



June 10, 2026

Dept of Public Works

El Paso County

~~Planning and Community Development Department~~

2880 International Circle, Suite 110
Colorado Springs, CO 80910

Brad no longer reviews these. I would recommend revising this to my manager "Christina Prete, Stormwater Manager" so you don't ever have to revise this name, if it's me, Mikayla, or Zach reviewing it (for future projects).

Attn: Brad Walters
Inspection Supervisor

Re: Full Infiltration Basin – 2185 Janitell Rd (PPR2417)
M.V.E. Project No. 61195

Dear Mr. Walters:

The stormwater Permanent Control Measure (PCM) for Sombers Investment LLC for the Site located at 2185 Janitell Road, consists of one (1) private Full Spectrum-Full Infiltration Extended Detention Basin (FS-FI-EDB). The drives adjacent to the new 2185 Janitell Roan office/warehouse have been revised in the field by removing the proposed concrete pan and changing the cross-slope to 2% away from the office/warehouse. The future developed 100 year stormwater are accommodated in the drive with a minimum 0.5 foot high berm on the down slope side of the drive. These drive areas are as shown on the attached As-Built Grading & Erosion Control Plan drawing. Drive area stormwater calculations documenting that the drive areas will accept and convey the anticipated 100 year developed flows.

Do you mean PCM or EDB?

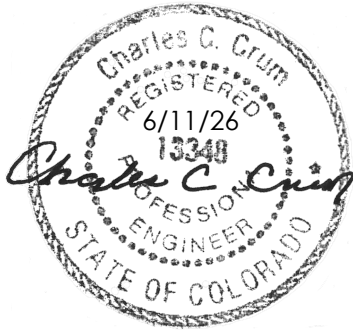
The site and adjacent properties(as effected by work performed under the County permit) are stable with respect to settlement and subsidence, sloughing of cut and fill slopes, re-vegetation or other ground cover, and that the improvements (common development improvements,site grading, and paving) meet or exceed the minimum design requirements. The PMC provides the required storage volume and meets the required release rates, stage areas, elevations, and weir dimensions, as documented in the approved PPR2417 – 2185 Janitell Road Drainage Amendment Letter dated January 20, 2026 and the Concept Infiltration Pond Stage Storage Relationship sheet. No new calculations are required.

Statement of Engineer in Responsible Charge:

I, Charles C. Crum, a registered Professional Engineer in the State of Colorado hereby state and declare that the Full Spectrum-Full Infiltration Extended Detention Basin improvements located at 2185 Janitell Road have been constructed in general conformance with the approved construction plans and design specifications. The Full Spectrum-Full Infiltration Extended Detention Basin provides the necessary storage volume and infiltration rate as required. The area surrounding said Extended Detention Basin is stable with respect to re-vegetation, grading, and erosion control.

Per my comments on the as-built CDs, as-built calcs are required. So please provide them and update this statement to discuss the revised calcs.

El Paso County
June 10, 2026
Page 2



Charles C. Crum, P.E. Colorado No. 13348
For and on Behalf of M.V.E., Inc.

Enclosures: *As-Built – 4/17/2026 - Pond Plan w/ Details*
As-Built – 6/10/2026 - Grading & Erosion Control Plan -C1.2
Swale Calculations – 6/11/2026

Z:\61195\Documents\Correspondance\61195- Infiltratin Pond Certification (Rev)-20260611.odt

