



June 10, 2026

**El Paso County**  
Planning and Community Development Department  
2880 International Circle, Suite 110  
Colorado Springs, CO 80910

Attn: Brad Walters  
Inspection Supervisor

**Re: Full Infiltration Basin – 2185 Janitell Rd (PPR2417)**  
***M.V.E. Project No. 61195***

Dear Mr. Walters:

The stormwater Permanent Control Measure (PCM) for Sombers Investment LLC for the Site located at 2185 Janitell Road, consists of one (1) private Full Spectrum-Full Infiltration Extended Detention Basin (FS-FI-EDB). The drives adjacent to the new 2185 Janitell Roan office/warehouse have been revised in the field by removing the proposed concrete pan and changing the cross-slope to 2% away from the office/warehouse. The future developed 100 year stormwater are accommodated in the drive with a minimum 0.5 foot high berm on the down slope side of the drive. These drive areas are as shown on the attached As-Built Grading & Erosion Control Plan drawing. Drive area stormwater calculations documenting that the drive areas will accept and convey the anticipated 100 year developed flows.

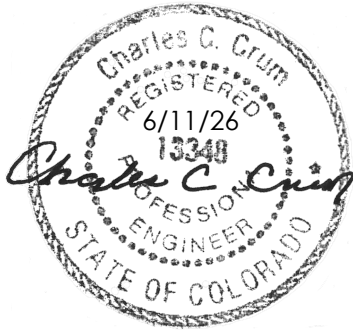
The site and adjacent properties(as effected by work performed under the County permit) are stable with respect to settlement and subsidence, sloughing of cut and fill slopes, re-vegetation or other ground cover, and that the improvements (common development improvements,site grading, and paving) meet or exceed the minimum design requirements. The PMC provides the required storage volume and meets the required release rates, stage areas, elevations, and weir dimensions, as documented in the approved PPR2417 – 2185 Janitell Road Drainage Amendment Letter dated January 20, 2026 and the Concept Infiltration Pond Stage Storage Relationship sheet. No new calculations are required.

**Statement of Engineer in Responsible Charge:**

I, Charles C. Crum, a registered Professional Engineer in the State of Colorado hereby state and declare that the Full Spectrum-Full Infiltration Extended Detention Basin improvements located at 2185 Janitell Road have been constructed in general conformance with the approved construction plans and design specifications. The Full Spectrum-Full Infiltration Extended Detention Basin provides the necessary storage volume and infiltration rate as required. The area surrounding said Extended Detention Basin is stable with respect to re-vegetation, grading, and erosion control.

***Engineers • Surveyors***  
***1903 Lelaray Street, Suite 200 • Colorado Springs, CO 80909 • Phone 719-635-5736***  
***Fax 719-635-5450 • e-mail mve@mvecivil.com***

El Paso County  
June 10, 2026  
Page 2

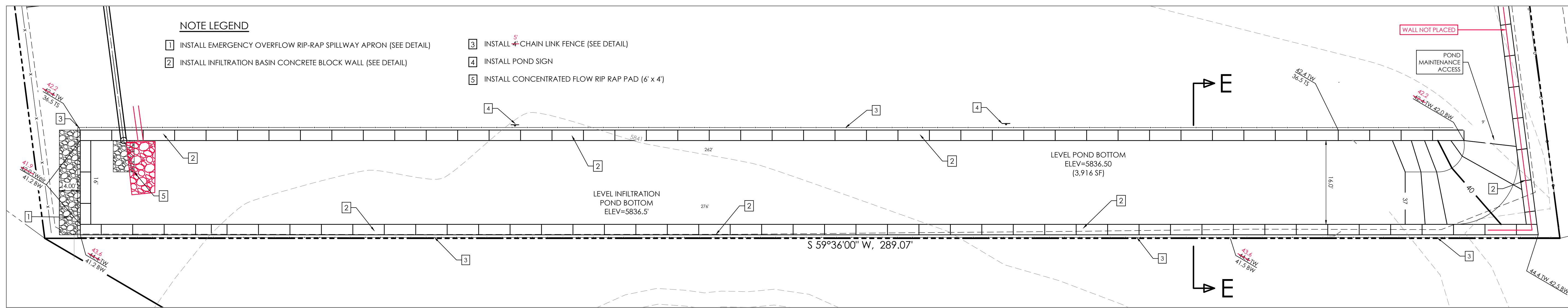


Charles C. Crum, P.E. Colorado No. 13348  
For and on Behalf of M.V.E., Inc.

