CIRCLE K AT HIGHWAY 24 & MERIDIAN ROAD SITE DEVELOPMENT PLAN

EL PASO COUNTY, COLORADO

JANUARY 2023

SITE BM NO. 2: CENTER OF SANITARY SEWER MANHOLE LOCATED 861 FEET SOUTH OF THE SOUTH EDGE OF ASPHALT OF



PRESENT AT THIS SITE. POTENTIAL GEOLOGIC CONSTRAINTS WERE FOUND ON SITE TO INCLUDE:

REFER TO SAID REPORT FOR MITIGATION RECOMMENDATIONS.

SOUTH 1/4 CORNER OF SECTION 12, SAID LINE BEARS N89°50'28"W.

ENGINEER'S STATEMENT:

GEOLOGY AND SOILS NOTE

A GEOLOGY AND SOILS STUDY REPORT.

BENCHMARK:

NAVD88 DATUM ELEVATION 6825.51.

NAVD88 DATUM ELEVATION 6816.71.

BASIS OF BEARINGS:

FLOODPLAIN NOTE

ADA NOTE

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY. DRAINAGE. GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS. ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS

IS INCLUDED WITH THE SUBMITTAL PACKAGE. AS PART OF

SITE BM NO. 1: CENTER OF SANITARY SEWER MANHOLE LOCATED 242 FEET SOUTH OF THE SOUTH EDGE OF ASPHALT OF

ALL BEARINGS ARE BASED ON THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 12 AS MONUMENTED BY A 3-1/4 INCH

ALUMINUM CAP STAMPED "EL PASO COUNTY DPW T13S S12/S7/S13/S18 R65W R64W 1982 LS 17496" AT THE SOUTHEAST CORNER

OF SECTION 12 AND BY A 3-1/4 INCH ALUMINUM CAP STAMPED "SURVCON INC. T13S R65W 1/4 S12 S13 2003 PLS 30829" AT THE

THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE

THE SUBDIVIDER/DEVELOPER HAS FAMILIARIZED ITSELF WITH CURRENT AMERICANS WITH DISABILITIES ACT (ADA) LAWS AND

ELEMENTS MEET THE APPLICABLE ADA DESIGN STANDARDS AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE.

THIS STUDY, 78 EXPLORATORY TEST BORINGS WERE COMPLETED. GEOLOGIC HAZARDS WERE NOT FOUND TO BE

ACCESSIBILITY STANDARDS AND HAS LAID OUT THE PLAT AND ASSOCIATED GRADING AND CONSTRUCTION PLANS SO THAT ALL SITE

APPROVAL OF THIS PLAN AND ASSOCIATED CONSTRUCTION DOCUMENTS BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. IT IS THE

RESPONSIBILITY OF THE DEVELOPER/HOME BUILDER TO ENSURE ADA ACCESSIBILITY DURING CONSTRUCTION OF THE SIDEWALKS.

HIGHWAY 24 AND 9 FEET EAST OF THE EAST EDGE OF ASPHALT OF OLD MERIDIAN ROAD

HIGHWAY 24 AND 3 FEET EAST OF THE EAST EDGE OF ASPHALT OF OLD MERIDIAN ROAD

MAP, COMMUNITY MAP NUMBER '08041C0561G', EFFECTIVE DATE 'DECEMBER 7, 2018'

DATE: <u>03/01/2023</u> NICOLE SCHANEL. PE #52434 FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC.

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JOSHUA PALMER COUNTY ENGINEER / ECM ADMINISTRATOR

OWNER/DEVELOPER:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

3/6/2023

Zoe Pericak

ZOE PERICAK LAND DEVELOPMENT CONSULTANTS 950 S. CHERRY STREET, SUITE 512 DENVER, CO 80246

CONTACT LIST

CIRCLE K STORES INC. 5500 S. QUEBEC STREET, SUITE 100 GREENWOOD VILLAGE, CO 80111 PHONE: (720) 758-6223

LAND DEVELOPMENT CONSULTANTS, LLC 950 S. CHERRY ST., SUITE 512 DENVER, CO 80246 SOFIA HERNANDEZ PHONE: (303) 717-3305

SOFIA@LDCAZ.COM CIVIL ENGINEER/ LANDSCAPE ARCHITECT

MATRIX DESIGN GROUP 2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 NICOLE SCHANEL/ JASON ALWINE PHONE: (719) 575-0100

NICOLE.SCHANEL@MATRIXDESIGNGROUP.COM

GREENBERG FARROW 30 EXECUTIVE DRIVE, SUITE 100 **IRVINE**, CA 92614 DOUG COUPER PHONE: (949) 296-0450

LAND SURVEYOR RUBINO SURVEYING 3312 AIRPORT ROAD **BOULDER, COLORADO 80301** PHONE: (303) 464-9515

GEOTECHNICAL ENGINEER TERRACON CONSULTANTS, INC. 4172 CENTER PARK DRIVE COLORADO SPRINGS, CO 80916 PHONE: (719) 597-2116

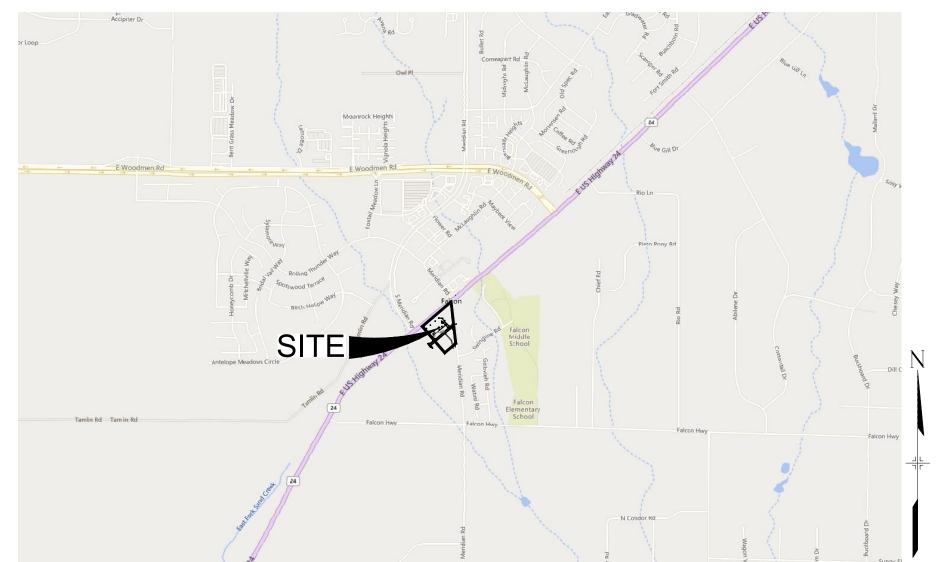
MOUNTAIN VIEW ELECTRIC ASSOCIATION 11140 E. WOODMEN ROAD PEYTON, COLORADO 80831 PHONE: (719) 495-2283

WOODMEN HILLS METRO DISTRICT 8046 EASTONVILLE ROAD **FALCON, CO 80831** PHONE: (719) 495-2500

FALCON FIRE PROTECTION DISTRICT 7030 OLD MERIDIAN ROAD **FALCON, CO 80831** PHONE: (719) 495-4050

EL PASO COUNTY PUBLIC SERVICES 3275 AKERS DR. COLORADO SPRINGS, COLORADO 80922 PHONE: (719) 520-6460

COLORADO SPRINGS UTILITIES 7710 DURANT DRIVE COLORADO SPRINGS, COLORADO 80920 TIM BENEDICT PHONE: (719) 668-3574



SITE MAP

1" = 150'

VICINITY MAP 1" = 2,000'

PROPERTY SIZE 5.31 ACRES 5312402016, 5312403003, 5312403004, 5312402015, TAX SCHEDULE NO. 5312405003, 5312404003, 5312405005, PROJECT ADDRESS 6970 MERIDIAN SOL DRIVE **DEVELOPMENT SCHEDULE** EL PASO COUNTY MASTER PLAN C-2, RR-5 **EXISTING ZONING** PROPOSED ZONING CS PUD ORDINANCE DRAINAGE BASIN FALCON DRAINAGE BASIN **EXISTING LAND USE MERCHANDISING** PROPOSED LAND USE COMMERCIAL **BUILDING SETBACKS** 25' FRONTAGE SETBACK LANDSCAPE SETBACKS SEE PLAN MAX. BUILDING HEIGHT 50' MAX HEIGHT PROPOSED OPEN SPACE / 138,085 SF (63%) LANDSCAPING COVERAGE PROPOSED IMPERVIOUS 79,715 SF (38%)

LEGAL DESCRIPTION

GROSS BUILDING AREA

PARKING REQUIRED

PARKING PROVIDED

SUMMARY DATA

A PARCEL OF LAND BEING A PORTION OF BLOCKS 24 AND 25 AND PORTIONS THE VACATED ROADS AND ALLEYS AND PORTIONS OF ROADS TO BE VACATED IN FALCON SUBDIVISION, EL PASO COUNTY, COLORADO, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK B AT PAGE 37 AND LOCATED IN THE SOUTHEAST 1/4 OF SECTION 12, TOWNSHIP 13 SOUTH. RANGE 65 WEST OF THE 6TH P.M.. COUNTY OF EL PASO. STATE OF COLORADO. DESCRIBED AS FOLLOWS:

6.658 SF

23 (1 ADA)

28 (2 ADA)

COMMENCING AT THE INTERSECTION OF THE SOUTHEASTERLY ROW LINE OF EASTERN AVENUE AS SHOWN ON SAID FALCON SUBDIVISION WITH THE EASTERLY ROW LINE MERIDIAN SOL DRIVE (PREVIOUSLY OLD MERIDIAN ROAD) FROM WHICH THE INTERSECTION OF SAID SOUTHEASTERLY ROW LINE OF EASTERN AVENUE WITH THE EASTERLY ROW LINE OF 8TH STREET (AS SHOWN ON SAID FALCON SUBDIVISION) BEARS \$49°58'22"W, A DISTANCE OF 317.56 FEET; THENCE N06°19'16"W ALONG THE EASTERLY ROW LINE OF SAID MERIDIAN SOL DRIVE (SAID LINE BEING THE BASIS OF BEARINGS FOR ALL BEARINGS STATED HEREIN), A DISTANCE OF 556.22 FEET TO THE TRUE POINT OF BEGINNING:

THENCE CONTINUING N06°19'16"W ALONG SAID EASTERLY ROW LINE, A DISTANCE OF 354.65 FEET;

THENCE N40°25'48"W, A DISTANCE OF 2.94 FEET;

THENCE S49°34'15"W AND PARALLEL WITH THE SOUTHEASTERLY ROW LINE OF US HIGHWAY 24, A DISTANCE OF 828.25 FEET TO THE EASTERLY ROW LINE SAID 8TH STREET:

THENCE S40°25'21"E ALONG SAID EASTERLY ROW LINE, A DISTANCE OF 296.05 FEET;

THENCE N49°37'09"E, A DISTANCE OF 629.41 FEET TO THE TRUE POINT OF BEGINNING.

THE DESCRIBED PARCEL CONTAINS 216,280 SQ. FT. OR 4.9651 ACRES, MORE OR LESS

THE LINEAL UNIT OF MEASURE IS THE U.S. SURVEY FOOT.

A PARCEL OF LAND BEING A PORTION OF PACIFIC AVENUE AND A PORTION OF 8TH STREET IN FALCON SUBDIVISION, EL PASO COUNTY, COLORADO, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK B AT PAGE 37 AND LOCATED IN THE SOUTHEAST 1/4 OF SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTHEASTERLY ROW LINE OF EASTERN AVENUE AS SHOWN ON SAID FALCON SUBDIVISION WITH THE EASTERLY ROW LINE MERIDIAN SOL DRIVE (PREVIOUSLY OLD MERIDIAN ROAD) FROM WHICH THE INTERSECTION OF SAID SOUTHEASTERLY ROW LINE OF EASTERN AVENUE WITH THE EASTERLY ROW LINE OF 8TH STREET (AS SHOWN ON SAID FALCON SUBDIVISION) BEARS S49°58'22"W, A DISTANCE OF 317.56 FEET; THENCE N06°19'16"W ALONG THE EASTERLY ROW LINE OF SAID MERIDIAN SOL DRIVE (SAID LINE BEING THE BASIS OF BEARINGS FOR ALL BEARINGS STATED HEREIN). A DISTANCE OF 483.80 FEET TO THE TRUE POINT OF BEGINNING:

THENCE CONTINUING N06°19'16"W ALONG SAID EASTERLY ROW LINE, A DISTANCE OF 72.42 FEET;

THENCE S49°37'09"W ALONG THE NORTHWESTERLY ROW LINE OF SAID PACIFIC AVENUE AND SAID LINE EXTENDED EASTERLY, A DISTANCE OF 629.41 FEET TO THE EASTERLY ROW LINE SAID 8TH STREET;

THENCE S40°25'21"E ALONG SAID EASTERLY ROW LINE, A DISTANCE OF 60.00 FEET;

THENCE N49°37'09"E ALONG THE SOUTHEASTERLY ROW LINE OF SAID PACIFIC AVENUE AND SAID LINE EXTENDED

EASTERLY, A DISTANCE OF 588.81 FEET TO THE TRUE POINT OF BEGINNING.

THE DESCRIBED PARCEL CONTAINS 36,546 SQ. FT. OR 0.8390 ACRES, MORE OR LESS.

THE LINEAL UNIT OF MEASURE IS THE U.S. SURVEY FOOT.

LANDSCAPE NOTES

1. LANDSCAPING SHALL BE MAINTAINED BY THE OWNER OR THEIR ASSIGNS.

2. ANY LANDSCAPING WITHIN THE PUBLIC RIGHTS-OF-WAY WILL BE SUBJECT TO A LICENSE AGREEMENT WITH EL PASO COUNTY FOR OWNERSHIP AND MAINTENANCE RESPONSIBILITIES.

3. ANY OBJECT WITHIN THE SITE DISTANCE TRIANGLE OR EASEMENT MORE THAN 30 INCHES ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT ROADWAY SHALL CONSTITUTE A SIGHT OBSTRUCTION, AND SHALL BE REMOVED OR LOWERED. THE OBJECTS MAY INCLUDE BUT ARE NOT LIMITED TO BERMS, BUILDINGS, PARKED VEHICLES ON PRIVATE PROPERTY, CUT SLOPES, HEDGES, TREES, BUSHES, UTILITY CABINETS OR TALL CROPS. TREES MAY BE PERMITTED AT THE DISCRETION OF THE ECM ADMINISTRATOR IF PRUNED TO AT LEAST 8 FEET ABOVE THE FLOWLINE ELEVATION

THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FURNITURE, AND OTHER ENCROACHMENTS SHALL PROVIDE SAFE CONDITIONS FOR PEDESTRIANS AND BICYCLISTS PER THE ENGINEERING CRITERIA MANUAL, AS AMENDED.

COUNTY PLANNING CERTIFICATION

DIRECTOR, PLANNING AND COMMUNITY DEVELOPMENT

THESE CONSTRUCTION DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN ACCORDANCE WITH EL PASO COUNTY LAND DEVELOPMENT CODE.

Know what's below. Call before you dig. 300 COLORADO SPRINGS, CO 80920

CONSULTANTS:

2435 RESEARCH PARKWAY, SUITE

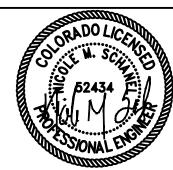


LAND DEVELOPMENT CONSULTANTS, LLC

950 S. CHERRY ST., SUITE 512 DENVER, CO 80246

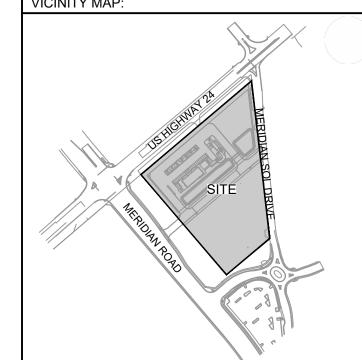
OWNER/DEVELOPER

ROCKY MOUNTAINS DIVISION 5500 S QUEBEC STREET, SUITE 100 GREENWOOD VILLAGE, CO 80111 PHONE: (720) 758-6223



FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE MOST RECENT PROJECT CONSTRUCTION DOCUMENTS. MATRIX DESIGN GROUP IS NOT RESPONSIBLE FOR CHANGES, ALTERATIONS, OR USE OF CONSTRUCTION DOCUMENTS PRIOR TO JURISDICTIONAL APPROVAL

VICINITY MAP:



CIRCLE K STORES INC.

SITE DEVELOPMENT PLAN

HIGHWAY 24 & MERIDIAN ROAD FALCON, CO

	REVISION HISTORY:					
	NO.	DATE	DESCRIPTION			
	1	09/06/2022	PER REVIEW COMMENTS			
	2	09/30/2022	75% CD SUBMITTAL			
	3	10/07/2022	100% CD SUBMITTAL			

CD 1ST RE-SUBMITTAL 12/02/2022 01/19/2023 CD 2ND RE-SUBMITTAL DRAWING INFORMATION:

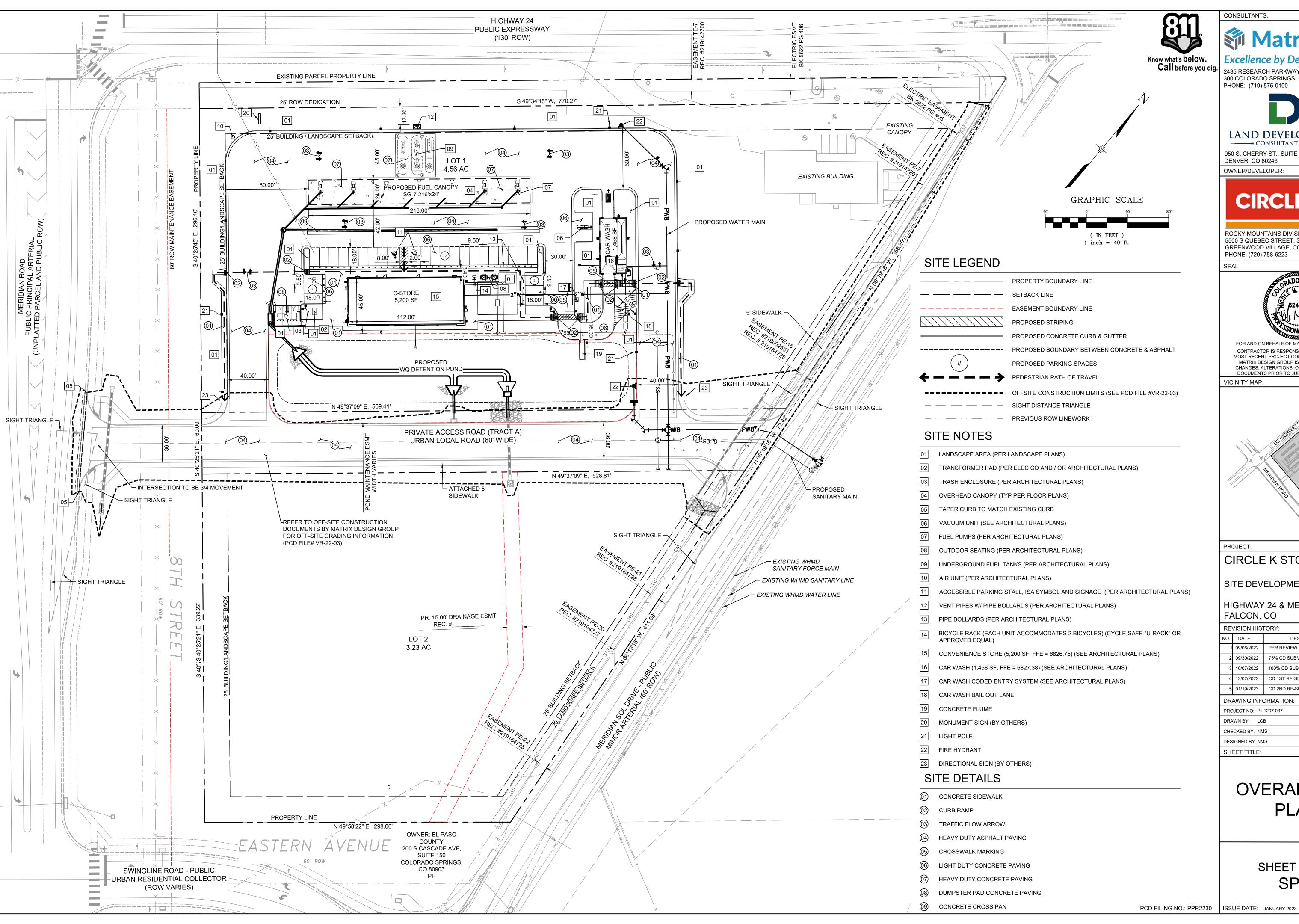
PROJECT NO: 21.1207.037 DRAWN BY: LCB

CHECKED BY: NMS **DESIGNED BY: NMS** SHEET TITLE:

TITLE SHEET

SHEET 1 OF 2

PCD FILING NO.: PPR2230 | ISSUE DATE: JANUARY 2023



CONSULTANTS:

Excellence by Design

2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 PHONE: (719) 575-0100



LAND DEVELOPMENT CONSULTANTS, LLC

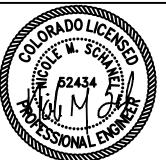
950 S. CHERRY ST., SUITE 512

DENVER, CO 80246 OWNER/DEVELOPER:

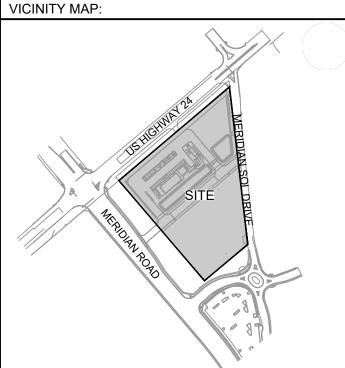


ROCKY MOUNTAINS DIVISION 5500 S QUEBEC STREET, SUITE 100 GREENWOOD VILLAGE, CO 80111 PHONE: (720) 758-6223

SEAL



FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE MOST RECENT PROJECT CONSTRUCTION DOCUMENTS. MATRIX DESIGN GROUP IS NOT RESPONSIBLE FOR CHANGES, ALTERATIONS, OR USE OF CONSTRUCTION



PROJECT:

CIRCLE K STORES INC.