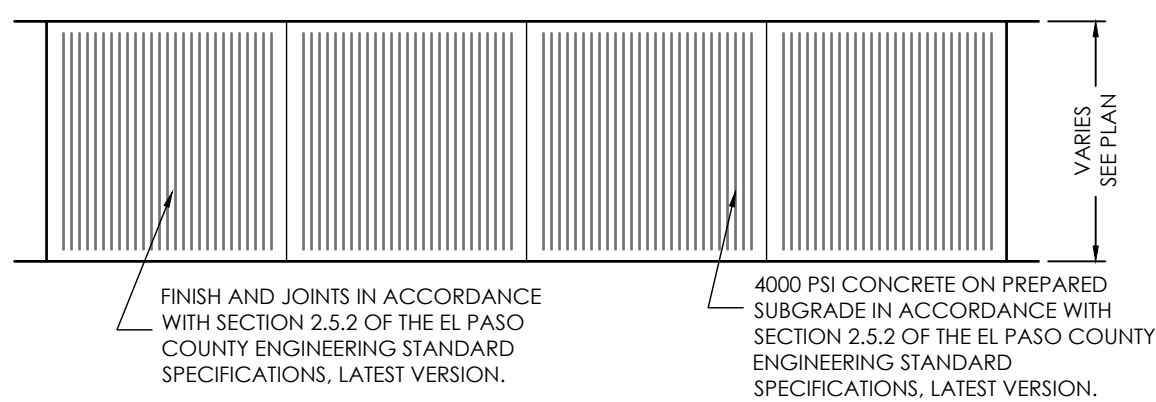
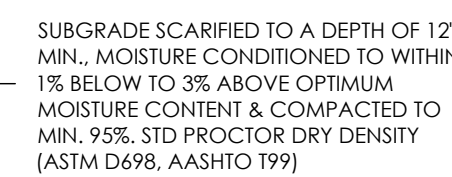
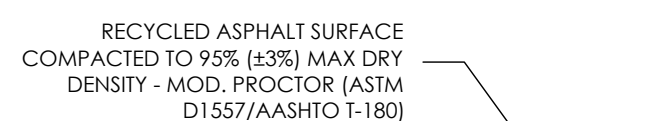
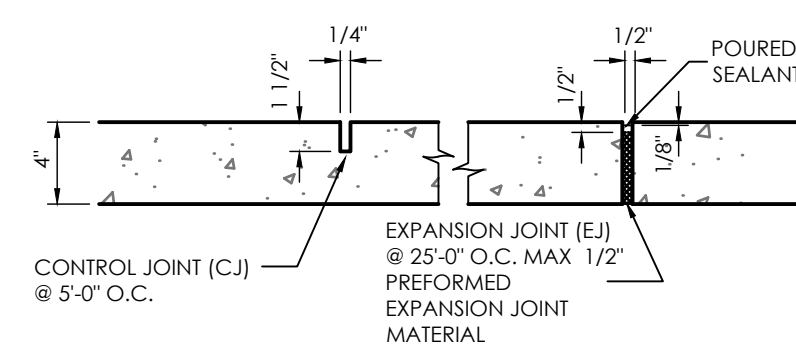
M.V.E., Inc. • Engineers • Surveyors
1903 Lelaray Street, Suite 200 • Colorado Springs, CO 80909 • Phone 719-635-5736
Fax 719-635-5450 • e-mail mve@mvecivil.com

ABBREVIATION LEGEND

ASPH	ASPHALT
CONC	CONCRETE
C & G	CURB & GUTTER
DET.	DETAIL
ESMT	EASEMENT
ME	MATCH EXISTING
P.B., PG.	PLAT BOOK, PAGE
PVMT	PAVEMENT
RET. WALL	RETAINING WALL
REC. NO.	RECEPTION NUMBER
R.O.W.	RIGHT-OF-WAY
RD	ROOF DRAIN (SEE C1.6)
SF	SQUARE FOOT
STBK	SETBACK
SW	SIDEWALK
UTIL	UTILITY

GRADATION TABLE

RIPRAP DESIGNATION	% SMALLER THAN GIVEN SIZE BY WEIGHT	ROCK DIMENSION (INCHES)	50" DIMENSION (INCHES)
TYPE VL	70-100	12	6
	50-70	9	
	35-50	6	
	2-10	2	
CLASS 6 BASE COURSE	100	1	
	95-100	3/4	
	30-45	#4	
	25-55	#8	
	3-12	#200	



TYPICAL SIDEWALK DETAIL

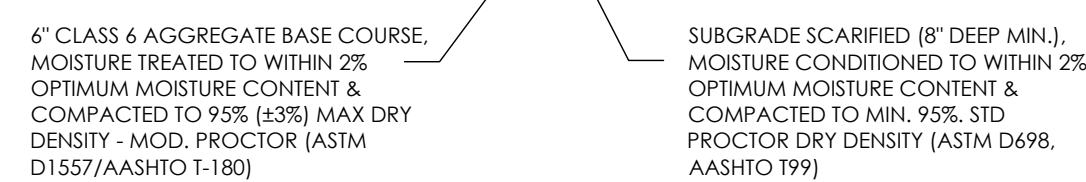
SCALE 1" = 4.0'

