

THE EAST $\frac{1}{2}$ OF THE NORTHWEST $\frac{1}{4}$ OF THE SOUTHWEST $\frac{1}{4}$ AND NORTHEAST $\frac{1}{4}$ OF THE SOUTHWEST $\frac{1}{4}$ OF
SECTION 12, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH P.M.,
COUNTY OF EL PASO, STATE OF COLORADO

OWNER:
GWH, LLC
6574 N. ACADEMY BLVD.
COLORADO SPRINGS, CO 80918
CONTACT: MICHAEL BUTLER
TEL: (719) 445-9195

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NEVADA NORTH AVE., SUITE 900
COLORADO SPRINGS, CO 80903
CONTACT: KEVIN R. KOFFORD, P.E.
TEL: (719) 453-0180

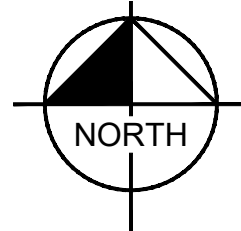
SURVEYOR:
LAND DEVELOPMENT CONSULTANTS, INC.
3898 MAIZELAND RD.
COLORADO SPRINGS, CO 80909
CONTACT: DAN KUPFERER, P.L.S.
TEL: (719) 528-6848

EL PASO COUNTY:
EL PASO COUNTY
PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
TEL: (719) 520-6300

NGS MONUMENT Z 76 (PID JK0003), ELEVATION 6044.78 NAVD88 DATUM.

A LINE BETWEEN THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUATER OF SECTION 12, MONUMENT WITH A YELLOW PLASTIC SURVEY CAP, ILLEGIBLE, AND THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF SECTION 12, MONUMENTED WITH A 2.5" ALUMINUM SURVEY CAP, ILLEGIBLE. SAID LINE IS ASSUMED TO BEAR N00-32-25 W FOR A DISTANCE OF 1319.37 FEET.

1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, AND THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
4. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
5. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
6. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
7. CDOT M & S STANDARDS
8. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
9. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
10. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
11. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
12. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
13. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
14. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
15. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
16. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
17. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
18. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE DEVELOPER/OWNER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.
19. PROPOSED ROADS TO BE INSTALLED PRIOR TO ANY COMBUSTIBLE MATERIALS PRESENT ON-SITE PER FALCON FIRE PROTECTION DISTRICT



<u>SHEET INDEX</u>	
SHEET NO.	SHEET TITLE
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2	TYPICAL SECTION & DETAILS
3	SITE PLAN
4	ROAD PLAN & PROFILE
5	PRIVATE ROAD – PLAN
6	CULVERT A – PLAN AND PROFILE
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8	CULVERT C – PLAN AND PROFILE
9	FIRE CISTERN
10	FIRE CISTERN – DETAILS
11	POND PLAN
12	POND DETAILS
13	CONSTRUCTION DETAILS



Please include current County signing and striping notes from the County Engineer Website
<https://publicworks.elpasoco.com/departments-public-works/county-engineer/>

PCD FILE NO. SF2521

THE EAST HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER AND THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, SECTION 12, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH PRINCIPAL MERIDIAN., COUNTY OF EL PASO, STATE OF COLORADO.

CONTAINING 60.004 ACRES MORE OR LESS.

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER THE EASTERLY 60 FEET OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH PRINCIPAL MERIDIAN, AS CREATED BY EASEMENT GRANT AND AGREEMENT RECORDED NOVEMBER 6, 1966 UNDER RECEPTION NO. 96141186, COUNTY OF EL PASO, STATE OF COLORADO.

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

MICHAEL BUTLER, OWNER

DATE _____

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

KEVIN KOFFORD, P.E. 57234 – KIMLEY-HORN AND ASSOCIATES, INC.

DATE _____

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH CDM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JOSHUA PALMER, P.E. – COUNTY ENGINEER/ECM ADMINISTRATOR

DATE _____

Kimley»Horn
2025 KIMLEY-HORN AND ASSOCIATES, INC.

2025 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue Suite 900
Colorado Springs, Colorado 80903 (719) 451-1100

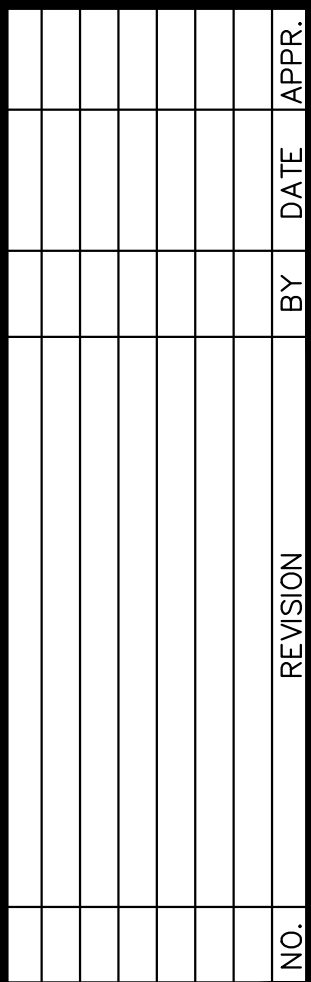
DESIGNED BY: KRK
DRAWN BY: DJS
CHECKED BY: KRK
DATE: 09/23/2025

KRISTIN ESTATES
EL PASO COUNTY, COLORADO
CONSTRUCTION DOCUMENTS
COVER SHEET

PRELIMINARY
FOR REVIEW ONLY
NOT FOR
CONSTRUCTION
Kimley»Horn
Kimley-Horn and Associates, Inc.

PROJECT NO.
196663001

SHEET



Kimley»»Horn
2025 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue Suite 900
Colorado Springs, Colorado 80903 (719) 453-0180

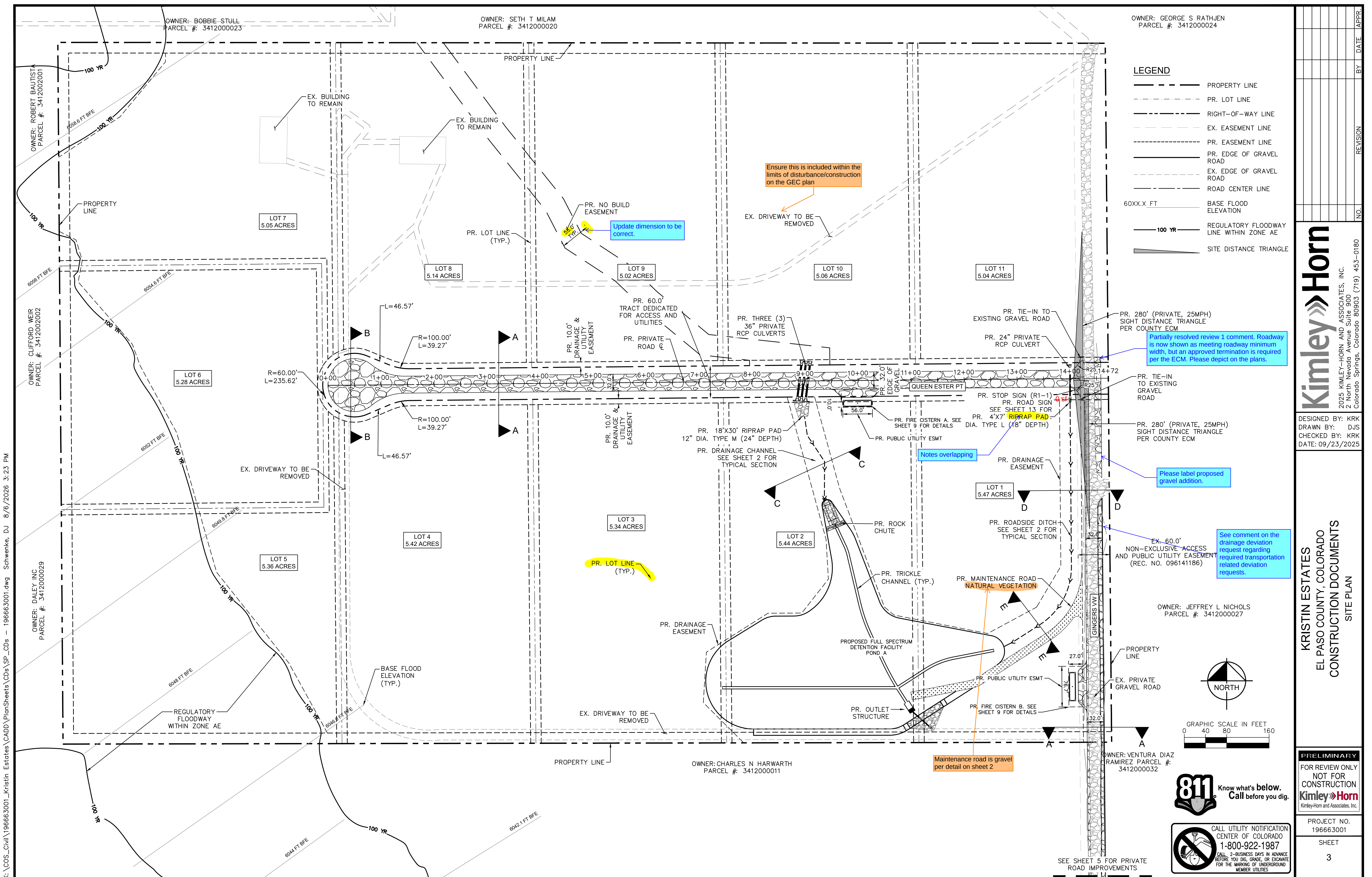
DESIGNED BY: KRK
DRAWN BY: DJS
CHECKED BY: KRK
DATE: 09/23/2025

KRISTIN ESTATES
EL PASO COUNTY, COLORADO
CONSTRUCTION DOCUMENTS
TYPICAL SECTION & DETAILS

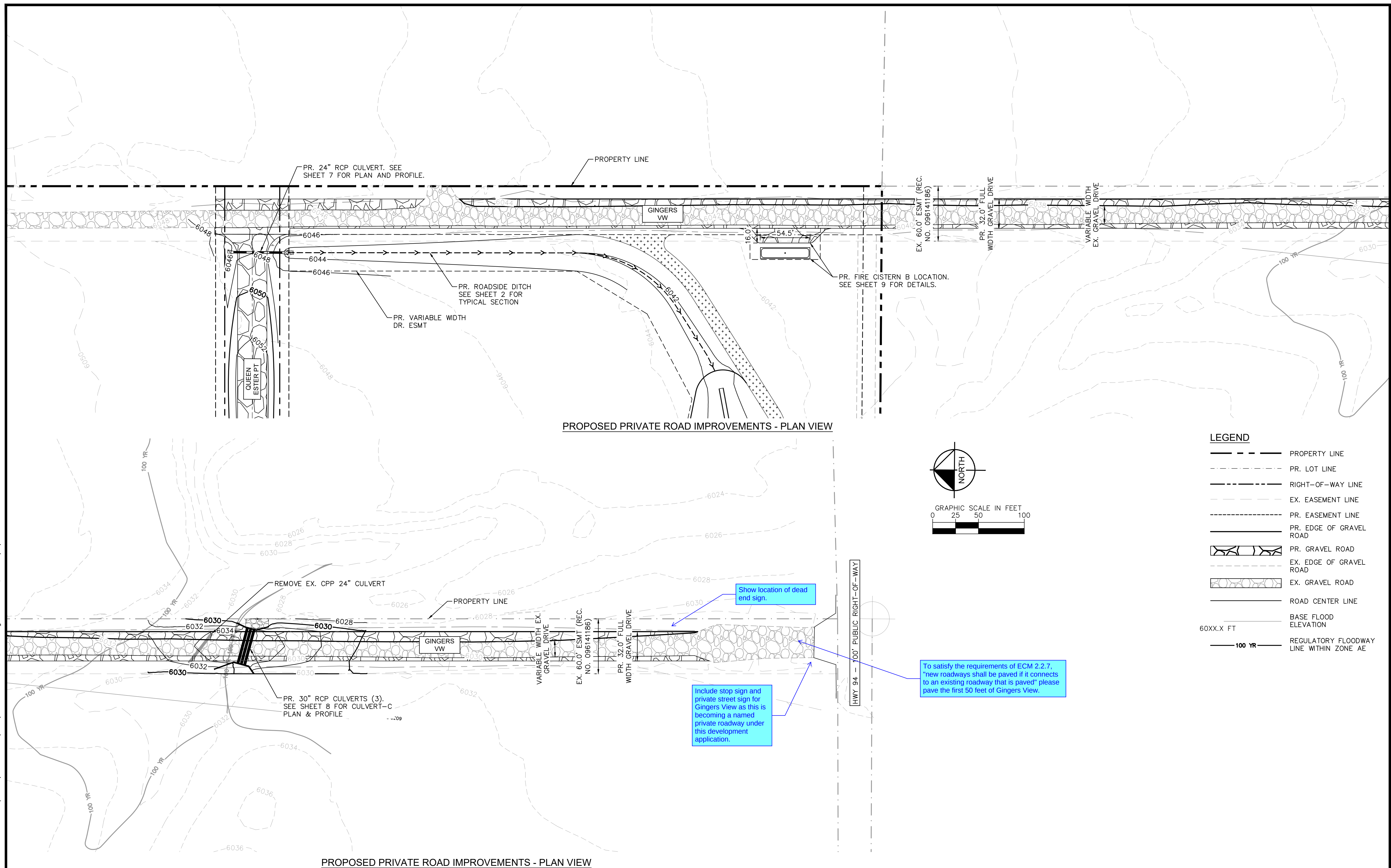
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PROJECT NO. 196663001

