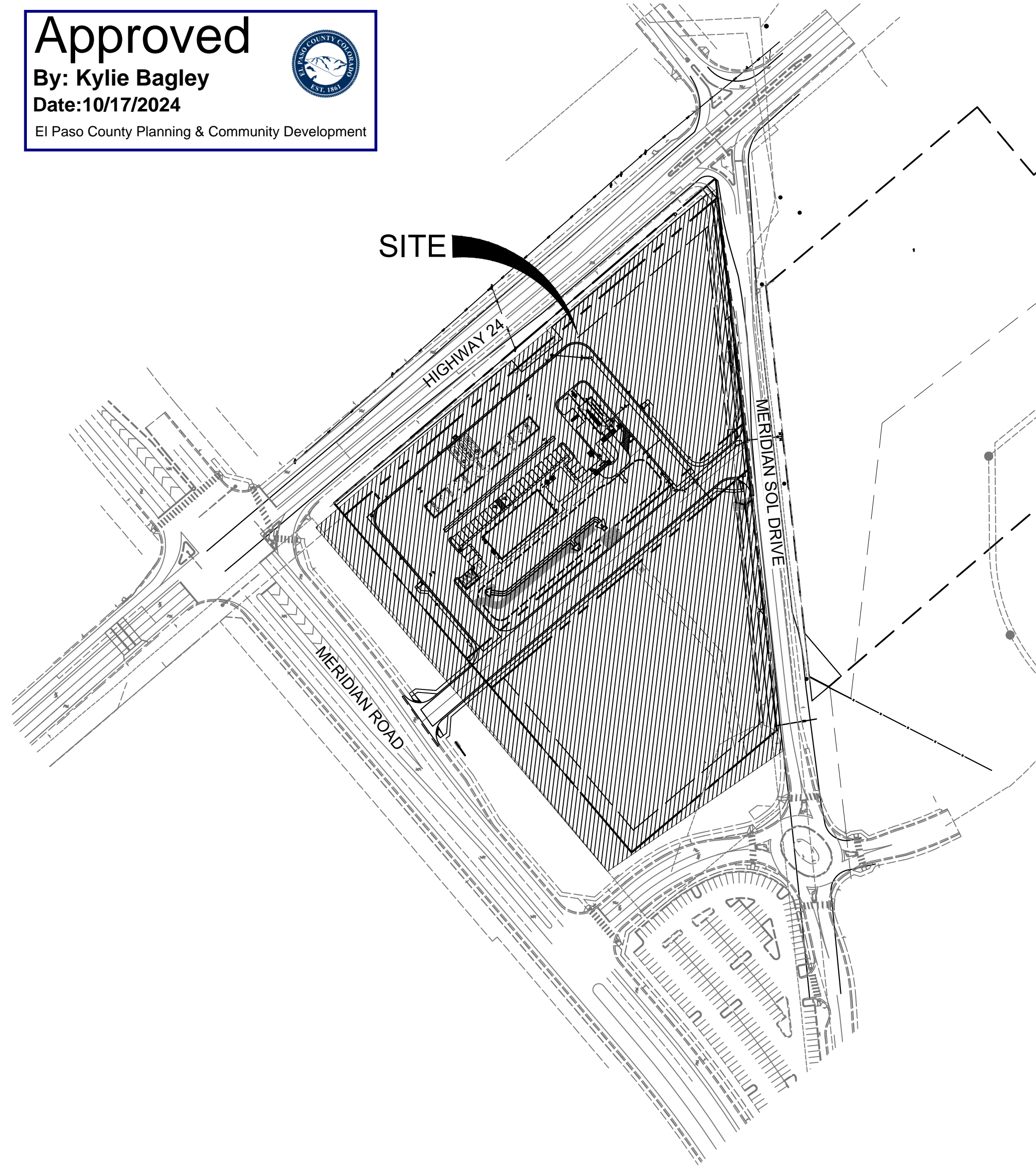


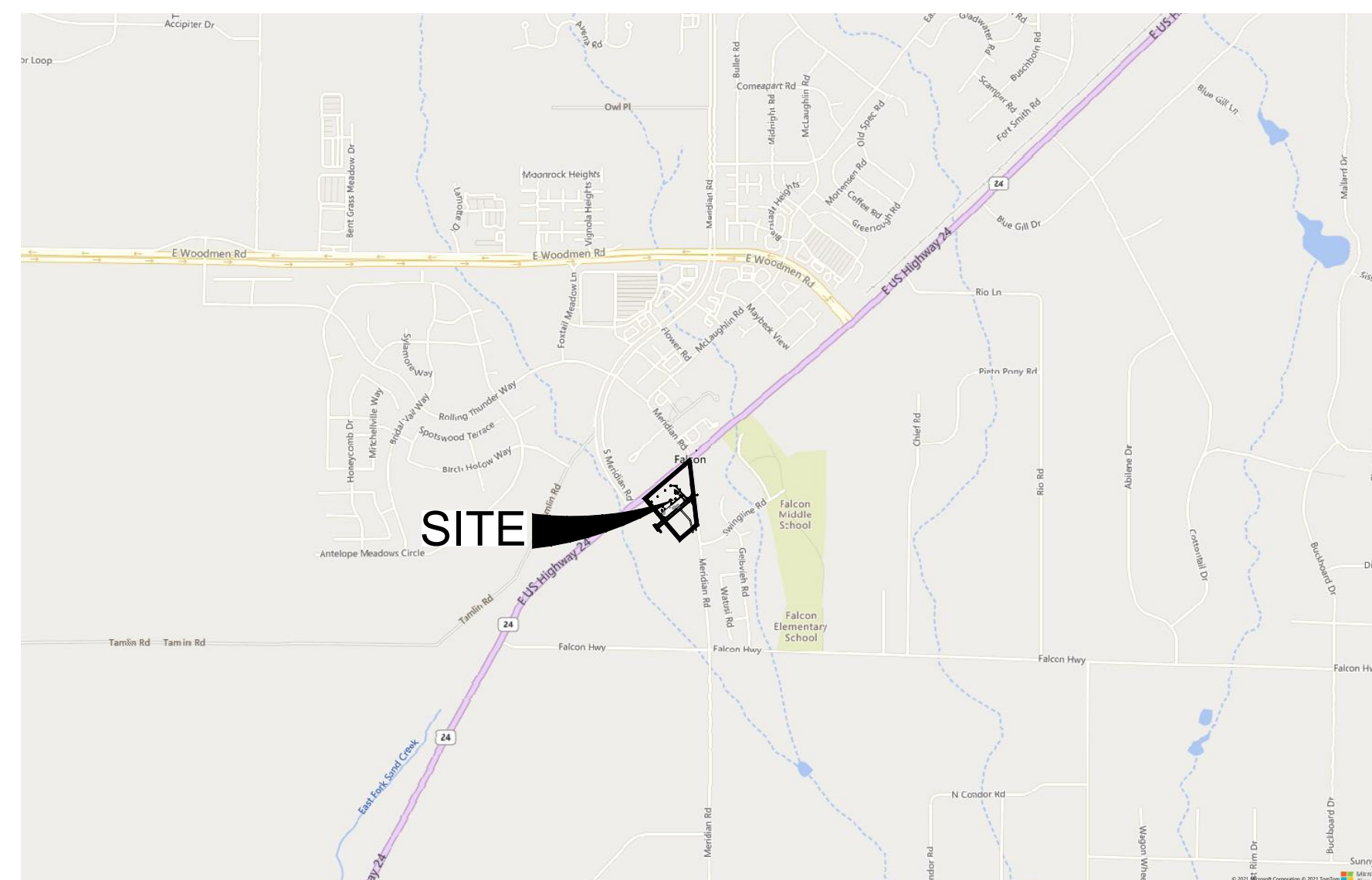
# CIRCLE K AT HIGHWAY 24 & MERIDIAN ROAD

## SITE DEVELOPMENT PLAN

EL PASO COUNTY, COLORADO  
JANUARY 2023



**SITE MAP**  
1" = 150'



**VICINITY MAP**  
1" = 2,000'

### SUMMARY DATA

PROPERTY SIZE	5.31 ACRES
TAX SCHEDULE NO.	5312402016, 5312403003, 5312403004, 5312402015, 5312405003, 5312404003, 5312405005.
PROJECT ADDRESS	6970 MERIDIAN SOL DRIVE
DEVELOPMENT SCHEDULE	--
EL PASO COUNTY MASTER PLAN	--
EXISTING ZONING	C-2, RR-5
PROPOSED ZONING	CS
PUD ORDINANCE	--
DRAINAGE BASIN	FALCON DRAINAGE BASIN
EXISTING LAND USE	MERCHANDISING
PROPOSED LAND USE	COMMERCIAL
BUILDING SETBACKS	25' FRONTAGE SETBACK
LANDSCAPE SETBACKS	SEE PLAN
MAX. BUILDING HEIGHT	50' MAX HEIGHT
PROPOSED OPEN SPACE / LANDSCAPING COVERAGE	138,085 SF (63%)
PROPOSED IMPERVIOUS COVERAGE	79,715 SF (38%)
GROSS BUILDING AREA	6,658 SF
PARKING REQUIRED	23 (1 ADA)
PARKING PROVIDED	28 (2 ADA)

### LEGAL DESCRIPTION

#### LOT 1

A PARCEL OF LAND BEING A PORTION OF BLOCKS 24 AND 25 AND PORTIONS THE VACATED ROADS AND ALLEYS AND PORTIONS OF ROADS TO BE VACATED IN FALCON SUBDIVISION, EL PASO COUNTY, COLORADO, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK B AT PAGE 37 AND LOCATED IN THE SOUTHEAST 1/4 OF SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTHEASTERLY ROW LINE OF EASTERN AVENUE AS SHOWN ON SAID FALCON SUBDIVISION WITH THE EASTERLY ROW LINE MERIDIAN SOL DRIVE (PREVIOUSLY OLD MERIDIAN ROAD) FROM WHICH THE INTERSECTION OF SAID SOUTHEASTERLY ROW LINE OF EASTERN AVENUE WITH THE EASTERLY ROW LINE OF 8TH STREET (AS SHOWN ON SAID FALCON SUBDIVISION) BEARS S49°58'22"W, A DISTANCE OF 317.56 FEET; THENCE N06°19'16"W ALONG THE EASTERLY ROW LINE OF SAID MERIDIAN SOL DRIVE (SAID LINE BEING THE BASIS OF BEARINGS FOR ALL BEARINGS STATED HEREIN), A DISTANCE OF 556.22 FEET TO THE TRUE POINT OF BEGINNING;

THENCE CONTINUING N06°19'16"W ALONG SAID EASTERLY ROW LINE, A DISTANCE OF 354.65 FEET;  
THENCE N40°25'48"W, A DISTANCE OF 2.94 FEET;  
THENCE S49°34'15"W AND PARALLEL WITH THE SOUTHEASTERLY ROW LINE OF US HIGHWAY 24, A DISTANCE OF 828.25 FEET TO THE EASTERLY ROW LINE SAID 8TH STREET;  
THENCE S40°25'21"E ALONG SAID EASTERLY ROW LINE, A DISTANCE OF 296.05 FEET;  
THENCE N49°37'09"E, A DISTANCE OF 629.41 FEET TO THE TRUE POINT OF BEGINNING.

THE DESCRIBED PARCEL CONTAINS 216,280 SQ. FT. OR 4.9651 ACRES, MORE OR LESS.

THE LINEAL UNIT OF MEASURE IS THE U.S. SURVEY FOOT.

#### TRACT A

A PARCEL OF LAND BEING A PORTION OF PACIFIC AVENUE AND A PORTION OF 8TH STREET IN FALCON SUBDIVISION, EL PASO COUNTY, COLORADO, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK B AT PAGE 37 AND LOCATED IN THE SOUTHEAST 1/4 OF SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTHEASTERLY ROW LINE OF EASTERN AVENUE AS SHOWN ON SAID FALCON SUBDIVISION WITH THE EASTERLY ROW LINE MERIDIAN SOL DRIVE (PREVIOUSLY OLD MERIDIAN ROAD) FROM WHICH THE INTERSECTION OF SAID SOUTHEASTERLY ROW LINE OF EASTERN AVENUE WITH THE EASTERLY ROW LINE OF 8TH STREET (AS SHOWN ON SAID FALCON SUBDIVISION) BEARS S49°58'22"W, A DISTANCE OF 317.56 FEET; THENCE N06°19'16"W ALONG THE EASTERLY ROW LINE OF SAID MERIDIAN SOL DRIVE (SAID LINE BEING THE BASIS OF BEARINGS FOR ALL BEARINGS STATED HEREIN), A DISTANCE OF 483.80 FEET TO THE TRUE POINT OF BEGINNING;

THENCE CONTINUING N06°19'16"W ALONG SAID EASTERLY ROW LINE, A DISTANCE OF 72.42 FEET;  
THENCE S49°37'09"W ALONG THE NORTHWESTERLY ROW LINE OF SAID PACIFIC AVENUE AND SAID LINE EXTENDED EASTERLY, A DISTANCE OF 629.41 FEET TO THE EASTERLY ROW LINE SAID 8TH STREET;  
THENCE S40°25'21"E ALONG SAID EASTERLY ROW LINE, A DISTANCE OF 60.00 FEET;  
THENCE N49°37'09"E ALONG THE SOUTHEASTERLY ROW LINE OF SAID PACIFIC AVENUE AND SAID LINE EXTENDED EASTERLY, A DISTANCE OF 588.81 FEET TO THE TRUE POINT OF BEGINNING.

THE DESCRIBED PARCEL CONTAINS 36,546 SQ. FT. OR 0.8390 ACRES, MORE OR LESS.

THE LINEAL UNIT OF MEASURE IS THE U.S. SURVEY FOOT.

### LANDSCAPE NOTES

- LANDSCAPING SHALL BE MAINTAINED BY THE OWNER OR THEIR ASSIGNS.
- ANY LANDSCAPING WITHIN THE PUBLIC RIGHTS-OF-WAY WILL BE SUBJECT TO A LICENSE AGREEMENT WITH EL PASO COUNTY FOR OWNERSHIP AND MAINTENANCE RESPONSIBILITIES.
- ANY OBJECT WITHIN THE SITE DISTANCE TRIANGLE OR EASEMENT MORE THAN 30 INCHES ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT ROADWAY SHALL CONSTITUTE A SIGHT OBSTRUCTION, AND SHALL BE REMOVED OR LOWERED. THE OBJECTS MAY INCLUDE BUT ARE NOT LIMITED TO BERMS, BUILDINGS, PARKED VEHICLES ON PRIVATE PROPERTY, CUT SLOPES, HEDGES, TREES, BUSHES, UTILITY CABINETS OR TALL CROPS. TREES MAY BE PERMITTED AT THE DISCRETION OF THE ECM ADMINISTRATOR IF PRUNED TO AT LEAST 8 FEET ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT ROADWAY.
- THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FURNITURE, AND OTHER ENCROACHMENTS SHALL PROVIDE SAFE CONDITIONS FOR PEDESTRIANS AND BICYCLISTS PER THE ENGINEERING CRITERIA MANUAL, AS AMENDED.

### COUNTY PLANNING CERTIFICATION

THESE CONSTRUCTION DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN ACCORDANCE WITH EL PASO COUNTY LAND DEVELOPMENT CODE.

DIRECTOR, PLANNING AND COMMUNITY DEVELOPMENT DATE

### BENCHMARK:

SITE BM NO. 1: CENTER OF SANITARY SEWER MANHOLE LOCATED 242 FEET SOUTH OF THE SOUTH EDGE OF ASPHALT OF HIGHWAY 24 AND 9 FEET EAST OF THE EAST EDGE OF ASPHALT OF OLD MERIDIAN ROAD NAVD88 DATUM ELEVATION 6825.51.

SITE BM NO. 2: CENTER OF SANITARY SEWER MANHOLE LOCATED 861 FEET SOUTH OF THE SOUTH EDGE OF ASPHALT OF HIGHWAY 24 AND 3 FEET EAST OF THE EAST EDGE OF ASPHALT OF OLD MERIDIAN ROAD NAVD88 DATUM ELEVATION 6816.71.

### BASIS OF BEARINGS:

ALL BEARINGS ARE BASED ON THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 12 AS MONUMENTED BY A 3-1/4 INCH ALUMINUM CAP STAMPED "EL PASO COUNTY DPM T13S S12/S7/S13/S18 R65W R64W 1962 LS 17496" AT THE SOUTHEAST CORNER OF SECTION 12 AND BY A 3-1/4 INCH ALUMINUM CAP STAMPED "SURVCON INC. T13S R65W 1/4 S12 S13 2003 PLS 30829" AT THE SOUTH 1/4 CORNER OF SECTION 12, SAID LINE BEARS N89°50'28"W.

### FLOODPLAIN NOTE

THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBER '08041C0561G', EFFECTIVE DATE 'DECEMBER 7, 2018'.

### ADA NOTE

THE SUBDIVIDER/DEVELOPER HAS FAMILIARIZED ITSELF WITH CURRENT AMERICANS WITH DISABILITIES ACT (ADA) LAWS AND ACCESSIBILITY STANDARDS AND HAS LAID OUT THE PLAN AND ASSOCIATED GRADING AND CONSTRUCTION PLANS SO THAT ALL SITE ELEMENTS MEET THE APPLICABLE ADA DESIGN STANDARDS AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN AND ASSOCIATED CONSTRUCTION DOCUMENTS BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. IT IS THE RESPONSIBILITY OF THE DEVELOPER/HOME BUILDER TO ENSURE ADA ACCESSIBILITY DURING CONSTRUCTION OF THE SIDEWALKS.

### GEOLOGY AND SOILS NOTE

A GEOLOGY AND SOILS STUDY REPORT, \_\_\_\_\_ BY \_\_\_\_\_, DATED \_\_\_\_\_ IS INCLUDED WITH THE SUBMITTAL PACKAGE. AS PART OF THIS STUDY, 78 EXPLORATORY TEST BORINGS WERE COMPLETED. GEOLOGIC HAZARDS WERE NOT FOUND TO BE PRESENT AT THIS SITE. POTENTIAL GEOLOGIC CONSTRAINTS WERE FOUND ON SITE TO INCLUDE: \_\_\_\_\_

REFER TO SAID REPORT FOR MITIGATION RECOMMENDATIONS.

### ENGINEER'S STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

BY: Nicole Schanel DATE: 03/01/2023

NICOLE SCHANEL, PE #52434  
FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC.

### EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JOSHUA PALMER DATE  
COUNTY ENGINEER / ECM ADMINISTRATOR

### OWNER/DEVELOPER:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

BY: Joe Pericak DATE: 3/6/2023

ZOE PERICAK DATE  
LAND DEVELOPMENT CONSULTANTS  
950 S. CHERRY STREET, SUITE 512  
DENVER, CO 80246

### CONTACT LIST

**OWNER**  
CIRCLE K STORES INC.  
5500 S. QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111  
PHONE: (720) 758-6223

**LAND SURVEYOR**  
RUBINO SURVEYING  
3312 AIRPORT ROAD  
BOULDER, COLORADO 80301  
PHONE: (303) 464-9515

**FIRE**  
FALCON FIRE PROTECTION DISTRICT  
7030 OLD MERIDIAN ROAD  
FALCON, CO 80831  
PHONE: (719) 495-4050

**DEVELOPER**  
LAND DEVELOPMENT CONSULTANTS, LLC  
950 S. CHERRY ST., SUITE 512  
DENVER, CO 80246  
SOFIA HERNANDEZ  
PHONE: (303) 717-3305  
SOFIA@LDCAZ.COM

**GEOTECHNICAL ENGINEER**  
TERRACON CONSULTANTS, INC.  
4172 CENTER PARK DRIVE  
COLORADO SPRINGS, CO 80916  
PHONE: (719) 597-2116

**STORM SEWER**  
EL PASO COUNTY PUBLIC SERVICES  
3275 AKERS DR.  
COLORADO SPRINGS, COLORADO 80922  
PHONE: (719) 520-6460

**CIVIL ENGINEER/ LANDSCAPE ARCHITECT**  
MATRIX DESIGN GROUP  
2435 RESEARCH PARKWAY, SUITE 300  
COLORADO SPRINGS, CO 80920  
NICOLE SCHANEL/ JASON ALLWINE  
PHONE: (719) 575-0100  
NICOLE.SCHANEL@MATRIXDESIGNGROUP.COM

**ELECTRICAL SERVICE**  
MOUNTAIN VIEW ELECTRIC ASSOCIATION  
11140 E. WOODMEN ROAD  
PEYTON, COLORADO 80831  
PHONE: (719) 495-2283

**GAS**  
COLORADO SPRINGS UTILITIES  
7710 DURANT DRIVE  
COLORADO SPRINGS, COLORADO 80920  
TIM BENEDICT  
PHONE: (719) 668-3574

**ARCHITECT**  
GREENBERG FARROW  
30 EXECUTIVE DRIVE, SUITE 100  
IRVINE, CA 92614  
DOUG COUPER  
PHONE: (949) 296-0450

**WATER & SANITARY**  
WOODMEN HILLS METRO DISTRICT  
8046 EASTONVILLE ROAD  
FALCON, CO 80831  
PHONE: (719) 495-2500



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**Matrix**  
Excellence by Design  
2435 RESEARCH PARKWAY, SUITE  
300 COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100

**LAND DEVELOPMENT**  
CONSULTANTS, LLC  
950 S. CHERRY ST., SUITE 512  
DENVER, CO 80246

OWNER/DEVELOPER:



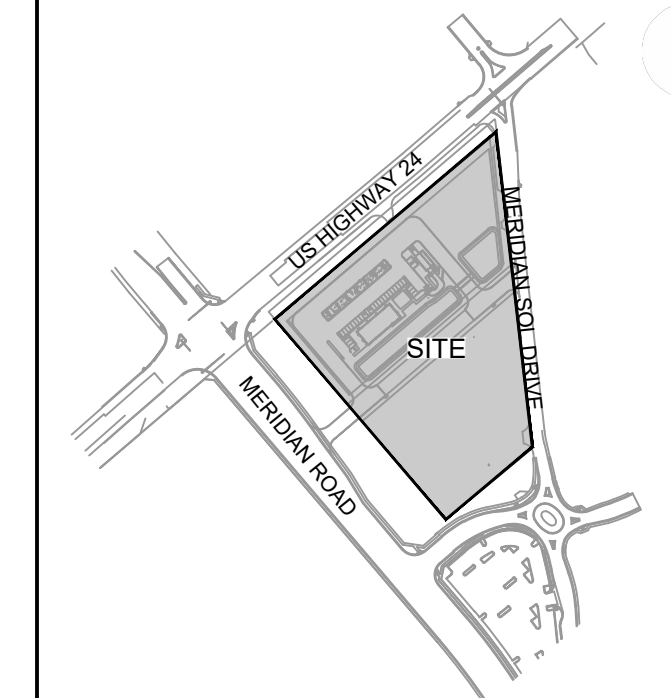
ROCKY MOUNTAINS DIVISION  
5500 S. QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111  
PHONE: (720) 758-6223

SEAL



FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC  
CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE MOST RECENT PROJECT CONSTRUCTION DOCUMENTS.  
MATRIX DESIGN GROUP IS NOT RESPONSIBLE FOR CHANGES, ALTERATIONS, OR USE OF CONSTRUCTION DOCUMENTS PRIOR TO JURISDICTIONAL APPROVAL.