Enclosures: *As-Built – 4/17/2026 - Pond Plan w/ Details*  
*As-Built – 6/10/2026 - Grading & Erosion Control Plan -C1.2*  
*Swale Calculations – 6/11/2026*

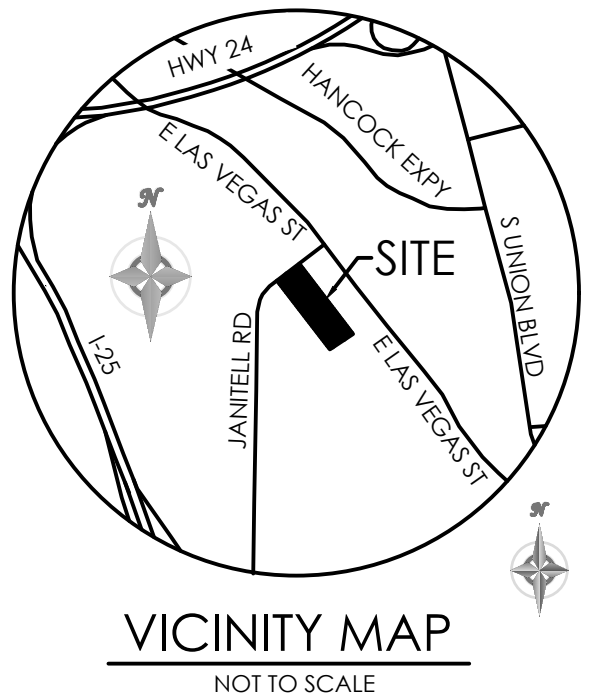
Z:\61195\Documents\Correspondance\61195- Infiltratin Pond Certification (Rev)-20260611.odt

**M.V.E., Inc. • Engineers • Surveyors**  
**1903 Lelaray Street, Suite 200 • Colorado Springs, CO 80909 • Phone 719-635-5736**  
**Fax 719-635-5450 • e-mail mve@mvecivil.com**



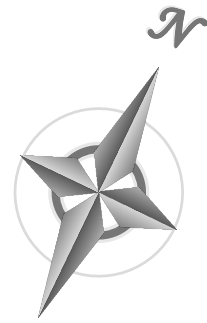
**FULL SPECTRUM SAND FILTER DETAIL**

SCALE 1" = 10'



VICINITY MAP  
NOT TO SCALE

BENCHMARK



**AS - BUILT**

DATE: 4/17/2026

**WARNING**  
THIS AREA IS A  
STORMWATER FACILITY  
AND IS SUBJECT TO  
PERIODIC FLOODING

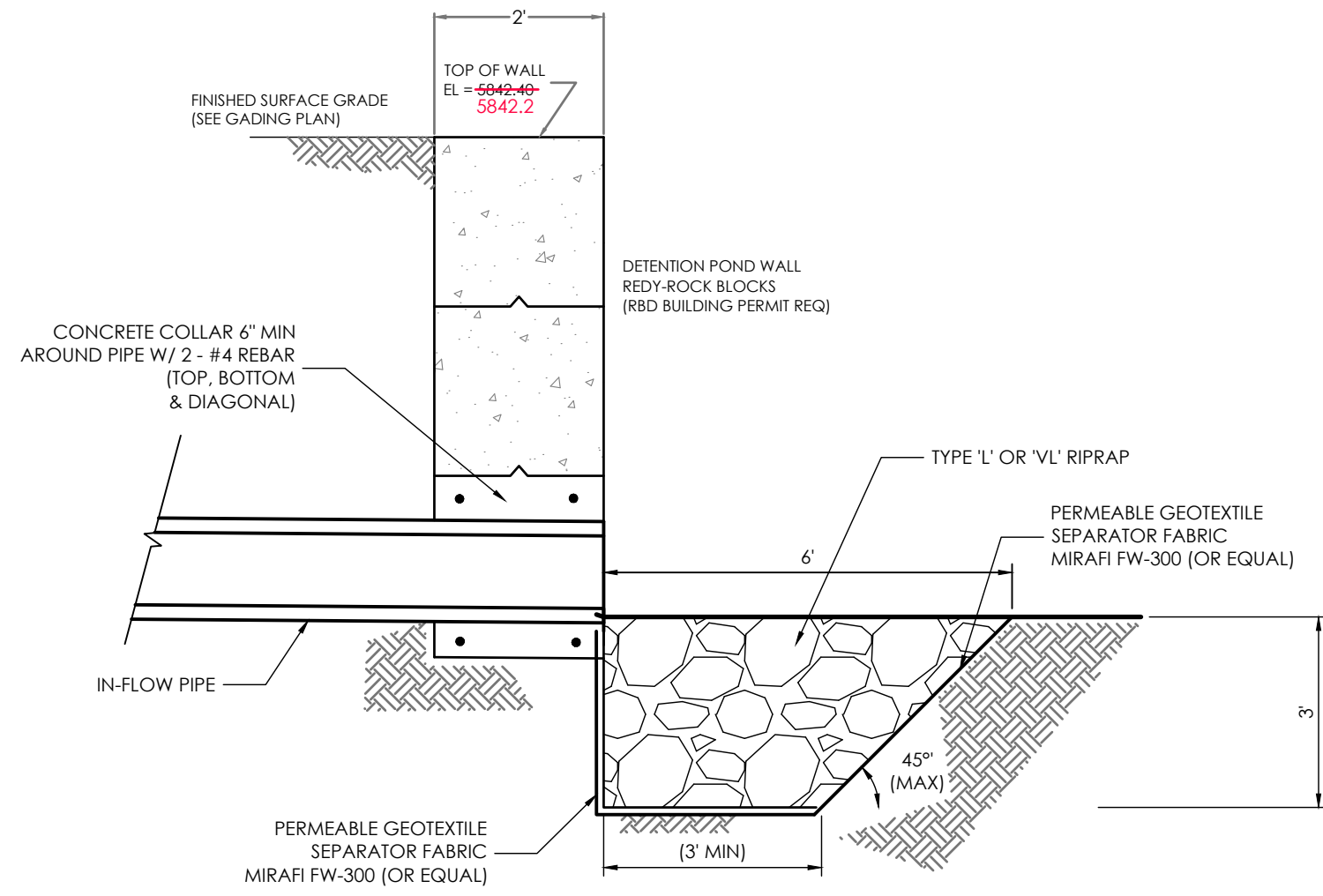
24"x18"

