

### PLANNING & COMMUNITY DEVELOPMENT

**TO:** El Paso County Planning Commission  
Thomas Bailey, Chair

**FROM:** Ryan Howser, AICP, Senior Planner  
Daniel Torres, PE, Principal Engineer  
Meggan Herington, AICP, Executive Director

**RE:** Project File Number: SP207  
Project Name: Crossroads North  
Parcel Numbers: 5408001008, 5408001029, 5408001032, 5408001034,  
5408001041, 5408001042, 5408001050, 5408001051, and 5408001052

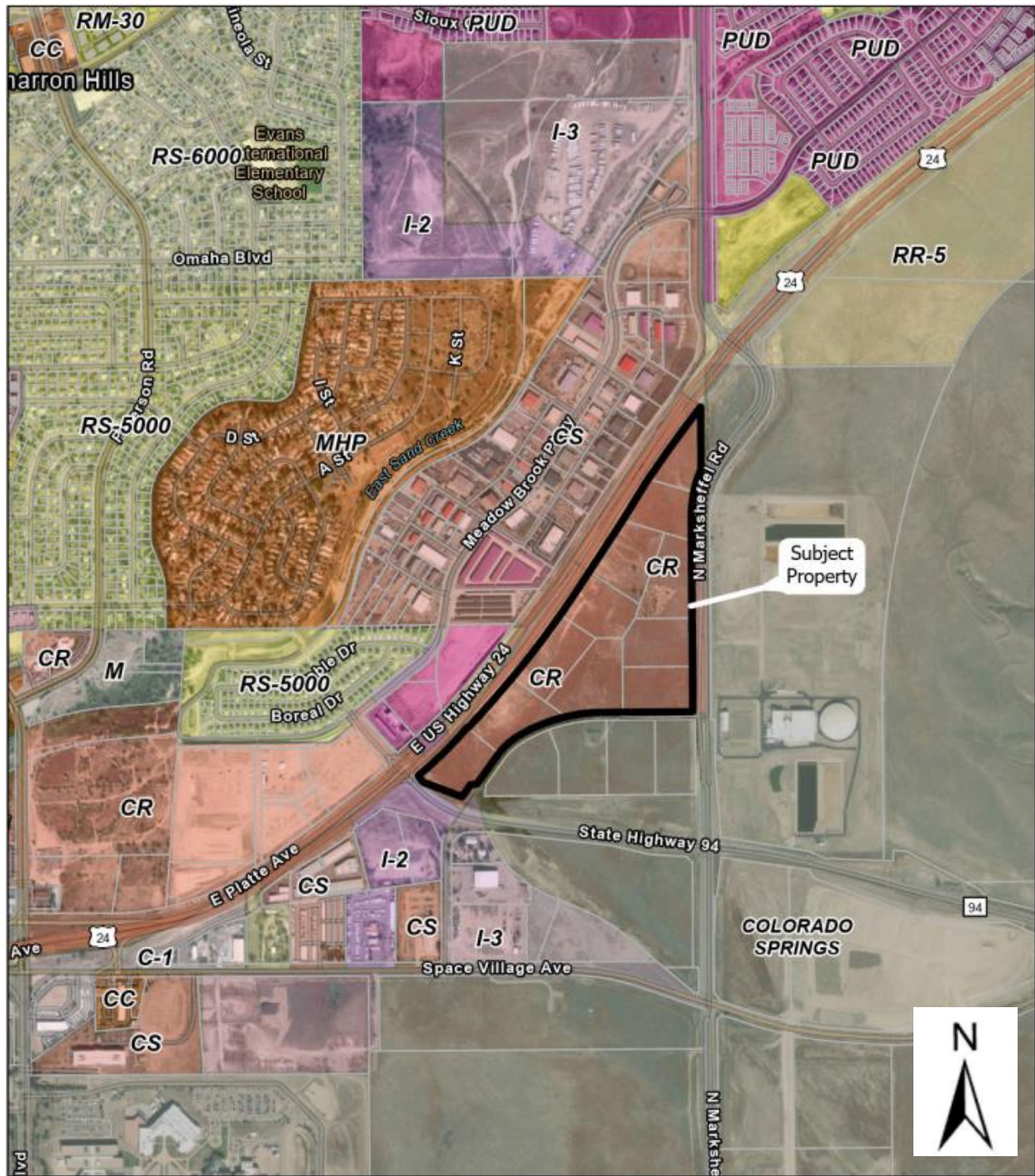
OWNER:	REPRESENTATIVE:
Colorado Springs Equities, LLC 90 South Cascade Avenue, Suite 1500 Colorado Springs, CO, 80903	Kimley-Horn and Associates 2 North Nevada Avenue, Suite 300 Colorado Springs, CO, 80903

**Commissioner District: 4**

<b>Planning Commission Hearing Date:</b>	<b>8/1/2024</b>
<b>Board of County Commissioners Hearing Date:</b>	<b>8/22/2024</b>

#### EXECUTIVE SUMMARY

A request by Colorado Springs Equities, LLC for approval of a 44.34-acre Preliminary Plan depicting 15 commercial lots and 5 tracts. The property is zoned CR (Commercial Regional), is subject to the CAD-O (Commercial Airport Overlay) District and is located between the southeast corner of the intersection of Colorado State Highway 24 and Marksheffel Road, and the northeast corner of the intersection of Colorado State Highway 24 and Colorado State Highway 94.



**Zoning Map**

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**A. AUTHORIZATION TO SIGN:** Approval by the Board of the Preliminary Plan with a finding of sufficiency for water quality, quantity, and dependability, authorizes the Planning and Community Development Department Director to administratively approve all subsequent Final Plat(s) consistent with the Preliminary Plan as well as the associated Subdivision Improvements Agreements, License and Detention Pond Maintenance Agreements, and any other documents necessary to carry out the intent of the Board of County Commissioners.

**B. APPROVAL CRITERIA**

In approving a Preliminary Plan, Section 7.2.1.D.2 of the El Paso County Land Development Code (as amended) states the BoCC shall find that:

- *The proposed subdivision is in general conformance with the goals, objectives, and policies of the Master Plan;*
- *The subdivision is consistent with the purposes of the Code;*
- *The subdivision is in conformance with the subdivision design standards and any approved sketch plan;*
- *A sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards [C.R.S. §30-28-133(6)(a)] and the requirements of Chapter 8 of the Code;*
- *A public sewage disposal system has been established and, if other methods of sewage disposal are proposed, the system complies with state and local laws and regulations, [C.R.S. §30-28-133(6) (b)] and the requirements of Chapter 8 of the Code;*
- *All areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified and the proposed subdivision is compatible with such conditions. [C.R.S. §30-28-133(6)(c)];*
- *Adequate drainage improvements complying with State law [C.R.S. §30-28- 133(3)(c)(VIII)] and the requirements of the Code and the ECM are provided by the design;*
- *The location and design of the public improvements proposed in connection with the subdivision are adequate to serve the needs and mitigate the effects of the development;*
- *Legal and physical access is or will be provided to all parcels by public rights-of-way or recorded easement, acceptable to the County in compliance with the Code and the ECM;*
- *The proposed subdivision has established an adequate level of compatibility by (1) incorporating natural physical features into the design and providing sufficient open spaces considering the type and intensity of the subdivision; (2) incorporating site planning*

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*techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike and pedestrian traffic, public or mass transit if appropriate, and the cost effective delivery of other services consistent with adopted plans, policies and regulations of the County; (3) incorporating physical design features in the subdivision to provide a transition between the subdivision and adjacent land uses; (4) incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the design; and (5) incorporating public facilities or infrastructure, or provisions therefore, reasonably related to the proposed subdivision so the proposed subdivision will not negatively impact the levels of service of County services and facilities;*

- *Necessary services, including police and fire protection, recreation, utilities, open space and transportation system, are or will be available to serve the proposed subdivision;*
- *The subdivision provides evidence to show that the proposed methods for fire protection comply with Chapter 6 of the Code; and*
- *The proposed subdivision meets other applicable sections of Chapter 6 and 8 of the Code.*

### **C. BACKGROUND**

The property was originally platted as Lots 6-20 of the Hillcrest Acres Subdivision (Plat No. 1950) on May 11, 1960. The property has not been developed. A Map Amendment (Rezoning) of the property from M (Industrial) to CR (Commercial Regional) was approved by the BoCC on May 20, 2020 (PCD File No. CR201).

This portion of El Paso County has experienced, and continues to experience, significant growth and development along the Meadowbrook Parkway, Marksheffel Road, and Highway 24 corridors. To the northwest of the subject property is the Meadowbrook Crossing Subdivision, which has been completely built out and is zoned RS-5000 (Residential Suburban). Highway 24 borders the southern property line of the proposed Preliminary Plan development area. Across Highway 24 from the subject property to the south exists a mix of commercial uses and a residential dwelling. The land west of the proposed development area is zoned CR and is currently vacant. A Circle K Gas and Convenience Store, which is also zoned CR, is located to the east of the proposed development.

Claremont Business Park is located north of the proposed development area along Meadowbrook Parkway and is zoned CS (Commercial Service). Claremont Business Park has been in development since 2005. The Meadowbrook Park Planned Unit

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Development and Preliminary Plan (PCD File No. PUDSP208) is located to the west of the proposed development and was recently approved by the Board of County Commissioners, on August 24, 2021, which included 67 single-family residential lots (8.4 dwelling units/acre).

The current request is for approval of a Preliminary Plan to allow for the creation of 15 commercial lots and 5 tracts to be utilized for private roadways, open space, landscaping, and stormwater detention. A request for a finding of sufficiency for water quality, quantity, and dependability is included with the Preliminary Plan request. Approval by the Board of County Commissioners of the Preliminary Plan with a finding of sufficiency for water quality, quantity, and dependability authorizes the Planning and Community Development Department Director to administratively approve all subsequent Final Plat(s).

## **D. ANALYSIS**

### **1. Land Development Code Analysis**

The application has been found to meet the criteria of the Land Development Code for the consideration of a Preliminary Plan, with the exception of the proposed waiver.

The applicant requests a waiver from Section 8.4.4.C of the Code to allow a private road to be constructed in lieu of a public road. Pursuant to Section 8.4.3.B.2.e, lots shall have a minimum of 30 feet of frontage on and have access from a public road, except where private roads are approved by the BoCC pursuant to a waiver granted under Section 8.4.4.E. Generally, private roads shall be constructed and maintained to ECM standards except as may be otherwise determined in the waiver. Private road waivers may only include design standards for the following:

- *Right-of-way width where suitable alternative provisions are made for pedestrian walkways and utilities;*
- *Design speed where it is unlikely the road will be needed for use by the general public;*
- *Standard section thickness minimums and pavement type where suitable and perpetual maintenance provisions are made;*
- *Maximum and minimum block lengths; and*
- *Maximum grade.*



In approving a waiver from any of the subdivision design standards and requirements, the Board of County Commissioners shall find that the waiver meets the criteria for approval outlined in Section 7.3.3 (Waivers) of the Code:

- *The waiver does not have the effect of nullifying the intent and purpose of this Code;*
- *The waiver will not result in the need for additional subsequent waivers;*
- *The granting of the waiver will not be detrimental to the public safety, health, or welfare or injurious to other property;*
- *The conditions upon which the request for a waiver is based are unique to the property for which the waiver is sought and are not applicable to other property;*
- *A particular non-economical hardship to the owner would result from a strict application of this Code;*
- *The waiver will not in any manner vary the zoning provisions of this Code; and*
- *The proposed waiver is not contrary to any provision of the Master Plan.*

In approving a waiver for private roads, the Board of County Commissioners shall find that the waiver meets the criteria outlined in Section 8.4.4.E of the Code.

## **2. Zoning Analysis**

The CR (Commercial Regional) zoning district is intended to accommodate regional centers providing ease of pedestrian and vehicular circulation, unity of architectural design, and best serving the convenience of the public and aesthetic enhancement of the community and region. Final Plat(s) will be required to be approved and recorded prior to approval of any Site Development Plans on the property. Site Development Plans will be required prior to building permit authorization to ensure all proposed structures will meet the dimensional standards of the Code.

The density and dimensional standards for the CR zoning district are as follows:

- *Minimum zoning district area: 5 acres<sup>11</sup>*
- *Minimum lot size: none*
- *Minimum setbacks: front 50 feet<sup>3,4,11</sup>, side 25 feet<sup>2,3,4,11</sup>, rear 25 feet<sup>2,3,4,11</sup>*
- *Maximum lot coverage: none*
- *Maximum Height: 45 feet*





<sup>2</sup> *The minimum setback is 25 feet from the perimeter boundary of the district, but no minimum setback is required from any internal side or rear lot line within the same district.*

<sup>3</sup> *Temporary uses shall be setback at least 25 feet from all property lines and 100 feet from Residential zoning districts.*

<sup>4</sup> *Gasoline pumps and canopies shall be setback at least 25 feet from all property lines.*

<sup>11</sup> *If the building is established as or converted to condominium units in accordance with Chapter 7 of this Code, the building and lot shall meet the minimum lot area and setbacks, but the individual units are not required to meet the minimum lot area, maximum lot coverage, or setback requirements.*

The property is also located within the CAD-O (Commercial Airport Overlay District) zoning overlay. The purpose of the CAD-O is to ensure compliance with the Federal Aviation Administration, to ensure free and unobstructed passage of all aircraft through and over airspace, and to acknowledge that private property owners have a property interest in usable airspace above the surface of their property. A referral was sent to the Colorado Springs Airport Advisory Commission (CSAAC) for review and comment. The CSAAC provided comment that they did not have concerns with the proposed commercial development within the proposed RM-30 zoning district and that an aviation easement has been recorded against the property during the previous platting action. The property is located within the APZ-2 (Accident Potential Zone); however, this will not preclude development for commercial purposes. The property is also located within the ADNL (Airport Noise). Section 4.3.1.F.2 of the Land Development Code requires approved construction techniques resulting in a 30 dbA noise reduction for all nonresidential uses in the ADNL. This will be a condition of approval for all Site Development Plans located within the boundary of the Preliminary Plan.

## **E. MASTER PLAN COMPLIANCE**

### **1. Your El Paso County Master Plan**

#### **a. Placetype Character:** Employment Center

*Employment Centers comprise land for industrial, office, business park, manufacturing, distribution, warehousing, and other similar business uses. The priority function of this placetype is to provide space for large-scale employers to establish and*

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*expand in El Paso County. They are typically located on or directly adjacent to Interstate 25 and/or other regional corridors to ensure business and employee access.*

*Proximity to other transportation hubs, such as Meadowlake Airport, and rail lines is also appropriate for an Employment Center. Uses in this placetype often require large swaths of land and opportunity to expand and grow to meet future needs and demands. Transitional uses, buffering, and screening should be used to mitigate any potential negative impacts to nearby residential and rural areas. Some Employment Centers are located in Foreign Trade, Commercial Aeronautical, and Opportunity Zones to help incentivize development.*

**Recommended Land Uses:**

*Primary*

- *Light Industrial/Business Park*
- *Heavy Industrial*
- *Office*

*Supporting*

- *Commercial Retail*
- *Commercial Service*
- *Restaurant*

**b. Area of Change Designation:** Transition

*Transition areas are fully developed parts of the County that may completely or significantly change in character. In these areas, redevelopment is expected to be intense enough to transition the existing development setting to an entirely new type of development. For example, a failing strip of commercial development could be redeveloped with light industrial or office uses that result in a transition to an employment hub or business park. Another example of such a transition would be if a blighted suburban neighborhood were to experience redevelopment with significant amounts of multifamily housing or commercial development of a larger scale in line with a commercial center.*

**c. Key Area Influences:** Enclaves or Near Enclaves

*Enclaves are areas of unincorporated El Paso County that are surrounded on all sides by an incorporated municipality, primarily the City of Colorado Springs but enclaves or near enclaves exist within or adjacent to other municipalities. The largest enclave*





*is Cimarron Hills, an urbanized community with nearly 18,000 residents, but several smaller enclaves exist around other areas of Colorado Springs as well.*

*The majority of the enclaves are developed or partially developed in a manner that would require significant improvement for annexation. These include roadway improvements, storm-water improvements and utility infrastructure upgrades. Most enclave areas are accessed by municipal roads, experience the impacts of urban stormwater runoff, or are otherwise served by one or more municipal utilities. The character and intensity of new development or redevelopment in these enclaves should match that of the development in the municipality surrounding it. Discussion with the City of Colorado Springs and other municipalities regarding the possible annexation of these areas should be continued and revisited regularly to explore means to finance improvements and service debt to make annexation a feasible consideration.*

#### Colorado Springs Airport/Peterson Air Force Base

*Colorado Springs Airport is the second largest in the State of Colorado with continually rising passenger totals and activity. Currently, large amounts of land adjacent to the airport are primed for commercial and industrial development, in part due to the establishment of a Commercial Aeronautical Zone (CAZ). The Board of County Commissioners approved the CAZ to attract local businesses and spur development on the available land. The County should continue to prioritize nonresidential growth in this area to help expand the Employment Center in unincorporated El Paso County. Employment Centers not only provide additional job opportunities for County residents but it expands the County's tax base, providing more opportunities to address other County issues such as upgrades to infrastructure, expansion of services and development of new roadways. Peterson Air Force Base also utilizes the Colorado Springs Airport for military flight operations and hosts various military activities critical to national security. The County should also coordinate future development adjacent and within the Colorado Springs Airport Accident Potential Zone (APZ) and within the Peterson Air Force Base buffer area with the Airport and the Base to ensure growth does not negatively impact the primary functions of Peterson Air Force Base or the Airport. Coordination with Colorado Springs Airport should also be considered, as necessary.*



**d. Other Implications (Priority Development, Housing, etc.)**

The property is not located within a priority development area.

**e. Analysis**

The property is located within the Employment Center placetype. The Employment Center placetype is the County's primary location for large-scale, nonretail businesses that provide significant employment and economic development opportunities. The Master Plan identifies the Employment Center placetype as appropriate for commercial development. The property is also located within both the Enclaves and Colorado Springs Airport/Peterson Air Force Base Key Areas. Relevant goals, objectives, and strategies are as follows:

***Goal LU2 Specific Strategy – Priority:*** Continue to prioritize nonresidential growth in the Colorado Springs Airport area to help expand the employment center in unincorporated El Paso County.

***Goal LU3 –*** Encourage a range of development types to support a variety of land uses.

***Goal LU3 Specific Strategy – Priority:*** The Transition areas are fully developed parts of the County that may completely or significantly change in character. In these areas, redevelopment will be intense enough to transition the existing development setting to an entirely new type of development.

***Objective LU3-1 –*** Development should be consistent with the allowable land uses set forth in the placetypes first and second to their built form guidelines.

***Objective LU4-3 –*** Employment Centers should comprise land for industrial, office, business park, manufacturing, distribution, warehousing, and other similar business uses.

***Goal ED1 –*** Recruit new businesses and spur the development of growing sectors.

***Objective ED1-6 –*** Large employers should be located on major roadways to improve connectivity and minimize their impact on daily traffic.

***Objective ED3-6 –*** Prioritize commercial use as development opportunities arise in order to support the growing residential base in the rural areas.





## 2. Water Master Plan Analysis

The El Paso County Water Master Plan (2018) has three main purposes; better understand present conditions of water supply and demand; identify efficiencies that can be achieved; and encourage best practices for water demand management through the comprehensive planning and development review processes. Relevant goals and policies are as follows:

**Goal 1.1** – *Ensure an adequate water supply in terms of quantity, dependability and quality for existing and future development.*

**Policy 1.1.1** – *Adequate water is a critical factor in facilitating future growth and it is incumbent upon the County to coordinate land use planning with water demand, efficiency and conservation.*

**Goal 1.2** – *Integrate water and land use planning.*

**Policy 6.0.10** – *Encourage land use proposals to expressly declare water source(s), quality, quantity, and sustainability in terms of years and number of single-family equivalents.*

**Policy 6.0.11** – *Continue to limit urban level development to those areas served by centralized utilities.*

The Water Master Plan includes demand and supply projections for central water providers in multiple regions throughout the County. The property is located within Planning Region 5 of the Plan, which is an area anticipated to experience growth by 2040. The following information pertains to water demands and supplies in Region 5 for central water providers:

The Plan identifies the current demand for Region 5 to be 4,396 acre-feet per year (AFY) (Figure 5.1) with a current supply of 4,849 AFY (Figure 5.2). The projected demand in 2040 for Region 5 is at 6,468 AFY (Figure 5.1) with a projected supply of 68,000 AFY (Figure 5.2) in 2040. The projected demand at build-out in 2060 for Region 5 is at 9,608 AFY (Figure 5.1) with a projected supply of 10,131 AFY (Figure 5.2) in 2060. This means that by 2060 a surplus of 523 AFY is anticipated for Region 5.

See the water section below for a summary of the water findings and recommendations for the proposed subdivision.

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### **3. Other Master Plan Elements**

The El Paso County Wildlife Habitat Descriptors (1996) identifies the parcels as having a low wildlife impact potential.

The Master Plan for Mineral Extraction (1996) identifies coal in the subject parcels. A mineral rights certification was prepared by the applicant indicating that, upon researching the records of El Paso County, no severed mineral rights exist.

## **F. PHYSICAL SITE CHARACTERISTICS**

### **1. Hazards**

A soils and geology report was submitted and reviewed alongside the Preliminary Plan application. No geologic hazards were found that would preclude development of the site. The Colorado Geological Survey was sent a referral and has no outstanding comments or concerns.

### **2. Floodplain**

The property is not located within a defined floodplain as determined by a review of the FEMA Flood Insurance Rate Map panel numbers 08041C0754G, 08041C0754G, and 08041C0754G dated December 7, 2018.

### **3. Drainage and Erosion**

The property is located within the Jimmy Camp Creek (FOFO2000), and Peterson Field (FOFO3400) drainage basins. These drainage basins are studied drainage basins with associated drainage and bridge fees. Drainage and bridge fees will be due at the time of Final Plat recording.

Stormwater runoff will be conveyed via a private stormwater system to four private full-spectrum detention ponds that will mitigate developed runoff and provide the necessary permanent stormwater quality for the development. The Crossroads Metropolitan District No. 1 will provide maintenance for the proposed ponds. Per the associated preliminary drainage report, the development of this property will not adversely affect the surrounding developments.

A grading and erosion control plan that identifies construction best management practices (BMPs) to prevent sediment and debris from affecting adjoining properties and the public stormwater system will be required to be submitted with the Final Plat application.

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#### **4. Transportation**

The development is located on the northwest corner of the intersection of Marksheffel Road and Air Lane. Air Lane is a County owned and maintained roadway while Marksheffel Road is a City of Colorado Springs owned and maintained roadway. Direct lot access to the development will be provided via Air Lane and two proposed privately maintained non-residential collector roadways that are internal to the site. Deviation requests pertaining to the proposed private roadway characteristics have been approved by the ECM Administrator.

The submitted traffic study projects that the development will generate 16,066 average daily trips with full buildout of the development by the year 2040. The traffic study has identified improvements at the intersections of State Highway 24/Marksheffel Road, State Highway 94/State Highway 24, State Highway 94/Marksheffel Road, Air Lane/Marksheffel Road, and Marksheffel Road/private non-residential collector roadway. The improvements consist of signal improvements, auxiliary turn lanes, acceleration lanes, as well as a new traffic signal.

The El Paso County 2016 Major Transportation Corridors Plan Update identifies capacity improvements to State Highway 24 from Marksheffel Road to Constitution Avenue in the immediate vicinity of the site. Additionally, CDOT access permits will be required at the intersections of State Highway 24/Marksheffel Road, State Highway 24/State Highway 94, and State Highway 94/Marksheffel Road.

El Paso County Road Impact Fees (RIF) as approved by Resolution 19-471 apply to the development. The RIF will be assessed at the final land use approval or when the applicant applies for a building permit, whichever is last. The applicant may elect to remit road impact fees at time of plat recordation or participate in a Public Improvement District with the County.

#### **G. SERVICES**

##### **1. Water**

Water is provided by the Cherokee Metropolitan District. Water sufficiency has been analyzed with the review of the proposed Preliminary Plan. The applicant has shown a sufficient water supply for the required 300-year period. The State Engineer and the County Attorney's Office have recommended that the proposed Preliminary Plan has an adequate water supply in terms of quantity and dependability. El Paso County Public Health has recommended that there is an adequate water supply in terms of quality.

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## **2. Sanitation**

Wastewater is provided by the Cherokee Metropolitan District.

## **3. Emergency Services**

The property is within the Falcon Fire Protection District. The District has provided a letter indicating intent to provide fire protection services, was sent a referral for the Preliminary Plan, and has no outstanding comments or concerns at this time. The application has been shown to meet the requirements of the Land Development Code regarding fire protection.

## **4. Utilities**

Colorado Springs Utilities (CSU) provides gas and electric services for the proposed Preliminary Plan. CSU was sent a referral for the Preliminary Plan and has no outstanding comments or concerns at this time.

## **5. Metropolitan Districts**

The property is included within Cherokee Metropolitan District, which provides central water and sewer services in the area. The property is also included within the Crossroads Metropolitan District No. 2, which is proposed to own and maintain the road, utility, drainage, and open space tracts.

## **6. Parks/Trails**

Fees in lieu of park land dedication will be due at the time of recording the Final Plat(s).

## **7. Schools**

The site is within the boundaries of the Colorado Springs School District No. 11. Fees in lieu of school land dedication shall be paid to El Paso County at time of recording the Final Plat(s).

## **H. APPLICABLE RESOLUTIONS**

See attached resolution.

## **I. STATUS OF MAJOR ISSUES**

There are no major issues.

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## **J. RECOMMENDED CONDITIONS AND NOTATIONS**

Should the Planning Commission and Board of County Commissioners find that the request meets the criteria for approval outlined in Section 7.2.1 (Subdivisions) of the El Paso County Land Development Code (as amended) staff recommends the following conditions and notations:

### **CONDITIONS**

1. Applicable traffic, drainage and bridge fees shall be paid with each Final Plat.
2. Applicable school and park fees shall be paid with each Final Plat.
3. Developer shall comply with federal and state laws, regulations, ordinances, review and permit requirements, and other agency requirements, if any, of applicable agencies including, but not limited to, the Colorado Division of Wildlife, Colorado Department of Transportation, U.S. Army Corps of Engineers and the U.S. Fish and Wildlife Service regarding the Endangered Species Act, particularly as it relates to the Preble's Meadow Jumping Mouse as a listed species.
4. The Subdivider(s) agrees on behalf of him/herself and any developer or builder successors and assigns that Subdivider and/or said successors and assigns shall be required to pay traffic impact fees in accordance with the Countywide Transportation Improvement Fee Resolution (Resolution 19-471), as amended, at or prior to the time of building permit submittals. The fee obligation, if not paid at final plat recording, shall be documented on all sales documents and on plat notes to ensure that a title search would find the fee obligation before sale of the property.
5. Applicant shall comply with all requirements contained in the Water Supply Review and Recommendations, dated 6/13/2024, as provided by the County Attorney's Office.

