

BENCHMARK:

SITE BM NO. 1: CENTER OF SANITARY SEWER MANHOLE LOCATED 242 FEET SOUTH OF THE SOUTH EDGE OF ASPHALT OF HIGHWAY 24 AND 9 FEET EAST OF THE EAST EDGE OF ASPHALT OF OLD MERIDIAN ROAD NAVD88 DATUM ELEVATION 6825.51.

SITE BM NO. 2: CENTER OF SANITARY SEWER MANHOLE LOCATED 861 FEET SOUTH OF THE SOUTH EDGE OF ASPHALT OF HIGHWAY 24 AND 3 FEET EAST OF THE EAST EDGE OF ASPHALT OF OLD MERIDIAN ROAD NAVD88 DATUM ELEVATION 6816.71.

BASIS OF BEARINGS:

ALL BEARINGS ARE BASED ON THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 12 AS MONUMENTED BY A 3-1/4 INCH ALUMINUM CAP STAMPED "EL PASO COUNTY DPW T13S S12/S7/S13/S18 R65W R64W 1982 LS 17496" AT THE SOUTHEAST CORNER OF SECTION 12 AND BY A 3-1/4 INCH ALUMINUM CAP STAMPED "SURVCON INC. T13S R65W 1/4 S12 S13 2003 PLS 30829" AT THE SOUTH 1/4 CORNER OF SECTION 12, SAID LINE BEARS N89°50'28"W.

ENGINEER'S STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

BY: _____ DATE: _____

NICOLE SCHANEL, PE #52434
FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC.

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JENNIFER IRVINE, P.E. _____ DATE _____
COUNTY ENGINEER / ECM ADMINISTRATOR

OWNER/DEVELOPER:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

ZOE PERICAK _____ DATE _____
LAND DEVELOPMENT CONSULTANTS
950 S. CHERRY STREET, SUITE 512
DENVER, CO 80246

Include owner and planner/plan preparer email addresses.
Also include Signature block for the Planning and Community Development Director a minimum of 1 inch by 2 inch.

CONTACT LIST

OWNER
CIRCLE K STORES INC.
5500 S. QUEBEC STREET, SUITE 100
GREENWOOD VILLAGE, CO 80111
PHONE: (720) 758-6223

LAND SURVEYOR
RUBINO SURVEYING
3312 AIRPORT ROAD
BOULDER, COLORADO 80301
PHONE: (303) 464-9515

FIRE
FALCON FIRE PROTECTION DISTRICT
7030 OLD MERIDIAN ROAD
FALCON, CO 80831
PHONE: (719) 495-4050

DEVELOPER
LAND DEVELOPMENT CONSULTANTS, LLC
950 S. CHERRY ST., SUITE 512
DENVER, CO 80246
SOFIA HERNANDEZ
PHONE: (303) 717-3305

GEOTECHNICAL ENGINEER
TERRACON CONSULTANTS, INC.
4172 CENTER PARK DRIVE
COLORADO SPRINGS, CO 80916
PHONE: (719) 597-2116

STORM SEWER
EL PASO COUNTY PUBLIC SERVICES
3275 AKERS DR.
COLORADO SPRINGS, COLORADO 80922
PHONE: (719) 520-6460

CIVIL ENGINEER/ LANDSCAPE ARCHITECT
MATRIX DESIGN GROUP
2435 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80920
NICOLE SCHANEL/ JASON ALWINE
PHONE: (719) 575-0100

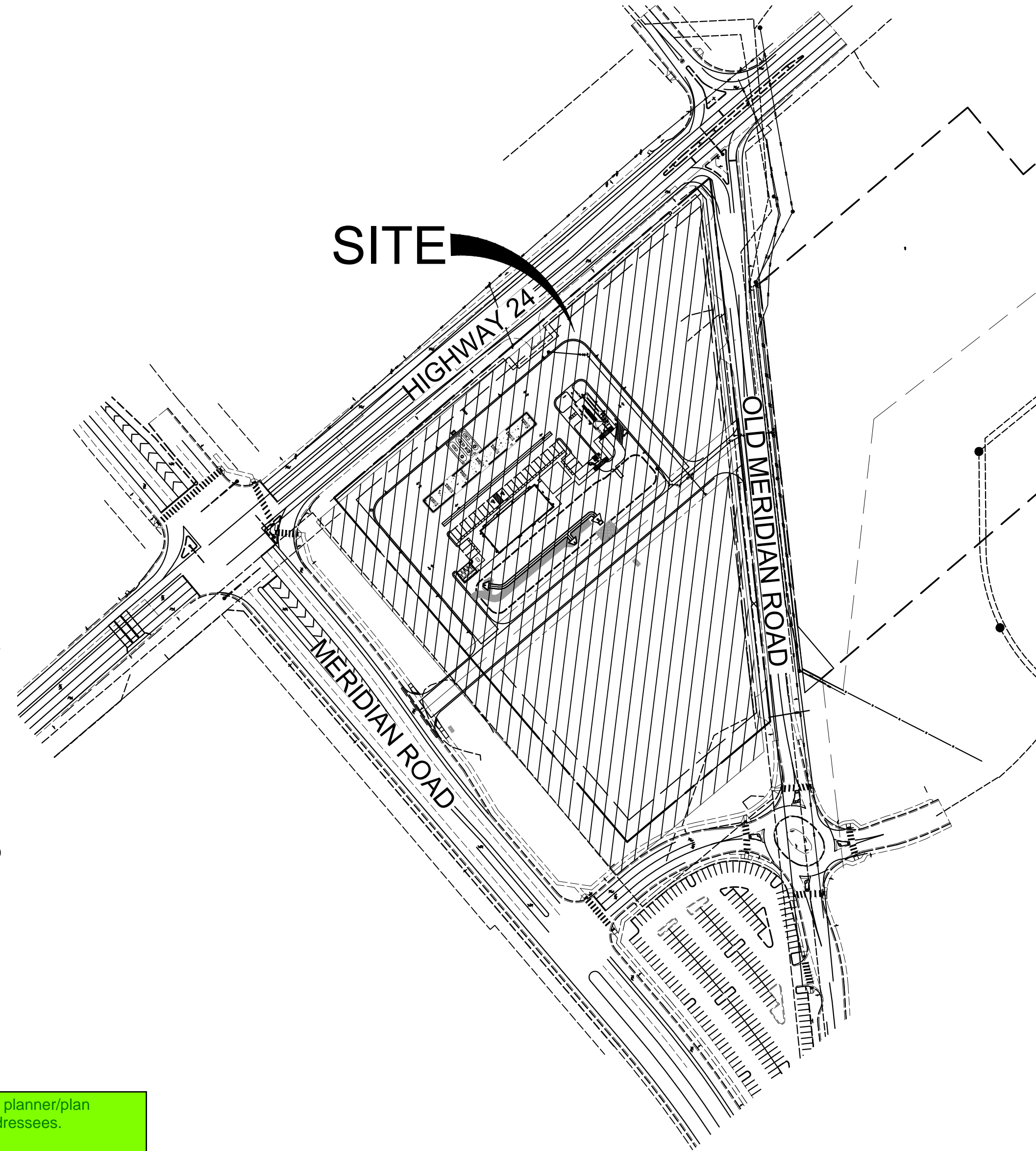
ELECTRICAL SERVICE
MOUNTAIN VIEW ELECTRIC ASSOCIATION
11140 E. WOODMEN ROAD
PEYTON, COLORADO 80831
PHONE: (719) 495-2283

GAS
COLORADO SPRINGS UTILITIES
7710 DURANT DRIVE
COLORADO SPRINGS, COLORADO 80920
TIM BENEDICT
PHONE: (719) 668-3574

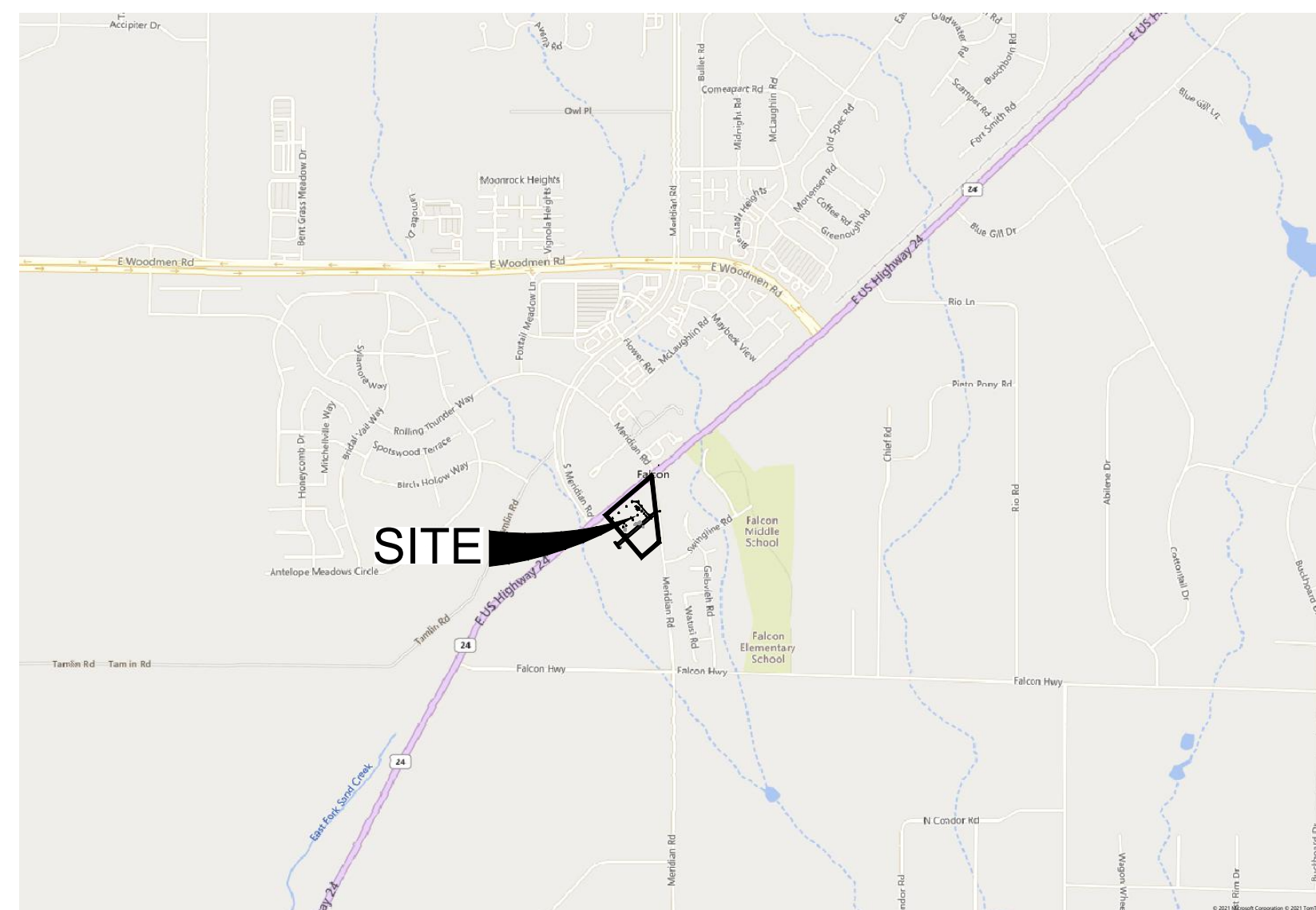
ARCHITECT
GREENBERG FARROW
30 EXECUTIVE DRIVE, SUITE 100
IRVINE, CA 92614
DOUG COUPER
PHONE: (949) 296-0450

WATER & SANITARY
WOODMEN HILLS METRO DISTRICT
8046 EASTONVILLE ROAD
FALCON, CO 80831
PHONE: (719) 495-2500

**CIRCLE K AT HIGHWAY 24 & MERIDIAN ROAD
CONSTRUCTION DOCUMENTS**
EL PASO COUNTY, COLORADO
MARCH 2022



SITE MAP
1" = 150'



VICINITY MAP
1" = 2,000'

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FIRE AUTHORITY APPROVAL:

THE NUMBER OF FIRE HYDRANTS AND HYDRANT LOCATIONS SHOWN ON THIS WATER INSTALLATION PLAN ARE CORRECT AND ADEQUATE TO SATISFY THE FIRE PROTECTION REQUIREMENTS AS SPECIFIED BY THE FIRE DISTRICT SERVING THE PROPERTY NOTED ON THE PLANS.

FIRE PROTECTION DISTRICT: _____

SIGNED: _____ DATE: _____
FIRE PROTECTION DISTRICT

WATER AND SEWER MAIN EXTENSIONS:

ANY CHANGES OR ALTERATIONS AFFECTING THE GRADE, ALIGNMENT, ELEVATION, AND/OR DEPTH OF COVER OF ANY WATER OR SEWER MAINS OR OTHER APPURTENANCE SHOWN ON THIS DRAWING SHALL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR ALL OPERATIONAL DAMAGES AND DEFECTS IN INSTALLATION AND MATERIAL FOR MAINS AND SERVICES FROM THE DATE OF APPROVAL UNTIL FINAL ACCEPTANCE IS ISSUED.

SIGNED: _____ DATE: _____
OWNER/DEVELOPER

PRINT NAME: _____

DBA: _____

ADDRESS: _____

DISTRICT APPROVALS:

THE WOODMEN HILLS METROPOLITAN DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

**WOODMEN HILLS METROPOLITAN DISTRICT
WATER DESIGN APPROVAL**

DATE: _____ BY: _____

PROJECT NO. _____

IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT, THE STANDARDS AS DEFINED IN THE "RULES AND REGULATIONS FOR INSTALLATION OF WATER MAINS AND SERVICES" SHALL RULE.

APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL.

**WOODMEN HILLS METROPOLITAN DISTRICT
WASTEWATER DESIGN APPROVAL**

DATE: _____ BY: _____

PROJECT NO. _____

IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE "RULES AND REGULATIONS FOR INSTALLATION OF WASTEWATER MAINS AND SERVICES" SHALL RULE.

APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL.

According to the modeled calculations reviewed by the governing water district and/or Colorado registered civil engineer/designer, the theoretical available fire flow at node A is _____ gallons per minute under maximum daily demand conditions at 20 psi residual. The actual fire flow may vary due to various parameters.

According to the modeled calculations reviewed by the governing water district and/or Colorado registered civil engineer/designer, the theoretical available fire flow at node B is _____ gallons per minute under maximum daily demand conditions at 20 psi residual. The actual fire flow may vary due to various parameters.

Upon detailed review of the available water supply, fire hydrant locations and hose lay distances, these plans are hereby considered approved.

FALCON FIRE DEPARTMENT
FIRE DEPARTMENT SIGNATURE: _____
DATE: _____

PCD FILING NO.:



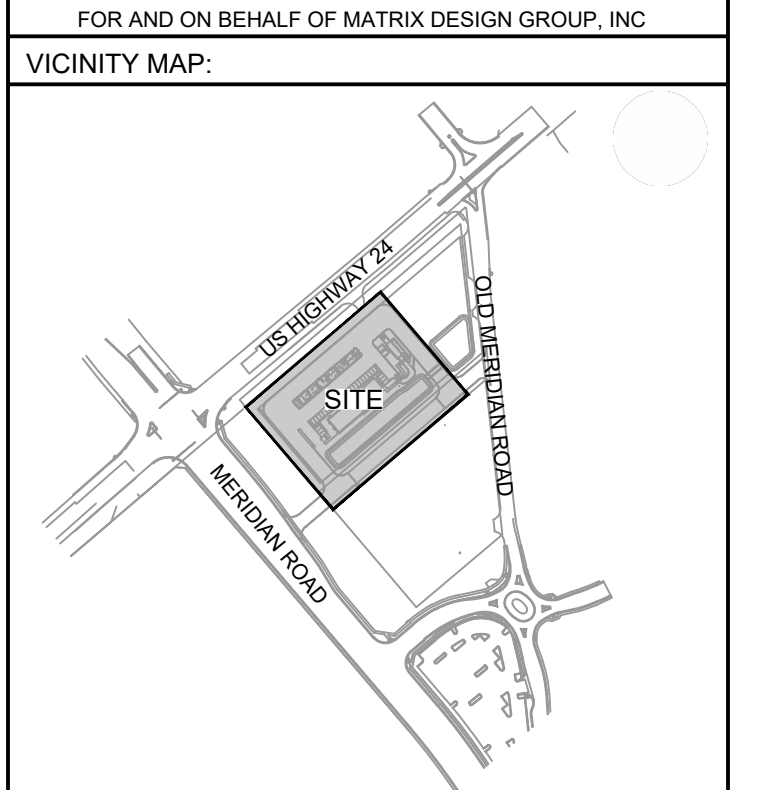
CONSULTANTS:
Matrix
Excellence by Design
2435 RESEARCH PARKWAY, SUITE
300 COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100

LAND DEVELOPMENT
CONSULTANTS, LLC
950 S. CHERRY ST., SUITE 512
DENVER, CO 80246

OWNER/DEVELOPER:
CIRCLE K
ROCKY MOUNTAINS DIVISION
5500 S QUEBEC STREET, SUITE 100
GREENWOOD VILLAGE, CO 80111
PHONE: (720) 758-6223

SEAL

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC



PROJECT:
CIRCLE K STORES INC.

CONSTRUCTION DOCUMENTS

HIGHWAY 24 & MERIDIAN ROAD
FALCON, CO

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:
PROJECT NO: 21.1207.037
DRAWN BY: LCB
CHECKED BY: NMS
DESIGNED BY: NMS

SHEET TITLE:
COVER SHEET

SHEET 1 OF 17
TS01

ISSUE DATE: MARCH 2022

GENERAL CONSTRUCTION NOTES:

- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SMWP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. DURING CONSTRUCTION THE SWMP IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
- CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN PRIOR TO IMPLEMENTATION.
- TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE STABILIZED.
- FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLAN DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
- ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE HYDROLOGY OR HYDRAULICS OF A PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
- ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE, UNLESS INFEASIBLE.
- COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED.
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUT SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY.