POND VOLUMES	
REQUIRED VOLUME	= 19,500 CF.
AS BUILT VOLUME	= 22,470 CF.

1. TYPOGRAPHY TO BE HELVETICA MEDIUM
2. SIGNS TO BE MOUNTED ON METAL SIGN POST; 7'-0" ABOVE FINISH GRADE TO BOTTOM OF SIGN-TYP. ADDITIONAL PLACARD SIGNS SHALL BE MOUNTED AT LEAST 6'-0" ABOVE FINISH GRADE TO BOTTOM OF SIGN-TYP.
3. THE SIGNS SHALL BE FABRICATED OF DURABLE MATERIALS, SUCH AS METAL OR PLASTIC, USING RED LETTERING ON A WHITE BACKGROUND

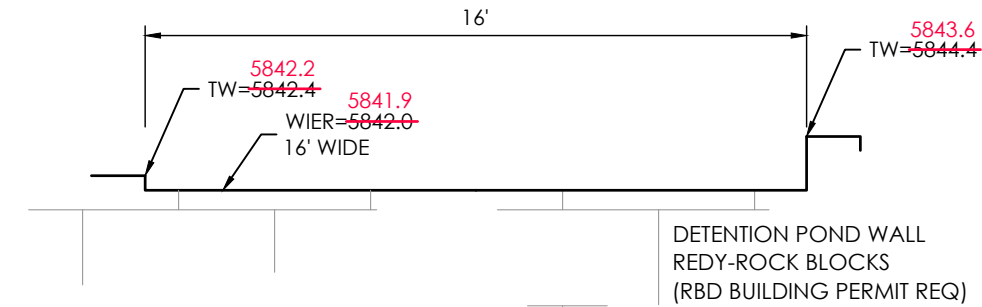
**POND SIGNAGE**

SCALE: 1" = 1'-0"