### **NOTATIONS**

1. Subsequent Final Plat Filings may be approved administratively by the Planning and Community Development Director.
2. Approval of the Preliminary Plan will expire after twenty-four (24) months unless a Final Plat has been approved and recorded or a time extension has been granted.

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3. Preliminary Plans not forwarded to the Board of County Commissioners for consideration within 180 days of Planning Commission action will be deemed to be withdrawn and will have to be resubmitted in their entirety.

#### **K. PUBLIC COMMENT AND NOTICE**

The Planning and Community Development Department notified 18 adjoining property owners on July 17, 2024, for the Planning Commission and Board of County Commissioner meetings. Responses will be provided at the hearing.

#### **L. ATTACHMENTS**

Map Series

Letter of Intent

Preliminary Plan Drawing

County Attorney's Letter

Colorado Springs Airport Advisory Commission Letter

Draft Resolution





# Aerial Map

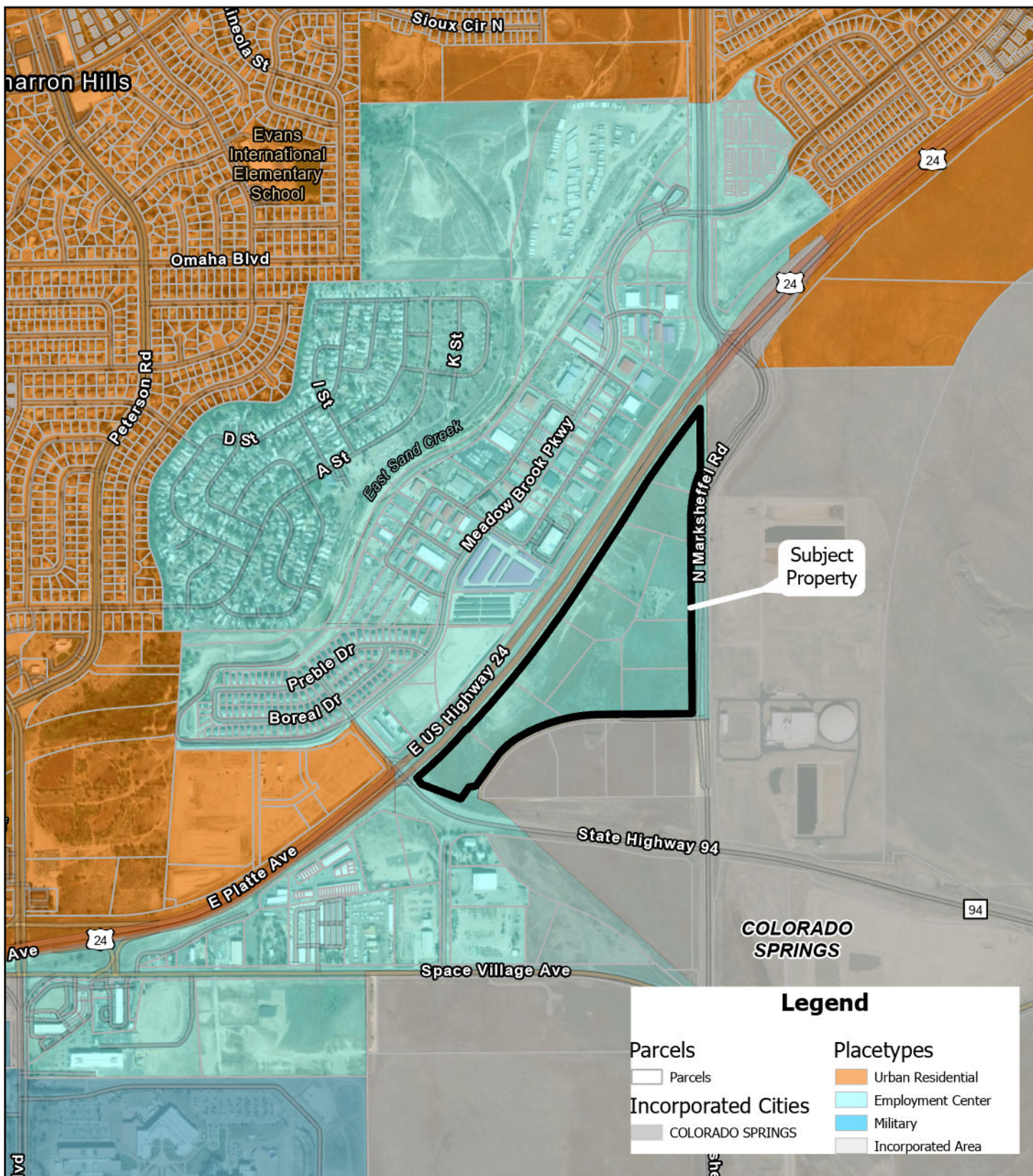
File No. SP207

Map Series No.0



0 0.1 0.3 0.5 Miles





# Placetype Map

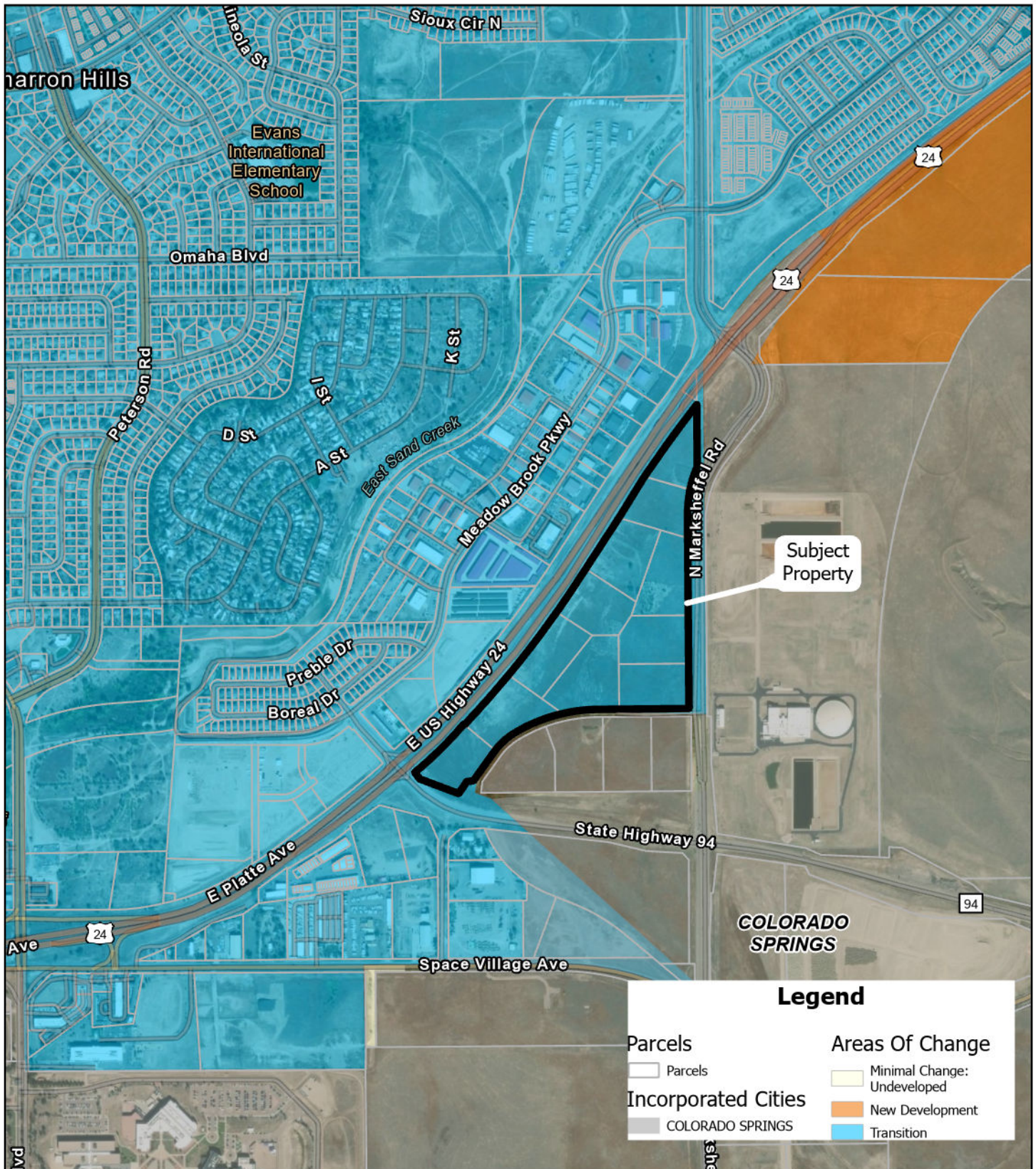
File No. SP207

Map Series No.0



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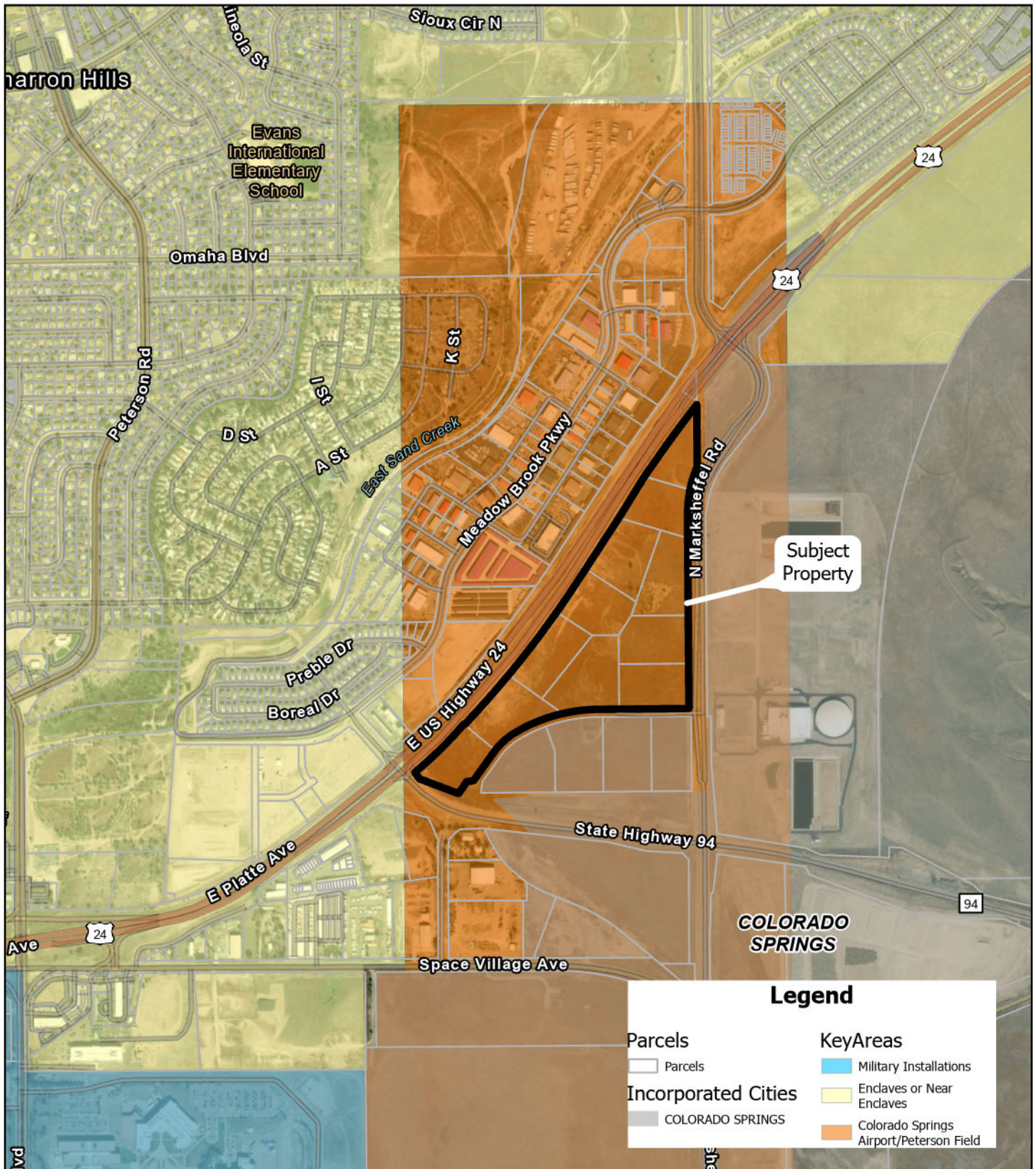


# Area of Change

File No. SP207

Map Series No.0





# Key Areas

File No. SP207

Map Series No.0



0 0.1 0.1 0.2 Miles



**CROSSROADS NORTH PRELIMINARY PLAN**

**LETTER OF INTENT**

**PCD File No. SP207**

**APPLICANT-OWNER/CONSULTANT INFORMATION:**

**OWNER**

COLORADO SPRINGS EQUITIES, LLC  
90 S. CASCADE AVENUE, SUITE 1500  
COLORADO SPRINGS, CO 80903

**PLANNING**

KIMLEY-HORN & ASSOCIATES  
2. NORTH NEVADA AVENUE, SUITE 900  
COLORADO SPRINGS, CO 80903

**ENGINEERING**

MS CIVIL CONSULTANTS  
102 E. PIKES PEAK, 5TH FLOOR  
COLORADO SPRINGS, CO 80903

**SURVEYING**

CLARK LAND SURVEYING, INC  
177 S. TIFFANY DRIVE, UNIT 1  
PUEBLO WEST, CO 81007

**PARCELS NOS:** 5408001008, 5408001029, 5408001032, 5408001033, 5408001034, 5408001041, 5408001042, 5408001050, 5408001051, 5408001052

**SITE/BACKGROUND INFORMATION**

The ±44.34 acres included in preliminary plan area (parcels) is zoned CR, within the Commercial Airport Overlay District (CAD-O). The parcels are located southwest corner of intersections of U.S. State Highway 24 and Marksheffel road and is also located at the northwest corner of the intersection of U.S. State Highway 24 and U.S. Highway 94 (see vicinity map insert and map exhibit for details).

Overall site was previously platted as Lots 7, 12-20 under the Hillcrest Acres Plat recorded as Reception No. 153860.

A request to rezone 22.06 acres of the preliminary plan area from the M (4.83 AC) and I-2 (17.23 AC) zones to the CR CAD-O zoning district was approved by the Board of County

Commissioners on May 25, 2021 (Resolution No. 21-210). With the approved zone change, it is fitting to provide smaller lots for commercial uses.

### **Request & Justification**

Colorado Springs Equities, LLC ("The Applicant") requests approval of the Crossroads North Preliminary Plan that includes fifteen (15) commercial lots, Four (4) tracts for stormwater detention/water quality, public and private rights-of-way, road improvements including sidewalks as depicted on road cross sections, utility infrastructure, landscape buffers, and a preliminary landscape plan. The preliminary plan also includes offsite detention and stormwater improvements on City of Colorado Springs property south of Air Lane associated with the ROW and related off-site grading. The pond development will occur within existing and future easements to be provided in partnership with the City of Colorado Springs.

The applicant requests that the preliminary plan approval include the following:

- Findings of sufficiency with respect to water quality, quantity, and dependability are requested with the preliminary plan approval;
- Authorization to submit a final plat(s) for administrative approval subject to findings that the location and design of the public improvements proposed in connection with the subdivision are adequate to serve the needs and mitigate the effects of the development;
- BOCC authorization of pre-development authorization to install wet and dry utilities. Early grading has been submitted under a separate application process.
- Approval of the following Deviation Requests:
  1. Permit the use of the Urban residential Collector for Air Lane ROW and improvements instead of the nonresidential Collector cross section
  2. Internal Private Roads and sections

The preliminary plan provides a preliminary landscape plan that identifies required buffers, streetscape locations, typical details, and cross sections. Roadway landscaping requirements may be collateralized as public subdivision improvements to be owned/maintained by Crossroads Metro District 2. Future individual lot landscaping will be submitted on a per site basis which shall conform to this overall preliminary landscape plan.

The preliminary plan has been designed to conform to the density and dimensional requirements of the CR zone which include:

- Setbacks: 50' front yard; 25' side/rear yards (0' from internal side/rear lot line within the same zone)
- Height: 45'
- Roadway Landscape Buffer/Setback Requirements:

Ex./Prop. Road	Roadway Classification	Landscaping Buffer/Setback	Req. Trees*/ Linear Foot of Frontage
US 24	Expressway, Principal Arterial	25 feet	1 per 20 feet
Marksheffel Rd	Major Arterial	25 feet	1 per 20 feet
Air Lane	Non-Arterial	10 feet	1 per 30 feet
Crossroad Road (s)	Non-Arterial	10 feet	1 per 30 feet

\*(min. 1/3 trees shall be evergreen)

#### Overlay Zone

The Site Falls Under the Commercial Airport Overlay District (CAD-O) Zone, Subzone APZ-2, Allowed uses under the APZ-2 uses consist of, but are not limited to, Office, Commercial and Warehouse uses. As identified in Chapter 4, 4.3.1 Table 4-7.

The preliminary plan also provides direct access to Crossroads North per two proposed access points. One from a southern full movement access along Marksheffel Road approximately 1,000 feet north of SH-94 and a second full-movement access along Marksheffel Road approximately 2,000 feet north of SH-94.

At the 3/4 movement access intersection for Crossroads North along Marksheffel Road. See the related traffic study for public improvements and related access deviation enclosed. All on-site and off-site roadway, signing, striping, and signal improvements shall be incorporated into the Civil Drawings, and conform to El Paso County and/or CDOT standards as applicable, as well as the Manual on Uniform Traffic Control Devices – 2009 Edition (MUTCD).

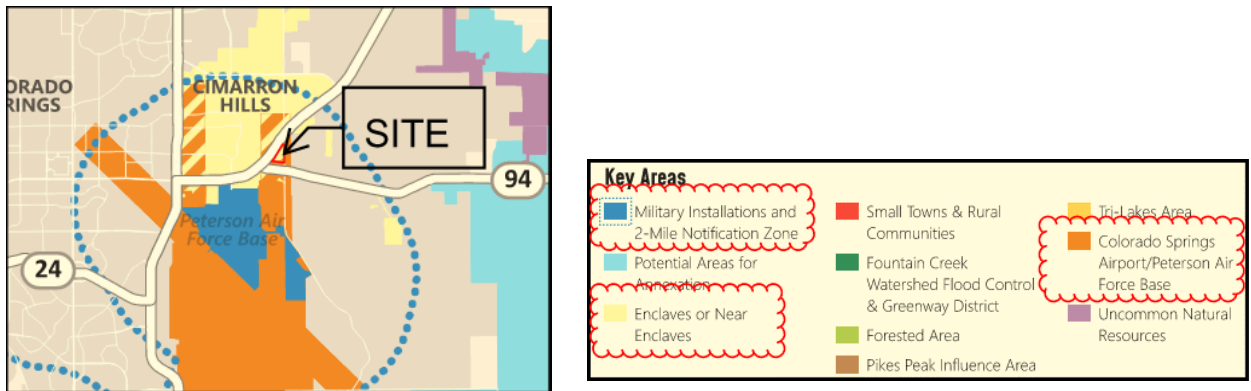
#### PRELIMINARY PLAN REVIEW/APPROVAL CRITERIA & JUSTIFICATION

- The proposed subdivision is in general conformance with the goals, objectives, and policies of the Master Plan;***  
 The subdivision generally conforms to the goals conformance with the goals, objectives, and policies of the Master Plan, which includes the Your El Paso Master Plan and Water Master Plan as discussed below.

## Your El Paso Master Plan Conformance

**Key Area(s):** *The site is located within overlapping boundaries of the following Key Areas:*

- A. Enclaves/Near Enclaves**
- B. Colorado Springs Airport/Peterson Air Force Base**
- C. Military Installations and 2-mile Notification Zone**



- A. Enclaves/Near Enclaves** *The character and intensity of new development or redevelopment in these enclaves should match that of the development in the municipality surrounding it.*

Surrounding land uses include a Southern Delivery System Water Treatment Plant on the eastern boundary opposite of Marksheffel; service oriented commercial and light industrial land uses located north and west of the site opposite US 24; and vacant land owned by the City of Colorado Springs on the south opposite of Air Lane. Ongoing coordination efforts exist between the City and developer to develop an ±18 acre sports park. these negotiations may extend beyond approval of the preliminary plan and future final plats for the Crossroads North project.

- B. Colorado Springs Airport/Peterson Air Force Base** *The County should continue to prioritize nonresidential growth in this area to help expand the Employment Center in unincorporated El Paso County. Employment Centers not only provide additional job opportunities for County residents, but it expands the County's tax base, providing more opportunities to address other County issues*

*such as upgrades to infrastructure, expansion of services and development of new roadways.*

The project proposes commercial development in the CR-CAD-O zone.

**C. Military Installations and 2-mile Notification Zone**

**JLUS Recommendations**

- Manage encroachment issues from nearby development that could impact utility infrastructure, transportation routes, and that may generate vertical obstructions beneath airspace utilized by flight operations.
- Implement consistent and compatible zoning regulations for land areas within Accident Potential Zones (APZs).

***Core Principle: Foster effective working relationships with military installations to support planning efforts and mutual success.***

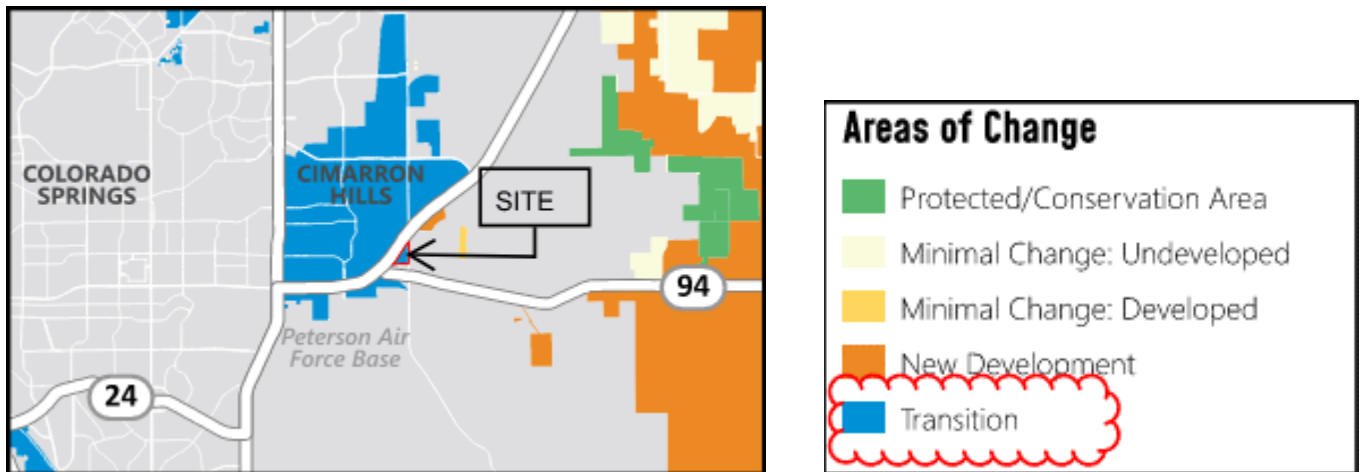
***Goal 6.1 - Support compatible land uses within and in close proximity to bases and associated facilities.***

No military encroachment issues have been identified by Peterson AFB. Vertical development will be in accordance with existing height restrictions in the CAD-O zone. The commercial zoning is compatible with Peterson AFB operations and JLUS recommendations. No review comments have been provided to date from Peterson AFB.

***Areas of Change:***

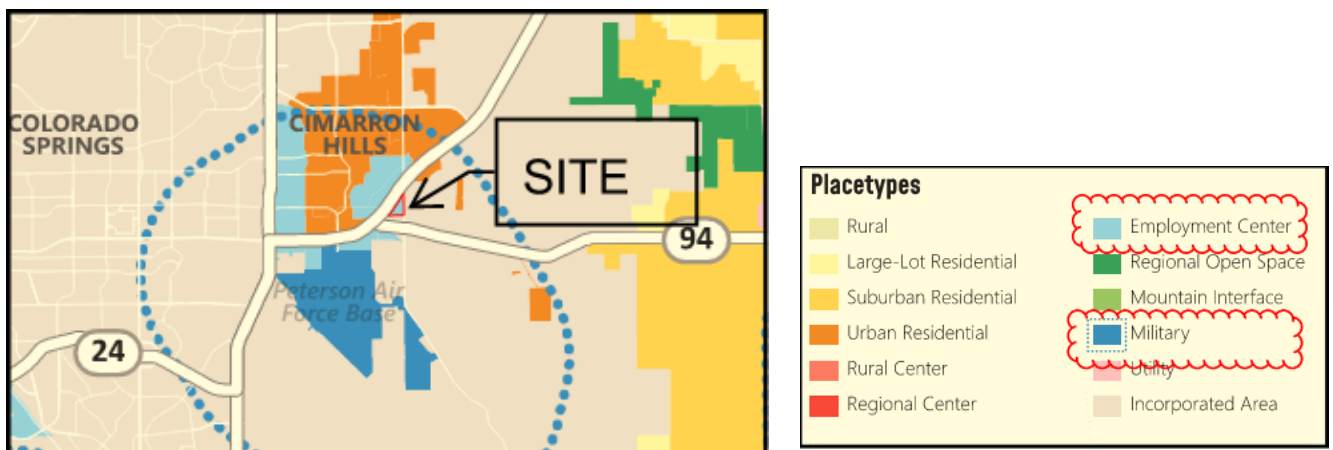
***Transition:*** Transition areas are fully developed parts of the County that may completely or significantly change in character. In these areas, redevelopment is expected to be intense enough to transition the existing development setting to an entirely new type of development.





BOCC approval of the rezone of parcels included in the preliminary plan area from the M to the CR (CAD-O) zone for consolidation of land under a single zone for future commercial development. Prior to the current development application, zoning and ownership of the parcels were fragmented. the current entitlement efforts are placing underutilized property into production as a unified commercial development.