NPDES NOTES:

- DURING DEWATERING OPERATIONS OF UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
- EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
- BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. BMP'S MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- VEHICLE TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFFSITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ONSITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ONSITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
- OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY TERRACON CONSULTANTS, INC., DATED NOVEMBER 30, 2018 AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
WQCD - PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER, CO 80246-1530
ATTN: PERMITS UNIT
- THE CONTRACTOR SHALL REMOVE ALL SEDIMENT, MUD, AND CONSTRUCTION DEBRIS THAT MAY ACCUMULATE IN THE FLOWLINES AND PUBLIC RIGHTS OF WAYS AS A RESULT OF THIS CONSTRUCTION PROJECT. SAID REMOVAL SHALL BE CONDUCTED IN A TIMELY MANNER, OR AS DIRECTED BY THE ENGINEER.
- THIS CONSTRUCTION ACTIVITIES STORMWATER MANAGEMENT PLAN (SWMP) HAS BEEN SUBMITTED AS PART OF AN APPLICATION FOR AN EROSION AND SEDIMENT CONTROL PERMIT FILED WITH EL PASO COUNTY AND AS INCLUSION BY REFERENCE TO THE CDPHE CONSTRUCTION ACTIVITY PERMIT. THE SWMP IS A LIVING DOCUMENT AND ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED OF THE CONTRACTOR DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT FUNCTION AS INTENDED. THE REQUIREMENTS OF THIS PLAN SHALL BE THE OBLIGATION OF THE LAND OWNER AND/OR HIS SUCCESSORS OR HEIRS; UNTIL SUCH TIME AS THE PLAN IS PROPERLY COMPLETED, MODIFIED, OR VOIDED.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION, EXCAVATION, TRENCHING, BORING, GRADING OR OTHER CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT.
- A LAYER OF SUITABLE MULCH SHALL BE APPLIED TO ALL DISTURBED PORTIONS OF THE SITE WITHIN 21 DAYS OF THE COMPLETION OF GRADING. SAID MULCH SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE AND SHALL BE TACKED OR FASTENED BY AN APPROVED METHOD SUITABLE FOR THE TYPE OF MULCH USED. ROUGH-CUT STREETS SHALL BE MULCHED UNLESS A LAYER OF AGGREGATE ROAD BASE OR ASPHALT PAVING IS TO BE APPLIED TO SAID ROUGH-CUT STREETS WITHIN THE 21 DAY PERIOD AFTER COMPLETION OF OVERLOT GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THEN SIXTY (60) DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMP'S SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.
- THE CONTRACTOR SHALL LOCATE, INSTALL, AND MAINTAIN ALL EROSION CONTROL AND WATER QUALITY "BEST MANAGEMENT PRACTICES" AS INDICATED IN THE APPROVED CONSTRUCTION ACTIVITIES STORMWATER MANAGEMENT PLAN. BMP'S SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR FOR THE DURATION OF THIS PROJECT.
- AT A MINIMUM, THE CONTRACTOR SHALL INSPECT, AND KEEP A LOG OF, ALL BMP'S WEEKLY AND AFTER SIGNIFICANT PRECIPITATION EVENTS. ALL NECESSARY MAINTENANCE AND REPAIR SHALL BE COMPLETED IN A TIMELY MANNER. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A BMP WHEN THE SEDIMENT LEVEL REACHES ONE-HALF THE HEIGHT OF THE BMP, OR, AT ANY TIME THAT SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE BMP.
- THE CONTRACTOR SHALL PROPERLY COVER ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT WITHIN PUBLIC RIGHTS OF WAY.
- THE USE OF REBAR, STEEL STAKES, OR STEEL FENCE POSTS TO STAKE DOWN STRAW OR HAY BALES; OR TO SUPPORT SILT FENCING USED AS AN EROSION CONTROL MEASURE; IS PROHIBITED. THE USE OF OSHA APPROVED COLORED WARNING CAPS ON REBAR OR FENCE POSTS USED WITH EROSION CONTROL MEASURES IS NOT ACCEPTABLE.
- SOILS THAT WILL BE STOCKPILED FOR MORE THAN 30 DAYS SHALL BE MULCHED AND SEEDED WITH A TEMPORARY OR PERMANENT GRASS COVER WITHIN 21 DAYS OF STOCKPILE CONSTRUCTION. IF STOCKPILES ARE LOCATED WITHIN 100 FEET OF A DRAINAGEWAY, ADDITIONAL SEDIMENT CONTROLS SUCH AS TEMPORARY DIKES OR SILT FENCE SHALL BE REQUIRED.
- MODIFICATION OF AN ACTIVE EROSION AND SEDIMENT CONTROL PERMIT BY THE CONTRACTOR SHALL REQUIRE TIMELY NOTIFICATION OF AND APPROVAL BY EL PASO COUNTY. TERMINATION OF AN ACTIVE EROSION AND SEDIMENT CONTROL PERMIT UPON COMPLETION OF THE PROJECT REQUIRES NOTIFICATION OF AND APPROVAL BY EL PASO COUNTY.
- UNLESS CONFINED IN A PREDEFINED, BERMED CONTAINMENT AREA, THE CLEANING OF CONCRETE TRUCK DELIVERY CHUTES IS PROHIBITED AT THE JOB SITE. THE DISCHARGE OF WATER CONTAINING WASTE CEMENT TO THE STORM SEWER SYSTEM IS PROHIBITED.
- THE CONTRACTOR SHALL PROTECT ALL STORM SEWER FACILITIES ADJACENT TO ANY LOCATION WHERE PAVEMENT CUTTING OPERATIONS INVOLVING WHEEL CUTTING, SAW CUTTING OR ABRASIVE WATER JET CUTTING ARE TO TAKE PLACE. THE DISCHARGE OF ANY WATER CONTAMINATED BY WASTE PRODUCTS FROM CUTTING OPERATIONS TO THE STORM SEWER SYSTEM IS PROHIBITED. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL WASTE PRODUCTS GENERATED BY SAID CUTTING OPERATIONS ON A DAILY BASIS.
- LOCATION OF STAGING, STORAGE, EQUIPMENT MAINTENANCE, TEMPORARY DISPOSAL, VEHICLE TRACKING CONTROL AND CONCRETE TRUCK WASHOUT AREAS WILL BE DETERMINED IN THE FIELD AT THE START OF CONSTRUCTION ACTIVITY AND DELINEATED ON THIS PLAN.



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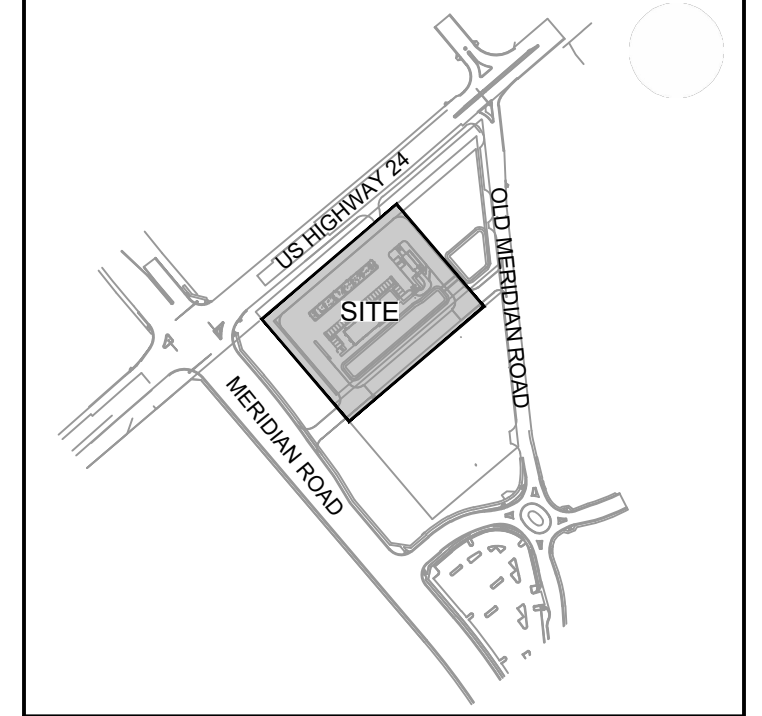
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FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC



PROJECT:
CIRCLE K STORES INC.
CONSTRUCTION DOCUMENTS
HIGHWAY 24 & MERIDIAN ROAD
FALCON, CO

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

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GENERAL NOTES

SHEET 3 OF 17
GN02

ISSUE DATE: MARCH 2022

FILE LOCATION: S:\CIRCLE K HWY 24 & MERIDIAN\DWG\PLAN SETS\SITE DEVELOPMENT\PLANS\SDI_C028.DWG

WOODMEN HILLS METROPOLITAN DISTRICT GENERAL NOTES:

1. ALL UTILITY CONSTRUCTION TO BE CONDUCTED IN CONFORMANCE WITH THE CURRENT WOODMEN HILLS METROPOLITAN DISTRICT(WHMD, THE DISTRICT) SPECIFICATIONS.
2. ALL PLANS ON THE JOB SITE SHALL BE SIGNED BY THE DISTRICT AND THE DISTRICT'S ENGINEER. ANY REVISION TO THE PLANS SHALL BE SO NOTED WITH THE OLD DRAWING MARKED 'NOT VALID.'
3. ALL STATIONING IS CENTERLINE UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE CENTERLINE UNLESS OTHERWISE NOTED.
4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE DISTRICT. THE DISTRICT RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
5. ALL OVER-LOT GRADING MUST BE COMPLETED TO WITHIN ONE (1) FOOT OF FINAL GRADE PRIOR TO INSTALLATION OF WATER AND WASTEWATER INFRASTRUCTURE.
6. ALL WATER AND SEWER SERVICE LOCATIONS SHALL BE CLEARLY MARKED ON EITHER THE CURB HEAD OR THE FACE OF THE CURB, WITH AN "S" FOR SEWER AND A "W" FOR WATER.
7. DUCTILE IRON PIPES, INCLUDING FITTINGS, VALVES, AND FIRE HYDRANTS, SHALL BE WRAPPED WITH POLYETHYLENE TUBING, DOUBLE BONDED AT EACH JOINT, AND ELECTRICALLY ISOLATED. BONDING AND ANODE CONNECTIONS SHALL BE THOROUGHLY COATED WITH BITUMINOUS COATINGS.
8. ALL DUCTILE IRON PIPE LESS THAN TWELVE INCHES (12") AND FITTINGS SHALL HAVE CATHODIC PROTECTION USING TWO (2) NO. 6 WIRES WITH 17 LB. MAGNESIUM ANODES EVERY 400 FEET AND 9 LB. MAGNESIUM ANODES AT EACH FITTING. ALL DUCTILE IRON PIPE TWELVE INCHES (12") AND GREATER AND FITTINGS SHALL HAVE CATHODIC PROTECTION USING TWO (2) NO. 6 WIRES WITH 17 LB. MAGNESIUM ANODES EVERY 300 FEET AND 9 LB. MAGNESIUM ANODES AT EACH FITTING.
9. ALL PIPE MATERIAL, BACKFILL, AND INSTALLATION SHALL CONFORM TO THE APPLICABLE SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS, COLORADO DEPARTMENT OF TRANSPORTATION, EL PASO COUNTY DEPARTMENT OF TRANSPORTATION, COLORADO SPRINGS UTILITIES, AND THE GEOTECHNICAL ENGINEER.
10. COMPACTION TESTS SHALL BE 95% STANDARD PROCTOR AS DETERMINED BY ASTM D698, UNLESS OTHERWISE APPROVED BY THE DISTRICT OR HIGHER STANDARD AS IMPOSED BY ANOTHER AGENCIES HAVING RIGHT-OF-WAY JURISDICTION. THIS SHALL INCLUDE ALL VALVES, FIRE HYDRANT RUNS, WATER & SEWER SERVICE LINES, AND MANHOLES. ALL REPORTS SHALL BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL.
11. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY. THE LOCATION OF ALL UTILITIES SHALL BE FIELD VERIFIED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. THE DISTRICT SHALL BE NOTIFIED OF ANY DEVIATIONS TO THE LINE AND/OR GRADE AS DEPICTED ON THE PLANS. CONTRACTOR SHALL SUBMIT TO THE DISTRICT AND THE ENGINEER OF RECORD A REPORT OF THE FIELD-VERIFIED INFORMATION PRIOR TO THE START OF CONSTRUCTION.
12. ALL BENDS SHALL BE FIELD STAKED PRIOR TO THE START OF CONSTRUCTION.
13. BENDS, DEFLECTION, AND CUT PIPE LENGTHS SHALL BE USED TO HOLD HORIZONTAL ALIGNMENT OF SEWER AND WATER LINES TO NO MORE THAN 0.5' FROM THE DESIGNED ALIGNMENT. CONSTRUCTION STAKES TO BE AT TWENTY-FIVE FEET (25') INTERVALS ALONG CURVES TO ENSURE LOCATION OF PIPELINE CONSTRUCTION.
14. AT ALL LOCATIONS WHERE CAP AND STUB IS NOTED ON DRAWINGS, PROVIDE A PLUG AT THE END OF THE PIPE JOINT NEAREST THE SPECIFIED STATION. PROVIDE A REVERSE ANCHOR AT ALL WATER LINE PLUGS.
15. ALL UNUSED, SALVAGED WATER UTILITY MATERIAL SHALL BE RETURNED TO THE METROPOLITAN DISTRICT AS REQUESTED.
16. AT THE CONTRACTOR'S EXPENSE, ALL UTILITY MAINS SHALL BE SUPPORTED AND PROTECTED SUCH THAT THEY SHALL FUNCTION CONTINUOUSLY DURING CONSTRUCTION OPERATIONS. SHOULD A UTILITY MAIN FAIL AS A RESULT OF THE CONTRACTOR'S OPERATION, IT SHALL BE REPLACED IMMEDIATELY BY THE CONTRACTOR OR BY THE DISTRICT AT FULL COST OF LABOR AND MATERIALS TO THE CONTRACTOR/DEVELOPER.
17. PUMPING OR BYPASS OPERATIONS SHALL BE REVIEWED AND APPROVED BY BOTH THE DISTRICT AND THE DISTRICT ENGINEER PRIOR TO EXECUTION.
18. THE CONTRACTOR SHALL REPLACE OR REPAIR DAMAGE TO ALL SURFACE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO FENCES, LANDSCAPING, CURB AND GUTTER, AND/OR ASPHALT THAT MAY BE CAUSED DURING CONSTRUCTION.
19. ALL CONTRACTORS WORKING ON OR NEAR A WATER OR SEWER FACILITY (TO INCLUDE SERVICE LINES) SHALL HAVE LIABILITY INSURANCE NAMING THE DISTRICT AS AN ADDITIONAL INSURED AND SHALL PROVIDE A CURRENT COPY OF WORKERS COMPENSATION INSURANCE ON FILE WITH THE DISTRICT. NO WORK CAN PROCEED WITHOUT CURRENT CERTIFICATES ON FILE AT THE DISTRICTS' OFFICE.

20. THE CONTRACTOR SHALL NOTIFY THE DISTRICT AND ALL AFFECTED UTILITY COMPANIES ADJACENT TO THE PROPOSED UTILITY CONSTRUCTION A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A WEEKLY CONSTRUCTION MEETING SHALL BE REQUIRED WITH THE CONTRACTOR, DISTRICT ENGINEER AND ALL OTHER PARTIES AS DEEMED NECESSARY BY THE DISTRICT.
21. COMMENCEMENT OF CONSTRUCTION OF WATER/SEWER SYSTEMS WITHIN METROPOLITAN DISTRICT:
 - 21.A. PRIOR TO THE START OF CONSTRUCTION, A PRECONSTRUCTION MEETING IS REQUIRED A MINIMUM OF 48 HOURS IN ADVANCE OF COMMENCEMENT OF WORK. A REPRESENTATIVE OF THE OWNER OR DEVELOPER, A REPRESENTATIVE OF THE CONTRACTOR, AND DESIGN ENGINEER ARE REQUIRED TO ATTEND. CONTACT THE DISTRICT TO SCHEDULE THE PRECONSTRUCTION MEETING. NO PRECONSTRUCTION MEETING CAN BE SCHEDULED BEFORE FOUR (4) SIGNED/APPROVED PLAN SETS ARE RECEIVED BY THE DISTRICT.
 - 21.B. THE CONTRACTOR IS REQUIRED TO NOTIFY THE DISTRICT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 2 WEEKS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO NOTIFY AFFECTED UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION ADJACENT TO THE KNOWN UTILITY LINES.
22. TESTING OF FACILITIES:
 - 22.A. THE CONTRACTOR SHALL NOTIFY THE DISTRICT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF ANY TESTING.
 - 22.B. ALL SECTIONS OF WATER LINE ARE TO MEET THE FOLLOWING PRESSURE TESTING REQUIREMENTS
 - 22.B.A. TEST 100% OF ALL LINES.
 - 22.B.B. MUST PASS PRESSURE TEST TO 200 PSI FOR TWO HOURS (UNLESS OTHERWISE APPROVED ON THE PLANS).
 - 22.C. ALL SANITARY SEWER FACILITIES ARE TO MEET THE FOLLOWING TESTING REQUIREMENTS:
 - 22.C.A. ALL LINES SHALL BE JET CLEANED PRIOR TO VACUUM OR PRESSURE TESTING.
 - 22.C.B. ALL MANHOLES SHALL BE VACUUM TESTED WITH DISTRICT STAFF PRESENT PRIOR TO CCTV INSPECTION.
 - 22.C.C. SEWER MAINS TO BE PRESSURE TESTED PRIOR TO CCTV INSPECTION.
 - 22.C.D. ALL LINES SHALL BE CCTV INSPECTED AND VIDEO SHALL TO BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL.
23. PRELIMINARY ACCEPTANCE SHALL BE DEFINED AS THE POINT IN TIME THAT THE DISTRICT ACCEPTS THE FACILITY FOR USE. ALL SURFACE IMPROVEMENTS AND RESTORATION SHALL BE COMPLETED WITHIN 30 DAYS OF COMMENCEMENT. SHOULD THE CONTRACTOR FAIL TO COMPLETE ALL SURFACE IMPROVEMENTS AND RESTORATION WITHIN 30 DAYS OF COMMENCEMENT OF SERVICE, THE DISTRICT, AT THEIR DISCRETION, MAY ELECT TO COMPLETE THE IMPROVEMENTS AT THE CONTRACTOR'S COST.
24. FINAL ACCEPTANCE BY THE DISTRICT OF ANY LINE OR SYSTEM SHALL NOT OCCUR UNTIL COMPLETION OF FINAL ASPHALT LAYERS AND/OR FINAL COMPLETION AND/OR RESTORATION OF ALL SURFACE IMPROVEMENTS. THE WARRANTY PERIOD FOR ALL FACILITIES PRIOR TO FINAL ACCEPTANCE SHALL BE 24 MONTHS COMMENCING AFTER PRELIMINARY ACCEPTANCE.
25. ACCEPTANCE
 - 25.A. THE DISTRICT MAY GIVE PRELIMINARY ACCEPTANCE ONCE ALL OF THE TESTS ON ALL THE LINES HAVE BEEN COMPLETED AND A WALK-THROUGH HAS OCCURRED.
 - 25.B. A SECOND ACCEPTANCE MAY OCCUR ONCE THE FIRST LIFT OF ASPHALT GOES DOWN AND A SECOND WALK-THROUGH OF THE SYSTEM OCCURS. IF ALL FACILITIES ARE CLEAN AND ACCESSIBLE, A FINAL ACCEPTANCE MAY OCCUR (THE DISTRICT MAY REQUIRE CLEANING AND RE-VIDEO OF THE SYSTEM, DEPENDING ON THE SEVERITY OF THE CONTAMINATION).
26. ALL WATER AND SEWER MAINS, INCLUDING SERVICE LINES, SHALL HAVE "AS-BUILT" DRAWINGS PREPARED AND APPROVED PRIOR TO PRELIMINARY ACCEPTANCE BY THE DISTRICT.
27. ALL COMMERCIAL/BUSINESS DEVELOPMENTS SHALL HAVE AN EIGHT INCH (MIN.) WATER MAIN LOOPED THROUGH THE PROPOSED PROPERTY WITH GATE VALVES LOCATED WHERE THE MAIN ENTERS THE PROPERTY LINE. AN EIGHT-INCH SEWER MAIN SHALL BE INSTALLED FOR SERVICE TO COMMERCIAL/BUSINESS DEVELOPMENTS, AND A MANHOLE SHALL BE LOCATED WHERE THE MAIN ENTERS THE PROPERTY. THE END OF THE MAINS SHALL BE MARKED WITH THE APPROPRIATE COLORED CARSONITE MARKER ALONG WITH TRACER WIRE.
28. AFTER REVIEW AND APPROVAL OF PLANS FOR THE EXTENSION OF LINES, FACILITIES, AND/OR SERVICES, CONSTRUCTION MUST HAVE COMMENCED WITHIN 18 MONTHS FOR RESIDENTIAL SUBDIVISIONS AND 12 MONTHS FOR ANY COMMERCIAL INSTALLATIONS.
29. INSPECTION FEES: CALL THE DISTRICT (719-495-2500) FOR FEE SCHEDULE.

WATER SYSTEM INSTALLATION NOTES

30. ALL WATER AND FORCE MAIN PIPE SHALL BE AWWA C900 PVC, OR APPROVED EQUAL, PRESSURE CLASS 200. ALL WATER AND FORCE MAIN FITTINGS SHALL HAVE MECHANICAL RESTRAINTS AND THRUST BLOCKS. ALL WATER AND FORCE MAIN PIPE SHALL HAVE A MINIMUM COVER DEPTH OF FIVE-AND-ONE-HALF (5.5) FEET.