SITE DEVELOPMENT PLAN

HIGHWAY 24 & MERIDIAN ROAD FALCON, CO

REVISION HISTORY:

NO. DATE		DESCRIPTION		
1	09/06/2022	PER REVIEW COMMENTS		
2	09/30/2022	75% CD SUBMITTAL		
3	10/07/2022	100% CD SUBMITTAL		
4	12/02/2022	CD 1ST RE-SUBMITTAL		
5	01/19/2023	CD 2ND RE-SUBMITTAL		

DRAWING INFORMATION:

PROJECT NO: 21.1207.037 DRAWN BY: LCB

CHECKED BY: NMS

DESIGNED BY: NMS

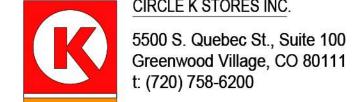
SHEET TITLE:

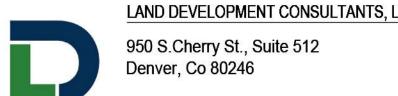
OVERALL SITE PLAN

> SHEET 2 OF 2 SP01









SCALE: AS NOTED

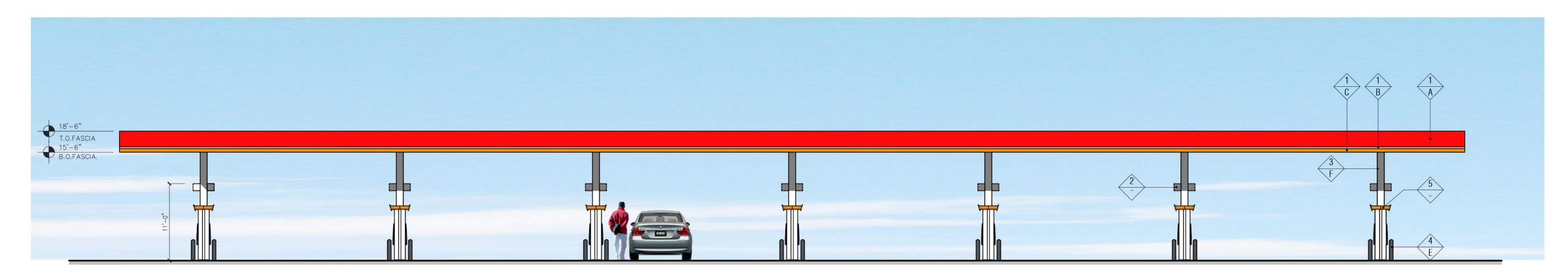




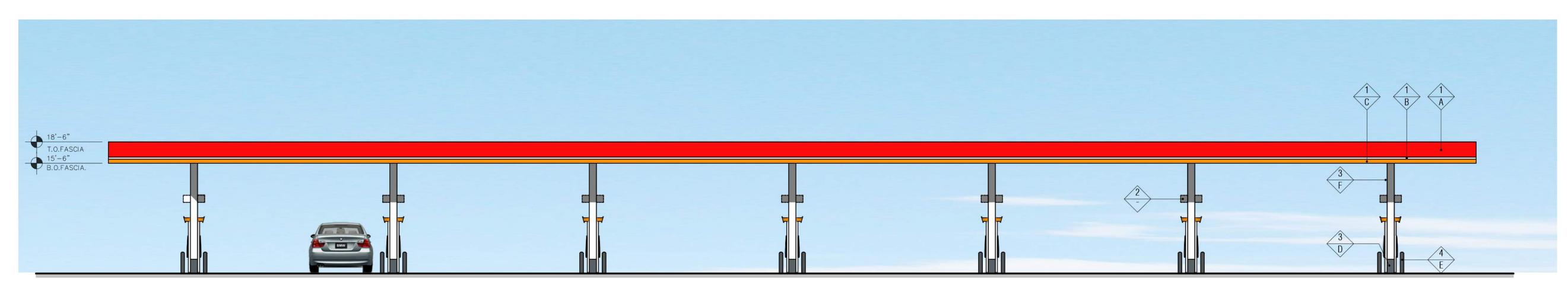
"SIDE" ELEVATION (SOUTHWEST)

"SIDE" ELEVATION (NORTHEAST)

Colors shown on these elevations are for illustration purposes only. For actual colors, refer to manufacturer's samples.
 The fascia panels are pre-finished by signage vendor
 All signs require a separate submittal.
 All lighting on canopy to be flush mounted with fascia





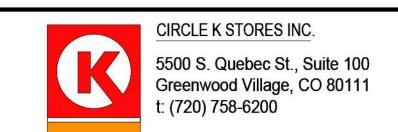


"REAR" ELEVATION (SOUTHEAST)



PLANNING AND COMMUNITY DIRECTOR EL PASO COUNTY







LAND DEVELOPMENT CONSULTANTS, LLC 950 S.Cherry St., Suite 512 Denver, Co 80246

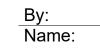


CIRCLE K | FUEL CANOPY EXTERIOR ELEVATIONS

SCALE: AS NOTED



PLANNING AND COMMUNITY DIRECTOR EL PASO COUNTY





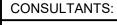




CIRCLE K
HIGHWAY 24 & MERIDIAN ROAD

HIGHWAY 24 & MERIDIAN ROAD LANDSCAPE AND IRRIGATION 100% CONSTRUCTION DOCUMENTS

Know what's below. Call before you dig.



2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 PHONE: (719) 575-0100



LAND DEVELOPMENT CONSULTANTS, LLC

950 S. CHERRY ST., SUITE 512

DENVER, CO 80246 OWNER/DEVELOPER

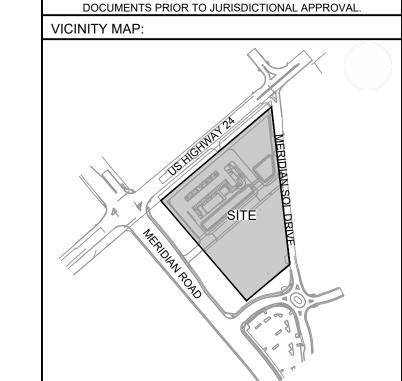


ROCKY MOUNTAINS DIVISION 5500 S QUEBEC STREET, SUITE 100 GREENWOOD VILLAGE, CO 80111 PHONE: (720) 758-6223

SEAL



FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE MOST RECENT PROJECT CONSTRUCTION DOCUMENTS. MATRIX DESIGN GROUP IS NOT RESPONSIBLE FOR CHANGES, ALTERATIONS, OR USE OF CONSTRUCTION



PROJECT:

REVISION HISTORY:

DESIGNED BY: KMM

SHEET TITLE:

CIRCLE K STORES INC. LANDSCAPE AND IRRIGATION 100% CONSTRUCTION DOCUMENTS

HIGHWAY 24 & MERIDIAN ROAD FALCON, CO

DATE	DESCRIPTION	BY			
09/06/2022	PER REVIEW COMMENTS				
09/30/2022	75% CD SUBMITTAL				
10/07/2022	100% CD SUBMITTAL				
12/02/2022	CD 1ST RESUBMITTAL				
01/19/2023	CD 2ND RESUBMITTAL				
AWING INFORMATION:					
DJECT NO: 21.1207.037					
AWN BY: KMM					
ECKED BY: AJP					

LANDSCAPE COVER

LS01

65 WEST OF THE 6TH P.M.

PLANT SIZE

CONTAINER MAT. H.

25`

PLANT SCHEDULE			JANUARY 2023
DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME
	ВМ	9	ACER GRANDIDENTATUM BIGTOOTH MAPLE
	GI	4	GLEDITSIA TRIACANTHOS INERMIS 'IMPERIAL' IMPERIAL HONEY LOCUST
	NP	7	POPULUS ANGUSTIFOLIA NARROWLEAF POPLAR
	QB	6	QUERCUS MACROCARPA BURR OAK
£ • 3	TG	4	TILIA CORDATA `GREENSPIRE` GREENSPIRE LITTLELEAF LINDEN
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME
	GL	5	PICEA GLAUCA 'NORTH STAR' NORTH STAR SPRUCE
The state of the s	PE	28	PINUS EDULIS PINON PINE
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME
	CI	8	CRATAEGUS CRUS-GALLI INERMIS THORNLESS COCKSPUR HAWTHORN
	MP	8	MALUS X `PRAIRIFIRE` PRAIRIFIRE CRABAPPLE

			IMPERIAL HONEY LOCUST				
	NP	7	POPULUS ANGUSTIFOLIA NARROWLEAF POPLAR	2" CAL.	B&B	40`	25`
	QB	6	QUERCUS MACROCARPA BURR OAK	2" CAL.	B&B	50`	50`
£ • 33	TG	4	TILIA CORDATA `GREENSPIRE` GREENSPIRE LITTLELEAF LINDEN	2" CAL.	B&B	35`	25`
EVERGREEN TREES	S CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	PLANT SIZE	CONTAINER	MAT. H.	MAT. W.
	GL	5	PICEA GLAUCA `NORTH STAR` NORTH STAR SPRUCE	6` HT.	B&B	12`	6`
	PE	28	PINUS EDULIS PINON PINE	6` HT.	B&B	25`	15`
ORNAMENTAL TREI	ES CODE	QTY	BOTANICAL / COMMON NAME	PLANT SIZE	CONTAINER	MAT. H.	MAT. W.
	CI	8	CRATAEGUS CRUS-GALLI INERMIS THORNLESS COCKSPUR HAWTHORN	1.5" CAL.	B&B	20`	15`
	MP	8	MALUS X `PRAIRIFIRE` PRAIRIFIRE CRABAPPLE	1.5" CAL.	B&B	15`	15`
DECIDUOUS SHRUE	SS CODE	QTY	BOTANICAL / COMMON NAME	PLANT SIZE	CONTAINER	<u>MAT. H.</u>	MAT. W.
(+)	CHP	6	CHRYSOTHAMNUS PULCHELLUS SOUTHWESTERN RABBITBRUSH	#5 CONT.	CONT.	4`	4`
	CSA	15	CORNUS SANGUINEA `ARCTIC FIRE` ARCTIC FIRE BLOODTWIG DOGWOOD	#5 CONT.	CONT.	3`	3,
**	CCO	6	COTONEASTER ADPRESSUS CREEPING COTONEASTER	#5 CONT.	CONT.	2`	3,
(o)	PAR	9	PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	#5 CONT.	CONT.	3,	3,
\bigotimes	PHD	17	PHYSOCARPUS OPULIFOLIUS 'DIABOLO' DIABOLO NINEBARK	#5 CONT.	CONT.	6`	6`
*	PRB	17	PRUNUS BESSEYI SAND CHERRY	#5 CONT.	CONT.	5`	5`
EVERGREEN SHRU	BS CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	PLANT SIZE	CONTAINER	<u>MAT. H.</u>	MAT. W.
ZWZ	JSB	11	JUNIPERUS SABINA `BROADMOOR` BROADMOOR JUNIPER	#5 CONT.	CONT.	1.5`	6`
0	PNH	35	PINUS NIGRA `HELGA` DWARF AUSTRIAN PINE	#5 CONT.	CONT.	5`	5`
	PVD	15	PINUS VIRGINIANA `DRISCOLL`	#5 CONT.	CONT.	3`	2`

SEED MIX SCHEDULE

MIX NAME	SUPPLIER	SPECIES	CONDITION	APPLICATION METHOD	APPLICATION RATE
EL PASO COUNTY CONSERVATION DISTRICT ALL- PURPOSE LOW GROW MIX		25% BUFFALOGRASS 20% BLUE GRAMA 29% SIDEOATS GRAMA 5% GREEN NEEDLEGRASS 20% WESTERN WHEATGRASS 1% DROPSEED	PERMANENT OR TEMPORARY IRRIGATION	PER SEEDING NOTES	42 PLS/ACRE
EL PASO COUNTY CONSERVATION DISTRICT ALL- PURPOSE MIX		20% BIG BLUE STEM 10% BLUE GRAMA 10% GREEN NEEDLEGRASS 20% WESTERN WHEATGRASS 10% SIDEOATS GRAMA 10% SWITCHGRASS 10% PRAIRIE SANDREED 10% YELLOW INDIANGRASS	NON-IRRIGATED	PER SEEDING NOTES	10 PLS/ACRE

DRISCOLL'S SHRUB PINE

E WOODMEN ROAD ROLLING THUNDER WAY **TAMLIN ROAD** FALCON HWY **VICINITY MAP**

1" = 1,000'

1. CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL PROPOSED LANDSCAPING IS INSTALLED IN ACCORDANCE WITH PLANS, DETAILS,

2. CONTRACTOR TO INSPECT SITE AND VERIFY CONDITIONS AND DIMENSIONING PRIOR TO PROCEEDING WITH WORK DESCRIBED HERE IN.

3. QUANTITIES PROVIDED IN THE PLANT LIST ARE FOR GENERAL USE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLANT

UNAVAILABILITY OF SPECIFIED PLANT MATERIAL FROM COMMERCIAL NURSERIES. THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS IF UNAVAILABILITY OCCURS. SUCH CHANGES SHALL NOT ALTER THE

SPECIFICATIONS (IF APPLICABLE) AND ALL LOCAL CODES AND REQUIREMENTS.

ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.

PLANS FOR SOIL STABILIZATION FOR EROSION CONTROL.

OCCURS AS A RESULT OF THE CONSTRUCTION AT NO COST TO THE OWNER.

STEEL EDGING SHALL NOT BE INSTALLED BETWEEN SOD AND NATIVE AREAS.

13. WEED BARRIER FABRIC IS REQUIRED UNDER ALL ROCK MULCH AND COBBLE AS SPECIFIED.

17. ALL DISTURBED AREAS AS DESIGNATED ON THE GRADING PLAN SHALL COVERED PER PLAN.

SUFFICIENTLY TO HOLD ITS SOIL TOGETHER.

PLANTING BEDS AT SPACING SHOWN.

EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.

NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING ANY CONSTRUCTION.

5. ALL PLANT MATERIALS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.

AND LANDSCAPE MATERIAL QUANTITIES. SYMBOL COUNT ON PLAN TAKES PRECEDENCE OVER TABLE QUANTITIES.

4. IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE OWNER'S REPRESENTATIVE AND/OR THE LANDSCAPE ARCHITECT OF

6. CONTAINER GROWN STOCK SHOULD HAVE GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED

7. ANY PLANT SUBSTITUTIONS, RELOCATION, OR REQUIRED CHANGE SHALL REQUIRE THE WRITTEN APPROVAL OF THE LANDSCAPE

9. COORDINATE WITH PROJECT REPRESENTATIVE FOR DISTURBED SITE TREATMENTS OUTSIDE LANDSCAPE IMPROVEMENTS. SEE CIVIL

DESIGN MUST HAVE AN APPROVED BACKFLOW DEVICE AND RAIN SENSOR INSTALLED TO STOP IRRIGATION DURING RAIN EVENTS.

10. IF REQUIRED, CONTRACTOR TO ENSURE THAT AN AUTOMATED IRRIGATION SYSTEM THAT PROVIDES COMPLETE COVERAGE OF THE SITE IS

11. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE

ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR

DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE

ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO

12. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID

BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE

14. SOLID STEEL EDGING WITH ROLLED TOP TO BE INSTALLED BETWEEN ALL ROCK MULCH, WOOD MULCH, COBBLE, AND SOD/NATIVE SEED.

15. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL

16. IF A SWPPP PLAN IS PROVIDED THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE

18. ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.

CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES

DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH

TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN

INSTALLED PRIOR TO INSTALLING TREES/PALMS (SEE IRRIGATION PLAN SHEET IF PROVIDED). IF NO PLAN IS PROVIDED THE CONTRACTOR

SHALL SUBMIT A PROPOSED DESIGN TO THE LANDSCAPE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO INSTALLATION. THE PROPOSED

8. THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REFUSE ANY MATERIAL THEY DEEM

CONTRACTOR SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AND NO PONDING OF WATER AT ROOT AREA.

GENERAL LANDSCAPE NOTES

UNACCEPTABLE.

CONTACT LIST

CIRCLE K STORES INC. 5500 S. QUEBEC STREET, SUITE 100 GREENWOOD VILLAGE, CO 80111 PHONE: (720) 758-6223

LAND DEVELOPMENT CONSULTANTS, LLC 950 S. CHERRY ST., SUITE 512 DENVER, CO 80246 SOFIA HERNANDEZ PHONE: (303) 717-3305 SOFIA@LDCAZ.COM

CIVIL ENGINEER/ LANDSCAPE ARCHITECT MATRIX DESIGN GROUP 2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 NICOLE SCHANEL/ JASON ALWINE PHONE: (719) 575-0100 JASON.ALWINE@MATRIXDESIGNGROUP.COM

GREENBERG FARROW 30 EXECUTIVE DRIVE, SUITE 100 IRVINE, CA 92614 DOUG COUPER PHONE: (949) 296-0450

LAND SURVEYOR **RUBINO SURVEYING** 3312 AIRPORT ROAD BOULDER, COLORADO 80301 PHONE: (303) 464-9515

GEOTECHNICAL ENGINEER TERRACON CONSULTANTS, INC. 4172 CENTER PARK DRIVE COLORADO SPRINGS, CO 80916 PHONE: (719) 597-2116

11140 E. WOODMEN ROAD PEYTON, COLORADO 80831 PHONE: (719) 495-2283

MOUNTAIN VIEW ELECTRIC ASSOCIATION

ELECTRICAL SERVICE

WATER & SANITARY WOODMEN HILLS METRO DISTRICT 8046 EASTONVILLE ROAD FALCON, CO 80831 PHONE: (719) 495-2500

FALCON FIRE PROTECTION DISTRICT 7030 OLD MERIDIAN ROAD FALCON, CO 80831 PHONE: (719) 495-4050

STORM SEWER EL PASO COUNTY PUBLIC SERVICES 3275 AKERS DR. COLORADO SPRINGS, COLORADO 80922 PHONE: (719) 520-6460

COLORADO SPRINGS UTILITIES 7710 DURANT DRIVE COLORADO SPRINGS, COLORADO 80920 TIM BENEDICT PHONE: (719) 668-3574

LANDSCAPE REQUIREMENTS

(NEW) MERIDIAN ROAD SUBS (10 PER TREE)

INTERNAL SUBSTITUTIONS (10 PER TREE)

TOTAL SHRUBS

SITE DATA: AREA OF PARCEL: HIGHWAY 24 FRONTAGE: MERIDIAN SOL FRONTAGE: (NEW) MERIDIAN FRONTAGE: PARKING	198,154 SF (4.56 765 LF 372 LF 321 LF 28 SPACES	6 AC)	
LANDSCAPE AREA LANDSCAPE AREA (5% TOTAL	AREA)	REQ. 9,926 SF	PROV. 110,000 SF
REQUIRED TREES HIGHWAY 24 (1 PER 20 LF)-HW MERIDIAN SOL ROAD (1 PER 25 (NEW) MERIDIAN ROAD (1 PER INTERNAL (1 PER 500 SF LS AF PARKING (1 PER 15 SPACES)-N TOTAL TREES	5 LF)-OM 20 LF)-NM REA)-IN	REQ. 39 15 16 20 2 92	PROV. 35 15 15 12 2 79
REQUIRED SHRUBS HIGHWAY 24 SUBSTITUTIONS (MERIDIAN SOL ROAD SUBS (10		REQ. 40 0	PROV. 41

SHEET IND	DEX				
Sheet Title	Sheet Description				
LS01	LANDSCAPE COVER				
LS02	LANDSCAPE NOTES & DETAILS				
LS03	LANDSCAPE PLAN				
LS04	LANDSCAPE PLAN				
IR01	IRRIGATION NOTES				
IR02	IRRIGATION DETAILS				
IR03	IRRIGATION PLAN				

COUNTY PLANNING CERTIFICATION

THESE CONSTRUCTION DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN ACCORDANCE WITH EL PASO COUNTY LAND DEVELOPMENT CODE.

DIRECTOR, PLANNING AND COMMUNITY DEVELOPMENT

PCD FILING NO.: PPR2230 | ISSUE DATE: JANUARY 2023

HIGHWAY 24 & MERIDIAN ROAD LANDSCAPE AND IRRIGATION 100% CONSTRUCTION DOCUMENTS



- COTTON/NYLON

– DOUBLE STRAND

- REMOVE SOIL TO

- 3" MIN. SHREDDED

CEDAR MULCH W/OUT

- BACKFILL WITH PLANTING MIX:

MS-PR1-CK-02

-2 PARTS NATIVE TOPSOIL

-1 PART CONDITIONED

THE ROOTBALL

GALV. WIRE

WEBBING

STRAP

(10GA.)

