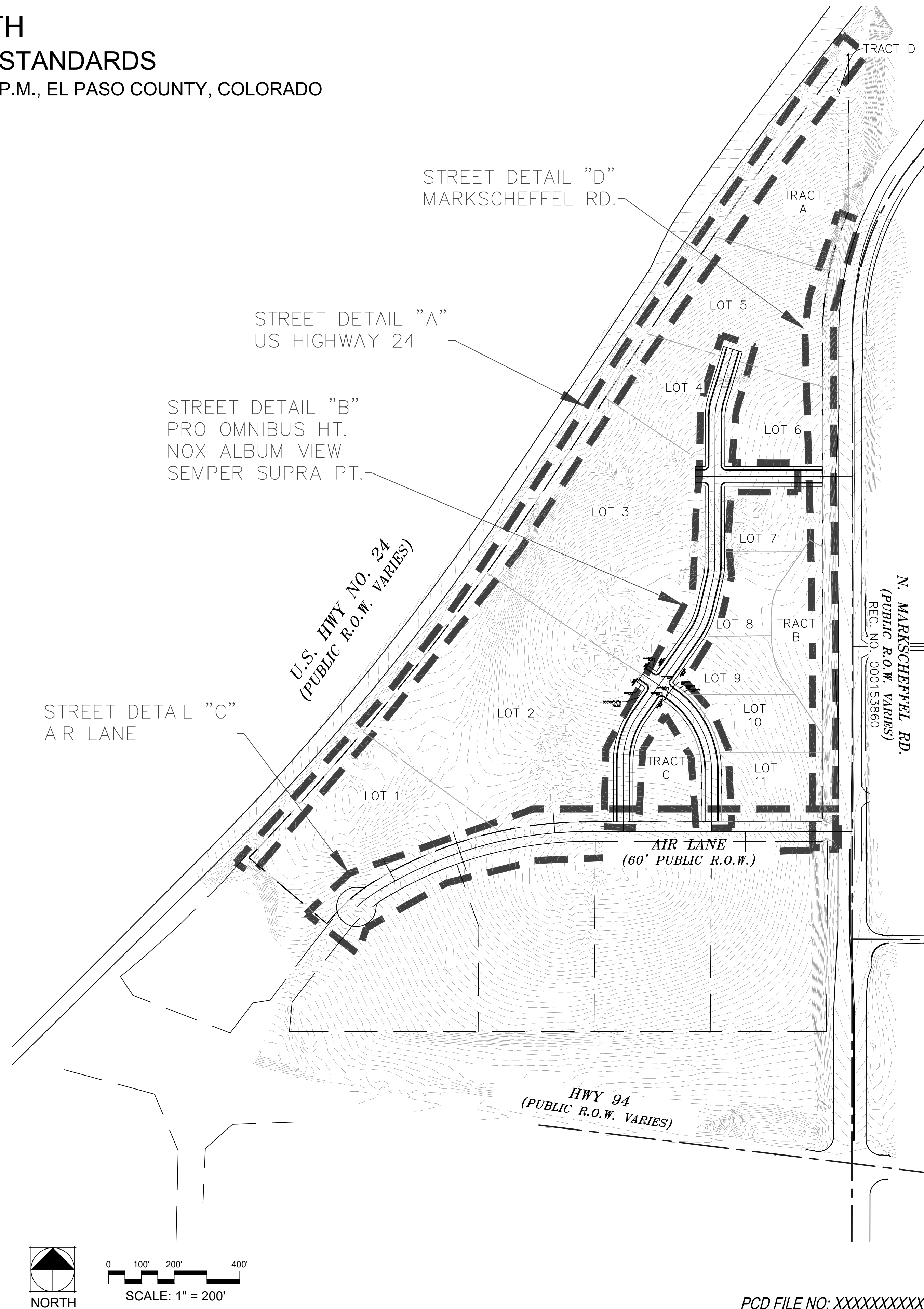
B STREET LANDSCAPE DETAIL "B" SEMPER SUPRA POINT
TYPICAL NTS PRO OMNIBUS HEIGHTS
NOX ALBUM VIEW



C STREET LANDSCAPE DETAIL "C" - AIR LANE
TYPICAL NTS



D STREET LANDSCAPE DETAIL "D" - MARKSCHEFFEL ROAD
TYPICAL NTS



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