31. ALL WATER VALVES ASSOCIATED WITH THE POTABLE WATER SYSTEM SHALL BE OPEN CLOCKWISE. ALL VALVES INSTALLED IN LANDSCAPED AREAS AND/OR NOT WITHIN PAVED STREETS SHALL BE MARKED WITH CARSONITE MARKERS. ALL VALVES ASSOCIATED WITH THE RAW WATER SYSTEM SHALL BE OPEN COUNTERCLOCKWISE AND MARKED WITH CARSONITE MARKERS AS APPLICABLE.
32. THE DEVELOPER OR THEIR ENGINEER SHALL LOCATE ALL FIRE HYDRANTS AND SERVICE STUB-OUTS FOR FUTURE DEVELOPMENT. ANY REQUIRED REALIGNMENT, HORIZONTAL OR VERTICAL, SHALL BE AT THE EXPENSE OF THE DEVELOPER. FIRE HYDRANT LOCATION SHALL BE REVIEWED AND APPROVED BY THE APPLICABLE FIRE AUTHORITY.
33. FIRE HYDRANTS SHALL BE OPEN RIGHT WITH 7/8" X 7/8" SQUARE TAPERED ALONG WITH SERVICE CAPS. LUBRICATION TYPE: GREASE. ACCEPTABLE BRAND IS KENNEDY GUARDIAN (K81D, K81A, AND K81AM). EACH FIRE HYDRANT LOCATION SHALL ALSO BE USED AS TEST STATION.
34. ALL MAIN LINES (PVC & DUCTILE IRON) SHALL BE INSTALLED WITH COATED #12 TRACER WIRE WITH TEST STATIONS AT INTERVALS NO GREATER THAN FIVE HUNDRED FEET (500') (VALVE BOXES CAN BE USED AT INTERSECTIONS AND SERVICE STUBS).
35. CONTRACTOR SHALL MAKE CONNECTIONS TO EXISTING WATER LINE WITHOUT SHUTDOWN, OR ELSE NOTIFY THE DISTRICT OF ANY SERVICE SHUTDOWNS NECESSARY TO CONNECT TO EXISTING LINES.
36. IRRIGATION SERVICES SHALL HAVE A STOP-AND-WASTE CURB STOP VALVE INSTALLED ALONG WITH TRACER WIRE EXTENDING BACK TO THE MAIN LINE.
37. COMMENCEMENT OF USE OF WATER LINES AND/OR SYSTEMS:
 - 37.A. NO WATER FACILITY SHALL BE PLACED IN SERVICE UNTIL AFTER THE COMPLETION OF ALL PRESSURE TESTING, FLUSHING, BAC-T TESTING, AND COMPACTION TESTING, AND AS-BUILT DRAWINGS ARE SUBMITTED AND APPROVED BY THE DISTRICT.
 - 37.B. NO WATER FACILITY SHALL BE PLACED IN SERVICE UNTIL ALL SERVICE LINES ARE COMPLETED AND THE FIRST LIFT OF ASPHALT IS COMPLETED OVER THE LINE. IN THE CASE WHERE NO ASPHALT IS TO BE PLACED OVER THE LINE, SURFACE IMPROVEMENTS SHALL BE COMPLETED PRIOR TO USE OF THE FACILITY.
 - 37.C. ALL EASEMENTS (PLATTED OR DEEDED) ARE DEDICATED, EXECUTED BY THE DISTRICT, AND RECORDED.

WASTEWATER SYSTEM INSTALLATION NOTES

38. SANITARY SEWER LENGTHS ARE MH CENTER – MH CENTER. ALL SANITARY SEWER PIPES SHALL BE SDR 35 PVC OR APPROVED EQUAL. SEWER LINES MAY NOT EXCEED 7% GRADE FOR ANY SIZE WITHOUT PRIOR APPROVAL OF THE DISTRICT. ALL NEWLY CONSTRUCTED RESIDENTIAL SANITARY SEWER TAPS SHALL USE PRE-MANUFACTURED, INLINE PVC PUSH-ON WYES. TAPPING SADDLES MAY ONLY BE USED FOR TAPPING PREEXISTING MAINS.
39. ALL SANITARY SEWER MANHOLES SHALL BE WRAPPED WITH RU116 - RUBR-NEK JOINT WRAP, OR APPROVED EQUAL, AND COATED.
40. COMMENCEMENT OF USE OF SEWER LINES AND/OR SYSTEMS:
 - 40.A. NO SANITARY SEWER FACILITY SHALL BE PLACED IN SERVICE UNTIL THE COMPLETION OF ALL JET CLEANING, PRESSURE TESTING, VACUUM TESTING, CCTV INSPECTION, AND COMPACTION TESTING, AND AS-BUILT DRAWINGS ARE SUBMITTED AND APPROVED BY THE DISTRICT.
 - 40.B. NO SANITARY SEWER FACILITY SHALL BE PLACED IN SERVICE UNTIL ALL SERVICE LINES ARE COMPLETED AND THE FIRST LIFT OF ASPHALT IS COMPLETED OVER THE LINE. IN THE CASE WHERE NO ASPHALT IS TO BE PLACED OVER THE LINE, ANY REQUIRED SURFACE IMPROVEMENTS SHALL BE COMPLETED PRIOR TO USE OF THE FACILITY.
 - 40.C. ALL NECESSARY EASEMENTS (PLATTED OR DEEDED) ARE DEDICATED, EXECUTED BY THE DISTRICT, AND RECORDED.
 - 40.D. DOWNSTREAM PLUG CAN BE REMOVED ONCE THE FIRST LIFT OF ASPHALT IS DOWN AND THE ABOVE REQUIREMENTS ARE MET.

THE ABOVE GUIDELINES ARE SUBJECT TO CHANGE AT ANY TIME.



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OWNER/DEVELOPER:

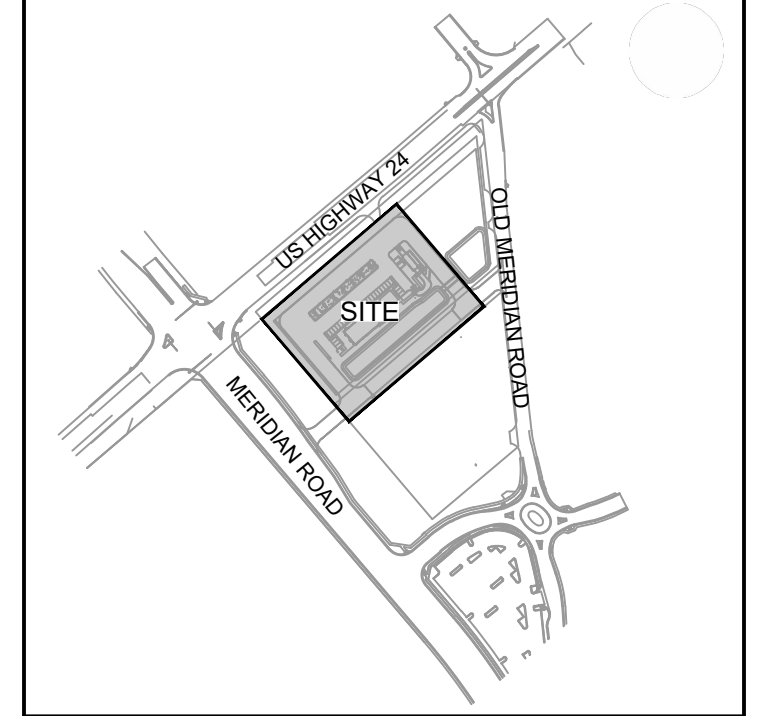
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SEAL

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC

VICINITY MAP:



PROJECT:
CIRCLE K STORES INC.

CONSTRUCTION DOCUMENTS

**HIGHWAY 24 & MERIDIAN ROAD
 FALCON, CO**

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO: 21.1207.037
 DRAWN BY: LCB
 CHECKED BY: NMS
 DESIGNED BY: NMS

GENERAL NOTES

**SHEET 4 OF 17
 GN03**

ISSUE DATE: MARCH 2022

FILE LOCATION: S:\CIRCLE K HWY 24 & MERIDIAN\DWG\PLAN SETS\SITE DEVELOPMENT\PLANS\1501_CDS.DWG



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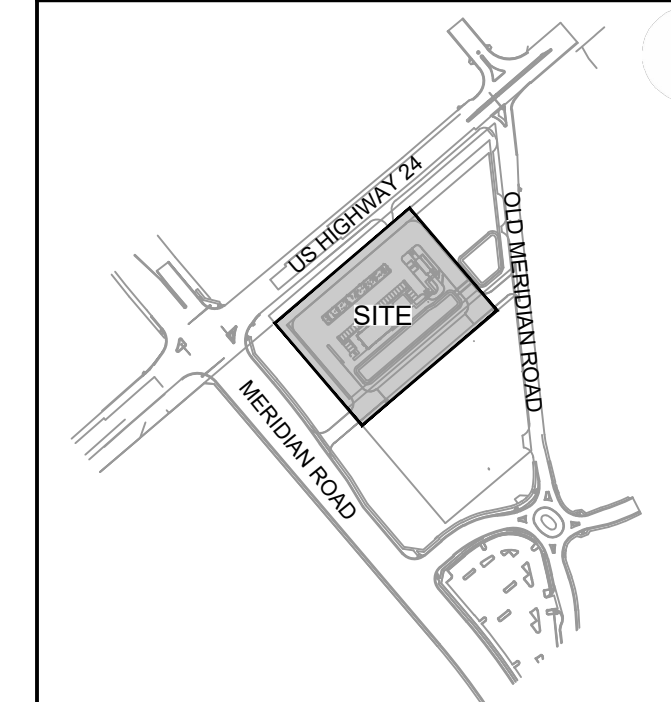


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PROJECT:

CIRCLE K STORES INC.

CONSTRUCTION DOCUMENTS

HIGHWAY 24 & MERIDIAN ROAD
FALCON, CO

REVISION HISTORY:

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GENERAL NOTES

SHEET 5 OF 17
GN04

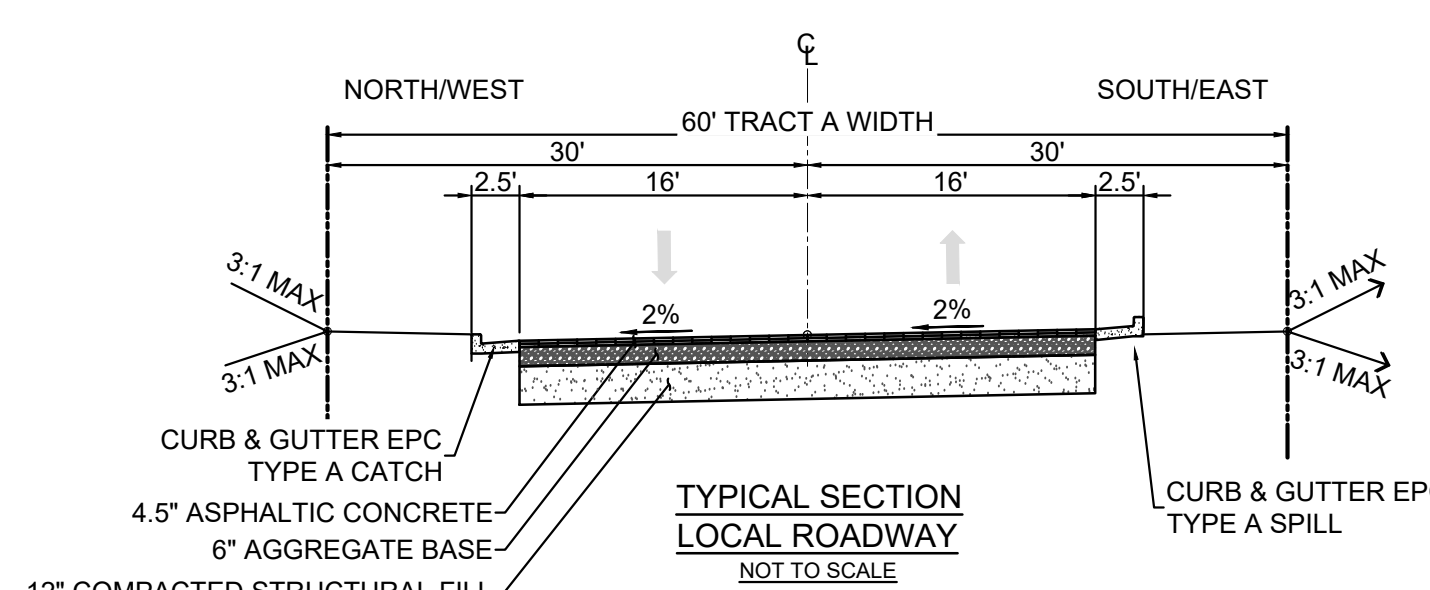
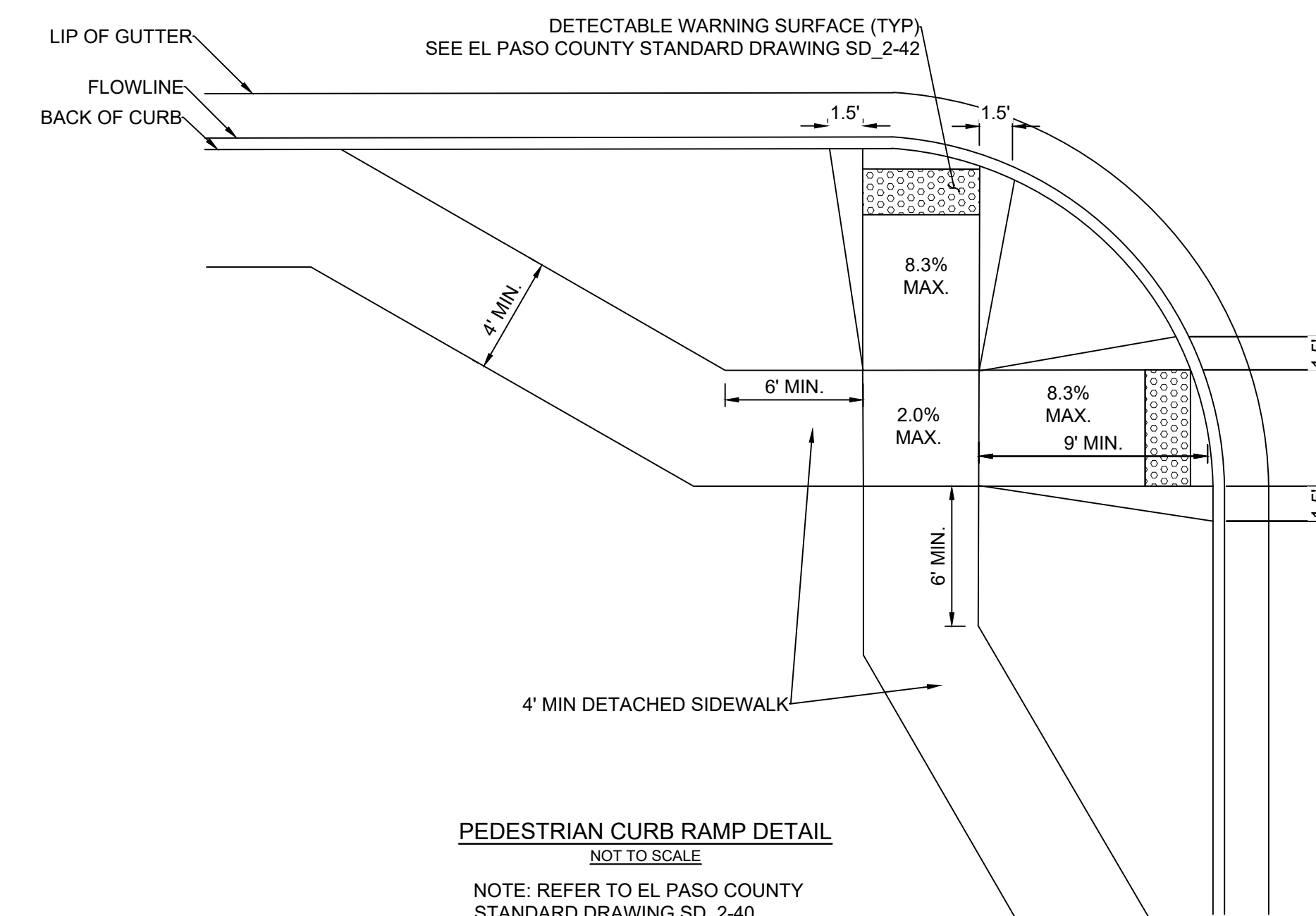
ISSUE DATE: MARCH 2022

ABBREVIATIONS

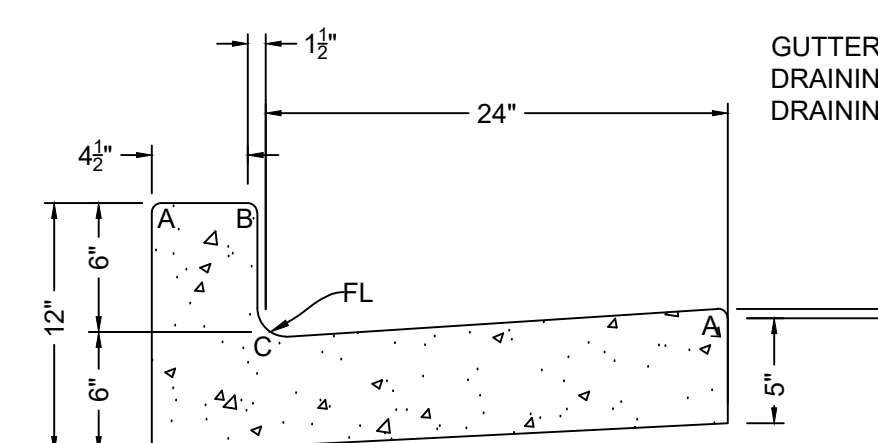
AD ALGEBRAIC DIFFERENCE	NC NORMAL CROWN
ASSY ASSEMBLY	NIC NOT IN CONTRACT
ASTM AMERICAN SOCIETY OF TESTING AND MATERIALS	NO NUMBER
APPROX APPROXIMATE or APPROXIMATELY	NOM NOMINAL
AVE AVENUE	NTS NOT TO SCALE
AVG AVERAGE	
B/C BACK OF CURB	OC ON CENTER
± or B/L BASELINE	O/S OFFSET
BLVD BOULEVARD	P PROPOSED
BTM BOTTOM	PC POINT OF CURVATURE
	PCC POINT OF COMPOUND CURVE
CI CAST IRON	PCR POINT OF CURB RETURN
CEN CENTER	PE PLAIN END
± or CL CENTERLINE	PIE PUBLIC IMPROVEMENT EASEMENT
CF'S CUBIC FEET PER SECOND	PGL PROFILE GRADE LINE
CLR CLEAR	PL PROPERTY LINE
CMP CORRUGATED METAL PIPE	± or P/L ± or P/L
CONC CONCRETE	PRC POINT OF REVERSE CURVE
CONST CONSTRUCTION	PT POINT OF TANGENCY
CONT CONTINUOUS	PVC POINT OF VERTICAL CURVE or POLYVINYL CHLORIDE
	PVI POINT OF VERTICAL INTERSECTION
DIA DIAMETER	PVMT PAVEMENT
DN DOWN	PVT POINT OF VERTICAL TANGENT
DWG DRAWING	
	R OR RAD RADIUS
EA EACH	RC REVERSE CROWN
EGL ENERGY GRADE LINE	RCP REINFORCED CONCRETE PIPE
ELEV or EL ELEVATION	RED REDUCER
ELL ELBOW	REF REFERENCE
EASMT EASEMENT	REINF REINFORCING
EW EACHWAY	REQ REQUIRED
EX or EXIST EXISTING	REV REVISION
	ROW RIGHT-OF-WAY
	RT RIGHT
FES FLARED END SECTION	SCH SCHEDULE
FIN FINISHED	SD STORM SEWER
± or FL FLOWLINE	SQ SQUARE
FLG FLANGE	ST STREET
FT FOOT / FEET	STA STATION
FRP FIBERGLASS REINFORCED PIPE	STD STANDARD
	STL STEEL
GAL GALLON	SS OR SAN SANITARY SEWER
GALV GALVANIZED	SW OR S/W SIDEWALK
GAU GAUGE (MATERIAL)	
GV GATE VALVE	TAN TANGENT
GW GROUNDWATER	TB THRUST BLOCK
HBP HOT BITUMINOUS PAVEMENT	TBC TOP BACK OF CURB
HERCP HORIZONTAL ELLIPTICAL REINFORCED CONCRETE PIPE	TFC TOP FACE OF CURB
HGL HYDRAULIC GRADE LINE	THD THREADED
HP HIGH POINT	THK THICKNESS
HORIZ HORIZONTAL	TYP TYPICAL
HCL HORIZONTAL CONTROL LINE	
HR HOUR	UG UNDERGROUND
	UTIL UTILITY
INV INVERT	VC VERTICAL CURVE
	VERT VERTICAL
K VERTICAL CURVE FACTOR	
	W WIDTH
LBS POUNDS	W/ WITH
LF LINEAR FEET	
LN LANE	
LP LOW POINT	
LS LANDSCAPING	
LT LEFT	
MAX MAXIMUM	
MFGR MANUFACTURER	
MH MANHOLE	
MID MIDDLE or MIDPOINT	
MIN MINIMUM	
MJ MECHANICAL JOINT	
MSL MEAN SEA LEVEL	