VICINITY MAP:



PROJECT:

**CIRCLE K STORES INC.**

**SITE DEVELOPMENT PLAN**

**HIGHWAY 24 & MERIDIAN ROAD**

**FALCON, CO**

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
1	09/06/2022	PER REVIEW COMMENTS	
2	09/30/2022	75% CD SUBMITTAL	
3	10/07/2022	100% CD SUBMITTAL	
4	12/02/2022	CD 1ST RE-SUBMITTAL	
5	01/19/2023	CD 2ND RE-SUBMITTAL	

DRAWING INFORMATION:

PROJECT NO: 21.1207.037

DRAWN BY: LCB

CHECKED BY: NMS

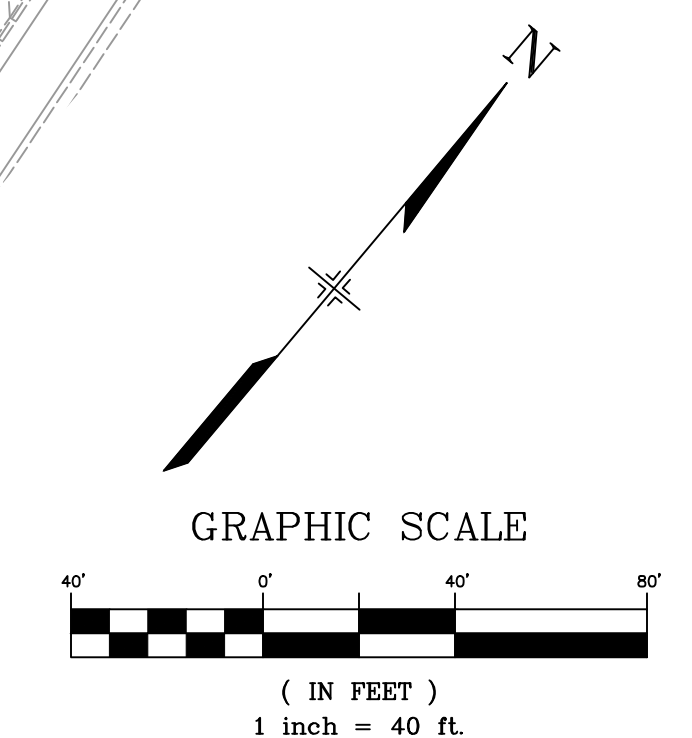
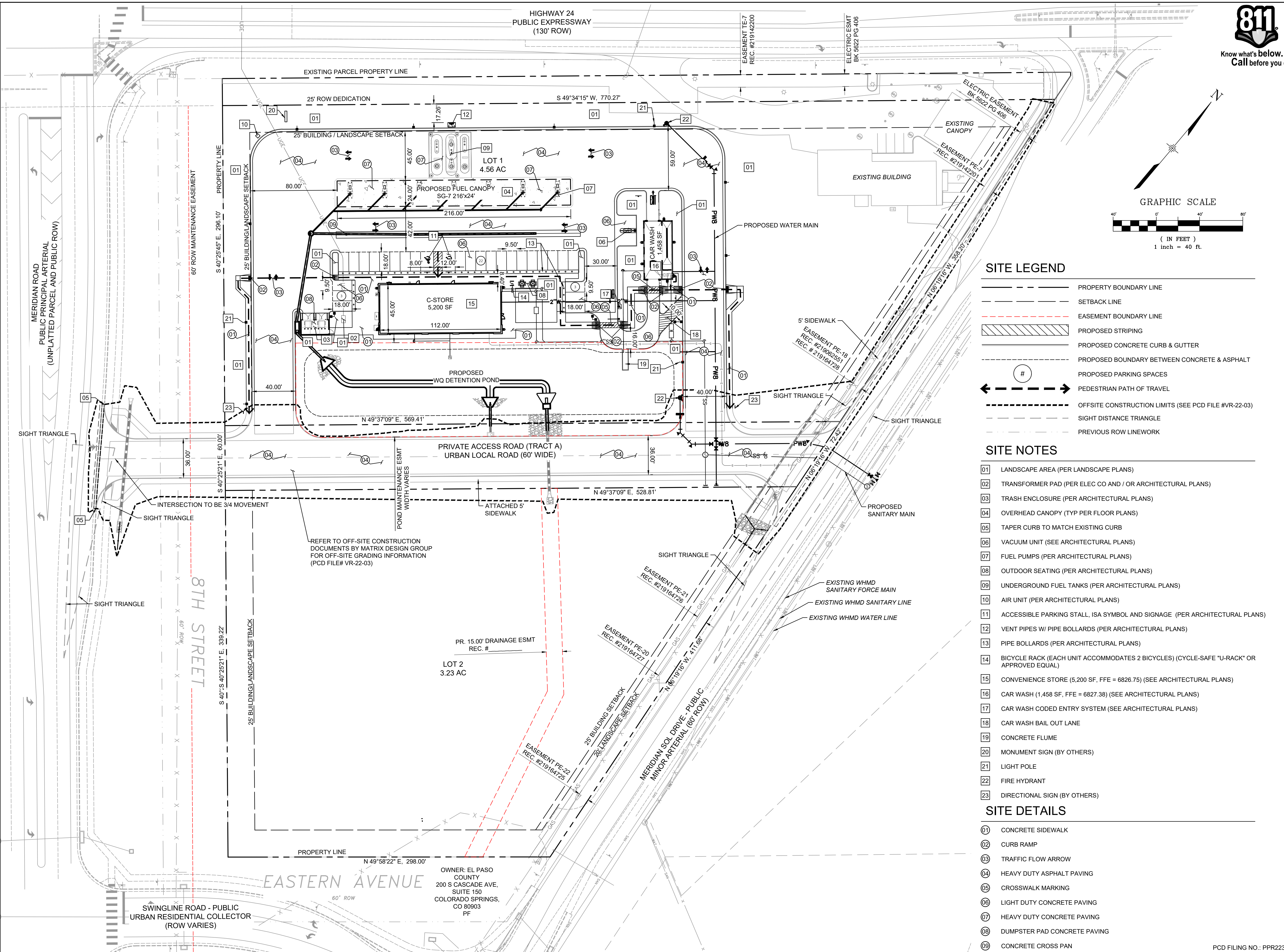
DESIGNED BY: NMS

SHEET TITLE:

**TITLE SHEET**

**SHEET 1 OF 2**  
**TS01**

FILE LOCATION: S:\CIRCLE K HWY 24 & MERIDIAN\DWG\PLAN SET\SITE DEVELOPMENT PLANS\SP01.DWG



### SITE LEGEND

- PROPERTY BOUNDARY LINE
- SETBACK LINE
- EASEMENT BOUNDARY LINE
- PROPOSED STRIPING
- PROPOSED CONCRETE CURB & GUTTER
- PROPOSED BOUNDARY BETWEEN CONCRETE & ASPHALT
- PROPOSED PARKING SPACES
- PEDESTRIAN PATH OF TRAVEL
- OFFSITE CONSTRUCTION LIMITS (SEE PCD FILE #VR-22-03)
- SIGHT DISTANCE TRIANGLE
- PREVIOUS ROW LINEWORK

### SITE NOTES

- 01 LANDSCAPE AREA (PER LANDSCAPE PLANS)
- 02 TRANSFORMER PAD (PER ELEC CO AND / OR ARCHITECTURAL PLANS)
- 03 TRASH ENCLOSURE (PER ARCHITECTURAL PLANS)
- 04 OVERHEAD CANOPY (TYP PER FLOOR PLANS)
- 05 TAPER CURB TO MATCH EXISTING CURB
- 06 VACUUM UNIT (SEE ARCHITECTURAL PLANS)
- 07 FUEL PUMPS (PER ARCHITECTURAL PLANS)
- 08 OUTDOOR SEATING (PER ARCHITECTURAL PLANS)
- 09 UNDERGROUND FUEL TANKS (PER ARCHITECTURAL PLANS)
- 10 AIR UNIT (PER ARCHITECTURAL PLANS)
- 11 ACCESSIBLE PARKING STALL, ISA SYMBOL AND SIGNAGE (PER ARCHITECTURAL PLANS)
- 12 VENT PIPES W/ PIPE BOLLARDS (PER ARCHITECTURAL PLANS)
- 13 PIPE BOLLARDS (PER ARCHITECTURAL PLANS)
- 14 BICYCLE RACK (EACH UNIT ACCOMMODATES 2 BICYCLES) (CYCLE-SAFE "U-RACK" OR APPROVED EQUAL)
- 15 CONVENIENCE STORE (5,200 SF, FFE = 6826.75) (SEE ARCHITECTURAL PLANS)
- 16 CAR WASH (1,458 SF, FFE = 6827.38) (SEE ARCHITECTURAL PLANS)
- 17 CAR WASH CODED ENTRY SYSTEM (SEE ARCHITECTURAL PLANS)
- 18 CAR WASH BAIL OUT LANE
- 19 CONCRETE FLUME
- 20 MONUMENT SIGN (BY OTHERS)
- 21 LIGHT POLE
- 22 FIRE HYDRANT
- 23 DIRECTIONAL SIGN (BY OTHERS)

### SITE DETAILS

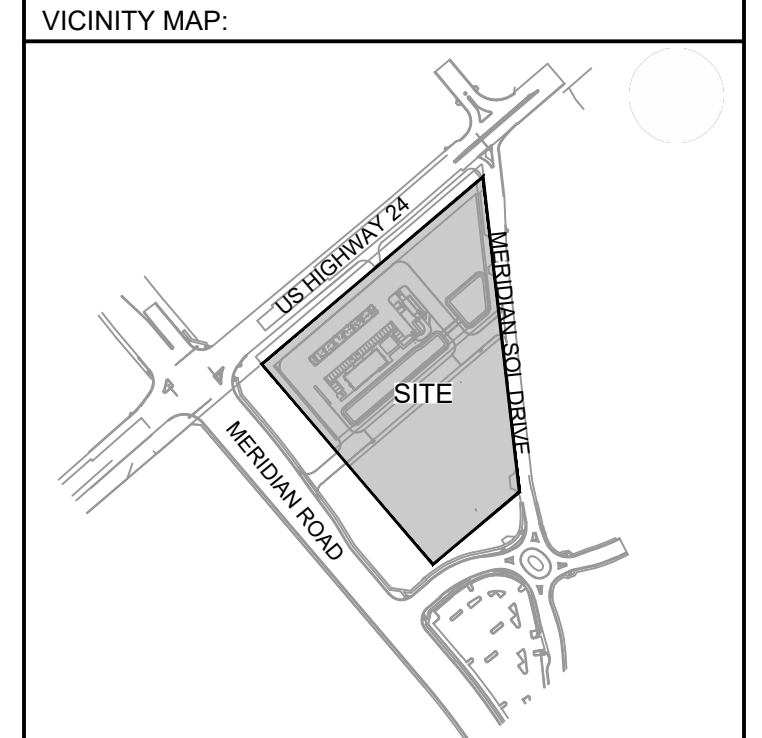
- 01 CONCRETE SIDEWALK
- 02 CURB RAMP
- 03 TRAFFIC FLOW ARROW
- 04 HEAVY DUTY ASPHALT PAVING
- 05 CROSSWALK MARKING
- 06 LIGHT DUTY CONCRETE PAVING
- 07 HEAVY DUTY CONCRETE PAVING
- 08 DUMPSTER PAD CONCRETE PAVING
- 09 CONCRETE CROSS PAN

CONSULTANTS:  
**Matrix**  
 Excellence by Design  
 2435 RESEARCH PARKWAY, SUITE 300  
 COLORADO SPRINGS, CO 80920  
 PHONE: (719) 575-0100

**LAND DEVELOPMENT**  
 CONSULTANTS, LLC  
 950 S. CHERRY ST., SUITE 512  
 DENVER, CO 80246

OWNER/DEVELOPER:  
**CIRCLE K**  
 ROCKY MOUNTAINS DIVISION  
 5500 S QUEBEC STREET, SUITE 100  
 GREENWOOD VILLAGE, CO 80111  
 PHONE: (720) 758-6223

SEAL  
  
 FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC  
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PROJECT:  
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 SITE DEVELOPMENT PLAN  
 HIGHWAY 24 & MERIDIAN ROAD  
 FALCON, CO

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DRAWING INFORMATION:  
 PROJECT NO: 21.1207.037  
 DRAWN BY: LCB  
 CHECKED BY: NMS  
 DESIGNED BY: NMS

# OVERALL SITE PLAN

SHEET 2 OF 2  
 SP01  
 ISSUE DATE: JANUARY 2023

**KEY NOTES**

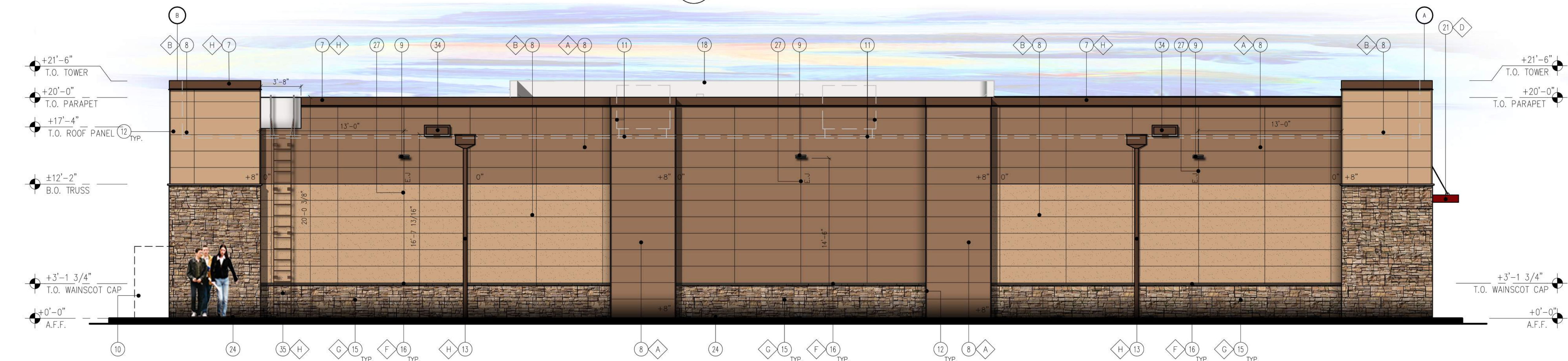
- DOOR DECAL PROVIDED AND INSTALLED BY GRAPHIC VENDOR
- LINE OF CANOPY / SOFFIT
- DARK BRONZE ANODIZED WINDOW FRAME W/ GRAY TINTED GLASS PER SOLARBAN SOLARGRAY SPECS
- INTERNALLY ILLUMINATED SIGN (UNDER SEPARATE PERMIT)
- DARK BRONZE ANODIZED DOOR W/ GRAY TINTED GLASS STOREFRONT SYSTEM
- SERVICE DOOR, PAINT TO MATCH SURROUNDING WALL
- PRE-FINISHED SIPs METAL FASCIA COPING
- NICHHA FIBER CEMENT WALL PANEL SYSTEM OVER SIPs / STRUCTURAL INSULATED PANELS SYSTEM
- WALL MOUNTED LIGHT FIXTURE COLOR BRONZE
- CT ENCLOSURE LOCATION.
- ROOF LINE AND HVAC UNITS
- 1-1/2" NICHHA CORNER KEY EDGE, TYP. TO ALL CORNERS
- DOWNSPOT
- ADDRESSING LOCATION: 8" TALL INCH BLACK NUMBERS. FINAL AREA LOCATION TO BE DETERMINED BY FIRE DEPARTMENT.
- 1 3/8" THK. X 6" NICHHA KURASTONE HIGH FIBER CEMENT WAINSCOT OVER SIPs / STRUCTURAL INSULATED PANELS SYSTEM
- 1-1/2" HIGH NICHHA FIBER CEMENT CAP INSTALL PER MFR. SPECS.
- NICHHA ESSENTIAL "OVERHANG" FLASHING
- SIPs PARAPET WALL BEYOND
- (KNOX) KEY-BOX AT 6'-0" AFF (IF REQUIRED BY FIRE DEPARTMENT)
- NOT USED
- ALUMINUM AWNING WITH SUPPORT RODS ABOVE THE SIDE ENTRY DOOR BY CIRCLE K VENDOR.
- EMERGENCY FUEL SHUT-OFF SWITCH
- INSULATED METAL DOOR
- NICHHA ESSENTIAL "STARTER" FLASHING 3" FROM THE HARD SURFACE
- CO2 TANK WITH METAL LOUVERED CONTAINER
- EXTERIOR FINISH TO EXTEND ABOVE SIDEWALK/GRADE
- CONTROL/EXPANSION JOINT "E.J." LOCATION
- SOFFIT - NICHHA FIBER CEMENT WALL PANEL SYSTEM
- WALL MOUNTED EMERGENCY LIGHT FIXTURE, COLOR: BRONZE
- DARK BRONZE ANODIZED WINDOW FRAME WITH SPANDREL GLASS
- GUTTER AND DOWNSPOUTS.
- METAL ROOF ACCESS LADDER WITH SECURITY DOOR LADDER GUARD MODEL #L66 C1 P2 COTTERMAN
- PARAPET BRACING
- EMERGENCY OVERFLOW SCUPPER.
- METAL ROOF ACCESS LADDER WITH SECURITY DOOR LADDER GUARD MODEL #L66 C1 P2 COTTERMAN

**FINISH SCHEDULE**

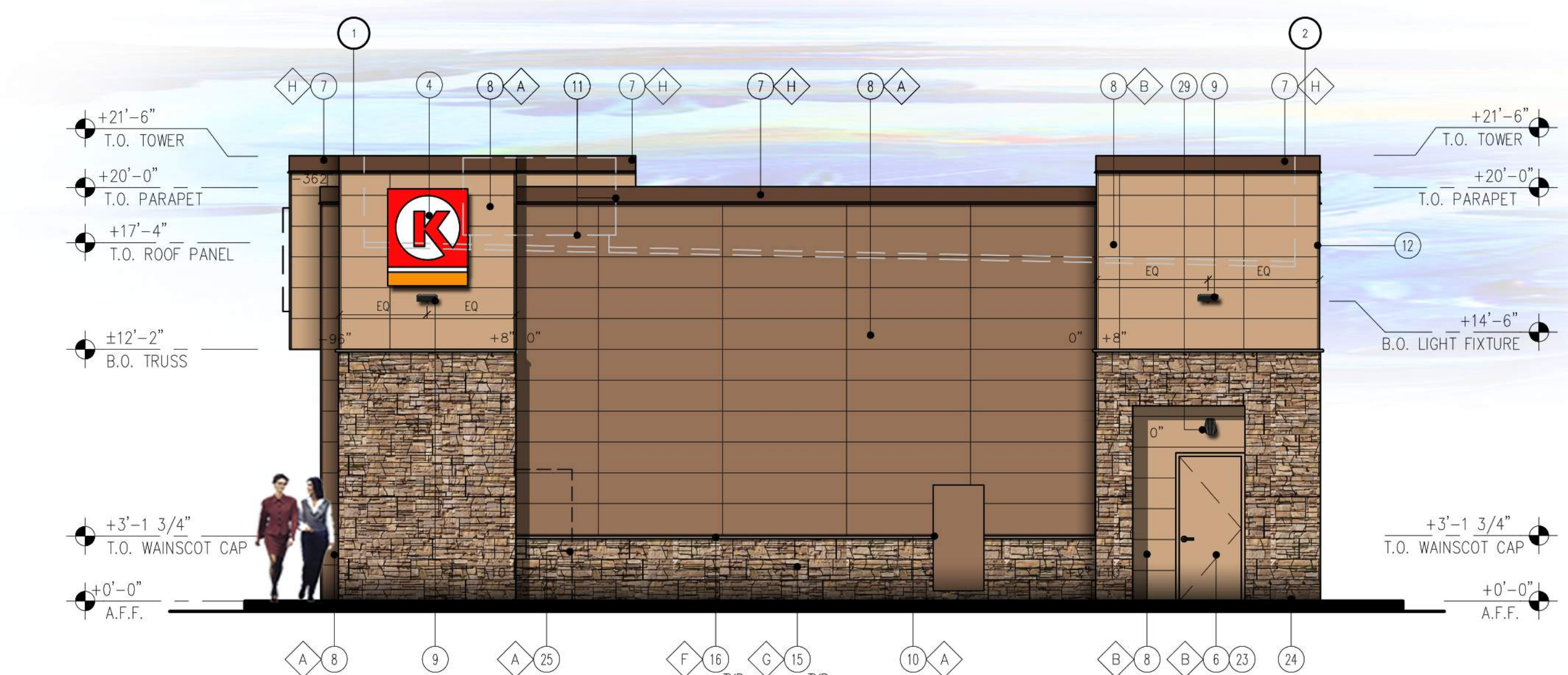
- A - \*\*\*NICHHA TUFF BLOCK - COLOR TO MATCH #SW 6095 TOASTY
  - B - \*\*\*NICHHA TUFF BLOCK - COLOR TO MATCH #SW 6115 TOTALLY TAN
  - C - 1" INSULATED, DOUBLE PANED GRAY TINTED GLASS
  - D - \*SHERWIN WILLIAMS #SW 4081 - \*\*SAFETY RED
  - E - \*SHERWIN WILLIAMS #SW 7005 - CIRCLE K WHITE
  - F - \*\*\*NICHHA CHISELED SILL TAN
  - G - \*\*\*NICHHA LEDGESTONE BLUFF
  - H - \*SHERWIN WILLIAMS #SW 6090 - JAVA - FIRESTONE MANSARD BROWN SR (USE FOR PRE-FINISHED METAL COPING)
  - I - CIRCLE K ORANGE #PMS 144
  - J - \*NICHHA TUFF BLOCK - COLOR TO MATCH #SW4081
- \* USE SHERWIN WILLIAMS MANUFACTURER ONLY  
 \*\* COLOR TO BE PRE-ORDERED TO ENSURE AVAILABILITY AT TIME OF CONSTRUCTION  
 \*\*\* PURCHASED BY CIRCLE K/INSTALLED BY G.C.  
 G.C. TO COORDINATE WITH CK PM AND OWNER'S REP  
 circlek@nichha.com



**1 FRONT ELEVATION (NORTHWEST)**  
SCALE: 3/16" = 1'-0"



**2 BACK ELEVATION (SOUTHEAST)**  
SCALE: 3/16" = 1'-0"



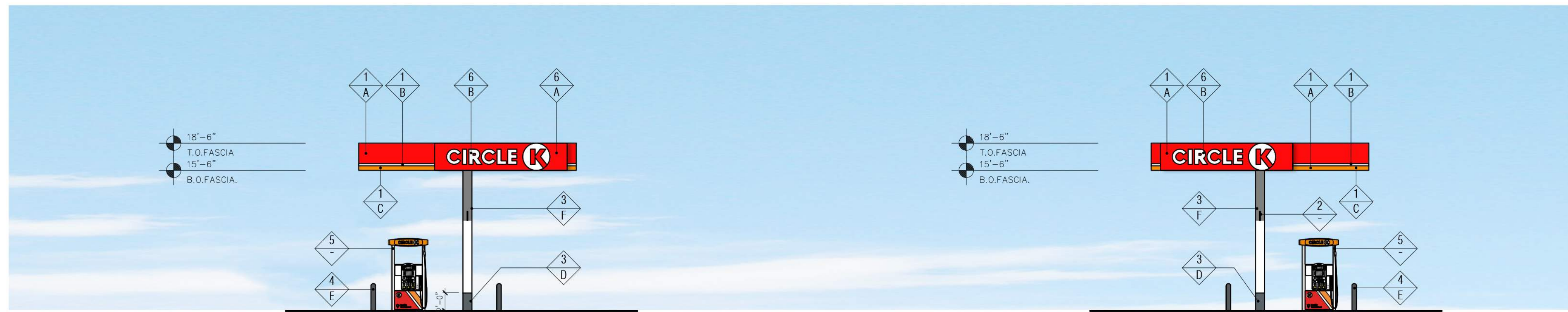
**3 SIDE ELEVATION (SOUTHWEST)**  
SCALE: 3/16" = 1'-0"



**4 SIDE ELEVATION (NORTHEAST)**  
SCALE: 3/16" = 1'-0"

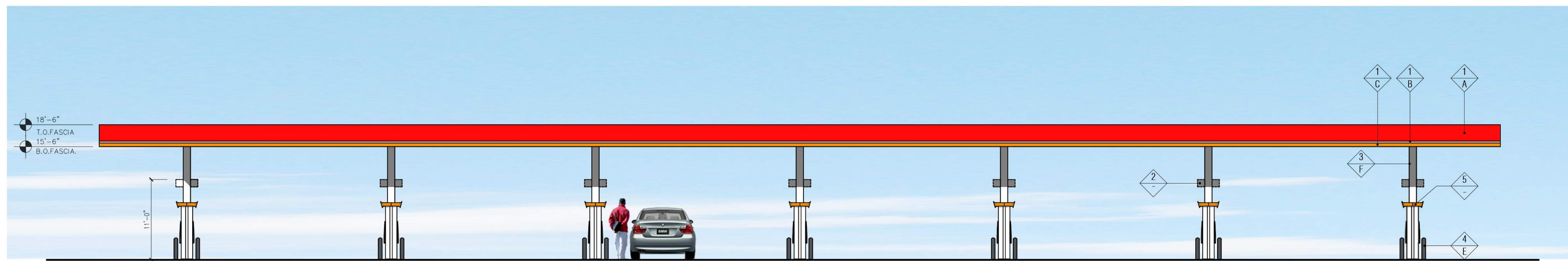
PLANNING AND COMMUNITY DIRECTOR  
EL PASO COUNTY

By: \_\_\_\_\_  
Name: \_\_\_\_\_

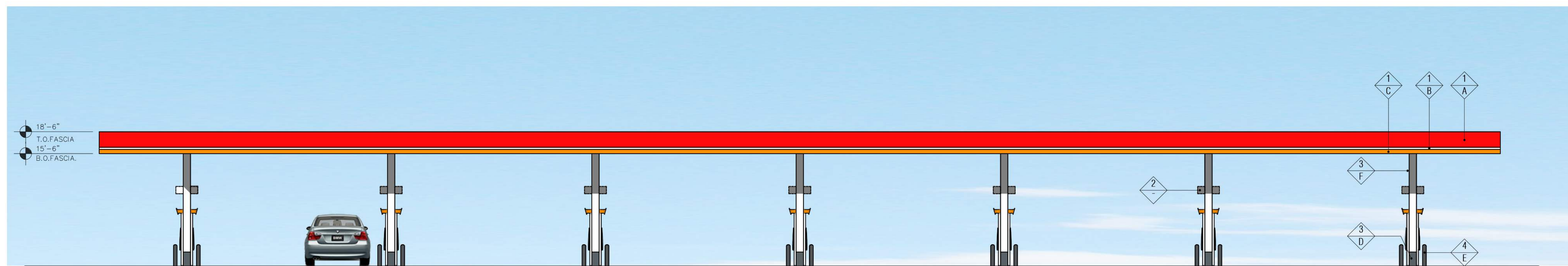


**3** "SIDE" ELEVATION (SOUTHWEST)  
SCALE: 1/8" = 1'-0"

**4** "SIDE" ELEVATION (NORTHEAST)  
SCALE: 1/8" = 1'-0"



**2** "FRONT" ELEVATION (NORTHWEST)  
SCALE: 1/8" = 1'-0"



**1** "REAR" ELEVATION (SOUTHEAST)  
SCALE: 1/8" = 1'-0"

**FINISH SCHEDULE**

FINISH MATERIAL	
1	ACM PANEL
2	COLUMN FLAGS BY SIGNAGE VENDOR
3	STEEL COLUMN WITH PAINT FINISH
4	6" Ø BOLLARD, 36" HIGH
5	FUEL PUMP
6	INTERNALLY ILLUMINATED SIGN UNDER SEPARATE PERMIT
FINISH COLOR	
A	CIRCLE K RED #PMS 485
B	CIRCLE K WHITE
C	CIRCLE K ORANGE #PMS 144
D	SHERWIN WILLIAMS - SW6236 - GRAYS HARBOR
E	PVC BOLLARD SLEEVE "DARK GRAY"
F	RAL9016 SHELL WARM WHITE

- Notes:
- Colors shown on these elevations are for illustration purposes only. For actual colors, refer to manufacturer's samples.
  - The fascia panels are pre-finished by signage vendor
  - All signs require a separate submittal.
  - All lighting on canopy to be flush mounted with fascia