SHEET
2



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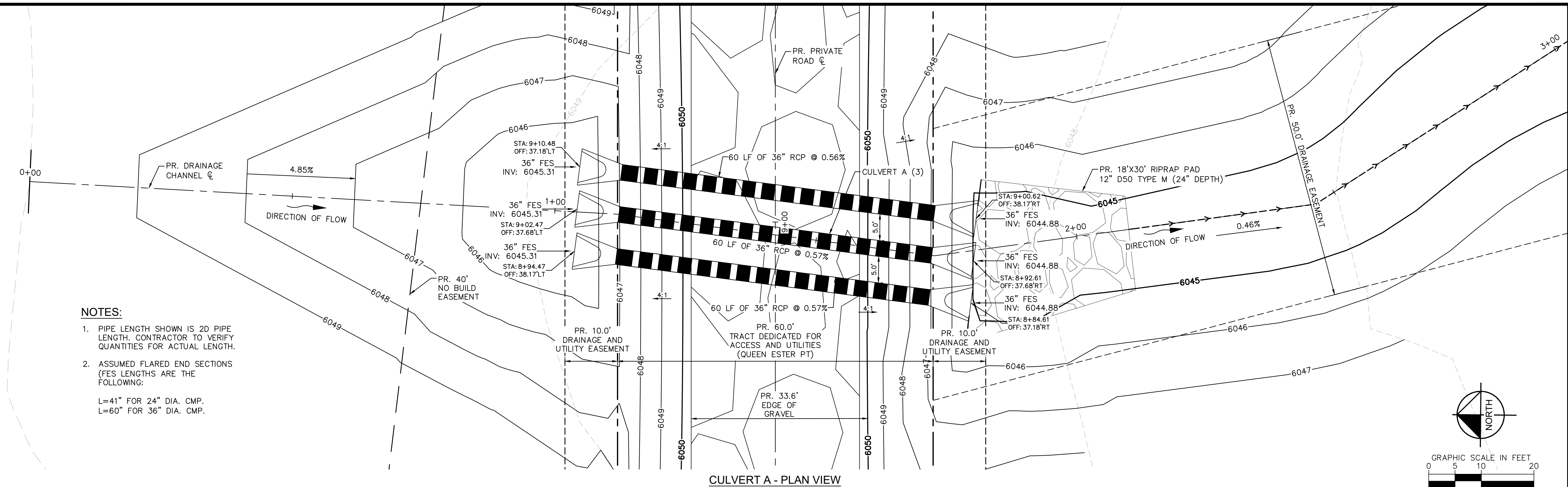
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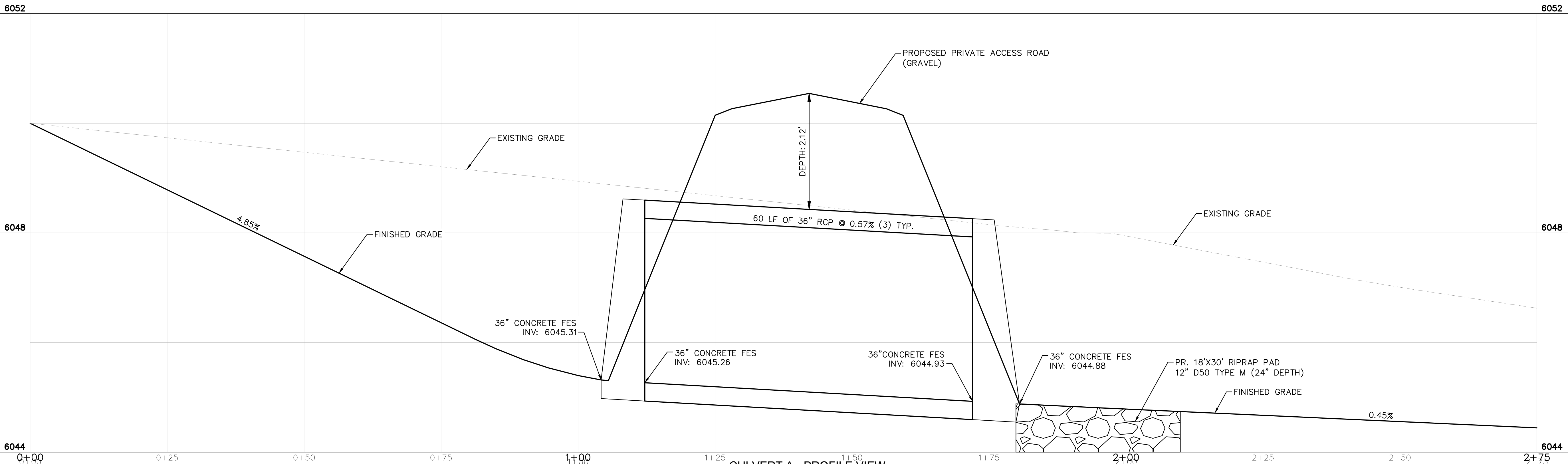
NOTES:

1. PIPE LENGTH SHOWN IS 2D PIPE LENGTH. CONTRACTOR TO VERIFY QUANTITIES FOR ACTUAL LENGTH.
2. ASSUMED FLARED END SECTIONS (FES LENGTHS ARE THE FOLLOWING:

L=41" FOR 24" DIA. CMP.
L=60" FOR 36" DIA. CMP.



CULVERT A - PLAN VIEW



CULVERT A - PROFILE VIEW



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2 North Nevada Avenue Suite 900
Colorado Springs, Colorado 80903 (719) 453-0180

KRISTIN ESTATES FINAL PLAN
EL PASO COUNTY, COLORADO
CONSTRUCTION DOCUMENTS
CULVERT A - PLAN AND PROFILE

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Kimley-Horn and Associates, Inc.

PROJECT NO.
196663001

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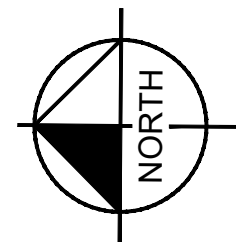
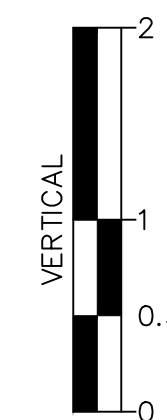
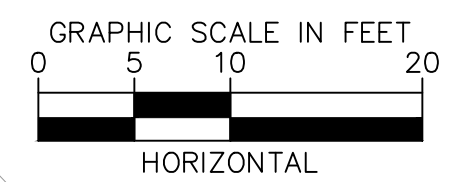
6

NO. BY DATE APPR.

REVISION

1. PIPE LENGTH SHOWN IS 2D PIPE LENGTH. CONTRACTOR TO VERIFY QUANTITIES FOR ACTUAL LENGTH.
2. ASSUMED FLARED END SECTIONS (FES LENGTHS ARE THE FOLLOWING:

CULVERT B - PLAN VIEW



Kimley»Horn

2026 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue Suite 900
Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KRK
DRAWN BY: RES
CHECKED BY: KRK
DATE: 03/14/2025

**KRISTIN ESTATES FINAL PLAT
EL PASO COUNTY, COLORADO
CONSTRUCTION DOCUMENTS
CULVERT B - PLAN AND PROFILE**

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Kimley-Horn and Associates, Inc.

PROJECT NO.
196663001

SHEET

6

NO.	REVISION	BY	DATE	APPR.
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Colorado Springs, Colorado 80903 (719) 453-0180

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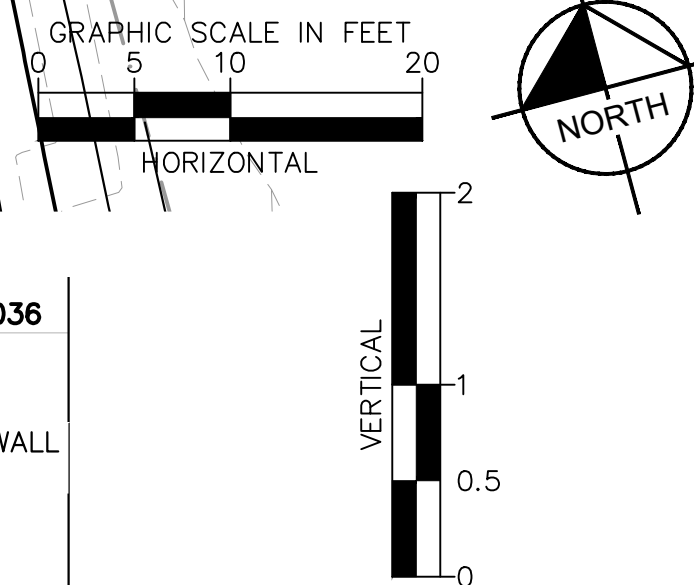
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L=41" FOR 24" DIA. CMP.
L=60" FOR 36" DIA. CMP.



6036

6036

TOP OF HEADWALL
INV: 6034.80

FINISHED GRADE

TOP OF TOEWALL
INV: 6034.85

DEPTH: 2.54'

6032

6032

41 LF OF 30" Reinforced Concrete @ 0.56%

BOTTOM OF HEADWALL
INV: 6029.93

BOTTOM OF TOE WALL
INV: 6029.70

EXISTING GRADE

PR. 14'X25' RIPRAP PAD
12" D50 TYPE L (24" DEPTH)

6028

6028

6026

6026

10+00

10+25

10+50

10+62

CULVERT C - PROFILE VIEW

CULVERT C - PROFILE VIEW

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2 North Nevada Avenue Suite 900
Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KRK
DRAWN BY: RES
CHECKED BY: KRK
DATE: 03/14/2025