FABRIC

TOPSOIL

- DO NOT CUT LEADER. PRUNE

TO PLANTING

BRANCHES

DAMAGED OR DEAD WOOD PRIOR

COTTON/NYLON WEBBING STRAP

POSITION. SECURE GUYS TO

THEY DO NOT RUB AGAINST

- BACKFILL WITH

PLANTING MIX:

TOPSOIL

TOPSOIL

-2 PARTS NATIVE

-1 PART CONDITIONED

MS-PR1-CK-05

MATCH TOP OF ROOT

CEDAR MULCH W/OUT

- 3" MIN. SHREDDED

FLARE TO FINISH GRADE

- STEEL POSTS. GUY TREE TO PLUMB

TRUNK AT 1/2-2/3 THE TREE HEIGHT

PLACE POSTS AND WIRES SO THAT

3 X DIA. OF

ROOTBALL

- FINISH GRADE



2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 PHONE: (719) 575-0100



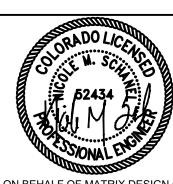
LAND DEVELOPMENT CONSULTANTS, LLC

950 S. CHERRY ST., SUITE 512

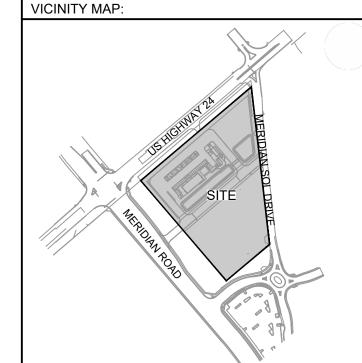
DENVER, CO 80246 OWNER/DEVELOPER

ROCKY MOUNTAINS DIVISION 5500 S QUEBEC STREET, SUITE 100 GREENWOOD VILLAGE, CO 80111 PHONE: (720) 758-6223

SEAL



FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE MOST RECENT PROJECT CONSTRUCTION DOCUMENTS. MATRIX DESIGN GROUP IS NOT RESPONSIBLE FOR CHANGES, ALTERATIONS, OR USE OF CONSTRUCTION DOCUMENTS PRIOR TO JURISDICTIONAL APPROVAL



CIRCLE K STORES INC. LANDSCAPE AND IRRIGATION 100% CONSTRUCTION DOCUMENTS

FALCON, CO

REVISION HISTORY NO. DATE DESCRIPTION PER REVIEW COMMENTS 09/06/2022 75% CD SUBMITTAL 09/30/2022 10/07/2022 100% CD SUBMITTAL CD 1ST RESUBMITTAL 12/02/2022 CD 2ND RESUBMITTAL

DRAWING INFORMATION:

DRAWN BY: KMM

CHECKED BY: AJP

SHEET TITLE:

LS02

HIGHWAY 24 & MERIDIAN ROAD

PROJECT NO: 21.1207.037

DESIGNED BY: KMM

LANDSCAPE

Call before you dig.

PLANTING NOTES

- 1. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL DELETERIOUS MATERIALS SUCH AS ROCK, TRASH, CONSTRUCTION DEBRIS AGGREGATE BASE MATERIAL. ASPHALT, ETC. SHALL BE REMOVED PRIOR TO ANY FILL OPERATIONS, FILL ALL PLANTING AREAS WITH CLEAN EARTHEN FILL. SOIL SHALL BE FREE OF HEAVY, STIFF CLAY AND ANY DELETERIOUS MATERIAL OVER ONE INCH IN SIZE. THE TOP SIX INCHES OF FILL MATERIAL STRIPPED FROM SITE MAY BE UTILIZED FOR PLANTER OR TOPSOIL FILL IF PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
- 2. FINISH GRADE OF LANDSCAPE AREAS (TOP OF TURF AND MULCH) MUST BE GRADED TO 3" BELOW ADJACENT PAVEMENT SURFACES. 3. LOCATE SHRUBS A DISTANCE OF HALF OF THEIR AVERAGE MATURE SPREAD AWAY FROM WALKS, STRUCTURES, CONCRETE PADS, ETC. LOCATE GROUND COVER
- PLANTINGS A MINIMUM OF 2' FROM WALKS, STRUCTURES, CONCRETE PADS, ETC. 4. TREES PLANTED ADJACENT TO PUBLIC ROADS AND PEDESTRIAN SIDEWALKS SHALL BE PRUNED SUFFICIENTLY TO AVOID VISUAL BLOCKS TO INTERSECTING VEHICULAR ACCESS OR INTERFERENCE WITH PEDESTRIAN WALKWAYS. TREES WITH A 4" OR LARGER CALIPER SHALL BE PRUNED UP TO 6'-0" ABOVE PAVEMENTS.
- 5. ALL TREES WITHIN 4' OF PAVED SURFACES (SUCH AS CURBS, WALLS, BUILDINGS AND SIDEWALKS) SHALL BE PROVIDED WITH A DEEP ROOT BARRIER CONTROL DEVICE OR EQUAL. INSTALL PER MFR'S SPECIFICATIONS.
- 6. TOPSOIL DEPTH SHALL BE AS FOLLOWS: PLANTER BEDS 12" MINIMUM, NATIVE SEED 12" MINIMUM
- 7. ALL PLANTING BED SOILS SHALL BE AMENDED WITH 2" OF ORGANIC COMPOST AND TILLED INTO FIRST 4" OF SOIL.
- 8. BACKFILL ALL TREES, SHRUBS, GROUNDCOVER WITH A MIXTURE OF 2 PARTS NATIVE SOIL AND 1 PART SOIL CONDITIONING
- 9. THE LANDSCAPE CONTRACTOR SHALL WATER TEST ALL PLANTING HOLE PRIOR TO PLANTING. IF HOLES DO NOT DRAIN PROPERLY, EXCAVATE FURTHER UNTIL IMPERMEABLE LAYER IS BREACHED. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS (WHEN FULLY FLOODED WITH WATER) SHALL DRAIN WITHIN 1 HOUR OF FILLING. ENSURE THAT ALL PLANT PITS HAVE POSITIVE DRAINAGE.
- 10. ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE. PRE-EMERGENT HERBICIDE SHALL BE APPLIED PER MANUFACTURE'S RECOMMENDATIONS
- AND SHALL OCCUR AFTER TOPSOIL PLACEMENT AND PRIOR TO INSTALLATION OF PLANT MATERIALS AND MULCH. 11. FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH A TIME RELEASE FERTILIZER PER BRAND'S SPECIFIED APPLICATION RATES.
- 12. ALL TREES AND SHRUBS SHALL BE PLANTED IN SUCH A MANNER AS TO ENSURE THEIR SURVIVAL.
- 13. ANY ROPE OR WIRE BINDING THE BALL SHALL BE CUT PRIOR TO PREVENT GIRDLING OF THE TREE. REMOVE WIRE, TWINE, AND BURLAP FROM THE TOP HALF OF ALL B&B PI ANT MATERIAL
- 14. IF A NON-BIODEGRADABLE MATERIAL IS USED AROUND THE BALL, IT SHALL BE COMPLETELY REMOVED PRIOR TO BACKFILLING
- 15. PRIOR TO INSTALLATION, THE ROOTS OF CONTAINER GROWN STOCK SHALL BE SEPARATED OR SPLIT TO ENSURE PROPER ROOT DEVELOPMENT.
- 16. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS. 17. ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS. TREES & SHRUBS SHALL BE PLANTED AS SOON AS POSSIBLE AFTER DELIVERY
- 18. ALL TREES MUST BE STRAIGHT-TRUNKED, FULL-HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- 19. ALL TREES MUST BE STAKED AS SHOWN IN THE DETAILS.
- 20. NO SUBSTITUTIONS OR ALTERNATIVES WILL BE ALLOWED FOR GROUND SURFACE MATERIALS UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT OR OWNER
- 21. MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN TREE PLANTINGS AND ALL UTILITIES UNLESS OTHERWISE SPECIFIED. 22. A THREE INCH (3") TOP DRESSING/MULCHING SHALL BE PLACED IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL HAVE TOP DRESSING TO THE OUTSIDE EDGE OF THE MANUFACTURED EDGING OR LANDSCAPE ISLAND. (SEE PLANTING DETAILS) TOP DRESSING CAN BE WOOD MULCH, ROCK, OR ANY OTHER DECORATIVE MATERIAL SPECIFIED ON PLANS. SEE LANDSCAPE PLAN FOR TYPE.

PLANT GUARANTEE, REPLACEMENT AND MAINTENANCE NOTES

A. GUARANTEE:

ACCEPTANCE OF GRADING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES.

- ANY PLANT UNDER THIS SPEC WHICH IS DEAD, MISSING, UNHEALTHY, OR OTHERWISE NOT ACCEPTABLE AND NOT IN SATISFACTORY GROWING CONDITION DURING CONSTRUCTION MAINTENANCE PERIOD, OR AT THE END OF THE GUARANTEE PERIOD, SHALL BE REMOVED FROM SITE AND REPLACED WITH SUITABLE, ACCEPTABLE
- PLANT AS SPECIFIED, WITHIN FIVE (5) DAYS.

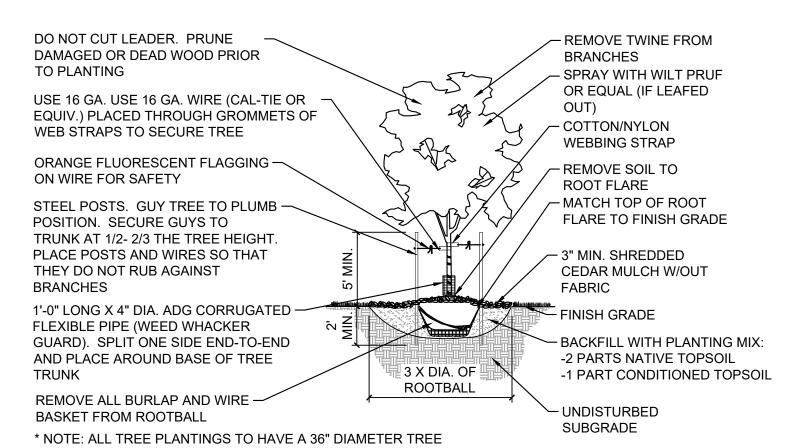
GENERAL CONTRACTOR SHALL PROVIDE ONE YEAR OF LANDSCAPE MAINTENANCE, FROM THE TIME THE PROJECT RECEIVES THE CERTIFICATE OF OCCUPANCY AND THERE AFTER, FOR ALL NEW LANDSCAPE. IF EXISTING LANDSCAPE EXISTS ON-SITE, GENERAL CONTRACTOR IS TO PROVIDE THE OPTION OF MAINTENANCE FOR THE

- HERBICIDES NOTES 1. APPLICATION OF HERBICIDES SHALL BE IN COMPLIANCE WITH STATE PESTICIDES REGULATIONS. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO
- CONSULT WITH THE REGULATORY AGENCIES FOR LOCAL HERBICIDES APPLICATION REQUIREMENTS. 2. IF THERE IS A DISCREPANCY BETWEEN STATE REGULATIONS AND ADDITIONAL REQUIREMENTS BELOW, MOST STRINGENT SHALL RULE.
- 3. NO AERIAL APPLICATION OF HERBICIDES IS PERMITTED ON SITE.
- 4. CARCINOGENS AND EPA TOXIC CATEGORY I AND II ARE PROHIBITED TO USE ON SITE.

SODDING AND SEEDING NOTES CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING EROSION CONTROL MEASURES DURING THE DURATION OF WORK ON-SITE.

- GENERAL CONTRACTOR SHALL PROVIDE 4" OF TOPSOIL AT ALL SOD AND PLANTING AREAS IN ADDITION TO ANY REQUIRED SOIL AMENDMENTS. GRADE SHALL BE ADJUSTED FOR SOD/ GROUND COVER THICKNESS. ALL FINISH GRADING SHALL BE PERFORMED BY LANDSCAPE CONTRACTOR.
- FINE GRADE SOD AREAS TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING. 4. ALL AREAS TO BE SEEDED SHALL BE TILLED AS SPECIFIED AND THEN HARROWED, RAKED OR ROLLED TO PRODUCE A FIRM SEED BED FOR PLANTING. IMPORTED TOPSOIL MAY BE REQUIRED TO PROVIDE AN ACCEPTABLE PLANTING MEDIUM. LARGE ROCKS (1 INCH DIAMETER) AND DEBRIS THAT MAY IMPEDE SEEDING SHALL BE CLEARED FROM THE SITE. ANY REQUIRED EROSION CONTROL FEATURES (E.G., WATER BARS, BERMS, BASINS, TURNOUTS) SHALL BE CONSTRUCTED PRIOR TO SEEDING. SITES THAT ARE NOT ADEQUATELY PREPARED PRIOR TO SEEDING (E.G., COMPACTED SOIL, INSUFFICIENT TOPSOIL, ROCKY, ERODED SURFACE, ETC.) SHALL BE
- ALL SPECIFIED SEED MIXES SHALL CONSIST OF CERTIFIED SEED VARIETIES THAT ARE FREE OF NOXIOUS WEEDS AND HAVE BEEN TESTED FOR PURITY AND GERMINATION WITHIN SIX MONTHS OF THE PLANTING DATE. CERTIFICATION LABELS WHICH INDICATE THE SPECIES, PURITY, GERMINATION, WEED CONTENT, ORIGIN, AND TEST DATE SHALL BE SUBMITTED FOR ALL SEED MATERIALS.
- SEEDING SHALL OCCUR DEPENDING ON THE PROJECT SCHEDULE, IT IS PREFERABLE THAT SEEDING OCCUR DURING THE FALL (SEPTEMBER-NOVEMBER) OR SPRING (MARCH-MAY) TO MAXIMIZE PLANTING SUCCESS. IF THE PROJECT SCHEDULE DOES NOT COINCIDE WITH THE PREFERRED SEEDING PERIODS, OR IF THERE ARE UNSUITABLE SITE CONDITIONS (I.E. FROZEN GROUND), THEN SOIL STABILIZATION AND/OR STORM WATER BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED TO STABILIZE THE AREA UNTIL THE NEXT APPROPRIATE SEEDING DATE. ANY SEEDING CONDUCTED OUTSIDE THE PREFERRED MONTHS SHALL BE APPROVED BY THE
- SEEDING METHOD: DRILL SEEDING OR BROADCAST SEEDING SHALL BE USED. AS OUTLINED BELOW, THE SIZE AND SLOPE OF THE SEEDED AREA SHALL DETERMINE WHICH SEEDING METHOD(S) IS APPROPRIATE AND ACCEPTABLE. REFER TO MANUFACTURER'S SPECIFICATIONS FOR ADJUSTING SEEDING RATES FOR APPLICATIONS
- SLOPES LESS THAN 3:1 SEED SHALL BE PLANTED USING A RANGELAND DRILL. SEEDING SHALL BE ACCOMPLISHED USING BI-DIRECTIONAL DRILLING AND FOLLOWING THE SLOPE CONTOUR. THE DRILL EQUIPMENT SHALL BE CALIBRATED EACH DAY OR WHENEVER THERE IS A CHANGE IN THE SEED MIX TO ENSURE PROPER SEED
- SLOPES GREATER THAN 3:1 OR AREAS LESS THAN 0.10 ACRE SEED SHALL BE BROADCAST BY HAND OR MECHANICAL SPREADER. BROADCAST SEEDED AREAS SHALL BE RAKED OR HARROWED TO INCORPORATE THE SEED INTO THE SOIL AT A DEPTH NOT EXCEEDING 0.75 INCHES. BROADCAST SEEDING SHALL BE AVOIDED WHEN WIND SPEED EXCEEDS 15 MILES PER HOUR
- D. ALTERNATIVE METHODS TO BE REVIEWED AND APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
- FINE GRADE SEED TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING. SEED AREAS BY MEANS OF APPROVED BROADCAST OR HYDRAULIC-TYPE SPREADERS. DO NOT SEED DURING WINDY WEATHER.
- WEED-FREE NATIVE HAY, WEED-FREE STRAW, OR VIRGIN WOOD FIBER HYDRO-MULCH SHALL BE USED PER NOTES BELOW TO CONTROL EROSION AND PROMOTE SEED GERMINATION AND PLANT ESTABLISHMENT. NATIVE HAY, STRAW, OR HYDRO-MULCH SHALL BE APPLIED PER SEED SUPPLIER'S RECOMMENDATIONS FOR OPTIMAL
- A. HYRDO-MULCHING: ALL IRRIGATED SEEDING SHALL BE HYDRO MULCHED. ORGANIC TACKIFIER SHALL BE USED. MULCH SEEDED AREAS WITHIN 24 HOURS OF SEEDING. HYDRO-MULCH SHALL BE APPLIED USING A COLOR DYE AND THE MANUFACTURER'S RECOMMENDED RATE OF AN ORGANIC TACKIFIER.
- STRAW CRIMPING: ALL NON-IRRIGATED OR TEMPORARILY IRRIGATED TO BE NATIVE HAY OR STRAW CRIMPED INTO THE SOIL TO A DEPTH OF AT LEAST 3 INCHES, AND SHALL PROTRUDE ABOVE THE GROUND AT LEAST 3 INCHES.
- C. ALTERNATIVE METHODS TO BE REVIEWED AND APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
- D. EROSION CONTROL BLANKETS ARE TO BE APPLIED ON SLOPES 3:1 AND GREATER.
- 10. IF A WATER HOOK-UP IS AVAILABLE A SPRINKLER SYSTEM MAY BE USED TO PROMOTE RAPID PLANT ESTABLISHMENT. GENERALLY, WATERING AT 0.75-1.0 INCHES/WEEK IS RECOMMENDED DURING THE APRIL-OCTOBER GROWING SEASON DEPENDING ON NATURAL RAINFALL. THE USE OF WATER TRUCKS FOR IRRIGATION IS PROHIBITED DUE TO TRAFFIC IMPACTS ON THE SEEDED AREAS AND TYPICAL POOR WATER DISTRIBUTION OBSERVED WITH THIS TYPE OF WATERING
- APPROVAL OF SEEDED TURF AREAS SHALL BE BASED UPON THE SEED PRODUCERS GUARANTEED SEEDING GERMINATION RATE FOR A ONE SQUARE FOOT AREA. IF GUARANTEED GERMINATION RATE IS NOT ACHIEVED, THE CONTRACTOR SHALL OVERSEED UNTIL THE GERMINATION RATE IS ACHIEVED. REVEGETATION SHALL HAVE AT LEAST 3 NATIVE GRASS SEEDLINGS/SQUARE FOOT AND NO BARE AREAS EXCEEDING ONE SQUARE METER AFTER THE SECOND GROWING SEASON. FOR DRILL SEEDED AREAS, PLANTING ROWS SHALL BE NOTICEABLE BY THE END OF THE FIRST FULL GROWING SEASON. IF A PARTIAL OR TOTAL SEEDING FAILURE IS APPARENT AFTER THE SECOND GROWING SEASON, POORLY VEGETATED AREAS SHALL BE RESEEDED IN THE SAME MANNER DESCRIBED ABOVE. APPROPRIATE SITE PREPARATION PRACTICES SHALL BE USED TO CREATE A SUITABLE SEEDBED FOR PLANTING, BUT ANY ESTABLISHED NATIVE VEGETATION SHALL BE UNDISTURBED TO THE EXTENT POSSIBLE. AREAS THAT ERODE BEFORE GERMINATION AND ESTABLISHMENT CAN OCCUR SHALL BE REPAIRED AND IMMEDIATELY RESEEDED DURING THE SAME SEASON.
- ALL BARE AREAS TO BE RESEEDED WITH PROPER REMOVAL OF WEEDS. ALL NATIVE SEED AREAS ARE TO MEET STANDARD LOCAL JURISDICTION REQUIREMENTS FOR GERMINATION AND ESTABLISHMENT

A PORTION OF THE SE 1/4 OF SECTION 12. TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M. COUNTY OF EL PASO COUNTY, STATE OF COLORADO **JANUARY 2023**



RING WITH WOOD MULCH **DECIDUOUS TREE** MS-PR1-CK-01

EVERGREEN TREE

4' MIN.

* NOTE: ALL TREE PLANTINGS TO HAVE A 36" DIAMETER TREE

DO NOT CUT LEADER. PRUNE

GUY WIRES TO BE UNIFORMLY -

AND NEATLY TIGHTENED, TYP.

MATCH TOP OF ROOT FLARE -

SOLID GREEN "T" POSTS TO

EXTEND NO MORE THAN 6" ABOVE

REMOVE ALL BURLAP AND WIRE -

TO EXISTING GRADE

GRADE. 3 PER TREE

UNDISTURBED

SUBGRADE

USE 16 GA. USE 16 GA. WIRE (CAL-TIE OR

EQUIV.) PLACED THROUGH GROMMETS OF

EQUAL DISTANCE BETWEEN TRUNK AND -

1'-0" LONG X 4" DIA. ADG CORRUGATED -

GUARD). SPLIT ONE SIDE END-TO-END

AND PLACE AROUND BASE OF TREE

WEB STRAPS TO SECURE TREE

FLEXIBLE PIPE (WEED WHACKER

REMOVE ALL BURLAP AND WIRE -

TILL OR REPLACE THE SOIL IN

UNDISTURBED SUBGRADE -

THE ISLAND PRIOR TO PLANTING

PARKING LOT ISLAND TREE

STAKES

TRUNK

FINISH GRADE ——

TREES AND SHRUBS

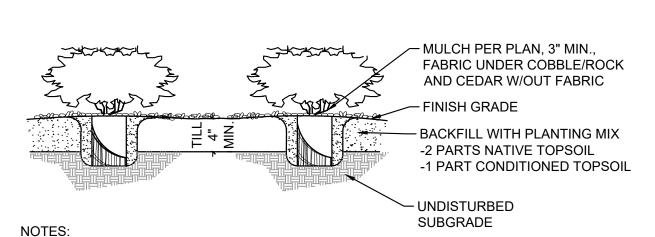
BASKET FROM ROOTBALL

BASKET FROM ROOTBALL

RING WITH WOOD MULCH

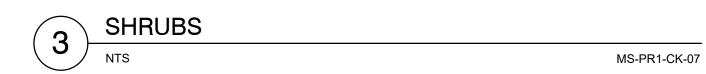
TO PLANTING

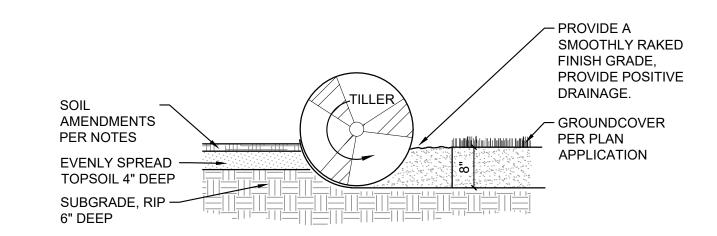
DAMAGED OR DEAD WOOD PRIOR



- 1. CONTRACTOR TO WATER PLANT MATERIAL DAILY UNTIL AN AUTOMATIC IRRIGATION SYSTEM IS OPERATIONAL OR OTHER IRRIGATION PROVISIONS ARE
- 2. THE FINISH GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM WALLS
- AND BUILDINGS. 3. THE TILLING OF PLANTING BEDS AND PLACEMENT OF BACKFILL IS TO OCCUR JUST PRIOR TO PLANTING; THEREAFTER, PROTECTION FROM COMPACTION AND

CONSTRUCTION TRAFFIC SHOULD BE PROVIDED.