**CONCENTRATED IN-FLOW DETAIL**

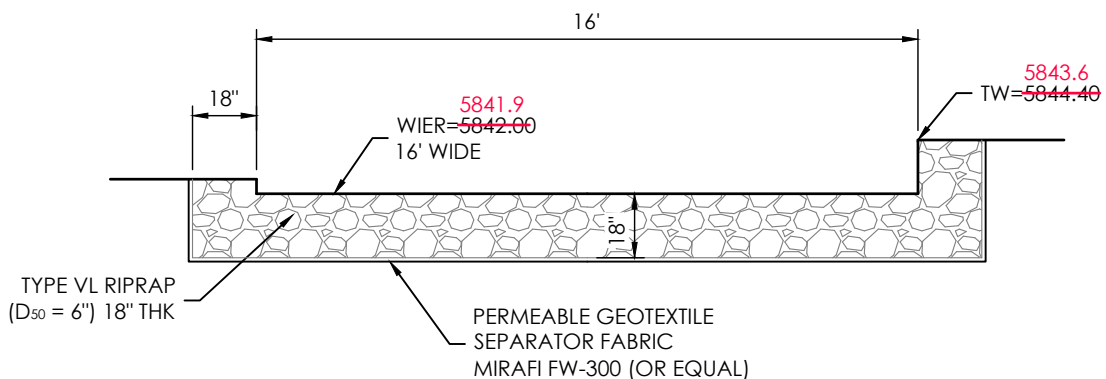
SCALE: NTS



**FRONTAL VIEW**

**BLOCK WALL OVERFLOW SPILLWAY**

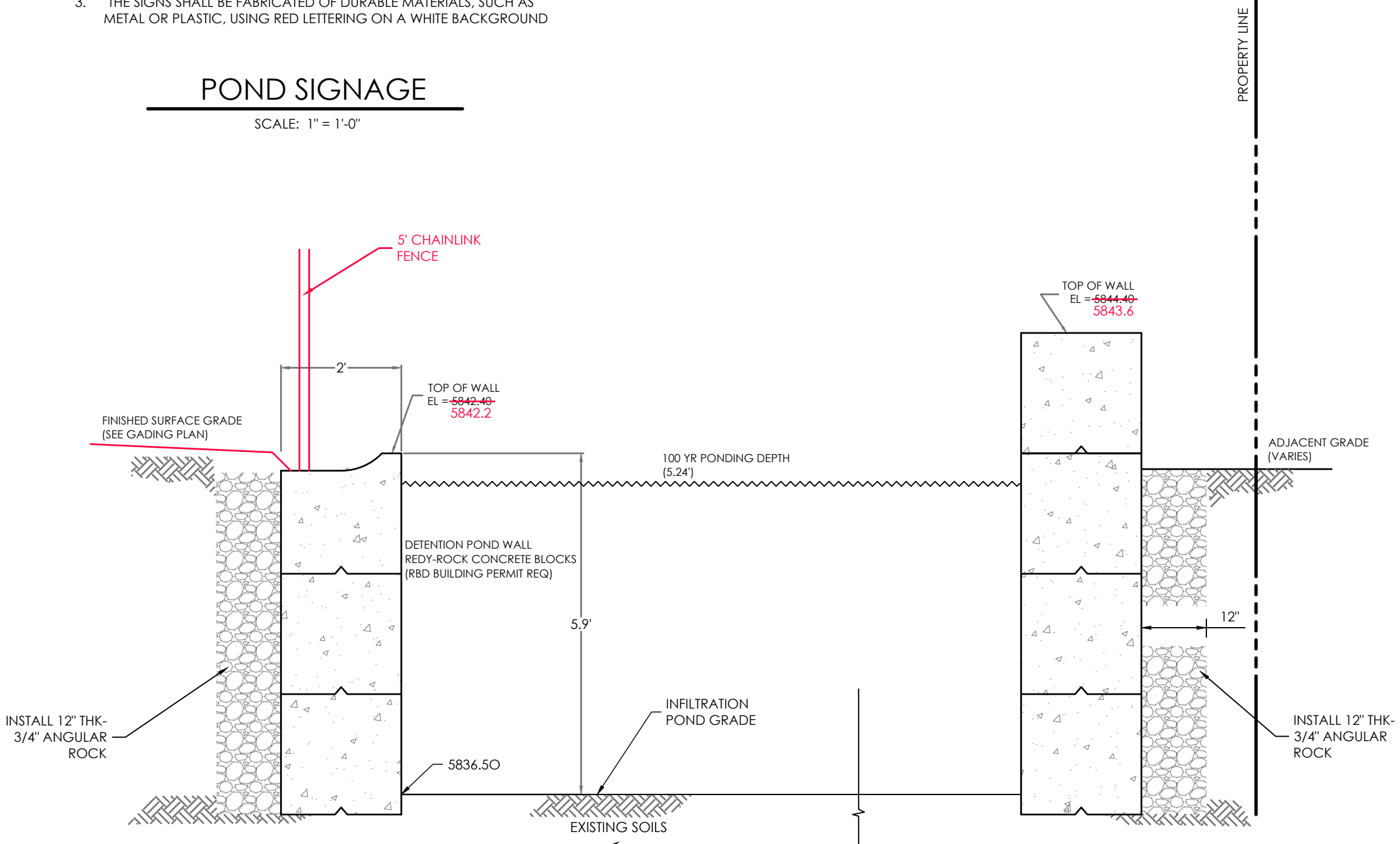
SCALE: NOT TO SCALE



**FRONTAL SECTION VIEW**

**OVERFLOW RIP-RAP SPILLWAY APRON**

SCALE: NOT TO SCALE



**INFILTRATION BASIN BLOCK WALL DETAIL**

**SECTION E-E**

SCALE: 1" = 2'



1903 Library Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

REVISIONS

REVISED GRADES TO PROVIDE A SWALE DRIVE ON NORTHEASTERN & SOUTHWESTERN SIDES OF BUILDING. ELIMINATED 50' RETAINING WALL ON SOUTHWESTERN LOT LINE. ADDED STORM DRAIN SYSTEM. POND CHANGES TO FULL INFILTRATION POND. 12/31/25 CCC