PLANNING AND COMMUNITY DIRECTOR  
EL PASO COUNTY

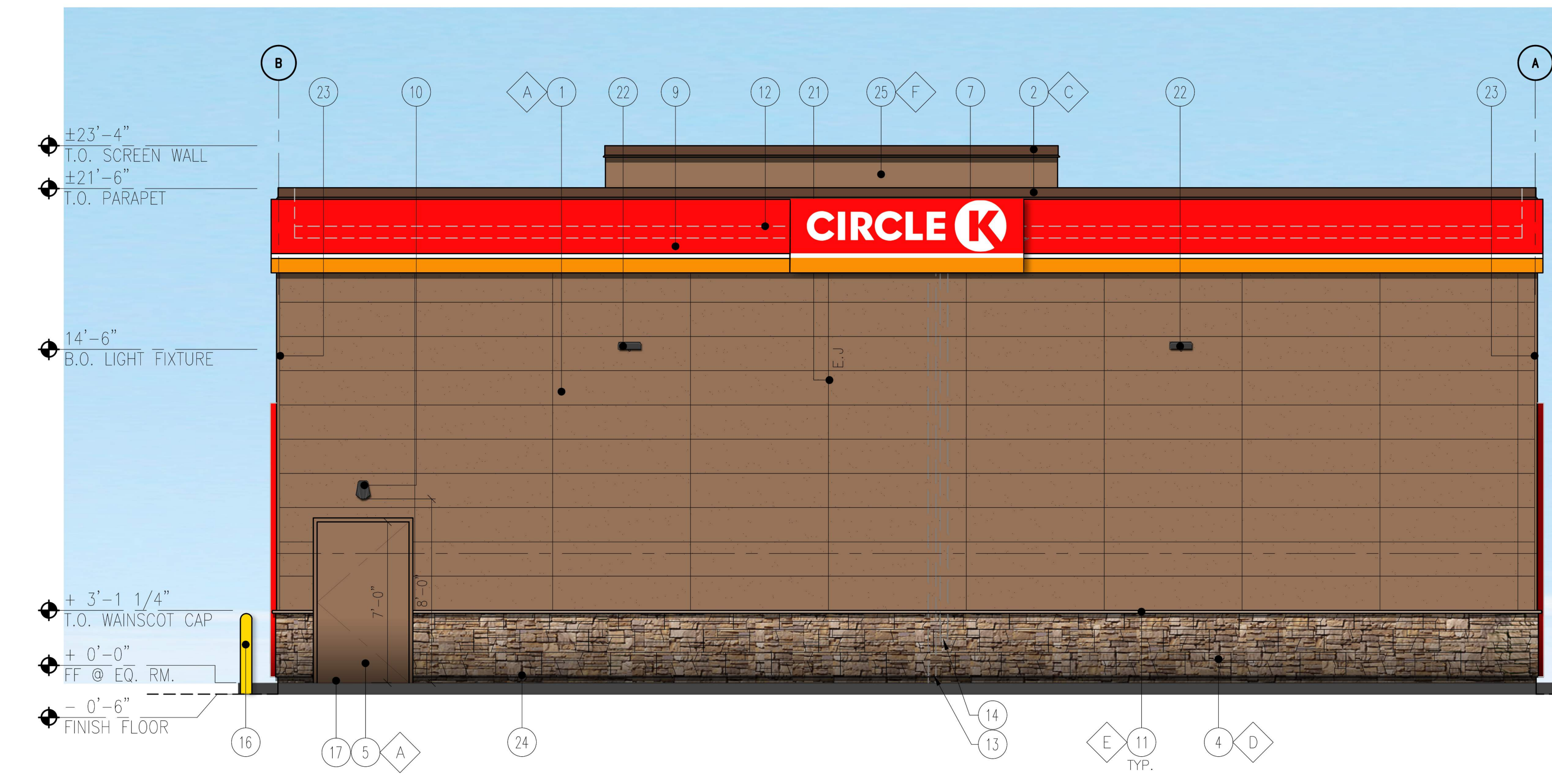
By: \_\_\_\_\_  
Name: \_\_\_\_\_



**4** SIDE ELEVATION - SOUTHWEST  
SCALE: 1/4" = 1'-0"



**2** FRONT ELEVATION - SOUTHEAST  
SCALE: 1/4" = 1'-0"



**3** SIDE ELEVATION - NORTHEAST  
SCALE: 1/4" = 1'-0"



**1** BACK ELEVATION - NORTHWEST  
SCALE: 1/4" = 1'-0"

**KEY NOTES**

1. NICHHA FIBER CEMENT WALL PANEL SYSTEM OVER SIPs / STRUCTURAL INSULATED PANELS SYSTEM
2. PREFINISHED METAL COPING
3. FRP WINDOW FRAME W/ GRAY TINTED GLASS WINDOW SYSTEM. PAINT WINDOW FRAME TO MATCH DARK BRONZE
4. 1 3/8" THK. X 6" NICHHA KURASTONE HIGH FIBER CEMENT WAINSCOT OVER SIPs / STRUCTURAL INSULATED
5. INSULATED HOLLOW METAL DOOR (U=0.70)
6. POLYCARBONATE OVERHEAD DOOR
7. LOGO/ CAR WASH SIGN PROVIDED AND INSTALLED BY SIGNAGE VENDOR - SIGNAGE UNDER SEPARATE PERMIT.
8. ADDRESS SIGN NUMBERS, 8" HIGH & 1" CONTRASTING BACKGROUND
9. ACM BAND PANEL PROVIDED & INSTALLED BY SIGNAGE VENDOR
10. EXTERIOR WALL SCOTCH
11. 1-1/2" HIGH NICHHA FIBER CEMENT CAP INSTALL PER MFR. SPECS.
12. LINE OF ROOF
13. ROOF DRAIN
14. OVERFLOW WITH SHEEP TONGUE, CONTRACTOR TO PROVIDE A CONCRETE SPLASH BLOCK AT THIS DOWNSPOUT LOCATION AT LANDSCAPE AREA.
15. PRE-FINISHED ACM PORTAL HEADER, PROVIDE POWER FOR LED LIGHTS AND BACK LIT LETTERS. COORDINATE WITH VENDOR
16. 42" H. 6" DIA. BOLLARD WITH TRAFFIC YELLOW PLASTIC COVER.
17. ISLAND/SIDEWALK WITH BROOM FINISH, SLOPED 1/4" PER FT. AWAY FROM BUILDING.
18. PRE-FINISHED ACM ENTRANCE PORTAL LEG W/ TIMER. PROVIDE POWER FOR TIMER. COORDINATE WITH VENDOR.
19. PRE-FINISHED ACM EXIT PORTAL LEG
20. PRE-FINISHED ACM PORTAL LEG
21. CONTROL/EXPANSION JOINT "E.J." LOCATION.
22. WALL MOUNTED LIGHT FIXTURE, COLOR: BRONZE.
23. 1-1/2" NICHHA CORNER KEY EDGE, TYP. TO ALL CORNERS
24. NICHHA ESSENTIAL "STARTER" FLASHING
25. ROOFTOP EQUIPMENT SIPs SCREEN WALLS

**FINISH SCHEDULE**

- A - \*\*\*NICHHA TUFF BLOCK
- B - COLOR TO MATCH #SW 6095 TOASTY
- C - 1" INSULATED, DOUBLE PANED GRAY TINTED GLASS
- D - \*SHERWIN WILLIAMS #SW 6090 - JAVA
- E - FIRESTONE MANSARD BROWN SR (USE FOR PRE-FINISHED METAL COPING)
- F - \*\*\*NICHHA LEDGESTONE BLUFF
- G - \*\*\*NICHHA CHSELED SILL TAN

\* USE SHERWIN WILLIAMS MANUFACTURER ONLY  
 \*\* COLOR TO BE PRE-ORDERED TO ENSURE AVAILABILITY AT TIME OF CONSTRUCTION  
 \*\*\* PURCHASED BY CIRCLE K/INSTALLED BY G.C.  
 G.C. TO COORDINATE WITH CK PM AND OWNER'S REP  
 circlek@nichha.com

PLANNING AND COMMUNITY DIRECTOR  
EL PASO COUNTY

By: \_\_\_\_\_  
Name: \_\_\_\_\_

# HIGHWAY 24 & MERIDIAN ROAD LANDSCAPE AND IRRIGATION 100% CONSTRUCTION DOCUMENTS

A PORTION OF THE SE 1/4 OF SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M.  
COUNTY OF EL PASO COUNTY, STATE OF COLORADO  
JANUARY 2023

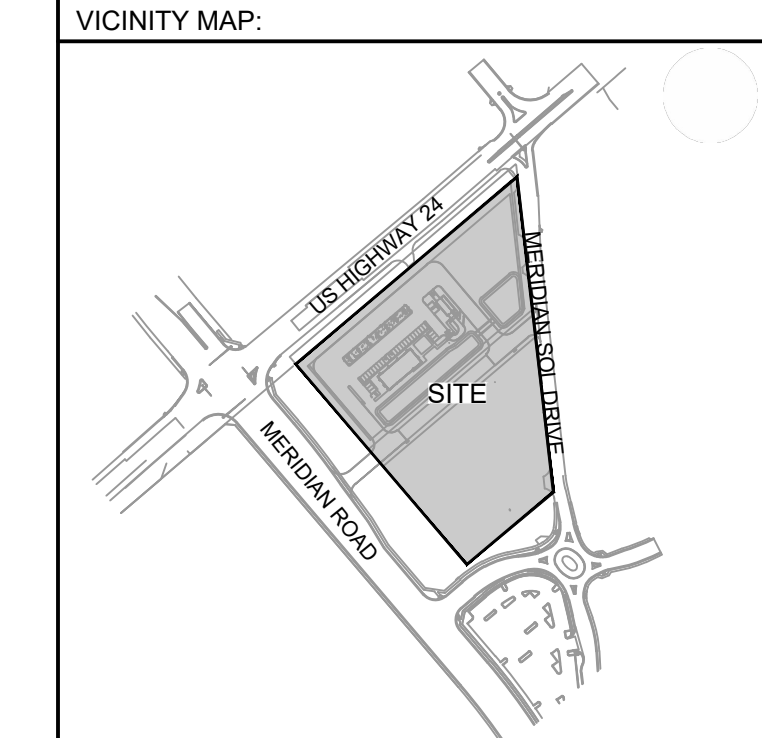


**Matrix**  
Excellence by Design  
2435 RESEARCH PARKWAY, SUITE  
300 COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100

**LAND DEVELOPMENT**  
CONSULTANTS, LLC  
950 S. CHERRY ST., SUITE 512  
DENVER, CO 80246

OWNER/DEVELOPER:  
**CIRCLE K**  
ROCKY MOUNTAINS DIVISION  
5500 S QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111  
PHONE: (720) 758-6223

SEAL  
  
FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC  
CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE  
MOST RECENT PROJECT CONSTRUCTION DOCUMENTS.  
MATRIX DESIGN GROUP IS NOT RESPONSIBLE FOR  
CHANGES, ALTERATIONS, OR USE OF CONSTRUCTION  
DOCUMENTS PRIOR TO JURISDICTIONAL APPROVAL.



PROJECT:  
**CIRCLE K STORES INC.**  
LANDSCAPE AND IRRIGATION  
100% CONSTRUCTION DOCUMENTS  
**HIGHWAY 24 & MERIDIAN ROAD  
FALCON, CO**

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
1	09/08/2022	PER REVIEW COMMENTS	
2	09/30/2022	75% CD SUBMITTAL	
3	10/07/2022	100% CD SUBMITTAL	
4	12/02/2022	CD 1ST RESUBMITTAL	
5	01/19/2023	CD 2ND RESUBMITTAL	

DRAWING INFORMATION:  
PROJECT NO: 21.1207.037  
DRAWN BY: KMM  
CHECKED BY: AJP  
DESIGNED BY: KMM

SHEET TITLE:  
**LANDSCAPE  
COVER**

LS01  
ISSUE DATE: JANUARY 2023

## CONTACT LIST

**OWNER**  
CIRCLE K STORES INC.  
5500 S. QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111  
PHONE: (720) 758-6223

**DEVELOPER**  
LAND DEVELOPMENT CONSULTANTS, LLC  
950 S. CHERRY ST., SUITE 512  
DENVER, CO 80246  
SOFIA HERNANDEZ  
PHONE: (303) 717-3305  
SOFIA@LDCAZ.COM

**CIVIL ENGINEER/ LANDSCAPE ARCHITECT**  
MATRIX DESIGN GROUP  
2435 RESEARCH PARKWAY, SUITE 300  
COLORADO SPRINGS, CO 80920  
NICOLE SCHANELI JASON ALWINE  
PHONE: (719) 575-0100  
JASON.ALWINE@MATRIXDESIGNGROUP.COM

**ARCHITECT**  
GREENBERG FARROW  
30 EXECUTIVE DRIVE, SUITE 100  
IRVINE, CA 92614  
DOUG COUPER  
PHONE: (949) 296-0450

**LAND SURVEYOR**  
RUBINO SURVEYING  
3312 AIRPORT ROAD  
BOULDER, COLORADO 80301  
PHONE: (303) 464-9515

**GEOTECHNICAL ENGINEER**  
TERRACON CONSULTANTS, INC.  
4172 CENTER PARK DRIVE  
COLORADO SPRINGS, CO 80916  
PHONE: (719) 597-2116

**ELECTRICAL SERVICE**  
MOUNTAIN VIEW ELECTRIC ASSOCIATION  
11140 E. WOODMEN ROAD  
PEYTON, COLORADO 80831  
PHONE: (719) 495-2283

**WATER & SANITARY**  
WOODMEN HILLS METRO DISTRICT  
8046 EASTONVILLE ROAD  
FALCON, CO 80831  
PHONE: (719) 495-2500

**FIRE**  
FALCON FIRE PROTECTION DISTRICT  
7030 OLD MERIDIAN ROAD  
FALCON, CO 80831  
PHONE: (719) 495-1050

**STORM SEWER**  
EL PASO COUNTY PUBLIC SERVICES  
3275 AKERS DR.  
COLORADO SPRINGS, COLORADO 80922  
PHONE: (719) 520-6460

**GAS**  
COLORADO SPRINGS UTILITIES  
7710 DURANT DRIVE  
COLORADO SPRINGS, COLORADO 80920  
TIM BENEDICT  
PHONE: (719) 668-3574

## LANDSCAPE REQUIREMENTS

**SITE DATA:**  
AREA OF PARCEL: 198,154 SF (4.56 AC)  
HIGHWAY 24 FRONTAGE: 765 LF  
MERIDIAN SOL FRONTAGE: 372 LF  
(NEW) MERIDIAN FRONTAGE: 321 LF  
PARKING: 28 SPACES

LANDSCAPE AREA	REQ.	PROV.
LANDSCAPE AREA (5% TOTAL AREA)	9,926 SF	110,000 SF

REQUIRED TREES	REQ.	PROV.
HIGHWAY 24 (1 PER 20 LF)-HW	39	35
MERIDIAN SOL ROAD (1 PER 25 LF)-OM	15	15
(NEW) MERIDIAN ROAD (1 PER 20 LF)-NM	16	15
INTERNAL (1 PER 500 SF LS AREA)-IN	20	12
PARKING (1 PER 15 SPACES)-MV	2	2
TOTAL TREES	92	79

REQUIRED SHRUBS	REQ.	PROV.
HIGHWAY 24 SUBSTITUTIONS (10 PER TREE)	40	41
MERIDIAN SOL ROAD SUBS (10 PER TREE)	0	--
(NEW) MERIDIAN ROAD SUBS (10 PER TREE)	10	10
INTERNAL SUBSTITUTIONS (10 PER TREE)	80	80
TOTAL SHRUBS	130	131

## SHEET INDEX

Sheet Title	Sheet Description
LS01	LANDSCAPE COVER
LS02	LANDSCAPE NOTES & DETAILS
LS03	LANDSCAPE PLAN
LS04	LANDSCAPE PLAN
IR01	IRRIGATION NOTES
IR02	IRRIGATION DETAILS
IR03	IRRIGATION PLAN

## COUNTY PLANNING CERTIFICATION

THESE CONSTRUCTION DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN ACCORDANCE WITH EL PASO COUNTY LAND DEVELOPMENT CODE.

DIRECTOR, PLANNING AND COMMUNITY DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_

## GENERAL LANDSCAPE NOTES

- CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL PROPOSED LANDSCAPING IS INSTALLED IN ACCORDANCE WITH PLANS, DETAILS, SPECIFICATIONS (IF APPLICABLE) AND ALL LOCAL CODES AND REQUIREMENTS.
- CONTRACTOR TO INSPECT SITE AND VERIFY CONDITIONS AND DIMENSIONING PRIOR TO PROCEEDING WITH WORK DESCRIBED HERE IN. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING ANY CONSTRUCTION.
- QUANTITIES PROVIDED IN THE PLANT LIST ARE FOR GENERAL USE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLANT AND LANDSCAPE MATERIAL QUANTITIES. SYMBOL COUNT ON PLAN TAKES PRECEDENCE OVER TABLE QUANTITIES.
- IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE OWNER'S REPRESENTATIVE AND/OR THE LANDSCAPE ARCHITECT OF UNAVAILABILITY OF SPECIFIED PLANT MATERIAL FROM COMMERCIAL NURSERIES. THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS IF UNAVAILABILITY OCCURS. SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
- ALL PLANT MATERIALS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
- CONTAINER GROWN STOCK SHOULD HAVE GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER.
- ANY PLANT SUBSTITUTIONS, RELOCATION, OR REQUIRED CHANGE SHALL REQUIRE THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER.
- THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REFUSE ANY MATERIAL THEY DEEM UNACCEPTABLE.
- COORDINATE WITH PROJECT REPRESENTATIVE FOR DISTURBED SITE TREATMENTS OUTSIDE LANDSCAPE IMPROVEMENTS. SEE CIVIL PLANS FOR SOIL STABILIZATION FOR EROSION CONTROL.
- IF REQUIRED, CONTRACTOR TO ENSURE THAT AN AUTOMATED IRRIGATION SYSTEM THAT PROVIDES COMPLETE COVERAGE OF THE SITE IS INSTALLED PRIOR TO INSTALLING TREES/PALMS (SEE IRRIGATION PLAN SHEET IF PROVIDED); IF NO PLAN IS PROVIDED THE CONTRACTOR SHALL SUBMIT A PROPOSED DESIGN TO THE LANDSCAPE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO INSTALLATION. THE PROPOSED DESIGN MUST HAVE AN APPROVED BACKFLOW DEVICE AND RAIN SENSOR INSTALLED TO STOP IRRIGATION DURING RAIN EVENTS. CONTRACTOR SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AND NO PONDING OF WATER AT ROOT AREA.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION AT NO COST TO THE OWNER.
- WEED BARRIER FABRIC IS REQUIRED UNDER ALL ROCK MULCH AND COBBLE AS SPECIFIED.
- SOLID STEEL EDGING WITH ROLLED TOP TO BE INSTALLED BETWEEN ALL ROCK MULCH, WOOD MULCH, COBBLE, AND SOD/NATIVE SEED. STEEL EDGING SHALL NOT BE INSTALLED BETWEEN SOD AND NATIVE AREAS.
- ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
- IF A SWPPP PLAN IS PROVIDED THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.
- ALL DISTURBED AREAS AS DESIGNATED ON THE GRADING PLAN SHALL COVERED PER PLAN.
- ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.

## PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	PLANT SIZE	CONTAINER	MAT. H.	MAT. W.
	BM	9	ACER GRANDIDENTATUM BIGTOOTH MAPLE	2" CAL.	B&B	25'	25'
	GI	4	GLEDITSIA TRIACANTHOS INERMIS 'IMPERIAL' IMPERIAL HONEY LOCUST	2" CAL.	B&B	50'	35'
	NP	7	POPULUS ANGUSTIFOLIA NARROWLEAF POPLAR	2" CAL.	B&B	40'	25'
	QB	6	QUERCUS MACROCARPA BURR OAK	2" CAL.	B&B	50'	50'
	TG	4	TILIA CORDATA 'GREENSPIRE' GREENSPIRE LITTLELEAF LINDEN	2" CAL.	B&B	35'	25'

EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	PLANT SIZE	CONTAINER	MAT. H.	MAT. W.
	GL	5	PICEA GLAUCA 'NORTH STAR' NORTH STAR SPRUCE	6' HT.	B&B	12'	6'
	PE	28	PINUS EDULIS PINON PINE	6' HT.	B&B	25'	15'

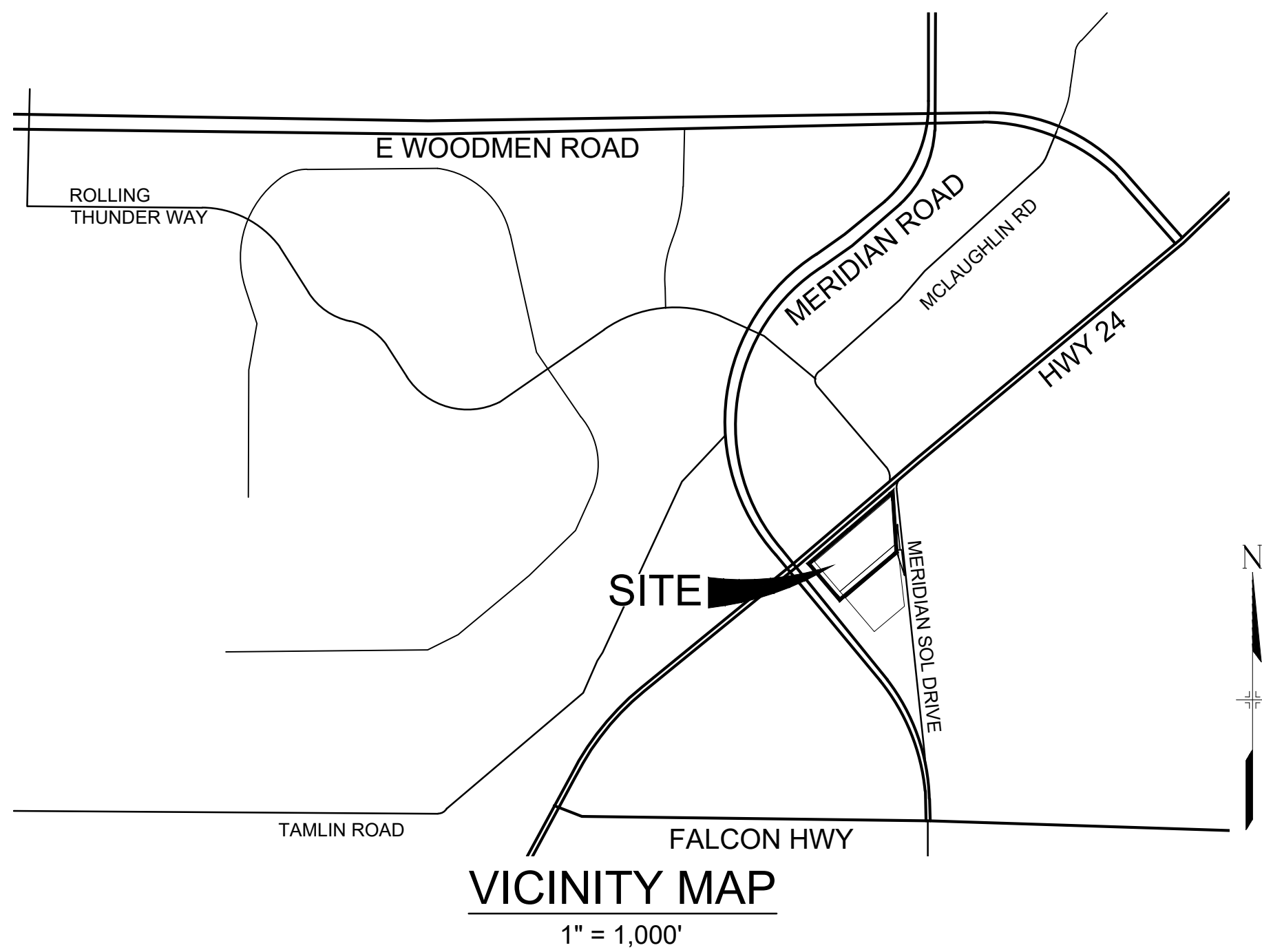
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	PLANT SIZE	CONTAINER	MAT. H.	MAT. W.
	CI	8	CRATAEGUS CRUS-GALLI INERMIS THORNLESS COCKSPUR HAWTHORN	1.5" CAL.	B&B	20'	15'
	MP	8	MALUS X 'PRAIRIFIRE' PRAIRIFIRE CRABAPPLE	1.5" CAL.	B&B	15'	15'

DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	PLANT SIZE	CONTAINER	MAT. H.	MAT. W.
	CHP	6	CHRYSOTHAMNUS PULCHELLUS SOUTHWESTERN RABBITBRUSH	#5 CONT.	CONT.	4'	4'
	CSA	15	CORNUS SANGUINEA 'ARCTIC FIRE' ARCTIC FIRE BLOODTWIG DOGWOOD	#5 CONT.	CONT.	3'	3'
	CCO	6	COTONEASTER ADPRESSUS CREEPING COTONEASTER	#5 CONT.	CONT.	2'	3'
	PAR	9	PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	#5 CONT.	CONT.	3'	3'
	PHD	17	PHYSOCARPUS OPULIFOLIUS 'DIABOLO' DIABOLO NINEBARK	#5 CONT.	CONT.	6'	6'
	PRB	17	PRUNUS BESSEYI SAND CHERRY	#5 CONT.	CONT.	5'	5'

EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	PLANT SIZE	CONTAINER	MAT. H.	MAT. W.
	JSB	11	JUNIPERUS SABINA 'BROADMOOR' BROADMOOR JUNIPER	#5 CONT.	CONT.	1.5'	6'
	PNH	35	PINUS NIGRA 'HELGA' DWARF AUSTRIAN PINE	#5 CONT.	CONT.	5'	5'
	PVD	15	PINUS VIRGINIANA 'DRISCOLL' DRISCOLL'S SHRUB PINE	#5 CONT.	CONT.	3'	2'

## SEED MIX SCHEDULE

MIX NAME	SUPPLIER	SPECIES	CONDITION	APPLICATION METHOD	APPLICATION RATE
EL PASO COUNTY CONSERVATION DISTRICT ALL-PURPOSE LOW GROW MIX		25% BUFFALOGRASS 20% BLUE GRAMA 29% SIDEOATS GRAMA 5% GREEN NEEDLEGRASS 20% WESTERN WHEATGRASS 1% DROPSEED	PERMANENT OR TEMPORARY IRRIGATION	PER SEEDING NOTES	42 PLS/ACRE
EL PASO COUNTY CONSERVATION DISTRICT ALL-PURPOSE MIX		20% BIG BLUE STEM 10% BLUE GRAMA 10% GREEN NEEDLEGRASS 20% WESTERN WHEATGRASS 10% SIDEOATS GRAMA 10% SWITCHGRASS 10% PRAIRIE SANDREED 10% YELLOW INDIANGRASS	NON-IRRIGATED	PER SEEDING NOTES	10 PLS/ACRE



FILE LOCATION: S:\CIRCLE K HWY 24 & MERIDIAN\DWG\PLAN SET\SITE DEVELOPMENT\PLANS\LS01.DWG

# HIGHWAY 24 & MERIDIAN ROAD LANDSCAPE AND IRRIGATION 100% CONSTRUCTION DOCUMENTS

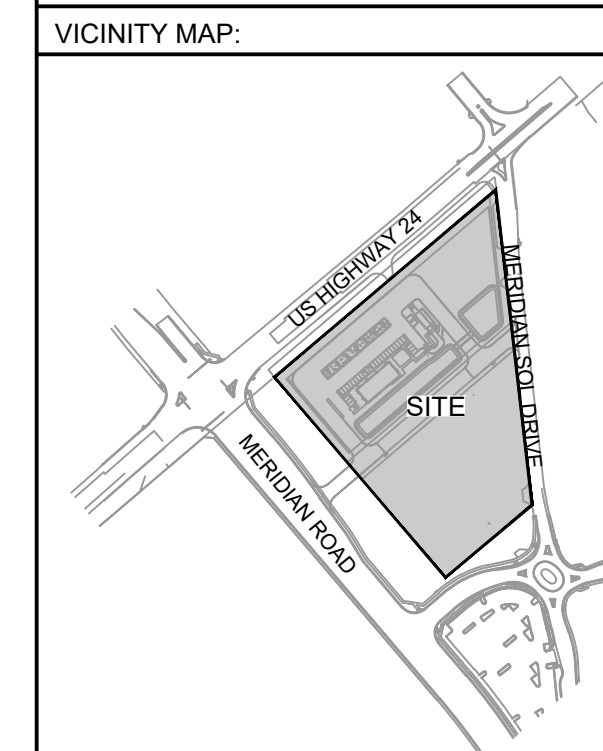


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Excellence by Design  
2435 RESEARCH PARKWAY, SUITE  
300 COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100

**LAND DEVELOPMENT**  
CONSULTANTS, LLC  
950 S. CHERRY ST., SUITE 512  
DENVER, CO 80246

OWNER/DEVELOPER:  
**CIRCLE K**  
ROCKY MOUNTAINS DIVISION  
5500 S QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111  
PHONE: (720) 758-6223

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DOCUMENTS PRIOR TO JURISDICTIONAL APPROVAL.