SYMBOLS

	PROPOSED CENTERLINE
	EXISTING FENCE
	RIGHT OF WAY/PROPERTY BOUNDARY
	EXISTING EASEMENT
	PROPERTY LINE/TRACT A BOUNDARY
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING UNDERGROUND UTILITY
	EXISTING WATER
	EXISTING HYDRANT
	EXISTING WATER VALVE
	EXISTING SANITARY
	PROPOSED STORM
	PROPOSED STORM FLARED END SECTION (FES)
	PROPOSED STORM INLET



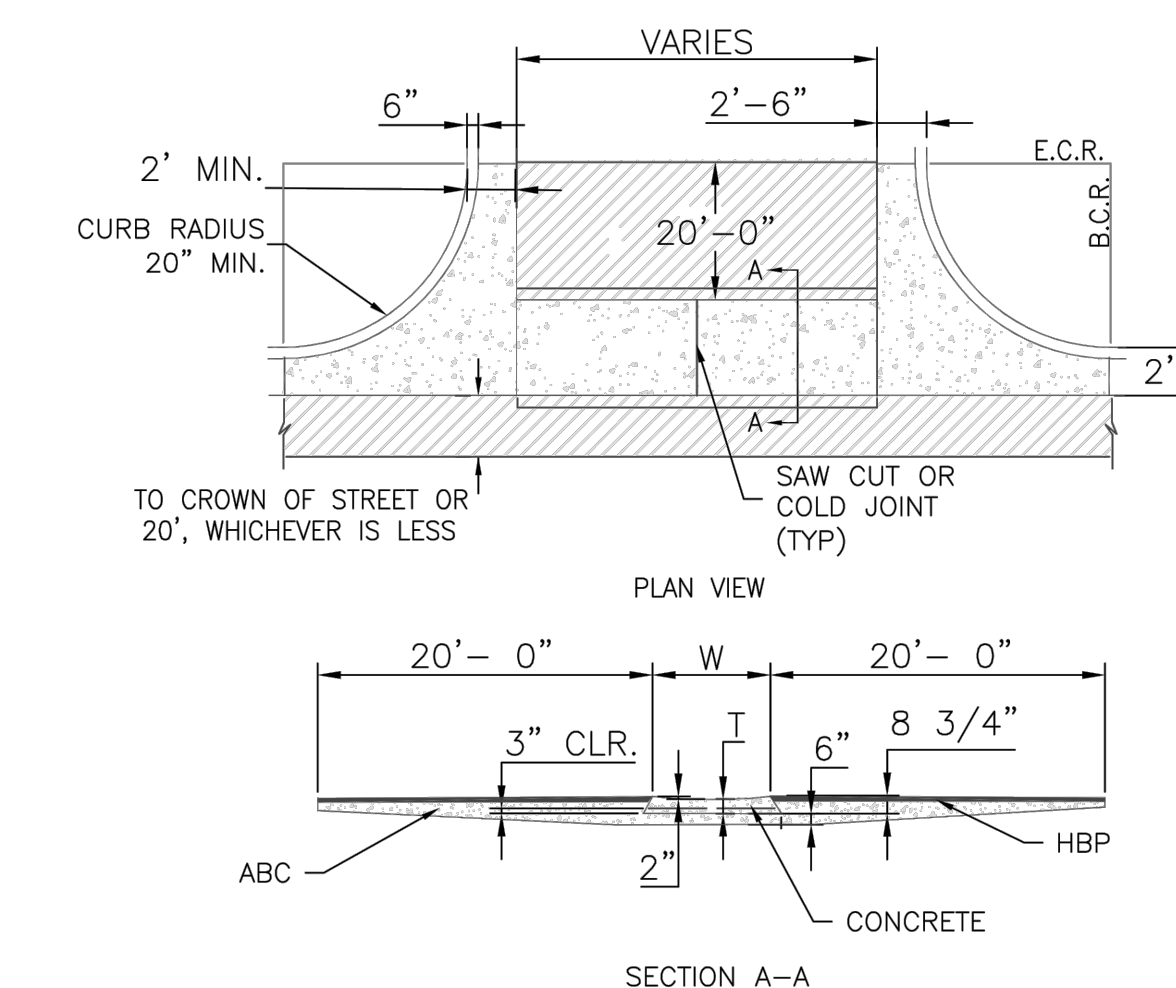
- NOTES:
- ALL MATERIALS SHOULD MEET THE CURRENT COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION.
 - THE ON-SITE SAND SOILS ARE CONSIDERED SUITABLE FOR USE AS STRUCTURAL FILL.
 - PAVEMENT SECTIONS ARE BASED ON THE GEOTECHNICAL ENGINEERING REPORT AND PAVEMENT THICKNESS DESIGN FOR THE PROPOSED CIRCLE K CONVENIENCE STORE AND FUELING FACILITY AT MERIDIAN CIRCLE K RETAIL STORE IN FALCON, COLORADO BY TERRACON CONSULTANTS, INC. DATED NOVEMBER 30, 2018. FURTHER INVESTIGATION SHOULD BE DONE AFTER GRADING TO CONFIRM WHETHER THE DESIGN ASSUMPTIONS REMAIN APPROPRIATE.



LEGEND FOR RADII

A	= 1/4" TO 1/2"
B	= 1 1/2"
C	= 1 1/2" TO 2"

GUTTER CROSS SLOPES SHALL BE 1/4" IN/FT. WHEN DRAINING AWAY FROM CURB AND 1" IN/FT. WHEN DRAINING TOWARD CURB



- NOTES:
- W - WIDTH SHALL BE 6' FOR LOCAL, 8' FOR COLLECTORS, AND 10' FOR ARTERIAL ROADS.
 - T - SQUARED-OFF RETURN TO BE POURED MONOLITHICALLY, 8" PCC FOR LOCAL ROADS, 9" FOR COLLECTORS WITH 6x6 - 4.4 W.W.F. OR #4 REINFORCING BAR @ 18" EACH WAY.
 - ZZZZZZ = 3" MINIMUM ASPHALT DEPTH (2 LIFTS).
 - DESIGN TO SPECIFY ELEVATIONS AT PI AND PCR.



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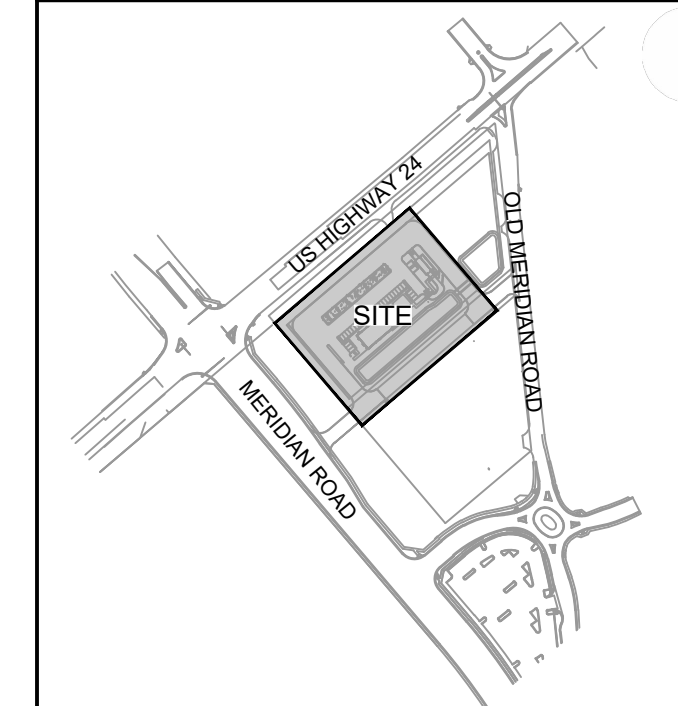


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VICINITY MAP:



PROJECT:

CIRCLE K STORES INC.

SITE DEVELOPMENT PLAN

HIGHWAY 24 & MERIDIAN ROAD
FALCON, CO

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO: 21.1207.037

DRAWN BY: LCB

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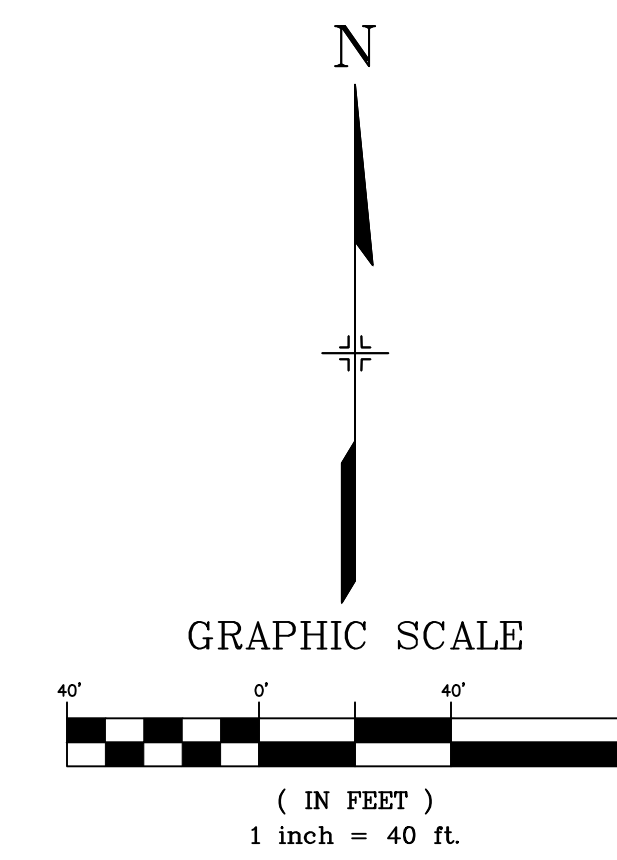
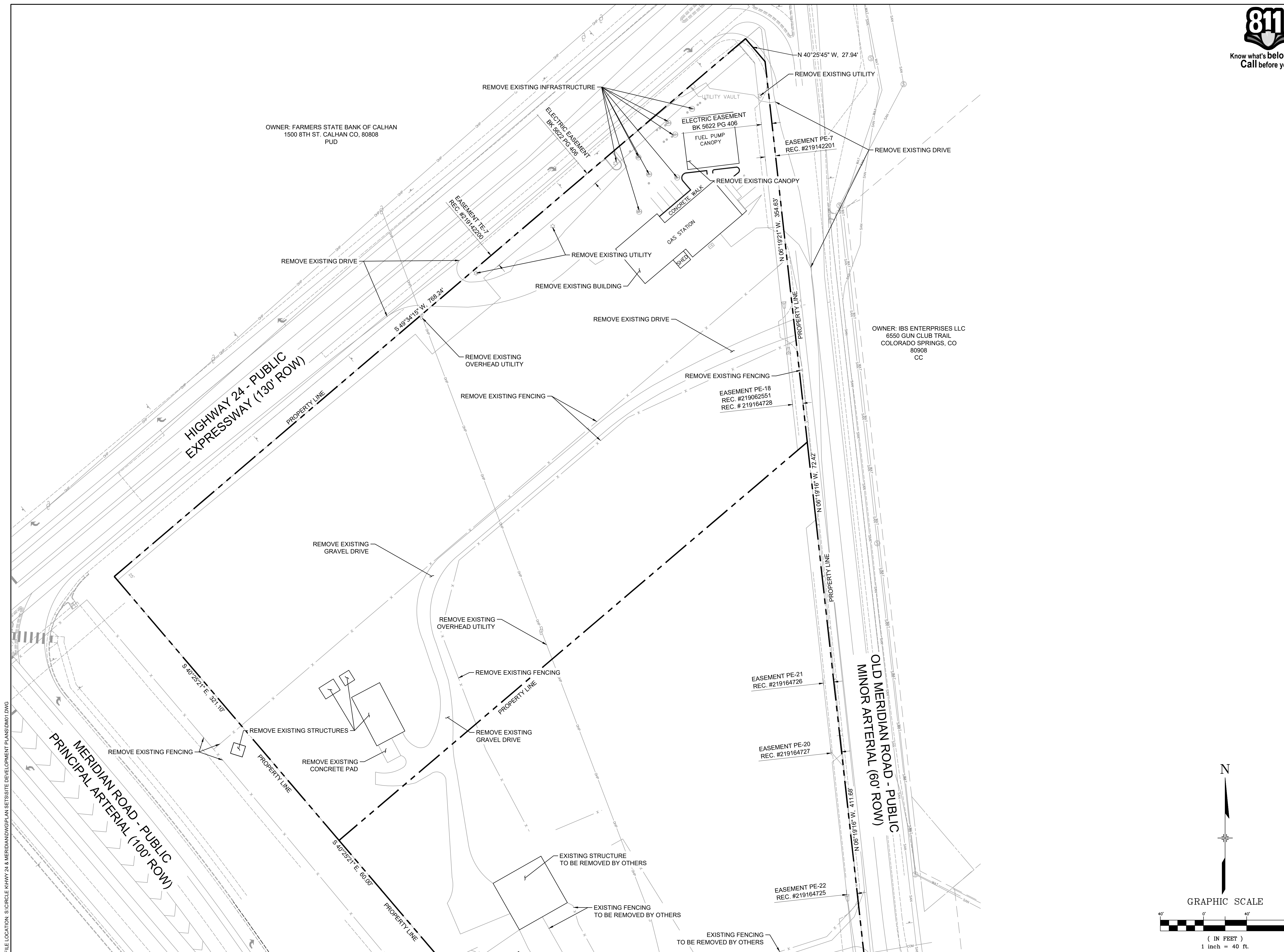
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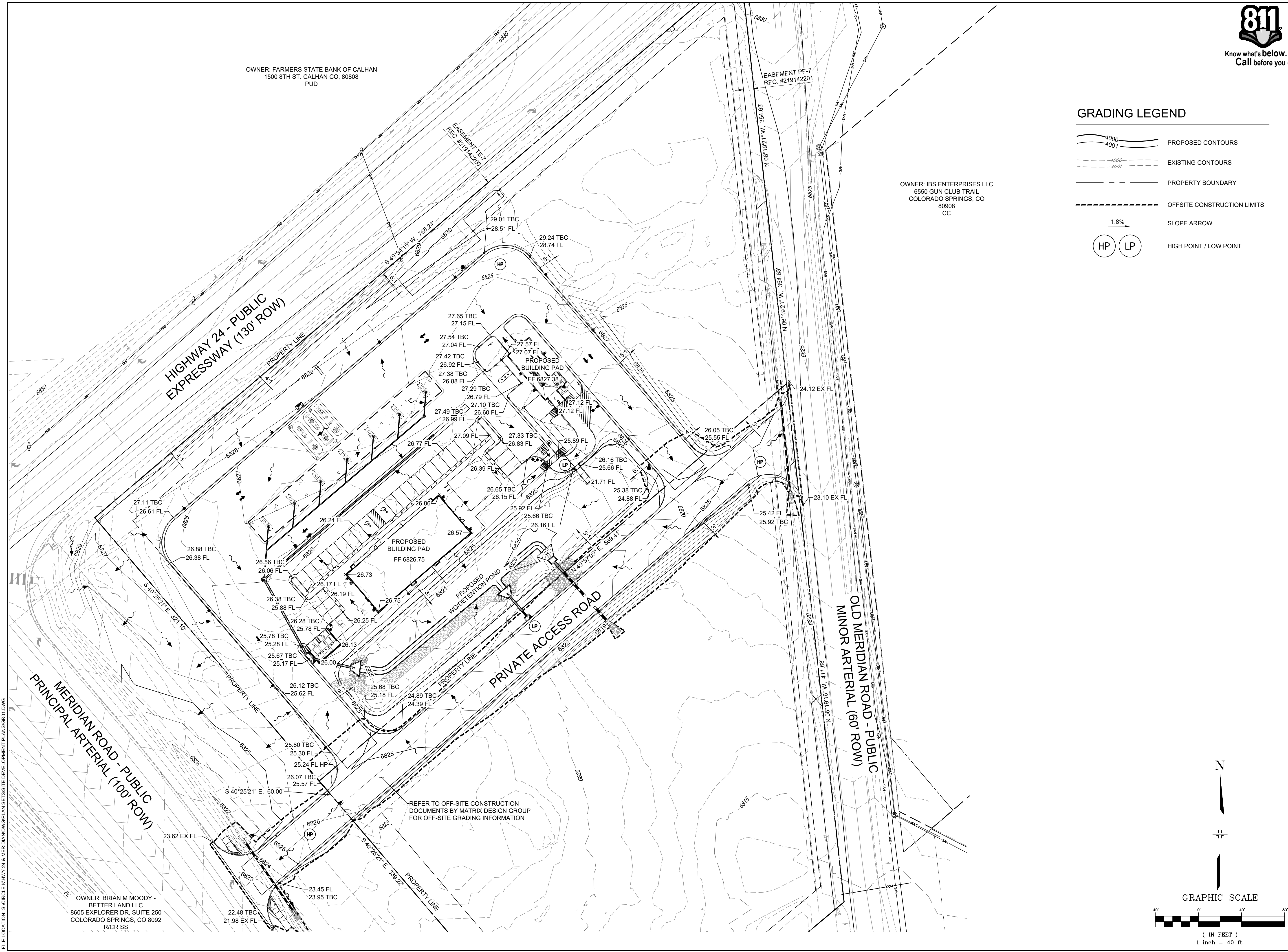
DEMOLITION PLAN

SHEET 6 OF 17
DM01

ISSUE DATE: MARCH 2022



FILE LOCATION: S:\CIRCLE K HWY 24 & MERIDIAN\DWG\PLAN\SET\SITE DEVELOPMENT PLAN\DM01.DWG



OWNER: FARMERS STATE BANK OF CALHAN
1500 8TH ST. CALHAN CO. 80808
PUD

OWNER: IBS ENTERPRISES LLC
6550 GUN CLUB TRAIL
COLORADO SPRINGS, CO
80908
CC

OWNER: BRIAN M MOODY -
BETTER LAND LLC
8805 EXPLORER DR, SUITE 250
COLORADO SPRINGS, CO 8092
R/C/R SS



Matrix
Excellence by Design
2435 RESEARCH PARKWAY, SUITE
300 COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100

LAND DEVELOPMENT
CONSULTANTS, LLC
950 S. CHERRY ST., SUITE 512
DENVER, CO 80246

OWNER/DEVELOPER:



ROCKY MOUNTAINS DIVISION
5500 S QUEBEC STREET, SUITE 100
GREENWOOD VILLAGE, CO 80111
PHONE: (720) 758-6223

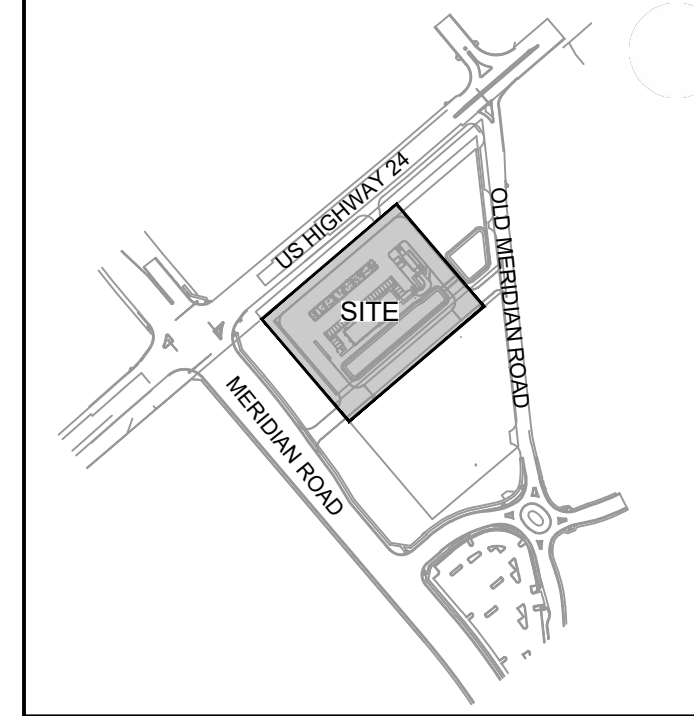
GRADING LEGEND

- PROPOSED CONTOURS
- EXISTING CONTOURS
- PROPERTY BOUNDARY
- OFFSITE CONSTRUCTION LIMITS
- 1.8% SLOPE ARROW
- HIGH POINT / LOW POINT

SEAL

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC

VICINITY MAP:



PROJECT:

CIRCLE K STORES INC.