**AS - BUILT**

DATE: 4/17/2026

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILT BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

2165 JANITELL ROAD

SITE DEVELOPMENT  
POND PLAN / DETAILS

C1.3

MVE PROJECT 61195  
CON-PP  
MVE DRAWING

FEBRUARY 10, 2026  
SHEET 3 OF 6

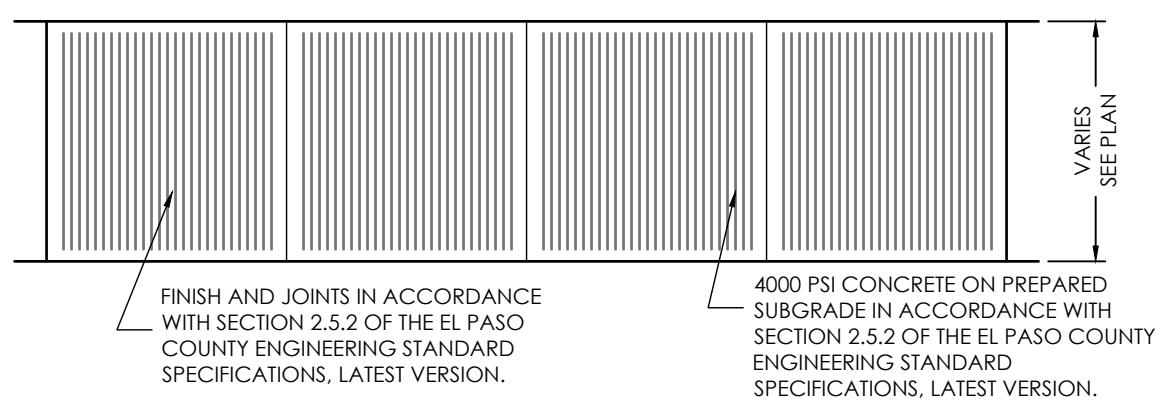
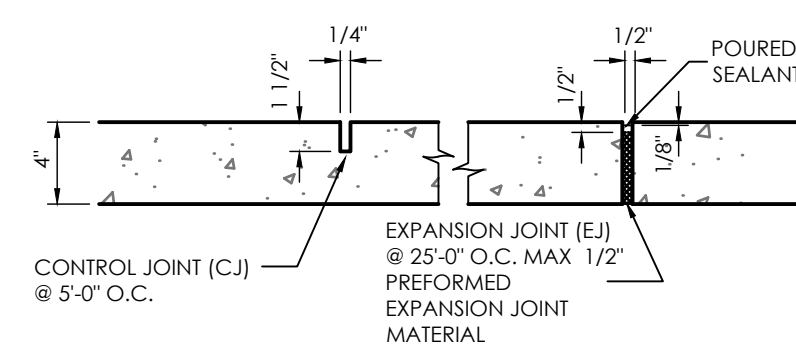
PCD FILE NO. PPR2417

**ABBREVIATION LEGEND**

ASPH	ASPHALT
CONC	CONCRETE
C & G	CURB & GUTTER
DET.	DETAIL
ESMT	EASEMENT
ME	MATCH EXISTING
P.B., PG.	PLAT BOOK, PAGE
PVMT	PAVEMENT
RET. WALL	RETAINING WALL
REC. NO.	RECEPTION NUMBER
R.O.W.	RIGHT-OF-WAY
RD	ROOF DRAIN (SEE C1.6)
SF	SQUARE FOOT
STBK	SETBACK
SW	SIDEWALK
UTIL	UTILITY