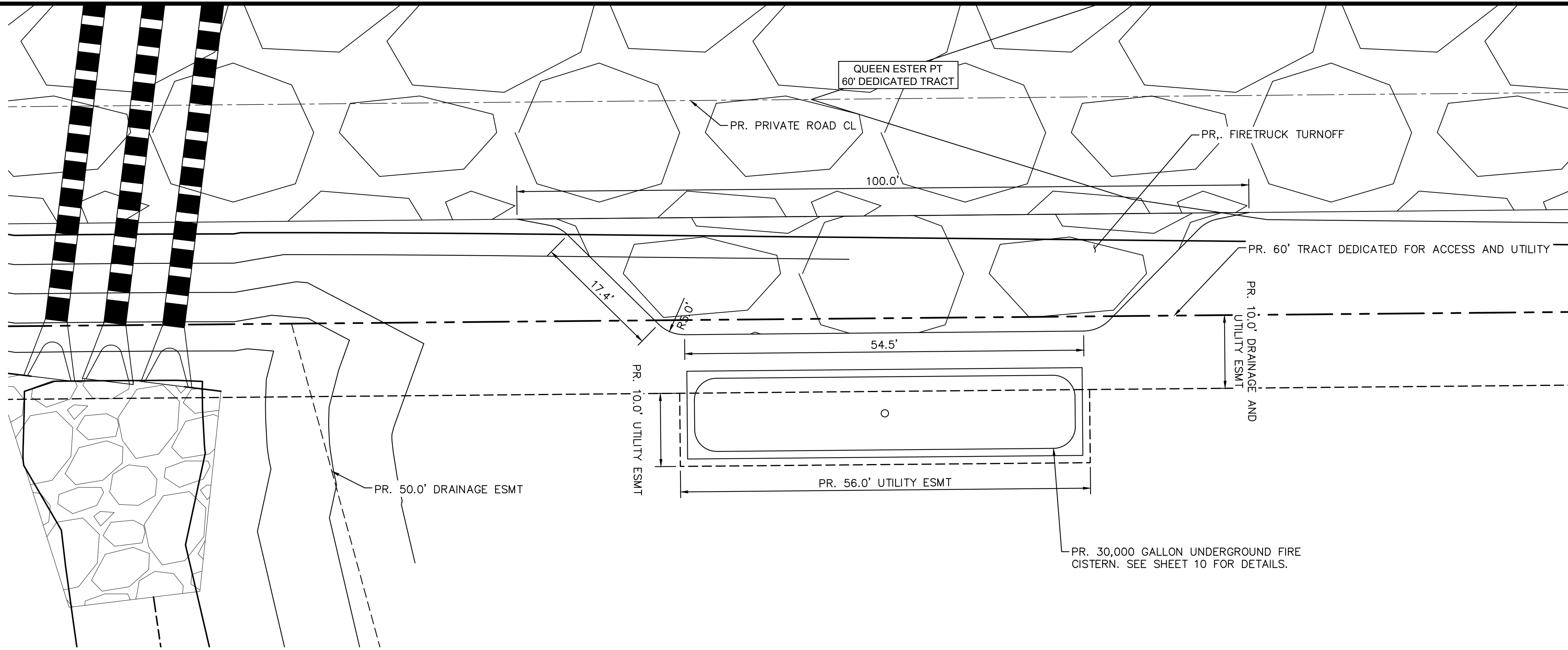
**KRISTIN ESTATES FINAL PLAT
EL PASO COUNTY, COLORADO
CONSTRUCTION DOCUMENTS
CULVERT C - PLAN AND PROFILE**

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Kimley-Horn and Associates, Inc.

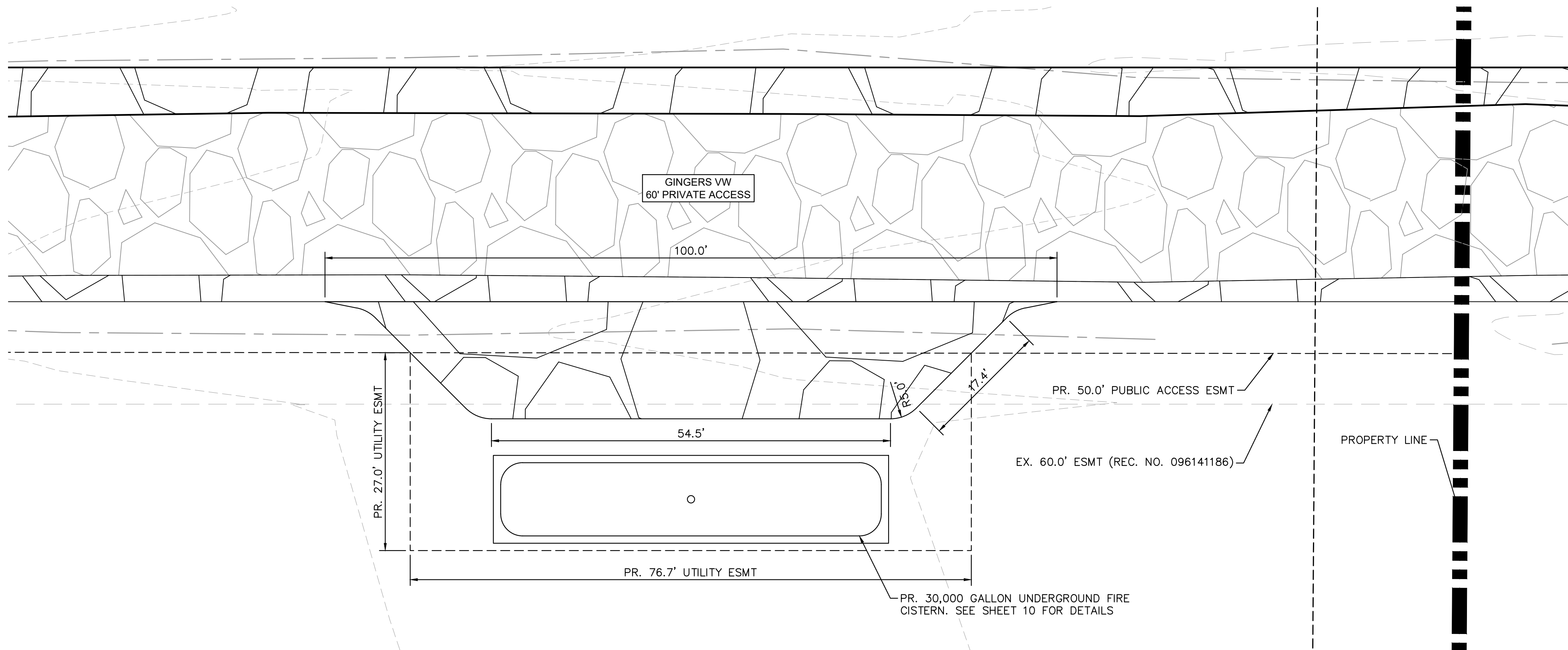
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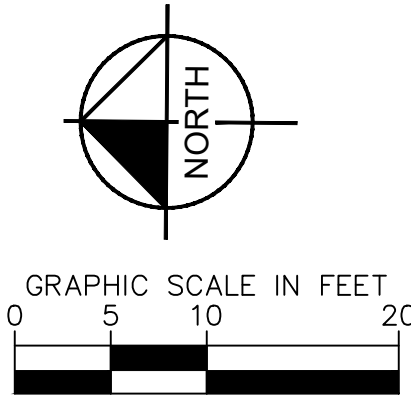
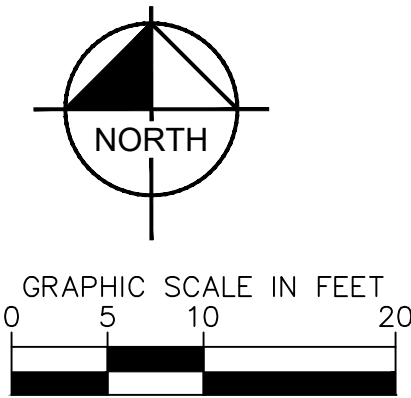
PROPOSED FIRE CISTERN A



PROPOSED FIRE CISTERN B

LEGEND

- PROPERTY LINE
- PR. LOT LINE
- RIGHT-OF-WAY LINE
- EX. EASEMENT LINE
- PR. EASEMENT LINE
- PR. EDGE OF GRAVEL ROAD
- PR. GRAVEL ROAD
- EX. EDGE OF GRAVEL ROAD
- EX. GRAVEL ROAD
- ROAD CENTER LINE
- BASE FLOOD ELEVATION
- REGULATORY FLOODWAY LINE WITHIN ZONE AE



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2 North Nevada Avenue Suite 900
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DESIGNED BY: KRK
DRAWN BY: RES
CHECKED BY: KRK
DATE: 03/14/2025