PROJECT:  
**CIRCLE K STORES INC.**  
LANDSCAPE AND IRRIGATION  
100% CONSTRUCTION DOCUMENTS

HIGHWAY 24 & MERIDIAN ROAD  
FALCON, CO

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
1	09/06/2022	PER REVIEW COMMENTS	
2	09/30/2022	75% CD SUBMITTAL	
3	10/07/2022	100% CD SUBMITTAL	
4	12/02/2022	CD 1ST RESUBMITTAL	
5	01/19/2023	CD 2ND RESUBMITTAL	

DRAWING INFORMATION:  
PROJECT NO: 21.1207.037  
DRAWN BY: KMM  
CHECKED BY: AJP  
DESIGNED BY: KMM

## LANDSCAPE NOTES & DETAILS

LS02  
ISSUE DATE: JANUARY 2023

A PORTION OF THE SE 1/4 OF SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M.  
COUNTY OF EL PASO COUNTY, STATE OF COLORADO  
JANUARY 2023

### PLANTING NOTES

- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL DELETERIOUS MATERIALS SUCH AS ROCK, TRASH, CONSTRUCTION DEBRIS, AGGREGATE BASE MATERIAL, ASPHALT, ETC. SHALL BE REMOVED PRIOR TO ANY FILL OPERATIONS. FILL ALL PLANTING AREAS WITH CLEAN EARTHEN FILL. SOIL SHALL BE FREE OF HEAVY, STIFF CLAY AND ANY DELETERIOUS MATERIAL OVER ONE INCH IN SIZE. THE TOP SIX INCHES OF FILL MATERIAL STRIPPED FROM SITE MAY BE UTILIZED FOR PLANTER OR TOPSOIL FILL IF PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
- FINISH GRADE OF LANDSCAPE AREAS (TOP OF TURF AND MULCH) MUST BE GRADED TO 3" BELOW ADJACENT PAVEMENT SURFACES.
- LOCATE SHRUBS A DISTANCE OF HALF OF THEIR AVERAGE MATURE SPREAD AWAY FROM WALKS, STRUCTURES, CONCRETE PADS, ETC. LOCATE GROUND COVER PLANTINGS A MINIMUM OF 2' FROM WALKS, STRUCTURES, CONCRETE PADS, ETC.
- TREES PLANTED ADJACENT TO PUBLIC ROADS AND PEDESTRIAN SIDEWALKS SHALL BE PRUNED SUFFICIENTLY TO AVOID VISUAL BLOCKS TO INTERSECTING VEHICULAR ACCESS OR INTERFERENCE WITH PEDESTRIAN WALKWAYS. TREES WITH A 4" OR LARGER CALIPER SHALL BE PRUNED UP TO 6'-0" ABOVE PAVEMENTS.
- ALL TREES WITHIN 4' OF PAVED SURFACES (SUCH AS CURBS, WALLS, BUILDINGS AND SIDEWALKS) SHALL BE PROVIDED WITH A DEEP ROOT BARRIER CONTROL DEVICE OR EQUAL. INSTALL PER MFR'S SPECIFICATIONS.
- TOPSOIL DEPTH SHALL BE AS FOLLOWS: PLANTER BEDS - 12" MINIMUM. NATIVE SEED - 12" MINIMUM
- ALL PLANTING BED SOILS SHALL BE AMENDED WITH 2" OF ORGANIC COMPOST AND TILLED INTO FIRST 4" OF SOIL.
- BACKFILL ALL TREES, SHRUBS, GROUND COVER WITH A MIXTURE OF 2 PARTS NATIVE SOIL AND 1 PART SOIL CONDITIONING.
- THE LANDSCAPE CONTRACTOR SHALL WATER TEST ALL PLANTING HOLE PRIOR TO PLANTING. IF HOLES DO NOT DRAIN PROPERLY, EXCAVATE FURTHER UNTIL IMPERMEABLE LAYER IS BREACHED. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS (WHEN FULLY FLOODED WITH WATER) SHALL DRAIN WITHIN 1 HOUR OF FILLING. ENSURE THAT ALL PLANT PITS HAVE POSITIVE DRAINAGE.
- ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE. PRE-EMERGENT HERBICIDE SHALL BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS AND SHALL OCCUR AFTER TOPSOIL PLACEMENT AND PRIOR TO INSTALLATION OF PLANT MATERIALS AND MULCH.
- FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH A TIME RELEASE FERTILIZER PER BRAND'S SPECIFIED APPLICATION RATES.
- ALL TREES AND SHRUBS SHALL BE PLANTED IN SUCH A MANNER AS TO ENSURE THEIR SURVIVAL.
- ANY ROPE OR WIRE BINDING THE BALL SHALL BE CUT PRIOR TO PREVENT GIRDLING OF THE TREE. REMOVE WIRE, TWINE, AND BURLAP FROM THE TOP HALF OF ALL B&B PLANT MATERIAL.
- IF A NON-BIODEGRADABLE MATERIAL IS USED AROUND THE BALL, IT SHALL BE COMPLETELY REMOVED PRIOR TO BACKFILLING.
- PRIOR TO INSTALLATION, THE ROOTS OF CONTAINER GROWN STOCK SHALL BE SEPARATED OR SPLIT TO ENSURE PROPER ROOT DEVELOPMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.
- ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS. TREES & SHRUBS SHALL BE PLANTED AS SOON AS POSSIBLE AFTER DELIVERY.
- ALL TREES MUST BE STRAIGHT-TRUNKED, FULL-HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- ALL TREES MUST BE STAKED AS SHOWN IN THE DETAILS.
- NO SUBSTITUTIONS OR ALTERNATIVES WILL BE ALLOWED FOR GROUND SURFACE MATERIALS UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT OR OWNER.
- MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN TREE PLANTINGS AND ALL UTILITIES UNLESS OTHERWISE SPECIFIED.
- A THREE INCH (3") TOP DRESSING/MULCHING SHALL BE PLACED IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL HAVE TOP DRESSING TO THE OUTSIDE EDGE OF THE MANUFACTURED EDGING OR LANDSCAPE ISLAND. (SEE PLANTING DETAILS) TOP DRESSING CAN BE WOOD MULCH, ROCK, OR ANY OTHER DECORATIVE MATERIAL SPECIFIED ON PLANS. SEE LANDSCAPE PLAN FOR TYPE.

### PLANT GUARANTEE, REPLACEMENT AND MAINTENANCE NOTES

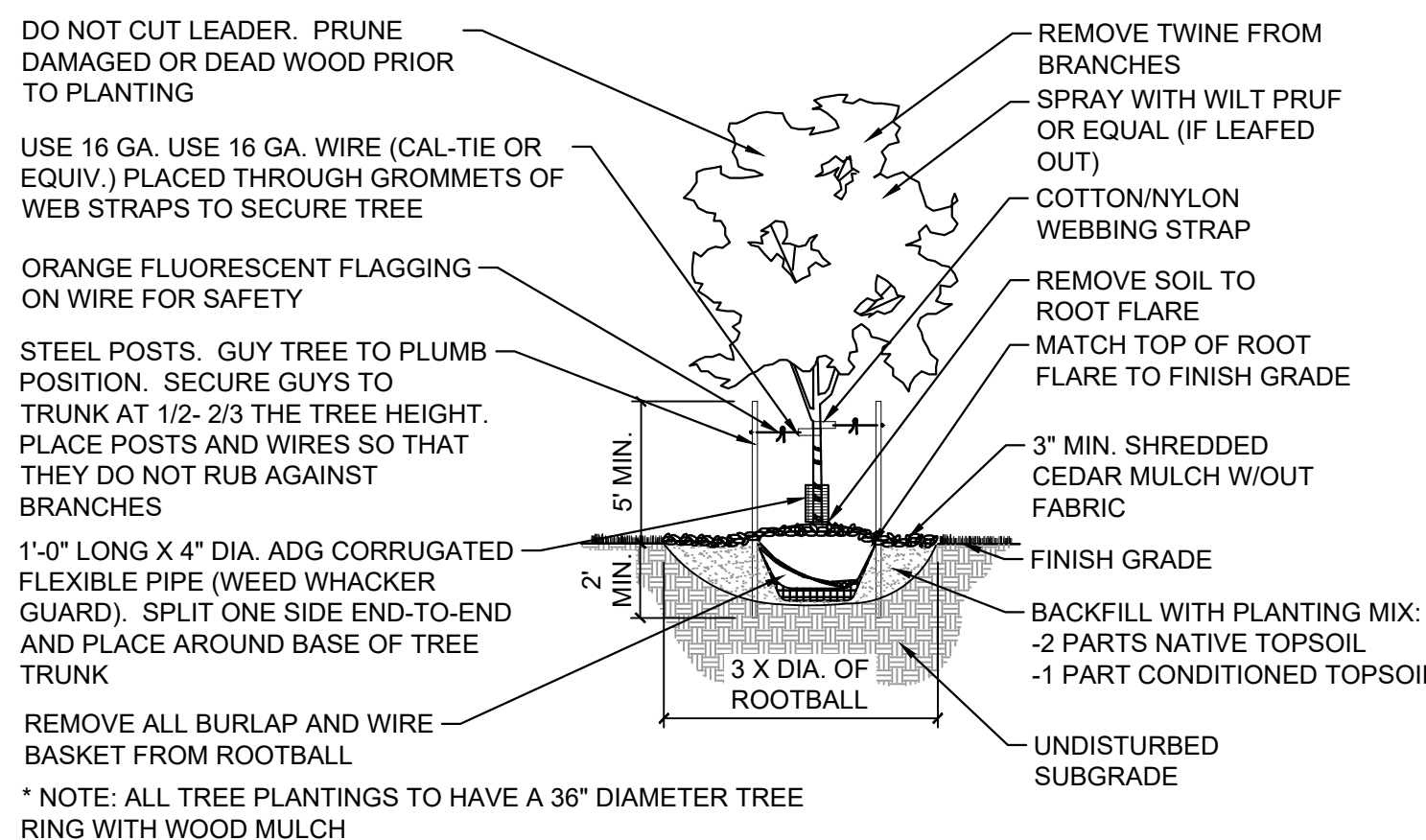
- GUARANTEE:**  
ACCEPTANCE OF GRADING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES.
- REPLACEMENT:**  
ANY PLANT UNDER THIS SPEC WHICH IS DEAD, MISSING, UNHEALTHY, OR OTHERWISE NOT ACCEPTABLE AND NOT IN SATISFACTORY GROWING CONDITION DURING CONSTRUCTION MAINTENANCE PERIOD, OR AT THE END OF THE GUARANTEE PERIOD, SHALL BE REMOVED FROM SITE AND REPLACED WITH SUITABLE, ACCEPTABLE PLANT AS SPECIFIED, WITHIN FIVE (5) DAYS.
- MAINTENANCE:**  
GENERAL CONTRACTOR SHALL PROVIDE ONE YEAR OF LANDSCAPE MAINTENANCE, FROM THE TIME THE PROJECT RECEIVES THE CERTIFICATE OF OCCUPANCY AND THEREAFTER, FOR ALL NEW LANDSCAPE. IF EXISTING LANDSCAPE EXISTS ON-SITE, GENERAL CONTRACTOR IS TO PROVIDE THE OPTION OF MAINTENANCE FOR THE OWNER'S REVIEW.

### HERBICIDES NOTES

- APPLICATION OF HERBICIDES SHALL BE IN COMPLIANCE WITH STATE PESTICIDES REGULATIONS. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONSULT WITH THE REGULATORY AGENCIES FOR LOCAL HERBICIDES APPLICATION REQUIREMENTS.
- IF THERE IS A DISCREPANCY BETWEEN STATE REGULATIONS AND ADDITIONAL REQUIREMENTS BELOW, MOST STRINGENT SHALL RULE.
- NO AERIAL APPLICATION OF HERBICIDES IS PERMITTED ON SITE.
- CARCINOGENS AND EPA TOXIC CATEGORY I AND II ARE PROHIBITED TO USE ON SITE.

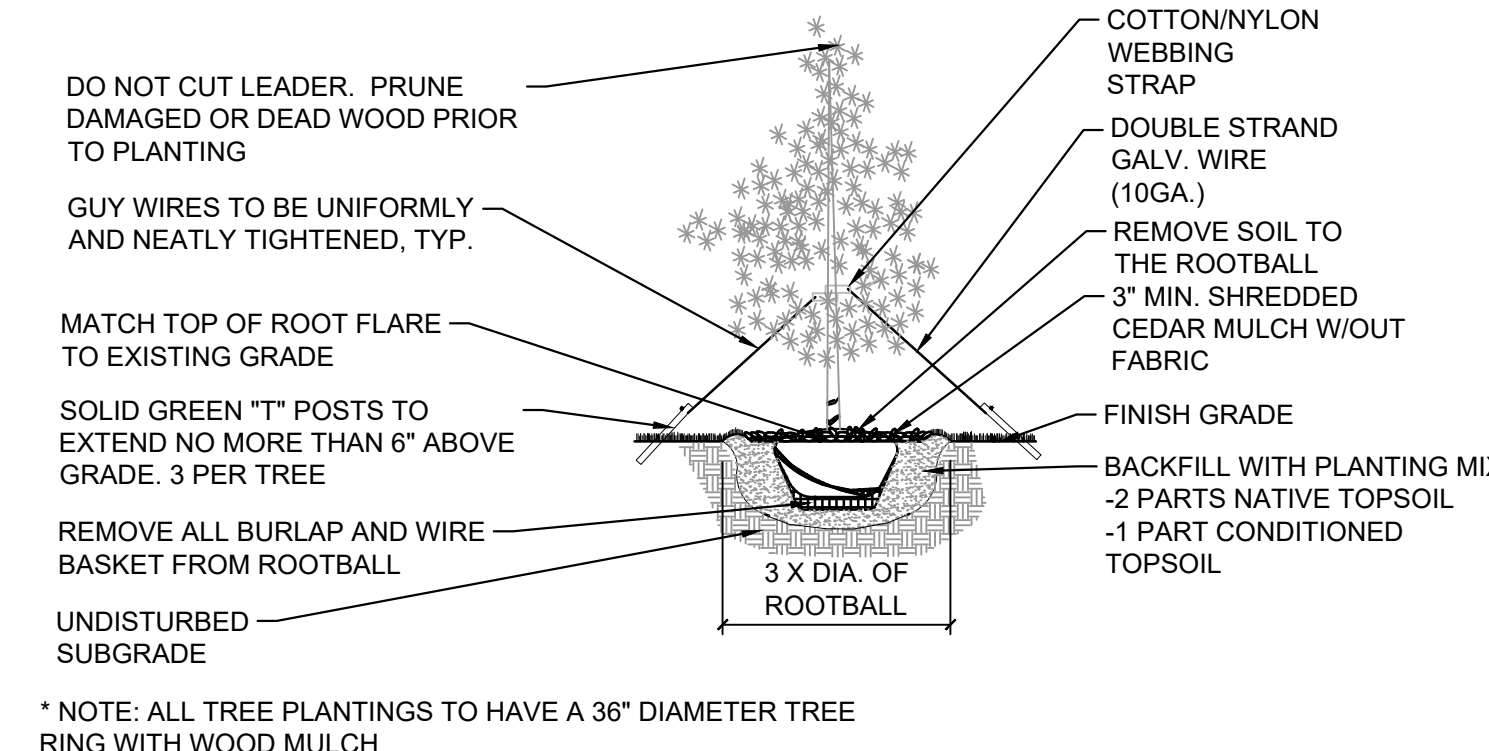
### SODDING AND SEEDING NOTES

- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING EROSION CONTROL MEASURES DURING THE DURATION OF WORK ON-SITE.
- GENERAL CONTRACTOR SHALL PROVIDE 4" OF TOPSOIL AT ALL SOD AND PLANTING AREAS IN ADDITION TO ANY REQUIRED SOIL AMENDMENTS. GRADE SHALL BE ADJUSTED FOR SOD/ GROUND COVER THICKNESS. ALL FINISH GRADING SHALL BE PERFORMED BY LANDSCAPE CONTRACTOR.
- FINE GRADE SOD AREAS TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING.
- ALL AREAS TO BE SEEDED SHALL BE TILLED AS SPECIFIED AND THEN HARROWED, RAKED OR ROLLED TO PRODUCE A FIRM SEED BED FOR PLANTING. IMPORTED TOPSOIL MAY BE REQUIRED TO PROVIDE AN ACCEPTABLE PLANTING MEDIUM. LARGE ROCKS (1 INCH DIAMETER) AND DEBRIS THAT MAY IMPEDE SEEDING SHALL BE CLEARED FROM THE SITE. ANY REQUIRED EROSION CONTROL FEATURES (E.G. WATER BARS, BERMS, BASINS, TURNOUTS) SHALL BE CONSTRUCTED PRIOR TO SEEDING. SITES THAT ARE NOT ADEQUATELY PREPARED PRIOR TO SEEDING (E.G., COMPACTED SOIL, INSUFFICIENT TOPSOIL, ROCKY, ERODED SURFACE, ETC.) SHALL BE REJECTED.
- ALL SPECIFIED SEED MIXES SHALL CONSIST OF CERTIFIED SEED VARIETIES THAT ARE FREE OF NOXIOUS WEEDS AND HAVE BEEN TESTED FOR PURITY AND GERMINATION WITHIN SIX MONTHS OF THE PLANTING DATE. CERTIFICATION LABELS WHICH INDICATE THE SPECIES, PURITY, GERMINATION, WEED CONTENT, ORIGIN, AND TEST DATE SHALL BE SUBMITTED FOR ALL SEED MATERIALS.
- SEEDING SHALL OCCUR DEPENDING ON THE PROJECT SCHEDULE, IT IS PREFERABLE THAT SEEDING OCCUR DURING THE FALL (SEPTEMBER-NOVEMBER) OR SPRING (MARCH-MAY) TO MAXIMIZE PLANTING SUCCESS. IF THE PROJECT SCHEDULE DOES NOT COINCIDE WITH THE PREFERRED SEEDING PERIODS, OR IF THERE ARE UNSUITABLE SITE CONDITIONS (I.E. FROZEN GROUND), THEN SOIL STABILIZATION AND/OR STORM WATER BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED TO STABILIZE THE AREA UNTIL THE NEXT APPROPRIATE SEEDING DATE. ANY SEEDING CONDUCTED OUTSIDE THE PREFERRED MONTHS SHALL BE APPROVED BY THE OWNER.
- SEEDING METHOD: DRILL SEEDING OR BROADCAST SEEDING SHALL BE USED. AS OUTLINED BELOW, THE SIZE AND SLOPE OF THE SEEDED AREA SHALL DETERMINE WHICH SEEDING METHOD(S) IS APPROPRIATE AND ACCEPTABLE. REFER TO MANUFACTURER'S SPECIFICATIONS FOR ADJUSTING SEEDING RATES FOR APPLICATIONS DIFFERING FROM THE SEED MIX TABLE.
  - SLOPES LESS THAN 3:1 - SEED SHALL BE PLANTED USING A RANGELAND DRILL. SEEDING SHALL BE ACCOMPLISHED USING BI-DIRECTIONAL DRILLING AND FOLLOWING THE SLOPE CONTOUR. THE DRILL EQUIPMENT SHALL BE CALIBRATED EACH DAY OR WHENEVER THERE IS A CHANGE IN THE SEED MIX TO ENSURE PROPER SEED DISTRIBUTION AND RATE.
  - SLOPES GREATER THAN 3:1 OR AREAS LESS THAN 0.10 ACRE - SEED SHALL BE BROADCAST BY HAND OR MECHANICAL SPREADER. BROADCAST SEEDED AREAS SHALL BE RAKED OR HARROWED TO INCORPORATE THE SEED INTO THE SOIL AT A DEPTH NOT EXCEEDING 0.75 INCHES.
  - BROADCAST SEEDING SHALL BE AVOIDED WHEN WIND SPEED EXCEEDS 15 MILES PER HOUR.
  - ALTERNATIVE METHODS TO BE REVIEWED AND APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
- FINE GRADE SEED TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING. SEED AREAS BY MEANS OF APPROVED BROADCAST OR HYDRAULIC-TYPE SPREADERS. DO NOT SEED DURING WINDY WEATHER.
- WEED-FREE NATIVE HAY, WEED-FREE STRAW, OR VIRGIN WOOD FIBER HYDRO-MULCH SHALL BE USED PER NOTES BELOW TO CONTROL EROSION AND PROMOTE SEED GERMINATION AND PLANT ESTABLISHMENT. NATIVE HAY, STRAW, OR HYDRO-MULCH SHALL BE APPLIED PER SEED SUPPLIER'S RECOMMENDATIONS FOR OPTIMAL GROWTH PER SEED MIX TYPE AND SLOPE.
  - HYDRO-MULCHING: ALL IRRIGATED SEEDING SHALL BE HYDRO MULCHED. ORGANIC TACKIFIER SHALL BE USED. MULCH SEEDED AREAS WITHIN 24 HOURS OF SEEDING. HYDRO-MULCH SHALL BE APPLIED USING A COLOR DYE AND THE MANUFACTURER'S RECOMMENDED RATE OF AN ORGANIC TACKIFIER.
  - STRAW CRIMPING: ALL NON-IRRIGATED OR TEMPORARILY IRRIGATED TO BE NATIVE HAY OR STRAW CRIMPED INTO THE SOIL TO A DEPTH OF AT LEAST 3 INCHES, AND SHALL PROTRUDE ABOVE THE GROUND AT LEAST 3 INCHES.
  - ALTERNATIVE METHODS TO BE REVIEWED AND APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
  - EROSION CONTROL BLANKETS ARE TO BE APPLIED ON SLOPES 3:1 AND GREATER.
- IF A WATER HOOK-UP IS AVAILABLE A SPRINKLER SYSTEM MAY BE USED TO PROMOTE RAPID PLANT ESTABLISHMENT. GENERALLY, WATERING AT 0.75-1.0 INCHES/ WEEK IS RECOMMENDED DURING THE APRIL-OCTOBER GROWING SEASON DEPENDING ON NATURAL RAINFALL. THE USE OF WATER TRUCKS FOR IRRIGATION IS PROHIBITED DUE TO TRAFFIC IMPACTS ON THE SEEDED AREAS AND TYPICAL POOR WATER DISTRIBUTION OBSERVED WITH THIS TYPE OF WATERING.
- APPROVAL OF SEEDED TURF AREAS SHALL BE BASED UPON THE SEED PRODUCERS GUARANTEED SEEDING GERMINATION RATE FOR ONE SQUARE FOOT AREA. IF GUARANTEED GERMINATION RATE IS NOT ACHIEVED, THE CONTRACTOR SHALL OVERSEED UNTIL THE GERMINATION RATE IS ACHIEVED. REVEGETATION SHALL HAVE AT LEAST 3 NATIVE GRASS SEEDLINGS/SQUARE FOOT AND NO BARE AREAS EXCEEDING ONE SQUARE METER AFTER THE SECOND GROWING SEASON. FOR DRILL SEEDED AREAS, PLANTING ROWS SHALL BE NOTICEABLE BY THE END OF THE FIRST FULL GROWING SEASON. IF A PARTIAL OR TOTAL SEEDING FAILURE IS APPARENT AFTER THE SECOND GROWING SEASON, POORLY VEGETATED AREAS SHALL BE RESEEDED IN THE SAME MANNER DESCRIBED ABOVE. APPROPRIATE SITE PREPARATION PRACTICES SHALL BE USED TO CREATE A SUITABLE SEEDED FOR PLANTING, BUT ANY ESTABLISHED NATIVE VEGETATION SHALL BE UNDISTURBED TO THE EXTENT POSSIBLE. AREAS THAT ERODE BEFORE GERMINATION AND ESTABLISHMENT CAN OCCUR SHALL BE REPAIRED AND IMMEDIATELY RESEEDED DURING THE SAME SEASON.
- ALL BARE AREAS TO BE RESEEDED WITH PROPER REMOVAL OF WEEDS. ALL NATIVE SEED AREAS ARE TO MEET STANDARD LOCAL JURISDICTION REQUIREMENTS FOR GERMINATION AND ESTABLISHMENT.