**Placetype: Employment Center (within Military Impact Buffer)**



PLACETYPES	LAND USES															
	Agriculture	Family/Homestead	Estate	Single-Family Detached	Single-Family Attached	Multifamily	Mixed Use	Restaurant	Commercial Retail	Commercial Service	Public Services	Entertainment and Arts	Office	Light Industrial/Business Park	Heavy Industrial	Military Operation
Rural	●	●	○													○
Large-Lot	○			●				○	○						○	
Suburban				●	○	○		○	○						○	○
Urban Residential				●	●	○	○	○	○	○		○			○	○
Rural Center				●	○	○	○	○	○	○						○
Regional Center				○	○	○	○	○	○	○	○					○
Employment Center							○	○	○	○	○	○	○	○	○	○
Regional Open Space															○	○
Mountain Interface				○			○	○	○	○	○				○	○
Military				○	○	○	○	○	○	○	○	○	○	○	○	○
Utility															○	○

● Primary Land Use: More prominent and play a pivotal role in characterizing that placetype  
 ○ Supporting Land Use: Less prevalent and serve to support the primary land use.

Primary land

uses within this Placetype, include office, light industrial/business park, and heavy industrial. Supporting land uses include restaurant, commercial retail, Commercial Service. Planned uses within the Crossroads North preliminary plan include supporting retail and service uses within the Employment Center Placetype. this is consistent with the Area(s) of Change (Transition) whereby “*redevelopment is expected to be intense enough to transition the existing development setting to an entirely new type of development*”.

### **WATER MASTER PLAN CONSIDERATIONS:**

Required analysis, reports, and documentation of service commitments, including available water supply information has been provided in support of the objectives, goals and policies of the El Paso County Water Master Plan.

***Policy 6.0.7 – Encourage the submission of a water supply plan documenting an adequate supply of water to serve a proposed development at the earliest stage of the development process as allowed under state law. The water supply plan should be prepared by the applicant in collaboration with the respective water provider.***

A water supply plan (water resources report) including water supply information summary that documents the planned and committed water supply from Cherokee Metropolitan District is adequate to meet the needs of the development.

***Policy 6.0.10 – Encourage land use proposals to expressly declare water source(s), quality, quantity, and sustainability in terms of years and number of single-family equivalents.***

Water service is planned from Cherokee Metropolitan District. Adequate water resources in terms of quality, quantity, and sustainability are available to adequately serve the proposed development.

**Policy 6.0.11– Continue to limit urban level development to those areas served by centralized utilities.**

Land uses within the existing Crossroads development area is served by centralized utilities. The Crossroads at Meadowbrook development will be served by the existing utility providers.

The development area is in REGION 5 as identified on the El Paso County Water Master Plan Planning Regions Map and is within the Cherokee Metropolitan District (CMD) Service Area. Region 5 consists of areas served by CMD and is not expected to experience significant growth by 2060. However, the District may expand water and sewer service to growth areas outside of Region 5. No specific growth map was created for Region 5; these areas are shown in other maps.

**Table 3:** CMD Commitments before addition of new development

Commitments	AFY
In-District (2015)	2693
Committed Since 2015	590.7
Schriever Air Force Base	537
Kane	200
Tipton	225
Construction	25
Parks	25
<b>Total</b>	<b>4295.7</b>

With 4,443.0 AFY of exportable supply and 4,295.7AFY of commitments, CMD has a water balance of 147.3 AFY remaining for additional commitments.

CMD has committed to allocate 49.6 AF/YR for the proposed development out of its current supplies. It should be noted that the district has committed to serve development within the proposed development boundaries since the property was annexed into the district (Recorded April 25, 1984 in Book 3862 at Page 949, and July 10, 1984 in Book 3892 at Page 529).

CMD has a collection of wells, pump stations, conveyance pipelines, storage tanks, and treatment facilities to deliver potable water to its customers.

- **The subdivision is consistent with the purposes of this current Code;**

The stated purpose of the preliminary plan is to provide an in-depth analysis of the proposed division of land including a refinement of the design considering the geologic hazards, environmentally sensitive areas, source of required services, vehicular and pedestrian circulation, and relationship to surrounding land uses. Necessary reports including, but not limited to drainage, grading and erosion control, water/wastewater resource reports, traffic impact analysis, and the preliminary plan have been provided in order to review and refine the design of the subdivision taking into account the review of the referenced documents, plans, and reports in order to guide the design of the development to meet the intent and purposes of the preliminary plan as stated in the Code.

- **The subdivision is in conformance with the subdivision design standards and any approved sketch plan;**

The subdivision conforms to the design standards of the Code with approval of the private road waivers and associated deviations. The Falcon Fire Protection Department has reviewed the private road cross sections and does not object to the roadway design or circulation pattern. The proposed development is neither within or adjacent to any approved and/or valid sketch plans.

- **A sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards [C.R.S. § 30-28-133(6)(a)] and the requirements of Chapter 8 of this Code**

The preliminary plan is within the Cherokee Metropolitan District service boundaries. A commitment to provide water service has been provided by the District. The District has identified adequate water resources to serve the proposed development. Offsite improvements to extend service lines to the site are being installed now and it is anticipated that water will be on site the end of the first quarter of 2024. Plans to extend service lines is an ongoing regional planning effort (separate project with the District) for infrastructure extensions to bring water under highway SH24 and SH94. It is anticipated that the BOCC will be able to make the required water findings during the preliminary plan application review. See associated water commitment letter from CCMD.

- **A public sewage disposal system has been established and, if other methods of sewage disposal are proposed, the system complies with state and local laws and regulations, [C.R.S. § 30-28-133(6) (b)] and the requirements of Chapter 8 of this Code;**

The subdivision will connect into an existing public sewage disposal system what has been installed together with other public improvements associated with Crossroads Preliminary Plan and its many development phases and filings. The existing system

complies with state and local laws and regulations, statutory requirements, and the requirements of Chapter 8 of the County Land Development Code.

- **All areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified and the proposed subdivision is compatible with such conditions. [C.R.S. § 30-28-133(6)(c)];**

All areas of the proposed subdivision which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified and the proposed subdivision is compatible with such conditions or will achieve compatibility through compliance with recommendations of corresponding reports and plans or by conditions of approval by the BOCC..

- **Adequate drainage improvements complying with State law [C.R.S. § 30-28-133(3)(c)(VIII)] and the requirements of this Code and the ECM are provided by the design;**

Adequate drainage improvements have been provided by the subdivision design, including but not limited to, stormwater, detention, and/or water quality control facilities, all of which meet stormwater requirements established by the state in addition to meeting the requirements of the County Code and ECM. Detention facilities have been designated within two (2) tracts identified as Tracts B, & C on the Preliminary Plan. Ownership and maintenance of all drainage facilities and improvements shall be provided by the Meadowbrook Crossing Metropolitan District. Additional off-site drainage facilities are located on Lot 8 and Lot 11 Hillcrest Acres which are located on the south side of Air Lane. These lots are City owned and are within the land area slated for development as a sports park. The Meadowbrook Crossing Metropolitan District will secure the associated easements with City of Colorado Springs.

- **The location and design of the public improvements proposed in connection with the subdivision are adequate to serve the needs and mitigate the effects of the development;**

The location and design of the public improvements proposed in connection with the subdivision are adequate to serve the needs and mitigate the effects of the development. Referenced public improvements include, but are not necessarily limited to, grading and erosion control, stormwater runoff and drainage and detention/water quality facilities, transportation and roadway related improvements, utility service delivery infrastructure and related improvements. The preliminary plan provides the extension of local public roads into the subdivision which provide access and frontage to lots, open spaces, and detention facilities. Public road cross sections include ADA compliant sidewalk improvements (per local conditions and standards), together with all required wet and dry public utilities.



- **Legal and physical access is or will be provided to all parcels by public rights-of-way or recorded easement, acceptable to the County in compliance with this Code and the ECM;**

Legal and physical access is and will be provided to all parcels by planned public rights-of-way. Two (1) full and (1) 3/4-movement access point along Marksheffel is provide with the preliminary plan.

The proposed 3/4-movement access is consistent with the access point depicted on the Marksheffel Access Management Plan. The 3/4-movement provides a second point of ingress/egress for the development from Marksheffel. No access is permitted from the development directly to Highways 24 and 94. Air Lane establishes the southern and primary access point that supports the development area.

The approved deviation with conditions is attached to this letter of intent for reference. See traffic report for additional support of the request.

A second deviation is requested to use an urban residential collector cross section for Air Lane instead of a rural non-residential collector cross section. Additional discussion of the deviations is included in the preliminary plan criteria for private internal roads.

- **The proposed subdivision has established an adequate level of compatibility by (1) incorporating natural physical features into the design and providing sufficient open spaces considering the type and intensity of the subdivision; (2) incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike and pedestrian traffic, public or mass transit if appropriate, and the cost effective delivery of other services consistent with adopted plans, policies and regulations of the County; (3) incorporating physical design features in the subdivision to provide a transition between the subdivision and adjacent land uses; (4) incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the design; and (5) incorporating public facilities or infrastructure, or provisions therefore, reasonably related to the proposed subdivision so the proposed subdivision will not negatively impact the levels of service of County services and facilities;**

The proposed subdivision has established an adequate level of compatibility by (1) incorporating natural physical features into the design and providing sufficient open spaces considering the type and intensity of the subdivision where practical; (2) incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike and pedestrian traffic, public or mass transit if appropriate, and the cost effective delivery of other services consistent with adopted plans, policies and regulations of the County; (3) incorporating physical design

features in the subdivision to provide a transition between the subdivision and adjacent land uses; (4) incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the design; and (5) by incorporating public facilities or infrastructure, or provisions therefore, reasonably related to the proposed subdivision so the proposed subdivision will not negatively impact the levels of service of County services and facilities;

- **Necessary services, including police and protection, recreation, utilities, open space and transportation system, are or will be available to serve the proposed subdivision;**

Necessary services which include, police and fire protection, recreation, utilities, open space and transportation system, are and will be available to serve the proposed subdivision. Required service commitments have been provided in support of the development application. The Applicant is coordinating ongoing negotiations with the City of Colorado Springs to develop a sports park on City properties adjacent to the southern side of the Air Lane ROW. These negotiations are occurring concurrently with the Crossroads North development application review; however, final plans, agreements, and permitting are likely to extend beyond the preliminary plan and final plat approval process for this development application.

- **The subdivision provides evidence to show that the proposed methods for fire protection comply with Chapter 6 of this Code; and**

The subdivision provides evidence via commitment letters from Cimarron Hills Fire Protection District for emergency and fire service and Cherokee Metropolitan District for water for fire suppression as well as preliminary plan layout and design of access and utilities demonstrate show that the proposed methods for fire protection comply with Chapter 6 of the County Code.

- **The proposed subdivision meets other applicable sections of Chapter 6 and 8 of this Code.**

The proposed subdivision meets other applicable sections of Chapter 6 and 8 of the County Code or otherwise approved with conditions imposed by the BOCC.

#### **Private Road Details and Private Road Waivers and Justification**

1. Waiver to Sections 8.4.4.C. and 8.4.4.E.3 of the Code to allow for private roads that are not proposed to be built to public road standards. Considerations:

- Section 8.4.4.C, *Public Roads Required*, of the Code states:  
“Divisions of land, lots and tracts shall be served by public roads.”
- Section 8.4.4.E.3, *Private Road Allowances*, of the Code states:  
“Generally, private roads shall be constructed and maintained to ECM standards except as may be otherwise determined in the waiver.  
a) Criteria: ***Right-of-way width where suitable alternative provisions are***

***made for pedestrian walkways and utilities;***

The waiver includes a non-standard non-residential cross section within a 60-foot-wide tract instead of lying within an 80-foot ROW. All required roadway, sidewalk, stormwater, and utility improvements and easements are located within the 60-foot cross section.

***b) Design speed where it is unlikely the road will be needed for use by the general public;***

No variation is proposed.

***c) Standard section thickness minimums and pavement type where suitable and perpetual maintenance provisions are made;***

No variation is proposed.

***d) Maximum and minimum block lengths; and***

No variation is proposed.

***e) Maximum grade.***

No variation is proposed.

**WAIVER APPROVAL CRITERIA**

- The waiver does not have the effect of nullifying the intent and purpose of this Code;***

The waiver requests do not have the effect of nullifying the intent and purpose of the Code which is the preservation and improvement of the public health, safety and general welfare of the citizens and businesses of El Paso County; to ensure that public facilities and services are available concurrent with development and will have a sufficient capacity to serve the proposed subdivision, and, in so doing, ensure that current residents will be required to bear no more than their fair share of the cost of providing the facilities and services by requiring the developer to pay fees, furnish land, or establish mitigation measures to cover the development's fair share of the capital facilities needs generated by the development.

The private roads will be constructed by the Developer and dedicated to the Crossroads Metropolitan Districts Nos. 1 & 2 for maintenance and ownership.

- The waiver will not result in the need for additional subsequent waivers;***

No additional waivers are needed to support the private road waiver.

The applicant proposes to place private roads (non-residential collectors) within a 50-foot public access and utilities tract where an 80-foot right of way would be required. The Code and ECM require private roads to meet public road standards unless otherwise approved by a deviation. Deviation requests

have been submitted for the use of a private non-standard cross section. The waiver Criteria and Justification:

- ***The granting of the waiver will not be detrimental to the public safety, health, or welfare or injurious to other property;***  
The transportation impacts were analyzed in the Crossroads Mixed Use Traffic Study Letter, prepared by Kimley-Horn dated May 24, 2021 which found the proposed private roads suitable to meet projected traffic demands of the Crossroads Mixed-Use development.
- ***The conditions upon which the request for a waiver is based are unique to the property for which the waiver is sought and are not applicable to other property;***  
The proposed waiver is based on the responding to market demands, maintain infill design flexibility to integrate the proposed mix of multifamily and commercial land uses, and maximize spatial constraints created by incorporating multiple buffers required to accommodate multiple zone districts and to achieve compatibility among commercial, industrial, multi-family, and single-family land uses.
- ***A non-economical hardship to the owner would result from a strict application of this Code;***  
The requested waivers are not related to any specific economic hardships.
- ***The waiver will not in any manner vary the zoning provisions of this Code; and***  
The waiver will not vary any zoning provisions of the Code.
- ***The proposed waiver is not contrary to any provision of the Master Plan.***  
The waivers are not contrary to any provision of the Master Plan.

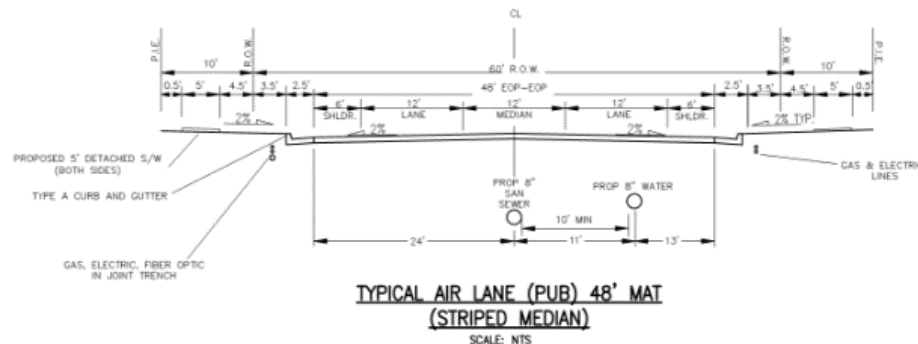
**The applicant is requesting the following deviations**

1. A deviation from the standard Urban Non-Residential Collector Roadway Cross Section for Air Lane is requested. The standard cross section includes two travel lanes (12'), a striped median (12'), and two shoulders (6') within a 48-foot wide pavement mat; two 2.5-foot curb and gutter at the end of the pavement mat, two eight (8) foot (typical) landscape/tree lawns, two five (5) foot detached sidewalks all within an 80-foot ROW

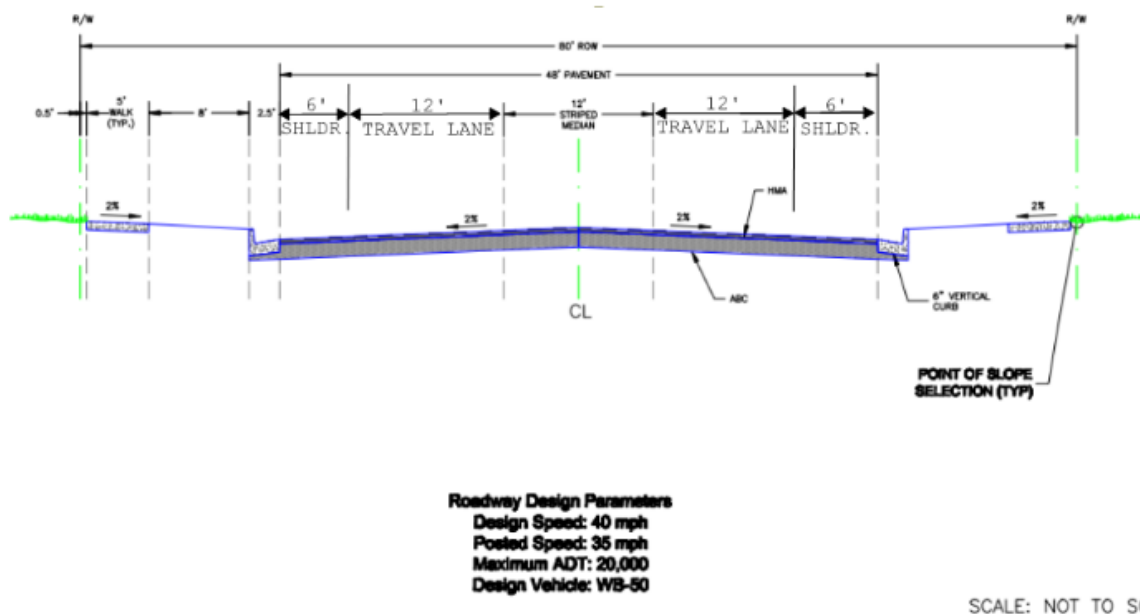
The deviation is being requested in order to create a more efficient development in terms of land devoted to transportation facilities and to maximize land for commercial land uses on an irregularly shaped infill development parcel.

The proposed private road cross section includes the following deviation(s) from standard ECM Standards for an urban residential collector section. Requesting.

- 60-foot ROW. Typical cross section is within an 80-foot Public ROW.
- 48-foot pavement width, where typical cross section has a 48' pavement width. No change.
- Two 12-foot travel lanes with two 6' shoulders, where typical cross section has two 12-foot travel lanes with two 6' shoulders. No Change
- Striped 12' median, whereas typical cross section has 12' striped median. No change.
- 5-foot detached sidewalk, where typical cross section has 5' detached sidewalks, No Change.
- Two 10' Public Improvement Easements, whereas typical cross section contains none.
- Two 8' landscape/tree lawns. Typical cross section has two 8' landscape/tree lawns.
- Typical cross section intersection spacing is 660' or 330' when intersecting local roadways. The layout of all of the commercial lots is not known at this time. Therefore, a deviation for the future applications will be necessary. Access spacing will also need to be considered. (Table 2-35).



2. A deviation from the standard Urban Non-Residential Collector Roadway Cross Section for Pro Omnibus Heights and Semper Supra Point is requested. The standard cross section includes two travel lanes (12'), a striped median (12'), and two shoulders (6') within a 48-foot wide pavement mat; two 2.5-foot curb and gutter at the end of the pavement mat, two eight (8) foot (typical) landscape/tree lawns, two five (5) foot detached sidewalks all within an 80-foot ROW. A deviation from the minimum centerline radius for Urban Non-Residential Collector Roadways is also requested. The minimum radius is 565 feet.



The deviation is being requested in order to create a more efficient development in terms of land devoted to transportation facilities and to maximize land for commercial land uses on an irregularly shaped infill development parcel.

The proposed private road cross section includes the following deviation(s) from standard ECM Standards for an urban residential collector section. Requesting;

- 60-foot Tract. Typical cross section is within an 80-foot Public ROW.
- 36 foot pavement width, where typical cross section has a 48' pavement width.
- Two 12-foot travel lanes with NO 6' shoulders, where typical cross section has two 12-foot travel lanes with two 6' shoulders.
- Striped 12' median, whereas typical cross section has 12' striped median. No Change.
- 5-foot detached sidewalk, where typical cross section has 5' detached sidewalks, No Change.
- 200' minimum centerline radius (standard for urban local roadways) whereas typical cross section is 565' minimum centerline radius.
- Two 5' Public Improvement Easements, whereas typical cross section has none.
- Two 8' landscape/tree lawns. Typical cross section has two 8' landscape/tree lawns. No change.
- 25 MPH design speed/25 MPH posted speed (urban local), whereas typical cross section is 40/35 MPH.
- Typical cross section intersection spacing is 660' or 330' when intersecting local roadways. The layout of all of the commercial lots is not known at this time. Therefore, a deviation for the future applications will be necessary. Direct lot access allowance in conformance with ECM Section 2.4 is implied with this deviation for Lots 4-9. Additional access spacing may also need to be considered. (Table 2-35)
- Parking will not be permitted. No Change



Justification for the requested deviations for Pro Omnibus Heights and Semper Supra Point include:

- More efficient use of land for infill development
- Facilitate a commercial design and lot configuration that responds to market demands and maintains infill design flexibility to integrate the proposed commercial and future park land uses
- To reduce spatial constraints created by incorporating multiple buffers required to accommodate multiple zone districts (mixed use development)
- To minimize vehicle dominance of the street realm and streetscape in order to promote pedestrian dominance and orientation with the site plan design and development phase
- Lower design speed and posted speed is more appropriate for high density commercial development with frequent driveway access points and slower speeds through drive aisles
- Typical cross section intersection spacing is 660' or 330' when intersecting local roadways. The layout of all the commercial lots is not known at this time. Therefore, a deviation for the future applications will be necessary. Access spacing will also need to be considered. (Table 2-35)



# CROSSROADS NORTH

## PRELIMINARY PLAN

### SITUATED IN THE EAST HALF OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO

#### LEGAL DESCRIPTION

A PORTION OF LOTS 7, 12, 13, 14, 15, 16, 17, 18, 19, AND 20, HILLCREST ACRES RECORDED MAY 12, 1960, IN PLAT BOOK B-2, PAGE 64 IN THE RECORD OF EL PASO COUNTY, COLORADO EXCEPT THOSE PARCELS OF LAND AS DESCRIBED IN THE FOLLOWING RECEPTION NUMBERS: 20408322, 202058754, 214119767, 214119796, 214116022, AND 214116021 RECORDED IN THE OFFICIAL PUBLIC RECORDS OF EL PASO COUNTY, COLORADO.