KRISTIN ESTATES FINAL PLAT
EL PASO COUNTY, COLORADO
CONSTRUCTION DOCUMENTS
FIRE CISTERN

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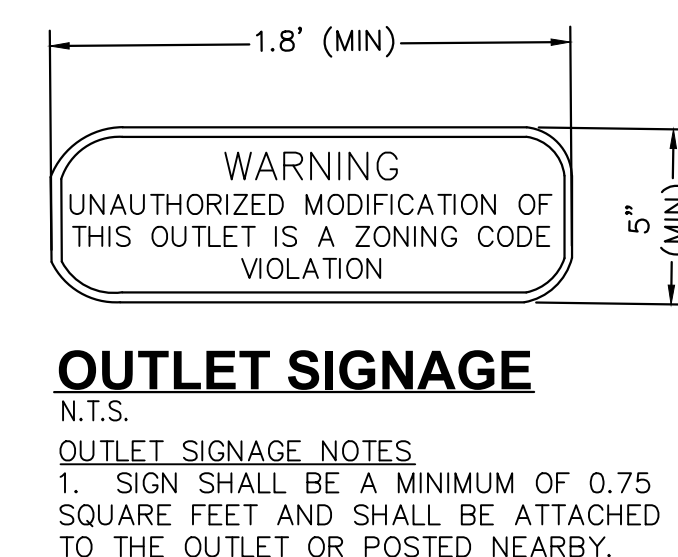
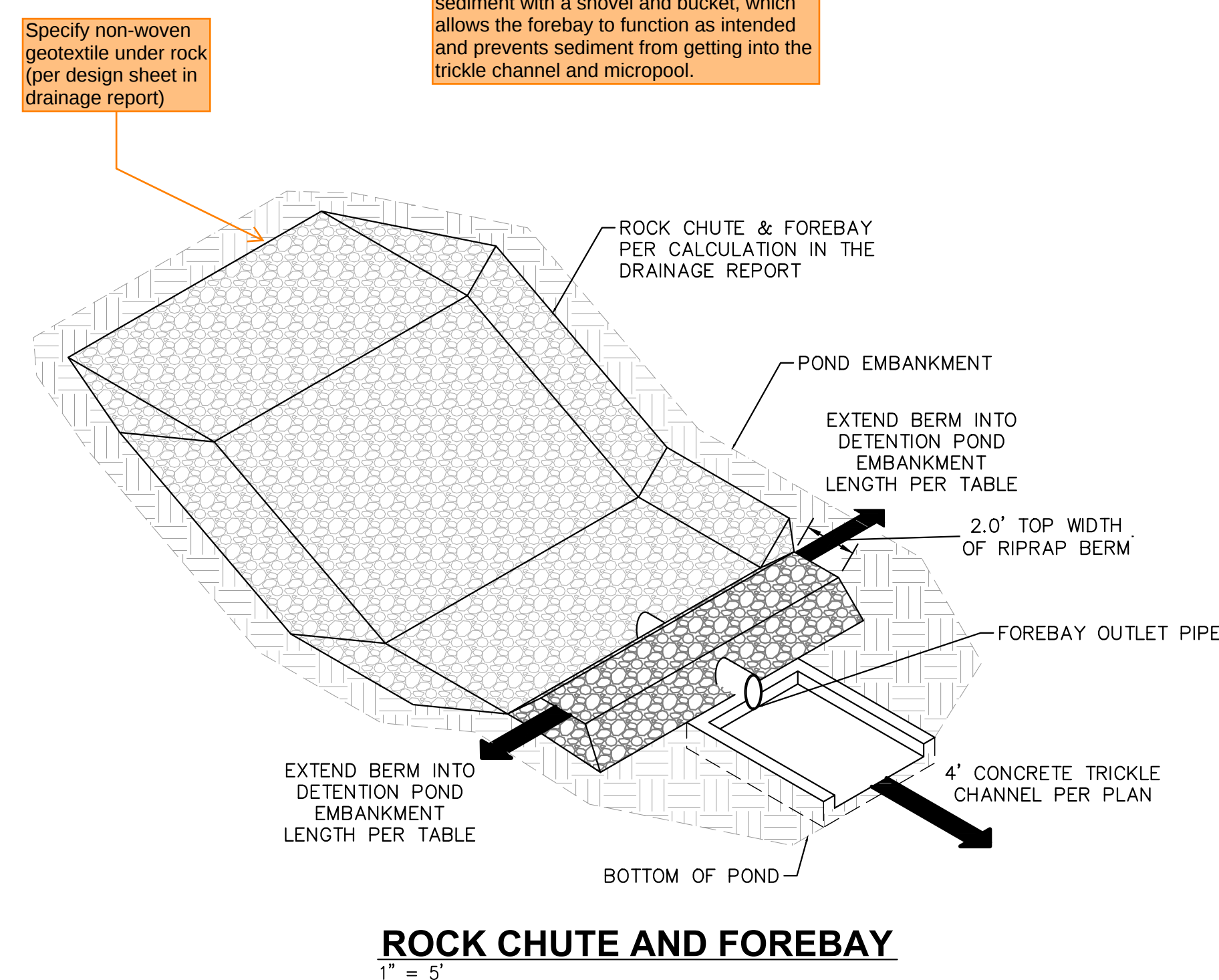
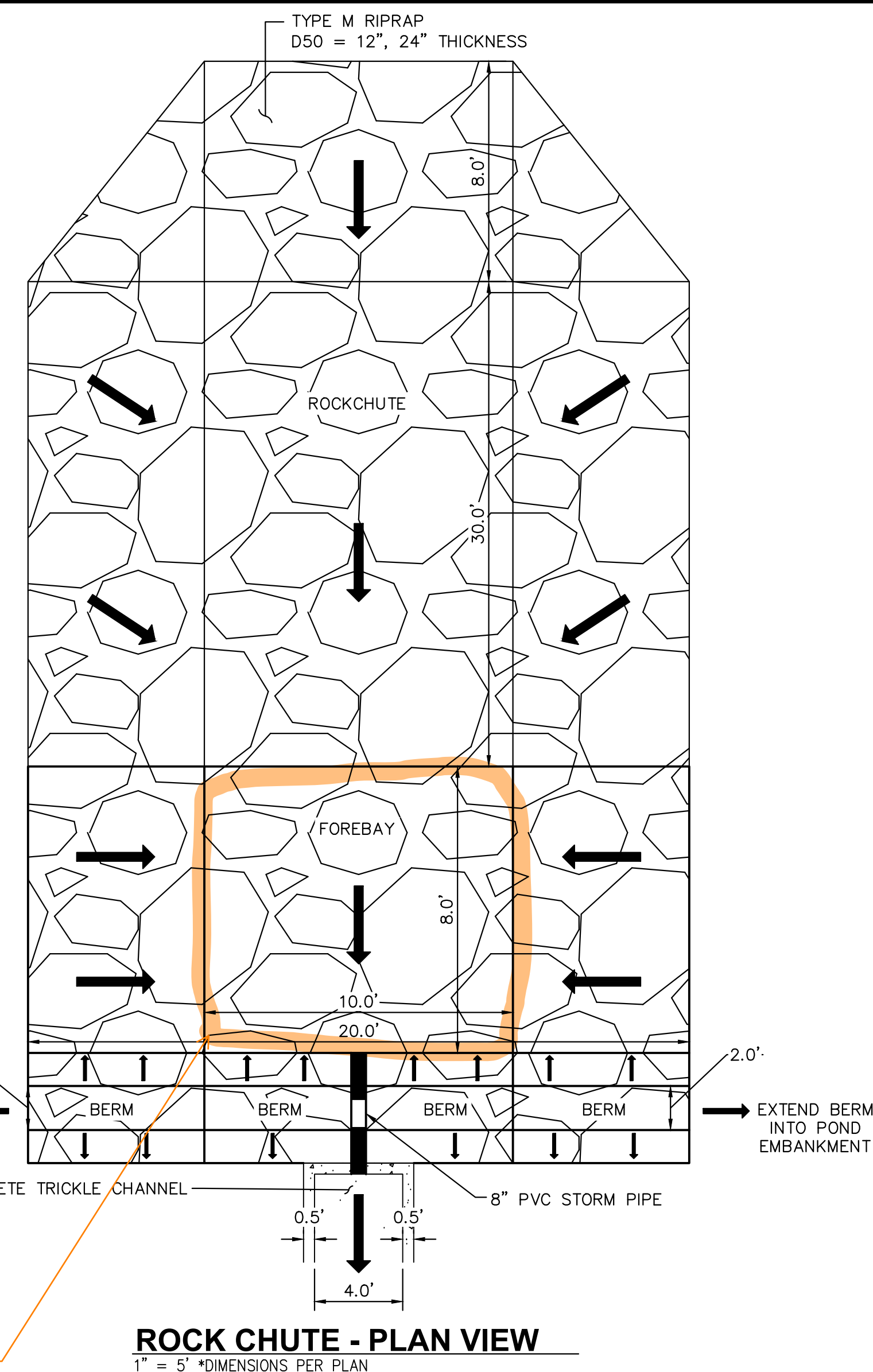
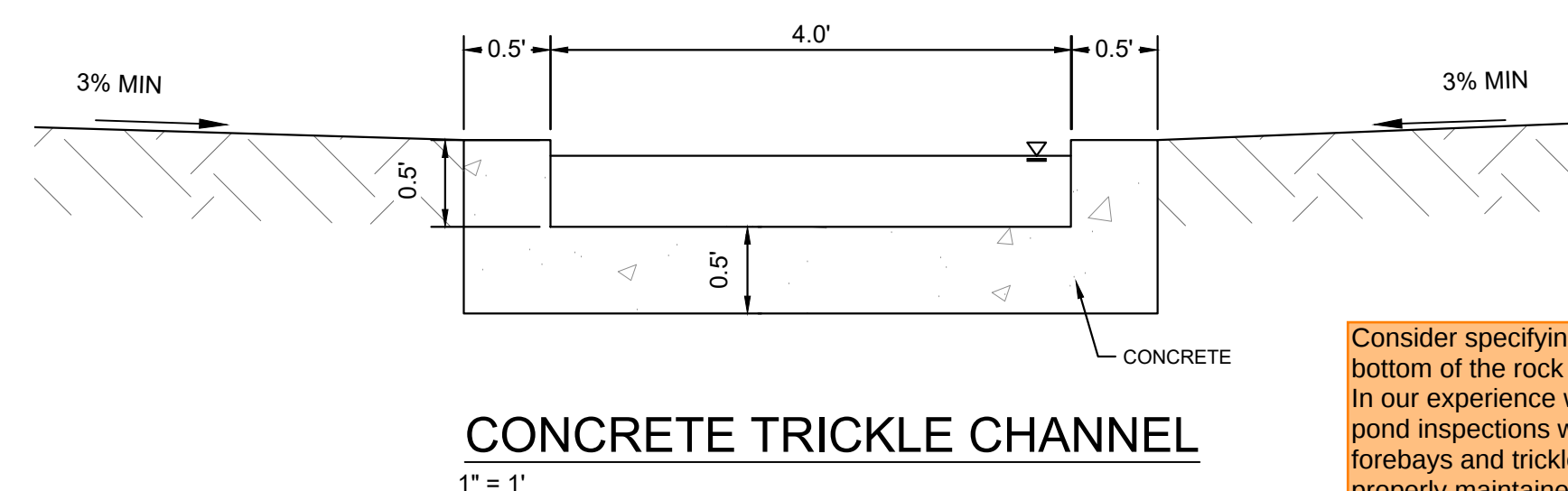
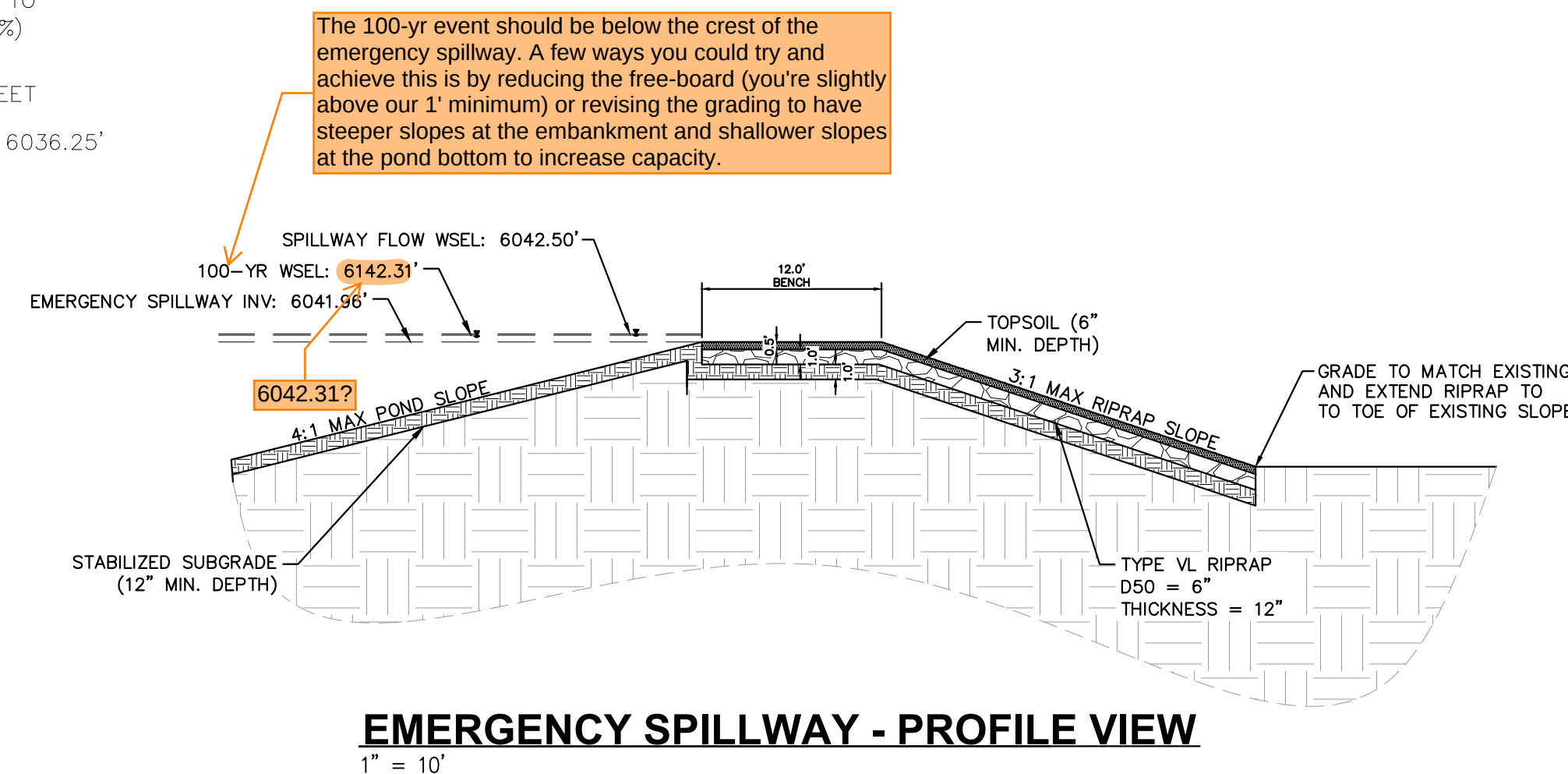
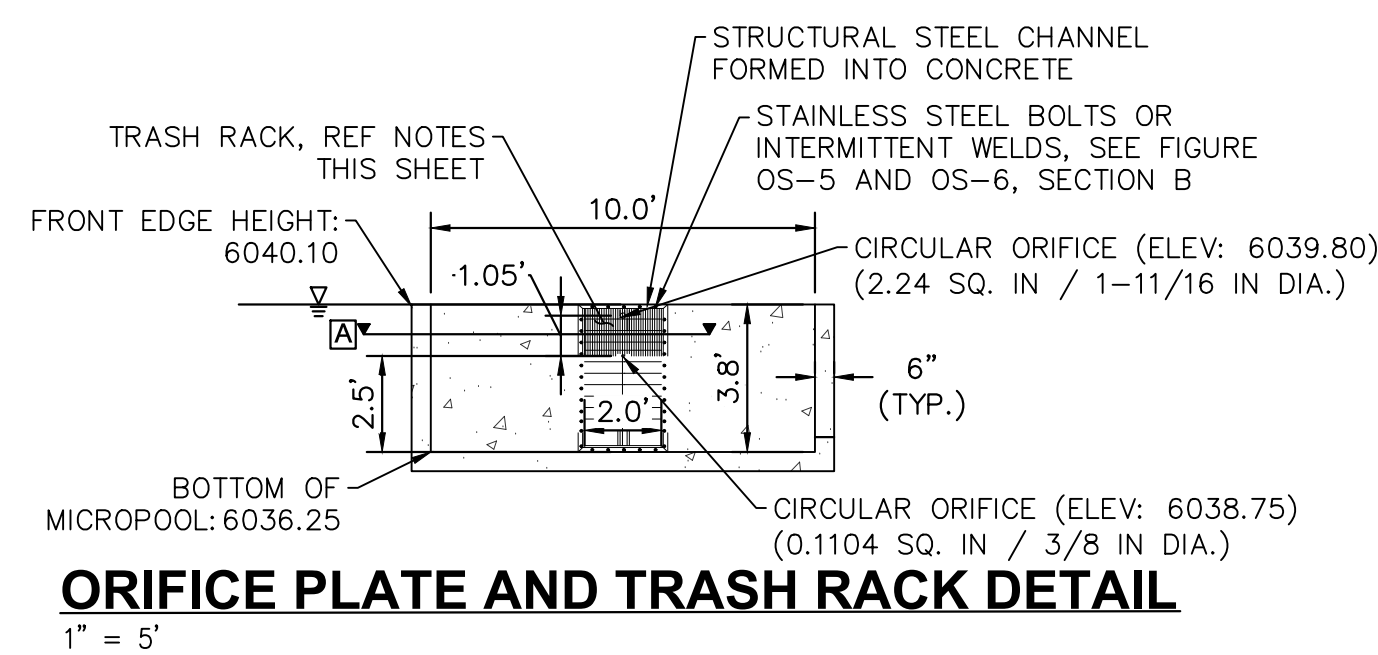
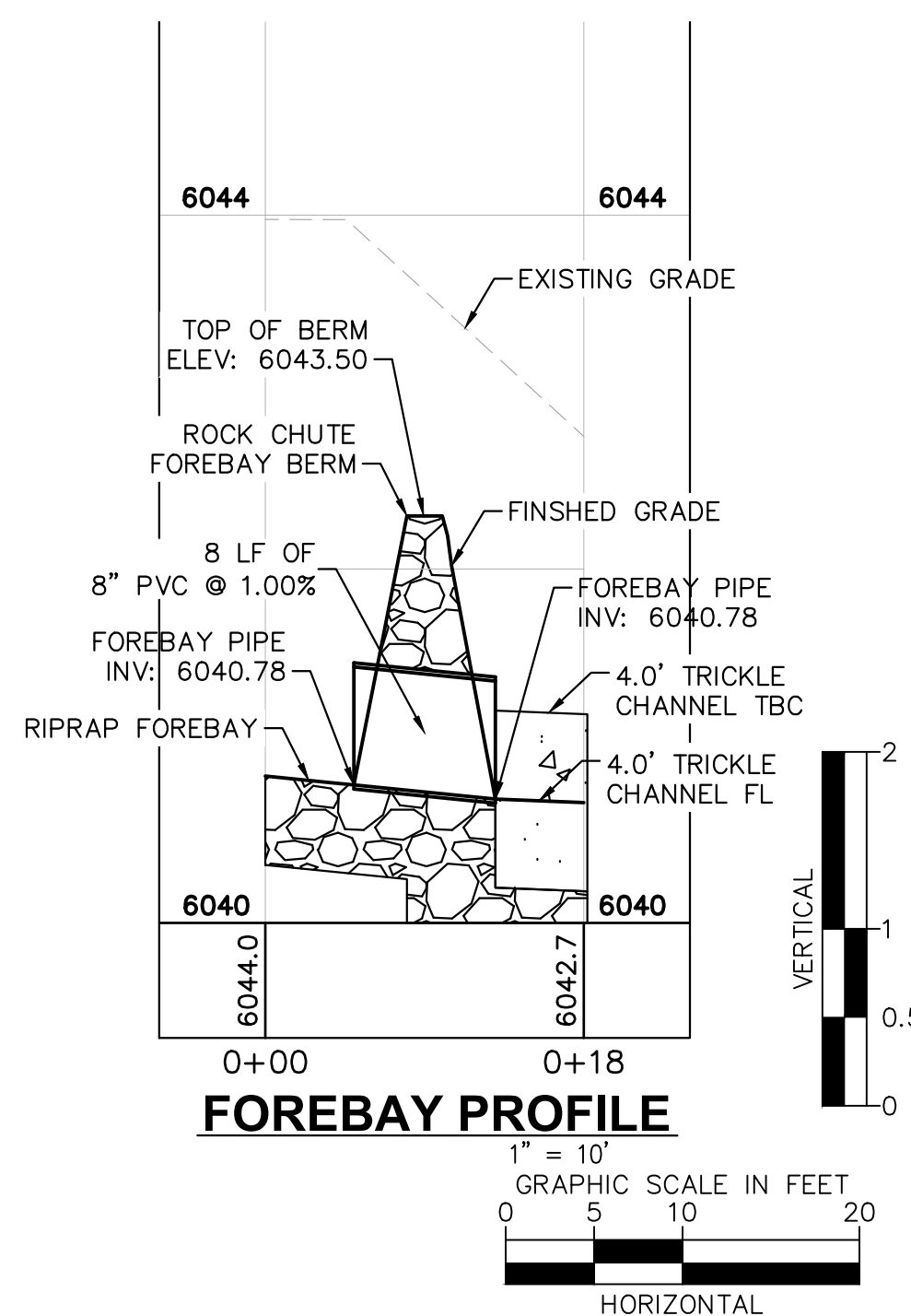
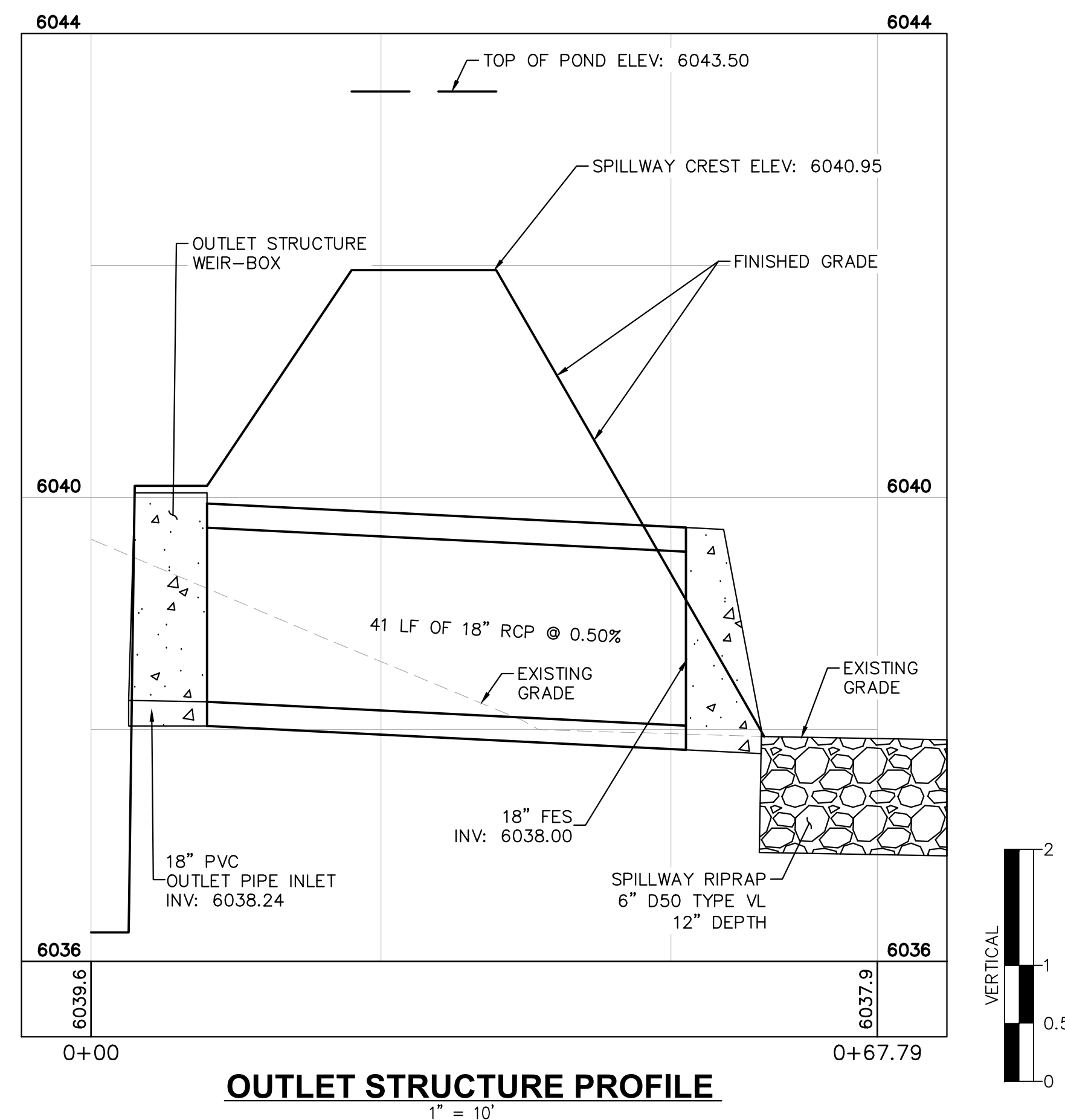
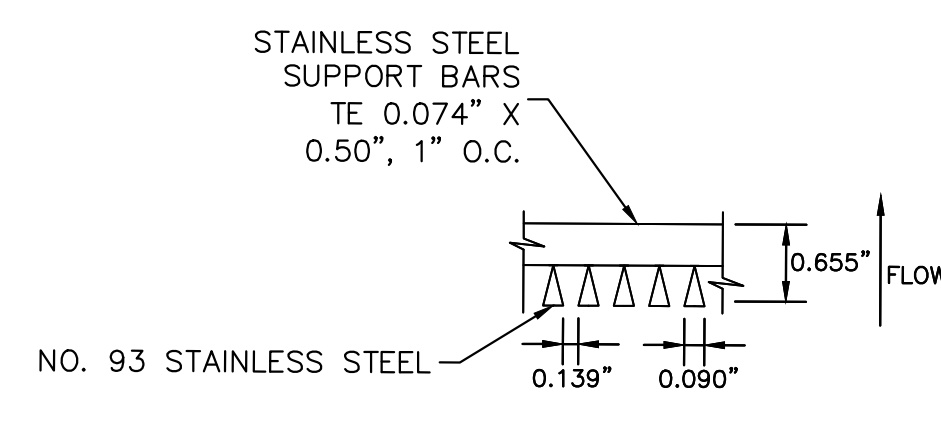
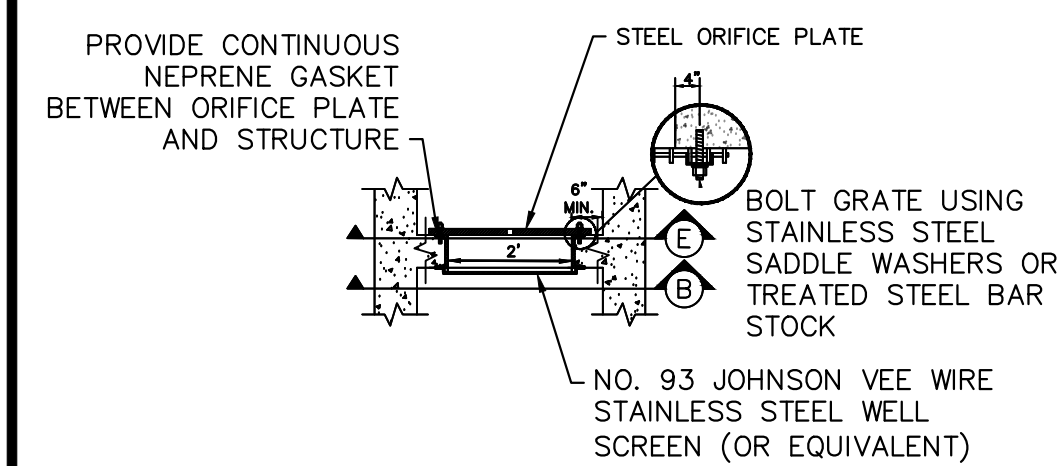
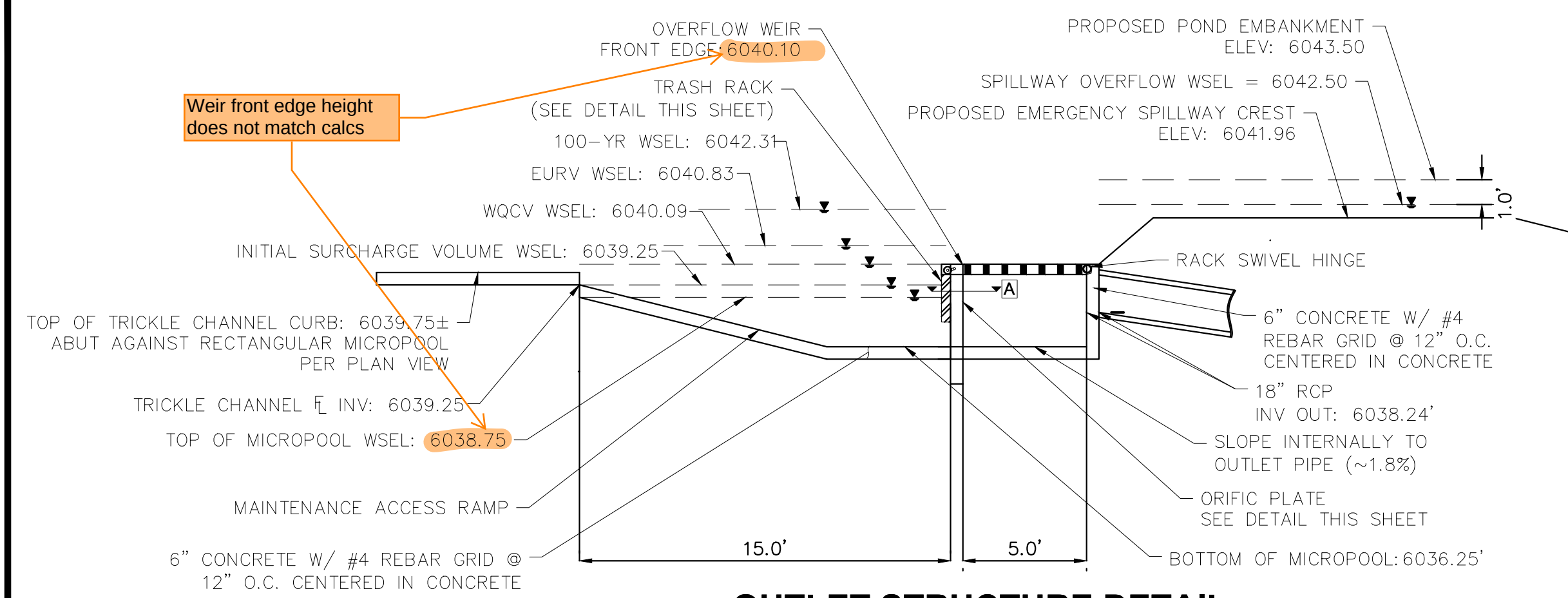
PROJECT NO.
196663001