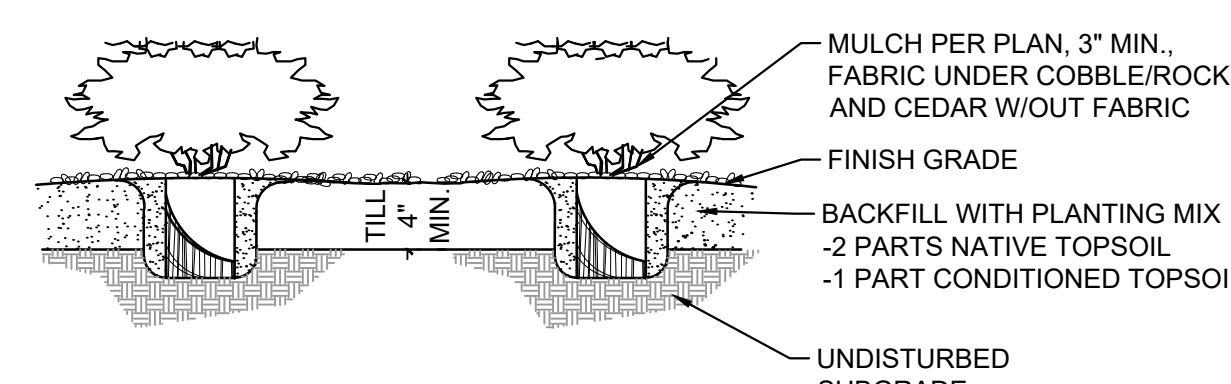
### 1 DECIDUOUS TREE

NTS MS-PR1-CK-01



### 2 EVERGREEN TREE

NTS MS-PR1-CK-02

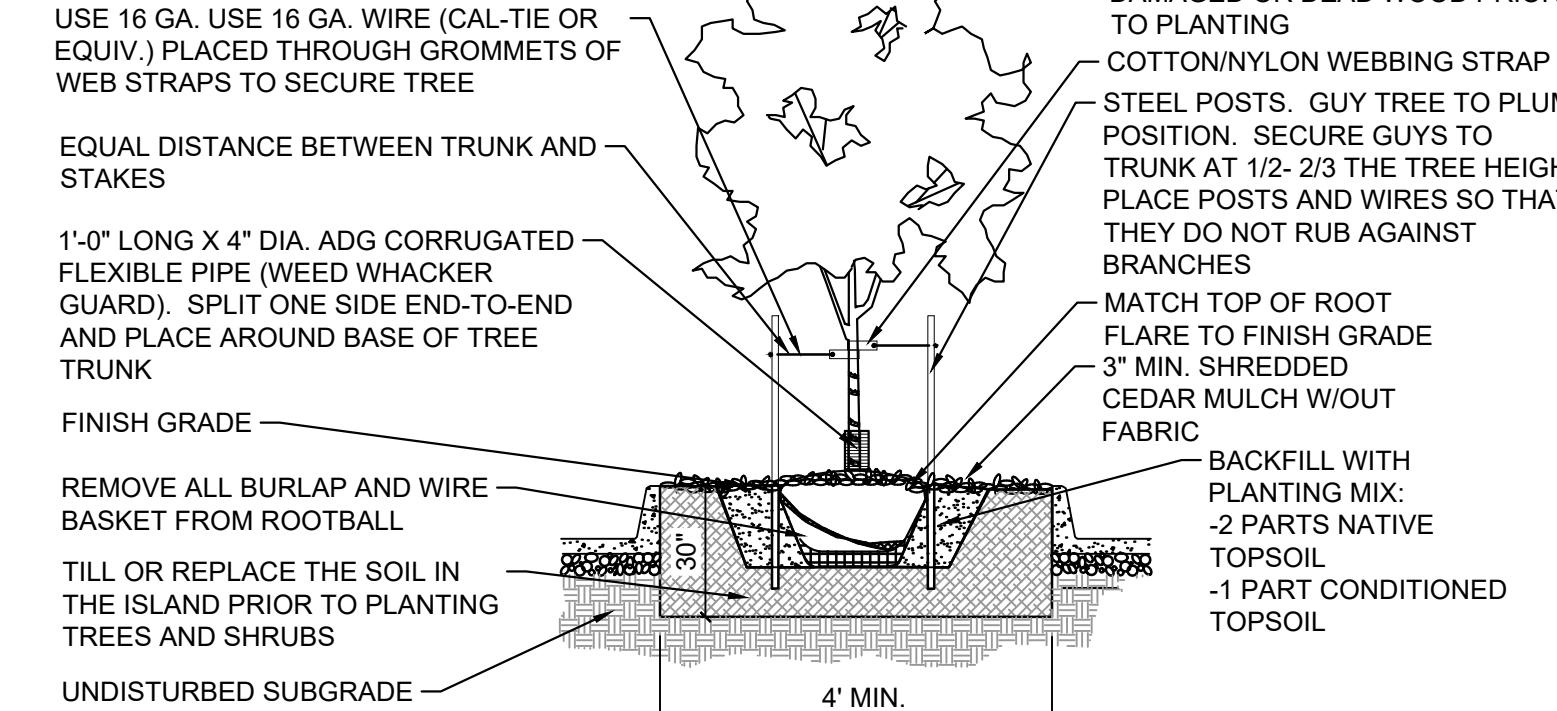


### 3 SHRUBS

- NOTES:
- CONTRACTOR TO WATER PLANT MATERIAL DAILY UNTIL AN AUTOMATIC IRRIGATION SYSTEM IS OPERATIONAL OR OTHER IRRIGATION PROVISIONS ARE PROVIDED.
  - THE FINISH GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM WALLS AND BUILDINGS.
  - THE TILLING OF PLANTING BEDS AND PLACEMENT OF BACKFILL IS TO OCCUR JUST PRIOR TO PLANTING, THEREAFTER, PROTECTION FROM COMPACTION AND CONSTRUCTION TRAFFIC SHOULD BE PROVIDED.

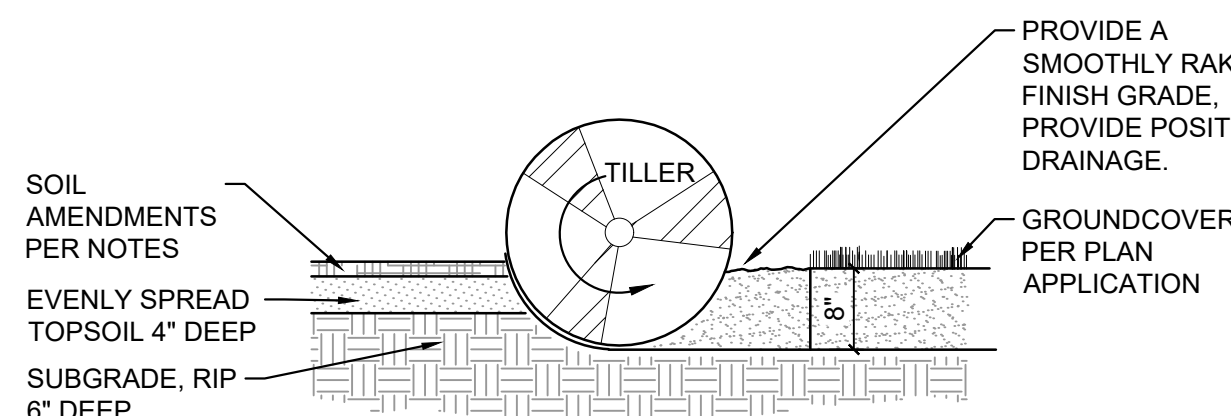
### 3 SHRUBS

NTS MS-PR1-CK-07



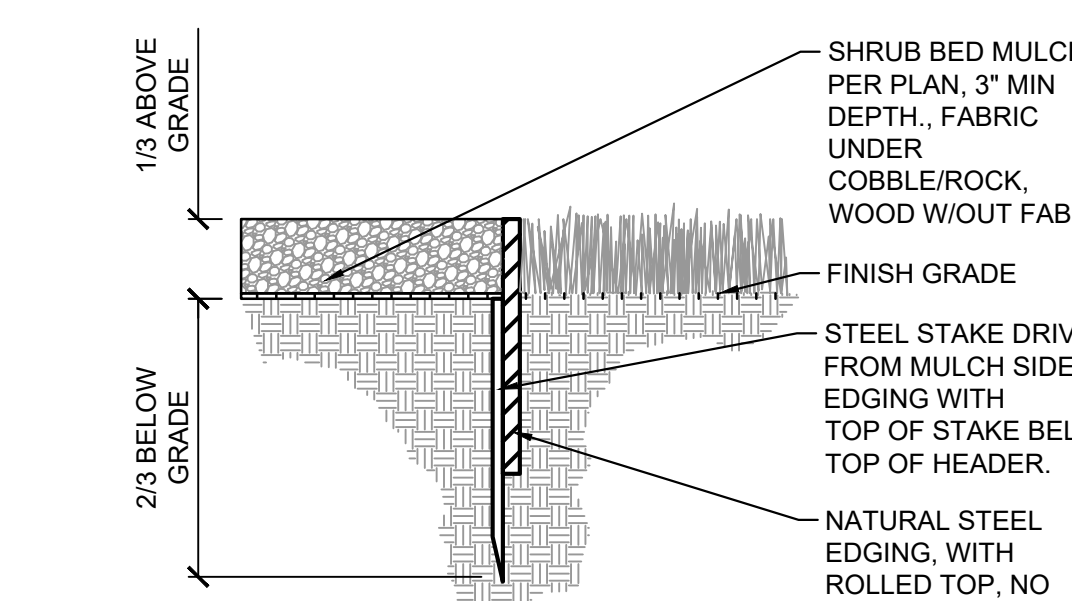
### 4 PARKING LOT ISLAND TREE

NTS MS-PR1-CK-05



### 5 SOIL PREP FOR ALL AREAS

NTS MS-STD-LS-05



### 6 STEEL EDGING

NTS MS-STD-LS-12





# HIGHWAY 24 & MERIDIAN ROAD LANDSCAPE AND IRRIGATION 100% CONSTRUCTION DOCUMENTS

A PORTION OF THE SE 1/4 OF SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M.  
COUNTY OF EL PASO COUNTY, STATE OF COLORADO  
JANUARY 2023

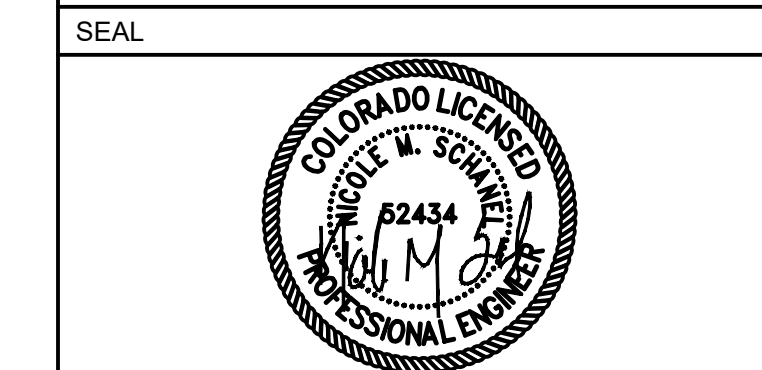


**Matrix**  
Excellence by Design  
2435 RESEARCH PARKWAY, SUITE  
300 COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100

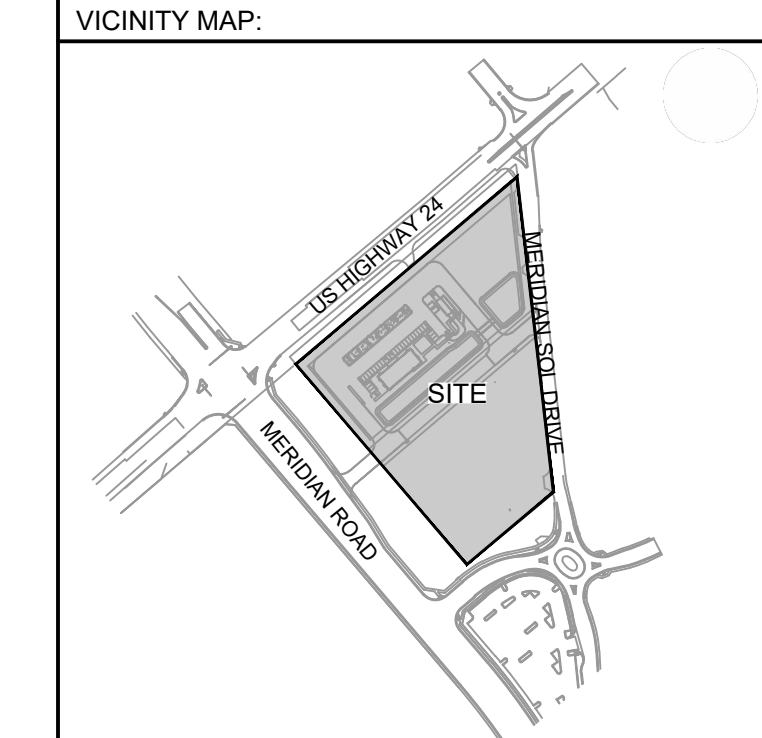
**LAND DEVELOPMENT**  
CONSULTANTS, LLC  
950 S. CHERRY ST., SUITE 512  
DENVER, CO 80246

OWNER/DEVELOPER:  
**CIRCLE K**

ROCKY MOUNTAINS DIVISION  
5500 S QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111  
PHONE: (720) 758-6223



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PROJECT:  
**CIRCLE K STORES INC.**  
LANDSCAPE AND IRRIGATION  
100% CONSTRUCTION DOCUMENTS

HIGHWAY 24 & MERIDIAN ROAD  
FALCON, CO

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
1	09/08/2022	PER REVIEW COMMENTS	
2	09/30/2022	75% CD SUBMITTAL	
3	10/07/2022	100% CD SUBMITTAL	
4	12/02/2022	CD 1ST RESUBMITTAL	
5	01/19/2023	CD 2ND RESUBMITTAL	

DRAWING INFORMATION:  
PROJECT NO: 21.1207.037  
DRAWN BY: KMM  
CHECKED BY: AJP  
DESIGNED BY: KMM

SHEET TITLE:  
**LANDSCAPE PLAN**

**LS04**

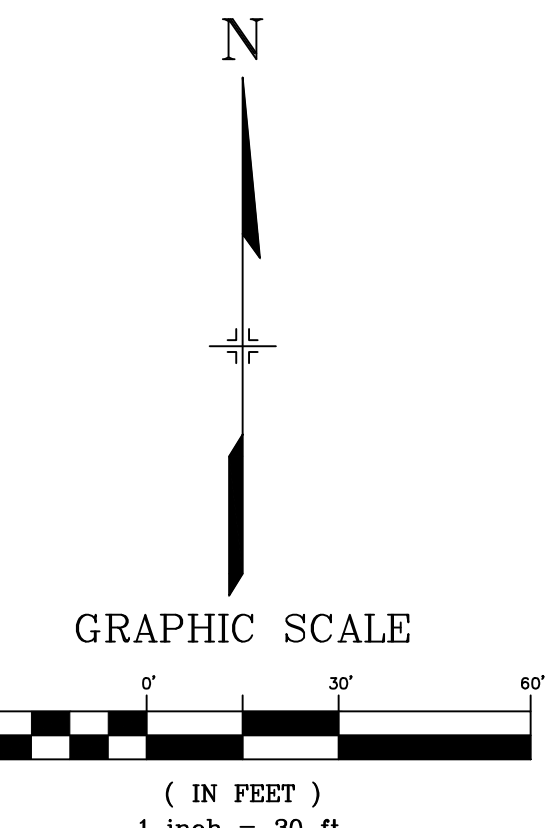
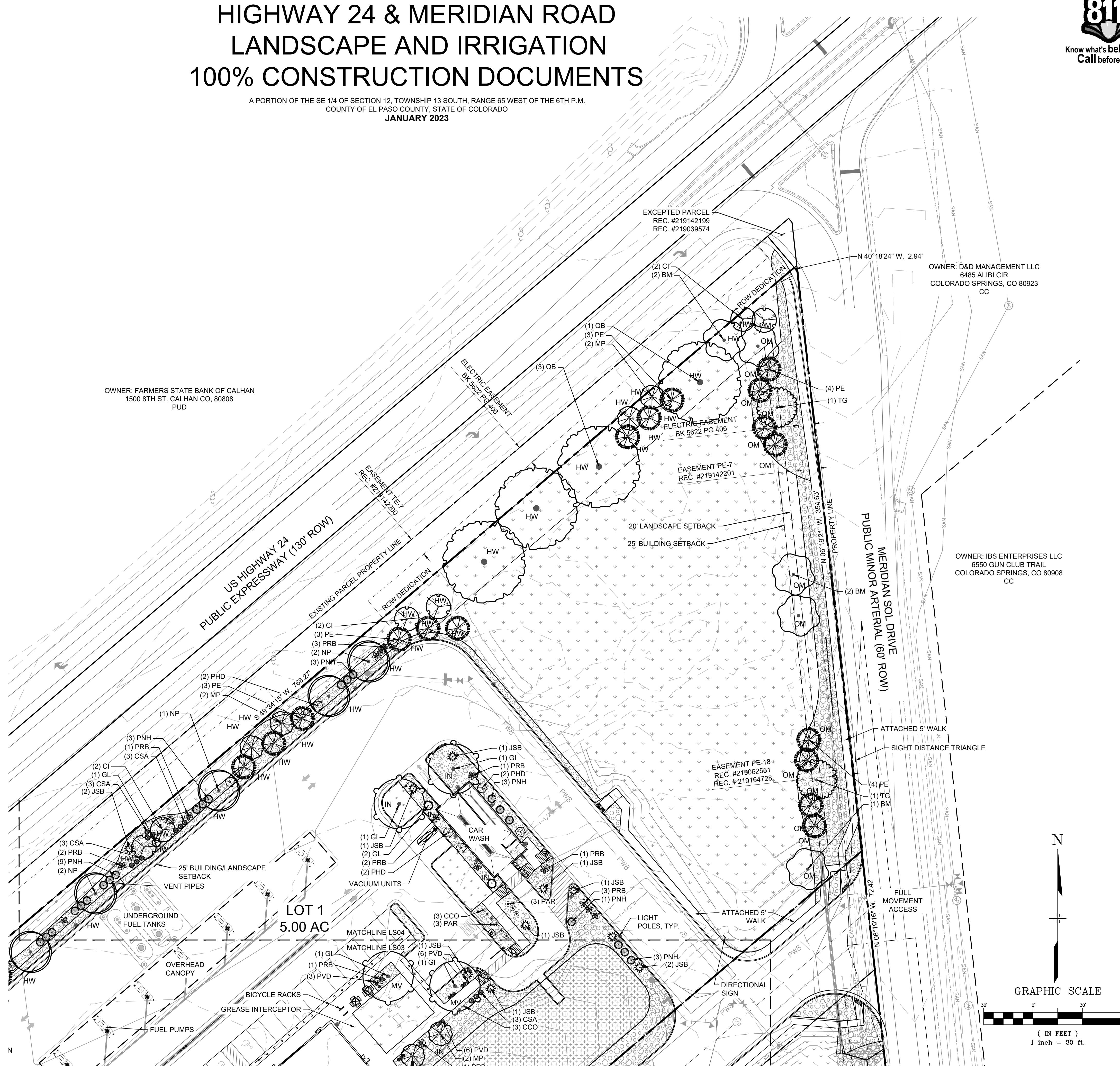
ISSUE DATE: JANUARY 2023

## PLANT SCHEDULE

DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME
	BM	ACER GRANDIDENTATUM BIGTOOTH MAPLE
	GI	GLEDTISIA TRIACANTHOS INERMIS 'IMPERIAL' IMPERIAL HONEY LOCUST
	NP	POPULUS ANGUSTIFOLIA NARROWLEAF POPLAR
	QB	QUERCUS MACROCARPA BURR OAK
	TG	TILIA CORDATA 'GREENSPIRE' GREENSPIRE LITTLELEAF LINDEN
EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME
	JC	JUNIPERUS CHINENSIS 'SPARTAN' SPARTAN JUNIPER
	GL	PICEA GLAUCA 'NORTH STAR' NORTH STAR SPRUCE
	PE	PINUS EDULIS PINON PINE
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	CI	CRATAEGUS CRUS-GALLI INERMIS THORNLESS COCKSPUR HAWTHORN
	MP	MALUS X 'PRAIRIFIRE' PRAIRIFIRE CRABAPPLE
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME
	ARF	ARTEMISIA FILIFOLIA SAND SAGEBRUSH
	CHP	CHRYSOTHAMNUS PULCHELLUS SOUTHWESTERN RABBITBRUSH
	CSA	CORNUS SANGUINEA 'ARCTIC FIRE' ARCTIC FIRE BLOODTWIG DOGWOOD
	COO	COTONEASTER ADPRESSUS CREEPING COTONEASTER
	PAR	PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE
	PHD	PHYSOCARPUS OPULIFOLIUS 'DIABOLO' DIABOLO NINEBARK
	PRB	PRUNUS BESSEYI SAND CHERRY
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME
	JSB	JUNIPERUS SABINA 'BROADMOOR' BROADMOOR JUNIPER
	PGE	PICEA GLAUCA 'ECHINIFORMIS' WHITE SPRUCE
	PNH	PINUS NIGRA 'HELGA' DWARF AUSTRIAN PINE
	PVD	PINUS VIRGINIANA 'DRISCOLL' DRISCOLL'S SHRUB PINE

## CONCEPT PLANT SCHEDULE

	1-1/2" COBBLE	25,218 SF
	1-1/2" GOLDEN SUNSET ROCK FROM C&C SAND & STONE CO. OR APPROVED EQUAL.	
	3/4" ROCK	7,390 SF
	3/4" REGAL ROSE ROCK FROM C&C SAND & STONE CO. OR APPROVED EQUAL.	
	NATIVE SEED-LOW EL PASO COUNTY ALL-PURPOSE LOW GROW MIX. REF SEED MIX TABLE	96,544 SF
	NATIVE SEED-DETECTION EL PASO COUNTY CONSERVATION DISTRICT ALL-PURPOSE MIX. REF SEED MIX TABLE	15,933 SF



PCD FILING NO.: PPR2230 ISSUE DATE: JANUARY 2023

FILE LOCATION: S:\CIRCLE K HWY 24 & MERIDIAN\DWG\PLAN\SETSITE DEVELOPMENT\PLANS\LS04.DWG

# HIGHWAY 24 & MERIDIAN ROAD LANDSCAPE AND IRRIGATION 100% CONSTRUCTION DOCUMENTS

A PORTION OF THE SE 1/4 OF SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M.  
COUNTY OF EL PASO COUNTY, STATE OF COLORADO  
**JANUARY 2023**



**CONSULTANTS:**

**Matrix**  
Excellence by Design  
2435 RESEARCH PARKWAY, SUITE  
300 COLORADO SPRINGS, CO 80920  
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**SEAL**

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**VICINITY MAP:**

**PROJECT:**

**CIRCLE K STORES INC.  
LANDSCAPE AND IRRIGATION  
100% CONSTRUCTION DOCUMENTS**

**HIGHWAY 24 & MERIDIAN ROAD  
FALCON, CO**

**REVISION HISTORY:**

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**DRAWING INFORMATION:**

PROJECT NO: 21.1207.037  
DRAWN BY: KMM  
CHECKED BY: AJP  
DESIGNED BY: KMM

## IRRIGATION NOTES

**IR01**

### IRRIGATION SCHEDULE

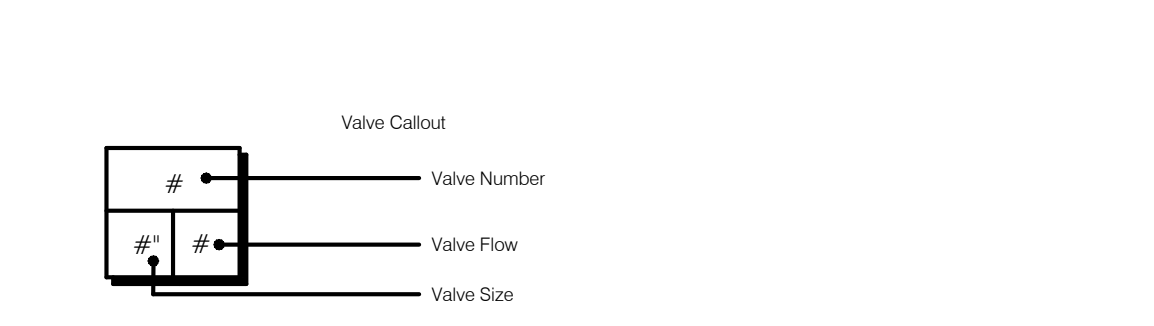
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	HUNTER MP2000 PROS-04-PRS30-CV TURF ROTATOR, 4" POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.
	HUNTER MP3000 PROS-04-PRS30-CV TURF ROTATOR, 4" POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. B=BLUE ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC.
	HUNTER MP3500 PROS-04-PRS30-CV TURF ROTATOR, 4" POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. LB=LIGHT BROWN ADJUSTABLE ARC, 90-210.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	RAIN BIRD XZ-100-PRF 1" MEDIUM FLOW DRIP CONTROL KIT, 1" DV VALVE, 1" PRESSURE REGULATING FILTER, 40PSI PRESSURE REGULATOR. 3GPM - 15GPM.
	RAIN BIRD MDCFCAP DRIPLINE FLUSH VALVE CAP IN COMPRESSION FITTING COUPLER.
	TREE RING: RAIN BIRD XF SERIES DRIPLINE 2 DRIPLINE RINGS USING 18" EMITTER SPACING @ 0.9 GPH, 12" SPACING FROM TRUNK TO FIRST RING, 30" SPACING FROM TRUNK TO SECOND RING

**AREA TO RECEIVE DRIP EMITTERS**  
RAIN BIRD XB-PC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5 GPH=BLUE, 1.0 GPH=BLACK, AND 2.0 GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET.  
Emitter Notes:  
0.5 GPH emitters (2 assigned to each #5 CONT. plant)

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	RAIN BIRD PESB 1" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION, WITH SCRUBBER TECHNOLOGY FOR RELIABLE PERFORMANCE IN DIRTY WATER IRRIGATION APPLICATIONS.
	RAIN BIRD S-LRC 1" 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 1-PIECE BODY.
	RAIN BIRD EFB-CP 1-1/2" 1", 1-1/4", 1-1/2", 2" BRASS MASTER VALVE, THAT IS CONTAMINATION PROOF W/SELF-FLUSHING FILTER SCREEN. GLOBE CONFIGURATION, RECLAIMED WATER COMPATIBLE, AND PURPLE HANDLE COVER DESIGNATES NON-POTABLE WATER USE.
	WATTS U009 1-1/2" REDUCED PRESSURE BACKFLOW PREVENTER
	RAIN BIRD ESP4ME WITH (1) ESP-SM3 7 STATION, HYBRID MODULAR OUTDOOR CONTROLLER, FOR RESIDENTIAL OR LIGHT COMMERCIAL APPLICATIONS.
	RAIN BIRD RSD-BEX RAIN SENSOR, WITH METAL LATCHING BRACKET, EXTENSION WIRE.
	RAIN BIRD SMRT-Y SOIL MOISTURE SENSOR KIT, 24VAC @ 50/60 HZ, OPERATING TEMPERATURE: -4 DEGREES F TO 158 DEGREES F. SURVIVAL TEMPERATURE: -40 DEGREES F TO 185 DEGREES F. UL, CUL, C-TICK CERTIFICATIONS.
	WATER METER 1-1/2" 6985 OLD MERIDIAN RD. HYDRANT