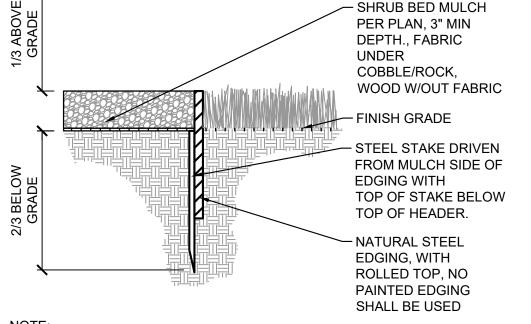


1. TOPSOIL TO CONSIST OF DARK, LIGHT LOAM SOIL FREE OF ROCKS, ROOTS, AND FOREIGN

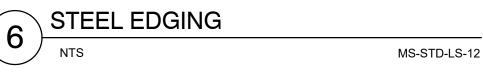
2. COMPOST TO BE TYPE I CONSISTING OF OF 1-YEAR OLD ORGANIC MATERIAL AND SHOULD

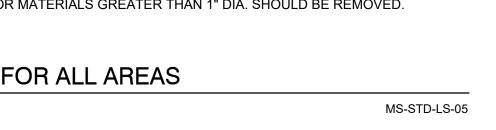
NOT INCLUDE CHICKEN MANURE. 3. FROZEN MATERIALS OR MATERIALS GREATER THAN 1" DIA. SHOULD BE REMOVED.

SOIL PREP FOR ALL AREAS



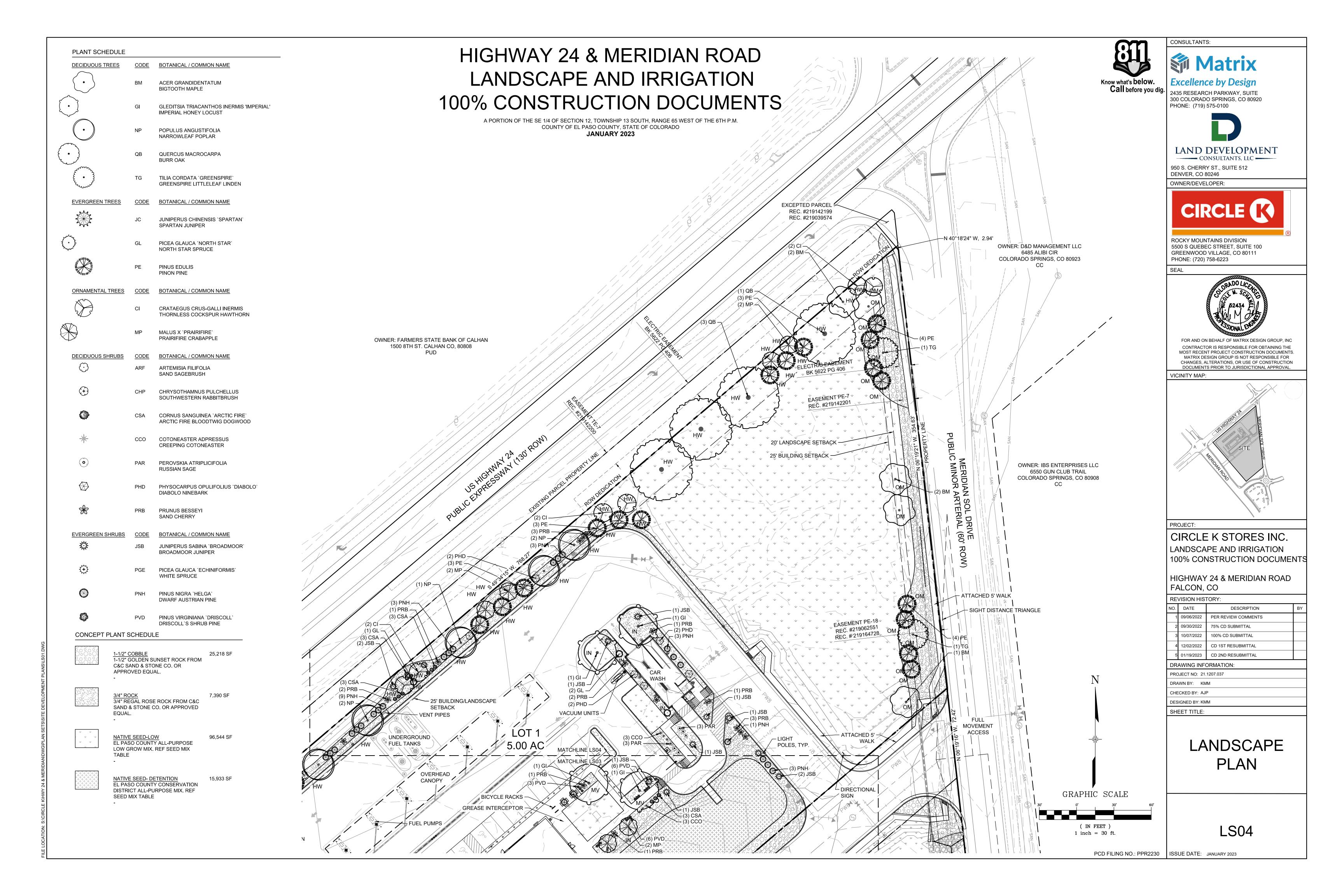
ALL SHRUB BEDS COVERED WITH WOOD MULCH AND/OR ROCK MULCH (UP TO 6" SIZE) ARE TO BE ENCLOSED WITH STEEL EDGING TO SEPARATE BEDS FROM SOD AND SEED. NO EDGING NEEDED BETWEEN SOD AND NATIVE SEED OR BETWEEN TWO MULCH TYPES UNLESS OTHERWISE SPECIFIED.





PCD FILING NO.: PPR2230 | ISSUE DATE: JANUARY 2023

CONSULTANTS: HIGHWAY 24 & MERIDIAN ROAD PLANT SCHEDULE DECIDUOUS TREES CODE BOTANICAL / COMMON NAME LANDSCAPE AND IRRIGATION Excellence by Design ACER GRANDIDENTATUM Call before you dig. BIGTOOTH MAPLE 2435 RESEARCH PARKWAY, SUITE 100% CONSTRUCTION DOCUMENTS 300 COLORADO SPRINGS, CO 80920 PHONE: (719) 575-0100 GLEDITSIA TRIACANTHOS INERMIS 'IMPERIAL' IMPERIAL HONEY LOCUST A PORTION OF THE SE 1/4 OF SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M. COUNTY OF EL PASO COUNTY, STATE OF COLORADO POPULUS ANGUSTIFOLIA **JANUARY 2023** NARROWLEAF POPLAR LAND DEVELOPMENT CONSULTANTS, LLC **BURR OAK** 950 S. CHERRY ST., SUITE 512 DENVER, CO 80246 TILIA CORDATA 'GREENSPIRE' OWNER: FARMERS STATE BANK OF CALHAN OWNER/DEVELOPER GREENSPIRE LITTLELEAF LINDEN 1500 8TH ST. CALHAN CO, 80808 **EVERGREEN TREES** BOTANICAL / COMMON NAME RESEED TO EXTENT OF -DISTURBANCE, REF 25' BUILDING/LANDSCAPE CDOT SPECIFICATIONS JUNIPERUS CHINENSIS 'SPARTAN' SETBACK VACUUM UNITS SPARTAN JUNIPER VENT PIPES ROCKY MOUNTAINS DIVISION PICEA GLAUCA 'NORTH STAR' 5500 S QUEBEC STREET, SUITE 100 ATTACHED 5 NORTH STAR SPRUCE UNDERGROUND) (3) PÉ 🔨 GREENWOOD VILLAGE, CO 80111 FUEL TANKS POLES, TYP. PHONE: (720) 758-6223 PINUS EDULIS SEAL PINON PINE OVERHEAD ORNAMENTAL TREES BOTANICAL / COMMON NAME BICYCLE RACKS CRATAEGUS CRUS-GALLI INERMIS GREASE INTERCEPTOR THORNLESS COCKSPUR HAWTHORN (3) PAR -MALUS X `PRAIRIFIRE` FUEL PUMPS PRAIRIFIRE CRABAPPLE FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE → MONUMENT SIGN MOST RECENT PROJECT CONSTRUCTION DOCUMENTS. DECIDUOUS SHRUBS BOTANICAL / COMMON NAME MATRIX DESIGN GROUP IS NOT RESPONSIBLE FOR CHANGES, ALTERATIONS, OR USE OF CONSTRUCTION DOCUMENTS PRIOR TO JURISDICTIONAL APPROVAL. ARTEMISIA FILIFOLIA SAND SAGEBRUSH 25' BUILDING/LANDSCAPE SETBACK C-STORE CHRYSOTHAMNUS PULCHELLUS SOUTHWESTERN RABBITBRUSH CORNUS SANGUINEA 'ARCTIC FIRE' ARCTIC FIRE BLOODTWIG DOGWOOD - EMERGENCY OVERFLOW SPILLWAY ROCK PER POND PLANS COTONEASTER ADPRESSUS CREEPING COTONEASTER RESEED TO EXTENT PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE \bigotimes PHYSOCARPUS OPULIFOLIUS 'DIABOLO' DIABOLO NINEBARK - LIGHT POLES, TYP. ROCK PER POND PLANS PRUNUS BESSEYI SAND CHERRY → RESEED TO EXTENT (REF ARCH.) PROJECT: OF DISTURBANCE BOTANICAL / COMMON NAME CIRCLE K STORES INC. JUNIPERUS SABINA 'BROADMOOR' LANDSCAPE AND IRRIGATION BROADMOOR JUNIPER 100% CONSTRUCTION DOCUMENTS (*)} PICEA GLAUCA 'ECHINIFORMIS' WHITE SPRUCE HIGHWAY 24 & MERIDIAN ROAD FALCON, CO PINUS NIGRA 'HELGA' REVISION HISTORY: DWARF AUSTRIAN PINE NO. DATE DESCRIPTION PER REVIEW COMMENTS PINUS VIRGINIANA 'DRISCOLL' 09/06/2022 DRISCOLL'S SHRUB PINE 09/30/2022 75% CD SUBMITTAL CONCEPT PLANT SCHEDULE 10/07/2022 100% CD SUBMITTAL 12/02/2022 CD 1ST RESUBMITTAL LOT 2 EXISTING SIDEWALK 3.99 AC 1-1/2" GOLDEN SUNSET ROCK FROM DRAWING INFORMATION: C&C SAND & STONE CO. OR (NOT A PART) APPROVED EQUAL. PROJECT NO: 21.1207.037 DRAWN BY: KMM CHECKED BY: AJP 3/4" ROCK 3/4" REGAL ROSE ROCK FROM C&C DESIGNED BY: KMM SAND & STONE CO. OR APPROVED SHEET TITLE: EQUAL. 5' WALK NATIVE SEED-LOW EL PASO COUNTY ALL-PURPOSE 96,544 SF LANDSCAPE LOW GROW MIX. REF SEED MIX TABLE PLAN NATIVE SEED- DETENTION EL PASO COUNTY CONSERVATION DISTRICT ALL-PURPOSE MIX. REF GRAPHIC SCALE SEED MIX TABLE OWNER: BRIAN M MOODY - BETTER LAND LLC 8605 EXPLORER DR, SUITE 250 COLORADO SPRINGS, CO 80920 (IN FEET) LS03 1 inch = 30 ft. PCD FILING NO.: PPR2230 | ISSUE DATE: JANUARY 2023



COUNTY OF EL PASO COUNTY, STATE OF COLORADO

JANUARY 2023

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE PROJECT SPECIFICATIONS PRIOR TO BIDDING. THE PROJECT

RESPONSIBLE FOR IMPLEMENTING WORK AS SPECIFIED IN THE PROJECT SPECIFICATIONS AND ON THE PLANS.

SPECIFICATIONS ARE A PART OF THESE PLANS AND SHALL BE CONSULTED BY THE IRRIGATION CONTRACTOR. THE CONTRACTOR IS

2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.

3. CONTRACTOR SHALL NOTIFY OWNER OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK.

4. THE CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE

5. ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE

8. ANY EXISTING TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DO NOT TRENCH OR EXCAVATE WITHIN THE CRITICAL ROOT ZONE

9. SUPPLY LINE AND METER TO BE PROVIDED BY GENERAL CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN AFTER THE IRRIGATION WATER METER. BACKFLOW PREVENTER TO BE PROVIDED BY IRRIGATION CONTRACTOR, UNLESS SPECIFIED TO BE LOCATED

11. IRRIGATION CONTRACTOR IS RESPONSIBLE FOR INSTALLING MANUAL DRAIN VALVES AT LOWEST POSSIBLE ELEVATION ON IRRIGATION MAIN

PROVIDE (2) 1" ELECTRICAL CONDUITS FOR IRRIGATION CONTRACTOR'S POWER/DATA CONNECTION TO CONTROLLER. SEE ARCHITECTURAL

6. CONTRACTOR IS TO VERIFY ACTUAL AVAILABLE WATER PRESSURE BEFORE BEGINNING INSTALLATION. CONTRACTOR SHALL NOTIFY

10. IRRIGATION CONTRACTOR SHALL REVIEW WINTERIZATION PROCEDURES FOR IRRIGATION SYSTEM WITH OWNERS REPRESENTATIVE.

SO AS TO PROVIDE POSITIVE DRAINAGE OF IRRIGATION MAIN DURING WINTER MONTHS OR PROVIDE BLOWOUT ASSEMBLY.

13. IRRIGATION CONTRACTOR SHALL COORDINATE CONTROLLER LOCATION WITH GENERAL CONTRACTOR. GENERAL CONTRACTOR SHALL

IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY

COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE

15. ALL BELOW GRADE LOW VOLTAGE WIRING CONNECTIONS SHALL BE INSTALLED PER WIRE CONNECTION DETAIL.

16. DO NOT INSTALL IRRIGATION AT PYLON / MONUMENT SIGN LOCATION UNTIL SIGN HAS BEEN INSTALLED.

ARCHITECT OR LICENSED IRRIGATOR IF THE DESIGN AS SHOWN IS NOT ACHIEVABLE.

DRAINAGE, IRRIGATION METERS, AND BACKFLOW PREVENTION DEVICE LOCATION.

THE MAXIMUM DESIGN LENGTHS PER MANUFACTURER'S RECOMMENDATIONS.

PAINTED TO MATCH THE PRIMARY BUILDING COLORS. SEE CIVIL PLANS FOR LOCATION.

SLEEVES, WATER METER, BACKFLOW PREVENTION DEVICE, SENSORS AND CONTROLLER.

28. ALL LATERAL LINE SIZING SHALL REFER TO PIPE SCHEDULE ON THIS PLAN.

COMPLYING SHALL BE REMOVED AND REPLACED TO MEET STANDARDS.

18. MINIMUM COVER FROM TOP OF PIPING TO FINISHED GRADE SHALL BE AS PER DETAIL.

COVERAGE AT NO ADDITIONAL COST TO THE OWNER.

THE REQUIRED NUMBER OF WIRES.

20. VALVE BOXES SHALL BE INSTALLED FLUSH WITH GRADE, PER DETAIL

ELECTRICAL PLAN FOR ELECTRICAL CONNECTION TO THE IRRIGATION CONTROLLER. IRRIGATION CONTRACTOR SHALL COORDINATE

CONSTRUCTION OF IRRIGATION SYSTEM WITH GENERAL CONTRACTOR AND LANDSCAPE CONTRACTOR PRIOR TO COMMENCEMENT OF

14. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS

17. LOCATION FOR IRRIGATION SYSTEM AS SHOWN IS FOR DRAWING PURPOSES ONLY. UNSLEEVED PIPES MAY BE SHOWN IN PAVEMENT AREAS FOR CLARITY ONLY. INSTALL THESE PIPES IN ADJACENT LANDSCAPE AREAS WHERE NECESSARY. CONTRACTOR SHALL VERIFY THE EXACT

LOCATION IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF PROPOSED IRRIGATION SYSTEM. ALL PROPOSED IRRIGATION

COMPLETE COVERAGE WITH MINIMUM OVERSPRAY. THE IRRIGATION CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO ENSURE PROPER

CONTRACTOR TO PROVIDE SLEEVES BETWEEN 12" AND 15" BELOW GRADE AT ALL DRIVE ENTRANCES AND SIDEWALKS. MAINLINE SLEEVE SIZE

SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. CONTROL WIRE SLEEVES SHALL BE OF SUFFICIENT SIZE FOR

21. ALL MAIN LINE PIPING, NON-PRESSURE PIPING AND CONTROL WIRE SLEEVING SHALL BE INSTALLED IN SEPARATE SLEEVES. ALL LATERAL LINE PIPING UNDER PAVING SHALL BE PVC SCHEDULE 40 AND SHALL BE INSTALLED PRIOR TO ANY HARDSCAPE MATERIAL. IRRIGATION

22. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF FENCES,

SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS THROUGH WALLS, UNDER ROADWAYS AND PAVING AND TIMING, ETC. REFER TO CIVIL ENGINEERING PLANS FOR GRADING, METHODS OF

RETAINING WALLS, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. THEY

23. ALL IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED, SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS,

25. UNLESS OTHERWISE REQUIRED, BACKFLOW PREVENTION DEVICES LESS THAN 2" SHALL BE PLACED IN A WIRE MESH BASKET ENCLOSURE AND

26. ALL JOINTS AND BENDS 2" OR LARGER SHALL HAVE CONCRETE THRUST BLOCKING. THRUST BLOCKING SHALL BE A MINIMUM OF 1 CUBIC

27. CONTRACTOR WILL PROVIDE OWNER WITH A COMPLETE AND REPRODUCIBLE DRAWING OR IRRIGATION SYSTEM LAYOUT AS IT WAS

29. ALL EXISTING AND PROPOSED SIDEWALKS, BARRIER-FREE RAMPS, HANDICAP PARKING, DRIVEWAY CROSSWALKS, DRIVEWAYS AND

ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A., T.A.S., AND COUNTY OF EL PASO REQUIREMENTS. EXISTING INFRASTRUCTURE NOT

OBJECTS SUCH AS LIGHT POLES, TRANSFORMERS PADS, EQUIPMENT VAULTS, SUBSURFACE ROCK TOO LARGE TO REMOVE, ETC...) AS LONG AS

ALL PLANT MATERIAL RECEIVES THE PROPER NUMBER OF EMITTERS PER SCHEDULE AND THE VINYL DISTRIBUTION TUBING DOES NOT EXCEED

INSTALLED. DRAWING SHOULD INCLUDE, BUT NOT BE LIMITED TO, LOCATIONS OF ZONES VALVES, MAIN, LATERAL AND DISTRIBUTION LINES,

24. ANY DRIP SYSTEM PIPING IN PLANTING BEDS IS DIAGRAMMATIC. CONTRACTOR CAN ROUTE PIPING IN A FREEFORM MANNER (AVOIDING

DETAILS AND SPECIFICATIONS. ACCEPTABLE MANUFACTURERS INCLUDE RAINBIRD, HUNTER, TORO, OR NETAFIM

FOOT OF CONCRETE. PIPE SHALL NOT BE ENCASED IN CONCRETE. SEE DETAIL 31C FOR THRUST BLOCKING.

LINES AND EQUIPMENT SHALL BE INSTALLED WITHIN THE BOUNDARIES OF THE PROJECT SITE. CONTRACTOR SHALL NOTIFY LANDSCAPE

19. IRRIGATION CONTRACTOR SHALL COORDINATE IRRIGATION INSTALLATION WITH PLANTING PLAN AND SITE CONDITIONS TO PROVIDE

RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN

7. IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY. SHALL HAVE A BACKFLOW PREVENTER INSTALLED PER LOCAL

IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE

LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR IF AVAILABLE WATER PRESSURE EXCEEDS 5 PSI HIGHER OR LOWER THAN THE DESIGN WATER

GENERAL IRRIGATION NOTES

OF ANY TREE.

ARCHITECT OR LICENSED IRRIGATOR.

RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.

INSIDE AT WHICH POINT WILL BE PROVIDED BY THE GENERAL CONTRACTOR OR PLUMBER.