#### PRELIMINARY PLAN NOTES

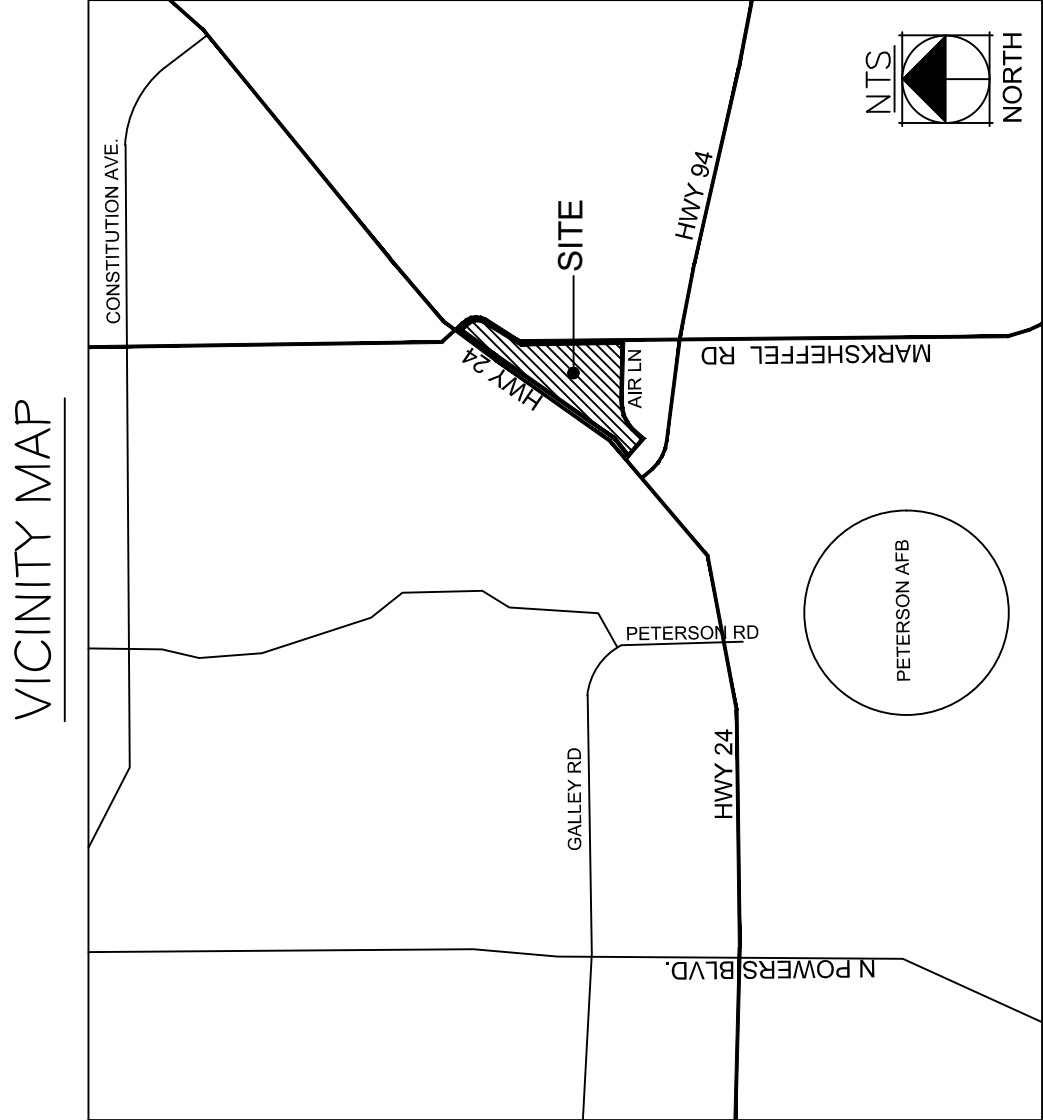
1. THE FOLLOWING REPORTS HAVE BEEN SUBMITTED IN ASSOCIATION WITH THE PRELIMINARY PLAN FOR THIS SUBDIVISION AND ARE ON FILE AT THE COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT: TRANSPORTATION IMPACT STUDY; DRAINAGE REPORT; WATER RESOURCES REPORT; WASTEWATER DISPOSAL REPORT; GEOLOGY AND SOILS REPORT; FIRE PROTECTION REPORT; NATURAL FEATURES REPORT.
2. ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE LOT OWNERS UNLESS OTHERWISE INDICATED. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OR RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.
3. UNLESS OTHERWISE INDICATED, ALL FRONT, SIDE AND REAR LOT LINES ARE HEREBY PLATTED ON EITHER SIDE WITH A 10 FOOT PUBLIC DRAINAGE EASEMENT. THE DRAINAGE EASEMENT SHALL BE MAINTAINED BY THE LOT OWNER WITHIN THE DRAINAGE EASEMENT AND DRAINAGE EASEMENT. THE SOLE RESPONSIBILITY FOR MAINTENANCE OF THESE EASEMENTS IS HEREBY TESTED WITH THE INDIVIDUAL PROPERTY OWNERS.
4. DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEW AND PERMIT REQUIREMENTS, AND OTHER AGENCY REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO DIVISION OF WILDLIFE, COLORADO DEPARTMENT OF TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS, AND THE U.S. FISH AND WILDLIFE SERVICE ENVIRONMENTAL ASSESSMENT.
5. NO DRIVEWAY SHALL BE ESTABLISHED UNLESS AN ACCESS PERMIT HAS BEEN GRANTED BY EL PASO COUNTY.
6. MAILBOXES SHALL BE INSTALLED IN ACCORDANCE WITH EL PASO COUNTY AND US POSTAL SERVICE REGULATIONS.
7. EXCEPT AS OTHERWISE NOTED ON THE PRELIMINARY PLAN, INDIVIDUAL LOT PURCHASERS ARE RESPONSIBLE FOR CONSTRUCTING PRIVATE DRIVEWAY ACCESS POINTS, INCLUDING NECESSARY DRAINAGE CULVERTS PER LAND DEVELOPMENT CODE SECTION 6.3.3.C.2 AND 6.2.2.C.3.
8. AT THE TIME OF APPROVAL OF THIS PROJECT, THIS PROPERTY IS LOCATED WITHIN THE FALCON FIRE PROTECTION DISTRICT, WHICH HAS ADOPTED A FIRE CODE WITH FIRE MITIGATION REQUIREMENTS DEPENDING UPON THE LEVEL OF FIRE RISK ASSOCIATED WITH THE PROPERTY AND STRUCTURES. THE OWNER OF ANY LOT SHOULD CONTACT THE FIRE DISTRICT TO DETERMINE THE EXACT DEVELOPMENT REQUIREMENTS RELATIVE TO THE ADOPTED FIRE CODE.
9. THE PLANS AND BUILD AREAS INCLUDE, BUT ARE NOT LIMITED TO, WITHIN DESIGNATED DRAINAGE EASEMENTS, NO-BUILD AREAS WITHIN INDIVIDUAL LOTS ARE THE RESPONSIBILITY OF THE PROPERTY OWNER. ALL OTHER NO-BUILD AREAS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER'S ASSOCIATION.
10. THIS PROPERTY MAY BE ADVERSELY IMPACTED BY NOISE, DUST, FUMES, AND LIGHT POLLUTION CAUSED BY ADJACENT INDUSTRIAL PROPERTIES AND ACTIVITIES. THE BUYER SHOULD RESEARCH AND BE AWARE OF THIS POTENTIALITY AND THE RAMIFICATIONS THEREOF.
11. SIGNAGE IS NOT APPROVED WITH THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT AT 2880 INTERNATIONAL CIRCLE FOR A SIGN PLAN APPLICATION.
12. RETAINING WALLS EXCEEDING 4-FEET WILL NEED TO BE STRUCTURALLY ENGINEERED AND PERMITTED THROUGH RBD.
13. ALL "STOP SIGNS" AND OTHER TRAFFIC CONTROL SIGNAGE SHALL BE INSTALLED BY THE DEVELOPER AT LOCATIONS SHOWN ON THE SITE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS.
14. PRIOR TO BUILDING PERMIT APPROVAL, A FINAL SUBDIVISION PLAT SHALL BE SUBMITTED FOR REVIEW BY THE EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT FOR ADMINISTRATIVE APPROVAL; AND RECORDED WITH THE CLERK AND RECORDER'S OFFICE.
15. ANY UTILITIES SHOWN DEPICED IN THIS PLAN IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO POLES, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE (LDC), THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL (DCM), AND DCM VOLUME 2. ANY DEVIATIONS FROM THESE STANDARDS MUST BE SPECIFICALLY REQUESTED AND APPROVED IN WRITING TO BE ACCEPTABLE. THE APPROVAL OF THIS PRELIMINARY PLAN DOES NOT IMPLICITLY ALLOW ANY DEVIATIONS OR WAIVERS THAT HAVE NOT BEEN OTHERWISE APPROVED THROUGH THE DEVATION ADOPTED STANDARDS.
16. DEVELOPMENT OF THE PROPERTY WILL BE IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE EL PASO COUNTY LAND DEVELOPMENT CODE FOR ZONING, AND THE COMMERCIAL AVIATION DISTRICT OVERLAY (CAD-O).
17. THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP. COMMUNITY MAPS NUMBERED "08041C0576F", DATED DECEMBER 7, 2018, THE LIMITS OF WHICH ARE SHOWN ON THE SURVEY. AREAS WITHIN THE FLOODPLAIN ARE ZONE AE, AREAS OUTSIDE THE FLOODPLAIN ARE ZONE X.
18. WATER AND WASTEWATER SERVICES FOR THIS SUBDIVISION WILL BE PROVIDED BY THE CHEROKEE METROPOLITAN DISTRICT (CHEROKEE) SUBJECT TO THE DISTRICT'S RULES, REGULATIONS AND SPECIFICATIONS. THE OFFICE OF THE STATE ENGINEER HAS ISSUED AN OPINION OF WATER ADEQUACY BASED ON ITS ANALYSIS AND INTERPRETATION OF A STIPULATED AGREEMENT CONCERNING THE AVAILABILITY OF WATER ADEQUACY FOR THE SUBDIVISION. THE OFFICE OF THE STATE ENGINEER HAS ALSO ISSUED AN INTERPRETATION OF THE AVAILABILITY OF WATER RESOURCES FOR THIS SUBDIVISION BASED ON THE AGREEMENT. THIS INTERPRETATION DIFFERS FROM CERTAIN OPINIONS ISSUED BY THE OFFICE IN THE PAST, BASED ON ITS OWN REVIEW OF THE STIPULATED AGREEMENT AND ITS HISTORY (AND NOT THE AMOUNT OF WATER ACTUALLY AVAILABLE). THE BOARD OF COUNTY COMMISSIONERS FOUND THAT CHEROKEE HAS THE INTERPRETATION OF THE STATE ENGINEER'S OFFICE. THE BOARD OF COUNTY COMMISSIONERS FOUND THAT CHEROKEE HAS COMMITTED TO PROVIDE WATER SERVICE TO THE SUBDIVISION AND ASSERTED THAT ITS LONG TERM WATER SERVICE CAPABILITIES ARE ADEQUATE TO PROVIDE WATER SERVICE TO THE SUBDIVISION. THE BOARD OF COUNTY COMMISSIONERS FOUND THAT CHEROKEE HAS PROVIDED BY CHEROKEE AT THE PUBLIC HEARING THEREON. AT THE HEARING, CHEROKEE ASSERTED THAT ITS PLANS AND CONTINUED FINANCIAL INVESTMENT IN INFRASTRUCTURE ARE DESIGNED TO ALLOW CHEROKEE TO CONTINUE TO PROVIDE THIS SUBDIVISION AND ITS EXISTING CUSTOMERS WITH WATER AND WASTEWATER SERVICES FOR 300 YEARS OR MORE.
19. THE PROPERTY IS LOCATED IN THE AIRPORT OVERLAY ZONE. THIS SERVES AS NOTICE OF POTENTIAL AIRCRAFT OVERLIGHT AND NOISE IMPACTS ON THIS PROPERTY. THE PROPERTY IS SUBJECT TO ITS CLOSE PROXIMITY TO AN AIRPORT WHICH IS BEING DISCLOSED TO ADVERSELY IMPACT THE PROPERTY. THE PROPERTY IS SUBJECT TO THE USE OF AIRCRAFT AND AIRCRAFT OPERATIONS. THE PROPERTY IS SUBJECT TO THE OVERLIGHT AND ASSOCIATED NOISE OF ARRIVING AND DEPARTING AIRCRAFT DURING THE COURSE OF NORMAL AIRPORT OPERATIONS. ALL PROPERTY WITHIN THIS SUBDIVISION IS SUBJECT TO AN AVIATION EASEMENT AS RECORDED IN BOOK 2478 AT PAGE 304, OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER AT TIME OF FINAL PLAT.
20. A 300DB(A) INDOOR NOISE REDUCTION SHALL BE ACHIEVED BY APPROVED CONSTRUCTION TECHNIQUES AS EVIDENCED BY A NOISE REDUCTION CERTIFICATE PRIOR TO SITE DEVELOPMENT PLAN APPROVAL.
21. ALL PROPERTY WITHIN THIS SUBDIVISION WILL BE SUBJECT TO A RECIPROCAL ACCESS/PARKING AGREEMENT TO BE RECORDED AT THE FINAL PLAT PHASE OR BY A SEPARATE INSTRUMENT PRIOR TO SUBMITTAL AND APPROVAL OF THE FINAL PLAT.
22. THE DEVELOPER SHALL SUBMIT AN ANNUAL REPORT AND DISCLOSURE FORM SATISFACTORY TO THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT FOR REVIEW AND APPROVAL.
23. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OR DESIGNATED ENTITY APPROVED BY THE BOARD OF COUNTY COMMISSIONERS (BOCC).
24. LANDSCAPING SHALL CONFORM TO THE REQUIREMENTS OF CHAPTER 6 OF THE COUNTY CODE TOGETHER WITH ALL APPLICABLE CONDITIONS OF APPROVAL IMPOSED BY THE BOCC.
25. FINAL LOCATION OF PROPOSED WATER EASEMENT HAS YET TO BE DETERMINED BY THE CHEROKEE METROPOLITAN DISTRICT. CROSSROADS METRO DISTRICT NO. 2, AND COLORADO DEPARTMENT OF TRANSPORTATION. LOTS, EASEMENTS, AND ROAD CONFIGURATIONS AND ALIGNMENTS MAY BE SUBJECT TO MINOR CHANGES IN ORDER TO REFLECT FUTURE AGREEMENTS(S) AND FINAL EASEMENT ALIGNMENTS. THE COUNTY WILL PROVIDE THE REQUIRED WATER LOOP (FROM ROADBOROUGH HWY), SOUTH TO NORTH ALIGNMENT OF HIGH 94, AND LOCATIONS OF REQUIRED EASEMENTS AND UTILITY LINES SHALL BE PROVIDED PRIOR TO OR CONCURRENT WITH ANY FINAL PLAT SUBMITTAL.
26. THERE SHALL BE NO DIRECT LOT ACCESS TO MARKSHEFFEL ROAD OR US HIGHWAY 24.
27. ALL STREETS SHOWN, EXCEPT FOR AIR LANE, ARE PRIVATE AND WILL BE OWNED AND MAINTAINED BY CROSSROADS METROPOLITAN DISTRICT 2.
28. THE PRIVATE ROADS AS SHOWN ON THIS PLAT WILL NOT BE MAINTAINED BY EL PASO COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN CONFORMANCE WITH EL PASO COUNTY STANDARDS IN EFFECT AT THE DATE OF THE REQUEST FOR DEDICATION AND MAINTENANCE.
29. THE SUBDIVIDER(S) AGREES ON BEHALF OF THEMSELVES AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY TRAFFIC IMPACT FEE SCHEDULE. THE SUBDIVIDER(S) SHALL BE RESPONSIBLE FOR PAYING THE TRAFFIC IMPACT FEES AT THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.
30. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND PROPOSED PLAT EASEMENTS WITH ELEMENTS REQUIRED BY THE APPLICABLE DESIGN STANDARDS AND ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
31. 36. A PUBLIC IMPROVEMENT EASEMENT FOR A SIDEWALK ALONG THE SOUTH RIGHT-OF-WAY LINE OF AIR LANE WILL ONLY BE ILLUSTRATED ON THE PRELIMINARY PLAN AND WILL BE DOCUMENTED DURING THE DEVELOPMENT PLAN AND FINAL PLAT APPROVAL PROCESS WITH THE CITY OF COLORADO SPRINGS.

**Kimley»»Horn**

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2 NORTH NEVADA AVENUE, SUITE 300

COLORADO SPRINGS, COLORADO 80903 (719) 453-0180



#### SITE DATA TABLE:

TAX ID NUMBERS	5488001008, 5488001026, 5488001032, 5488001035, 5488001034, 5488001041, 5488001042, 5488001050, 5488001051, & 5488001052
CURRENT ZONING:	CR CAD-O
PROPOSED ZONING:	IS
PROPOSED LOTS:	5
PROPOSED LOT AREA:	40.97 AC
MINIMUM LOT SIZE:	1.08 AC
TOTAL LOT ACRES:	34.517 AC±
PRIVATE ROAD ACRES:	24.38 AC±
DETENTION POND ACRES:	4.265 AC±
OPEN SPACE ACRES:	3.135 AC±

#### SOILS & GEOLOGY CONDITIONS, CONSTRAINTS & HAZARDS NOTES\*\*

THE ENTIRETY OF THE PROPOSED DEVELOPMENT MAY BE IMPACTED BY GEOLOGIC HAZARDS, MITIGATION MEASURES AND A MAP OF THE HAZARD AREA CAN BE FOUND IN THE REPORT "GEOLOGIC HAZARDS EVALUATION AND PRELIMINARY GEOTECHNICAL INVESTIGATION CROSSROADS NORTH", BY CILTHOMPSON, INC., CLTJ PROJECT NO. C518526.001-105, DATED OCTOBER 6, 2020), IN FILE SP207 AVAILABLE AT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT:

- POTENTIALLY HYDRO-COMPACTIVE SOILS: MAY BE PRESENT ANYWHERE WITHIN THE ENTIRE DEVELOPMENT. SITE-SPECIFIC DESIGN-LEVEL GEOTECHNICAL INVESTIGATIONS PERFORMED FOR EACH PLANNED STRUCTURE SHOULD ADDRESS THE BEHAVIOR OF THE ON-SITE SANDS WHEN WETTED.\*\*
- EXISTING FILL STOCKPILES: VARIOUS LOCATIONS SHOWN ON REPORT FIG. 2 - SURFICIAL GEOLOGIC MAP, AND LABELED AS MAP UNIT "AF"\*\*\*

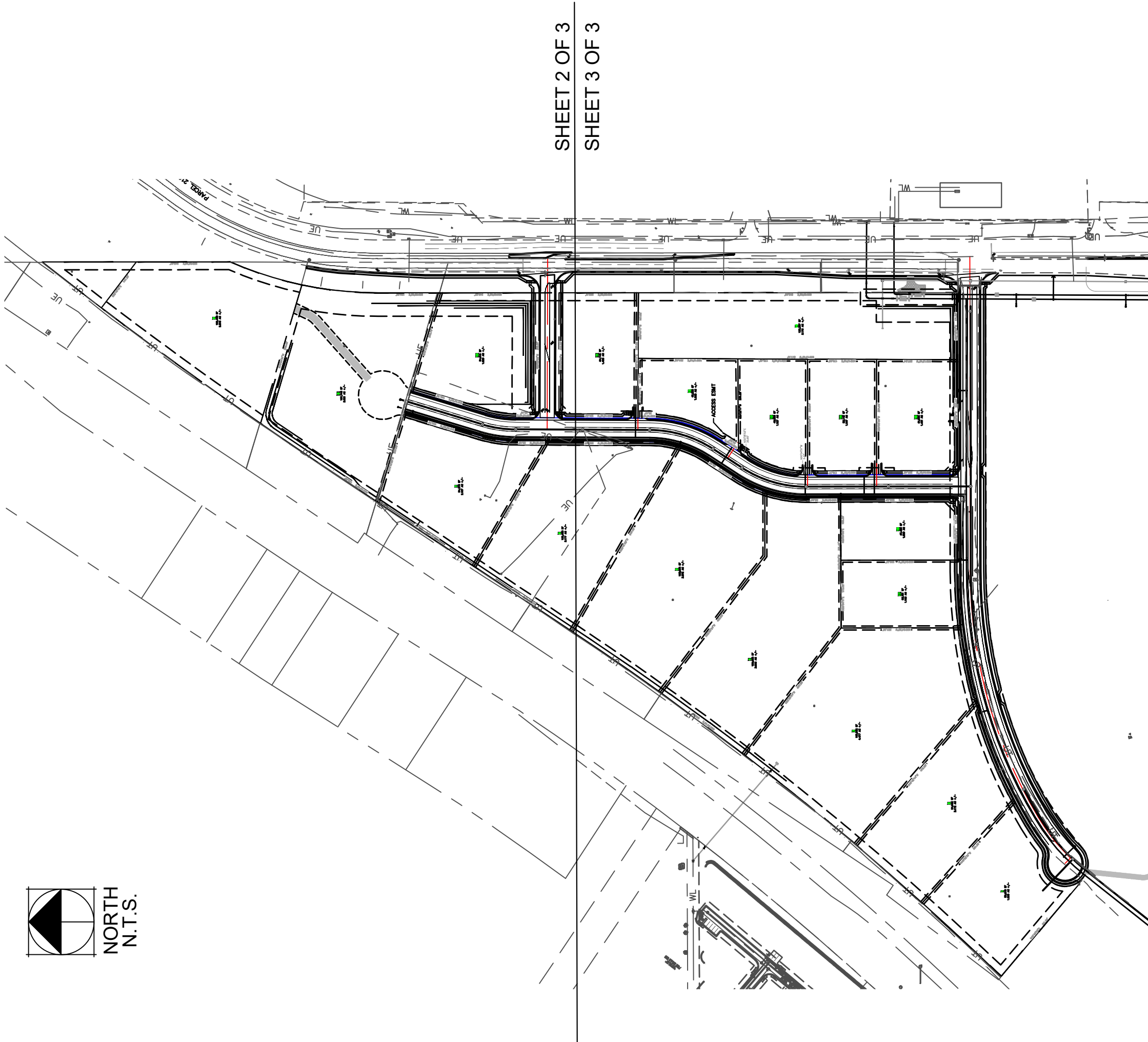
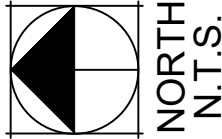
- "AF" IS IDENTIFIED AS MAN-MADE FILL CONSISTING OF END-DUMPED SOIL STOCKPILES TYPICALLY 3 TO 5 FEET IN MAXIMUM HEIGHT.\*\*
- RETAINING WALLS SHALL BE DESIGNED IN CONFORMANCE WITH LOCAL CODES.\*\*
- RETAINING WALLS OVER 4 FEET IN EXPOSED HEIGHT AND RETAINING ALLS THAT ARE SUBJECT TO SUBMERSE LOADING SUCH AS THAT EXERTED BY TIERED RETAINING WALL SYSTEMS, SHOULD BE DESIGNED BY A PROFESSIONAL ENGINEER. RETAINING WALLS DESIGNED BY A PROFESSIONAL ENGINEER SHOULD INCLUDE GLOBAL STABILITY ANALYSIS AS PART OF THEIR DESIGN. PART OF THE RETAINING WALL DESIGN PROCESS SHOULD BE A SITE SPECIFIC, DESIGN-LEVEL GEOTECHNICAL INVESTIGATION, AND SHOULD BE PROVIDED AS PART OF THE FUTURE SITE DEVELOPMENT PLAN DESIGN.\*\*

\*\* REFER TO THE SOILS REPORT FOR MORE DETAILED INFORMATION.

#### FLOODPLAIN NOTES

1. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) PANEL NOS. 08041C0756G, 08041C0756G, 08041C0756G, AND 08041C0758G REVISED DECEMBER 7, 2018, NO PORTION OF THIS SITE IS LOCATED WITHIN THE 100 YEAR FLOODPLAIN.

SHEETSET KEY  
FOR GRAPHIC REPRESENTATION ONLY



#### SHEET INDEX:

01	COVER SHEET
02	PRELIMINARY PLAN - 1
03	PRELIMINARY PLAN - 2
04	GRADING SHEET
05	UTILITY SHEET
06-13	LANDSCAPE SHEETS

#### SUBMITTAL DATES:

SUBMITTAL 01	10/23/2020
SUBMITTAL 02	05/25/2022
SUBMITTAL 03	06/20/2022
SUBMITTAL 04	10/06/2022
SUBMITTAL 05	10/25/2023
SUBMITTAL 06	01/10/2024
SUBMITTAL 07	05/29/2024
SUBMITTAL 08	06/28/2024
SUBMITTAL 09	07/01/2024
SUBMITTAL 10	07/18/2024

**PROJECT TEAM**  
**OWNER/DEVELOPER:**  
CROSSROADS METROPOLITAN DISTRICT NO. 2  
C/O THE EQUITY GROUP  
212 W. WASHINGTON AVE., SUITE 305  
COLORADO SPRINGS, CO 80903

**PLANNER/LANDSCAPE ARCHT.:**  
KIMLEY-HORN  
2 NORTH NEVADA AVENUE  
SUITE 300  
COLORADO SPRINGS, CO 80903

**COVER**  
**SHEET 01 OF 13**

CROSSROADS NORTH PRELIMINARY PLAN - COUNTY FILE NO. SP207



CROSSROADS NORTH  
PRELIMINARY PLAN  
SITUATED IN THE EAST HALF OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,  
COUNTY OF EL PASO, STATE OF COLORADO

LOT TABLE		
LOT NO.	SF/AC±	USE
1	86,679SF± / 1.990AC±	COMMERCIAL
2	94,602SF± / 2.172AC±	COMMERCIAL
3	165,002SF± / 4.477AC±	COMMERCIAL
4	52,191SF± / 1.198AC±	COMMERCIAL
5	159,658SF± / 3.665AC±	COMMERCIAL
6	168,664SF± / 3.872AC±	COMMERCIAL
7	138,408SF± / 3.177AC±	COMMERCIAL
8	94,379SF± / 2.167AC±	COMMERCIAL
9	157,740SF± / 3.621AC±	COMMERCIAL
10	84,019SF± / 1.929AC±	COMMERCIAL
11	64,740SF± / 1.486AC±	COMMERCIAL
12	45,235SF± / 1.038AC±	COMMERCIAL
13	49,080SF± / 1.127AC±	COMMERCIAL
14	52,142SF± / 1.197AC±	COMMERCIAL
15	61,038SF± / 1.401AC±	COMMERCIAL

LOT TABLE TO REFERENCE SHEET 2 AND SHEET 3

TRACT TABLE		
TRACT	SF/AC±	OWNER      USE
A	122,408SF± / 2.810AC±	**CMD2      PRIMARY USE - OPEN SPACE AND LANDSCAPE, SURFACE DRAINAGE AND UNDERGROUND UTILITY
B	14,154SF± / 0.325AC±	**CMD2      PRIMARY USE - OWNERS PARCEL, SIGNAGE, SECONDARY USES - ABOVE/UNDERGROUND DETENTION, SURFACE DRAINAGE AND UNDERGROUND UTILITY
C	138,367SF± / 3.178AC±	**CMD2      PRIMARY USE - SHARED SURFACE PARKING, LANDSCAPE SECONDARY USES - ABOVE/UNDERGROUND DETENTION, ABOVE/UNDERGROUND DRAINAGE AND UTILITY USES
D	47,420SF± / 1.089AC±	**CMD2      PRIMARY USE - DRAINAGE DETENTION, SECONDARY USES - UTILITY, OPEN SPACE, LANDSCAPE
E***	106,104SF± / 2.438AC±	**CMD2      PRIMARY USES - VEHICULAR AND PEDESTRIAN ACCESS, ROADWAY LANDSCAPE, UNDERGROUND DRAINAGE AND UTILITY USE

\*\*CMD2 = CROSSROADS METROPOLITAN DISTRICT NO. 2

\*\*\*TRACT E OVERLAYS PROPOSED 80' ACCESS AND UTILITY EASEMENT ALONG PRO OMNIBUS HEIGHTS

\*\*\*\*TRACT E OVERLAYS PROPOSED 70' ACCESS AND UTILITY EASEMENT ALONG NOX ALBUM POINT

TRACT TABLE TO REFERENCE SHEET 2 AND SHEET 3

SHEET 2. SPECIFIC NOTES

1. A BLANKETED SHARED ACCESS EASEMENT WILL BE PROVIDED TO ALLOW CIRCULATION BETWEEN LOTS.
2. FINAL INTERNAL VEHICLE CIRCULATION WILL BE PROVIDED DURING THE SITE DEVELOPMENT PLAN PROCESS WITHIN EACH LOT, PROVIDING SHARED ACCESS AND CIRCULATION FOR ADJACENT LOTS.
3. TEMPORARY ACCESS EASEMENT WILL BE PROVIDED THROUGH LOT 9 TO TRACT A UNTIL DEVELOPMENT AND PERMANENT ACCESS IS PROVIDED DURING THE SITE DEVELOPMENT PLAN PROCESS.