STORAGE AREA SURFACING

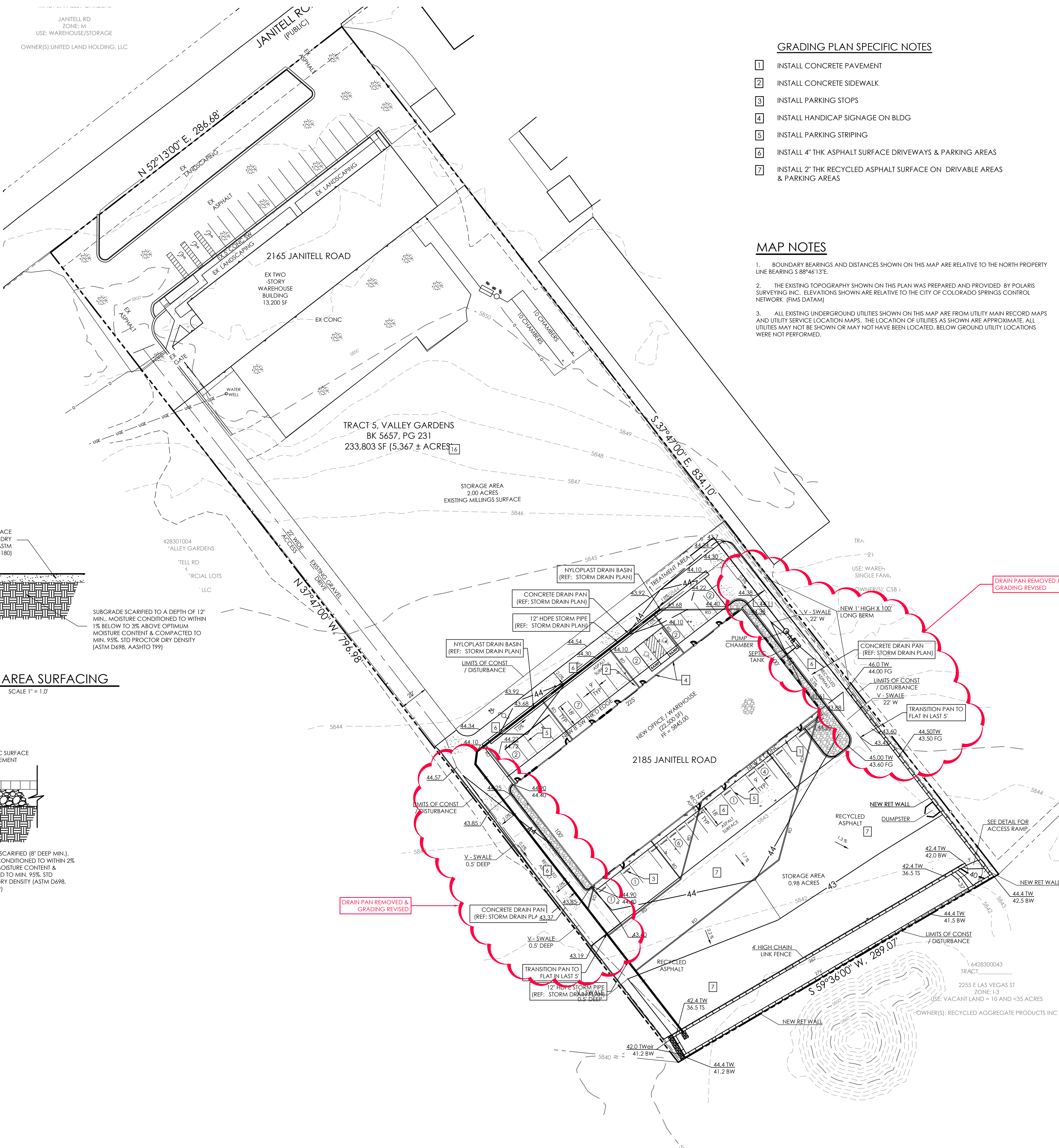
SCALE 1" = 1.0'

THICKENED EDGE SIDEWALK

SCALE 1" = 1'