SITE DEVELOPMENT PLAN

HIGHWAY 24 & MERIDIAN ROAD
FALCON, CO

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO: 21.1207.037

DRAWN BY: LCB

CHECKED BY: NMS

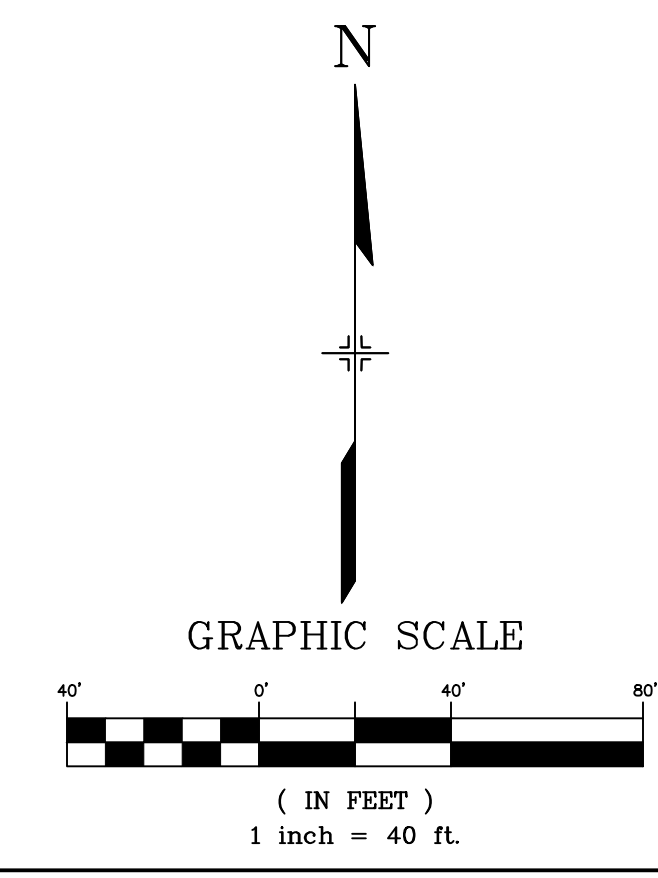
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SHEET TITLE:

**DETAILED
GRADING PLAN**

SHEET 7 OF 17
DGP01

ISSUE DATE: MARCH 2022

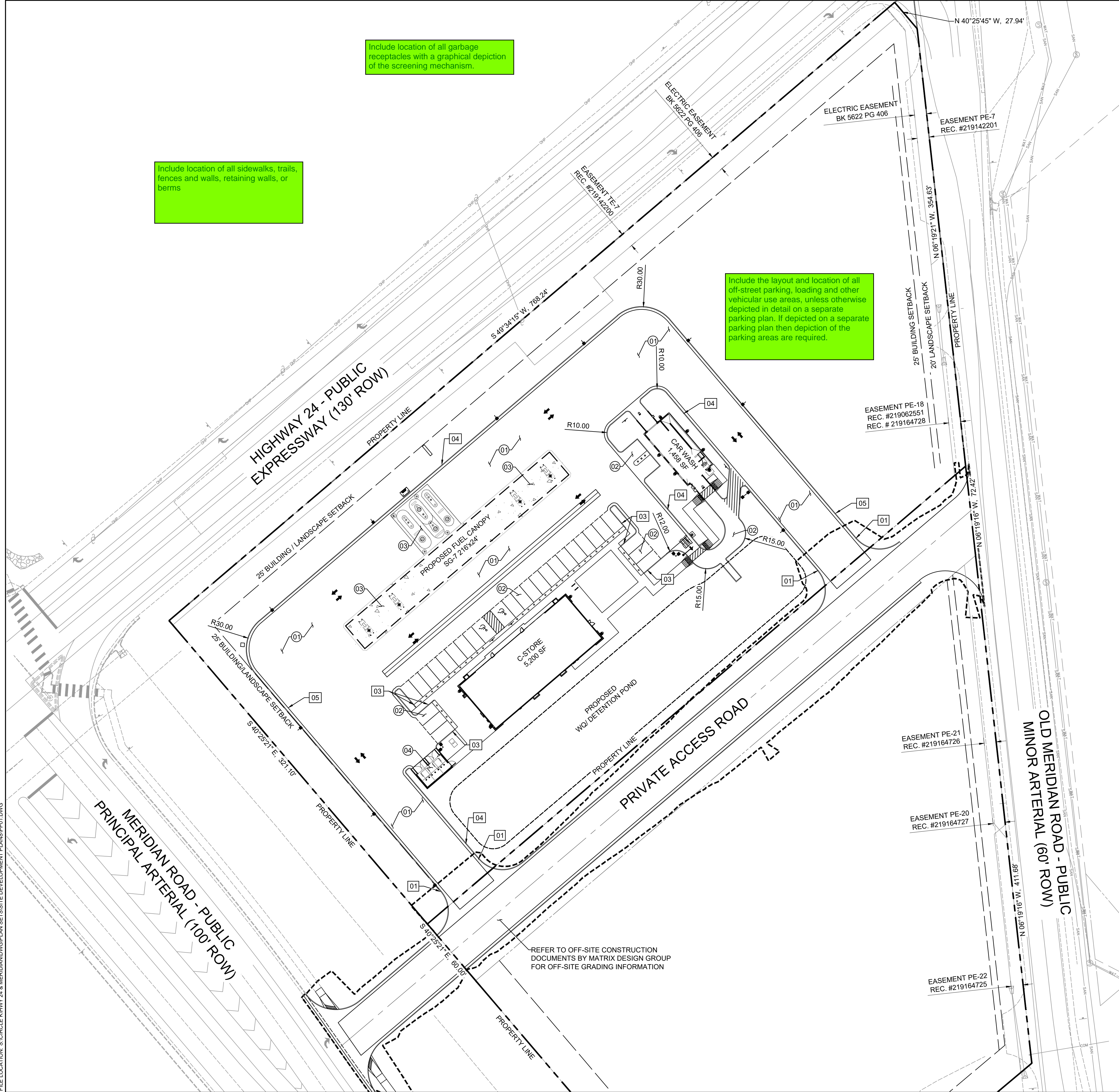


FILE LOCATION: S:\CIRCLE K HWY 24 & MERIDIAN\DWG\PLAN SETS\SITE DEVELOPMENT PLAN\SDP01.DWG

Include location of all garbage receptacles with a graphical depiction of the screening mechanism.

Include location of all sidewalks, trails, fences and walls, retaining walls, or berms

Include the layout and location of all off-street parking, loading and other vehicular use areas, unless otherwise depicted in detail on a separate parking plan. If depicted on a separate parking plan then depiction of the parking areas are required.



SITE LEGEND

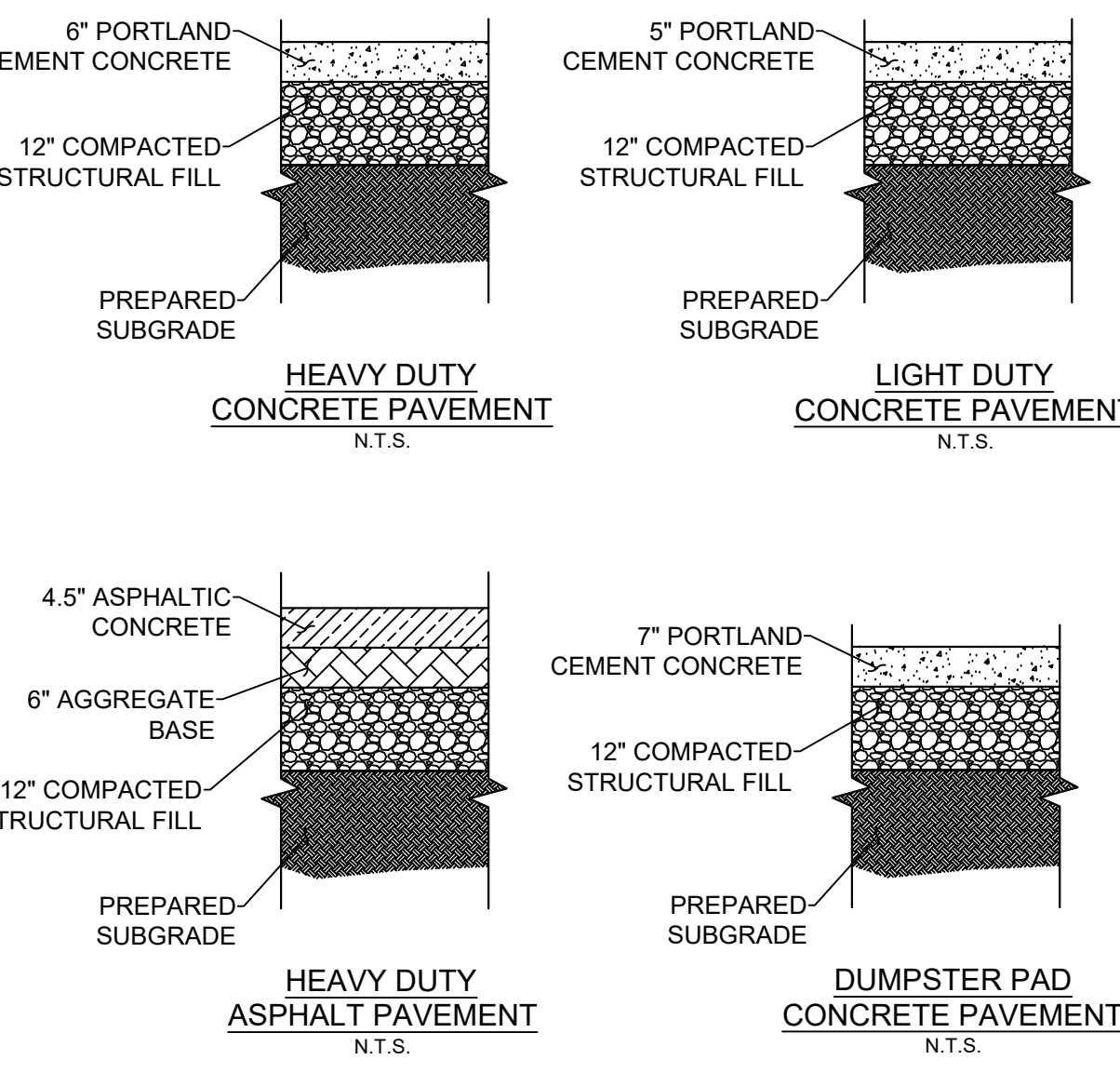
- PROPERTY BOUNDARY LINE
- - - SETBACK LINE
- - - EASEMENT BOUNDARY LINE
- ▨ PROPOSED STRIPING
- ▬ PROPOSED CONCRETE CURB & GUTTER
- - - OFFSITE CONSTRUCTION LIMITS

PAVEMENT NOTES

- 01 MATCH EXISTING CURB (SEE OFFSITE CONSTRUCTION DOCUMENTS)
- 02 MATCH EXISTING PAVEMENT ELEVATION
- 03 CURB HEAD TAPER DOWN TO FL (3" TAPER)
- 04 EPC TYPE A C&G (CATCH)
- 05 EPC TYPE A C&G (SPILL)

PAVEMENT DETAILS

- 01 HEAVY DUTY ASPHALT PAVING
- 02 LIGHT DUTY CONCRETE PAVING
- 03 HEAVY DUTY CONCRETE PAVING
- 04 DUMPSTER PAD CONCRETE PAVING



CONSULTANTS:

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LAND DEVELOPMENT CONSULTANTS, LLC
950 S. CHERRY ST., SUITE 512
DENVER, CO 80246

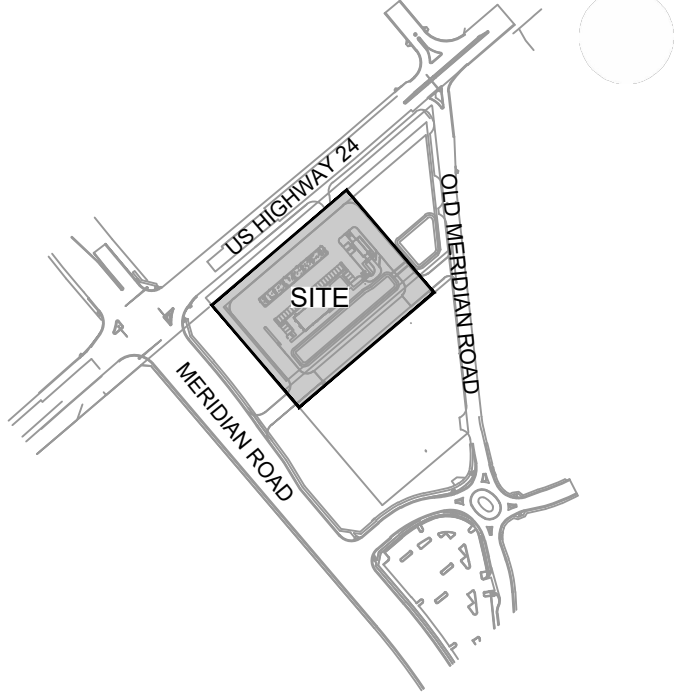
OWNER/DEVELOPER:



ROCKY MOUNTAINS DIVISION
5500 S QUEBEC STREET, SUITE 100
GREENWOOD VILLAGE, CO 80111
PHONE: (720) 758-6223

SEAL

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC



PROJECT:
CIRCLE K STORES INC.

SITE DEVELOPMENT PLAN
HIGHWAY 24 & MERIDIAN ROAD
FALCON, CO

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

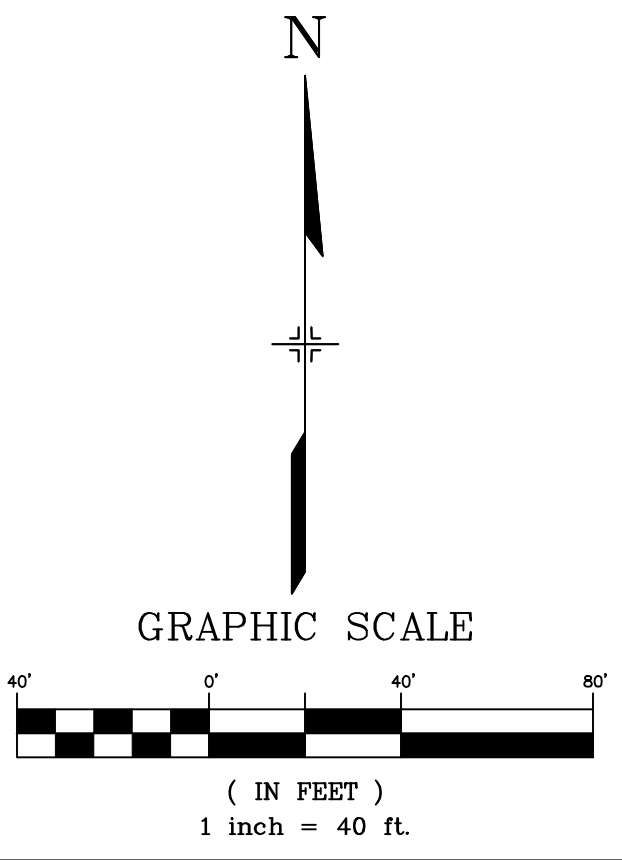
DRAWING INFORMATION:

PROJECT NO: 21.1207.037
DRAWN BY: LCB
CHECKED BY: NMS
DESIGNED BY: NMS

PAVEMENT PLAN

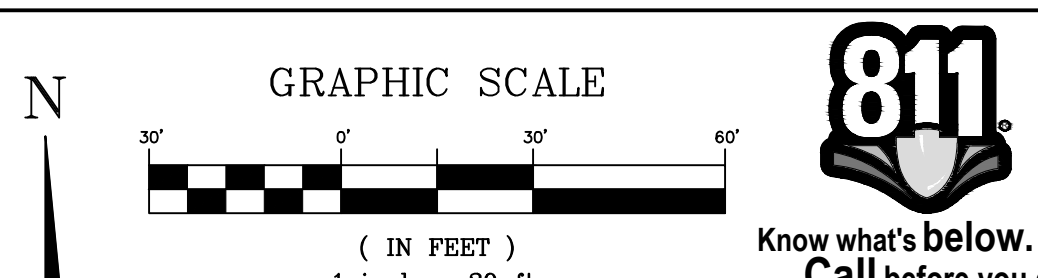
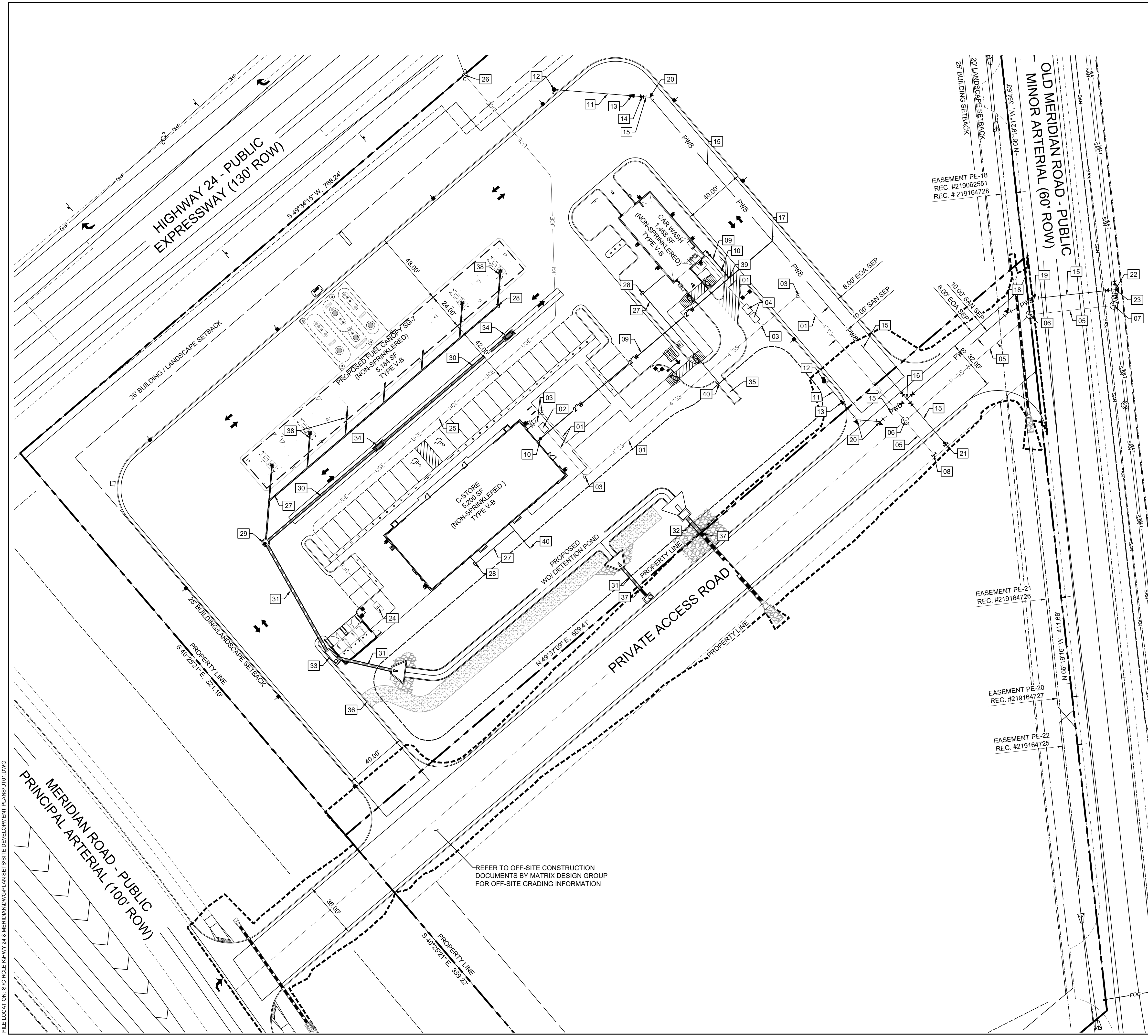
SHEET 8 OF 17
PP01