12. ALL LATERAL LINES SHALL BE EQUIPPED WITH AUTOMATIC DRAIN VALVES AT LOW POINTS.

Know what's below. Call before you dig.

CONSULTANTS:

2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 PHONE: (719) 575-0100



LAND DEVELOPMENT CONSULTANTS, LLC

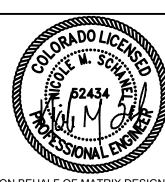
950 S. CHERRY ST., SUITE 512 **DENVER, CO 80246**

OWNER/DEVELOPER

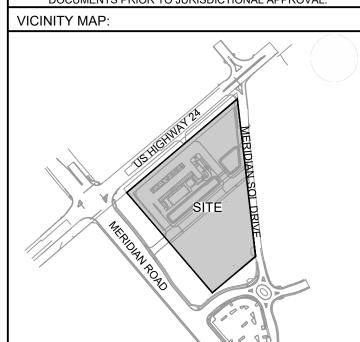


ROCKY MOUNTAINS DIVISION 5500 S QUEBEC STREET, SUITE 100 GREENWOOD VILLAGE, CO 80111 PHONE: (720) 758-6223

SEAL



FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE MOST RECENT PROJECT CONSTRUCTION DOCUMENTS. MATRIX DESIGN GROUP IS NOT RESPONSIBLE FOR CHANGES, ALTERATIONS, OR USE OF CONSTRUCTION DOCUMENTS PRIOR TO JURISDICTIONAL APPROVAL



CIRCLE K STORES INC. LANDSCAPE AND IRRIGATION 100% CONSTRUCTION DOCUMENTS

HIGHWAY 24 & MERIDIAN ROAD FALCON CO

	I ALCON, CO				
RE'	REVISION HISTORY:				
NO.	DATE	DESCRIPTION	BY		
1	09/06/2022	PER REVIEW COMMENTS			
2	09/30/2022	75% CD SUBMITTAL			
3	10/07/2022	100% CD SUBMITTAL			
4	4 12/02/2022 CD 1ST RESUBMITTAL				
5	01/19/2023	CD 2ND RESUBMITTAL			
	DRAWING INFORMATION.				

DRAWING INFORMATION: PROJECT NO: 21.1207.037

DRAWN BY: KMM

CHECKED BY: AJP DESIGNED BY: KMM SHEET TITLE:

IRRIGATION

IR01

A PORTION OF THE SE 1/4 OF SECTION 12. TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M.

- 1. 95 PSI IS ASSUMED, CONTRACTOR TO VERIFY ON SITE AND NOTIFY THE OWNER OR
- OWNERS REPRESENTATIVE OF ACTUAL PRESSURE ON SITE.
- 2. ALL IRRIGATION EQUIPMENT IS TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

CRITICAL ANALYSIS	
Generated:	2022-11-22 07:12
P.O.C. NUMBER: 01 Water Source Information:	6985 Old Meridian Rd. Hydrant
FLOW AVAILABLE	
Water Meter Size:	1-1/2"
Flow Available	40.32 GPM
PRESSURE AVAILABLE	
Static Pressure at POC:	95 PSI
Elevation Change:	5.00 ft
Service Line Size:	1 1/2"
Length of Service Line:	250 ft
Pressure Available:	78 PSI
DESIGN ANALYSIS	
Maximum Station Flow:	19.12 GPM
Flow Available at POC:	40.32 GPM
Residual Flow Available:	21.2 GPM
Critical Station:	11-R
Design Pressure:	30 PSI
Friction Loss:	5.45 PSI
Fittings Loss:	0.54 PSI
Elevation Loss:	0 PSI
Loss through Valve:	2.7 PSI
Pressure Req. at Critical Station:	38.7 PSI
-	

VALVE SCHEDULE

VALVE_S	CHEDULE				
NUMBER	<u>MODEL</u>	SIZE	<u>TYPE</u>	<u>GPM</u>	PRECIP
1-R	RAIN BIRD PESB	1"	TURF ROTARY	8.71	0.37 in/h
2-S	RAIN BIRD XCZ-100-PRF	1"	SHRUB DRIP	1.68	0.15 in/h
3-T	RAIN BIRD XCZ-100-PRF	1"	TREE DRIP	3.32	0.49 in/h
4-R	RAIN BIRD PESB	1"	TURF ROTARY	18.21	0.13 in/h
5-S	RAIN BIRD XCZ-100-PRF	1"	SHRUB DRIP	1.350	0.11 in/h
6-T	RAIN BIRD XCZ-100-PRF	1"	TREE DRIP	8.41	0.49 in/h
7-R	RAIN BIRD PESB	1"	TURF ROTARY	12.06	0.14 in/h
8-R	RAIN BIRD PESB	1"	TURF ROTARY	18.36	0.14 in/h
9-R	RAIN BIRD PESB	1"	TURF ROTARY	13.57	0.13 in/h
10-R	RAIN BIRD PESB	1"	TURF ROTARY	17.23	0.14 in/h
11-R	RAIN BIRD PESB	1"	TURF ROTARY	19.12	0.15 in/h
12_T	RAIN RIRD XC7-100-PRF	1"	TREE DRIP	7 01	0 /0 in/h

IRRIGATION SCHEDULE

+ + + + + +

MANUFACTURER/MODEL/DESCRIPTION

HUNTER MP2000 PROS-04-PRS30-CV TURF ROTATOR, 4" POP-UP WITH FACTORY INSTALLED K G R CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY, K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.

> HUNTER MP3000 PROS-04-PRS30-CV TURE ROTATOR, 4" POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP

ROTATOR NOZZLE ON PRS30 BODY, B=BLUE ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC.

HUNTER MP3500 PROS-04-PRS30-CV TURE ROTATOR, 4" POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. LB=LIGHT BROWN ADJUSTABLE ARC, 90-210.

SYMBOL MANUFACTURER/MODEL/DESCRIPTION

RAIN BIRD XCZ-100-PRF 1" MEDIUM FLOW DRIP CONTROL KIT. 1" DV VALVE. 1" PRESSURE REGULATING FILTER, 40PSI PRESSURE REGULATOR. 3GPM - 15GPM.

DRIPLINE FLUSH VALVE CAP IN COMPRESSION FITTING COUPLER.

TREE RING: RAIN BIRD XF SERIES DRIPLINE 2 DRIP RINGS USING 18" EMITTER SPACING @ 0.9 GPH, 12" SPACING FROM TRUNK TO FIRST RING, 30" SPACING FROM TRUNK TO SECOND RING

T+ + + + + + T AREA TO RECEIVE DRIP EMITTERS SINGLE OUTLET, PRESSURE COMPENSATING DRIP + + + + + + | EMITTERS. FLOW RATES OF 0.5 GPH=BLUE, 1.0

+ + + + + | GPH=BLACK, AND 2.0 GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. Emitter Notes:

0.5 GPH emitters (2 assigned to each #5 CONT. plant)

MANUFACTURER/MODEL/DESCRIPTION

RAIN BIRD PESB 1" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION. WITH SCRUBBER TECHNOLOGY FOR RELIABLE PERFORMANCE IN DIRTY WATER IRRIGATION APPLICATIONS.

RAIN BIRD 5-LRC 1" 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING,

LOCKING THERMOPLASTIC RUBBER COVER, AND 1-PIECE RAIN BIRD EFB-CP 1-1/2" 1". 1-1/4". 1-1/2". 2" BRASS MASTER VALVE. THAT IS

CONTAMINATION PROOF W/SELF-FLUSHING FILTER SCREEN. GLOBE CONFIGURATION, RECLAIMED WATER COMPATIBLE, AND PURPLE HANDLE COVER DESIGNATES NON-POTABLE WATER USE.

WATTS U009 1-1/2" REDUCED PRESSURE BACKFLOW PREVENTER

> RAIN BIRD ESP4ME WITH (1) ESP-SM3 7 STATION, HYBRID MODULAR OUTDOOR CONTROLLER. FOR RESIDENTIAL OR LIGHT COMMERCIAL APPLICATIONS. RAIN BIRD RSD-BEX

RAIN SENSOR, WITH METAL LATCHING BRACKET, EXTENSION WIRE. RAIN BIRD SMRT-Y

SOIL MOISTURE SENSOR KIT. 24VAC @ 50/60 HZ. OPERATING TEMPERATURE: -4 DEGREES F TO 158 DEGREES F. SURVIVAL TEMPERATURE: -40 DEGREES F TO 185 DEGREES F. UL, CUL, C-TICK CERTIFICATIONS.

WATER METER 1-1/2" 6985 OLD MERIDIAN RD. HYDRANT

> IRRIGATION LATERAL LINE: POLYETHYLENE PIPE SDR-7 1" IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1"

IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1 1/2"

IRRIGATION MAINLINE: PVC SCHEDULE 40 1 1/2"

____ PIPE SLEEVE: PVC CLASS 200 SDR 21 SEE IRRIGATION NOTES FOR SIZING

Valve Callout

IRRIGATION EQUIPMENT NOTES

CRITICAL ANALYSIS

Generated:	2022-11-22 07:12
P.O.C. NUMBER: 01 Water Source Information:	6985 Old Meridian Rd. Hydrant
FLOW AVAILABLE Water Meter Size: Flow Available	1-1/2" 40.32 GPM
PRESSURE AVAILABLE Static Pressure at POC: Elevation Change: Service Line Size: Length of Service Line: Pressure Available:	95 PSI 5.00 ft 1 1/2" 250 ft 78 PSI
DESIGN ANALYSIS Maximum Station Flow: Flow Available at POC: Residual Flow Available:	19.12 GPM 40.32 GPM 21.2 GPM
Critical Station: Design Pressure: Friction Loss:	11-R 30 PSI 5 45 PSI

Residual Flow Available:	21.2 GPM
Critical Station:	11-R
Design Pressure:	30 PSI
Friction Loss:	5.45 PSI
Fittings Loss:	0.54 PSI
Elevation Loss:	0 PSI
Loss through Valve:	2.7 PSI
Pressure Req. at Critical Station:	38.7 PSI
Loss for Fittings:	0.23 PSI
Loss for Main Line:	2.32 PSI
Loss for POC to Valve Elevation:	0 PSI
Loss for Backflow:	12.7 PSI
Loss for Master Valve:	2.3 PSI
Loss for Water Meter:	0.67 PSI
Critical Station Pressure at POC:	57.0 PSI
Pressure Available:	78 PSI
Residual Pressure Available:	21.0 PSI

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	<u>GPM</u>	PRECIP
1-R 2-S 3-T 4-R 5-S 6-T 7-R	RAIN BIRD PESB RAIN BIRD XCZ-100-PRF RAIN BIRD XCZ-100-PRF RAIN BIRD PESB RAIN BIRD XCZ-100-PRF RAIN BIRD XCZ-100-PRF RAIN BIRD XCZ-100-PRF RAIN BIRD PESB	1" 1" 1" 1" 1" 1"	TURF ROTARY SHRUB DRIP TREE DRIP TURF ROTARY SHRUB DRIP TREE DRIP TREE DRIP TURF ROTARY	8.71 1.68 3.32 18.21 1.350 8.41 12.06	0.37 in/h 0.15 in/h 0.49 in/h 0.13 in/h 0.11 in/h 0.49 in/h 0.14 in/h
8-R 9-R	RAIN BIRD PESB RAIN BIRD PESB	1" 1"	TURF ROTARY TURF ROTARY	18.36 13.57	0.14 in/h 0.13 in/h
10-R 11-R 12-T	RAIN BIRD PESB RAIN BIRD PESB RAIN BIRD XCZ-100-PRF	1" 1" 1"	TURF ROTARY TURF ROTARY TREE DRIP	17.23 19.12 7.91	0.14 in/h 0.15 in/h 0.49 in/h

HIGHWAY 24 & MERIDIAN ROAD LANDSCAPE AND IRRIGATION 100% CONSTRUCTION DOCUMENTS

Know what's below. Call before you dig. CONSULTANTS:

Excellence by Design



LAND DEVELOPMENT CONSULTANTS, LLC

950 S. CHERRY ST., SUITE 512 DENVER, CO 80246

OWNER/DEVELOPER

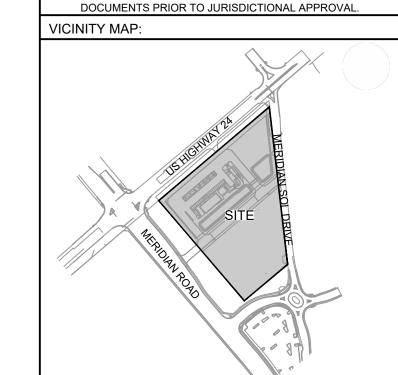


ROCKY MOUNTAINS DIVISION 5500 S QUEBEC STREET, SUITE 100 GREENWOOD VILLAGE, CO 80111 PHONE: (720) 758-6223

SEAL



FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE MOST RECENT PROJECT CONSTRUCTION DOCUMENTS. MATRIX DESIGN GROUP IS NOT RESPONSIBLE FOR CHANGES, ALTERATIONS, OR USE OF CONSTRUCTION



PROJECT:

CIRCLE K STORES INC. LANDSCAPE AND IRRIGATION 100% CONSTRUCTION DOCUMENTS

HIGHWAY 24 & MERIDIAN ROAD FALCON, CO

REVISION HISTORY:								
NO.	DATE	DESCRIPTION						
1	09/06/2022	PER REVIEW COMMENTS						
2	09/30/2022	75% CD SUBMITTAL						
3	10/07/2022	100% CD SUBMITTAL						
4	12/02/2022	CD 1ST RESUBMITTAL						
5	01/19/2023	CD 2ND RESUBMITTAL						
DRAWING INFORMATION:								

PROJECT NO: 21.1207.037 DRAWN BY: KMM

CHECKED BY: AJP DESIGNED BY: KMM

SHEET TITLE:

IRRIGATION

DETAILS

IR02

PCD FILING NO.: PPR2230 | ISSUE DATE: JANUARY 2023

FOR OUTDOOR APPLICATION ONLY. SEE ARCHITECTURE PLANS FOR INDOOR POINT OF CONNECTION. **BACKFLOW DEVICE** - BACKFLOW COVER GALVANIZED NIPPLES EACH SIDE - GALVANIZED RISERS

AND ELL AS REQUIRED - GALVANIZED UNIONS AT GALVANIZED NIPPLES AND ELL AS REQUIRED 3" MIN. PVC COUPLER OR REDUCER ON ALL AS REQUIRED, TYP. SIDES - IRRIGATION MAIN LINE - CONCRETE THRUST BLOCKS, 90 LBS OF CONCRETE EACH - WATER SERVICE LINE

A PORTION OF THE SE 1/4 OF SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M. COUNTY OF EL PASO COUNTY, STATE OF COLORADO

JANUARY 2023 - CONTROLLER, PER SCHEDULE, SECURELY **BOLT TO WALL, INSTALL** BACK UP BATTERIES AS REQUIRED, GROUND PER MFG. SPECIFICATIONS ¹/₂" DIA. RIGID STEEL **CONDUIT FOR 110 VAC** ELECTRICAL SOURCE, INSTALLED PER LOCAL 1 1 1 DIA. RIGID STEEL CONDUIT FOR RCV WIRES - FINISH GRADE - LOW SWEEP ELL. - PVC SCHEDULE 40 **BELOW GRADE**

RECTANGULAR VALVE BOX WITH LOCKING LID - FINISH GRADE - CONTROL WIRES WITH 12" MIN **EXPANSION COIL** - MAINLINE 3" LAYER OF PEA - SCHEDULE 80 PVC GRAVEL OR APPROVED EQUAL - SCHEDULE 40 PVC **45 DEGREE** ^{. 3}ह" WELDED WIRE **ELBOW**

MASTER VALVE

REDUCED PRESSURE BACKFLOW WITH ENCLOSURE

- POLYETHYLENE TUBING

RAIN BIRD XFD-CROSS

RAIN BIRD XFF-TEE

RAIN BIRD XFF-TEE

RAIN BIRD XFF-TEE

- ROOT BALL

- ON-SURFACE DRIPLINE:

POTABLE: XFCV DRIPLINE

- BARB TEE INSERT FITTING:

POLYETHYLENE TUBING BARB TEE INSERT FITTING:

POLYETHYLENE TUBING

- BARB TEE INSERT FITTING:

- BARB CROSS INSERT FITTING:

RAIN BIRD XF SERIES DRIPLINE

- PVC/POLYETHYLENE TUBING PVC SCH 40 TEE OR EL

MAINLINE, LATERAL

AND WIRING IN THE

SAME TRENCH

0.

WALL MOUNT CONTROLLER MS-STD-IRR-03

WIRING

IN

CONDUIT

1. ALL MAIN LINES, LATERAL

SLEEVES BELOW ALL

SCHEDULE.

LINES, AND SLEEVES PER

HARDSCAPE ELEMENTS SHALL

BE TWICE THE DIAMETER OF

THE PIPE OR WIRE BUNDLE

3. ALL LATERAL LINES SHALL BE

BURIED NO LESS THAN 18"

DEEP. ALL MAIN LINES AND

NO LESS THAN 24" DEEP.

ELECTRICAL LINES SHALL BE

FINISH GRADE -STAINLESS STEEL SCREW CLAMP ROUND VALVE **BOX WITH** LOCKING LID

1. ALL THREADED CONNECTIONS SHALL BE INSTALLED USING TEFLON TAPE. 2. VALVE BOX SHALL BE WRAPPED WITH A MINIMUM 3 MIL THICK PLASTIC AND SECURED TO

THE VALVE BOX USING DUCT TAPE OR ELECTRICAL TAPE. 3. ALL QUICK COUPLERS SHALL BE INSTALLED A MINIMUM OF 18" OFF OF THE MAINLINE.

4. VALVE BOXES SHALL BE LOCATED IN PLANTING AREAS.

QUICK COUPLER VALVE

RUN WIRING BENEATH AND BESIDE MAINLINES. TAPE AND BUNDLE AT 10-FOOT INTERVALS.

MAINLINE

PIPE

LATERAL

-TIE A 24-INCH LOOP IN ALL WIRING AT CHANGES OF DIRECTION OR 30° OR GREATER. UNTIE AFTER ALL CONNECTION HAVE BEEN MADE.

-ALL SOLVENT WELD PLASTIC PIPING TO BE SNAKED IN TRENCH AS SHOWN

MS-STD-IRR-06

IRRIGATION PIPE & WIRE TRENCHING

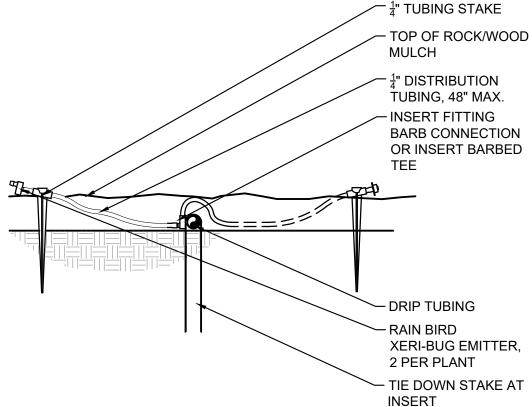
PRESSURE REGULATOR - PVC UNION W/ SHORT NIPPLES - OUTLET PIPE SAME SIZE AS VALVE, 24" MIN. LENGTH TO FIRST FITTING 45 DEGREE DOWN AS REQUIRED TO LATERAL PIPE DEPTH (4) 4" BY 8" BRICK

1. LOCATE VALVE BOX WITHIN 24" OF PAVEMENT

ACCESSIBLE WHENEVER POSSIBLE. BE DIRECT BURIAL 14 AWG OR LARGER. COLOR: COMMON (WHITE), CONTROLLER WIRE FOR TURF (BLUE), AND CONTROLLER WIRE FOR SHRUBS (RED). (SEE SPECIFICATIONS FOR

ALL WIRE RUNS SHALL BE CONTINUOUS BOX DETAIL. WIRE CONNECTIONS SHALL BE MADE USING DBR/Y-6 CONNECTORS OR APPROVED EQUAL.

MAINLINES 4" OR LARGER SHALL USE SADDLES AT THE CONNECTIONS POINTS TO THE IRRIGATIONS SADDLES).



DRIP EMITTERS MS-STD-IRR-09 WIRE CONNECTION

AUTOMATIC CONTROL VALVE

MS-STD-IRR-10

FILL WITH SEALANT

1. MASTER VALVE SHALL BE MAKE

PRESCRIBED PER SCHEDULE

MASTER VALVE WIRE SHALL BE 14

CONTINUOUS WITHOUT ANY

SPLICES. WIRE CONNECTIONS

CONNECTORS OR APPROVED

SEE MASTER VALVE/ FLOW

SENSOR DETAIL FOR LINEAR

VALVE BOXES SHALL BE LOCATED

SHALL BE MADE USING DBR-Y/6

AND MODEL NUMBER AS

2. INSTALL MASTER VALVE PER

MANUFACTURER'S

AWG OR LARGER.

DIMENSIONS.

- QUICK COUPLER VALVE

- SCHEDULE 80 PVC

- (3) 4" X 8" BRICKS

- SCHEDULE 80 PVC

SWING JOINT

- SCHEDULE 80

TEE OR ELBOW

– #6 X 48" REBAR

- MAINLINE

NIPPLES

IN PLANTING AREAS.

SPECIFICATIONS AND

RECOMMENDATIONS.