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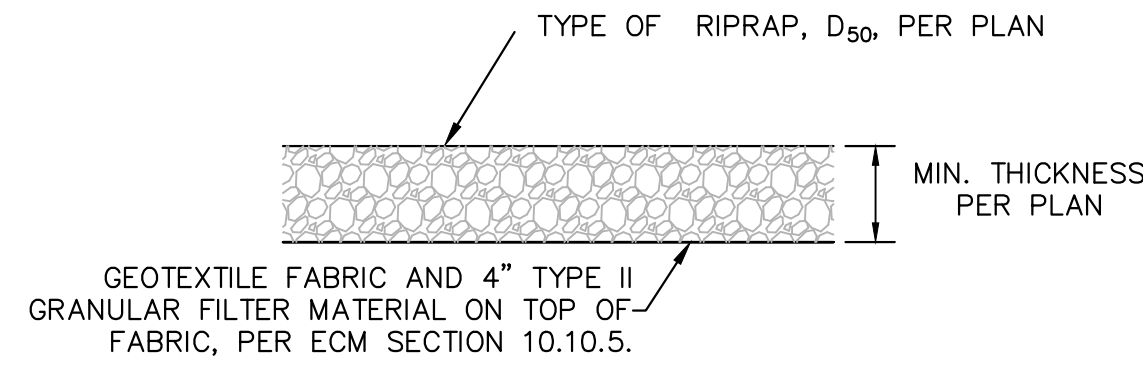