ISSUE DATE: MARCH 2022



FILE LOCATION: S:\CIRCLE K\HWY 24 & MERIDIAN\DWG\PLAN SET\SITE DEVELOPMENT PLANS\PP01.DWG

REFER TO OFF-SITE CONSTRUCTION DOCUMENTS BY MATRIX DESIGN GROUP FOR OFF-SITE GRADING INFORMATION



- UTILITY LEGEND**
- PROPERTY BOUNDARY LINE
 - ADJACENT PROPERTY LINE
 - EASEMENT BOUNDARY LINE
 - TYPE A CONCRETE CURB & GUTTER
 - PROPOSED BOUNDARY BETWEEN CONCRETE & ASPHALT
 - PWB --- PROPOSED WATER MAIN/SERVICE
 - P-SS --- PROPOSED SANITARY MAIN/SERVICE
 - UGE --- PROPOSED STORM ROOF DRAIN
 - PROPOSED UNDERGROUND ELECTRICAL SERVICE
 - OFFSITE CONSTRUCTION LIMITS
 - PROPOSED STORM PIPE
 - EXISTING STORM PIPE

- UTILITY NOTES**
- 01 4" SANITARY SERVICE LINE
 - 02 OIL/GREASE INTERCEPTOR (PER ARCH PLANS)
 - 03 SANITARY SEWER CLEANOUT
 - 04 RECLAIM TANKS
 - 05 8" SANITARY MAIN
 - 06 5' SANITARY MANHOLE
 - 07 POINT OF CONNECTION - TIE INTO EXISTING 8" SANITARY MAIN INSTALL 4" MANHOLE
 - 08 8" SANITARY PLUG
 - 09 2" WATER SERVICE LINE
 - 10 METERED DOMESTIC WATER SERVICE ENTRY (PER ARCH PLANS)
 - 11 6" HYDRANT LATERAL
 - 12 FIRE HYDRANT
 - 13 8"x6" REDUCER
 - 14 8" GATE VALVE
 - 15 8" WATER MAIN
 - 16 8"x8" CROSS W/ VALVES
 - 17 8"x2" TAP
 - 18 8"x11.25" HORIZONTAL BEND
 - 19 8"x22.50" HORIZONTAL BEND
 - 20 8"x45.00" HORIZONTAL BEND
 - 21 8" PLUG & BLOW-OFF VALVE
 - 22 8"x8" TEE W/ CTRB & VALVES
 - 23 POINT OF CONNECTION - TIE INTO EXISTING WATER MAIN
 - 24 ELECTRIC TRANSFORMER (PER ARCH PLANS)
 - 25 UNDERGROUND ELECTRICAL LINE (FOR REFERENCE ONLY)
 - 26 POINT OF CONNECTION - UNDERGROUND ELECTRICAL LINE (PER ARCH PLANS)
 - 27 PRIVATE 8" PVC STORM DRAIN
 - 28 STORM SEWER CLEANOUT
 - 29 4' STORM MANHOLE
 - 30 15" RCP STORM SEWER
 - 31 18" RCP STORM SEWER
 - 32 24" RCP STORM SEWER
 - 33 10' TYPE R STORM INLET (PRIVATE)
 - 34 NO. 16 DENVER AREA INLET (TRIPLE) (PRIVATE)
 - 35 CONCRETE FLUME
 - 36 MAINTENANCE ACCESS ROAD
 - 37 POINT OF CONNECTION - TIE INTO EXISTING STORM SEWER
 - 38 PRIVATE 6" PVC ROOF DRAINS
 - 39 2"x2" TAP
 - 40 6" PVC ROOF DRAIN DAYLIGHT POINT

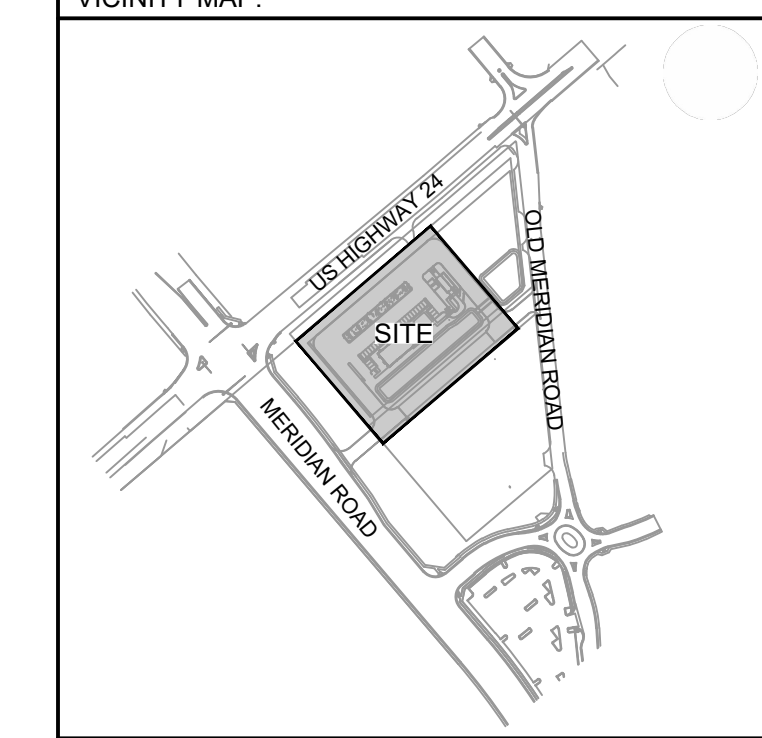
CONSULTANTS:
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 2435 RESEARCH PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80920
 PHONE: (719) 575-0100

LAND DEVELOPMENT CONSULTANTS, LLC
 950 S. CHERRY ST., SUITE 512
 DENVER, CO 80246



OWNER/DEVELOPER:
CIRCLE K
 ROCKY MOUNTAINS DIVISION
 5500 S QUEBEC STREET, SUITE 100
 GREENWOOD VILLAGE, CO 80111
 PHONE: (720) 758-8223

SEAL
 FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC
 VICINITY MAP:



PROJECT:
CIRCLE K STORES INC.
 CONSTRUCTION DOCUMENTS
**HIGHWAY 24 & MERIDIAN ROAD
 FALCON, CO**

REVISION HISTORY:

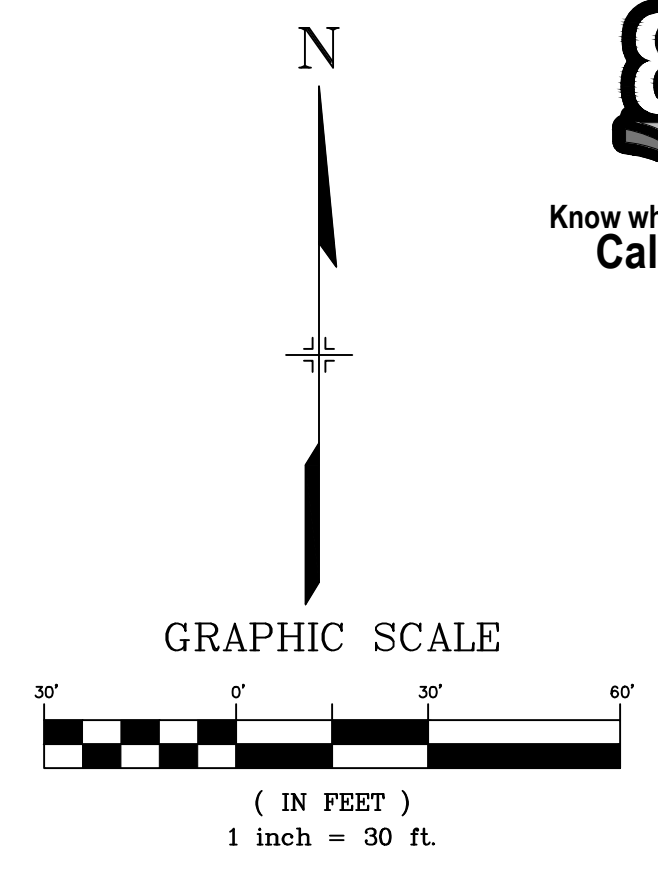
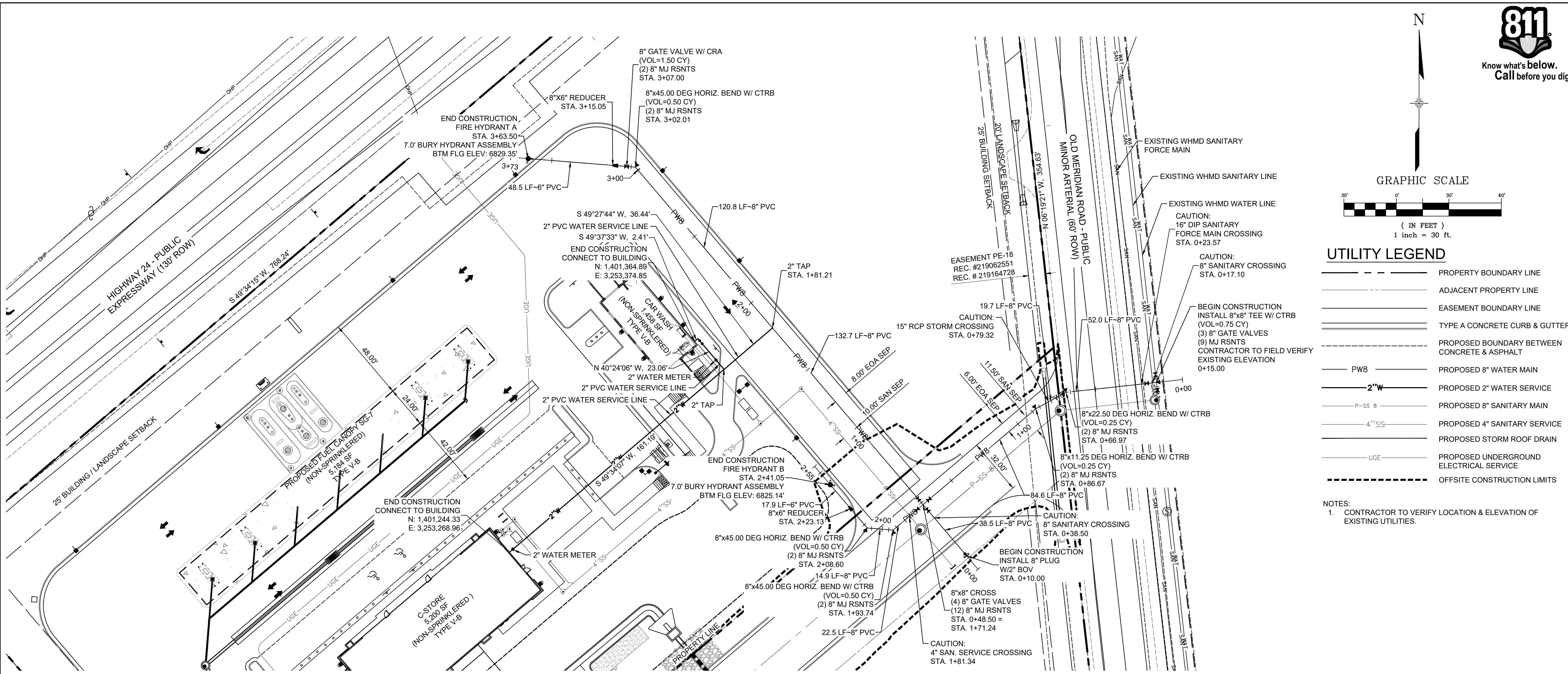
NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:
 PROJECT NO: 21.1207.037
 DRAWN BY: LCB
 CHECKED BY: NMS
 DESIGNED BY: NMS
 SHEET TITLE:

**OVERALL
 UTILITY PLAN**

SHEET 9 OF 17
 UT01
 ISSUE DATE: MARCH 2022

FILE LOCATION: S:\CIRCLE K HWY 24 & MERIDIAN\DWG\PLAN SET\SITE DEVELOPMENT PLANS\UT01.DWG



- UTILITY LEGEND**
- PROPERTY BOUNDARY LINE
 - ADJACENT PROPERTY LINE
 - EASEMENT BOUNDARY LINE
 - TYPE A CONCRETE CURB & GUTTER
 - PROPOSED BOUNDARY BETWEEN CONCRETE & ASPHALT
 - PWB --- PROPOSED 8" WATER MAIN
 - 2"W --- PROPOSED 2" WATER SERVICE
 - P-SS 8 --- PROPOSED 8" SANITARY MAIN
 - 4"SS --- PROPOSED 4" SANITARY SERVICE
 - UGE --- PROPOSED UNDERGROUND ELECTRICAL SERVICE
 - OFFSITE CONSTRUCTION LIMITS

NOTES:
1. CONTRACTOR TO VERIFY LOCATION & ELEVATION OF EXISTING UTILITIES.

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LAND DEVELOPMENT
CONSULTANTS, LLC
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ROCKY MOUNTAINS DIVISION
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GREENWOOD VILLAGE, CO 80111
PHONE: (720) 758-6223

SEAL

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC

VICINITY MAP:

PROJECT:
CIRCLE K STORES INC.

CONSTRUCTION DOCUMENTS
**HIGHWAY 24 & MERIDIAN ROAD
FALCON, CO**

REVISION HISTORY:

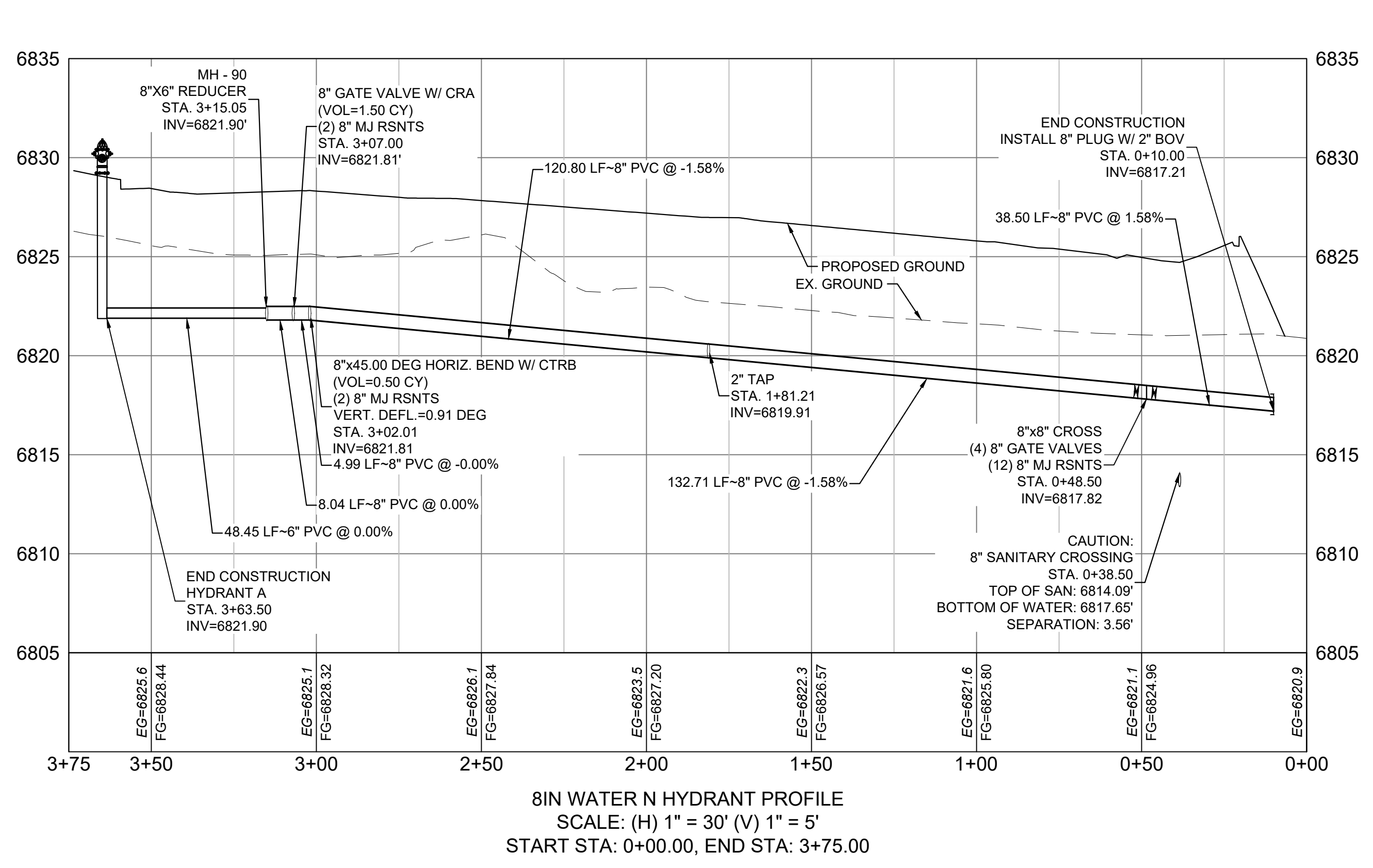
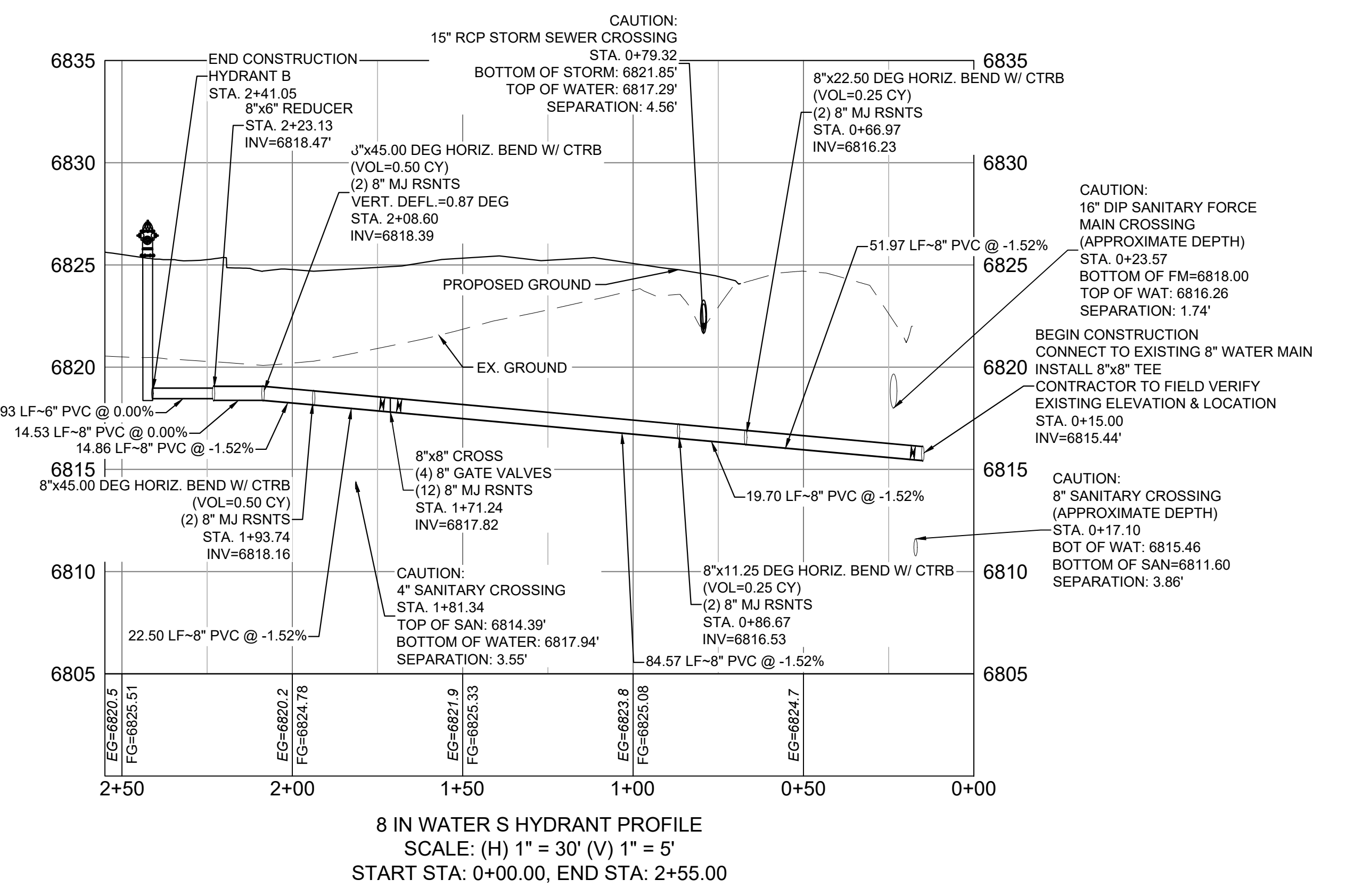
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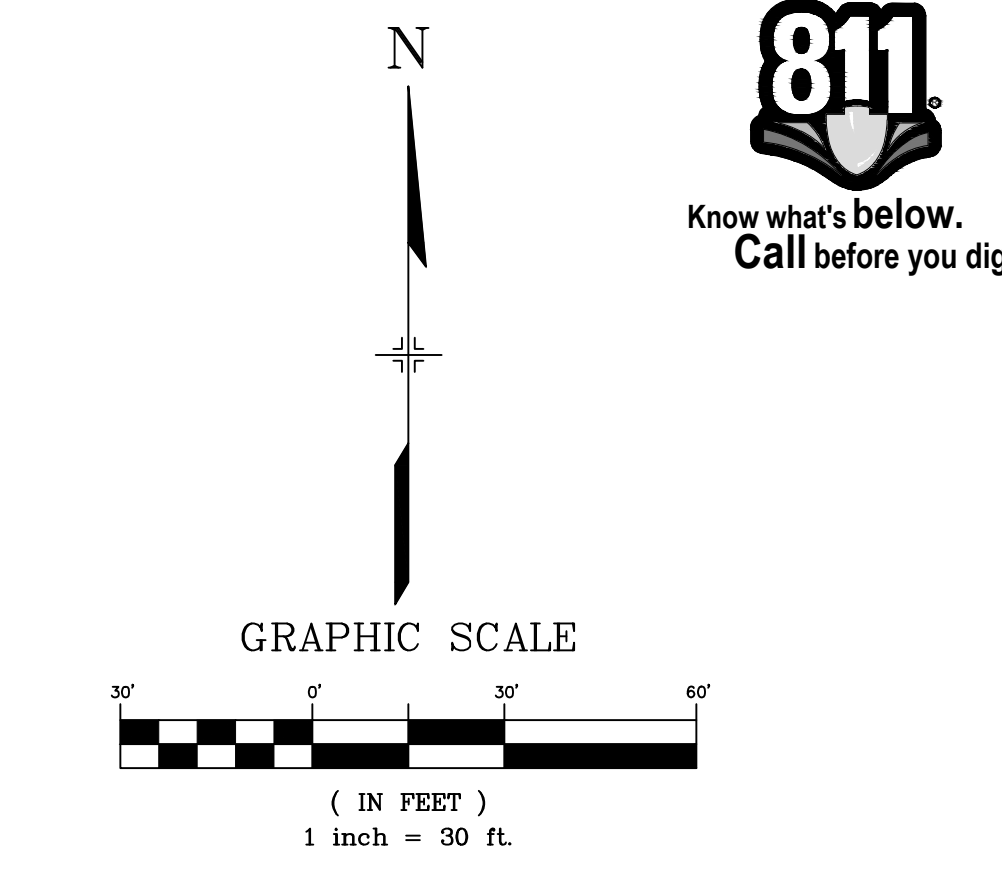
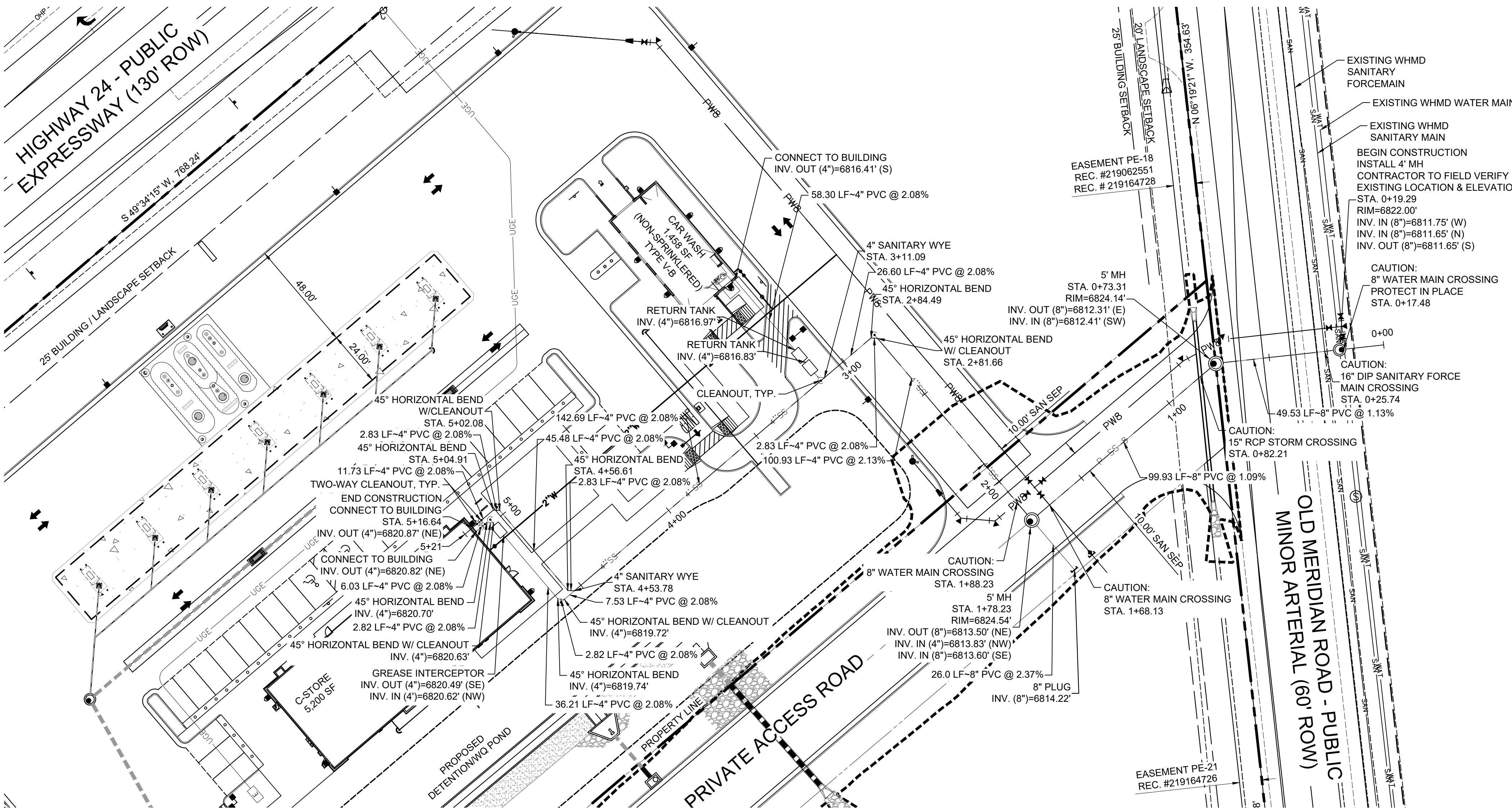
WATER PLAN & PROFILE

SHEET 10 OF 17
WT01

ISSUE DATE: MARCH 2022



FILE LOCATION: S:\CIRCLE K HWY 24 & MERIDIAN\DWG\PLAN\SESSITE DEVELOPMENT\PLANS\WT01.DWG



UTILITY LEGEND

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY LINE
	EASEMENT BOUNDARY LINE
	TYPE A CONCRETE CURB & GUTTER
	PROPOSED BOUNDARY BETWEEN CONCRETE & ASPHALT
	PROPOSED WATER MAIN/SERVICE
	PROPOSED SANITARY MAIN/SERVICE
	PROPOSED STORM ROOF DRAIN
	PROPOSED UNDERGROUND ELECTRICAL SERVICE
	OFFSITE CONSTRUCTION LIMITS

NOTES:
 1. CONTRACTOR TO VERIFY LOCATION & ELEVATION OF EXISTING UTILITIES.

CONSULTANTS:

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 COLORADO SPRINGS, CO 80920
 PHONE: (719) 575-0100

LAND DEVELOPMENT
 CONSULTANTS, LLC
 950 S. CHERRY ST., SUITE 512
 DENVER, CO 80246

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 5500 S QUEBEC STREET, SUITE 100
 GREENWOOD VILLAGE, CO 80111
 PHONE: (720) 758-6223

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC

VICINITY MAP:

PROJECT:
CIRCLE K STORES INC.

CONSTRUCTION DOCUMENTS
**HIGHWAY 24 & MERIDIAN ROAD
 FALCON, CO**

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

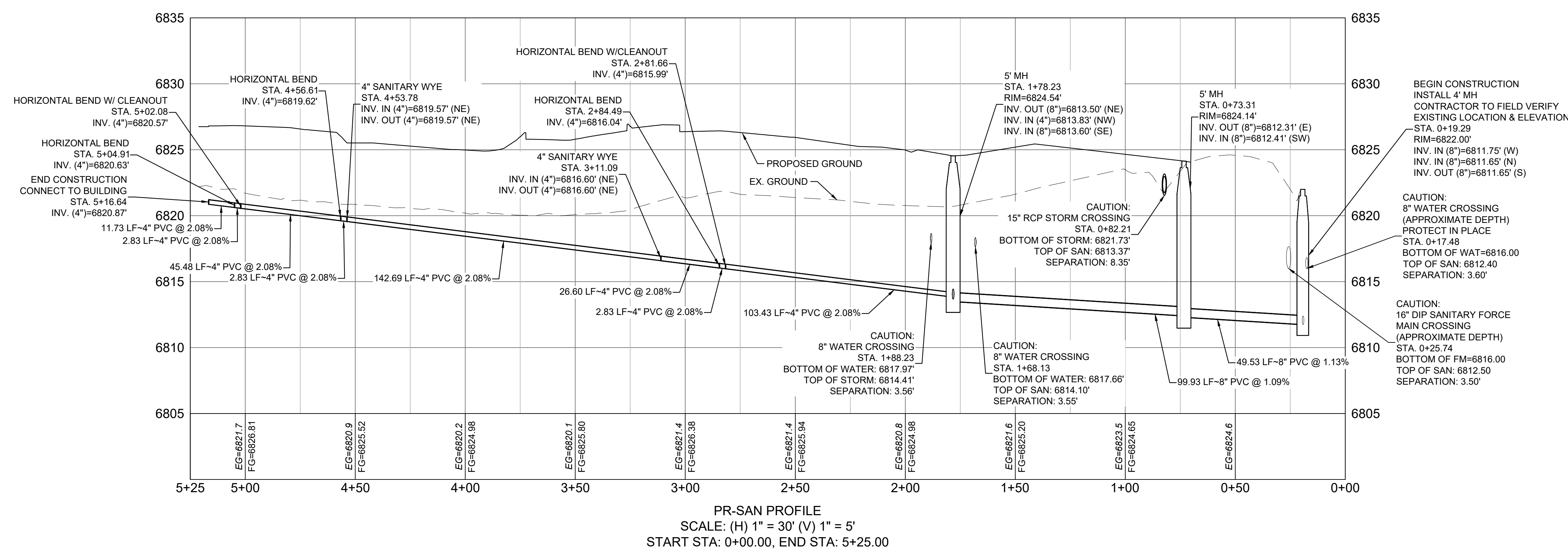
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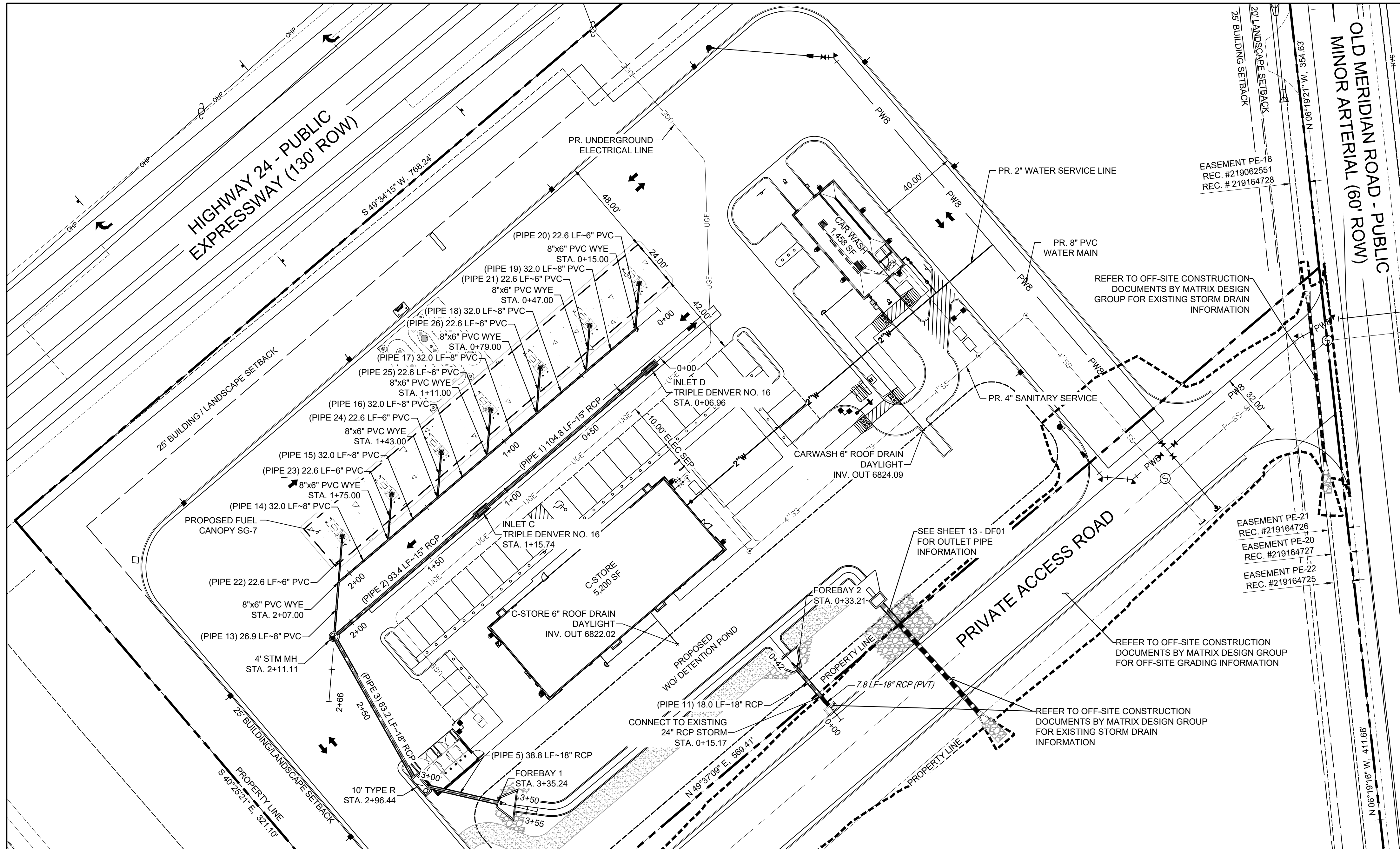
SANITARY PLAN & PROFILE

SHEET 11 OF 17
SS01

ISSUE DATE: MARCH 2022



FILE LOCATION: S:\CIRCLE K HWY 24 & MERIDIAN\DWG\PLAN\SS01.DWG



811
Know what's below.
Call before you dig.

GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.

UTILITY LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY LINE
- EASEMENT BOUNDARY LINE
- TYPE A CONCRETE CURB & GUTTER
- PROPOSED BOUNDARY BETWEEN CONCRETE & ASPHALT
- PROPOSED WATER MAIN/SERVICE
- PROPOSED SANITARY MAIN/SERVICE
- PROPOSED STORM ROOF DRAIN
- PROPOSED STORM PIPE
- EXISTING STORM PIPE
- PROPOSED UNDERGROUND ELECTRICAL SERVICE
- OFFSITE CONSTRUCTION LIMITS

PIPE SUMMARY TABLE

PIPE NAME	PIPE DESCRIPTION	PIPE SLOPE	PIPE LENGTH	PIPE BEARING
PIPE 1	15" RCP	0.50%	104.82	N49°34'15"E
PIPE 2	15" RCP	0.50%	93.37	N49°34'15"E
PIPE 3	18" RCP	0.70%	83.17	S29°24'13"E
PIPE 5	18" RCP	0.70%	38.79	S77°08'13"E
PIPE 12	24" RCP	1.00%	12.50	N41°46'04"W
PIPE 13	8" PVC	0.50%	26.88	N04°34'15"E
PIPE 14	8" PVC	0.50%	32.00	N49°34'15"E
PIPE 15	8" PVC	0.50%	32.00	N49°34'15"E
PIPE 16	8" PVC	0.50%	32.00	N49°34'15"E
PIPE 17	8" PVC	0.50%	32.00	N49°34'15"E
PIPE 18	8" PVC	0.50%	32.00	N49°34'15"E
PIPE 19	8" PVC	0.50%	32.00	N49°34'15"E
PIPE 20	6" PVC	0.50%	22.63	N04°34'15"E
PIPE 21	6" PVC	0.50%	22.63	N04°34'15"E
PIPE 22	6" PVC	0.50%	22.63	N04°34'15"E
PIPE 23	6" PVC	0.50%	22.63	N04°34'15"E
PIPE 24	6" PVC	0.50%	22.63	N04°34'15"E
PIPE 25	6" PVC	0.50%	22.63	N04°34'15"E
PIPE 26	6" PVC	0.50%	22.63	N04°34'15"E

STRUCTURE TABLE

STRUCTURE NAME	STRUCTURE DETAILS	STRUCTURE TYPE	NORTHING & EASTING
FOREBAY 1	RIM = 6823.826 SUMP = ??? PIPE 5 INV IN (18") = 6822.035	FOREBAY	N: 1401097.81 E: 3253175.87
INLET B	RIM = 6825.448 SUMP = 6822.306 PIPE 3 INV IN (18") = 6822.410 PIPE 5 INV OUT (18") = 6822.306	10" TYPE R	N: 1401106.45 E: 3253138.05
INLET C	RIM = 6826.124 SUMP = 6823.710 PIPE 2 (A) INV IN (15") = 6823.810 PIPE 2 (B) INV OUT (15") = 6823.810	TRIPLE DENVER NO. 16	N: 1401241.40 E: 3253167.85
INLET D	RIM = 6826.642 SUMP = 6824.330 PIPE 1 (A) INV IN (15") = 6824.430 PIPE 1 (B) INV OUT (15") = 6824.430	TRIPLE DENVER NO. 16	N: 1401311.94 E: 3253250.65
MH 1	RIM = 6826.040 SUMP = 6822.992 PIPE 2 INV IN (15") = 6823.240 PIPE 13 INV IN (8") = 6823.826 PIPE 3 INV OUT (18") = 6822.992	4" STM MH	N: 1401179.55 E: 3253095.25

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PHONE: (719) 575-0100

LAND DEVELOPMENT
CONSULTANTS, LLC
950 S. CHERRY ST., SUITE 512
DENVER, CO 80246

OWNER/DEVELOPER:
CIRCLE K

ROCKY MOUNTAINS DIVISION
5500 S. CHERRY STREET, SUITE 100
GREENWOOD VILLAGE, CO 80111
PHONE: (720) 758-6223

SEAL

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC

VICINITY MAP:

PROJECT:
CIRCLE K STORES INC.