4. ALL WIRE RUNS SHALL BE

20" BY 14" PLASTIC VALVE -BOX CONTROLLER WIRE WITH -30" LINEAR LENGTH OF COIL, WITH PLASTIC I.D. TAG AND WATERPROOF CONNECTORS SET BOX FLUSH AT SOD/SEED, SET BOX 2" ABOVE FINISH GRADE IN ROCK/WOOD MULCH PVC TRUE UNION BALL 3" LAYER OF PEA SCHEDULE 80 PVC RISER **GRAVEL OR** APPROVED EQUAL NIPPLE AT MAINLINE -

MS-STD-IRR-05

EDGE IN PLANTING AREA WHERE EASILY

2. COMMON WIRE AND CONTROLLER WIRE SHALL

ALL SCH. 80 PVC TO SCH. 40 PVC THREADED

2-WIRE CONTROLLERS). WITHOUT ANY SPLICES UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE. SEE SPLICE

IRRIGATION VALVE. (SEE SPECIFICATIONS FOR

CONNECTIONS SHALL BE MADE USING TEFLON

CRIMP SLEEVE USE -

RECOMMENDED TOOL

L TIE DOWN STAKE

1. PLACE TIE DOWN STAKES EVERY 3' O.C.

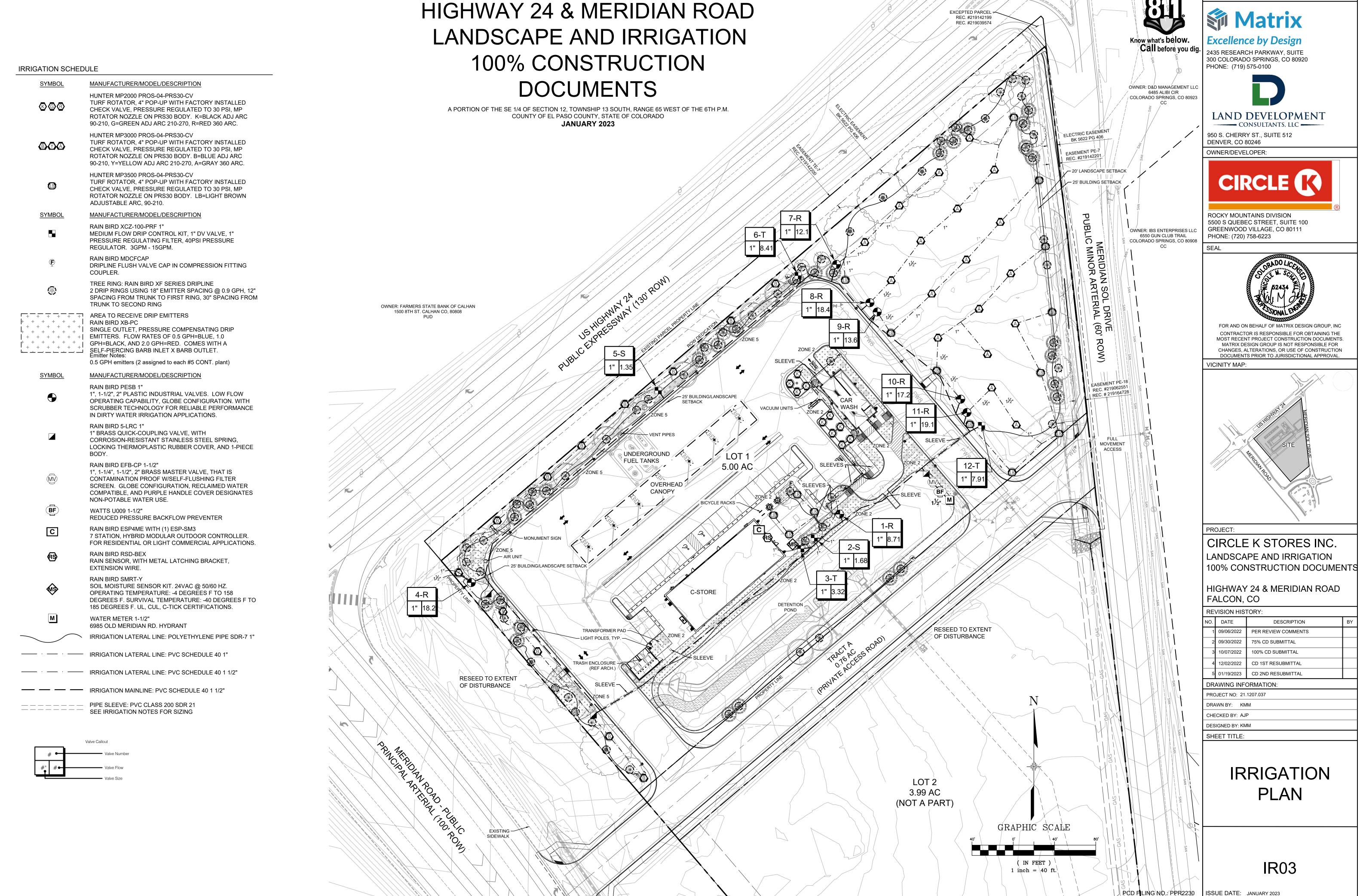
LEG OF THE CHANGE OF DIRECTION.

TREE DRIP RING

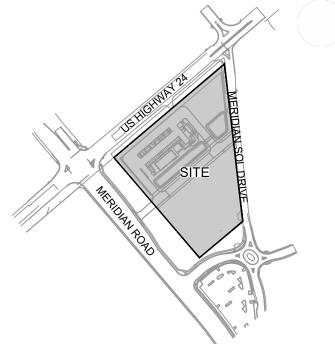
2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION

SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH

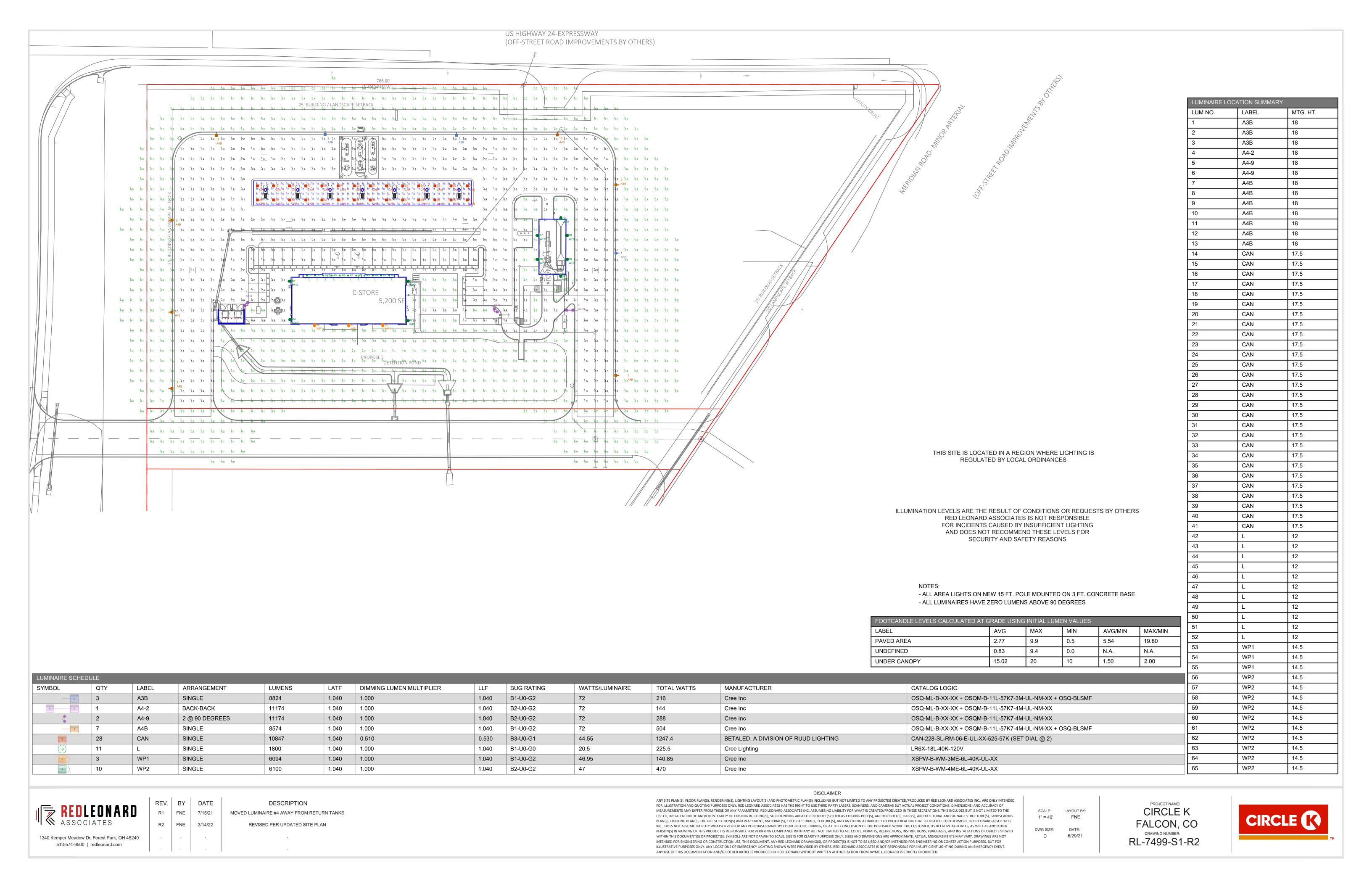
NOTES:

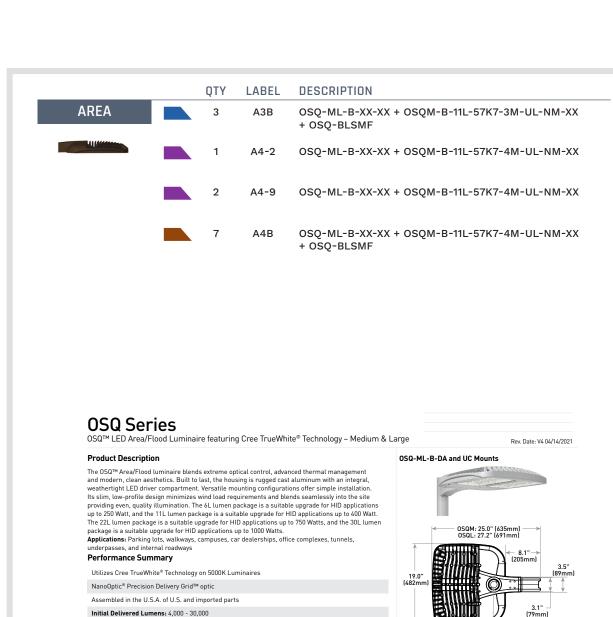


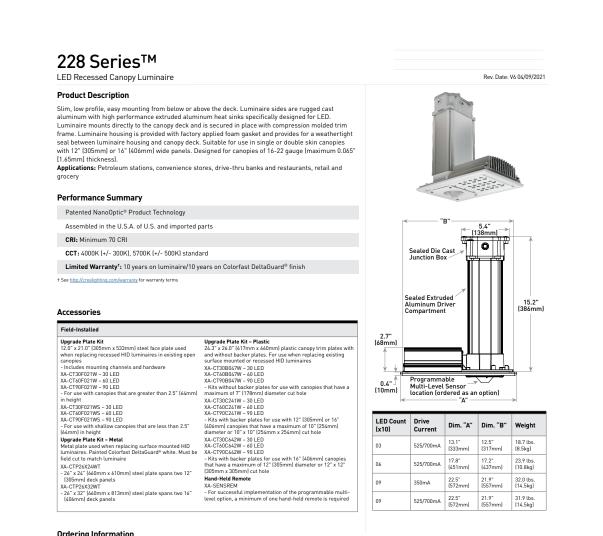
CONSULTANTS:



REVISION HISTORY:							
NO.	DATE	DESCRIPTION	В				
1	09/06/2022	PER REVIEW COMMENTS					
2	09/30/2022	75% CD SUBMITTAL					
3	10/07/2022	100% CD SUBMITTAL					
4	12/02/2022	CD 1ST RESUBMITTAL					
5	01/19/2023	CD 2ND RESUBMITTAL					
	•	·					

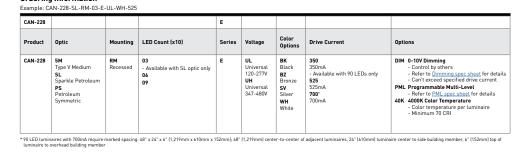






QTY LABEL DESCRIPTION

28 CAN CAN-228-SL-RM-06-E-UL-XX-525-57K (SET DIAL @ 2)

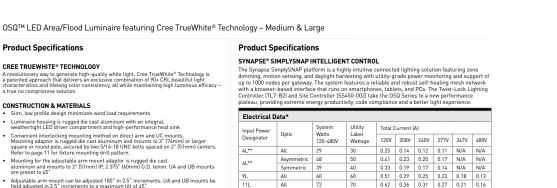




US: creelighting.com [800] 236-6800 Canada: creelighting-canada.com [800] 473-1234

CREE ♦ LIGHTING

CREE
LIGHTING



Synapse Wireless Sensor
WSN-DPM
- Motion and light sensor
- Control multiple zones
- Refer to WSN-DPM spec sheet fo
SimplySNAP On-Site Controller
SS450-002
- Verizon* LIE-enabled
- Designed for indoor applications
- Refer to SS450-002 spec sheet for

BMS-GW-002
Required for BACnet integration
Refer to BMS-GW-002 spec sheet for details
Outdoor Antennas
(Optional, for increased range, 8dB gain)
KIT-ANT420SM

KIT-ANT420SM

- Kit includes antenna, 20' cable and bracket
KIT-ANT360

- Kit includes antenna, 30' cable and bracket
KIT-ANT600

Kit includes antenna, 50' cable and bracket

CREE \$ LIGHTING

symmetric optics

RR Rotate Right

CREE \$ LIGHTING

28.9 lbs. (13.1kg) 32.4 lbs. [14.7kg]

Color SV Silver BZ Bronze
Options: BK Black WH White Note: Refer to page 11 for fixture mounting drill pattern. For additional mounts, refer to drawings beginning on page 19

mmable Multi-Level, 10-30'

Mount	Housing	
Modific	Medium	Large
OSQ-ML-B-AA	28.4 lbs. [12.9kg]	32.0 lbs. (14.5kg)
OSQ-ML-B-DA	28.9 lbs. [13.1kg]	32.4 lbs. [14.7kg]
OSQ-ML-B-TSP	42.0 lbs. [19.1kg]	44.0 lbs. (20.0kg)
OSQ-ML-B-TM	32.6 lbs. [14.8kg]	36.1 lbs. [16.4kg]
UA	29.5 lbs. [13.4kg]	33.1 lbs. (15.0kg)
UB	29.5 lbs. [13.4kg]	33.1 lbs. (15.0kg)
UC	28.9 lbs (13.1kg)	32.4 lbs. [14.7kg]
UD	32.6 lbs. [14.8kg]	36.1 lbs. [16.4kg]
JU	32.6 lbs. (14.6kg)	36.1 lbs. (16.4kg)

ELECTRICAL SYSTEM Input Voltage: 120-277V or 347-480V, 50/60Hz, Class 1 drive Power Factor: > 0.9 at full load Total Harmonic Distortion: < 20% at full load Integral 10kV surge suppression protection standard When code dictates fusing, a slow blow fuse or type C/D breaddress insush current

Efficacy: Up to 173 LPW

OSQ-ML-B-AA Adjustable Arm OSQ-ML-B-DA Direct Arm OSQ-ML-B-TSP Transportation M OSQ-ML-B-TM Trunnion Mount

CCT: 3000K, 4000K, 5000K, 5700K

Mount (Luminaire must be ordered separately)*

CREE \$

Luminaire housing is rugged die cast aluminum with an integral, weathertight LED driver compartment and high-performance heat sink

Adjustable arm mount can be adjusted 180° in 2.5° increments. UA ar field adjusted in 2.5° increments to a maximum tilt of 45°

weameright LED unver Compartment and ingreper ordinate reads after Convenient interfocking mounting method on direct arm and UC mounts, Mounting adaptor is rugged die cast aluminum and mounts to 3" [76mm] or larger square or round pole, secured by two 51/6+8 DUN bottle spaced on 2"[51mm] centers. Refer to page 11 for fixture mounting drill pattern. Mounting for the adjustable arm mount adaptor is rugged die cast aluminum and mounts to 2" [51mm] IP, 2.375" [60mm] 0.0. tenon. UA and UB mounts are preset to 54.

US: creelighting.com (800) 236-6800 Canada: creelighting-canada.com (800) 4

Product Specifications

CREE TRUEWHITE® TECHNOLOGY

CONSTRUCTION & MATERIALS

CRI: Minimum 70 CRI (3000K, 4000K & 5700K); 90 CRI (5000K)

Limited Warranty¹: 10 years on luminaire; 10 years on Colorfast DeltaGuard[®] finish; up to 5 years for Synapse[®] accessories; 1 year on luminaire accessories

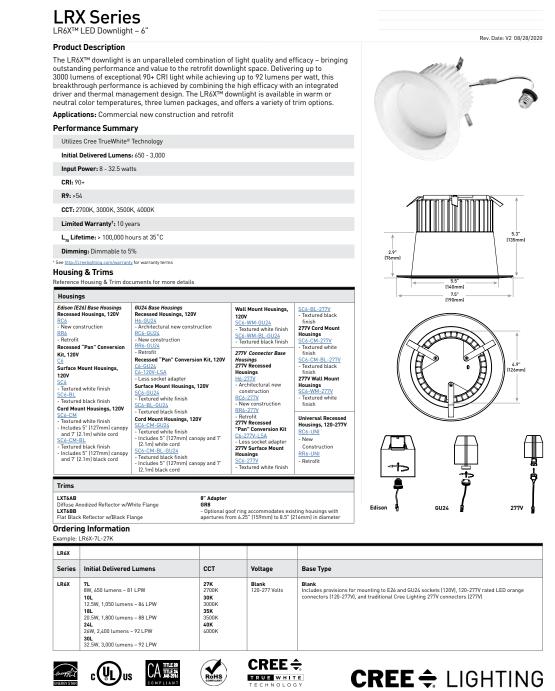
- Includes Noption US
45 "Utility Arm wife 14/3 AWG Gord End Exit 1- Includes Noption UC Direct Arm Mount - Standard 2" Estimate 15- Field-installed - Includes Noption UD Trumion Mount - Adjustable from 0-45" in 15" increments - Includes Noption UD

- Designed with 0-10V dimming capabilities. Controls by oth • Maximum 10V Source Current: 1.0mA Operating Temperature Range: -40°C - +40°C (-40°F - + REGULATORY & VOLUNTARY QUALIFICATIONS
- Meets NEMA C82.77 standards Drivers and LEDs are UL Recognized in accordance with UL8750
 Enclosure rated IP66 per IEC 60529 when ordered without N or R options
- Certified to ANSI C136.31-2018, 3G bridge and overpass vibration standards Luminaire and finish endurance tested to withstand 5,000 hours of elevated at fog conditions as defined in ASTM Standard B 117 Meets Buy American requirements within ARRA
- · RoHS compliant. Consult factory for additional details

Transportation mount is constructed of 316 stainless steel and mounts to surface with		d mounts to surface with	16L	All	104	100	0.89	0.51	0.43	0.39	0.31	0.22	
3/8" fasteners t	,			22L	All	132	130	1.12	0.63	0.55	0.47	0.39	0.28
.ion mount is earee increm	constructed of A500 a ents. UD mount is ad-	and A IUTT steel and I: iustable from 0-45° ir	adjustable from 0-180° in 15° degree increments,	30L	All a at 25°C (77°F). Act	202	200	1.72	0.96	0.84	0.72	0.60	0.43
is factory pres or 3/8" bolts	et to 45°. Trunnion m	ount secures to surfa	ce with [1] 3/4" bolt or (2)		th UL voltage only	uat wattage r	nay diller by +/- II	on when o	perating t	between 12	:0-2//٧ 0	1 347-4001	+/-10
ninaires ordere	d with NM mount incl ombined with N or R o	ude 18" (340mm) 18/ ption, 18" (340mm) 1	or 16/5 cord exiting the B/7 or 16/7 cord is provided. and exiting the side of the	OSQ Series Ambient Adjusted Lumen Maintenance ¹									
ounting arm thro C mount include: cludes 8' (2.4m)	ough watertight fitting s 12" (305mm) 18/5 or 14/3 cord exiting the l	(UA) or the end of th 16/5 leads exiting th uminaire	e mounting arm (UB). e luminaire. UD mount C136.15 and 7-pin NEMA®	Ambient	Optic	Initial LMF	25K hr Reported ² LMF	50K hr Report LMF		75K hr Repor Estima	ted²/	100K Repor Estim	rted2
	cle per ANSI C136.41	Ottaty Labet per Aivo	C130.13 and 7-pin NEMA			_							
signed for uplig	ht and downlight appl	ications		5°C (41°F)	Asymmetric	1.04	1.03	1.01		0.992		0.972	
	t DeltaGuard® finish f		xy primer with an o corrosion, ultraviolet		Symmetric	1.05	1.05	1.05		1.053		1.053	
radation and a	brasion. Silver, bronze	, black, and white are	available	10°C	Asymmetric	1.03	1.02	1.00		0.982		0.962	
/eight				(50°F)	Symmetric	1.04	1.03	1.03		1.033		1.033	
ount	Housing			15°C	Asymmetric	1.02	1.01	0.99		0.972		0.952	
	Medium	Large		(59°F)	Symmetric	1.02	1.02	1.02		1.023		1.023	
Q-ML-B-AA	28.4 lbs. (12.9kg)	32.0 lbs. (14.5kg)			-					-		_	
-ML-B-DA	28.9 lbs. (13.1kg)	32.4 lbs. [14.7kg]		20°C (68°F)	Asymmetric	1.01	1.00	0.98		0.962		0.942	
Q-ML-B-TSP	42.0 lbs. (19.1kg)	44.0 lbs. (20.0kg)			Symmetric	1.01	1.01	1.01		1.01 ³		1.01 ³	
Q-ML-B-TM	32.6 lbs. (14.8kg)	36.1 lbs. (16.4kg)		25°C	Asymmetric	1.00	0.99	0.97		0.952		0.932	
	29.5 lbs. (13.4kg) 29.5 lbs. (13.4kg)	33.1 lbs. (15.0kg) 33.1 lbs. (15.0kg)		[77°F]	Symmetric	1.00	1.00	1 00		1 003		1 003	_
	28.9 lbs (13.1kg)	32.4 lbs. (14.7kg)											
)	32.6 lbs. [14.8kg]	36.1 lbs. [16.4kg]						S TM-21 based on IES LM-80 report data for the LED rature factors (LATF) have been applied to all lumen					
	-277V or 347-480V, 50	/60Hz, Class 1 driver	s	conditions. ² In accordance up to 6x the te ³ Estimated va	actors. Please refer e with IES TM-21, Re sted duration in the lues are calculated a	ported value IES LM-80 re	s represent interp	olated val	ues based	d on time (durations	that are	ambi
ower Factor: > 0				Accesso	ries								
	stortion: < 20% at full			Field-Inst	allad			_					_
	e suppression protect												
hen code dictate ddress inrush cui	s fusing, a slow blow rrent	ruse or type C/D brea	ter snouta de uséd to	OSQ-BLSM	Shield (Front Faci F (Medium)	ng Uptics)		XA-SE	Held Re NSREM			Shorting KA-XSLSH	
esigned with 0-1	DV dimming capabiliti	es. Controls by other		OSQ-BLSLI	F (Large) Shield (Rotated O				uccessf	ful on of the			
	spec sheet for details				R (Medium)	hursi				on or the e multi-le			
	irce Current: 1.0mA			OSQ-BLSLI				option	a minir	mum of a			
	ature Range: -40°C -		F)		Bird Spikes 0SQ-MED-BRDSPK			hand-held remote is required					
ULATORY & VO	DLUNTARY QUALIF	FICATIONS			/ireless Control	Accessoria	s						