JANITELL RD
ZONE: M
USE: WAREHOUSE/STORAGE
OWNER(S): UNITED LAND HOLDING, LLC

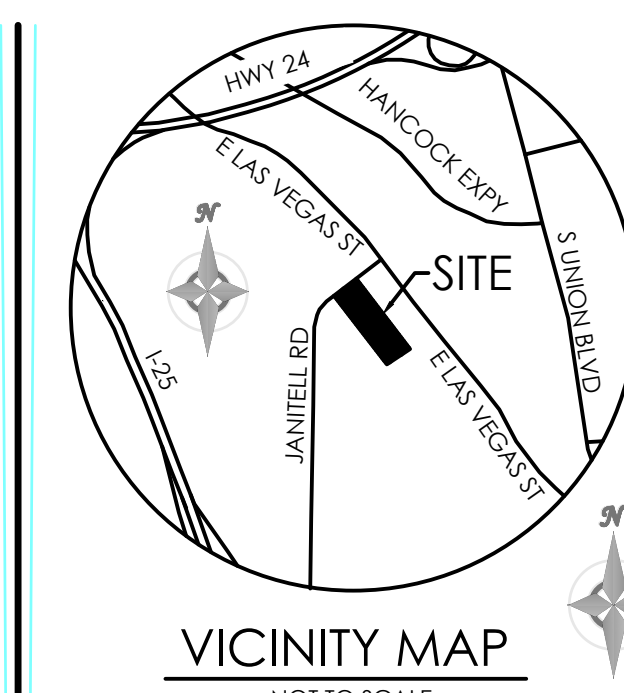


GRADING PLAN SPECIFIC NOTES

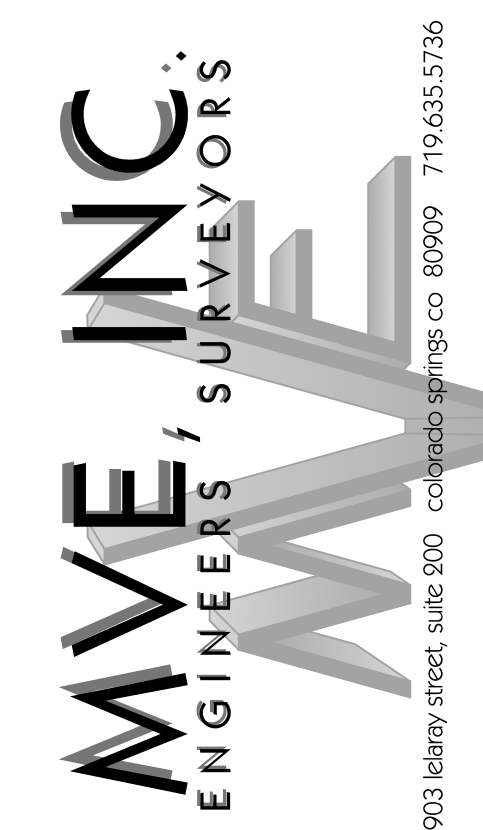
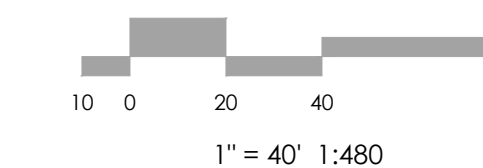
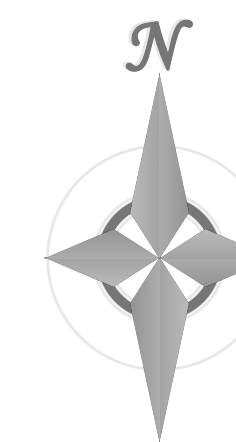
1. INSTALL CONCRETE PAVEMENT
2. INSTALL CONCRETE SIDEWALK
3. INSTALL PARKING STOPS
4. INSTALL HANDICAP SIGNAGE ON BLDG
5. INSTALL PARKING STRIPING
6. INSTALL 4" THK ASPHALT SURFACE DRIVEWAYS & PARKING AREAS
7. INSTALL 2" THK RECYCLED ASPHALT SURFACE ON DRIVEWAY AREAS & PARKING AREAS

MAP NOTES

1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE NORTH PROPERTY LINE BEARING S 89°46'13"E.
2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE CITY OF COLORADO SPRINGS CONTROL NETWORK (FIMS DATUM)
3. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.



BENCHMARK



REVISIONS

REVISED GRADES TO PROVIDE A SWALE DRIVE ON NORTHEASTERN & SOUTHWESTERN SIDES OF BUILDING. ELIMINATED 50' RETAINING WALL ON SOUTHWESTERN LOT LINE. ADDED STORM DRAIN SYSTEM. POND CHANGES TO FULL INFILTRATION POND.
12/31/25 CCC

AS - BUILT

DATE: 6/10/2026

DESIGNED BY: _____
DRAWN BY: JO
CHECKED BY: _____
AS-BUILT BY: _____
CHECKED BY: _____

2165 JANITELL RD
EL PASO COUNTY, CO

GRADING & EROSION CONTROL PLAN
GRADING PLAN

C1.2 MVE PROJECT 61195
MVE DRAWING GEC-GP

MARCH 9, 2026
SHEET 2 OF 6

PCD FILE NO. PPR2417

Channel Report

2185 Janitell Road - East/West Drive Around Building Capacity Calculation (Worst Case)

Triangular

Side Slopes (z:1) = 0.00, 40.00
Total Depth (ft) = 0.50

Invert Elev (ft) = 100.00
Slope (%) = 0.50
N-Value = 0.015

Calculations

Compute by: Known Q
Known Q (cfs) = 3.00

Highlighted

Depth (ft) = 0.29
Q (cfs) = 3.000
Area (sqft) = 1.68
Velocity (ft/s) = 1.78
Wetted Perim (ft) = 11.89
Crit Depth, Yc (ft) = 0.27
Top Width (ft) = 11.60
EGL (ft) = 0.34