811 Know what's below.
Call before you dig.

PROJECT NO. 196663001
SHEET 11



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1. D50 = MEAN PARTICLE SIZE (INTERMEDIATE DIMENSION) BY WEIGHT.
2. RIP RAP SECTION THICKNESS SHALL BE 2.0 TIMES THE SPECIFIED MEAN PARTICLE SIZE (I.E. D50 X 2.0 MINIMUM) PER ECM SECTION 10.10.3.
3. ALL RIP RAP SHALL BE UNDERLAIN WITH GEOTEXTILE FILTER FABRIC FOR STABILIZATION.
4. RIP RAP SHALL WRAP AROUND AND EXTEND 2' MIN. BEHIND FLUME AND FLARED END SECTIONS.

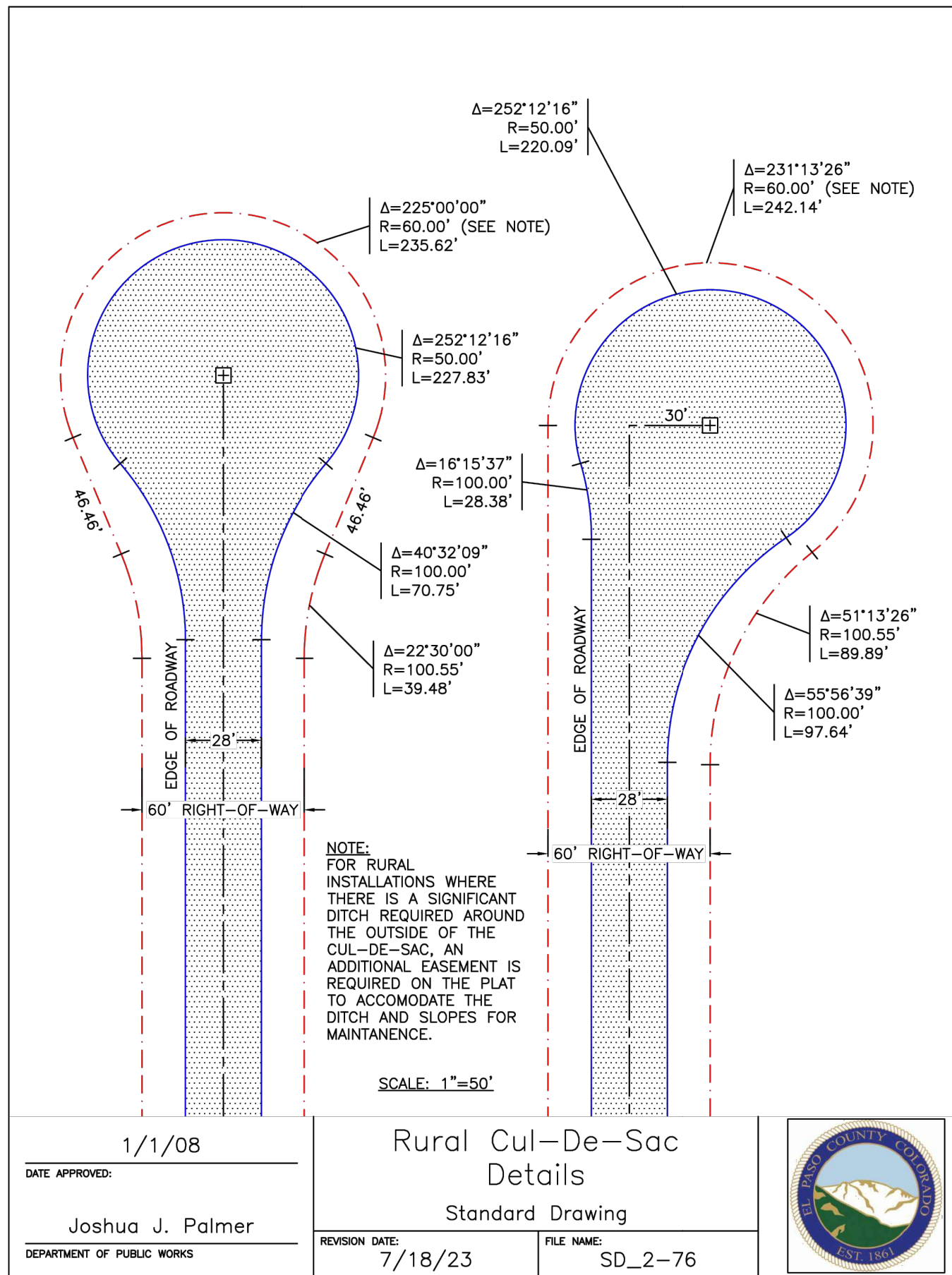
RIPRAP DETAIL N.T.S

Table 1: Riprap Gradation

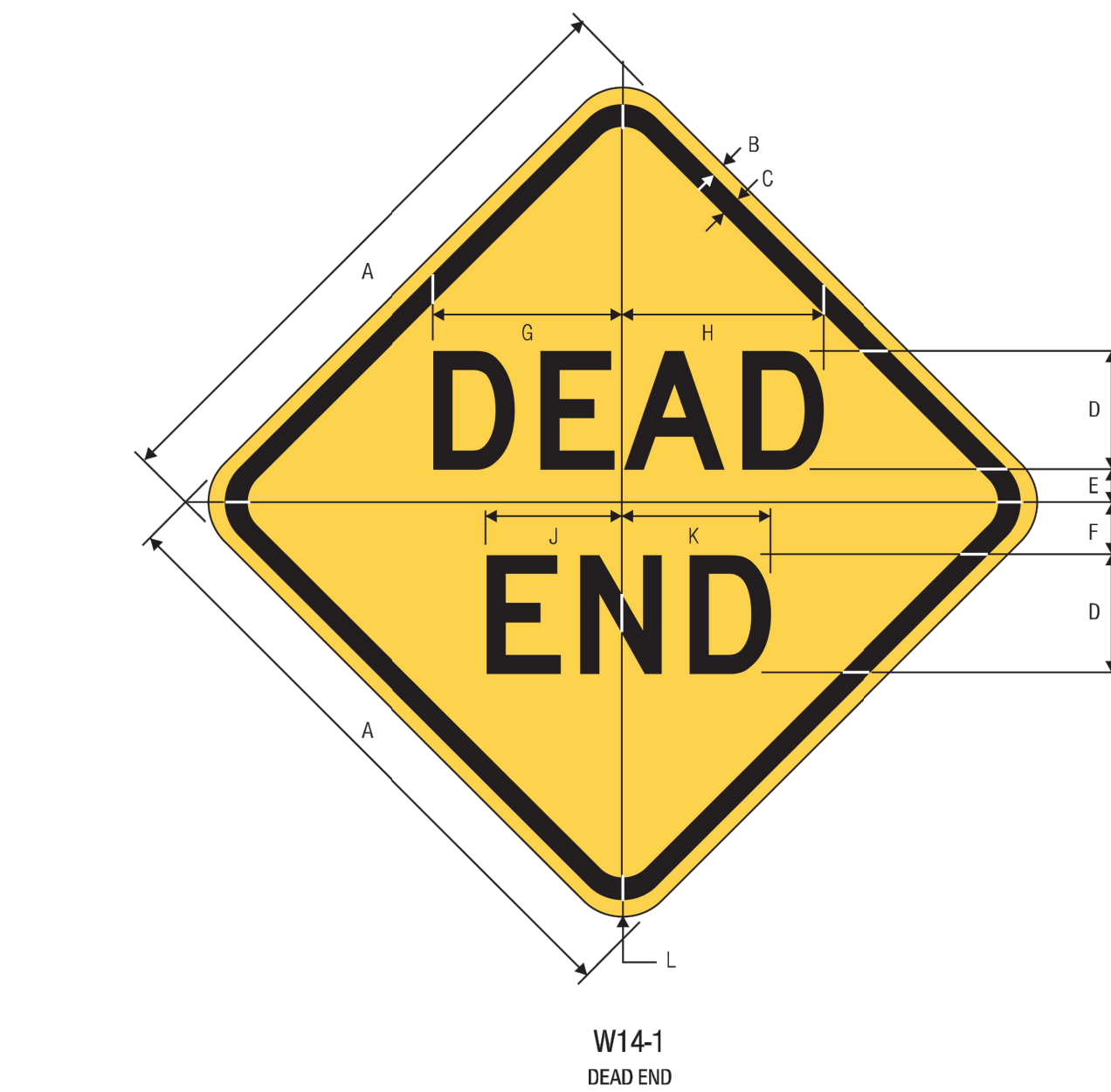
Riprap Designation	% Smaller Than Given Size By Weight	Intermediate Rock Dimension (inches)	d ₅₀ * (inches)
Type VL	70 - 100	12	6**
	50 - 70	9	
	35 - 50	6	
	2 - 10	2	
Type L	70 - 100	15	9**
	50 - 70	12	
	35 - 50	9	
	2 - 10	3	
Type M	70 - 100	21	12**
	50 - 70	18	
	35 - 50	12	
	2 - 10	4	
Type H	70 - 100	30	18
	50 - 70	24	
	35 - 50	18	
	2 - 10	6	
Type VH	70 - 100	41	24
	50 - 70	33	
	35 - 50	24	
	2 - 10	9	