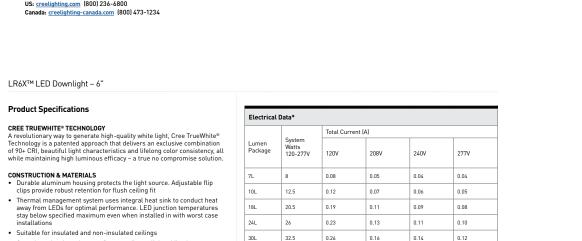
Product Specifications											
r oddet Specifications	Electrical Data*										
CONSTRUCTION & MATERIALS		T	Total Cu	rrent (A)							
Slim, low profile, easy mounting from below or above the deck	LED Count	System		1	T		T	Т			
 Luminaire sides are rugged cast aluminum with high performance extruded aluminum heat sink specifically designed for LED 	(x10)	Watts 120-480V	120V	208V	240V	277V	347V	480V			
 Luminaire mounts directly to the canopy deck and is secured in place with compression molded trim frame 	350mA										
 Luminaire is provided with factory applied foam gasket and provides for 	SOUTIA										
a weathertight seal between luminaire housing and canopy deck	09	99	0.83	0.48	0.42	0.38	0.29	0.22			
 Suitable for single or double skin canopies with 12" (305mm) or 16" (406mm) wide panels. Designed for canopies of 16-22 gauge (maximum 0.065" [1.65mm] thickness] 	525mA										
Weathertight driver compartment is constructed of anodized extruded aluminum for exceptional corrosion resistance and thermal performance	03	54	0.45	0.28	0.25	0.23	0.16	0.12			
Integral weathertight junction box with 4.5" (114mm) IP threaded	06	99	0.83	0.48	0.42	0.38	0.29	0.22			
connection points. Rated for feed through 8 [4 in, 4 out] #12 AWG conductors	09	155	1.32	0.76	0.68	0.61	0.45	0.34			
Below ceiling serviceable driver tray for ease of upgrade or replacement	700mA										
 Field adjustable drive current. Can't exceed drive current specified in part number. Exception is 90 LEDs at 350mA which can be adjusted to 575mA 	03	70	0.58	0.35	0.31	0.28	0.21	0.16			
Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer	06	132	1.11	0.66	0.57	0.50	0.39	0.28			
with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, silver, and white are available	09	201 t 25°C (77°F). Actu	1.64	0.96	0.84	0.75	0.59	0.44			
• Weight: See Dimensions and Weight chart on page 1	+/-10%	t 25 C (// F). Actu	ai wattage ma	y differ by +/-	10% when oper	ating betweer	112U-277V or 3	147-48UV			
ELECTRICAL SYSTEM											
Input Voltage: 120-277V or 347-480V, 50/60Hz, Class 1 drivers											
Power Factor: > 0.9 at full load											
Total Harmonic Distortion: < 20% at full load											
Maximum 10V Source Current: 30-60 LED: 0.15mA; 90 LED: 0.30mA											

Input Voltage: 120-277V or 347-480V, 50/60Hz, Class 1 drivers Power Factor: > 0.9 at full load Total Harmonic Distortion: < 20% at full load Maximum 10V Source Current: 30-60 LED: 0.15mA; 90 LED: 0.30mA										
Integral 10kV surge suppression protection standard	228 Series™ Ambient Adjusted Lumen Maintenance¹									
When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current	Ambient	Initial LMF	25K hr Reported ² LMF	50K hr Reported ² LMF	75K hr Estimated ³ LMF	100K hr Estimated ³ LMF				
REGULATORY & VOLUNTARY QUALIFICATIONS										
cULus Listed	5°C (41°F)	1.04	1.01	0.99	0.98	0.96				
Suitable for wet locations										
 Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions 	10°C (50°F)	1.03	1.00	0.98	0.97	0.95				
 ANSI C136.2 10kV surge protection, tested in accordance with IEEE/ANSI C62.41.2 	15°C (59°F)	1.02	0.99	0.97	0.96	0.94				
Luminaire and finish endurance tested to withstand 5,000 hours of	20°C (68°F)	1.01	0.98	0.96	0.95	0.93				
 elevated ambient salt fog conditions as defined in ASTM Standard B 117 Meets Buy American requirements within ARRA 	25°C (77°F)	1.00	0.97	0.95	0.94	0.92				
DLC qualified with select SKUs. Refer to https://www.designlights.org/search/ for most current information	package and in	-situ luminaire testir	ıg. Luminaire ambien	t temperature factors	(LATF) have been app	IES LM-80 report data for the LED NTF) have been applied to all lumen for outdoor average nighttime ambient				
CA RESIDENTS WARNING: Cancer and Reproductive Harm – www.p65warnings.ca.gov	conditions. ² In accordance with IES TM-21, Reported values represent interpolated values based on time durations the tested duration in the IES LM-80 report for the LED.									

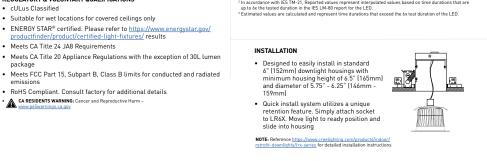


QTY LABEL DESCRIPTION

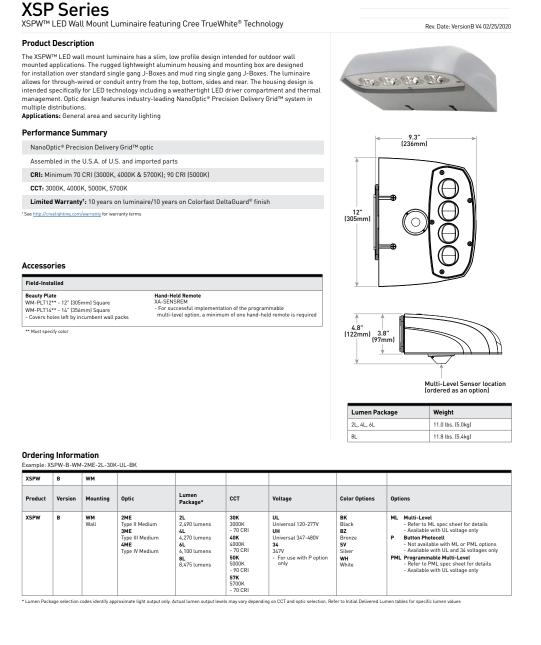
11 L LR6X-18L-40K-120V



of 90+ CRI, beautiful light characteristics and lifelong color consistency, all while maintaining high luminous efficacy – a true no compromise solution.	Package	120-277V	120V		208V		240V	277V
CONSTRUCTION & MATERIALS • Durable aluminum housing protects the light source. Adjustable flip	7L	8	0.08	08 0.			0.04	0.04
clips provide robust retention for flush ceiling fit	10L	12.5	0.12		0.07		0.06	0.05
 Thermal management system uses integral heat sink to conduct heat away from LEDs for optimal performance. LED junction temperatures stay below specified maximum even when installed in with worst case 	18L	20.5	0.19	-	0.11	_	0.09	0.08
installations • Suitable for insulated and non-insulated ceilings	24L	26	0.23		0.13		0.11	0.10
One-piece aluminum lower reflector redirects light while also	30L	32.5	0.26		0.16		0.14	0.12
conducting heat away from LEDs. It creates a comfortable visual transition from the lens to the ceiling plane and easily accommodates LXT6 snap-in trims	* Electrical data	at 25°C (77°F). Actu	ı al wattage mi	ay differ by	/ +/- 10%	when operat	ing between 120-27	7V +/- 10%
OPTICAL SYSTEM	LRX (LR6X) Series Ambie	nt Adjust	ed Lum	nen Ma	intenance	1	
Unique combination of reflective and refractive optical components achieves a uniform, comfortable appearance while eliminating pixelation, hot spots and minimizing glare	Ambient	Lumen Package	Initial LMF	25K h Repor LMF		50K hr Reported LMF	75K hr Estimated ³ LMF	100K hr Estimat LMF
Components work together to optimize distribution, balancing the delivery of high illuminance levels on horizontal surfaces with an ideal	0°C (32°F)	All	1.03	1.00		0.97	0.95	0.93
amount of light on walls and vertical surfaces. This increases the perception of spaciousness	5°C (41°F)	All	1.03	1.00		0.97	0.95	0.93
Deep set polycarbonate diffusing lens shields direct view of LEDs and	10°C (50°F)	All	1.02	0.99		0.96	0.94	0.92
provides greater visual cut-off	15°C (59°F)	All	1.01	0.98		0.95	0.93	0.91
ELECTRICAL SYSTEM		7L-24L	1.01	0.98		0.95	0.93	0.91
Integral, high-efficiency driver and power supply	20°C (68°F)	30L	1.01	0.96		0.92	0.89	0.85
• Power Factor: > 0.9 (120V)								-
Total Harmonic Distortion: < 20% [120V]	25°C (77°F)	7L-24L	1.00	0.97		0.95	0.92	0.90
Input Voltage: 120V - 277V Universal, 50/60Hz	25 0 (77 1)	30L	1.00	0.95		0.91	0.88	0.84
120V is dimmable to 5% with most incandescent dimmers 277V is discovered to 1.5% with most incandescent dimmers		7L-18L	0.99	0.96		0.94	0.91	0.89
277V is dimmable to 5% with most trailing edge dimmers Reference https://www.creelighting.com/products/indoor/retrofit-down-	30°C (86°F)	24L-30L	0.99	0.93		0.88	0.83	0.79
lights/trx-series for recommended dimmers					-		-	-
• Operating Temperature Range: -25°C - +35°C (-13°F - +95°F); For 24L and 30L : -25°C - +30°C (-13°F - +86°F)	package and in-	7L-18L ance values at 25°C situ luminaire testir			er IES TN			
REGULATORY & VOLUNTARY QUALIFICATIONS	maintenance fa ² In accordance v	ith IES TM-21, Repo	rted values r	epresent is	nterpolat	ted values ba	sed on time duration	ns that are



CREE ♦ LIGHTING



QTY LABEL DESCRIPTION

WP2 XSPW-B-WM-4ME-6L-40K-UL-XX

WALL MOUNTED 3 WP1 XSPW-B-WM-3ME-6L-40K-UL-XX

CREE \$ COLUMN ROUS	ida DANA SKI MYTOTO	DLC PREMIUMI	CREE . LIGHTING
Us: creelighting.com (800) 236-6800 Canada: creelighting-canada.com (800) 473-1234			

Electrical Data*													
CREE TRUEWHITE® TECHNOLOGY	Electrica	l Data*											
A revolutionary way to generate high-quality white light, Cree TrueWhite® Technology is a patented approach that delivers an exclusive combination	Lumen	CCT/CRI	System Watts	Efficacy		Total Current (A)							
of 90+ CRI, beautiful light characteristics and lifelong color consistency, all while maintaining high luminous efficacy – a true no compromise solution.	Package	CCI/CRI	120- 480V	EIIICacy	120V	208V	240V	277V	347V	480V			
CONSTRUCTION & MATERIALS			4001			_	-	-		-			
Slim, low profile design		30K/70 CRI	20	125	0.17	0.10	0.08	0.07	0.06	0.05			
Luminaire housing specifically designed for LED applications with advanced LED thermal management and driver	21	40K/70 CRI	19	131	0.16	0.09	0.08	0.07	0.06	0.04			
	ZL.	50K/90 CRI	24	104	0.20	0.11	0.10	0.08	0.07	0.05			
 Luminaire mounting box designed for installation over standard single gang J-Boxes and mud ring single gang J-Boxes 		57K/70 CRI	19	131	0.16	0.09	0.08	0.07	0.06	0.04			
Luminaire can also be direct mounted to a wall and surface wired		30K/70 CRI	33	129	0.28	0.16	0.14	0.13	0.10	0.07			
Secures to wall with four 3/16" (5mm) screws (by others)	4L	40K/70 CRI	31	138	0.27	0.15	0.13	0.12	0.09	0.07			
Conduit entry from top, bottom, sides, and rear Exclusive Colorfast DeltaGuard® finish features an E-coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to	4L	50K/90 CRI	40	107	0.34	0.20	0.17	0.16	0.12	0.09			
		57K/70 CRI	31	138	0.26	0.15	0.13	0.12	0.09	0.07			
		30K/70 CRI	51	120	0.43	0.25	0.22	0.19	0.14	0.11			
corrosion, ultraviolet degradation and abrasion. Silver, black, white and		40K/70 CRI	47	130	0.40	0.23	0.20	0.18	0.14	0.10			

Secures to wall with four 3/16" (5mm) screws (by others)		40K/70 CRI	31	138	0.27	0.15	0.13	0.12	0.		
Conduit entry from top, bottom, sides, and rear	4L	50K/90 CRI	40	107	0.34	0.20	0.17	0.16	0.		
 Exclusive Colorfast DeltaGuard® finish features an E-coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Silver, black, white and 		57K/70 CRI	31	138	0.26	0.15	0.13	0.12	0.		
		30K/70 CRI	51	120	0.43	0.25	0.22	0.19	0.		
bronze are available	61	40K/70 CRI	47	130	0.40	0.23	0.20	0.18	0		
 Weight: 2L, 4L, 6L - 11.0 lbs. (5.0kg); 8L - 11.8 lbs. (5.4kg) 	6L	50K/90 CRI	60	102	0.51	0.29	0.25	0.23	0.		
ELECTRICAL SYSTEM		57K/70 CRI	47	130	0.40	0.23	0.20	0.17	0.		
 Input Voltage: 120-277V or 347-480V, 50/60Hz 		30K/70 CRI	77	110	0.65	0.38	0.32	0.28	0.		
Power Factor: > 0.9 at full load		40K/70 CRI	72	118	0.61	0.35	0.31	0.27	0.		
 Total Harmonic Distortion: < 20% at full load 	8L	50K/90 CRI	78	89	0.66	0.37	0.33	0.29	0.		
 Integral 10kV surge suppression protection standard 		57K/70 CRI	71	119	0.60	0.35	0.30	0.26	0.		
 When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current 											
 Designed with 0-10V dimming capabilities. Controls by others 											
10V Source Current: 0.15 mA	XSPW Se	ries Ambier	ıt Δdiustei	d Lumen N	Mainten.	ance Fa	ctors1				
Refer to <u>Dimming spec sheet</u> for details	,,,, w sc	Allibiei	- Lajuste								

10V Source Current: 0.15 mA	XSPW Series	s Δmhient Δd	justed Lumen N	laintenance Fa	rtors1	
Refer to <u>Dimming spec sheet</u> for details	7.01 TT 001103		Justica Zamiem	Tamica Ta	1	
Operating Temperature Range: -40°C - +50°C (-40°F - +122°F)	Ambient	Initial	25K hr Reported ²	50K hr Reported ²	75K hr Estimated ³	100K hr Estimated ³
REGULATORY & VOLUNTARY QUALIFICATIONS	Ambient	LMF	LMF	LMF	LMF	LMF
cULus Listed		1				
Suitable for wet locations	5°C (41°F)	1.03	0.98	0.96	0.94	0.92
Designed for downlight applications only	10°C (50°F)	1.03	0.98	0.96	0.94	0.92
Enclosure rated IP66 per IEC 60598		1				
 ANSI C136.2 10kV surge protection, tested in accordance with IEEE/ANSI C62.41.2 	15°C (59°F)	1.02	0.97	0.95	0.93	0.92
Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions	20°C (68°F)	1.01	0.96	0.95	0.93	0.91
Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117	25°C (77°F)	1.00	0.96	0.94	0.92	0.90
Meets Buy American requirements within ARRA	30°C (86°F)	0.99	0.95	0.93	0.91	0.89
 RoHS compliant. Consult factory for additional details 	35°C (95°F)	0.98	0.94	0.92	0.90	0.88
 Dark Sky Friendly, IDA Approved when ordered with 30K CCT. Please 	33 C (73 F)	0.70	0.74	0.72	0.70	0.00
refer to https://www.darksky.org/our-work/lighting-for-industry/fsa/fsa-products/ for most current information	40°C (104°F)	0.97	0.93	0.91	0.89	0.87
DLC and DLC Premium qualified versions available. Please refer to https://www.designlights.org/search/ for most current information.			77°F are calculated Luminaire ambient t			

 Meets Buy American requirements within ARRA RoHS compliant. Consult factory for additional details . Dark Sky Friendly, IDA Approved when ordered with 30K CCT. Ple refer to https://www.darksky.org/our-work/lighting-for-industry/fsa/fsa-products/ for most current information DLC and DLC Premium qualified versions available. Please refehttps://www.designlights.org/search/ for most current information. • CA RESIDENTS WARNING: Cancer and Reproductive Harm -

XSPW™ LED Wall Mount Luminaire

25°C (77°F)	1.00	0.96	0.94	0.92	0.90	
30°C (86°F)	0.99	0.95	0.93	0.91	0.89	
35°C (95°F)	0.98	0.94	0.92	0.90	0.88	
40°C (104°F)	0.97	0.93	0.91	0.89	0.87	
package and in-site maintenance factor conditions.	u luminaire testing. rs. Please refer to t	77°F) are calculated p Luminaire ambient t he <u>Temperature Zone</u> ted values represent LM-80 report for the	emperature factors (I Reference Documen interpolated values b	ATF) have been appl t for outdoor average	ied to all lumer nighttime amb	

CREE 🕏 LIGHTING

US: creelighting.com (800) 236-6800

Suitable for wet locations for covered ceilings only

. RoHS Compliant. Consult factory for additional details

. ENERGY STAR® certified. Please refer to https://

Meets CA Title 24 JA8 Requirements

US: <u>creelighting.com</u> (800) 236-6800 Canada: creelighting-canada.com [800] 473-1234