LEGEND

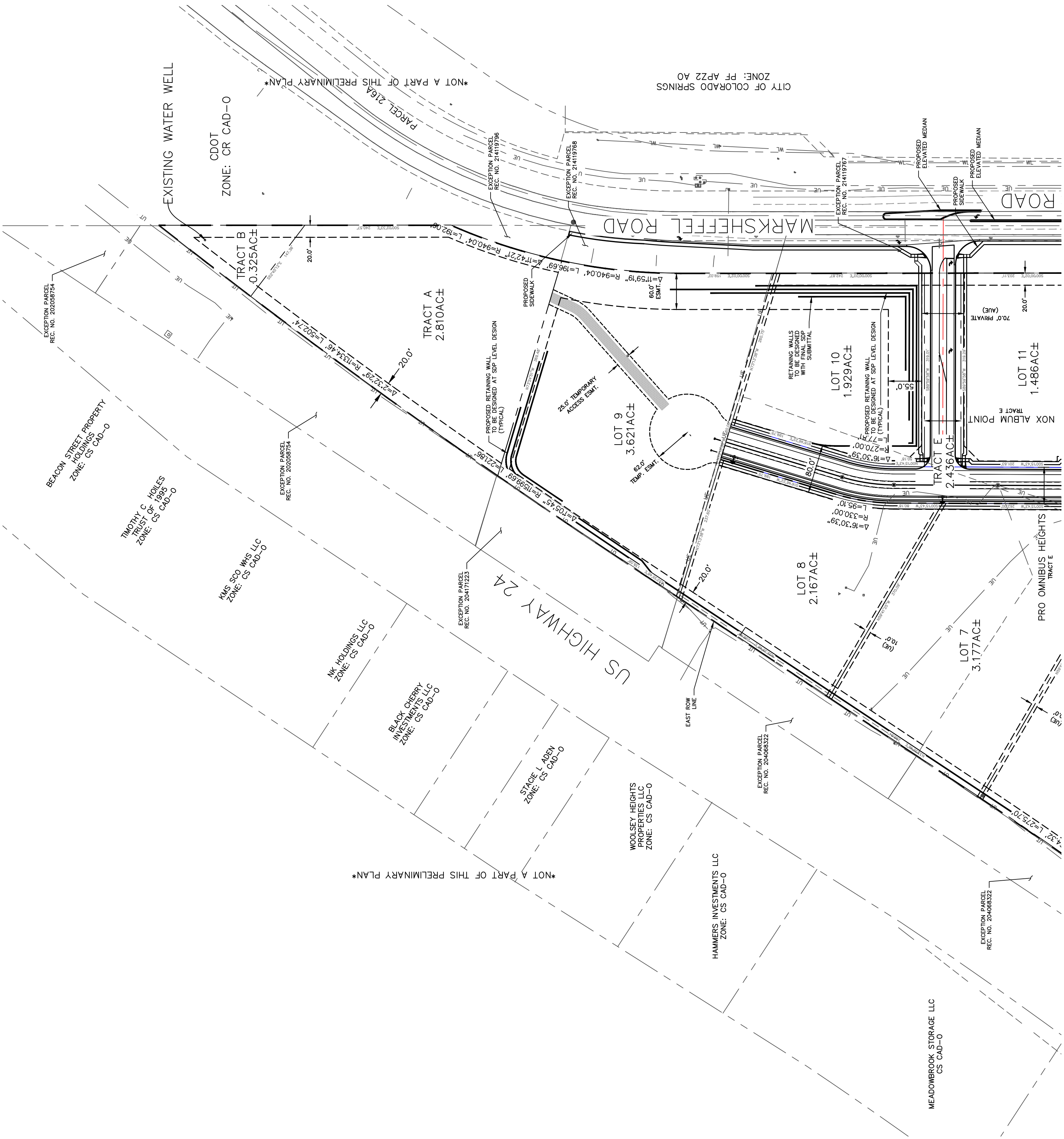
- PROPERTY BOUNDARY
- PROPOSED STORM EASEMENT
- PROPOSED ACCESS EASEMENT
- PROPOSED INTERIOR LOT LINE
- CENTERLINE
- CULVERT
- PROPOSED WATER LINE
- PROPOSED SANITARY LINE
- EXISTING SANITARY LINE
- PROPOSED RETAINING WALL
- PROPOSED SIDEWALK
- PROPOSED ROADWAY STRIPING (WHITE)
- PROPOSED ROADWAY STRIPING (YELLOW)
- DETENTION ACCESS ROAD
- PROPOSED DETENTION ACCESS ROAD




**Kimley-Horn**

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COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

- (AUE) ACCESS & UTILITY EASEMENT
- (UE) UTILITY EASEMENT
- (SB) SETBACK LINE
- (LS) LANDSCAPE SETBACK





NORTH

0 50' 100' 200'

SCALE: 1" = 100'



CROSSROADS NORTH  
PRELIMINARY PLAN  
SITUATED IN THE EAST HALF OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,  
COUNTY OF EL PASO, STATE OF COLORADO

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LOT TABLE TO REFERENCE SHEET 2 AND SHEET 3

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\*\*\*\*TRACT E OVERLAYS PROPOSED 70' ACCESS AND UTILITY EASEMENT ALONG NOX ALBUM POINT

TRACT TABLE TO REFERENCE SHEET 2 AND SHEET 3

SHEET 3. SPECIFIC NOTES

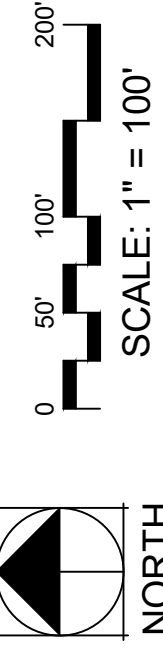
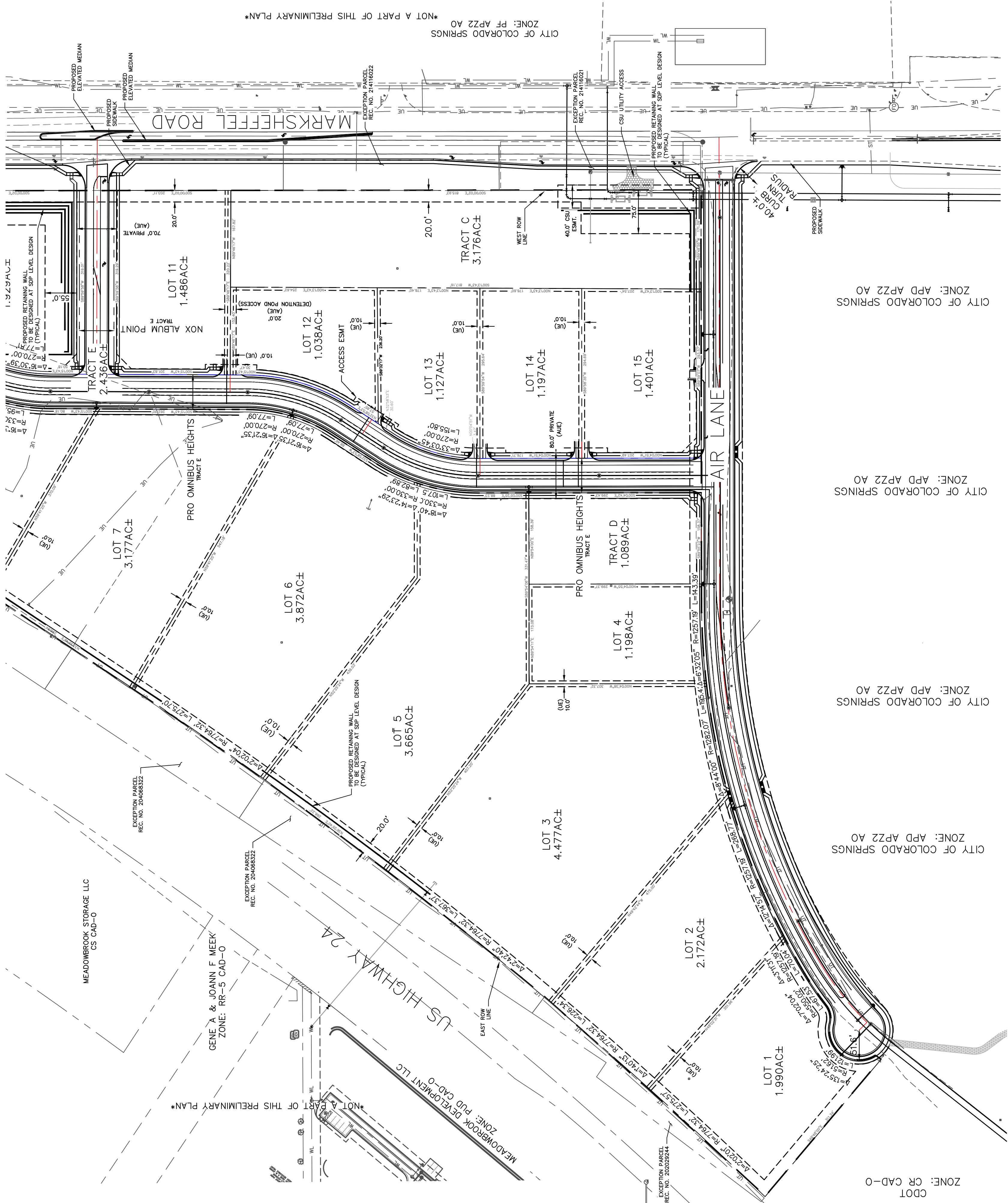
1. A BLANKETED SHARED ACCESS EASEMENT WILL BE PROVIDED TO ALLOW CIRCULATION BETWEEN LOTS.
2. FINAL INTERNAL VEHICLE CIRCULATION WILL BE PROVIDED DURING THE SITE DEVELOPMENT PLAN PROCESS WITHIN EACH LOT, PROVIDING SHARED ACCESS AND CIRCULATION FOR ADJACENT LOTS.
3. LOT 1 THROUGH LOT 4 WILL BE ACCESSED BY WAY OF THE DESIGNATED SHARED ACCESS POINT OFF OF AIR LANE. ALL OTHER LOTS ACCESS WILL BE PROVIDED THROUGH A SHARED ACCESS WITH TRACT E (SEMPER SUPRA VEU).

LEGEND

- PROPERTY BOUNDARY
- PROPOSED STORM EASEMENT
- PROPOSED ACCESS EASEMENT
- PROPOSED INTERIOR LOT LINE
- CENTERLINE
- CULVERT
- PROPOSED WATER LINE
- PROPOSED SANITARY LINE
- EXISTING SANITARY LINE
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- (AUE) ACCESS & UTILITY EASEMENT
- (UE) UTILITY EASEMENT
- (SB) SETBACK LINE
- (LS) LANDSCAPE SETBACK



PRELIM PLAN 2  
SHEET 03 OF 13

CROSSROADS NORTH PRELIMINARY PLAN - COUNTY FILE NO. SP207



# CROSSROADS NORTH PRELIMINARY GRADING PLAN

CROSSROADS NORTH  
PRELIMINARY GRADING PLAN  
JOB #18-001  
JUNE 18, 2024

## LEGEND

- EXISTING MAJOR CONTOUR

EXISTING MINOR CONTOUR

PROPOSED MAJOR CONTOUR

PROPOSED MINOR CONTOUR

FLOW DIRECTION & SLOPE

FLOW DIRECTION ARROW

PROPOSED SWALE

RIGHT-OF-WAY LINE

PROPOSED PROPERTY LINE

FUTURE PROPERTY LINE

EXISTING DISTURBANCE/CONST. FENCE

LIMITS OF DISTURBANCE/CONST. FENCE

PROPOSED STORM DRAIN

EXISTING STORM DRAIN

PROP SWALE

SEDIMENT BASIN TRIBUTARY AREA

EXISTING FIBER OPTIC LINE

EXISTING OVERHEAD ELECTRIC

EXISTING LOT LINE

EXISTING FENCE

EXISTING LOT LINE

EXISTING UNDERGROUND ELECTRICAL

EXISTING GAS LINE

EXISTING WATERLINE

EXISTING DRAINAGE BASIN

PROPOSED RETAINING WALL TO BE DESIGNED AT THE SDP PHASE OF EACH LOT DESIGN

EXISTING MAJOR CONTOUR

EXISTING MINOR CONTOUR

PROPOSED MAJOR CONTOUR

PROPOSED MINOR CONTOUR

FLOW DIRECTION & SLOPE

FLOW DIRECTION ARROW

PROPOSED SWALE

RIGHT-OF-WAY LINE

PROPOSED PROPERTY LINE

FUTURE PROPERTY LINE

EXISTING DISTURBANCE/CONST. FENCE

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PROPOSED STORM DRAIN

EXISTING STORM DRAIN

PROP SWALE

SEDIMENT BASIN TRIBUTARY AREA

EXISTING FIBER OPTIC LINE

EXISTING OVERHEAD ELECTRIC

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EXISTING GAS LINE

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EXISTING STORM DRAIN

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PROPOSED RETAINING WALL TO BE DESIGNED AT THE SDP PHASE OF EACH LOT DESIGN

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EXISTING MINOR CONTOUR

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EXISTING STORM DRAIN

PROP SWALE

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EXISTING LOT LINE

EXISTING UNDERGROUND ELECTRICAL

EXISTING GAS LINE

EXISTING WATERLINE

EXISTING DRAINAGE BASIN

PROPOSED RETAINING WALL TO BE DESIGNED AT THE SDP PHASE OF EACH LOT DESIGN
- 
- 
- 
- 212 N. VASATCH AVE., STE 305  
COLORADO SPRINGS, CO 80903  
PHONE 719.555.5485
- SHEET 4 OF 13  
COUNTY FILE NO. SP207
- PC Report Packet  
Page 41 of 57



# CROSSROADS NORTH SITE UTILITY EXHIBIT

CROSSROADS NORTH  
SITE UTILITY EXHIBIT  
JOB #18-001  
JULY 12, 2024

## UTILITY PROVIDERS

CSU  
ELECTRIC  
WATER  
SANITARY  
STORM SEWER

CSU FOR PARK SITE  
CHEROKEE MD FOR DEVELOPMENT  
CHEROKEE MD FOR PARK SITE BATHROOMS  
CHEROKEE MD FOR DEVELOPMENT  
EL PASO COUNTY OR PRIVATE

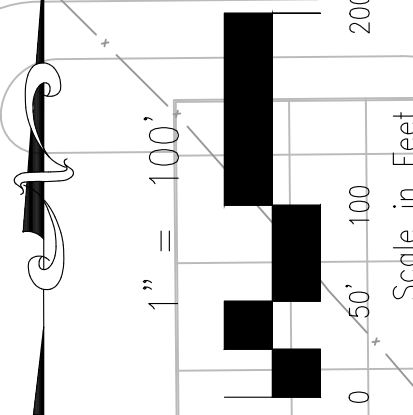
## NOTE.

PROPOSED RETAINING WALLS TO BE  
CONSTRUCTED AT SDP PHASE OF  
EACH LOT DESIGN.

U.S. HWY NO. 24  
(PUBLIC R.O.W. VARIES)

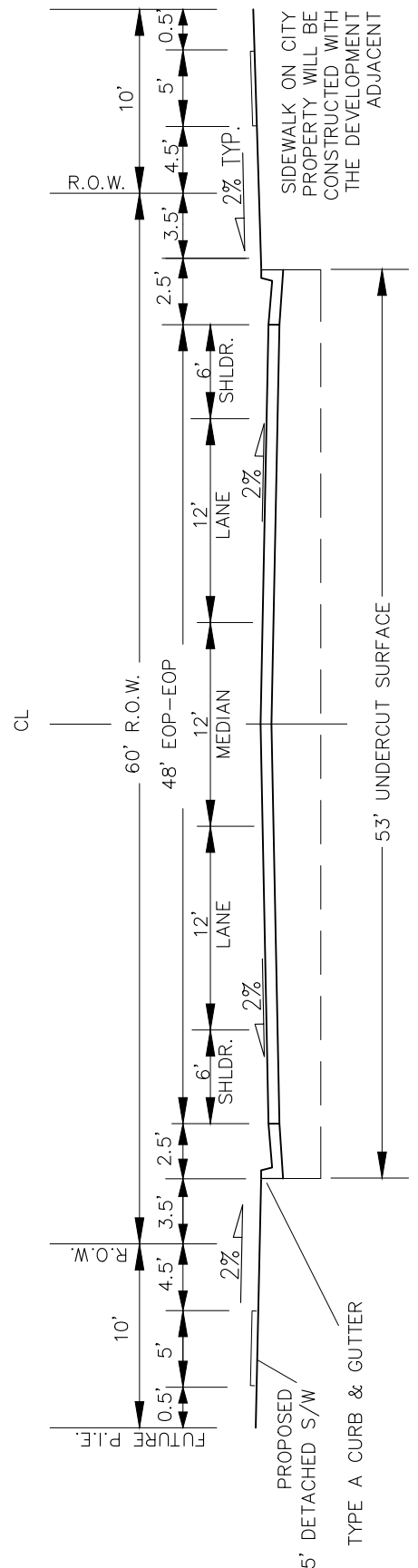
HWY 94  
(PUBLIC R.O.W. VARIES)

CITY OF COLORADO SPRINGS

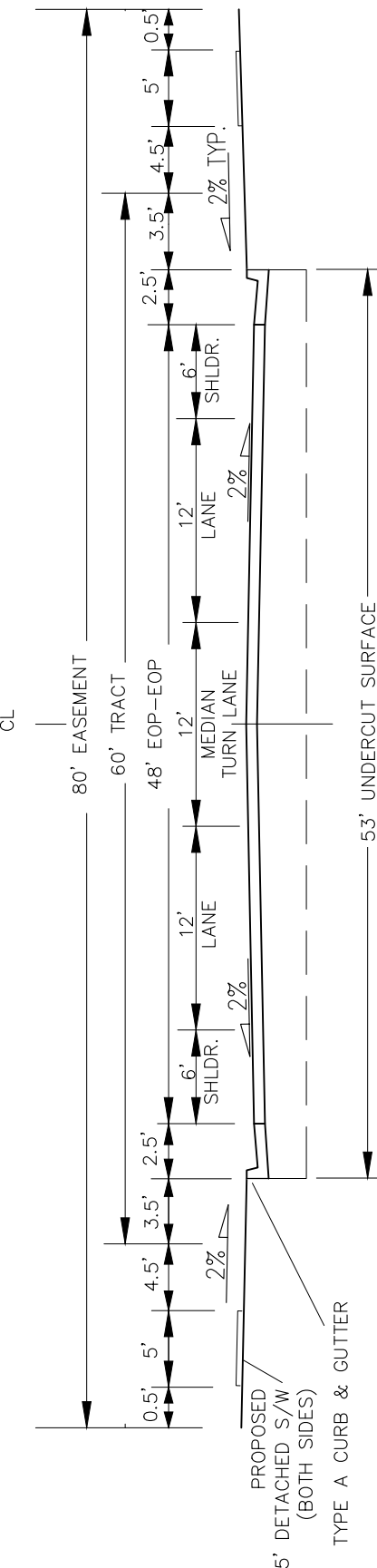


## LEGEND

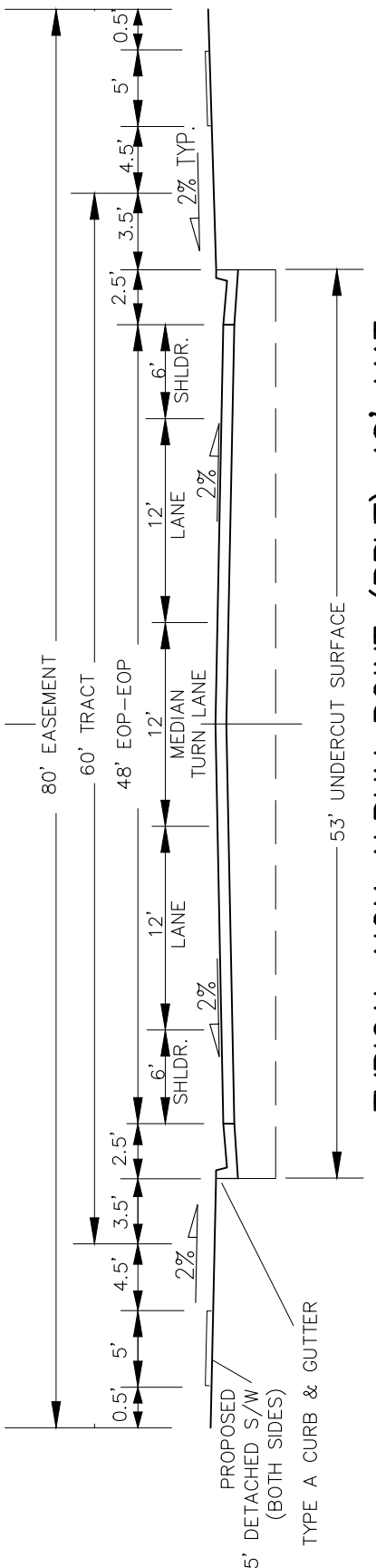
- EXISTING CSU FORCE MAIN
- EXISTING WATER MAIN CHEROKEE MD
- EXISTING GRAVITY SANITARY SEWER CHEROKEE MD
- PROPOSED GRAVITY SANITARY SEWER CHEROKEE MD
- PROPOSED WATER MAIN CHEROKEE MD
- PROPOSED WATER MAIN CSU
- PROPOSED CSU 4" FORCE MAIN RELOCATION
- REAGAN RANCH 6" FORCE MAIN
- EXISTING FIBER OPTIC
- EXISTING OVERHEAD ELECTRIC
- EXISTING GAS
- EXISTING WATER WELL
- EXISTING STORM SEWER
- EXISTING STORM SEWER MANHOLE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND TELEPHONE
- EXISTING WATER
- TEST HOLE



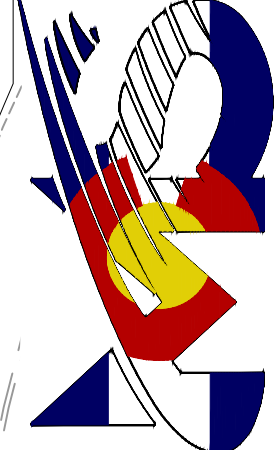
TYPICAL AIR LANE (PUB) 48' MAT  
(STRIPED MEDIAN)  
SCALE: NTS



TYPICAL PRO OMNIBUS HEIGHTS (PRVT) 48' MAT  
(STRIPED MEDIAN)  
SCALE: NTS



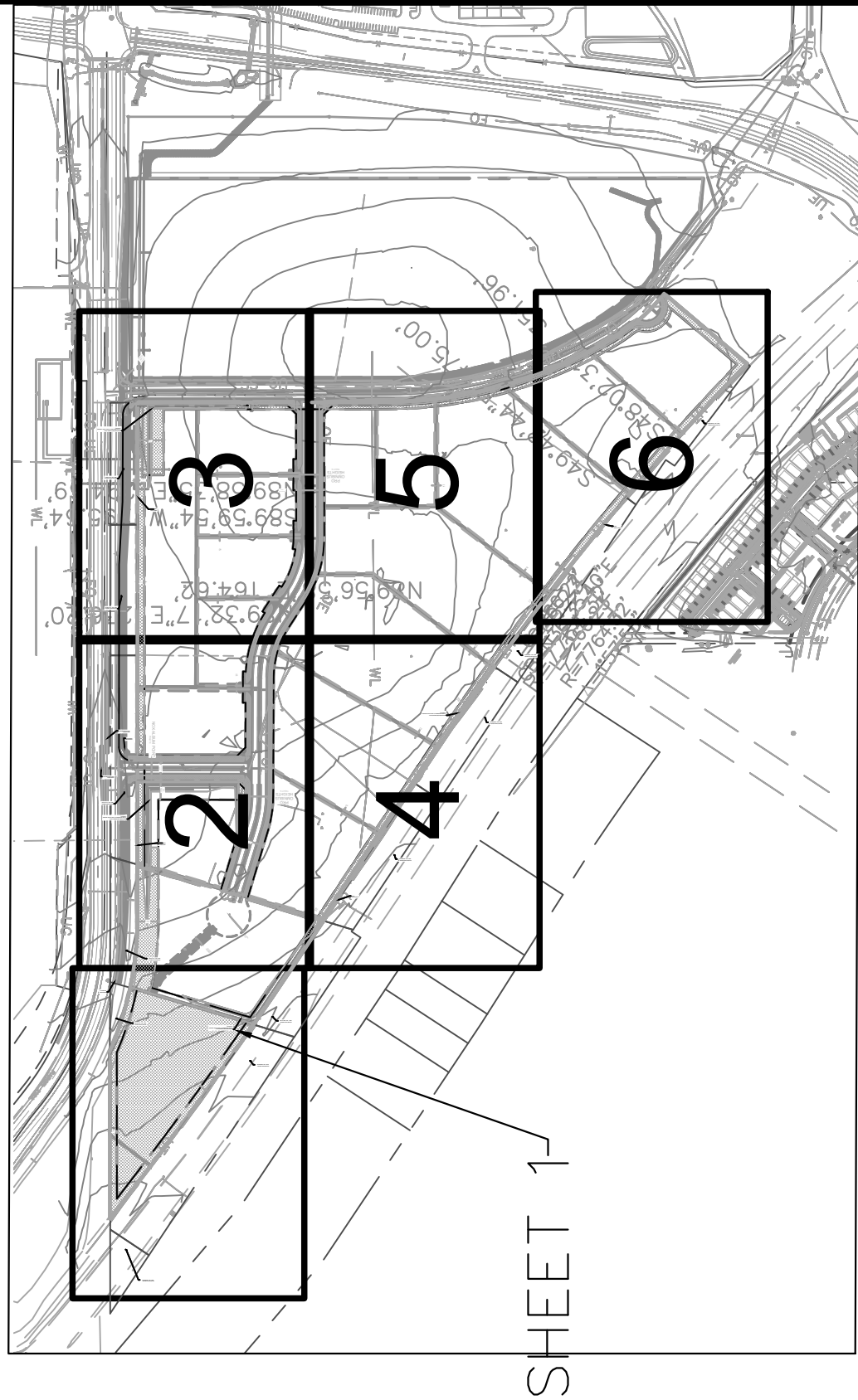
TYPICAL NOX ALBUM POINT (PRVT) 48' MAT  
(STRIPED MEDIAN)  
SCALE: NTS



212 N. WABASH AVE. STE 305  
COLORADO SPRINGS, CO 80903  
PHONE: 719.555.5465



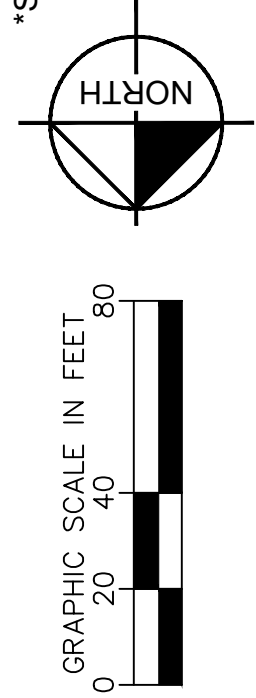
CROSSROADS NORTH  
PRELIMINARY PLAN / LANDSCAPE STANDARDS  
SITUATED IN THE EAST 1/2 OF SECTION 8, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL
DECIDUOUS TREES					
	AF	27	ACER GINNALA 'FLAME' FLAME AMUR MAPLE	B & B	1.5" O.A. 3-STEM MIN.
	CP	98	CRATAEGUS PHAENOPYRUM WASHINGTON HAWTHORN	B & B	2" CAL. MIN.
	QM	51	QUERCUS MACROCARPA BUR OAK	B & B	
EVERGREEN TREES					
	JS	75	JUNIPERUS SCOPULORUM ROCKY MOUNTAIN JUNIPER	B & B	6" HGT.
	PE	58	PINUS EDULIS PINON PINE	B & B	6" HGT.
	PN	12	PINUS NIGRA AUSTRIAN BLACK PINE	B & B	6" HGT.
	PP	7	PINUS PONDEROSA PONDEROSA PINE	B & B	6" HGT.
GROUND COVERS					
	ROCK	39,264 SF	1-1/2" CHAMARRON GRANITE ROCK MULCH	TYPE	INSTALL DATE
	SEED	242,546 SF	ERC ALL PURPOSE MIX PERMANENT SEED BED OUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. MULCH & PLANTINGS SHALL BE INSTALLED OVER SEED BEDS NATIVE GRASSES, SHRUBS & PERENNIAL BEDS BRILLIANT RED CHOKECHERRY	SEED	PER CHART
	W.M.	43,424 SF	APACHE PLUME MISS KIM DWARF LILAC SPARTAN JUNIPER BIG BLUESTEM FESTIVUS REED GRASS	WOOD MULCH	4"