*d₅₀ = Mean Particle Size

**Mix VL, L and M riprap with 35% topsoil (by volume) and bury it with 4 to 6 inches of topsoil, all vibration compacted, and revegetate.



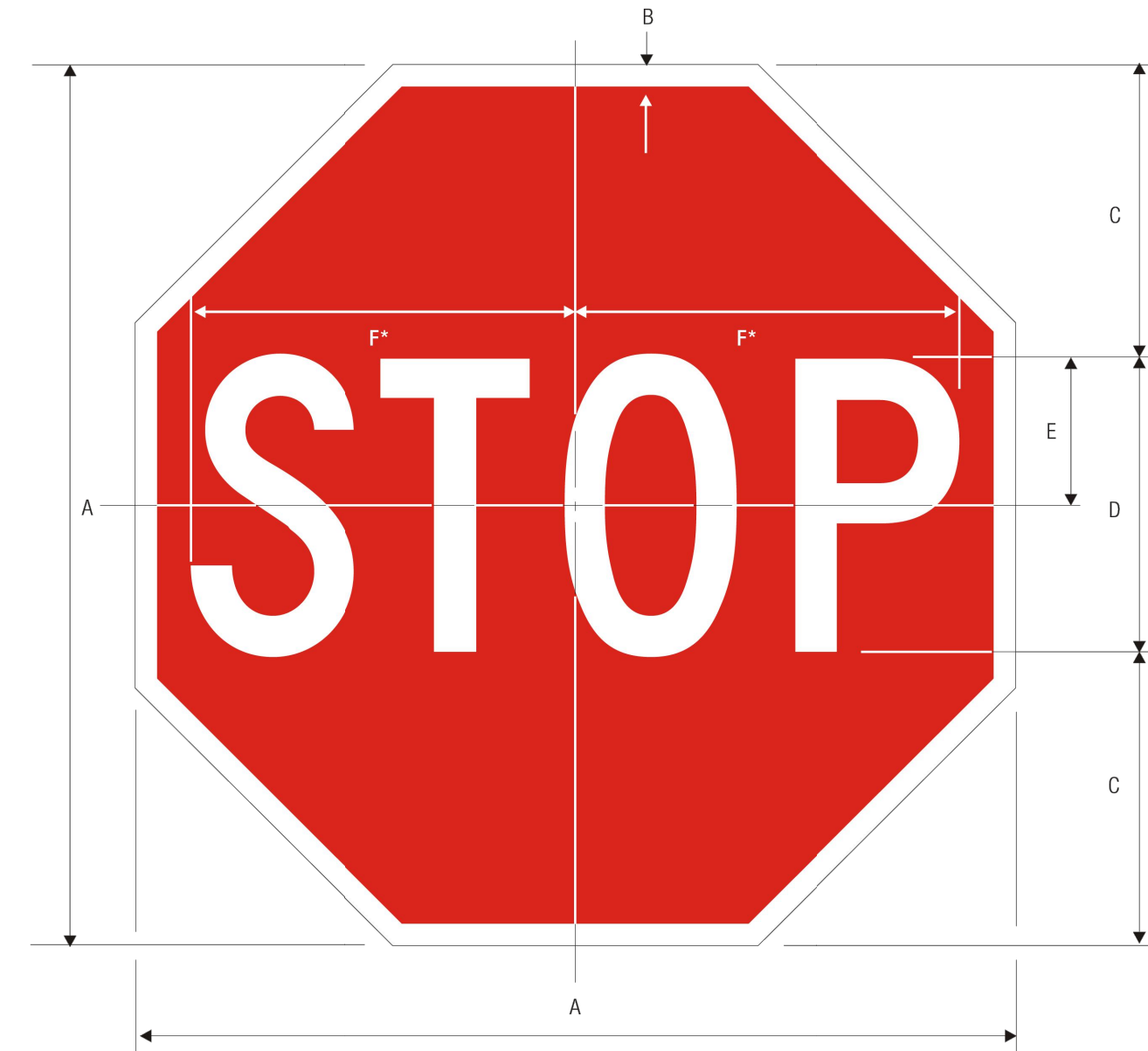
P:\ECM\July_2022_Estates\SD_2-76.dwg, Port. 7/27/2023 10:37:46 AM, d:\norton, Supersedes All Previously Dated Sets



W14-1
Revised 3/1/2012

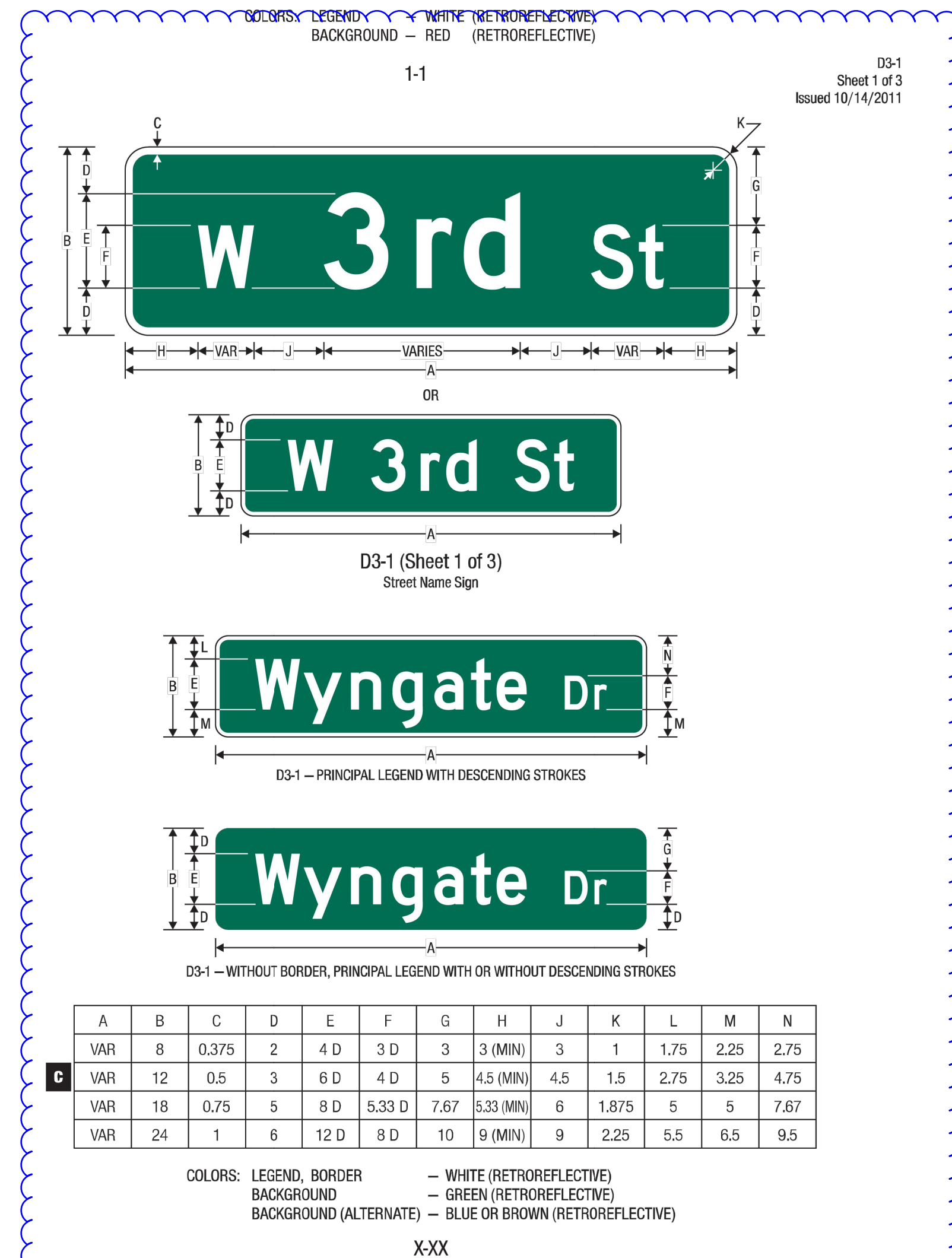
A	B	C	D	E	F	G	H	J	K	L
24	.375	.625	5 D	1	2	8.25	8.563	5.625	6.25	1.5
30	.5	.75	6 D	1.5	2.5	9.75	10.25	6.75	7.5	1.875
36	.625	.875	7 D	2	3	11.375	11.938	7.875	8.75	2.25
48	.75	1.25	10 D	2	4	16.5	17.126	11.25	12.5	3

COLORS: LEGEND, BORDER — BLACK
BACKGROUND — YELLOW (RETROREFLECTIVE)



R1-1
STOP
*Reduce spacing 40%

A	B	C	D	E	F
18	.375	6	6 C	3	7.75
24	.625	8	8 C	4	10
30	.75	10	10 C	5	12.5
36	.875	12	12 C	6	15
48	1.25	16	16 C	8	20



A	B	C	D	E	F	G	H	J	K	L	M	N
VAR	8	0.375	2	4 D	3 D	3	3 (MIN)	3	1	1.75	2.25	2.75
VAR	12	0.5	3	6 D	4 D	5	4.5 (MIN)	4.5	1.5	2.75	3.25	4.75
VAR	18	0.75	5	8 D	5.33 D	7.67	5.33 (MIN)	6	1.875	5	5	7.67
VAR	24	1	6	12 D	8 D	10	9 (MIN)	9	2.25	6.5	6.5	9.5

COLORS: LEGEND, BORDER — WHITE (RETROREFLECTIVE)
BACKGROUND — GREEN (RETROREFLECTIVE)
BACKGROUND (ALTERNATE) — BLUE OR BROWN (RETROREFLECTIVE)

X-XX



Kimley»Horn
2025 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue Suite 900
Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KRK
DRAWN BY: DJS
CHECKED BY: KRK
DATE: 09/23/2025

KRISTIN ESTATES
EL PASO COUNTY, COLORADO
CONSTRUCTION DOCUMENTS
CONSTRUCTION DETAILS

PRELIMINARY
FOR REVIEW ONLY
NOT FOR CONSTRUCTION
Kimley»Horn
Kimley-Horn and Associates, Inc.

PROJECT NO.
196663001

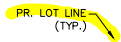
SHEET

13

Please use EPC private road sign detail and standards that were uploaded with the review 1 comments.