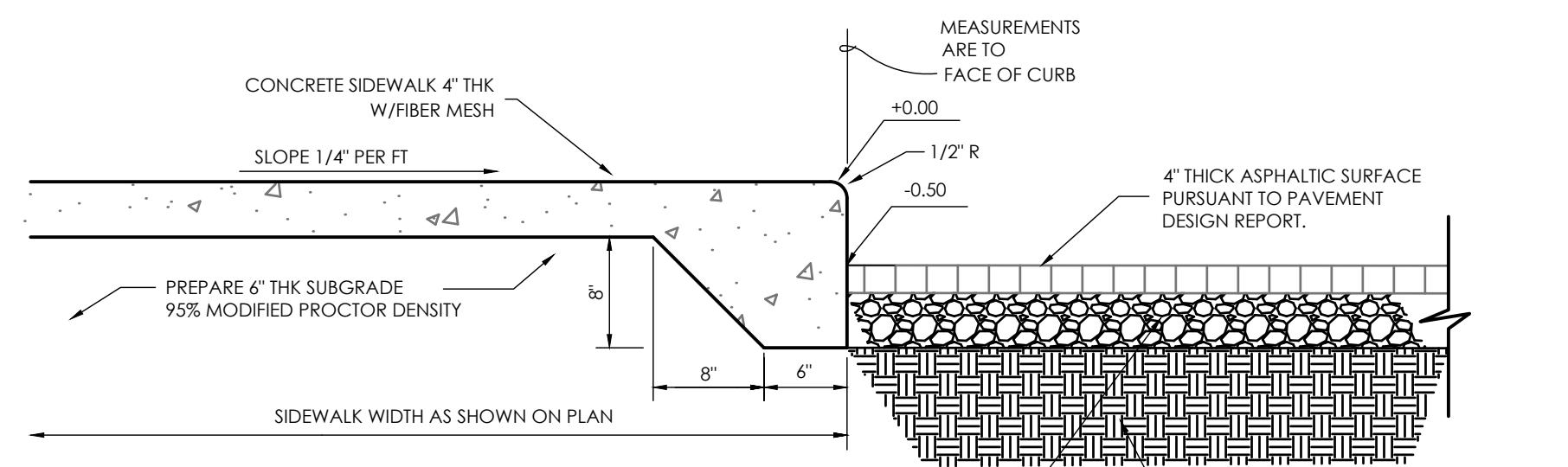
**GRADATION TABLE**

RIPRAP DESIGNATION	% SMALLER THAN GIVEN SIZE BY WEIGHT	ROCK DIMENSION (INCHES)	50" DIMENSION (INCHES)
TYPE VL	70-100	12	
	50-70	9	
	35-50	6	6
	2-10	2	
CLASS 6	100	1	
BASE COURSE	95-100	3/4	
	30-45	#4	
	25-55	#8	
	3-12	#200	



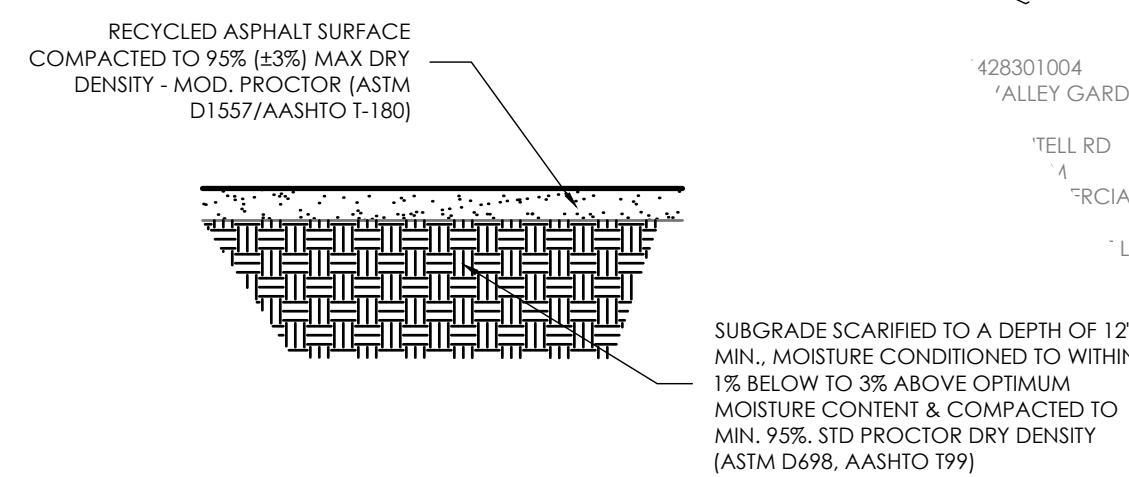
**TYPICAL SIDEWALK DETAIL**

SCALE 1" = 4'-0"