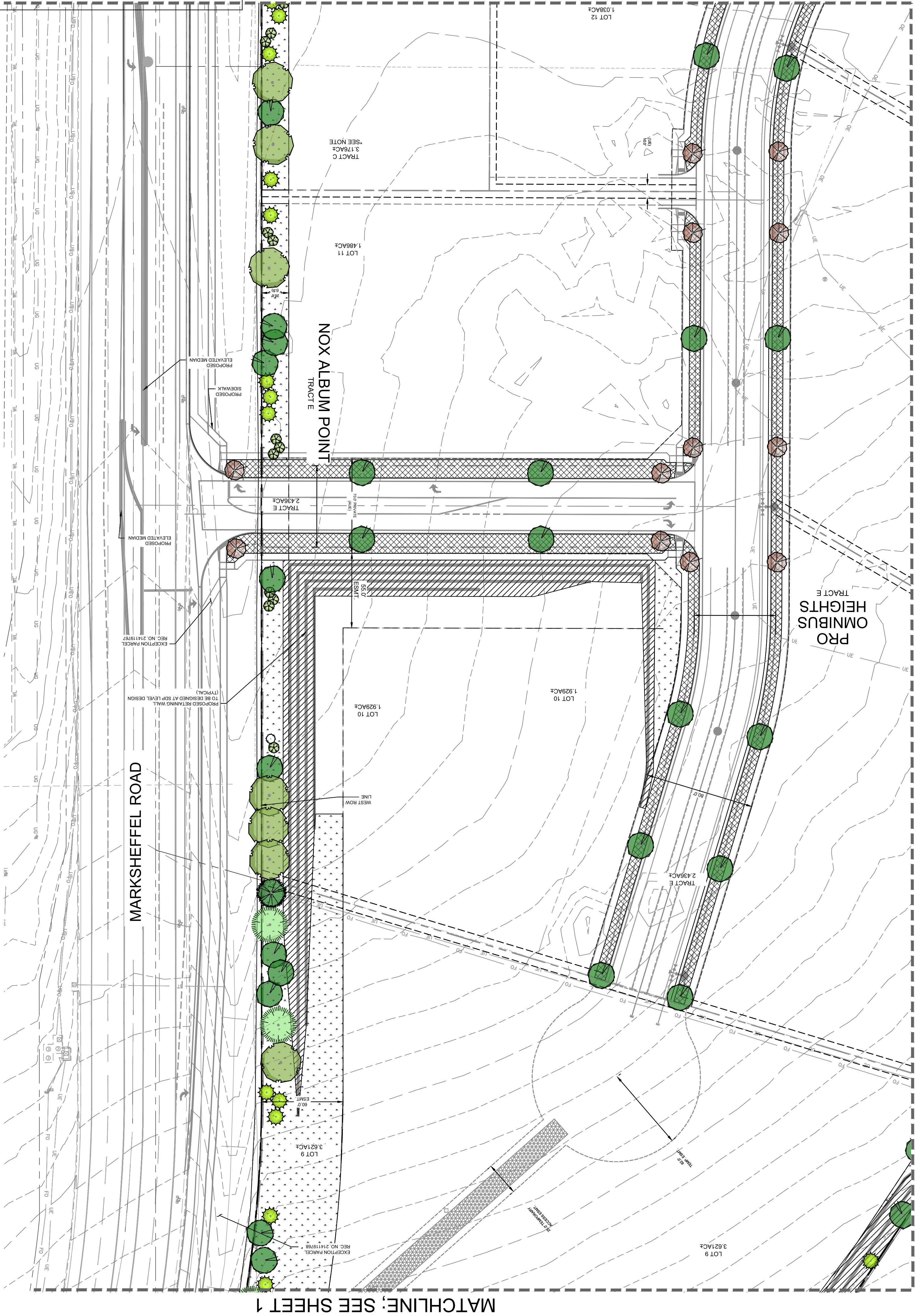
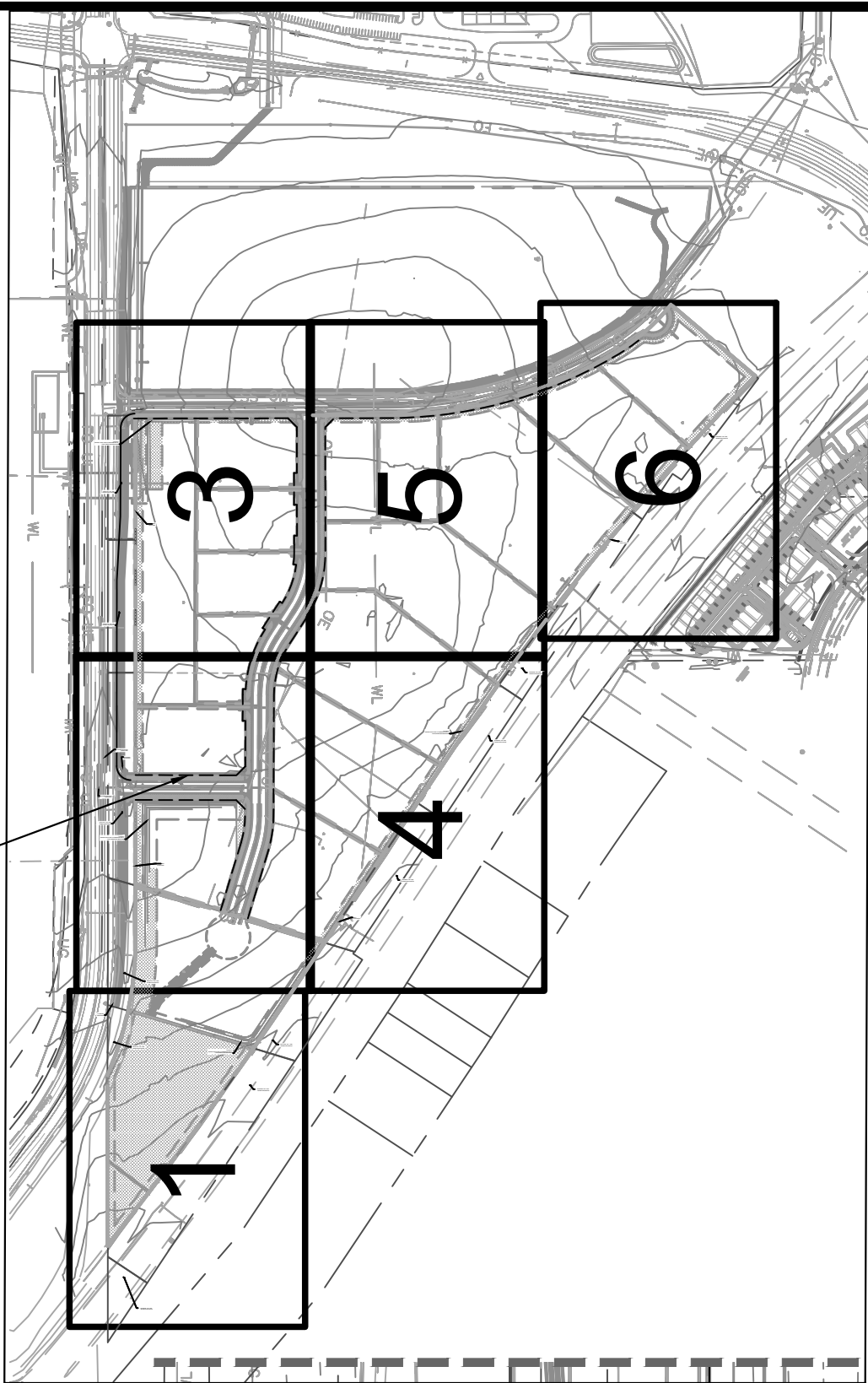
\*SEE FULL PLANT SCHEDULE ON SHEET 8





CROSSROADS NORTH  
PRELIMINARY PLAN / LANDSCAPE STANDARDS  
SITUATED IN THE EAST 1/2 OF SECTION 8, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO

SHEET 2



MATCHLINE; SEE SHEET 1

MATCHLINE; SEE SHEET 3

MATCHLINE; SEE SHEET 4

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL
DECIDUOUS TREES					
	AF	27	ACER CINNABA FLAME FLAME AMUR MARLE	B & B	1.5" OA 3-STEM MIN.
	CP	98	CRATAEGUS PHAENOPYRUM WASHINGTON HAWTHORN	B & B	2" CAL MIN
	QM	51	QUERCUS MACROCARPA BUR OAK	B & B	
EVERGREEN TREES					
	JS	75	JUNIPERUS SCOPULORUM ROCKY MOUNTAIN JUNIPER	B & B	6' HGT.
	PE	58	PNUS EDULIS PNON PINE	B & B	6' HGT.
	PN	12	PNUS INGRA AUSTRIAN BLACK PINE	B & B	6' HGT.
	PP	7	PNUS PONDEROSA PONDEROSA PINE	B & B	6' HGT.
GROUND COVERS					
	ROCK	39,204 SF	1-1/2" CIMARRON GRANITE ROCK MULCH	ROCK MULCH	4"
	SEED2	242,548 SF	EPC ALL PURPOSE MIX INSTALL PER TABLE 5-2. SUBMIT SUPPLIER SPECIFIC INSTRUCTIONS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. CASCAD WOOD MULCH & PLANTINGS NATIVE GRASSES, SHRUBS & PERENNIAL BEDS APACHE PLUME THRELEAF SUMAC SANDWICH PALM SPARTAN JUNIPER BIG BLUESTEM FEATHER REED GRASS	SEED	PER CHART
	WM	43,424 SF	WOOD MULCH	WOOD MULCH	4"

\*SEE FULL PLANT SCHEDULE ON SHEET 8



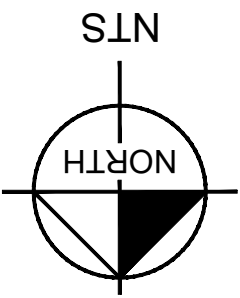
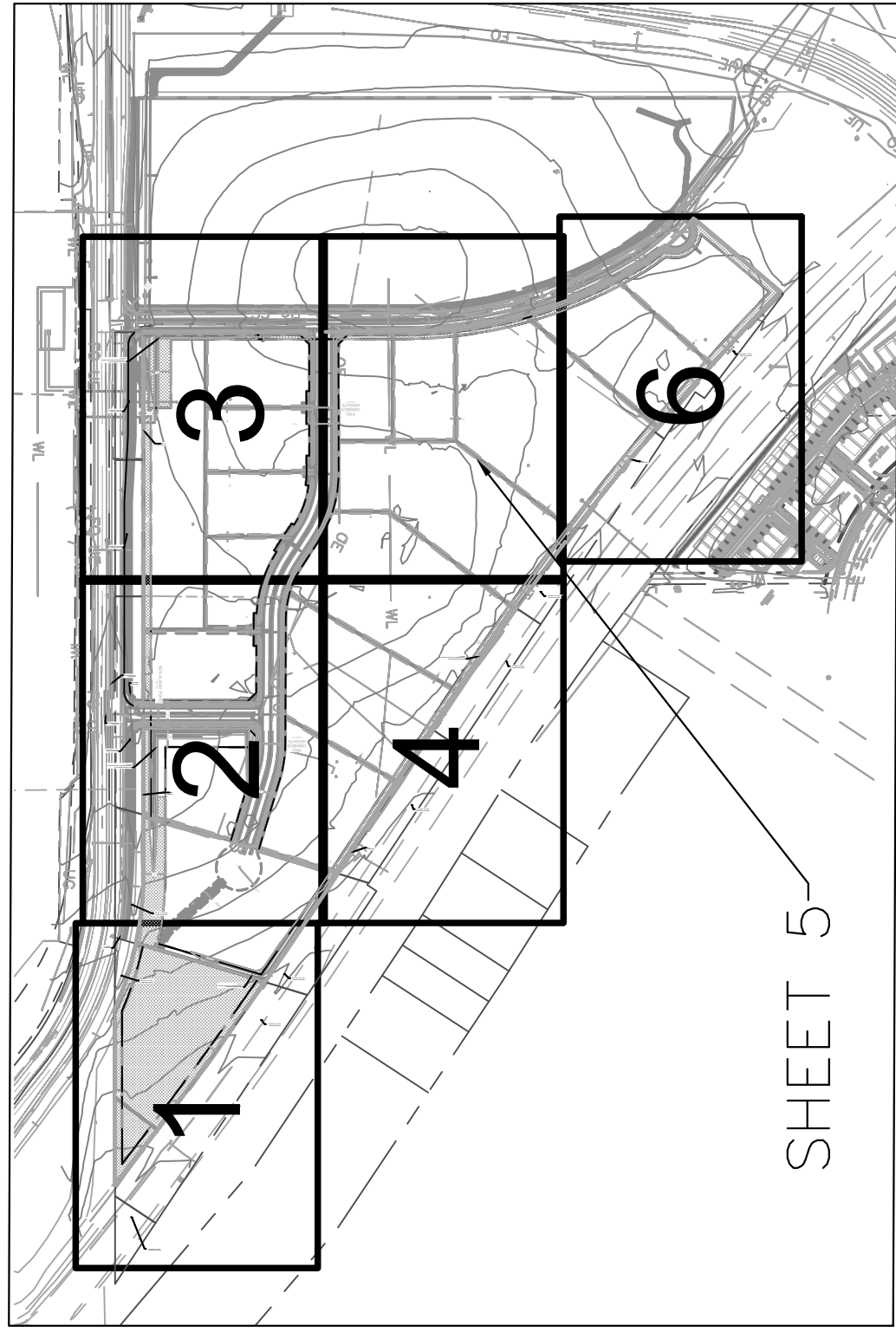
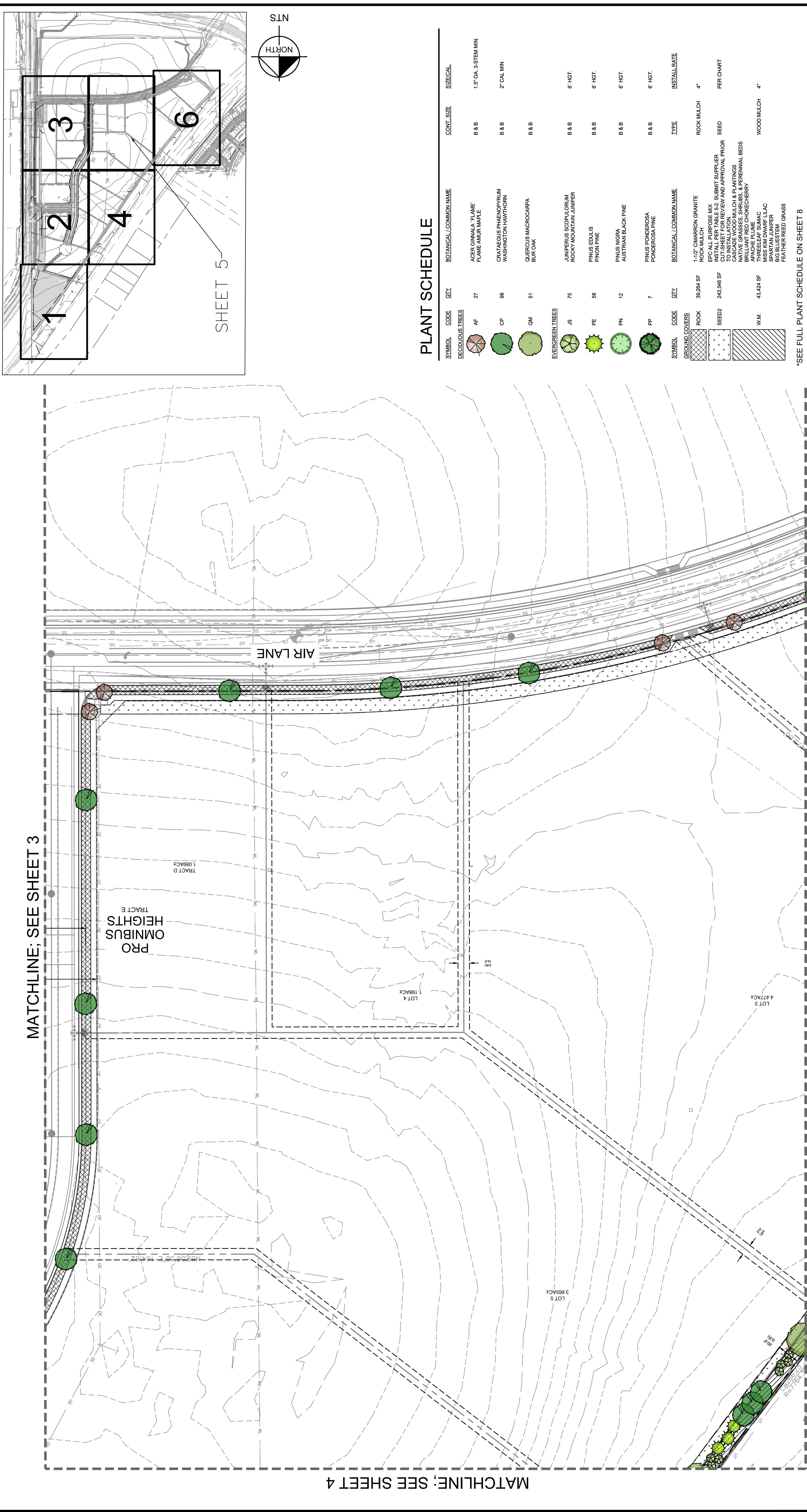








CROSSROADS NORTH  
PRELIMINARY PLAN / LANDSCAPE STANDARDS  
SITUATED IN THE EAST 1/2 OF SECTION 8, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO



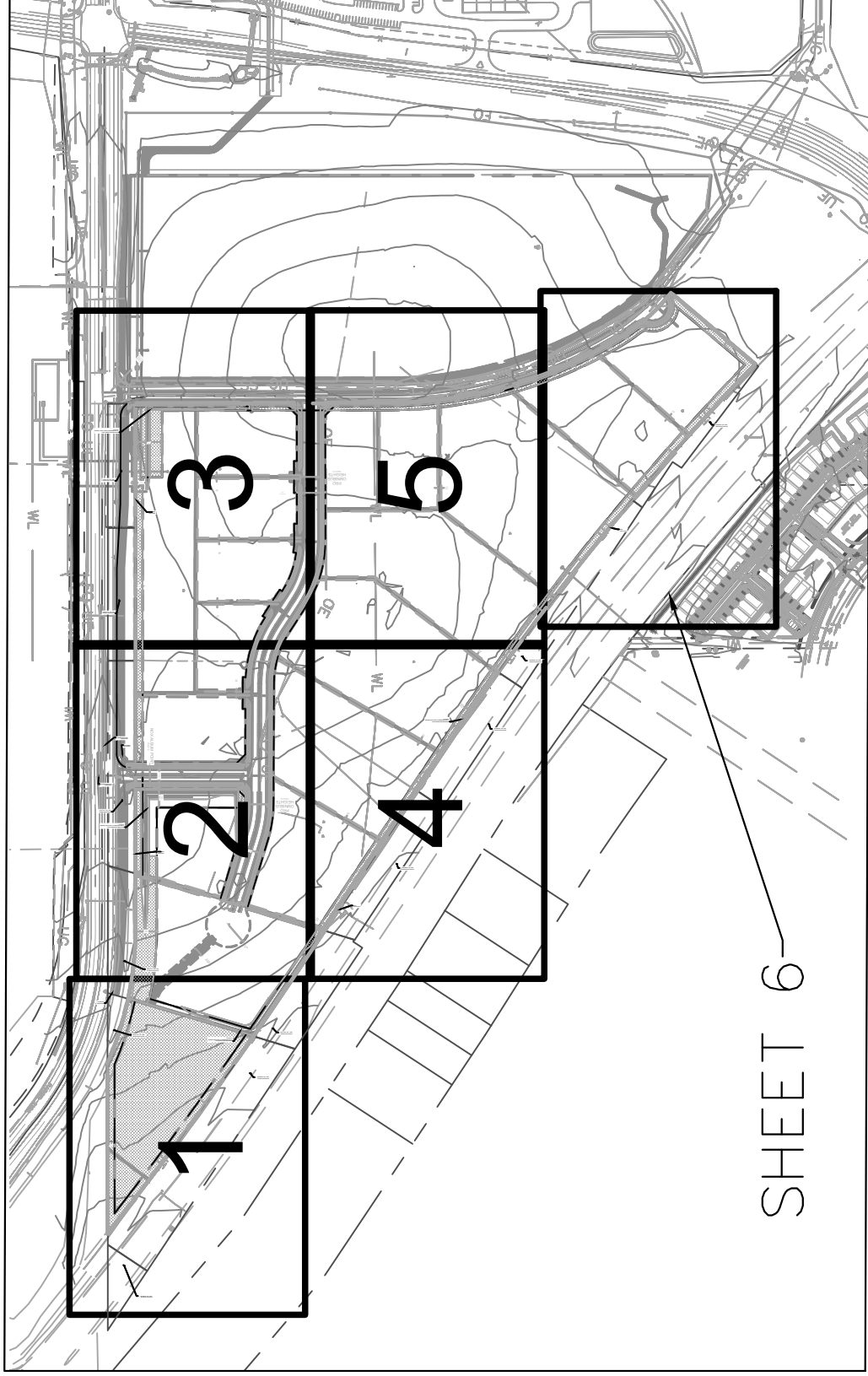
PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL
<b>DECIDUOUS TREES</b>					
	AF	27	ASER CINNAMA 'JANE PLANE' AMUR MAPLE	B & B	1.5" O.A. 3-STEM MIN.
	CP	98	CRATAEGUS PHAEOPIRUM WASHINGTON HANTHORN	B & B	2" CAL MIN
	OM	51	QUERCUS MACROCARPA BUR OAK	B & B	
<b>EVERGREEN TREES</b>					
	JS	75	JUNIPERUS SORBUSUM ROCKY MOUNTAIN JUNIPER	B & B	6" HGT.
	PE	58	PINUS EDULIS PINON PINE	B & B	6" HGT.
	PN	12	PINUS LUNATA AUSTRALIAN BLACK PINE	B & B	6" HGT.
	PP	7	PINUS PONDEROSA PONDEROSA PINE	B & B	6" HGT.
<b>SYMBOL</b>	<b>CODE</b>	<b>QTY</b>	<b>BOTANICAL / COMMON NAME</b>	<b>TYPE</b>	<b>INSTALL RATE</b>
<b>GROUND COVERS</b>					
	ROCK	39,264 SF	1-1/2" CHAISON GRANITE ROCK MULCH	ROCK MULCH	4"
	SEED2	242,546 SF	EPICALL PURPOSE MIX INSTALL PER TABLE 5-2. SUBMIT SUPPLIER CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. CASCADIA WOOD MULCH & PLANTINGS NATIVE GRASSES, SHRUBS & PERENNIAL BEDS ARCHAIC PLANTS WACHSPELDER CHOKECHERRY	SEED	PER CHART
	W.M.	43,424 SF	THREELEAF SUMAC MISS KIM DWARF LILAC BIG BLUESTEM FEATHER REED GRASS	WOOD MULCH	4"

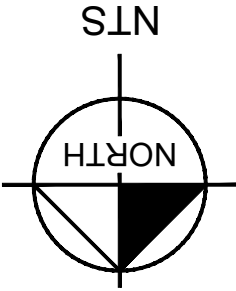
\*SEE FULL PLANT SCHEDULE ON SHEET 8



CROSSROADS NORTH  
PRELIMINARY PLAN / LANDSCAPE STANDARDS  
SITUATED IN THE EAST 1/2 OF SECTION 8, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO



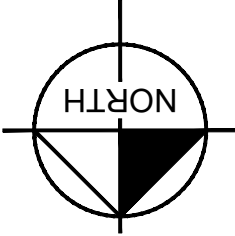
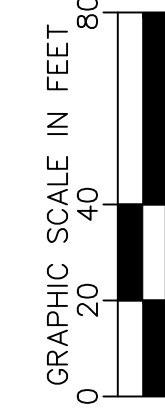
MATCHLINE; SEE SHEET 5



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL.
DECIDUOUS TREES					
	AF	27	ACER GINNALA 'FLAME' FLAME AMUR MAPLE	B & B	1.5' O.A. 3-STEM MIN.
	CP	98	CRATAEGUS PHAENOPYRUM WASHINGTON HAWTHORN	B & B	2' CAL. MIN.
	QM	51	QUERCUS MACROCARPA BUR OAK	B & B	
EVERGREEN TREES					
	JS	75	JUNIPERUS SCOPULORUM ROCKY MOUNTAIN JUNIPER	B & B	6' HGT.
	PE	58	PINUS EDULIS PINON PINE	B & B	6' HGT.
	PN	12	PINUS NIGRA AUSTRIAN BLACK PINE	B & B	6' HGT.
	PP	7	PINUS PONDEROSA PONDEROSA PINE	B & B	6' HGT.
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	TYPE	INSTALL RATE
GROUND COVERS					
	ROCK	39,264 SF	1-1/2" CIMARRON GRANITE ROCK MULCH	ROCK MULCH	4"
	SEED2	242,646 SF	ERC ALL PURPOSE MIX PERMANENT PERENNIAL BEDS TO INSTALLATION. CASCADIA WOOD MULCH & PLANTINGS BIG BLUESTEM BRILLIANT RED CHOKECHERRY	SEED	PER CHART
	W.M.	43,424 SF	APACHE PLUME MISSOURI BLUEGRASS SPARTAN JUNIPER BIG BLUESTEM FEATHER REED GRASS	WOOD MULCH	4"

\*SEE FULL PLANT SCHEDULE ON SHEET 8





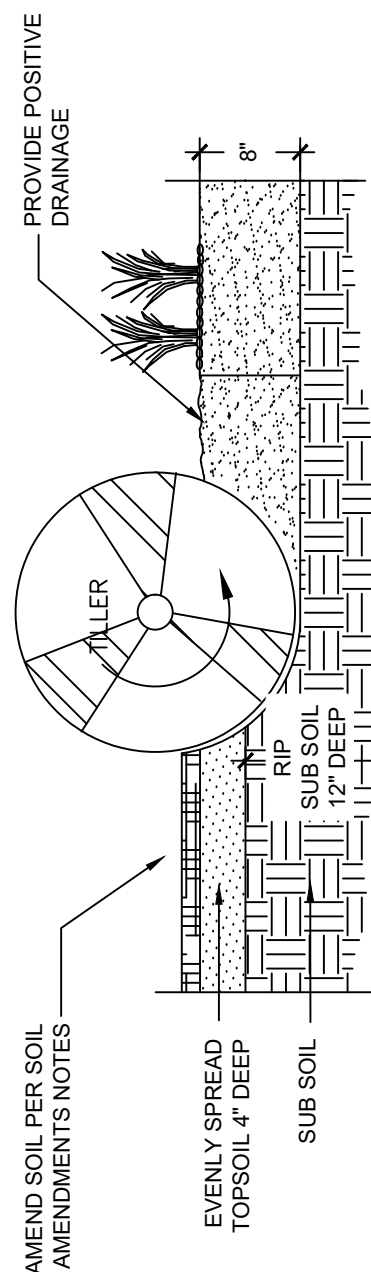




CROSSROADS NORTH

PRELIMINARY PLAN / LANDSCAPE STANDARDS

SITUATED IN THE EAST 1/2 OF SECTION 8, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO

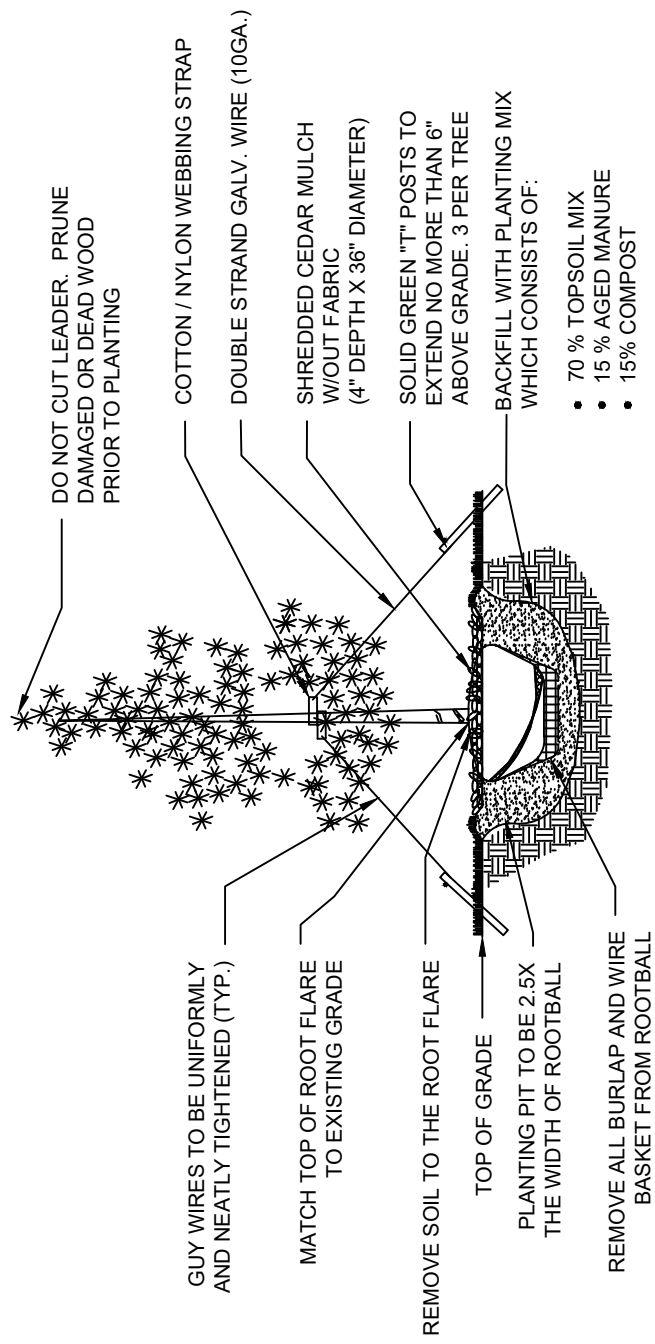


- NOTES:
1. TOPSOIL TO CONSIST OF DARK LOAM SOIL FREE OF ROCKS, ROOTS, AND FOREIGN MATERIALS
  2. THE FERTILIZER APPLICATION SHOULD BE DELAYED IF PLANTING DOES NOT OCCUR WITHIN 23 DAYS OF FERTILIZING
  3. COMPOST TO CONSIST OF 1 YEAR OLD ORGANIC MATERIAL AND SHOULD NOT INCLUDE CHICKEN MANURE
  4. FROZEN MATERIALS OR MATERIALS GREATER THAN 1" DIA. SHOULD BE REMOVED
  5. REFER TO SPECS FOR COMPLETE SOIL PREPARATION REQUIREMENTS
  6. THE ROOT-BALL PERIMETER SHOULD EXTEND TO A DISTANCE OF 1 FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL

1

SOIL PREP

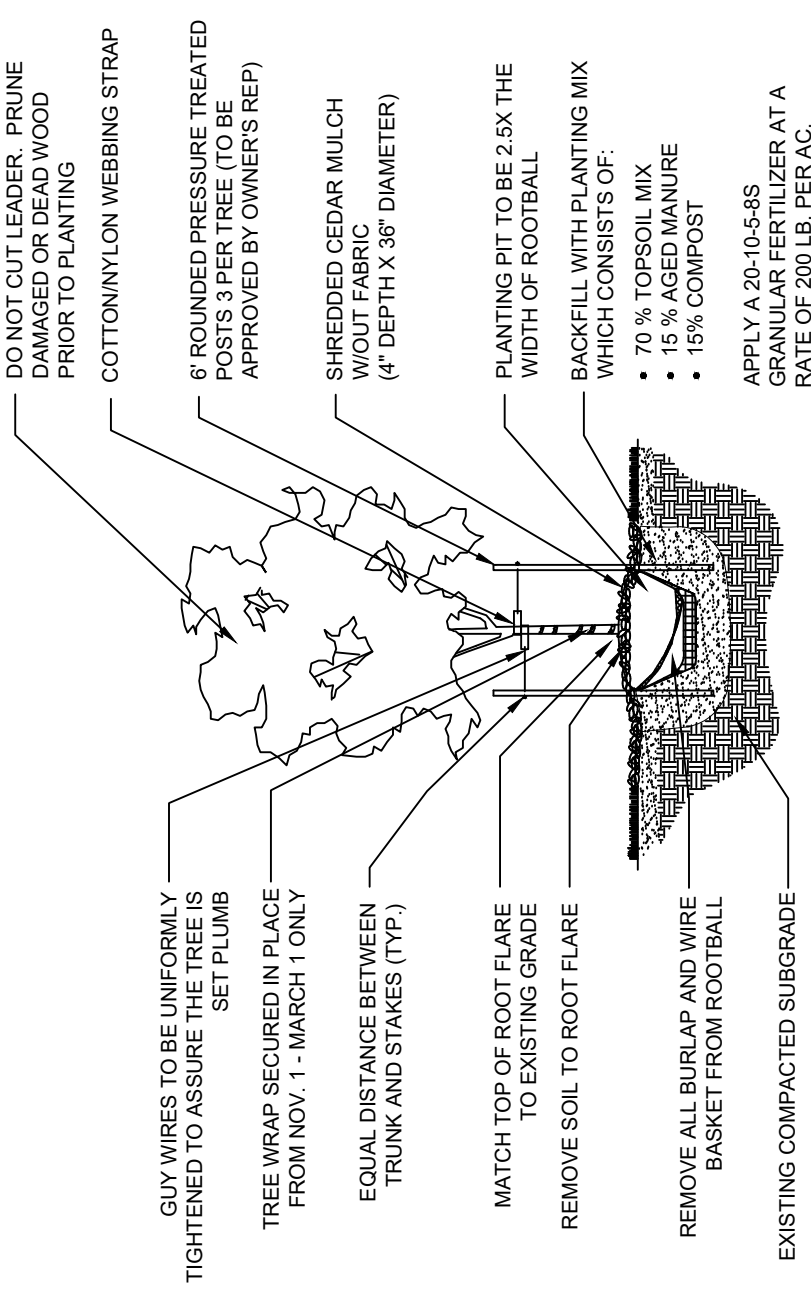
NTS 196-956-000-01



2

EVERGREEN TREE PLANTING

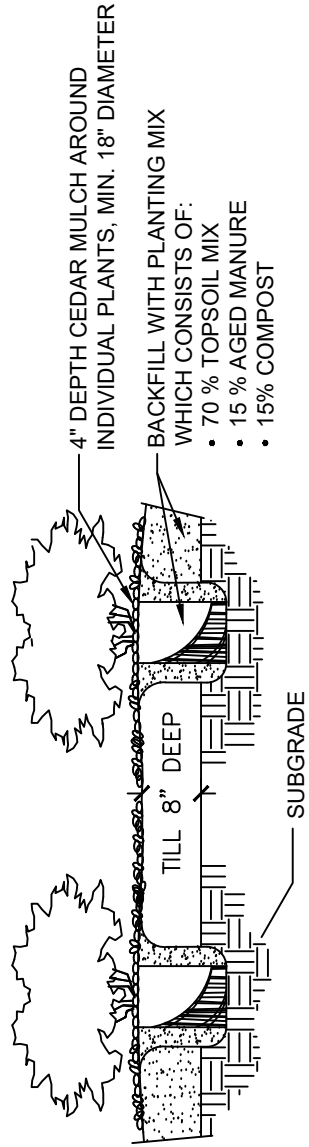
NTS 196-956-000-03



3

DECIDUOUS TREE PLANTING

NTS 196-956-000-02



- NOTES:
1. CONTRACTOR TO WATER PLANT MATERIAL DAILY UNTIL AN AUTOMATIC IRRIGATION SYSTEM IS OPERATIONAL OR OTHER IRRIGATION PROVISIONS ARE PROVIDED.
  2. THE TILLING OF PLANTING BEDS AND PLACEMENT OF BACKFILL IS TO OCCUR JUST PRIOR TO PLANTING. THEREAFTER, PROTECTION FROM COMPACTION AND CONSTRUCTION TRAFFIC SHOULD BE PROVIDED.

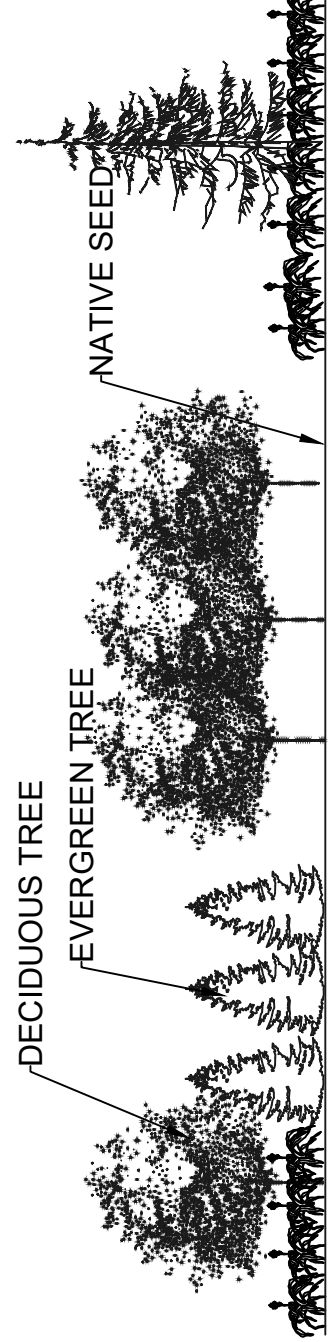
4

SHRUB PLANTING

NTS 196-956-000-04

(PALE) PRIVATE ACCESS & UTILITY EASEMENT  
(DARK) UTILITY EASEMENT  
(SB) SETBACK LINE

- PROPERTY BOUNDARY LINE
- APPROXIMATE PROPOSED LOT/TRACT LINE
- APPROXIMATE PROPOSED SETBACK LINE
- APPROXIMATE PROPOSED ACCESS & UTILITY EASEMENT LINE
- APPROXIMATE PROPOSED CURB, GUTTER AND SIDEWALK
- APPROXIMATE PROPOSED CURB & GUTTER
- EXISTING EDGE OF ASPHALT
- EXISTING TOPOGRAPHY (MINOR)
- EXISTING TOPOGRAPHY (MAJOR)
- APPROXIMATE PROPOSED CURB 25' RADIUS (TYPICAL)



A

TYPICAL LANDSCAPE ELEVATION (PRELIMINARY)

ELEVATION

NTS

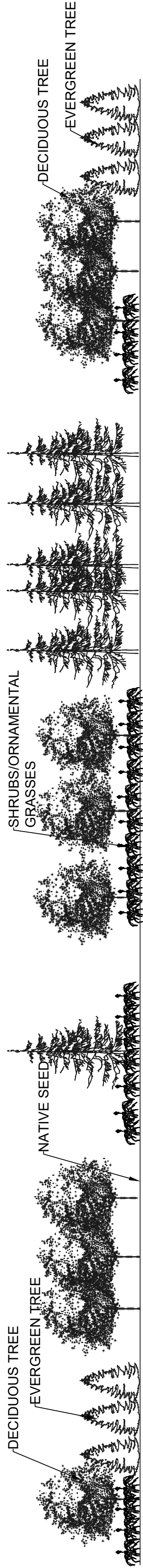
LANDSCAPE SETBACKS AND BUFFERS			
STREET NAME OR BOUNDARY:	MARKSHEFFEL RD	HIGHWAY 24	
ZONE DISTRICT BOUNDARY:	NO	NO	
STREET CLASSIFICATION:	PRINCIPAL ARTERIAL	PRINCIPAL ARTERIAL	
SETBACK DEPTH REQUIRED / PROVIDED:	25' / 25'	25' / 25'	
LINEAR FOOTAGE:	1,870'	3,061'	
TREE PER FEET REQ.:	1 TREE PER 20 LF	1 TREE PER 20 LF	
NUMBER OF TREES REQ. / PROV.:	94 / 134*	154 / 194*	
EVERGREEN TREES REQ. / PROV.:	N/A	N/A	
SHRUB SUBSTITUTES REQ. / PROV.:	N/A	N/A	
ORN. GRASS SUBSTITUTES REQ. / PROV.:	N/A	N/A	
OPAQUE SCREEN REQ. / PROV.:	N/A	N/A	
PLANT ABBREVIATION DENOTED ON PLAN:	MK	HW	

\* THE INTERNAL STREET TREES ARE TO BE COUNTED AS EXTRA AT THIS TIME.

\*\* INTERNAL STREET TREES ARE PROVIDED AT INITIAL PHASE AT 100 FT SPACING

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL.	WIDTH	HEIGHT
DECIDUOUS TREES							
	AF	27	ACER CINNAB. / FLAME	B & B	1.5" OA, 3-STEM MIN.	15'-20'	15'-25'
	CP	98	CORYLUS FLAMMOSP. / WASHINGTON HAWTHORN	B & B	2" CAL MIN.	15'-20'	20'-25'
	OM	51	QUERCUS MACROCARPA / BUR OAK	B & B		40'-60'	60'+
EVERGREEN TREES							
	JS	75	JUNIPERUS SCOPULORUM / ROCKY MOUNTAIN JUNIPER	B & B	6" HGT.	8'-12'	20'-30'
	PE	58	PINUS EDULIS / PINON PINE	B & B	6" HGT.	15'-20'	20'-30'
	PN	12	PINUS INGRA / AUSTRALIAN BLACK PINE	B & B	6" HGT.	30'-40'	40'-60'
	PP	7	PINUS PONDEROSA / PONDEROSA PINE	B & B	6" HGT.	25'-30'	60'+
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	TYPE	INSTALL RATE	WEED FABRIC	MFR.
	ROCK	39,264 SF	1-1/2" CARRON GRANITE ROCK MULCH	ROCK MULCH	4"	YES	C&C SAND
	SEED2	242,546 SF	EPC ALL PURPOSE MIX CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO PLANTING NATIVE GRASSES, SHRUBS & PERENNIAL BEDS CASCADE WOOD MULCH & PLANTINGS APACHE PLUME THREELF LEAF SUMAC MISS KNOX W/WRAP LLAC FEATHER REED GRASS	SEED	PER CHART		PAWNEE BUTTES SEED
	W.M.	43,424 SF	WOOD MULCH	WOOD MULCH	4"	YES	PIONEER SAND



A

TYPICAL LANDSCAPE ELEVATION (PRELIMINARY)

ELEVATION

NTS

## County Attorney

**Kenneth R. Hodges, County Attorney**  
719-520-6485  
Centennial Hall  
200 S. Cascade, Suite 150  
Colorado Springs, CO 80903  
[www.ELPasoCo.com](http://www.ELPasoCo.com)

**Board of County Commissioners**  
Holly Williams, District 1  
Carrie Geitner, District 2  
Stan VanderWerf, District 3  
Longinos Gonzalez, Jr., District 4  
Cami Bremer, District 5

June 13, 2024

SP-20-7                      Crossroads North Preliminary Plan

Reviewed by:              Lori L. Seago, Senior Assistant County Attorney  
                                    April Willie, Paralegal

### **WATER SUPPLY REVIEW AND RECOMMENDATIONS**

#### Project Description

1. This is a proposal by Colorado Springs Equities LLC ("Applicant") to divide 44.34 acres into 15 commercial lots. The property is currently zoned CR CAD-O (Commercial Regional - Commercial Aviation District Overlay).

#### Estimated Water Demand

2. Pursuant to the Water Supply Information Summary ("WSIS"), the annual demand is 49.6 total acre-feet. This allows for 45.7 acre-feet per year for commercial use, based on an estimate of 0.1 gallons-per-day/square foot of commercial space for 408,300 sq. ft. of developed commercial space and 3.9 acre-feet per year for irrigation of 1.69 acres. Based on this, the Applicant must provide a supply of 14,880 acre-feet of water (49.6 acre-feet/year x 300 years) to meet the County's 300-year water supply requirement for the subdivision.

#### **ASSISTANT COUNTY ATTORNEYS**

NATHAN J. WHITNEY  
CHRISTOPHER M. STRIDER

STEVEN A. KLAFFKY  
DOREY L. SPOTTS

LORI L. SEAGO  
ERIKA KEECH

BRYAN E. SCHMID  
STEVEN W. MARTYN

TERRY A. SAMPLE  
MERI GERINGER

### Proposed Water Supply

3. The Applicant has provided for the source of water to derive from Cherokee Metropolitan District (“District”). As identified in the Water Resources Report, the annual water demand for the development is 49.6 acre-feet per year. Per the Water Resources Report, Cherokee’s total available water supply is approximately 4,443 acre-feet/year, while its existing water commitments total 4,295 acre-feet per year before the addition of the proposed development.

4. The General Manager of the District provided a letter dated October 18, 2023, committing to provide water service for the commercial lots within Crossroads North, which is located within the District’s boundaries. The District commits to 49.6 acre-feet per year.

The District notes that these commitments are “hereby made exclusively for this specific development project at this site within the District.” The District’s commitment is only a conditional commitment: “[t]o confirm this commitment you must provide the District with a copy of the final plat approval from El Paso County Development Services within 12 months of the date of this letter. Otherwise, the District may use this allocation for other developments requesting a water commitment.”

### State Engineer’s Office Opinion

5. In a letter dated May 23, 2024, the State Engineer reviewed the application to subdivide the 44.34 acres into 15 commercial lots. The State Engineer confirmed that the Cherokee Metropolitan District has committed a water supply of 49.6 acre-feet/year, which is the water demand identified in the WSIS. Further, the State Engineer declared that “[p]ursuant to Section 30-28-136(1)(h)(II), C.R.S., it is the opinion of this office that the proposed water supply for Crossroads North is adequate and can be provided without causing injury to decreed water rights.”

### Recommended Findings

6. Quantity and Dependability. Applicant’s water demand for Crossroads North is 49.6 acre-feet per year to be supplied by Cherokee Metropolitan District. **Based on the water demand of 49.6 acre-feet/year for the development and the District’s availability of water sources, but given the conditional nature of the District’s commitment to serve, the County Attorney’s Office recommends a finding of conditional sufficiency as to water quantity and dependability for Crossroads North.**

7. Quality. Section 8.4.7(B)(10)(g) of the El Paso County Land Development Code allows for a presumption of water quality when water is supplied from an existing Community Water Supply operating in conformance with the Colorado Primary Drinking Water Regulations unless there is evidence to the contrary.



8. Basis: The County Attorney's Office reviewed the following documents in preparing this review: the Water Supply Information Summary, the Water Resources Report dated October 2023, the Cherokee Metropolitan District letter dated October 18, 2023, and the State Engineer's Office Opinion dated May 23, 2024. The recommendations herein are based on the information contained in such documents and on compliance with the requirements set forth below. ***Should the information relied upon be found to be incorrect or should the below requirement not be met, the County Attorney's Office reserves the right to amend or withdraw its recommendations.***

#### **REQUIREMENTS:**

A. Applicant and all future owners of lots within this filing shall be advised of and comply with the conditions, rules, regulations, and specifications set by the District.

B. Applicant must obtain final plat approval and provide evidence thereof to the District within 12 months of the District's commitment letter dated October 18, 2023 (approval must be provided by October 18, 2024), to retain the District's water commitment. **If Applicant fails to do so, this recommended finding of conditional sufficiency will be deemed moot and no longer valid. Once Applicant provides proof to the District that satisfies the District's condition of final plat approval, this conditional finding of sufficiency will automatically convert to a full sufficiency finding.**

cc: Ryan Howser, Project Manager, Planner

**SEE ATTACHED FOR PREVIOUS REVIEW**

**Colorado Springs Airport Advisory Commission Meeting  
To Be Heard December 16, 2020  
Land Use Review Item #10**

<b>EL PASO COUNTY BUCKSLIP NUMBER(S)/FILE NUMBER(S):</b> SP207 <b>COMMERCIAL PRELIMINARY PLAN</b>		<b>PARCEL #(S):</b> 5408001008, 5408001029, 5408001032 - 1034, 5408001041 - 1042 5408001051 - 1052
<b>DESCRIPTION:</b>  Request by Kimley-Horn & Associates on behalf of Colorado Springs Equities, LLC for approval of the Crossroads Preliminary Plan. The plan includes 11 commercial lots, six (6) tracts for stormwater detention/water quality, public rights-of-way, private roads, landscaping and other associated facilities/infrastructure. Commercial development includes a home improvement center, movie theater, sports complex and retail pad sites. The site is zoned Commercial Regional and Commercial Airport Overlay (CR, CAD-O) and consists of approximately 44 acres. The property is located northwest of the intersection of Highway 94 and Marksheffel Road.  <i><b>Review Note:</b> The Crossroads North rezone was reviewed with recommended conditions by the Commission in November 2020.</i>		
<b>CONSTRUCTION/ALTERATION OF MORE THAN 1 200 FEET ABOVE GROUND LEVEL?</b>  No	<b>DISTANCE/DIRECTION FROM COS:</b>  1.9 miles north of Rwy 17L	
<b>TOTAL STRUCTURE HEIGHT AT THE ESTIMATED HIGHEST POINT:</b>  45 feet above ground level; 6,425 feet above mean sea level	<b>COMMERCIAL AIRPORT OVERLAY SUBZONES PENETRATED:</b>  Accident Potential Zone (APZ-2), ADNL Noise Subzone	
<b>ATTACHMENTS:</b> <b><u>CROSSROADS PRELIMINARY PLAN/162282</u></b> CLICK ON VIEW PRELIMINARY PLAN DRAWINGS UNDER DOCUMENTS LIST		