	IRRIGATION LATERAL LINE: POLYETHYLENE PIPE SDR-7 1"
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1"
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1 1/2"
	IRRIGATION MAINLINE: PVC SCHEDULE 40 1 1/2"
	PIPE SLEEVE: PVC CLASS 200 SDR 21 SEE IRRIGATION NOTES FOR SIZING



### GENERAL IRRIGATION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE PROJECT SPECIFICATIONS PRIOR TO BIDDING. THE PROJECT SPECIFICATIONS ARE A PART OF THESE PLANS AND SHALL BE CONSULTED BY THE IRRIGATION CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING WORK AS SPECIFIED IN THE PROJECT SPECIFICATIONS AND ON THE PLANS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL NOTIFY OWNER OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK.
- THE CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR.
- ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
- CONTRACTOR IS TO VERIFY ACTUAL AVAILABLE WATER PRESSURE BEFORE BEGINNING INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR IF AVAILABLE WATER PRESSURE EXCEEDS 5 PSI HIGHER OR LOWER THAN THE DESIGN WATER PRESSURE.
- IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED PER LOCAL REQUIREMENTS.
- ANY EXISTING TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DO NOT TRENCH OR EXCAVATE WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
- SUPPLY LINE AND METER TO BE PROVIDED BY GENERAL CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN AFTER THE IRRIGATION WATER METER. BACKFLOW PREVENTER TO BE PROVIDED BY IRRIGATION CONTRACTOR, UNLESS SPECIFIED TO BE LOCATED INSIDE AT WHICH POINT WILL BE PROVIDED BY THE GENERAL CONTRACTOR OR PLUMBER.
- IRRIGATION CONTRACTOR SHALL REVIEW WINTERIZATION PROCEDURES FOR IRRIGATION SYSTEM WITH OWNERS REPRESENTATIVE.
- IRRIGATION CONTRACTOR IS RESPONSIBLE FOR INSTALLING MANUAL DRAIN VALVES AT LOWEST POSSIBLE ELEVATION ON IRRIGATION MAIN SO AS TO PROVIDE POSITIVE DRAINAGE OF IRRIGATION MAIN DURING WINTER MONTHS OR PROVIDE BLOWOUT ASSEMBLY.
- ALL LATERAL LINES SHALL BE EQUIPPED WITH AUTOMATIC DRAIN VALVES AT LOW POINTS.
- IRRIGATION CONTRACTOR SHALL COORDINATE CONTROLLER LOCATION WITH GENERAL CONTRACTOR. GENERAL CONTRACTOR SHALL PROVIDE (2) 1" ELECTRICAL CONDUITS FOR IRRIGATION CONTRACTOR'S POWER/DATA CONNECTION TO CONTROLLER. SEE ARCHITECTURAL ELECTRICAL PLAN FOR ELECTRICAL CONNECTION TO THE IRRIGATION CONTROLLER. IRRIGATION CONTRACTOR SHALL COORDINATE CONSTRUCTION OF IRRIGATION SYSTEM WITH GENERAL CONTRACTOR AND LANDSCAPE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL BELOW GRADE LOW VOLTAGE WIRING CONNECTIONS SHALL BE INSTALLED PER WIRE CONNECTION DETAIL.
- DO NOT INSTALL IRRIGATION AT PYLON / MONUMENT SIGN LOCATION UNTIL SIGN HAS BEEN INSTALLED.
- LOCATION FOR IRRIGATION SYSTEM AS SHOWN IS FOR DRAWING PURPOSES ONLY. UNSLEEVED PIPES MAY BE SHOWN IN PAVEMENT AREAS FOR CLARITY ONLY. INSTALL THESE PIPES IN ADJACENT LANDSCAPE AREAS WHERE NECESSARY. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF PROPOSED IRRIGATION SYSTEM. ALL PROPOSED IRRIGATION LINES AND EQUIPMENT SHALL BE INSTALLED WITHIN THE BOUNDARIES OF THE PROJECT SITE. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR IF THE DESIGN AS SHOWN IS NOT ACHIEVABLE.
- MINIMUM COVER FROM TOP OF PIPING TO FINISHED GRADE SHALL BE AS PER DETAIL.
- IRRIGATION CONTRACTOR SHALL COORDINATE IRRIGATION INSTALLATION WITH PLANTING PLAN AND SITE CONDITIONS TO PROVIDE COMPLETE COVERAGE WITH MINIMUM OVERSPRAY. THE IRRIGATION CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO ENSURE PROPER COVERAGE AT NO ADDITIONAL COST TO THE OWNER.
- VALVE BOXES SHALL BE INSTALLED FLUSH WITH GRADE, PER DETAIL.
- ALL MAIN LINE PIPING, NON-PRESSURE PIPING AND CONTROL WIRE SLEEVING SHALL BE INSTALLED IN SEPARATE SLEEVES. ALL LATERAL LINE PIPING UNDER PAVING SHALL BE PVC SCHEDULE 40 AND SHALL BE INSTALLED PRIOR TO ANY HARDSCAPE MATERIAL. IRRIGATION CONTRACTOR TO PROVIDE SLEEVES BETWEEN 12" AND 15" BELOW GRADE AT ALL DRIVE ENTRANCES AND SIDEWALKS. MAINLINE SLEEVE SIZE SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. CONTROL WIRE SLEEVES SHALL BE OF SUFFICIENT SIZE FOR THE REQUIRED NUMBER OF WIRES.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF FENCES, RETAINING WALLS, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. THEY SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS THROUGH WALLS, UNDER ROADWAYS AND PAVING AND TIMING, ETC. REFER TO CIVIL ENGINEERING PLANS FOR GRADING, METHODS OF DRAINAGE, IRRIGATION METERS, AND BACKFLOW PREVENTION DEVICE LOCATION.
- ALL IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED, SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS, DETAILS AND SPECIFICATIONS. ACCEPTABLE MANUFACTURERS INCLUDE RAINBIRD, HUNTER, TORO, OR NETAFIM
- ANY DRIP SYSTEM PIPING IN PLANTING BEDS IS DIAGRAMMATIC. CONTRACTOR CAN ROUTE PIPING IN A FREEFORM MANNER (AVOIDING OBJECTS SUCH AS LIGHT POLES, TRANSFORMERS PADS, EQUIPMENT VAULTS, SUBSURFACE ROCK TOO LARGE TO REMOVE, ETC...) AS LONG AS ALL PLANT MATERIAL RECEIVES THE PROPER NUMBER OF EMITTERS PER SCHEDULE AND THE VINYL DISTRIBUTION TUBING DOES NOT EXCEED THE MAXIMUM DESIGN LENGTHS PER MANUFACTURER'S RECOMMENDATIONS.
- UNLESS OTHERWISE REQUIRED, BACKFLOW PREVENTION DEVICES LESS THAN 2" SHALL BE PLACED IN A WIRE MESH BASKET ENCLOSURE AND PAINTED TO MATCH THE PRIMARY BUILDING COLORS. SEE CIVIL PLANS FOR LOCATION.
- ALL JOINTS AND BENDS 2" OR LARGER SHALL HAVE CONCRETE THRUST BLOCKING. THRUST BLOCKING SHALL BE A MINIMUM OF 1 CUBIC FOOT OF CONCRETE. PIPE SHALL NOT BE ENCASED IN CONCRETE. SEE DETAIL 31C FOR THRUST BLOCKING.
- CONTRACTOR WILL PROVIDE OWNER WITH A COMPLETE AND REPRODUCIBLE DRAWING OR IRRIGATION SYSTEM LAYOUT AS IT WAS INSTALLED. DRAWING SHOULD INCLUDE, BUT NOT BE LIMITED TO, LOCATIONS OF ZONES VALVES, MAIN, LATERAL AND DISTRIBUTION LINES, SLEEVES, WATER METER, BACKFLOW PREVENTION DEVICE, SENSORS AND CONTROLLER.
- ALL LATERAL LINE SIZING SHALL REFER TO PIPE SCHEDULE ON THIS PLAN.
- ALL EXISTING AND PROPOSED SIDEWALKS, BARRIER-FREE RAMPS, HANDICAP PARKING, DRIVEWAY CROSSWALKS, DRIVEWAYS AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A., T.A.S., AND COUNTY OF EL PASO REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET STANDARDS.

### IRRIGATION EQUIPMENT NOTES

- 95 PSI IS ASSUMED, CONTRACTOR TO VERIFY ON SITE AND NOTIFY THE OWNER OR OWNERS REPRESENTATIVE OF ACTUAL PRESSURE ON SITE.
- ALL IRRIGATION EQUIPMENT IS TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

### CRITICAL ANALYSIS

Generated:	2022-11-22 07:12
P.O.C. NUMBER: 01	
Water Source Information:	6985 Old Meridian Rd. Hydrant
<b>FLOW AVAILABLE</b>	
Water Meter Size:	1-1/2"
Flow Available:	40.32 GPM
<b>PRESSURE AVAILABLE</b>	
Static Pressure at POC:	95 PSI
Elevation Change:	5.00 ft
Service Line Size:	1 1/2"
Length of Service Line:	250 ft
Pressure Available:	78 PSI
<b>DESIGN ANALYSIS</b>	
Maximum Station Flow:	19.12 GPM
Flow Available at POC:	40.32 GPM
Residual Flow Available:	21.2 GPM
Critical Station:	11-R
Design Pressure:	30 PSI
Friction Loss:	5.45 PSI
Fittings Loss:	0.54 PSI
Elevation Loss:	0 PSI
Loss through Valve:	2.7 PSI
Pressure Req. at Critical Station:	38.7 PSI
Loss for Fittings:	0.23 PSI
Loss for Main Line:	2.32 PSI
Loss for POC to Valve Elevation:	0 PSI
Loss for Backflow:	12.7 PSI
Loss for Master Valve:	2.3 PSI
Loss for Water Meter:	0.67 PSI
Critical Station Pressure at POC:	57.0 PSI
Pressure Available:	78 PSI
Residual Pressure Available:	21.0 PSI

### VALVE SCHEDULE

#### VALVE\_SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	PRECIP
1-R	RAIN BIRD PESB	1"	TURF ROTARY	8.71	0.37 in/h
2-S	RAIN BIRD XZ-100-PRF	1"	SHRUB DRIP	1.68	0.15 in/h
3-T	RAIN BIRD XZ-100-PRF	1"	TREE DRIP	3.32	0.49 in/h
4-R	RAIN BIRD PESB	1"	TURF ROTARY	18.21	0.13 in/h
5-S	RAIN BIRD XZ-100-PRF	1"	SHRUB DRIP	1.350	0.11 in/h
6-T	RAIN BIRD XZ-100-PRF	1"	TREE DRIP	8.41	0.49 in/h
7-R	RAIN BIRD PESB	1"	TURF ROTARY	12.06	0.14 in/h
8-R	RAIN BIRD PESB	1"	TURF ROTARY	18.36	0.14 in/h
9-R	RAIN BIRD PESB	1"	TURF ROTARY	13.57	0.13 in/h
10-R	RAIN BIRD PESB	1"	TURF ROTARY	17.23	0.14 in/h
11-R	RAIN BIRD PESB	1"	TURF ROTARY	19.12	0.15 in/h
12-T	RAIN BIRD XZ-100-PRF	1"	TREE DRIP	7.91	0.49 in/h

# HIGHWAY 24 & MERIDIAN ROAD LANDSCAPE AND IRRIGATION 100% CONSTRUCTION DOCUMENTS



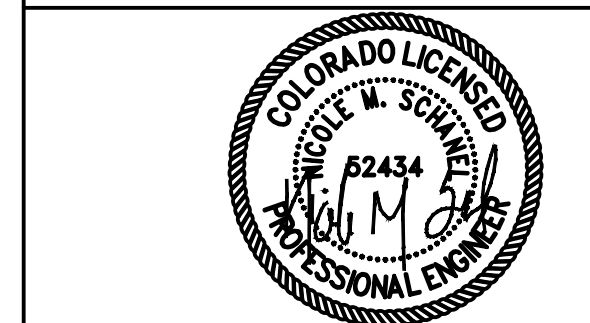
**Matrix**  
Excellence by Design  
2435 RESEARCH PARKWAY, SUITE  
300 COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100

**LAND DEVELOPMENT**  
CONSULTANTS, LLC  
950 S. CHERRY ST., SUITE 512  
DENVER, CO 80246

OWNER/DEVELOPER:

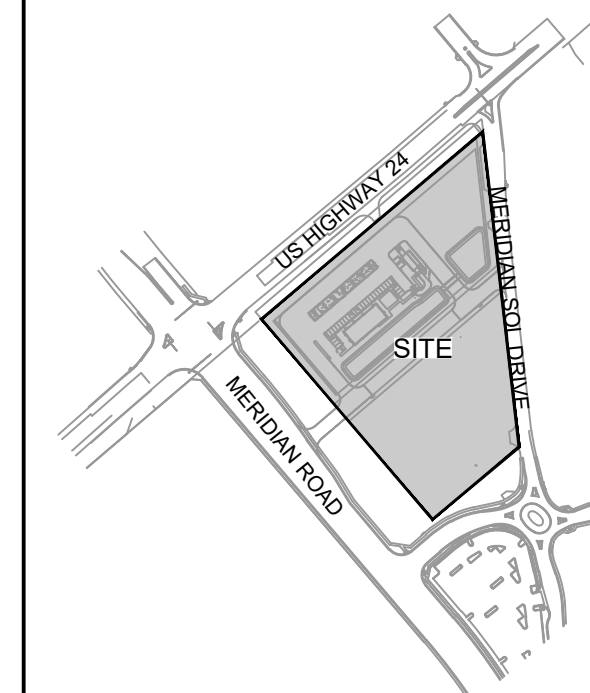


ROCKY MOUNTAINS DIVISION  
5500 S QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111  
PHONE: (720) 758-6223



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VICINITY MAP:



PROJECT:

**CIRCLE K STORES INC.**  
LANDSCAPE AND IRRIGATION  
100% CONSTRUCTION DOCUMENTS

HIGHWAY 24 & MERIDIAN ROAD  
FALCON, CO

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
1	09/06/2022	PER REVIEW COMMENTS	
2	09/30/2022	75% CD SUBMITTAL	
3	10/07/2022	100% CD SUBMITTAL	
4	12/02/2022	CD 1ST RESUBMITTAL	
5	01/19/2023	CD 2ND RESUBMITTAL	

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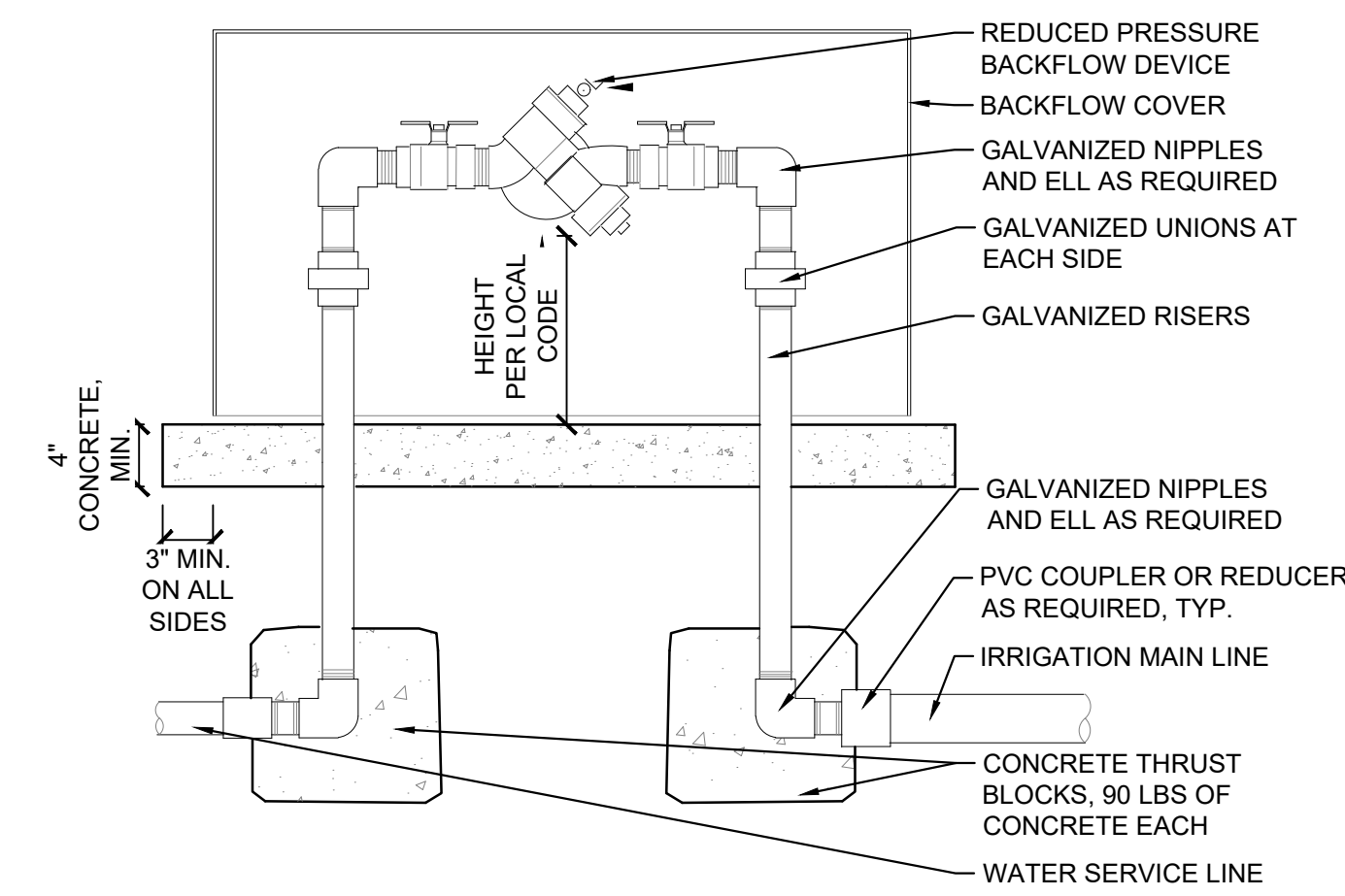
PROJECT NO: 21.1207.037  
DRAWN BY: KMM  
CHECKED BY: AJP  
DESIGNED BY: KMM

SHEET TITLE:

**IRRIGATION  
DETAILS**

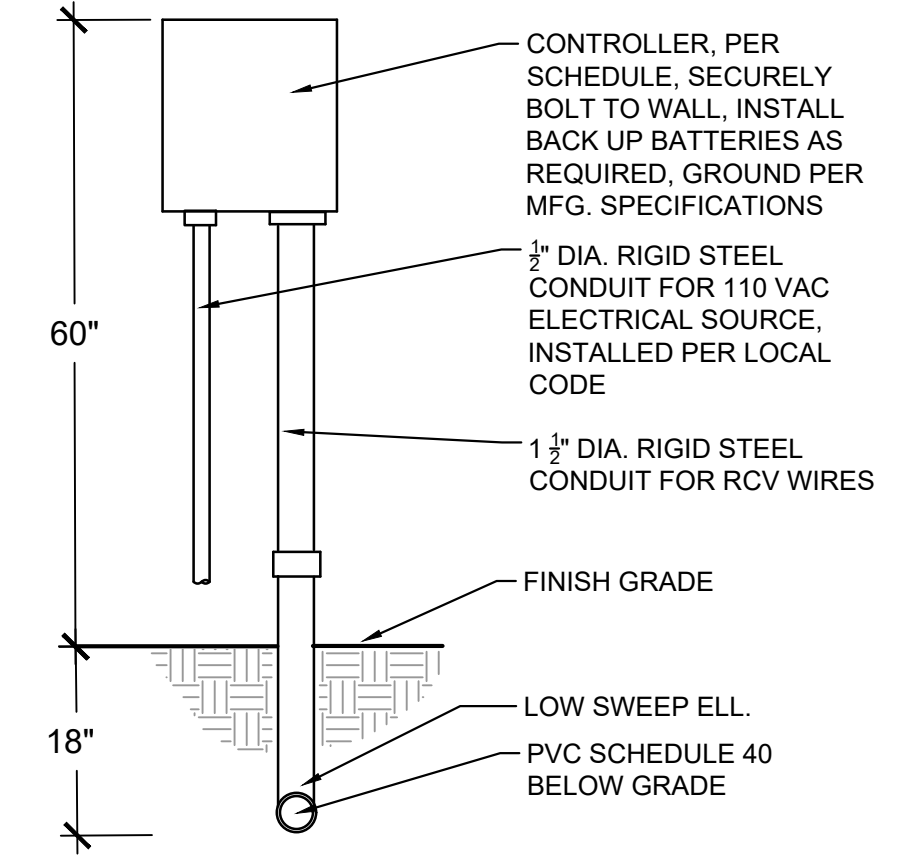
**IR02**

NOTE:  
FOR OUTDOOR APPLICATION ONLY. SEE ARCHITECTURE  
PLANS FOR INDOOR POINT OF CONNECTION.

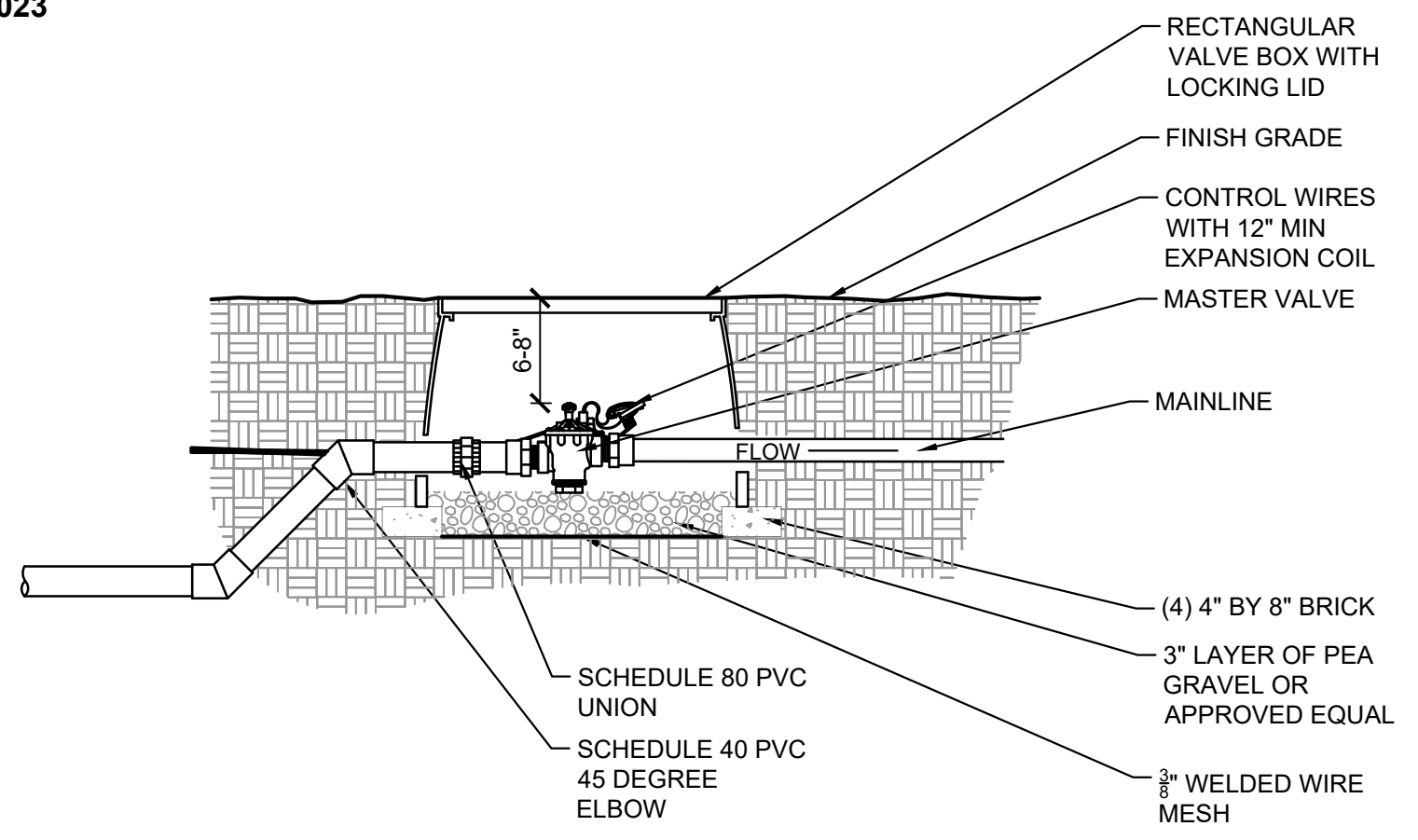


**1 REDUCED PRESSURE BACKFLOW WITH ENCLOSURE**  
NTS

A PORTION OF THE SE 1/4 OF SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M.  
COUNTY OF EL PASO COUNTY, STATE OF COLORADO  
**JANUARY 2023**

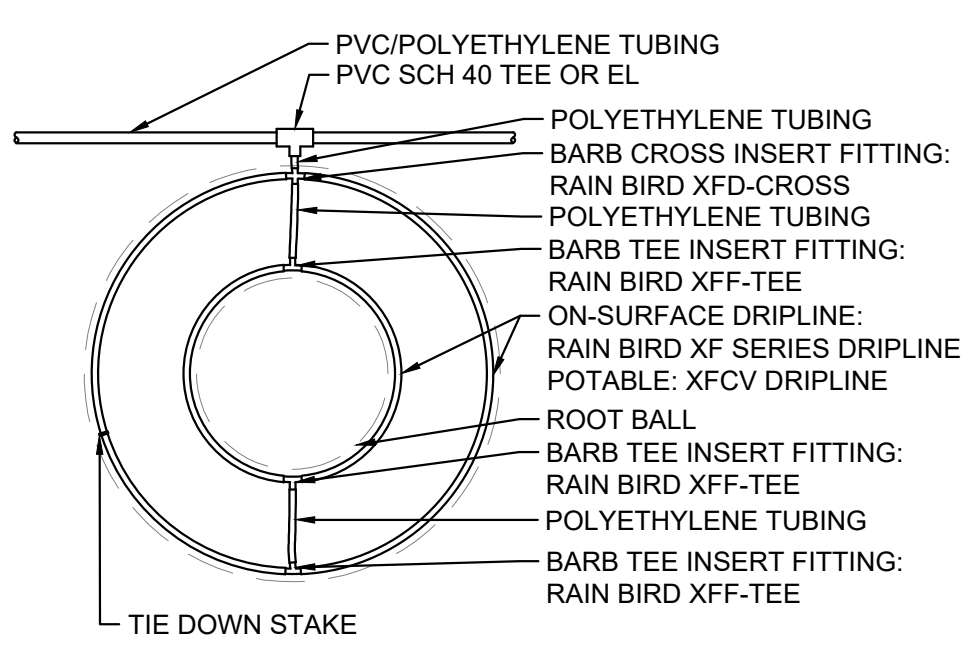


**2 WALL MOUNT CONTROLLER**  
NTS  
MS-STD-IRR-03



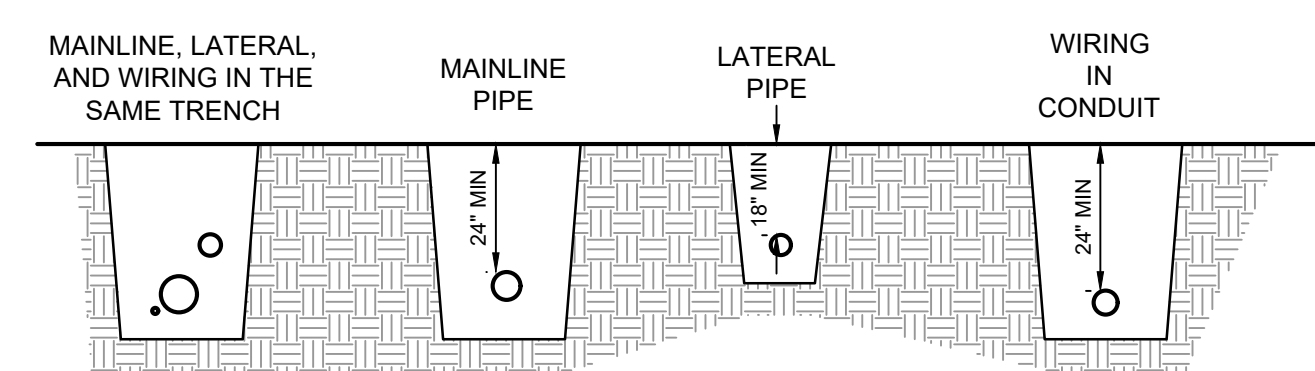
**3 MASTER VALVE**  
NTS

- NOTES:
1. MASTER VALVE SHALL BE MAKE AND MODEL NUMBER AS PRESCRIBED PER SCHEDULE
  2. INSTALL MASTER VALVE PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
  3. MASTER VALVE WIRE SHALL BE 14 AWG OR LARGER.
  4. ALL WIRE RUNS SHALL BE CONTINUOUS WITHOUT ANY SPLICES. WIRE CONNECTIONS SHALL BE MADE USING DBR-Y/6 CONNECTORS OR APPROVED EQUAL.
  5. SEE MASTER VALVE/ FLOW SENSOR DETAIL FOR LINEAR DIMENSIONS.
  6. VALVE BOXES SHALL BE LOCATED IN PLANTING AREAS.