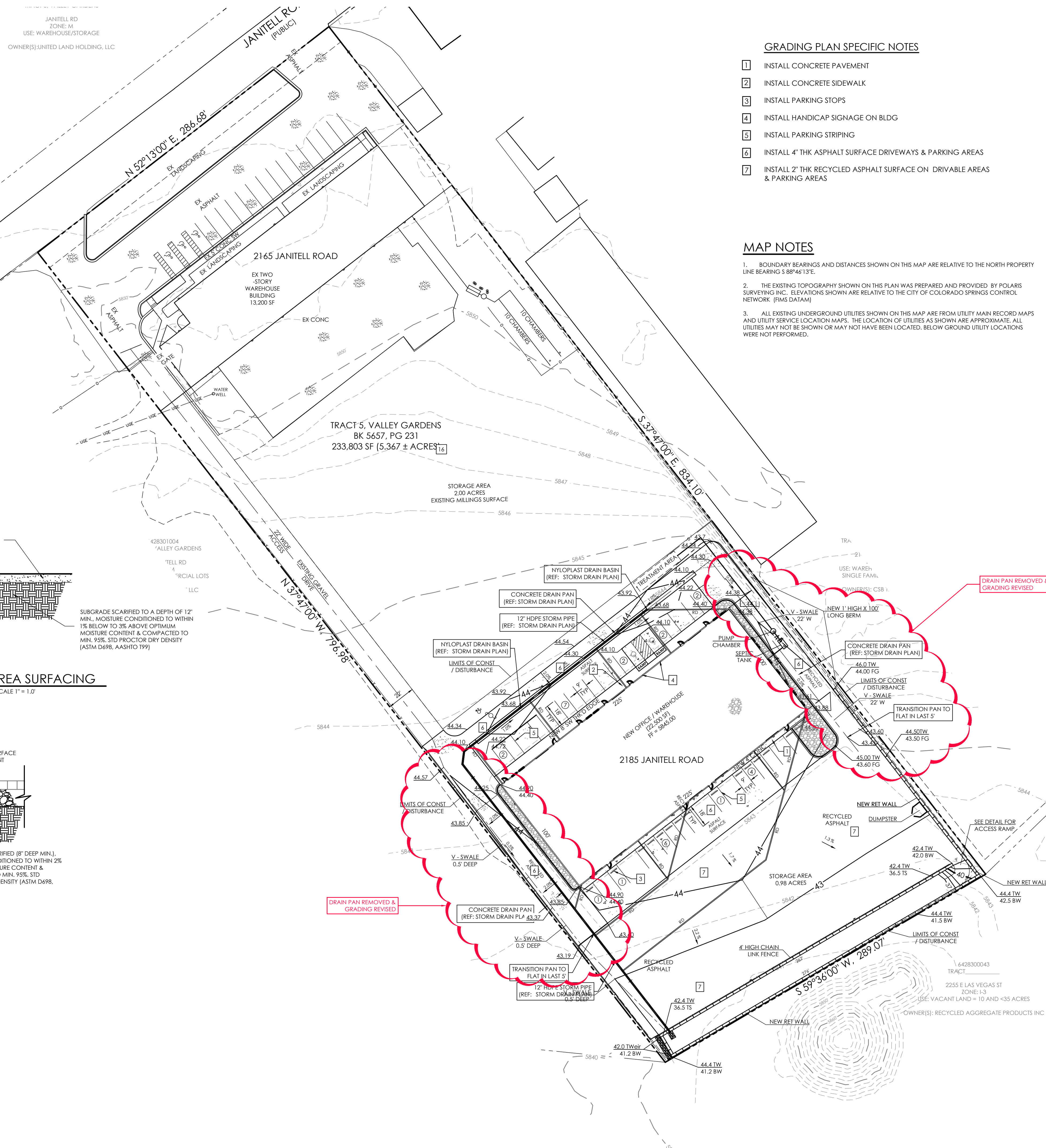
**THICKENED EDGE SIDEWALK**

SCALE 1" = 1'-0"



**STORAGE AREA SURFACING**

SCALE 1" = 1'-0"