**STAFF RECOMMENDATION/CONDITIONS OF APPROVAL**

***Subject to Airport Advisory Commission Action***

*Airport staff recommends **no objection** with the following conditions:*

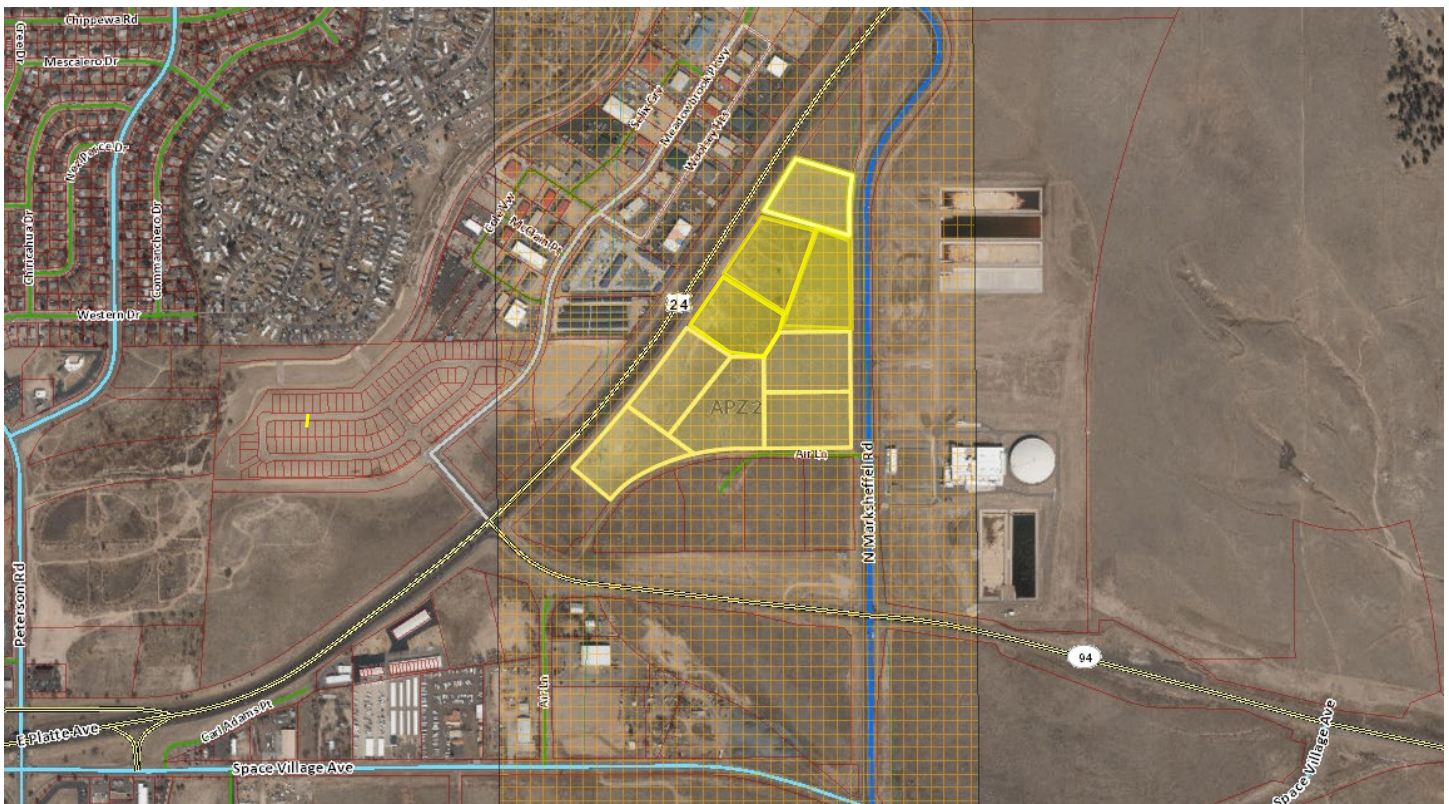
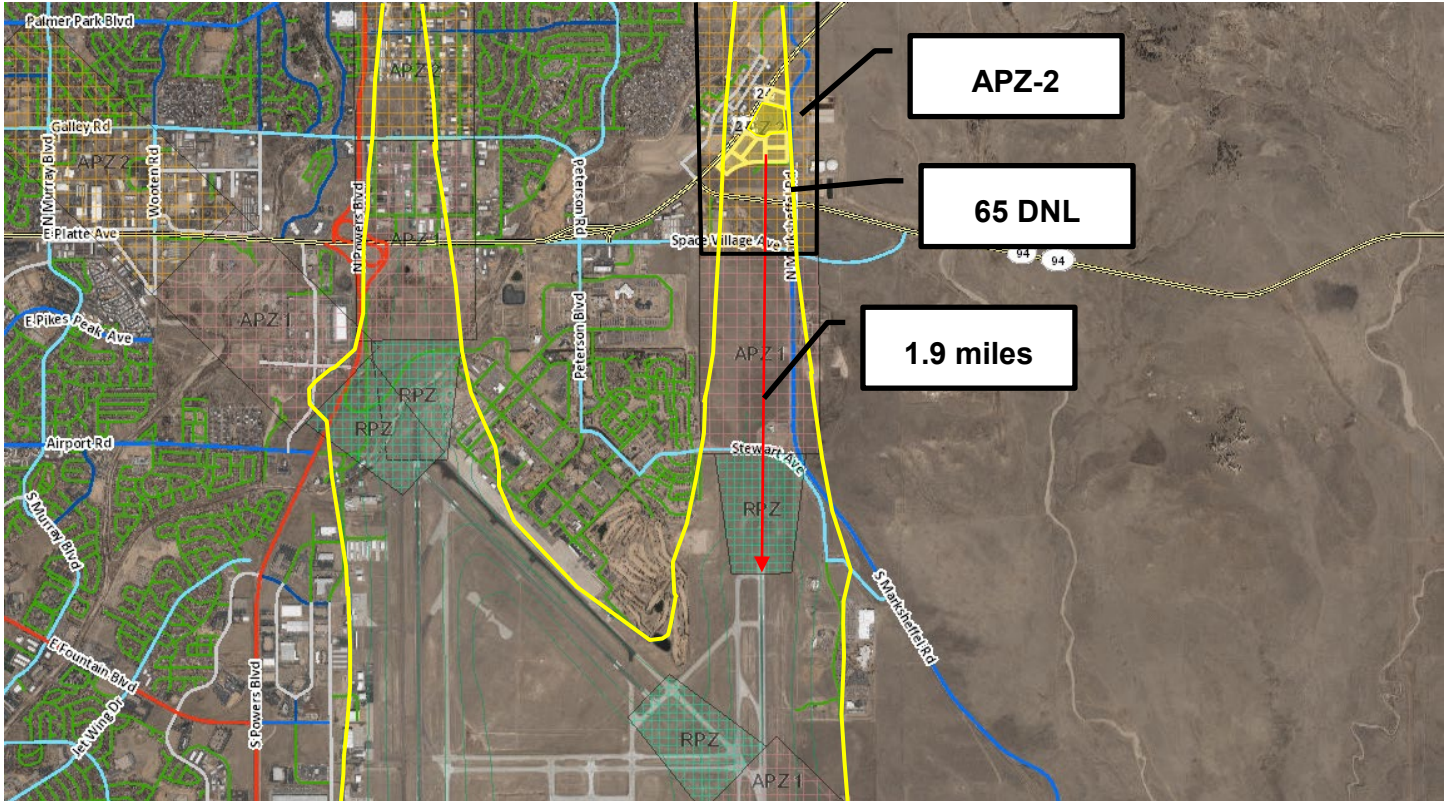
- **ADNL:** The development is within the ADNL Airport Noise subzone of the Commercial Airport Overlay District, as adopted by El Paso County.
- No development that creates mass gatherings is permitted.
- The approval of this land use item by the Airport and the AAC does not constitute as any commitment, agreement, or other to the land owned by the Airport indicated as a future inclusion area.
- Other uses may require the indoor noise reduction requirement as outlined in Section 4.3.1 of the El Paso County Land Development Code.
- **Avigation Easement:** Proof of previous filing (Book 2478, Page 304) is noted on plan; no further action required.
- **APZ-2:** The proposed is within the Accident Potential Zone 2 (APZ-2) subzone of the Commercial Airport Overlay District, as adopted by El Paso County. The proposed uses associated with this development appears to be permissible in the APZ-2 subzone.
- **FAA Form 7460-1:** Based on elevation data and distance to runway, the applicant will need to file Federal Aviation Administration (FAA) Form 7460-1 "Notice of Proposed Construction or Alteration" for any new vertical development at this site, including temporary construction equipment, and provide FAA documentation to the Airport before the commencement of construction activities. FAA's website <https://ceaaa.faa.gov/ceaaa/external/portal.jsp>.



**SEE ATTACHED FOR PREVIOUS REVIEW**

**Colorado Springs Airport Advisory Commission Meeting  
To Be Heard December 16, 2020  
Land Use Review Item #10**

**PROJECT LOCATION EXHIBIT:**





**Colorado Springs Airport Advisory Commission Meeting**  
**To Be Heard November 18, 2020**  
**Land Use Review Item #07**

<b>EL PASO COUNTY BUCKSLIP NUMBER(S)/FILE NUMBER(S):</b> <p style="text-align: center;">CR201</p> <p><b>COMMERCIAL SITE DEVELOPMENT REZONE</b></p>	<b>PARCEL #(S):</b> 5408001008, 5408001029, 5408001032 - 1034, 5408001041 - 1042 5408001051 - 1052
<b>DESCRIPTION:</b> <p>Request by Kimley-Horn &amp; Associates on behalf of Colorado Springs Equities, LLC for approval of Crossroads North rezone. The rezone includes 25.18 acres from Industrial (M) (4.84 acres) and Limited Industrial (I-2) (20.34 acres) zones to the Commercial Regional and Commercial Airport Overlay (CR, CAD-O) zoning district for a home improvement center, movie theater, sports complex and retail pad sites. The property is located northwest of the intersection of Highway 94 and Marksheffel Road.</p> <p><i><b>Review Note:</b> The Crossroads Metropolitan District was reviewed with recommended conditions by the Commission in June 2020.</i></p>	
<b>CONSTRUCTION/ALTERATION OF MORE THAN 100 FEET ABOVE GROUND LEVEL?</b> <p style="text-align: center;">No</p>	<b>DISTANCE/DIRECTION FROM COS:</b> <p style="text-align: center;">1.9 miles north of Rwy 17L</p>
<b>TOTAL STRUCTURE HEIGHT AT THE ESTIMATED HIGHEST POINT:</b> <p style="text-align: center;">45 feet above ground level; 6,425 feet above mean sea level</p>	<b>COMMERCIAL AIRPORT OVERLAY SUBZONES PENETRATED:</b> <p style="text-align: center;">Accident Potential Zone (APZ-2), ADNL Noise Subzone</p>
<b>ATTACHMENTS:</b> <a href="#"><u>CROSSROADS NORTH REZONE/162080</u></a> CLICK ON VIEW ZONING MAP UNDER DOCUMENTS LIST	

**STAFF RECOMMENDATION/CONDITIONS OF APPROVAL**

***Subject to Airport Advisory Commission Action***

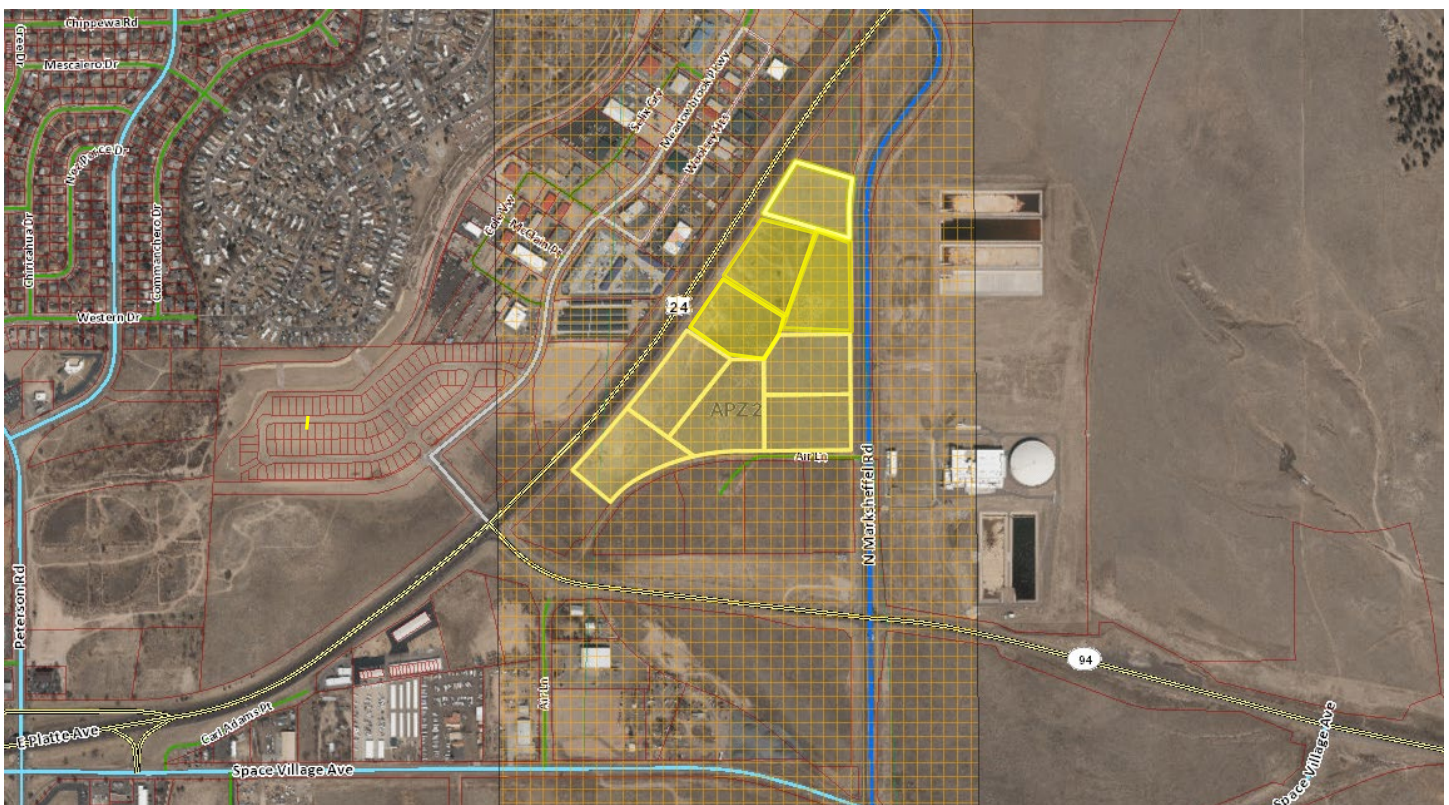
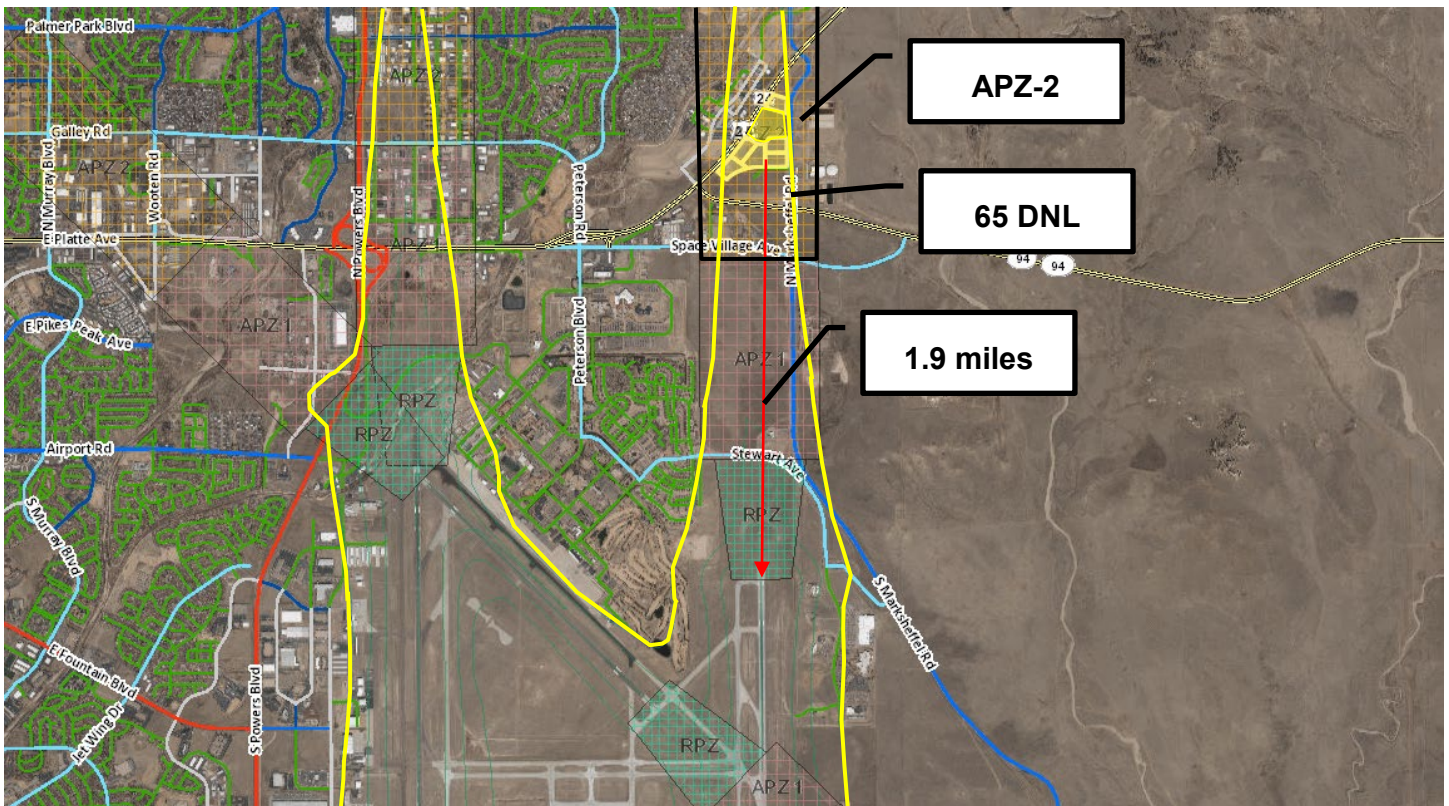
*Airport staff recommends **no objection** with the following conditions:*

- **ADNL:** The development is within the ADNL Airport Noise subzone of the Commercial Airport Overlay District, as adopted by El Paso County.
- Residential use is not compatible within the 65 DNL noise contour and no residential development is permitted within the 65 DNL contour.
- No development that creates mass gatherings is permitted.
- The approval of this land use item by the Airport and the AAC does not constitute as any commitment, agreement, or other to the land owned by the Airport indicated as a future inclusion area.
- Other uses may require the indoor noise reduction requirement as outlined in Section 4.3.1 of the El Paso County Land Development Code.
- **Avigation Easement:** An Avigation Easement or proof of previous filing (book/page or reception number) is requested.
- **APZ-2:** The proposed is within the Accident Potential Zone 2 (APZ-2) subzone of the Commercial Airport Overlay District, as adopted by El Paso County. The proposed uses associated with this development appears to be permissible in the APZ-2 subzone.
- **FAA Form 7460-1:** Based on elevation data and distance to runway, the applicant will need to file Federal Aviation Administration (FAA) Form 7460-1 "Notice of Proposed Construction or Alteration" for any new vertical development at this site, including temporary construction equipment, and provide FAA documentation to the Airport before the commencement of construction activities. FAA's website <https://oeaaa.faa.gov/oeaaa/external/portal.jsp>.



**Colorado Springs Airport Advisory Commission Meeting  
To Be Held November 18, 2020  
Land Use Review Item #07**

**PROJECT LOCATION EXHIBIT:**



PRELIMINARY PLAN (RECOMMEND APPROVAL)

\_\_\_\_\_ moved that the following Resolution be adopted:

BEFORE THE PLANNING COMMISSION

OF THE COUNTY OF EL PASO

STATE OF COLORADO

RESOLUTION NO. SP207

CROSSROADS NORTH

WHEREAS, Colorado Springs Equities, LLC did file an application with the El Paso County Planning and Community Development Department for approval of a Preliminary Plan for the Crossroads North Subdivision for property in the unincorporated area of El Paso County as described in Exhibit A, which is attached hereto and incorporated herein by reference; and

WHEREAS, a public hearing was held by this Commission on August 1, 2024; and

WHEREAS, based on the evidence, testimony, exhibits, consideration of the Master Plan for the unincorporated area of the County, presentation and comments of the El Paso County Planning and Community Development Department and other County representatives, comments of public officials and agencies, comments from all interested persons, comments by the general public, and comments by the El Paso County Planning Commission members during the hearing, this Commission finds as follows:

1. The application was properly submitted for consideration by the Planning Commission;
2. Proper posting, publication, and public notice were provided as required by law for the hearing before the Planning Commission;
3. The hearing before the Planning Commission was extensive and complete, that all pertinent facts, matters, and issues were submitted, and that all interested persons and the general public were heard at that hearing;
4. All exhibits were received into evidence;
5. All data, surveys, analyses, studies, plans, and designs as are required by the State of Colorado and El Paso County have been submitted, reviewed, and found to meet all sound planning and engineering requirements of the El Paso County Subdivision Regulations; and

6. For the above-stated and other reasons, the proposed Preliminary Plan is in the best interest of the health, safety, morals, convenience, order, prosperity, and welfare of the citizens of El Paso County.

WHEREAS, when approving a Preliminary Plan, the Planning Commission and Board of County Commissioners shall find that the request meets the criteria for approval outlined in Section 7.2.1.D.2.e of the Land Development Code ("Code") (as amended):

1. The proposed Subdivision is in general conformance with the goals, objectives, and policies of the Master Plan;
2. The Subdivision is consistent with the purposes of the Code;
3. The Subdivision is in conformance with the subdivision design standards and any approved Sketch Plan;
4. A sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of Subdivision proposed, as determined in accordance with the standards set forth in the water supply standards [C.R.S. § 30-28-133(6)(a)] and the requirements of Chapter 8 of the Code (this finding may not be deferred to Final Plat if the applicant intends to seek Administrative Final Plat approval);
5. A public sewage disposal system has been established and, if other methods of sewage disposal are proposed, the system complies with State and local laws and regulations, [C.R.S. § 30-28-133(6) (b)] and the requirements of Chapter 8 of the Code;
6. All areas of the proposed Subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified and the proposed Subdivision is compatible with such conditions. [C.R.S. § 30-28-133(6)(c)];
7. Adequate drainage improvements complying with State law [C.R.S. § 30-28-133(3)(c)(VIII)] and the requirements of the Code and the Engineering Criteria Manual ("ECM") are provided by the design;
8. The location and design of the public improvements proposed in connection with the Subdivision are adequate to serve the needs and mitigate the effects of the development;
9. Legal and physical access is or will be provided to all parcels by public rights-of-way or recorded easement, acceptable to the County in compliance with the Code and the ECM;
10. The proposed Subdivision has established an adequate level of compatibility by (1) incorporating natural physical features into the design and providing sufficient open spaces considering the type and intensity of the Subdivision; (2) incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike, and pedestrian



traffic, public or mass transit if appropriate, and the cost effective delivery of other services consistent with adopted plans, policies and regulations of the County; (3) incorporating physical design features in the Subdivision to provide a transition between the Subdivision and adjacent land uses; (4) incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the design; and (5) incorporating public facilities or infrastructure, or provisions therefore, reasonably related to the proposed Subdivision so the proposed Subdivision will not negatively impact the levels of service of County services and facilities;

11. Necessary services, including police and fire protection, recreation, utilities, open space, and transportation systems are or will be available to serve the proposed Subdivision;
12. The Subdivision provides evidence to show that the proposed methods for fire protection comply with Chapter 6 of the Code; and
13. The proposed Subdivision meets other applicable sections of Chapter 6 and 8 of the Code.

WHEREAS, a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of Subdivision proposed, as determined in accordance with the standards set forth in the water supply standards [C.R.S. § 30-28-133(6)(a)] and the requirements of Chapter 8 of the Code.

NOW, THEREFORE, BE IT RESOLVED, the El Paso County Planning Commission recommends that the petition of Colorado Springs Equities, LLC for approval of a Preliminary Plan for the Crossroads North Subdivision for property located in the unincorporated area of El Paso County be approved by the Board of County Commissioners with the following conditions and notations:

#### CONDITIONS

1. Applicable traffic, drainage and bridge fees shall be paid with each Final Plat.
2. Applicable school and park fees shall be paid with each Final Plat.
3. Developer shall comply with federal and state laws, regulations, ordinances, review and permit requirements, and other agency requirements, if any, of applicable agencies including, but not limited to, the Colorado Division of Wildlife, Colorado Department of Transportation, U.S. Army Corps of Engineers and the U.S. Fish and Wildlife Service regarding the Endangered Species Act, particularly as it relates to the Preble's Meadow Jumping Mouse as a listed species.
4. The Subdivider(s) agrees on behalf of him/herself and any developer or builder successors and assigns that Subdivider and/or said successors and assigns shall be required to pay traffic impact fees in accordance with the Countywide Transportation Improvement Fee Resolution (Resolution 19-471), as amended, at or prior to the time of building permit submittals. The fee obligation, if not paid at final plat recording, shall be documented on all sales documents and on plat notes to ensure that a title search would find the fee obligation before sale of the property.



5. Applicant shall comply with all requirements contained in the Water Supply Review and Recommendations, dated 6/13/2024, as provided by the County Attorney's Office.

#### NOTATIONS

1. Subsequent Final Plat Filings may be approved administratively by the Planning and Community Development Director.
2. Approval of the Preliminary Plan will expire after twenty-four (24) months unless a Final Plat has been approved and recorded or a time extension has been granted.
3. Preliminary Plans not forwarded to the Board of County Commissioners for consideration within 180 days of Planning Commission action will be deemed to be withdrawn and will have to be resubmitted in their entirety.

AND BE IT FURTHER RESOLVED that this Resolution and the recommendations contained herein be forwarded to the El Paso County Board of County Commissioners for its consideration.

\_\_\_\_\_ seconded the adoption of the foregoing Resolution.

The roll having been called, the vote was as follows: (circle one)

Thomas Bailey	aye / no / non-voting / recused / absent
Sarah Brittain Jack	aye / no / non-voting / recused / absent
Jim Byers	aye / no / non-voting / recused / absent
Jay Carlson	aye / no / non-voting / recused / absent
Becky Fuller	aye / no / non-voting / recused / absent
Jeffrey Markewich	aye / no / non-voting / recused / absent
Brandy Merriam	aye / no / non-voting / recused / absent
Bryce Schuettpelz	aye / no / non-voting / recused / absent
Wayne Smith	aye / no / non-voting / recused / absent
Tim Trowbridge	aye / no / non-voting / recused / absent
Christopher Whitney	aye / no / non-voting / recused / absent

The Resolution was adopted by a vote of \_\_\_\_ to \_\_\_\_ by the El Paso County Planning Commission, State of Colorado.

DONE THIS 1st day of August 2024 at Colorado Springs, Colorado.

EL PASO COUNTY PLANNING COMMISSION

By: \_\_\_\_\_  
Chair

EXHIBIT A

LEGAL DESCRIPTION

LOTS 12, 13, 14, 15, 16 AND 18, HILLCREST ACRES, ACCORDING TO THE PLAT THEREOF RECORDED MAY 12, 1960 AT RECEPTION NO. 153860, EXCEPT THAT PORTION ACQUIRED BY THE DEPARTMENT OF TRANSPORTATION, STATE OF COLORADO AS DESCRIBED IN RULE AND ORDER RECORDED APRIL 28, 2004 UNDER RECEPTION NO. 204068322, AND EXCEPT THOSE PORTIONS CONVEYED TO EL PASO COUNTY BY AND THROUGH THE BOARD OF COUNTY COMMISSIONERS OF EL PASO COUNTY, COLORADO BY SPECIAL WARRANTY DEED RECORDED DECEMBER 17, 2014 AT RECEPTION NO. 214116021 AND RECORDED DECEMBER 17, 2014 AT RECEPTION NO. 214116022, COUNTY OF EL PASO, STATE OF COLORADO.

LOT 17, HILLCREST ACRES, COUNTY OF EL PASO, STATE OF COLORADO, EXCEPT THAT PORTION CONVEYED TO EL PASO COUNTY BY AND THROUGH THE BOARD OF COUNTY COMMISSIONERS OF EL PASO COUNTY, COLORADO BY SPECIAL WARRANTY DEED RECORDED DECEMBER 30, 2014 AT RECEPTION NO. 214119767.

LOT 19, HILLCREST ACRES, COUNTY OF EL PASO, STATE OF COLORADO, AS AMENDED BY SURVEYOR'S STATEMENT RECORDED JUNE 22, 1960 IN BOOK 1812 AT PAGE 136, EXCEPT THAT PORTION TAKEN BY DEPARTMENT OF TRANSPORTATION, STATE OF COLORADO AS CONTAINED IN RULE AND ORDER RECORDED OCTOBER 13, 2004 UNDER RECEPTION NO. 204171223 AND EXCEPT THAT PORTION CONVEYED TO EL PASO COUNTY BY AND THROUGH THE BOARD OF COUNTY COMMISSIONERS OF EL PASO COUNTY, COLORADO BY SPECIAL WARRANTY DEED RECORDED DECEMBER 30, 2014 AT RECEPTION NO. 214119768.

LOT 20, HILLCREST ACRES, EXCEPT THOSE PORTIONS CONVEYED IN DEED RECORDED JANUARY 20, 1961 IN BOOK 1840 AT PAGE 498 AND IN DEED RECORDED APRIL 12, 2002 UNDER RECEPTION NO. 202058754 AND IN DEED RECORDED DECEMBER 30, 2014 AT RECEPTION NO. 214119796, COUNTY OF EL PASO, STATE OF COLORADO.