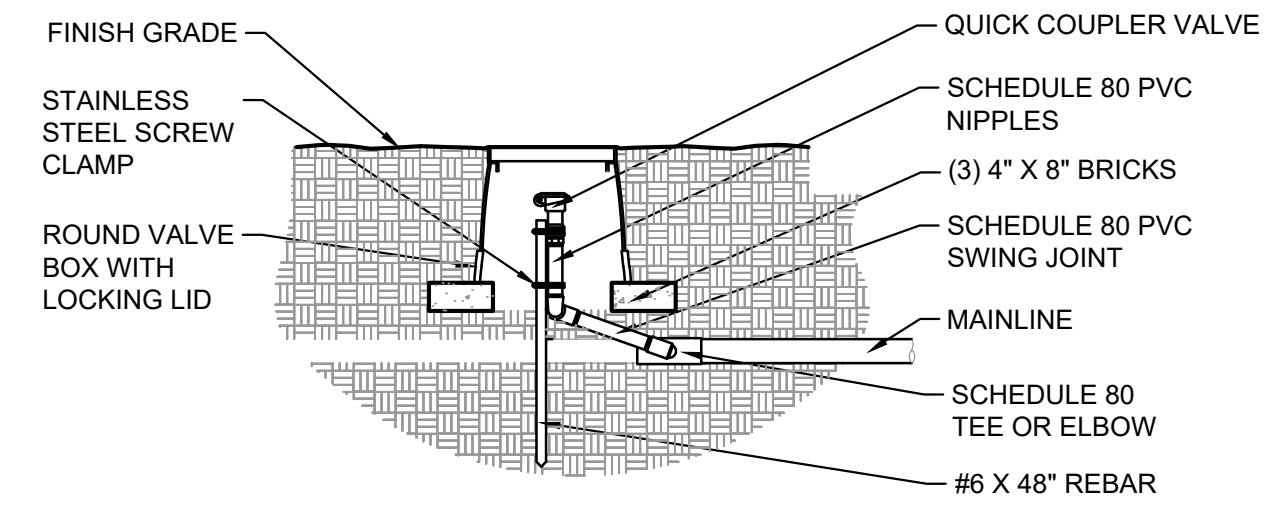
- NOTES:
1. PLACE TIE DOWN STAKES EVERY 3' O.C.
  2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

**4 TREE DRIP RING**  
NTS  
MS-STD-IRR-05



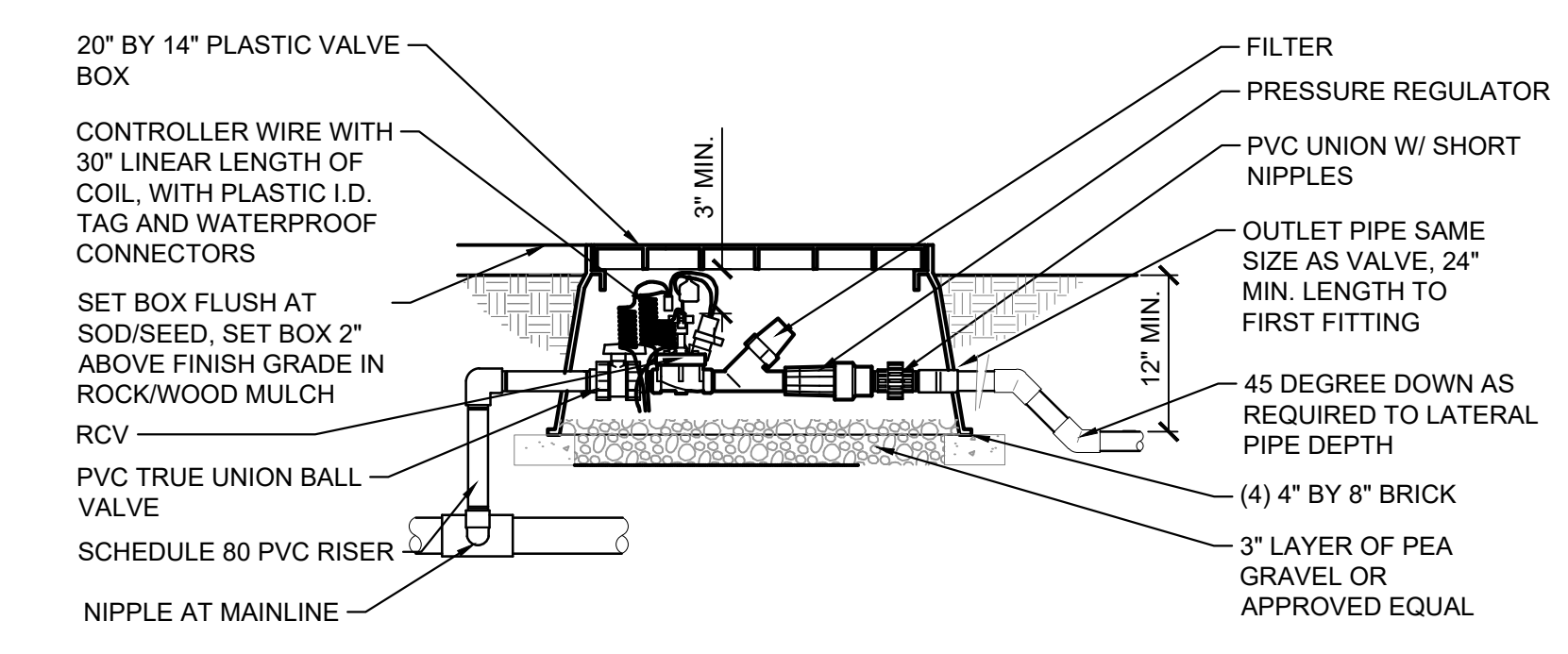
- NOTES:
1. ALL MAIN LINES, LATERAL LINES, AND SLEEVES PER SCHEDULE.
  2. SLEEVES BELOW ALL HARDSCAPE ELEMENTS SHALL BE TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE WITHIN.
  3. ALL LATERAL LINES SHALL BE BURIED NO LESS THAN 18" DEEP. ALL MAIN LINES AND ELECTRICAL LINES SHALL BE NO LESS THAN 24" DEEP.
- TIE A 24-INCH LOOP IN ALL WIRING AT CHANGES OF DIRECTION OR 30' OR GREATER. UNTIE AFTER ALL CONNECTION HAVE BEEN MADE.
- ALL SOLVENT WELD PLASTIC PIPING TO BE SNAKED IN TRENCH AS SHOWN

**5 IRRIGATION PIPE & WIRE TRENCHING**  
NTS  
MS-STD-IRR-06



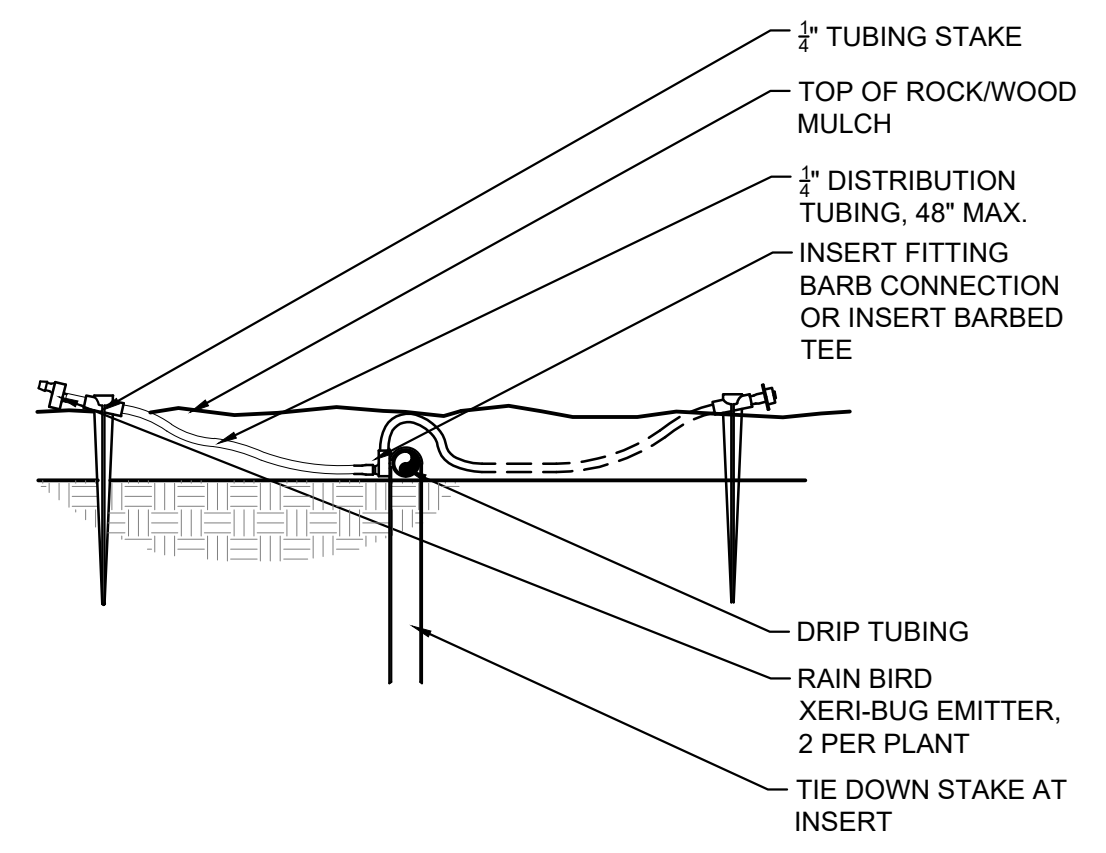
- NOTES:
1. ALL THREADED CONNECTIONS SHALL BE INSTALLED USING TEFLON TAPE.
  2. VALVE BOX SHALL BE WRAPPED WITH A MINIMUM 3 MIL THICK PLASTIC AND SECURED TO THE VALVE BOX USING DUCT TAPE OR ELECTRICAL TAPE.
  3. ALL QUICK COUPLERS SHALL BE INSTALLED A MINIMUM OF 18" OFF OF THE MAINLINE.
  4. VALVE BOXES SHALL BE LOCATED IN PLANTING AREAS.

**6 QUICK COUPLER VALVE**  
NTS

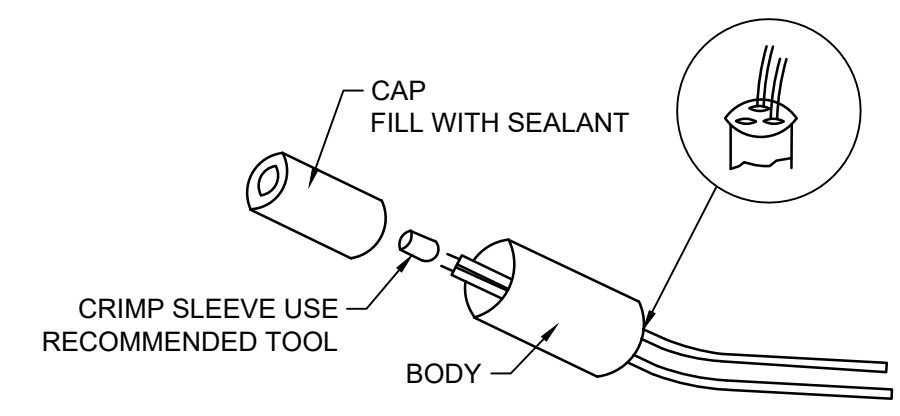


**7 AUTOMATIC CONTROL VALVE**  
NTS

- NOTES:
1. LOCATE VALVE BOX WITHIN 24" OF PAVEMENT EDGE IN PLANTING AREA WHERE EASILY ACCESSIBLE WHENEVER POSSIBLE.
  2. COMMON WIRE AND CONTROLLER WIRE SHALL BE DIRECT BURIAL 14 AWG OR LARGER. COLOR: COMMON (WHITE), CONTROLLER WIRE FOR TURF (BLUE), AND CONTROLLER WIRE FOR SHRUBS (RED). (SEE SPECIFICATIONS FOR 2-WIRE CONTROLLERS).
  3. ALL WIRE RUNS SHALL BE CONTINUOUS WITHOUT ANY SPLICES UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE. SEE SPLICE BOX DETAIL. WIRE CONNECTIONS SHALL BE MADE USING DBR-Y/6 CONNECTORS OR APPROVED EQUAL.
  4. MAINLINES 4" OR LARGER SHALL USE SADDLES AT THE CONNECTIONS POINTS TO THE IRRIGATION VALVE. (SEE SPECIFICATIONS FOR IRRIGATIONS SADDLES).
  5. ALL SCH. 80 PVC TO SCH. 40 PVC THREADED CONNECTIONS SHALL BE MADE USING TEFLON TAPE.



**8 DRIP EMITTERS**  
NTS  
MS-STD-IRR-09



**9 WIRE CONNECTION**  
NTS  
MS-STD-IRR-10

FILE LOCATION: S:\CIRCLE K HWY 24 & MERIDIAN\DWG\PLAN\IR02.DWG

# HIGHWAY 24 & MERIDIAN ROAD LANDSCAPE AND IRRIGATION 100% CONSTRUCTION DOCUMENTS

A PORTION OF THE SE 1/4 OF SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M.  
COUNTY OF EL PASO COUNTY, STATE OF COLORADO  
JANUARY 2023



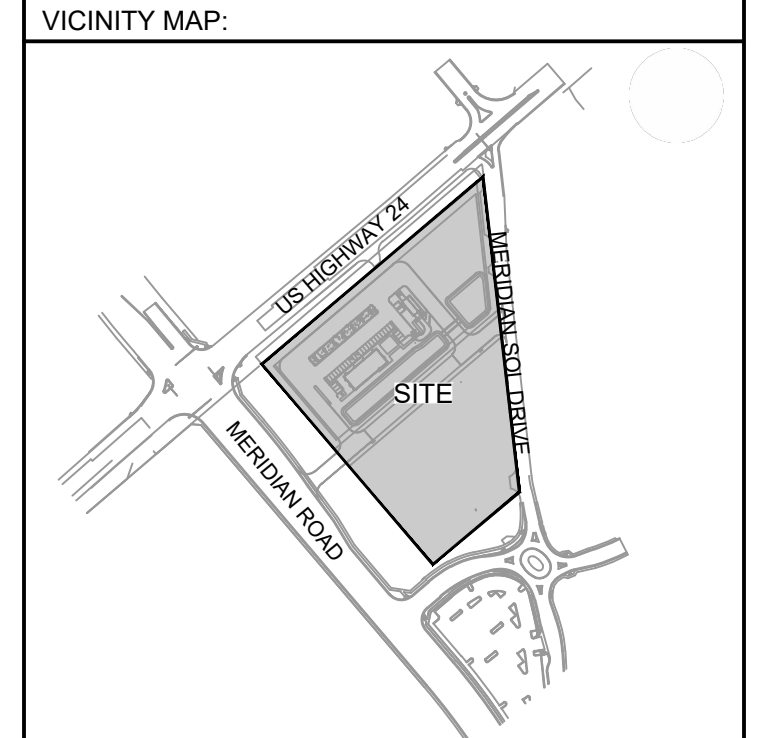
CONSULTANTS:  
**Matrix**  
Excellence by Design  
2435 RESEARCH PARKWAY, SUITE 300  
COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100

**LAND DEVELOPMENT**  
CONSULTANTS, LLC  
950 S. CHERRY ST., SUITE 512  
DENVER, CO 80246

OWNER/DEVELOPER:  
**CIRCLE K**

ROCKY MOUNTAINS DIVISION  
5500 S QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111  
PHONE: (720) 758-8223

SEAL  
  
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PROJECT:  
**CIRCLE K STORES INC.**  
LANDSCAPE AND IRRIGATION  
100% CONSTRUCTION DOCUMENTS

HIGHWAY 24 & MERIDIAN ROAD  
FALCON, CO

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
1	09/08/2022	PER REVIEW COMMENTS	
2	09/30/2022	75% CD SUBMITTAL	
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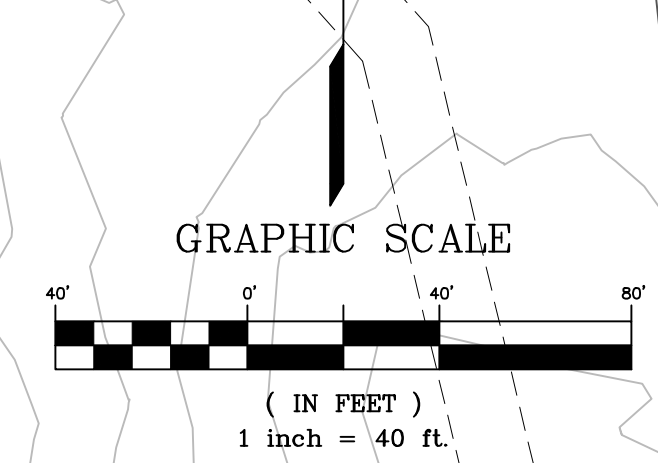
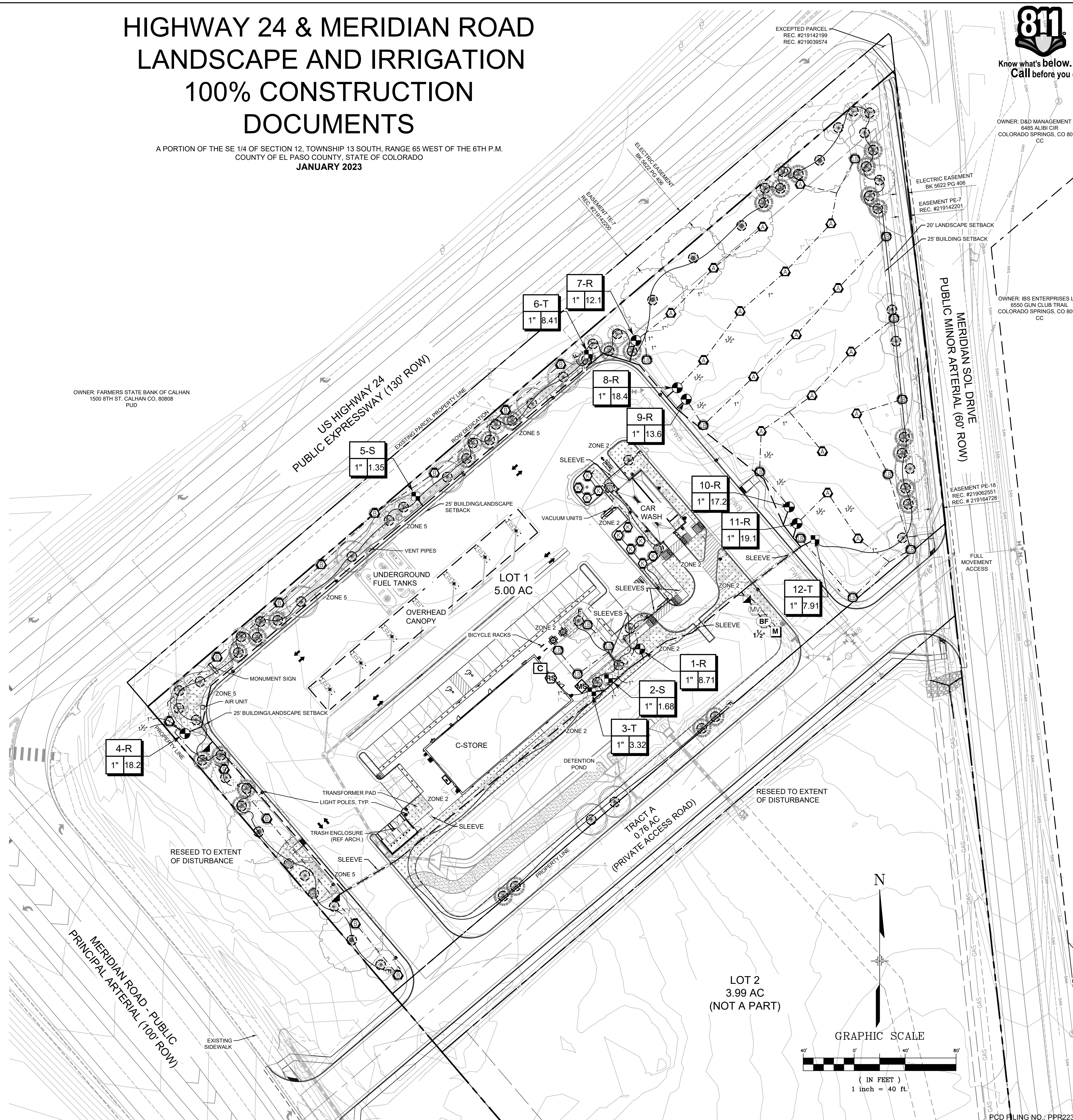
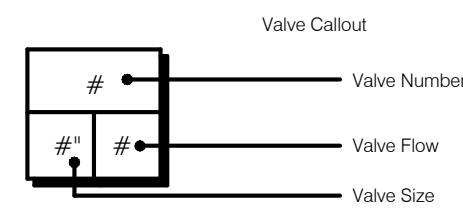
DRAWING INFORMATION:  
PROJECT NO.: 21.1207.037  
DRAWN BY: KMM  
CHECKED BY: AJP  
DESIGNED BY: KMM