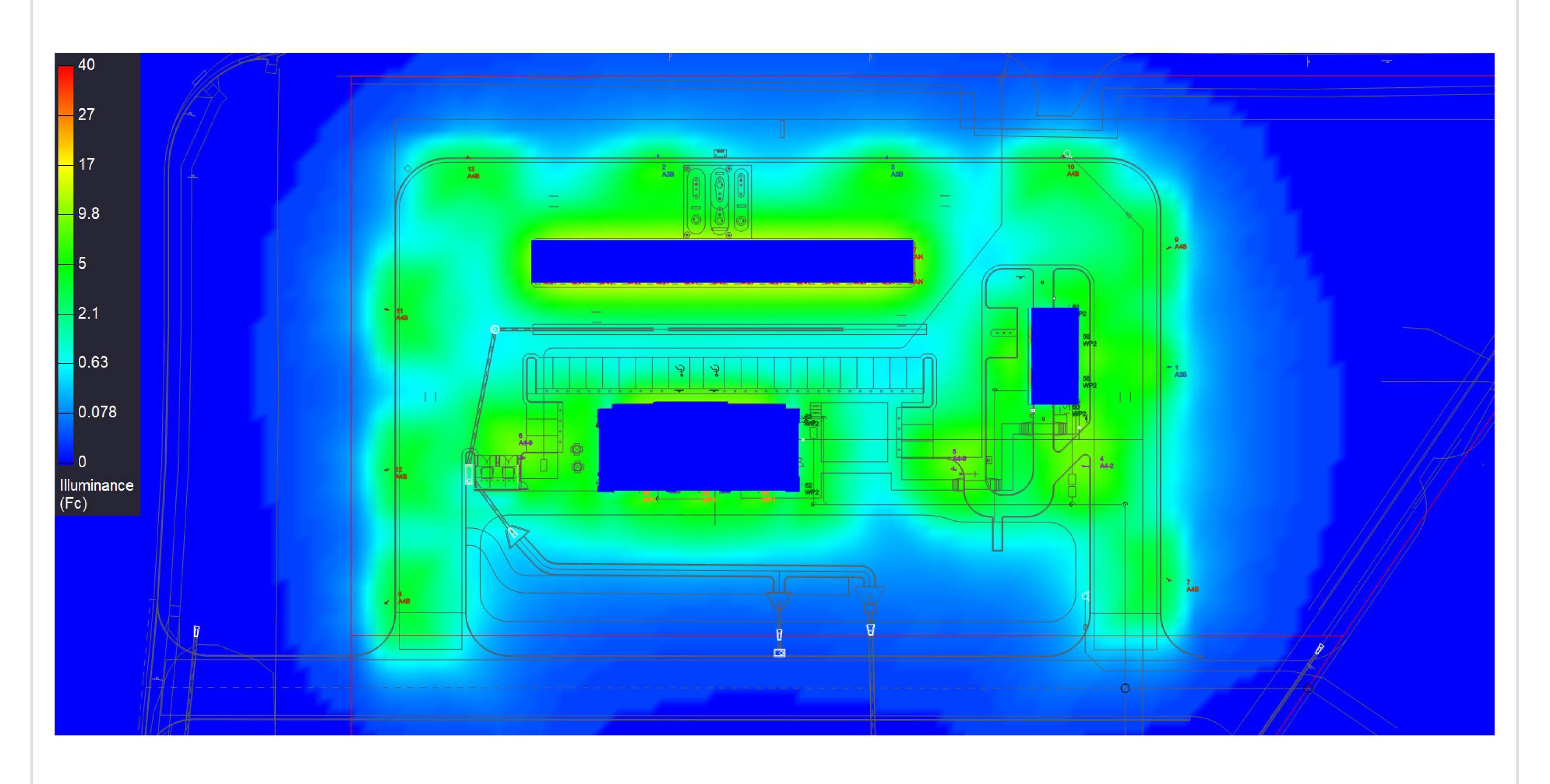
US: creelighting.com (800) 236-6800

Canada: creelighting-canada.com [800] 473-1234

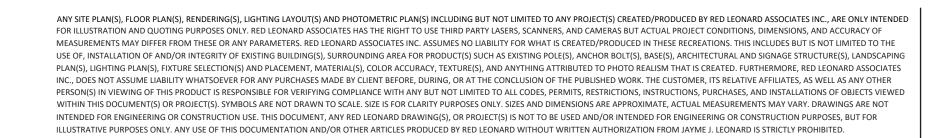
ANY SITE PLAN(S), FLOOR PLAN(S), RENDERING(S), LIGHTING LAYOUT(S) AND PHOTOMETRIC PLAN(S) INCLUDING BUT NOT LIMITED TO ANY PROJECT(S) CREATED/PRODUCED BY RED LEONARD ASSOCIATES INC., ARE ONLY INTENDED FOR ILLUSTRATION AND QUOTING PURPOSES ONLY. RED LEONARD ASSOCIATES HAS THE RIGHT TO USE THIRD PARTY LASERS, SCANNERS, AND CAMERAS BUT ACTUAL PROJECT CONDITIONS, DIMENSIONS, AND ACCURACY OF MEASUREMENTS MAY DIFFER FROM THESE OR ANY PARAMETERS. RED LEONARD ASSOCIATES INC. ASSUMES NO LIABILITY FOR WHAT IS CREATED/PRODUCED IN THESE RECREATIONS. THIS INCLUDES BUT IS NOT LIMITED TO THE USE OF, INSTALLATION OF AND/OR INTEGRITY OF EXISTING BUILDING(S), SURROUNDING AREA FOR PRODUCT(S) SUCH AS EXISTING POLE(S), ANCHOR BOLT(S), BASE(S), ARCHITECTURAL AND SIGNAGE STRUCTURE(S), LANDSCAPING PLAN(S), LIGHTING PLAN(S), FIXTURE SELECTION(S) AND PLACEMENT, MATERIAL(S), COLOR ACCURACY, TEXTURE(S), AND ANYTHING ATTRIBUTED TO PHOTO REALISM THAT IS CREATED, FURTHERMORE, RED LEONARD ASSOCIATES INC., DOES NOT ASSUME LIABILITY WHATSOEVER FOR ANY PURCHASES MADE BY CLIENT BEFORE, DURING, OR AT THE CONCLUSION OF THE PUBLISHED WORK, THE CUSTOMER, ITS RELATIVE AFFILIATES, AS WELL AS ANY OTHER PERSON(S) IN VIEWING OF THIS PRODUCT IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ANY BUT NOT LIMITED TO ALL CODES, PERMITS, RESTRICTIONS, INSTRUCTIONS, PURCHASES, AND INSTALLATIONS OF OBJECTS VIEWED WITHIN THIS DOCUMENT(S) OR PROJECT(S). SYMBOLS ARE NOT DRAWN TO SCALE. SIZE IS FOR CLARITY PURPOSES ONLY. SIZES AND DIMENSIONS ARE APPROXIMATE. ACTUAL MEASUREMENTS MAY VARY. DRAWINGS ARE NOT INTENDED FOR ENGINEERING OR CONSTRUCTION USE. THIS DOCUMENT, ANY RED LEONARD DRAWING(S), OR PROJECT(S) IS NOT TO BE USED AND/OR INTENDED FOR ENGINEERING OR CONSTRUCTION PURPOSES, BUT FOR ILLUSTRATIVE PURPOSES ONLY. ANY USE OF THIS DOCUMENTATION AND/OR OTHER ARTICLES PRODUCED BY RED LEONARD WITHOUT WRITTEN AUTHORIZATION FROM JAYME J. LEONARD IS STRICTLY PROHIBITED.

PROJECT NAME: CIRCLE K FALCON, CO DRAWING NUMBER: RL-7499-S1-R2



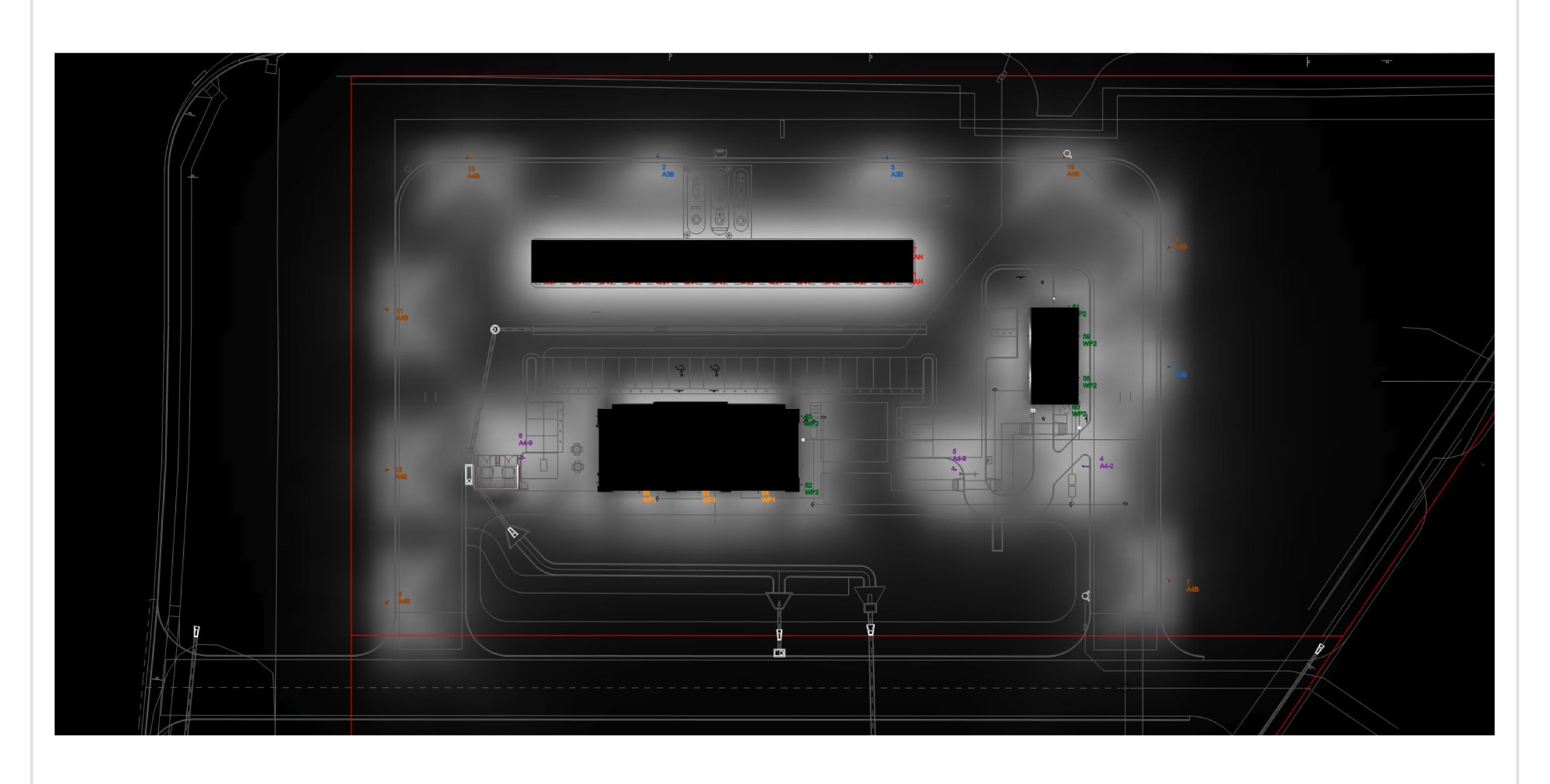




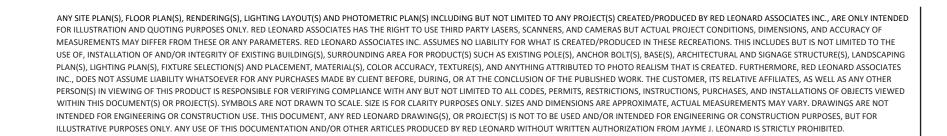


FALCON, CO
DRAWING NUMBER:
RL-7499-S1-R2



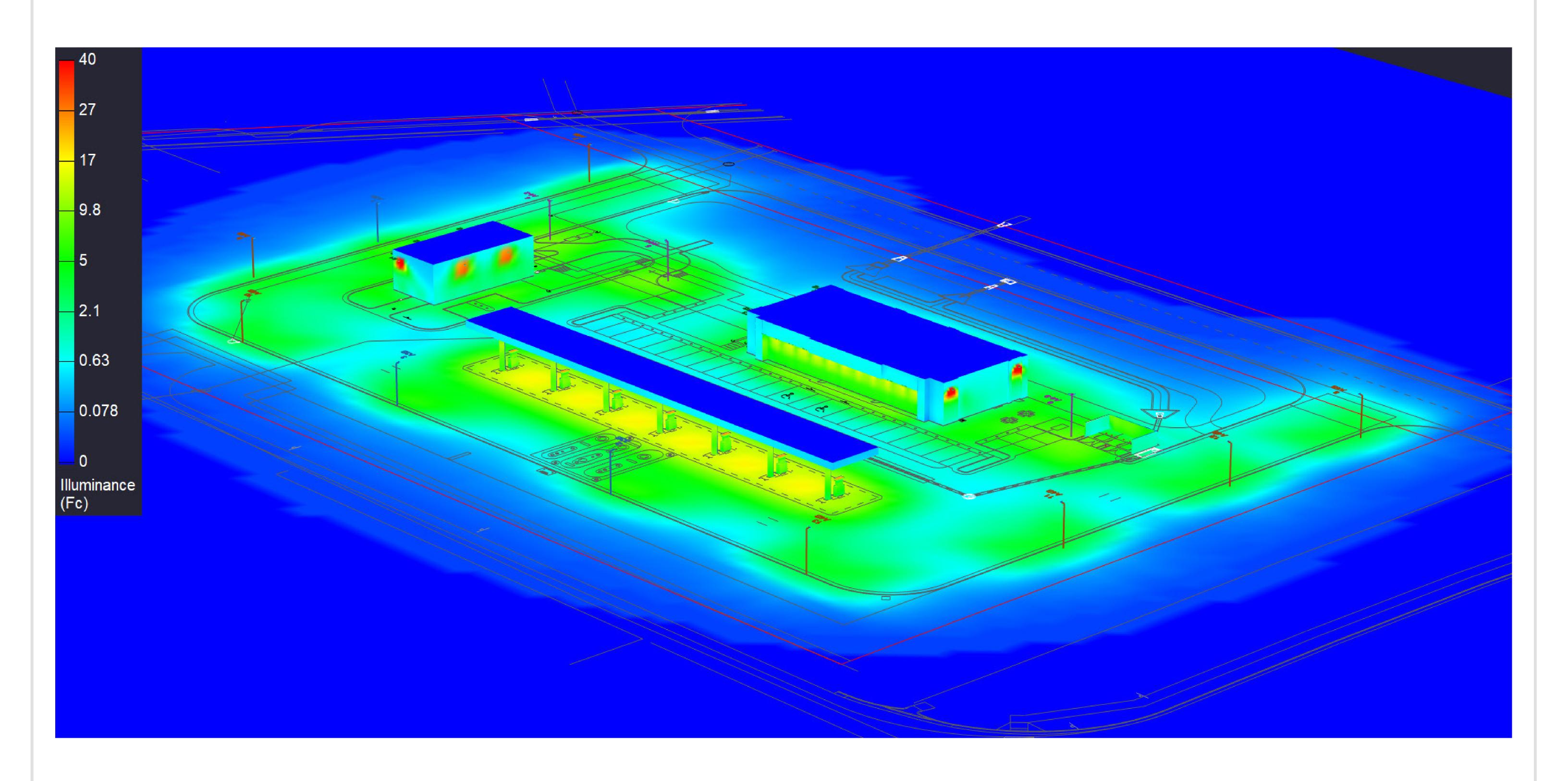




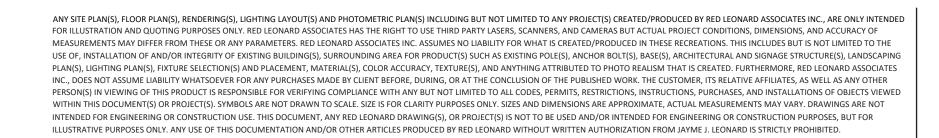


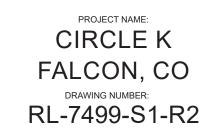
PROJECT NAME:
CIRCLE K
FALCON, CO
DRAWING NUMBER:
RL-7499-S1-R2



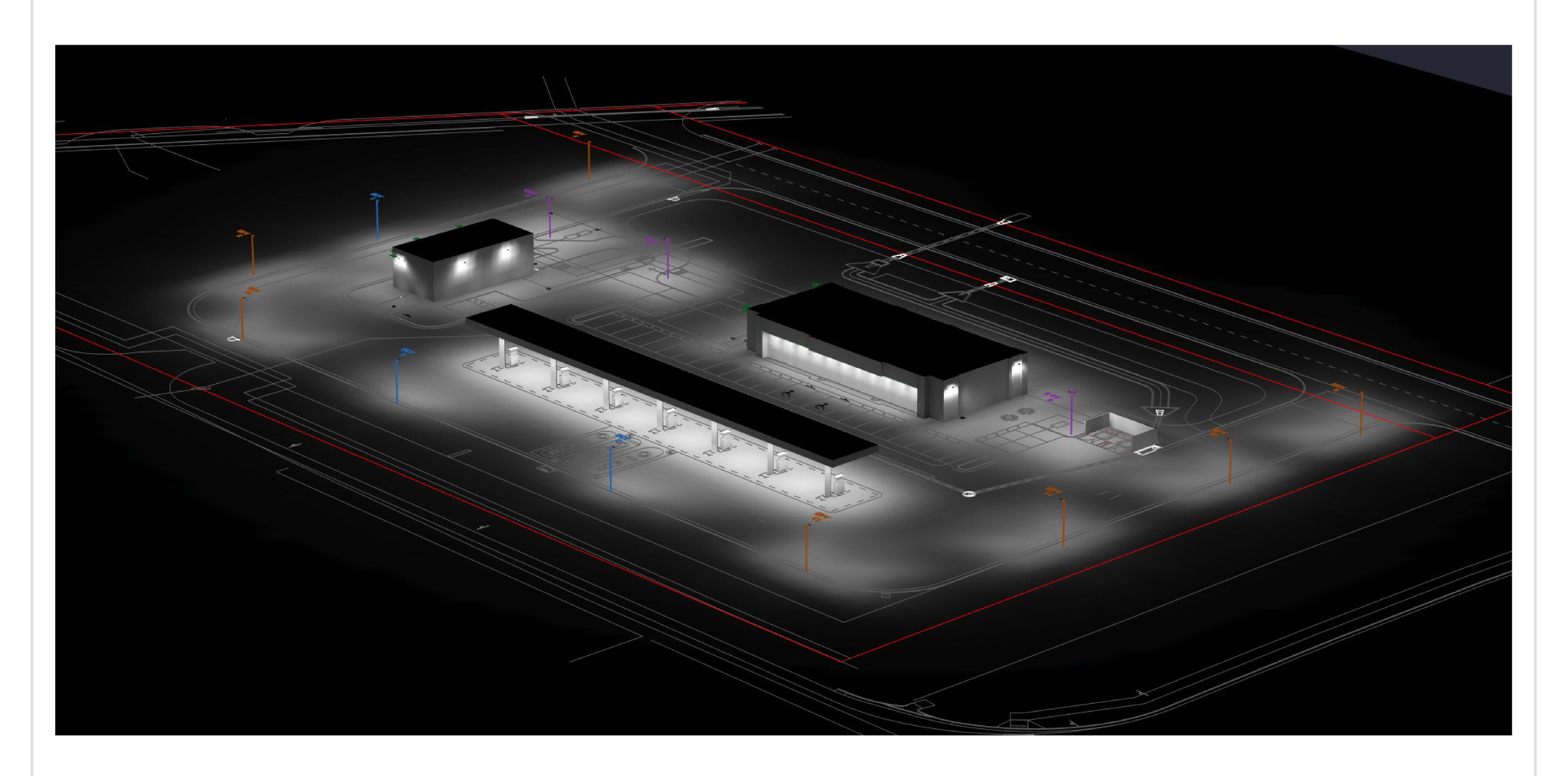




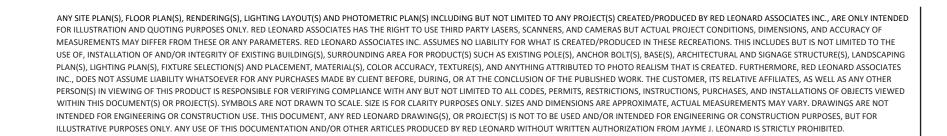












PROJECT NAME:
CIRCLE K
FALCON, CO
DRAWING NUMBER:
RL-7499-S1-R2





March 10, 2022

El Paso County Planning and Community Development Department 2880 International Circle Colorado Springs, Colorado 80910

Re: Letter of Intent – Site Development Plan Circle

K - Hwy 24 & Meridian, Falcon, Colorado

PPR-2230

To Whom it May Concern:

OWNER/APPLICANT NAME: CST Metro LLC, D.B.A. Circle K Stores Inc.

5500 South Quebec Street, Suite 100 Greenwood Village, Colorado 80111

720-341-7015 / zpericak@circlek.com

CONSULTANT: Land Development Consultants

950 South Cherry Street, Suite 512

Denver, Colorado 80246

303-717-3305 / sofia@ldcaz.com

PROPERTY ADDRESS: 6970 Meridian Sol Drive

Falcon, Colorado 80831

PROPERTY TAX SCHEDULE: 5312402016, 5312402015, 5312404003, 5312405005, 5312405003,

5312403003, 5312403004

CURRENT ZONING: CURRENT: C-2 - parcel 5312402016. R-5 Rural residential -remaining parcels.

PROPOSED: CC for all parcels

PROPOSED REQUEST:

Circle K is proposing to raze and rebuild an existing Circle K convenience store. This proposal includes building a new 5,200 square foot convenience store with

associated single stack 7 fuel dispenser canopy and carwash.

This request is made with the intention of the project being in compliance with all applicable federal, state, and local codes, laws, and ordinances and all ADA

applicable standards requirements as well as EPC LDC and Master Plan.

PROPOSED USE:

The proposed Circle K will be in compliance with all applicable commercial zoning requirements for retail sales and service establishments. Convenience stores are allowed under the CC zoning. The El Paso County Master Plan is designed to accommodate and serve the needs of the residents by offering a framework for zoning as well as, among other items, commercial development. The growth planned and expected for El Paso County will be

development. The growth planned and expected for El Paso County will be guided by the Master Plan. This Circle K will serve the modern community by offering clean and quick access to fuel, car wash and convenience shopping.

PROVISION OF UTILITIES:

Circle K has been included into the Woodmen Hills Metropolitan District for water and wastewater and sewer. Mountain View Electric Association is the power provider.

TRAFFIC GENERATION:

A separate traffic study has been done and is provided with this submittal.

REQUESTED ALTERNATIVES:

CS213 - Rezone has been requested and approved for this project to bring zoning of all the parcels into one current zoning of CC.

VR223 - Replat submittal is being done to combine parcels into 2 larger parcels. One new parcel is for development of the new Circle K site and the other new parcel will better serve future development.

Land Development Consultants and Circle K is looking forward to working with El Paso County on this project. Please advise if additional information is needed.

Thank you.

LAND DEVELOPMENT CONSULTANTS

Sofia Hernandez Project Manager