V2_Construction Drawings (PlansProfiles).pdf Markup Summary

CDurham (1)

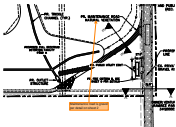


Subject: Highlight
Page Label: [3] 3 SITE PLAN
Author: CDurham
Date: 8/26/2026 8:44:00 AM
Status:
Color:
Layer:
Space:

EPC Stormwater- Zachary (17)

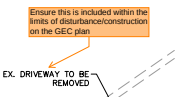


Subject: SW - Highlight
Page Label: [3] 3 SITE PLAN
Author: EPC Stormwater- Zachary
Date: 8/25/2026 7:47:24 AM
Status:
Color:
Layer:
Space:



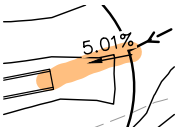
Subject: SW - Textbox with Arrow
Page Label: [3] 3 SITE PLAN
Author: EPC Stormwater- Zachary
Date: 8/25/2026 5:19:39 PM
Status:
Color:
Layer:
Space:

Maintenance road is gravel per detail on sheet 2



Subject: SW - Textbox with Arrow
Page Label: [3] 3 SITE PLAN
Author: EPC Stormwater- Zachary
Date: 8/25/2026 5:22:30 PM
Status:
Color:
Layer:
Space:

Ensure this is included within the limits of disturbance/construction on the GEC plan



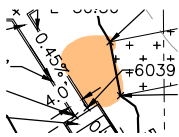
Subject: SW - Highlight
Page Label: [11] 11 POND PLAN
Author: EPC Stormwater- Zachary
Date: 8/25/2026 5:26:28 PM
Status:
Color:
Layer:
Space:



Subject: SW - Textbox with Arrow
Page Label: [11] 11 POND PLAN
Author: EPC Stormwater- Zachary
Date: 8/26/2026 7:53:57 AM
Status:
Color:
Layer:
Space:

Provide a detail that shows how the v-shaped ditch will tie into the rectangular forebay.

Also since this is a concentrated inflow point that will carry significant flows (~17 cfs in the 100 year) please provide calculations that demonstrate that a vegetated swale is suitable with the proposed slope and flow velocity. Reference EPC DCM Vol. 1 Chap 10.5 for allowable velocities for vegetated swales. If a vegetated swale is unsuitable please provide an armored rundown.



Subject: SW - Highlight
Page Label: [11] 11 POND PLAN
Author: EPC Stormwater- Zachary
Date: 8/26/2026 7:54:15 AM
Status:
Color:
Layer:
Space:



Subject: SW - Textbox with Arrow
Page Label: [11] 11 POND PLAN
Author: EPC Stormwater- Zachary
Date: 8/26/2026 7:57:13 AM
Status:
Color:
Layer:
Space:

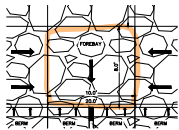
Unresolved comment from previous review:

Extend maintenance roadway all the way to the outlet structure.

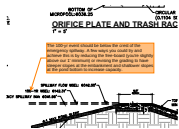


Subject: SW - Textbox with Arrow
Page Label: [11] 11 POND PLAN
Author: EPC Stormwater- Zachary
Date: 8/26/2026 9:07:39 AM
Status:
Color:
Layer:
Space:

Consider how the rock chute will be accessed for maintenance. Sediment removal from the riprap will likely require heavy machinery that will damage the pond bottom without stabilized maintenance access.

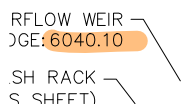


Subject: SW - Highlight
Page Label: [12] 12 POND DETAILS
Author: EPC Stormwater- Zachary
Date: 8/26/2026 7:45:03 AM
Status:
Color:
Layer:
Space:



Subject: SW - Textbox with Arrow
Page Label: [12] 12 POND DETAILS
Author: EPC Stormwater- Zachary
Date: 8/26/2026 8:49:42 AM
Status:
Color:
Layer:
Space:

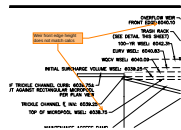
The 100-yr event should be below the crest of the emergency spillway. A few ways you could try and achieve this is by reducing the free-board (you're slightly above our 1' minimum) or revising the grading to have steeper slopes at the embankment and shallower slopes at the pond bottom to increase capacity.



Subject: SW - Highlight
Page Label: [12] 12 POND DETAILS
Author: EPC Stormwater- Zachary
Date: 8/26/2026 7:47:33 AM
Status:
Color:
Layer:
Space:

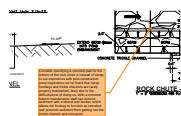
6039.25
EL: 6038.75

Subject: SW - Highlight
Page Label: [12] 12 POND DETAILS
Author: EPC Stormwater- Zachary
Date: 8/26/2026 7:47:36 AM
Status:
Color: 
Layer:
Space:



Subject: SW - Textbox with Arrow
Page Label: [12] 12 POND DETAILS
Author: EPC Stormwater- Zachary
Date: 8/26/2026 7:48:13 AM
Status:
Color: 
Layer:
Space:

Weir front edge height does not match calcs



Subject: SW - Textbox with Arrow
Page Label: [12] 12 POND DETAILS
Author: EPC Stormwater- Zachary
Date: 8/26/2026 8:12:19 AM
Status:
Color: 
Layer:
Space:

Consider specifying a concrete pad for the bottom of the rock chute is instead of riprap. In our experience with post-construction pond inspections we've found that riprap forebays and trickle channels are rarely properly maintained, likely due to the difficulty/cost of doing so. With a concrete bottom maintenance staff can remove sediment with a shovel and bucket, which allows the forebay to function as intended and prevents sediment from getting into the trickle channel and micropool.

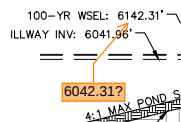


Subject: SW - Textbox with Arrow
Page Label: [12] 12 POND DETAILS
Author: EPC Stormwater- Zachary
Date: 8/26/2026 8:22:46 AM
Status:
Color: 
Layer:
Space:

Specify non-woven geotextile under rock (per design sheet in drainage report)

ILLWAY FLOW V
EL: 6142.31'
341.96'

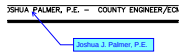
Subject: SW - Highlight
Page Label: [12] 12 POND DETAILS
Author: EPC Stormwater- Zachary
Date: 8/26/2026 8:39:58 AM
Status:
Color: 
Layer:
Space:



Subject: SW - Textbox with Arrow
Page Label: [12] 12 POND DETAILS
Author: EPC Stormwater- Zachary
Date: 8/26/2026 8:40:23 AM
Status:
Color: 
Layer:
Space:

6042.31?

Joseph Sandstrom (18)



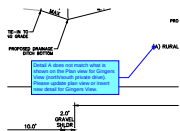
Subject: Callout
Page Label: [1] 1 COVER SHEET
Author: Joseph Sandstrom
Date: 8/25/2026 2:41:38 PM
Status:
Color: ■
Layer:
Space:

Joshua J. Palmer, P.E.



Subject: Text Box
Page Label: [1] 1 COVER SHEET
Author: Joseph Sandstrom
Date: 8/25/2026 3:58:06 PM
Status:
Color: ■
Layer:
Space:

Please include current County signing and striping notes from the County Engineer Website
<https://publicworks.elpasoco.com/departments-public-works/county-engineer/>

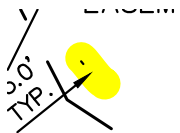


Subject: Callout
Page Label: [2] 2 TYPICAL SECTION & DETAILS
Author: Joseph Sandstrom
Date: 8/25/2026 11:40:16 AM
Status:
Color: ■
Layer:
Space:

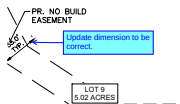
Detail A does not match what is shown on the Plan view for Gingers View (north/south private drive). Please update plan view or insert new detail for Gingers View.



Subject: Highlight
Page Label: [3] 3 SITE PLAN
Author: Joseph Sandstrom
Date: 8/25/2026 2:44:02 PM
Status:
Color: ■
Layer:
Space:



Subject: Highlight
Page Label: [3] 3 SITE PLAN
Author: Joseph Sandstrom
Date: 8/25/2026 2:44:03 PM
Status:
Color: ■
Layer:
Space:

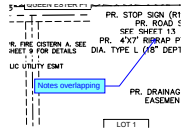


Subject: Callout
Page Label: [3] 3 SITE PLAN
Author: Joseph Sandstrom
Date: 8/25/2026 2:44:17 PM
Status:
Color: ■
Layer:
Space:

Update dimension to be correct.

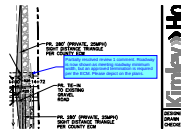
STOP SIGN (R1-1)
PR. ROAD SIGN
EE SHEET 13 FOR
'X7' RIPRAP PAD
E L (18" DEPTH)

Subject: Highlight
Page Label: [3] 3 SITE PLAN
Author: Joseph Sandstrom
Date: 8/25/2026 2:46:07 PM
Status:
Color: 
Layer:
Space:



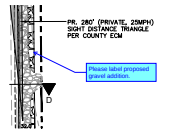
Subject: Callout
Page Label: [3] 3 SITE PLAN
Author: Joseph Sandstrom
Date: 8/25/2026 2:46:17 PM
Status:
Color: 
Layer:
Space:

Notes overlapping



Subject: Callout
Page Label: [3] 3 SITE PLAN
Author: Joseph Sandstrom
Date: 8/25/2026 3:07:21 PM
Status:
Color: 
Layer:
Space:

Partially resolved review 1 comment. Roadway is now shown as meeting roadway minimum width, but an approved termination is required per the ECM. Please depict on the plans.



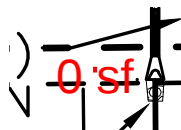
Subject: Callout
Page Label: [3] 3 SITE PLAN
Author: Joseph Sandstrom
Date: 8/25/2026 3:10:10 PM
Status:
Color: 
Layer:
Space:

Please label proposed gravel addition.



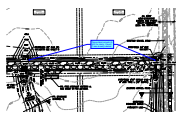
Subject: Callout
Page Label: [3] 3 SITE PLAN
Author: Joseph Sandstrom
Date: 8/25/2026 3:15:57 PM
Status:
Color: 
Layer:
Space:

See comment on the drainage deviation request regarding required transportation related deviation requests.



Subject: Area Measurement
Page Label: [3] 3 SITE PLAN
Author: Joseph Sandstrom
Date: 8/25/2026 4:06:10 PM
Status:
Color: 
Layer:
Space:

0 sf



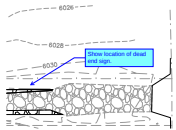
Subject: Callout
Page Label: [4] 4 ROAD PLAN & PROFILE
Author: Joseph Sandstrom
Date: 8/25/2026 3:31:53 PM
Status:
Color: ■
Layer:
Space:

Please label culverts (A & B) for clarity. Culvert C was already labeled.



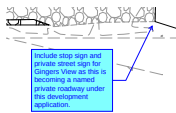
Subject: Text Box
Page Label: [4] 4 ROAD PLAN & PROFILE
Author: Joseph Sandstrom
Date: 8/25/2026 3:45:55 PM
Status:
Color: ■
Layer:
Space:

Please label all proposed pipes as private.



Subject: Callout
Page Label: [5] 5 PRIVATE ROAD - PLAN
Author: Joseph Sandstrom
Date: 8/25/2026 2:51:46 PM
Status:
Color: ■
Layer:
Space:

Show location of dead end sign.



Subject: Callout
Page Label: [5] 5 PRIVATE ROAD - PLAN
Author: Joseph Sandstrom
Date: 8/25/2026 2:55:17 PM
Status:
Color: ■
Layer:
Space:

Include stop sign and private street sign for Gingers View as this is becoming a named private roadway under this development application.



Subject: Callout
Page Label: [5] 5 PRIVATE ROAD - PLAN
Author: Joseph Sandstrom
Date: 8/26/2026 10:02:36 AM
Status:
Color: ■
Layer:
Space:

To satisfy the requirements of ECM 2.2.7, "new roadways shall be paved if it connects to an existing roadway that is paved" please pave the first 50 feet of Gingers View.



Subject: Cloud+
Page Label: [13] 13 CONSTRUCTION DETAILS
Author: Joseph Sandstrom
Date: 8/25/2026 2:47:56 PM
Status:
Color: ■
Layer:
Space:

Please use EPC private road sign detail and standards that were uploaded with the review 1 comments.