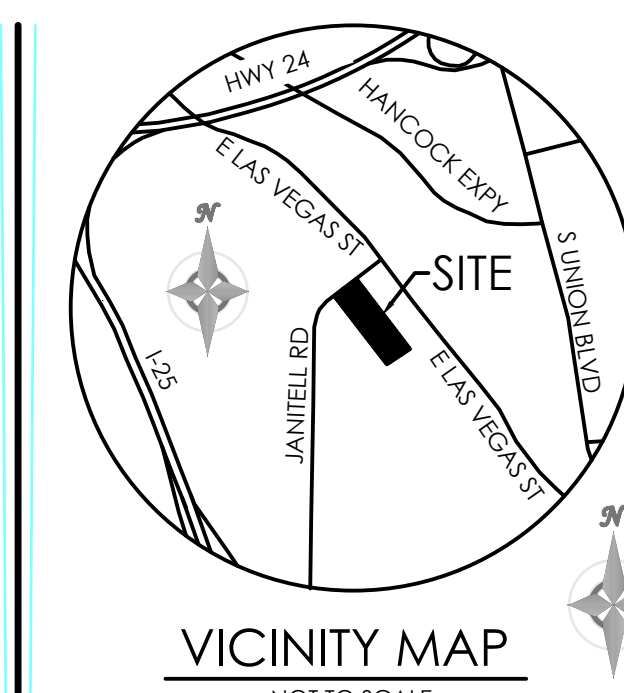


**GRADING PLAN SPECIFIC NOTES**

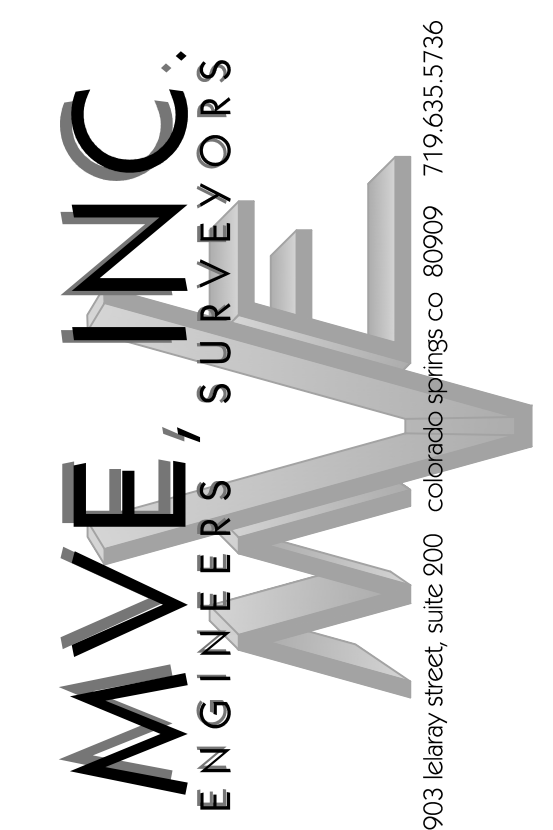
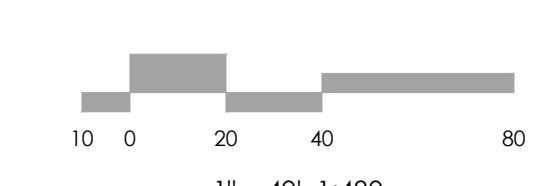
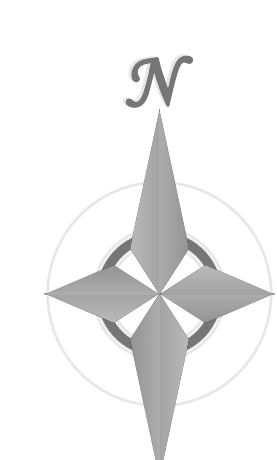
1. INSTALL CONCRETE PAVEMENT
2. INSTALL CONCRETE SIDEWALK
3. INSTALL PARKING STOPS
4. INSTALL HANDICAP SIGNAGE ON BLDG
5. INSTALL PARKING STRIPING
6. INSTALL 4" THK ASPHALT SURFACE DRIVEWAYS & PARKING AREAS
7. INSTALL 2" THK RECYCLED ASPHALT SURFACE ON DRIVEWAY AREAS & PARKING AREAS

**MAP NOTES**

1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE NORTH PROPERTY LINE BEARING S 89°46'13"E.
2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE CITY OF COLORADO SPRINGS CONTROL NETWORK (FIMS DATUM)
3. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.



BENCHMARK



**REVISIONS**

REVISED GRADES TO PROVIDE A SWALE DRIVE ON NORTHEASTERN & SOUTHWESTERN SIDES OF BUILDING. ELIMINATED 50' RETAINING WALL ON SOUTHWESTERN LOT LINE. ADDED STORM DRAIN SYSTEM. POND CHANGES TO FULL INFILTRATION POND.  
12/31/25 CCC

**AS - BUILT**

DATE: 6/10/2026

DESIGNED BY: \_\_\_\_\_  
DRAWN BY: JO  
CHECKED BY: \_\_\_\_\_  
AS-BUILT BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_

2165 JANITELL RD  
EL PASO COUNTY, CO

GRADING & EROSION  
CONTROL PLAN  
GRADING PLAN

C1.2 MVE PROJECT 61195  
MVE DRAWING GEC-GP

MARCH 9, 2026  
SHEET 2 OF 6

PCD FILE NO. PPR2417

# Channel Report

## 2185 Janitell Road - East/West Drive Around Building Capacity Calculation (Worst Case)

### Triangular

Side Slopes (z:1) = 0.00, 40.00  
Total Depth (ft) = 0.50

Invert Elev (ft) = 100.00  
Slope (%) = 0.50  
N-Value = 0.015

### Calculations

Compute by: Known Q  
Known Q (cfs) = 3.00

### Highlighted

Depth (ft) = 0.29  
Q (cfs) = 3.000  
Area (sqft) = 1.68  
Velocity (ft/s) = 1.78  
Wetted Perim (ft) = 11.89  
Crit Depth, Yc (ft) = 0.27  
Top Width (ft) = 11.60  
EGL (ft) = 0.34