SHEET TITLE:  
**IRRIGATION PLAN**

**IR03**  
ISSUE DATE: JANUARY 2023

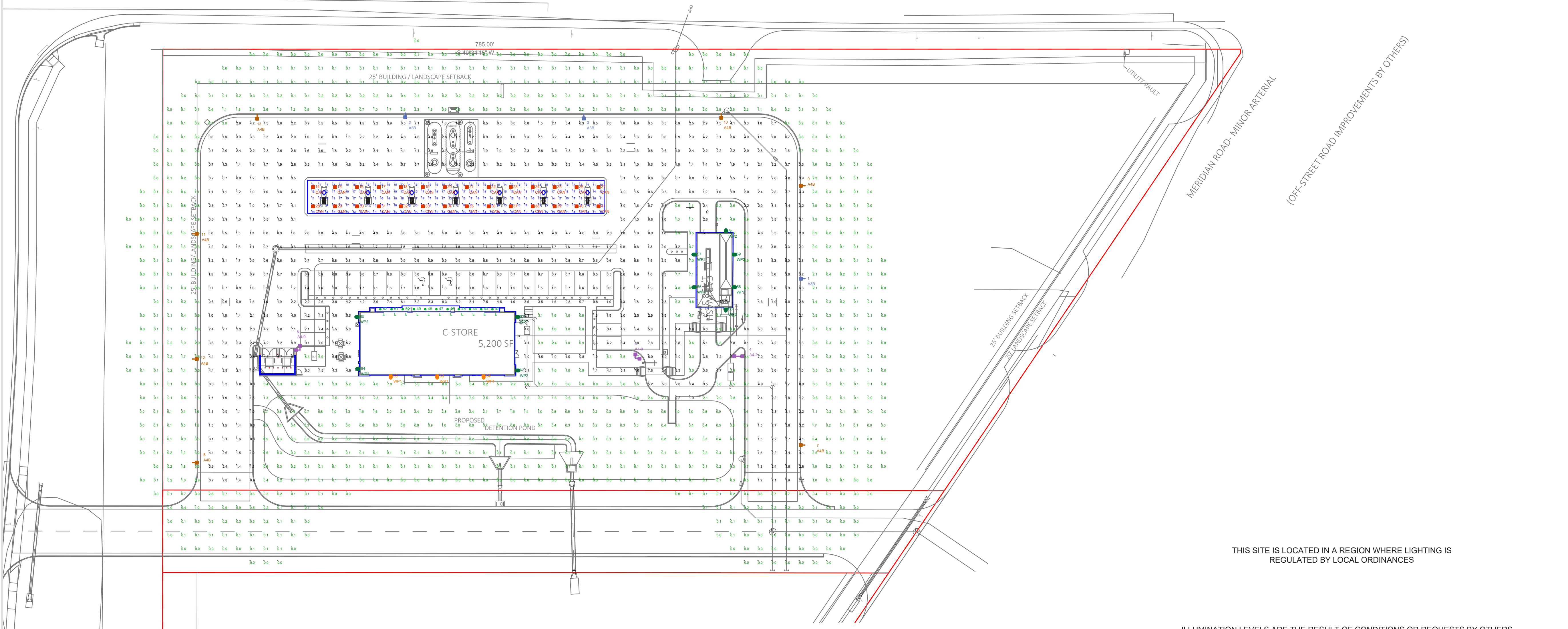
## IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	HUNTER MP2000 PROS-04-PRS30-CV TURF ROTATOR, 4" POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, A=RED 360 ARC.
	HUNTER MP3000 PROS-04-PRS30-CV TURF ROTATOR, 4" POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. B=BLUE ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC.
	HUNTER MP3500 PROS-04-PRS30-CV TURF ROTATOR, 4" POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. LB=LIGHT BROWN ADJUSTABLE ARC, 90-210.
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	RAIN BIRD XZ-100-PRF 1" MEDIUM FLOW DRIP CONTROL KIT, 1" DV VALVE, 1" PRESSURE REGULATING FILTER, 40PSI PRESSURE REGULATOR, 3GPM - 15GPM.
	RAIN BIRD MDCFAP DRIPLINE FLUSH VALVE CAP IN COMPRESSION FITTING COUPLER.
	TREE RING: RAIN BIRD XF SERIES DRIPLINE 2 DRIP RINGS USING 18" EMITTER SPACING @ 0.9 GPH, 12" SPACING FROM TRUNK TO FIRST RING, 30" SPACING FROM TRUNK TO SECOND RING
	AREA TO RECEIVE DRIP EMITTERS RAIN BIRD XB-PC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5 GPH=BLUE, 1.0 GPH=BLACK, AND 2.0 GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. Emitter Notes: 0.5 GPH emitters (2 assigned to each #5 CONT. plant)
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	RAIN BIRD PESB 1" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION, WITH SCRUBBER TECHNOLOGY FOR RELIABLE PERFORMANCE IN DIRTY WATER IRRIGATION APPLICATIONS.
	RAIN BIRD 5-LRC 1" 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 1-PIECE BODY.
	RAIN BIRD EFB-CP 1-1/2" 1", 1-1/4", 1-1/2", 2" BRASS MASTER VALVE, THAT IS CONTAMINATION PROOF W/SELF-FLUSHING FILTER SCREEN. GLOBE CONFIGURATION, RECLAIMED WATER COMPATIBLE, AND PURPLE HANDLE COVER DESIGNATES NON-POTABLE WATER USE.
	WATTS U009 1-1/2" REDUCED PRESSURE BACKFLOW PREVENTER
	RAIN BIRD ESP4ME WITH (1) ESP-SM3 7 STATION, HYBRID MODULAR OUTDOOR CONTROLLER, FOR RESIDENTIAL OR LIGHT COMMERCIAL APPLICATIONS.
	RAIN BIRD RSD-BEX RAIN SENSOR, WITH METAL LATCHING BRACKET, EXTENSION WIRE.
	RAIN BIRD SMRT-Y SOIL MOISTURE SENSOR KIT, 24VAC @ 50/60 HZ. OPERATING TEMPERATURE: -4 DEGREES F TO 158 DEGREES F. SURVIVAL TEMPERATURE: -40 DEGREES F TO 185 DEGREES F. UL, CUL, C-TICK CERTIFICATIONS.
	WATER METER 1-1/2" 6985 OLD MERIDIAN RD. HYDRANT
	IRRIGATION LATERAL LINE: POLYETHYLENE PIPE SDR-7 1"
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1"
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1 1/2"
	IRRIGATION MAINLINE: PVC SCHEDULE 40 1 1/2"
	PIPE SLEEVE: PVC CLASS 200 SDR 21 SEE IRRIGATION NOTES FOR SIZING



FILE LOCATION: S:\CIRCLE K\HWY 24 & MERIDIAN\DWG\PLAN\SET\SITE DEVELOPMENT\LANDSCAPE\IRRIGATION.DWG

US HIGHWAY 24-EXPRESSWAY  
(OFF-STREET ROAD IMPROVEMENTS BY OTHERS)



THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS REGULATED BY LOCAL ORDINANCES

ILLUMINATION LEVELS ARE THE RESULT OF CONDITIONS OR REQUESTS BY OTHERS  
RED LEONARD ASSOCIATES IS NOT RESPONSIBLE FOR INCIDENTS CAUSED BY INSUFFICIENT LIGHTING AND DOES NOT RECOMMEND THESE LEVELS FOR SECURITY AND SAFETY REASONS

NOTES:

- ALL AREA LIGHTS ON NEW 15 FT. POLE MOUNTED ON 3 FT. CONCRETE BASE
- ALL LUMINAIRES HAVE ZERO LUMENS ABOVE 90 DEGREES

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVED AREA	2.77	9.9	0.5	5.54	19.80
UNDEFINED	0.83	9.4	0.0	N.A.	N.A.
UNDER CANOPY	15.02	20	10	1.50	2.00

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	A3B	18
2	A3B	18
3	A3B	18
4	A4-2	18
5	A4-9	18
6	A4-9	18
7	A4B	18
8	A4B	18
9	A4B	18
10	A4B	18
11	A4B	18
12	A4B	18
13	A4B	18
14	CAN	17.5
15	CAN	17.5
16	CAN	17.5
17	CAN	17.5
18	CAN	17.5
19	CAN	17.5
20	CAN	17.5
21	CAN	17.5
22	CAN	17.5
23	CAN	17.5
24	CAN	17.5
25	CAN	17.5
26	CAN	17.5
27	CAN	17.5
28	CAN	17.5
29	CAN	17.5
30	CAN	17.5
31	CAN	17.5
32	CAN	17.5
33	CAN	17.5
34	CAN	17.5
35	CAN	17.5
36	CAN	17.5
37	CAN	17.5
38	CAN	17.5
39	CAN	17.5
40	CAN	17.5
41	CAN	17.5
42	L	12
43	L	12
44	L	12
45	L	12
46	L	12
47	L	12
48	L	12
49	L	12
50	L	12
51	L	12
52	L	12
53	WP1	14.5
54	WP1	14.5
55	WP1	14.5
56	WP2	14.5
57	WP2	14.5
58	WP2	14.5
59	WP2	14.5
60	WP2	14.5
61	WP2	14.5
62	WP2	14.5
63	WP2	14.5
64	WP2	14.5
65	WP2	14.5

SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LATF	DIMMING LUMEN MULTIPLIER	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
	3	A3B	SINGLE	8824	1.040	1.000	1.040	B1-U0-G2	72	216	Cree Inc	OSQ-ML-B-XX-XX + OSQM-B-11L-57K7-3M-UL-NM-XX + OSQ-BLSMF
	1	A4-2	BACK-BACK	11174	1.040	1.000	1.040	B2-U0-G2	72	144	Cree Inc	OSQ-ML-B-XX-XX + OSQM-B-11L-57K7-4M-UL-NM-XX
	2	A4-9	2 @ 90 DEGREES	11174	1.040	1.000	1.040	B2-U0-G2	72	288	Cree Inc	OSQ-ML-B-XX-XX + OSQM-B-11L-57K7-4M-UL-NM-XX
	7	A4B	SINGLE	8574	1.040	1.000	1.040	B1-U0-G2	72	504	Cree Inc	OSQ-ML-B-XX-XX + OSQM-B-11L-57K7-4M-UL-NM-XX + OSQ-BLSMF
	28	CAN	SINGLE	10847	1.040	0.510	0.530	B3-U0-G1	44.55	1247.4	BETALED, A DIVISION OF RUUD LIGHTING	CAN-228-SL-RM-06-E-UL-XX-525-57K (SET DIAL @ 2)
	11	L	SINGLE	1800	1.040	1.000	1.040	B1-U0-G0	20.5	225.5	Cree Lighting	LR6X-18L-40K-120V
	3	WP1	SINGLE	6094	1.040	1.000	1.040	B1-U0-G2	46.95	140.85	Cree Inc	XSPW-B-WM-3ME-6L-40K-UL-XX
	10	WP2	SINGLE	6100	1.040	1.000	1.040	B2-U0-G2	47	470	Cree Inc	XSPW-B-WM-4ME-6L-40K-UL-XX

REV.	BY	DATE	DESCRIPTION
R1	FNE	7/15/21	MOVED LUMINAIRE #4 AWAY FROM RETURN TANKS
R2	FNE	3/14/22	REVISED PER UPDATED SITE PLAN

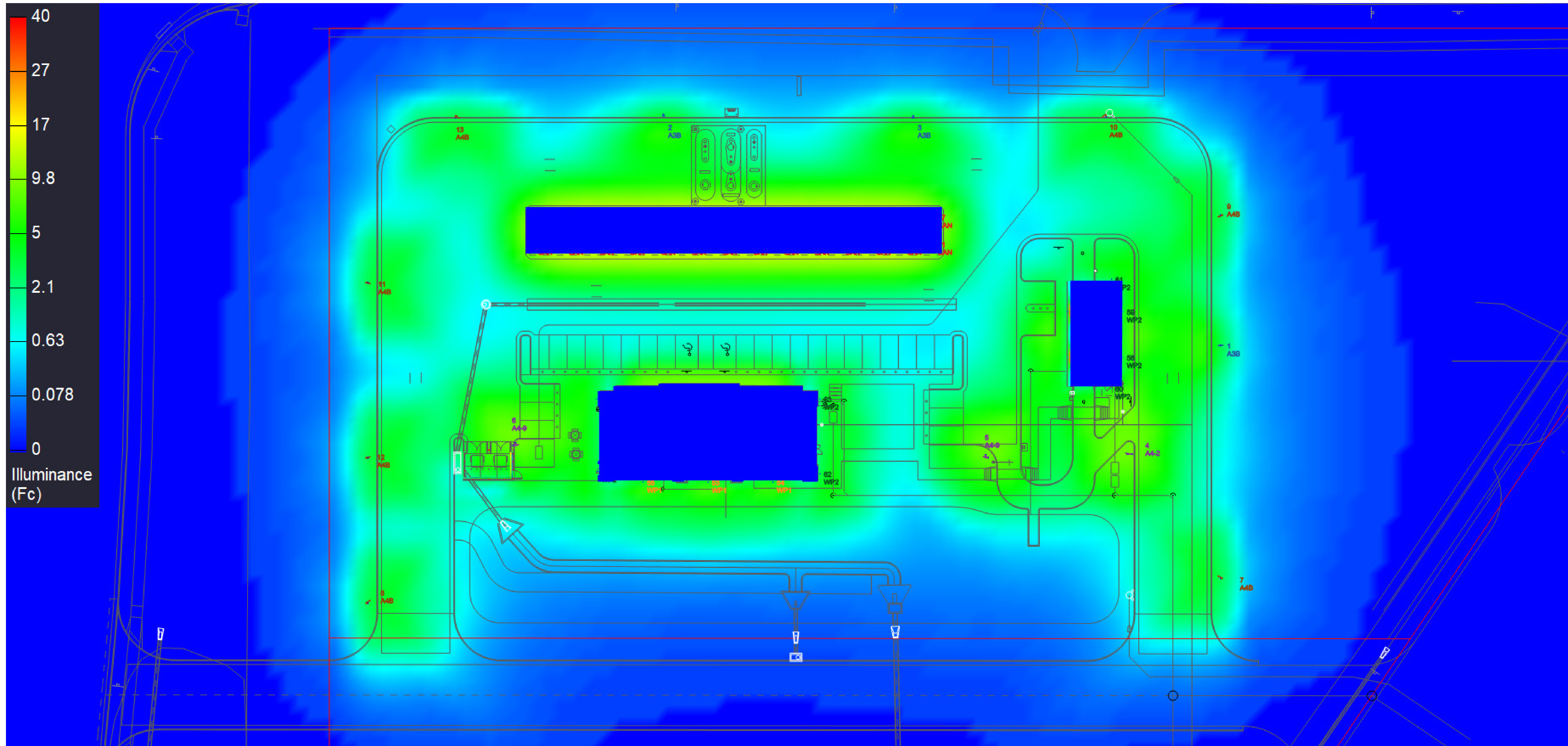
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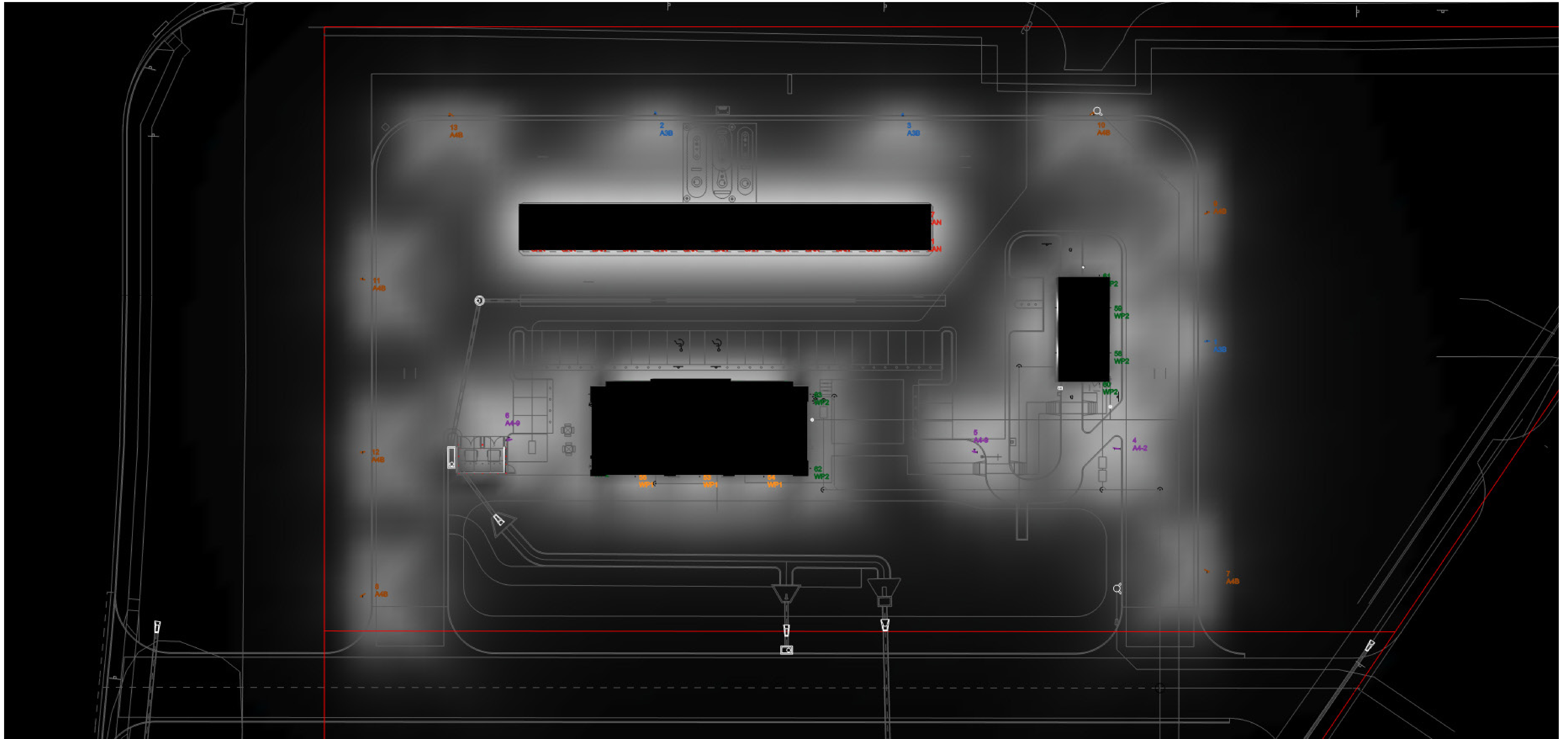
SCALE: 1" = 40'  
LAYOUT BY: FNE  
DWG SIZE: D  
DATE: 6/29/21

PROJECT NAME:  
**CIRCLE K FALCON, CO**  
DRAWING NUMBER:  
**RL-7499-S1-R2**

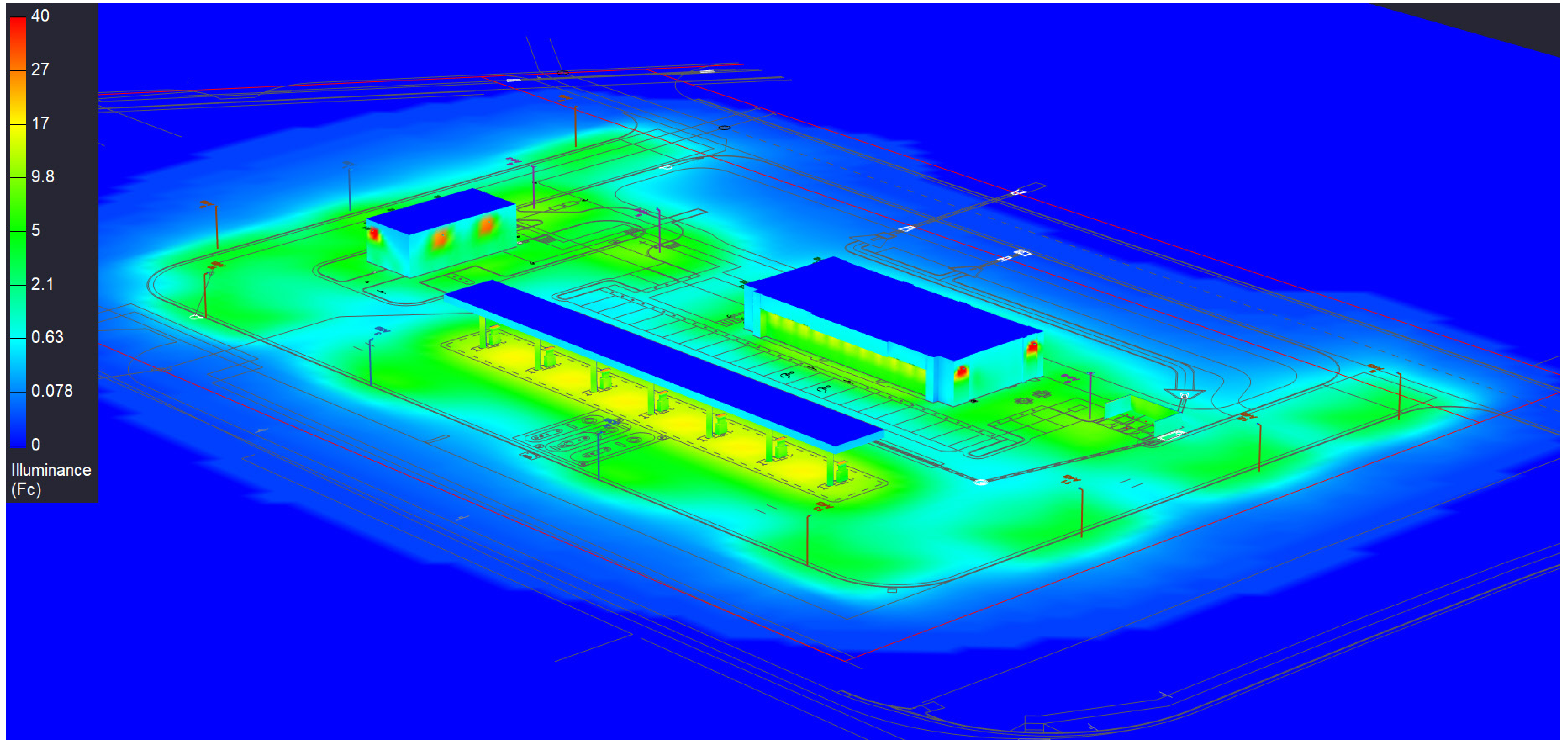


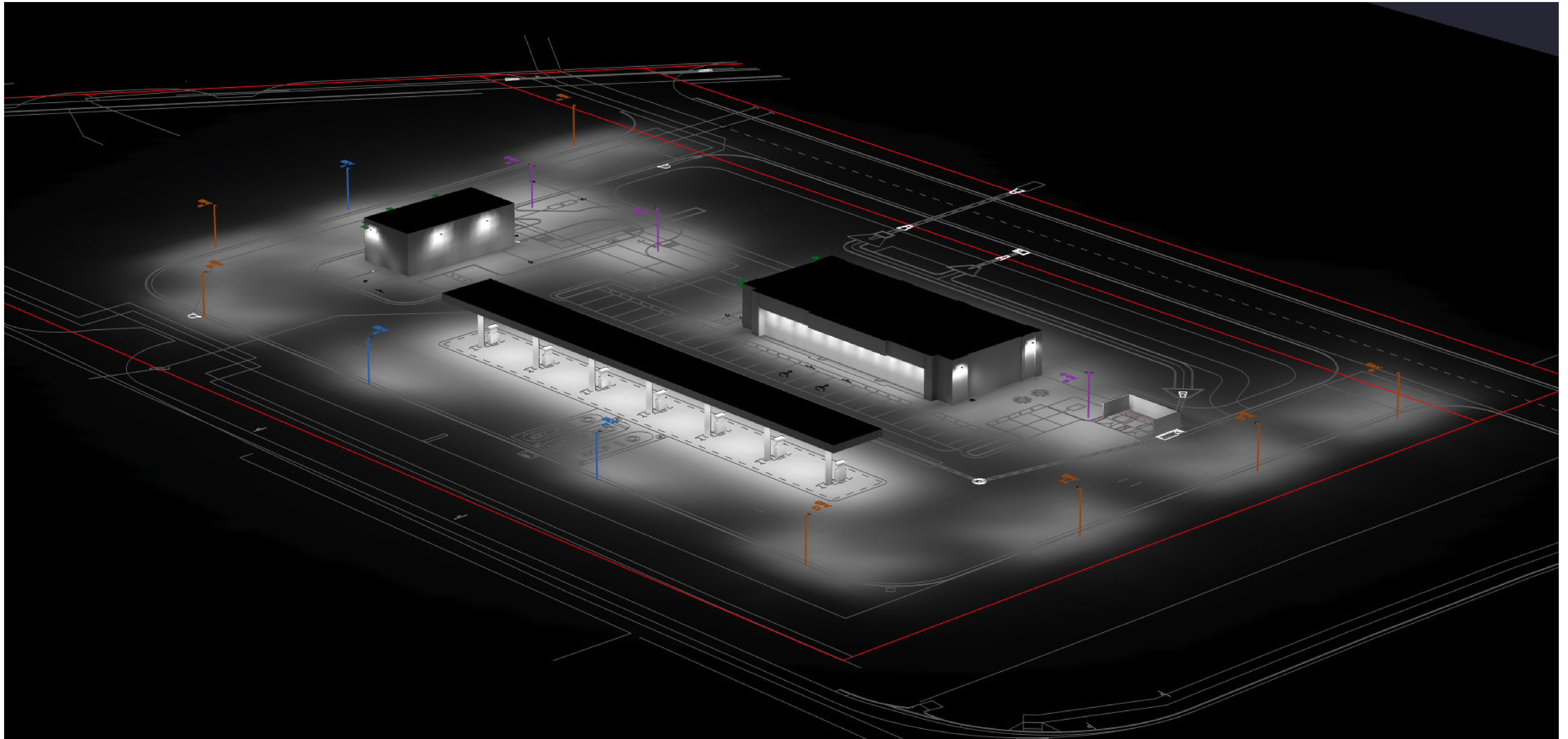














**LAND DEVELOPMENT**  
CONSULTANTS, LLC

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March 10, 2022

El Paso County  
Planning and Community Development Department  
2880 International Circle  
Colorado Springs, Colorado 80910

Re: Letter of Intent – Site Development Plan Circle  
K – Hwy 24 & Meridian, Falcon, Colorado  
PPR-2230

To Whom it May Concern:

OWNER/APPLICANT NAME: CST Metro LLC, D.B.A. Circle K Stores Inc.  
5500 South Quebec Street, Suite 100  
Greenwood Village, Colorado 80111  
720-341-7015 / zpericak@circlek.com

CONSULTANT: Land Development Consultants  
950 South Cherry Street, Suite 512  
Denver, Colorado 80246  
303-717-3305 / sofia@ldcaz.com

PROPERTY ADDRESS: 6970 Meridian Sol Drive  
Falcon, Colorado 80831

PROPERTY TAX SCHEDULE: 5312402016, 5312402015, 5312404003, 5312405005, 5312405003,  
5312403003, 5312403004

CURRENT ZONING: CURRENT: C-2 - parcel 5312402016. R-5 Rural residential -remaining parcels.  
PROPOSED: CC for all parcels

PROPOSED REQUEST: Circle K is proposing to raze and rebuild an existing Circle K convenience store. This proposal includes building a new 5,200 square foot convenience store with associated single stack 7 fuel dispenser canopy and carwash.

This request is made with the intention of the project being in compliance with all applicable federal, state, and local codes, laws, and ordinances and all ADA applicable standards requirements as well as EPC LDC and Master Plan.

**PROPOSED USE:** The proposed Circle K will be in compliance with all applicable commercial zoning requirements for retail sales and service establishments. Convenience stores are allowed under the CC zoning. The El Paso County Master Plan is designed to accommodate and serve the needs of the residents by offering a framework for zoning as well as, among other items, commercial development. The growth planned and expected for El Paso County will be guided by the Master Plan. This Circle K will serve the modern community by offering clean and quick access to fuel, car wash and convenience shopping.

**PROVISION OF UTILITIES:** Circle K has been included into the Woodmen Hills Metropolitan District for water and wastewater and sewer. Mountain View Electric Association is the power provider.

**TRAFFIC GENERATION:** A separate traffic study has been done and is provided with this submittal.

**REQUESTED ALTERNATIVES:** CS213 - Rezone has been requested and approved for this project to bring zoning of all the parcels into one current zoning of CC.

VR223 - Replat submittal is being done to combine parcels into 2 larger parcels. One new parcel is for development of the new Circle K site and the other new parcel will better serve future development.

Land Development Consultants and Circle K is looking forward to working with El Paso County on this project. Please advise if additional information is needed.

Thank you.

LAND DEVELOPMENT CONSULTANTS



Sofia Hernandez  
Project Manager