CONSTRUCTION DOCUMENTS

HIGHWAY 24 & MERIDIAN ROAD
FALCON, CO

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

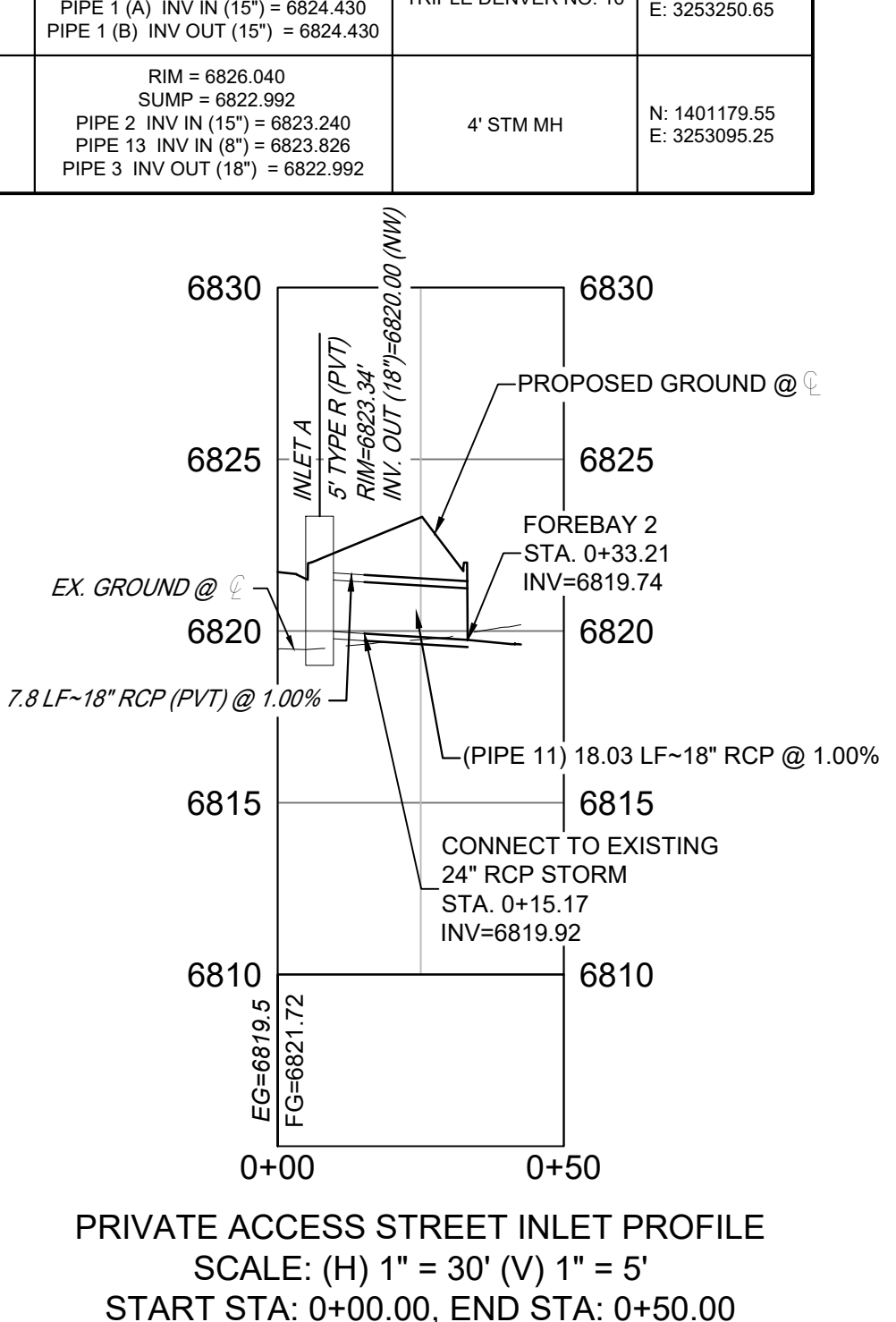
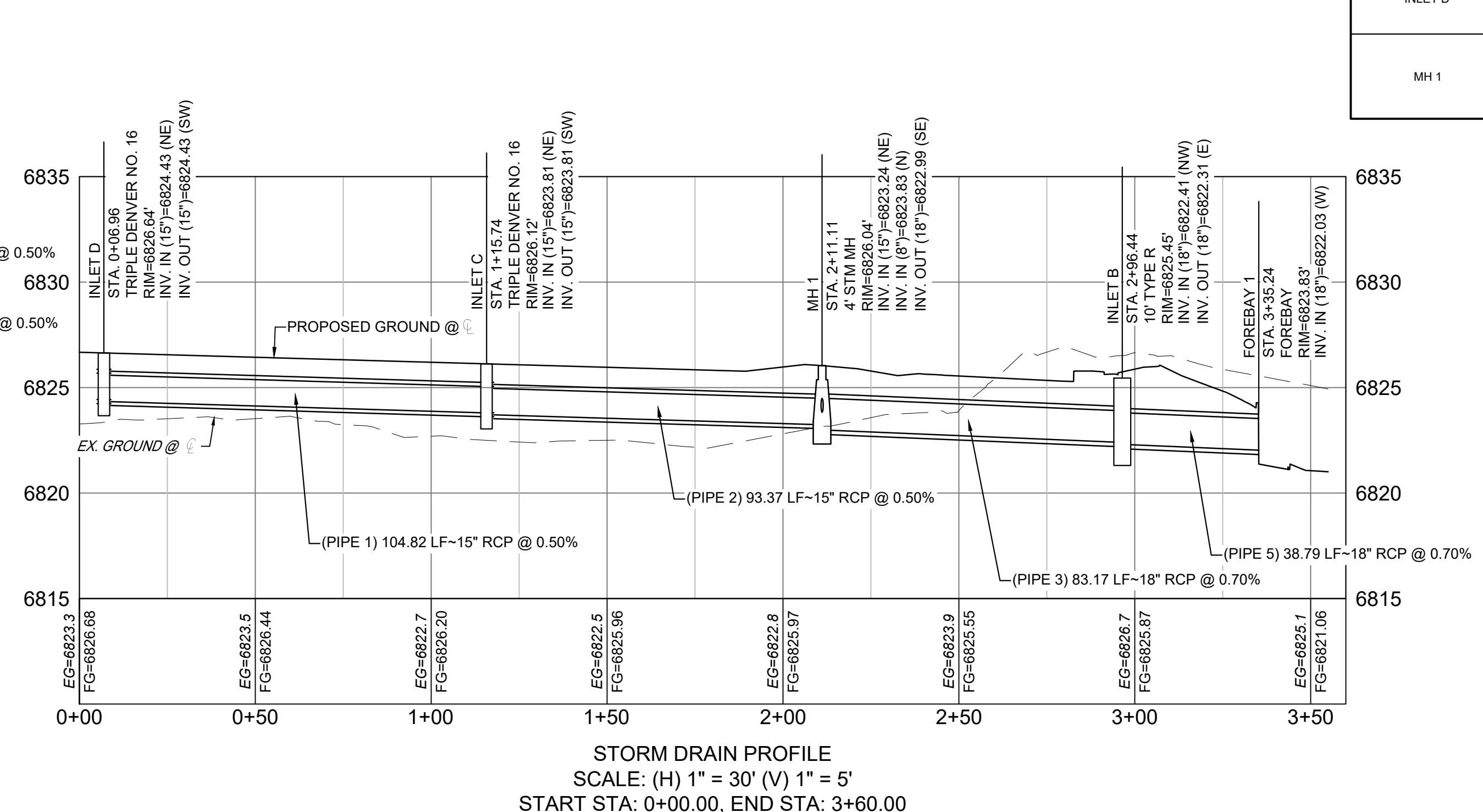
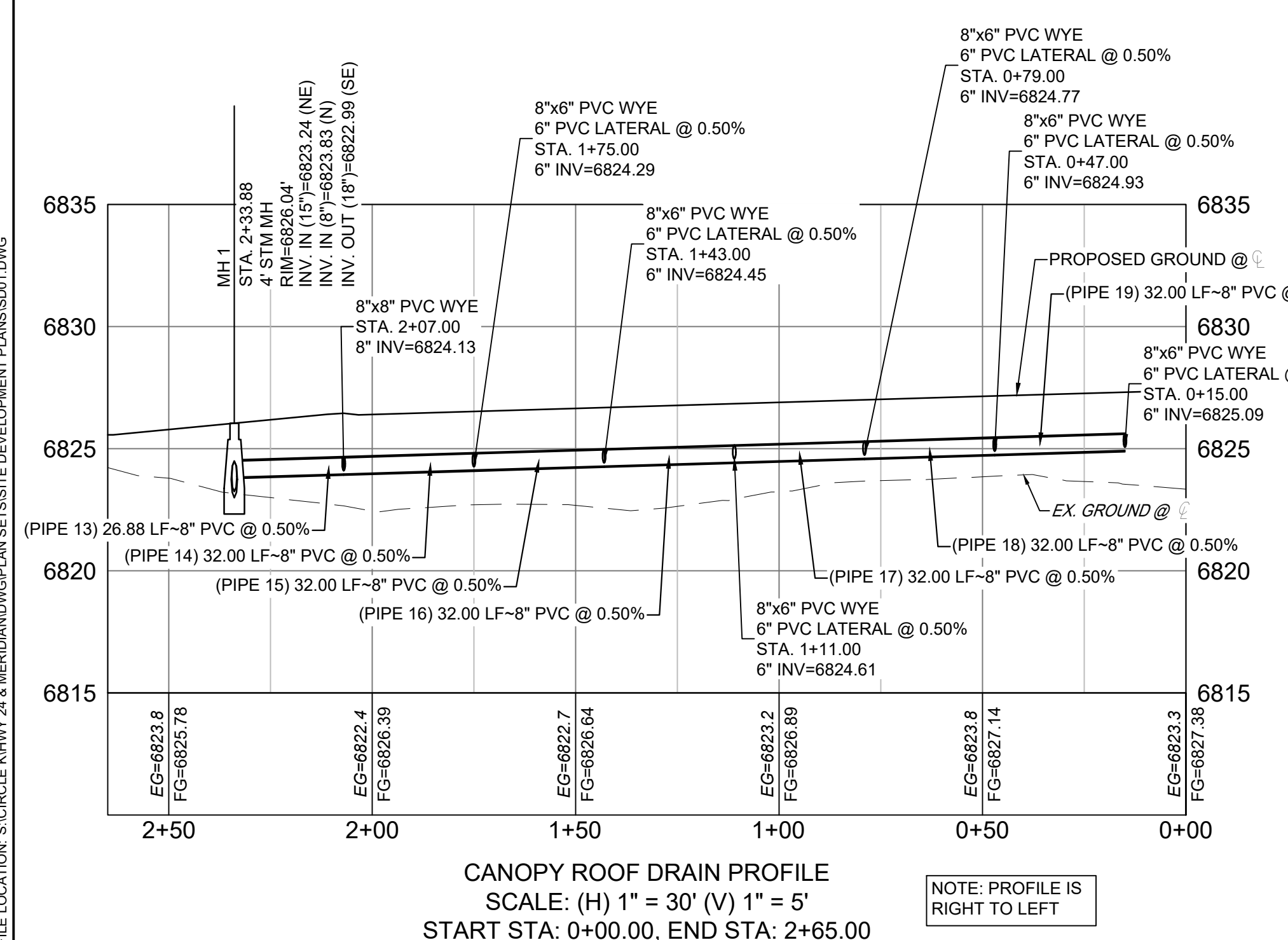
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DRAWN BY: LCB
CHECKED BY: NMS
DESIGNED BY: NMS

SHEET TITLE:

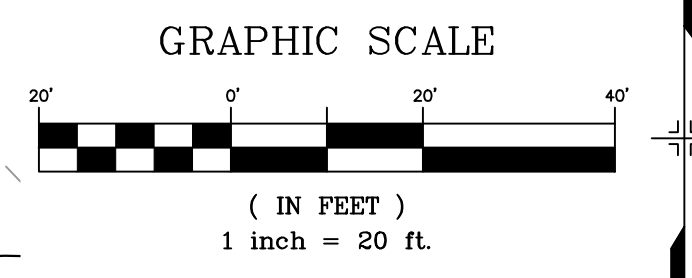
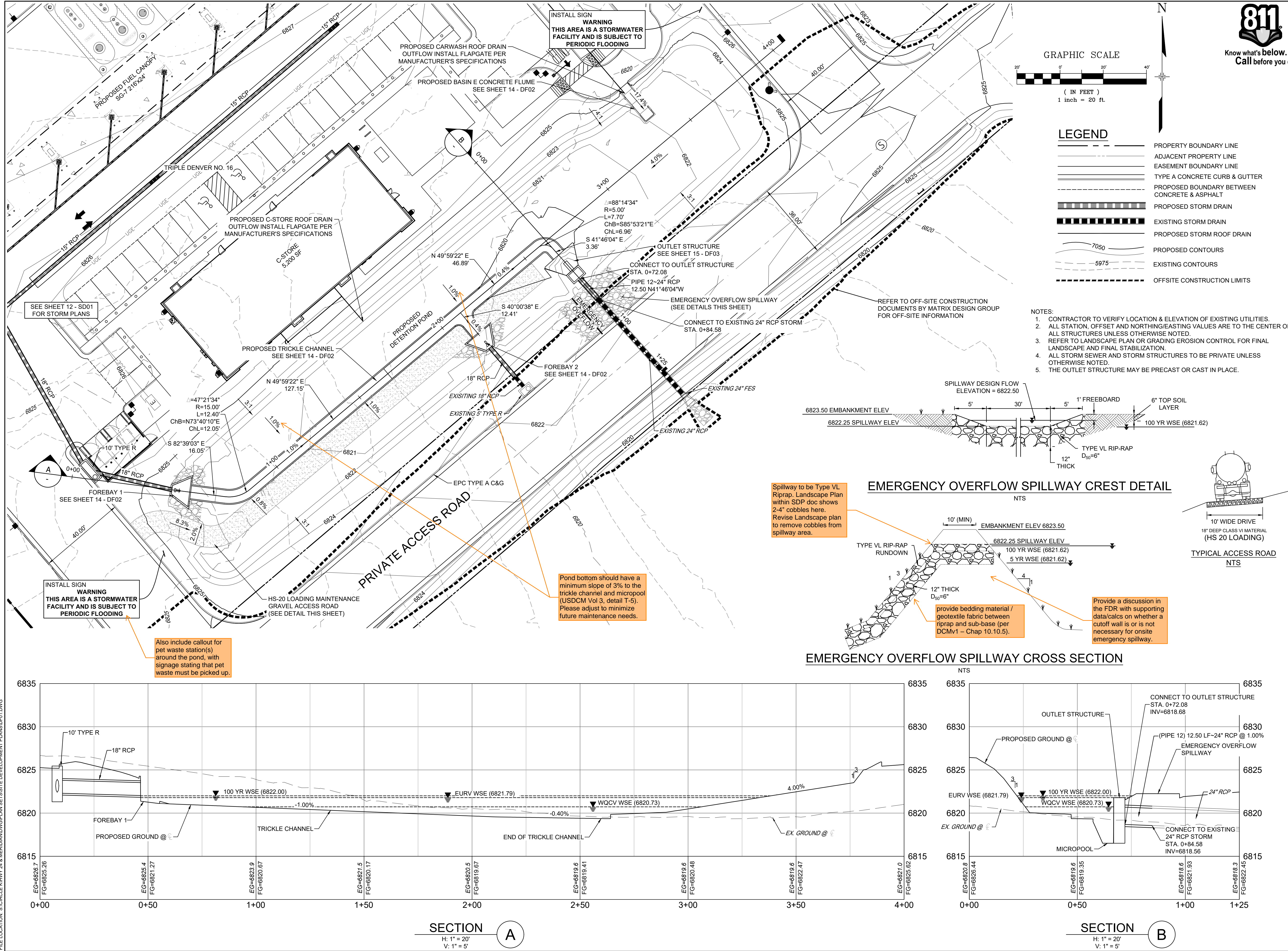
STORM DRAIN PLANS

SHEET 12 OF 17
SD01

ISSUE DATE: MARCH 2022



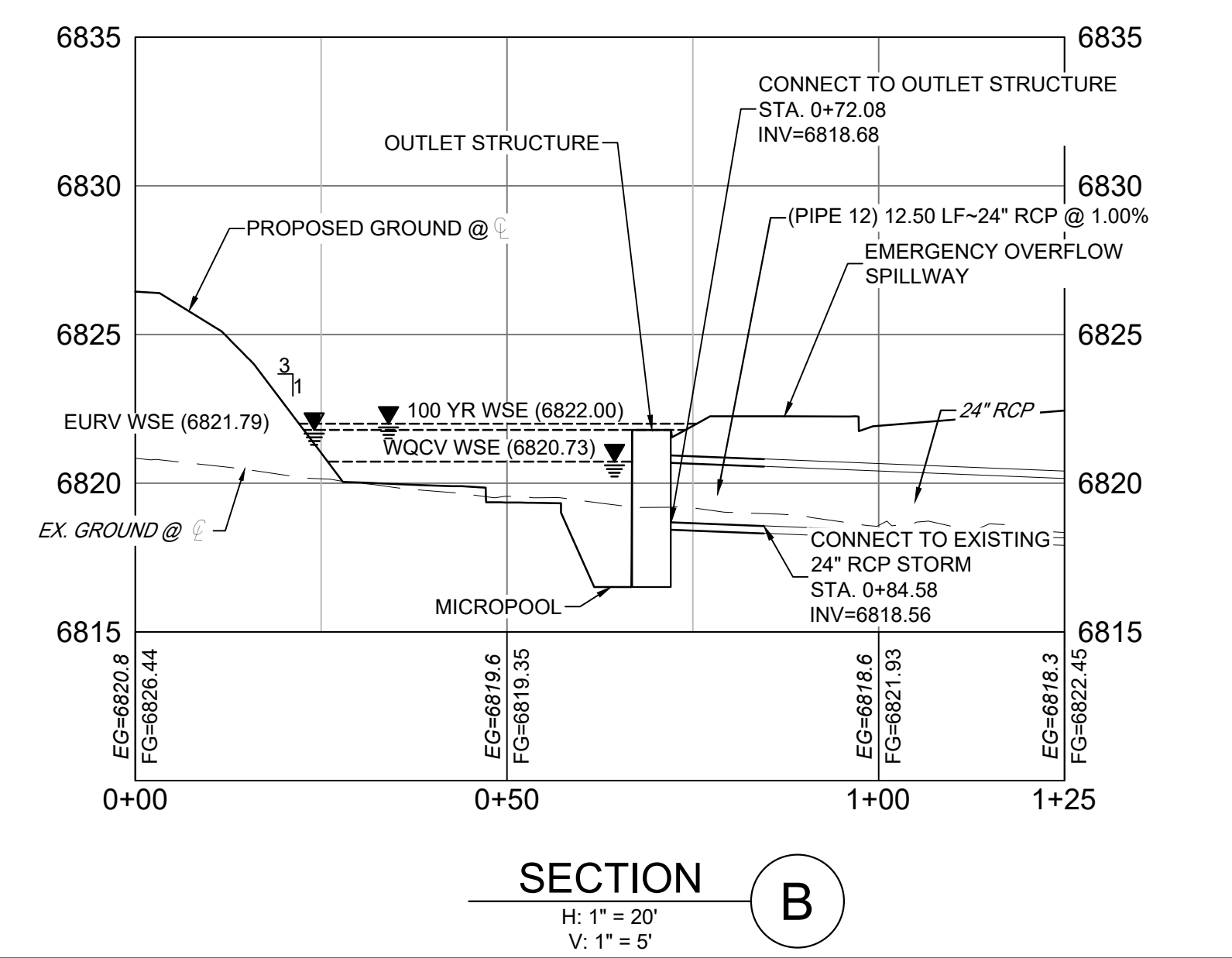
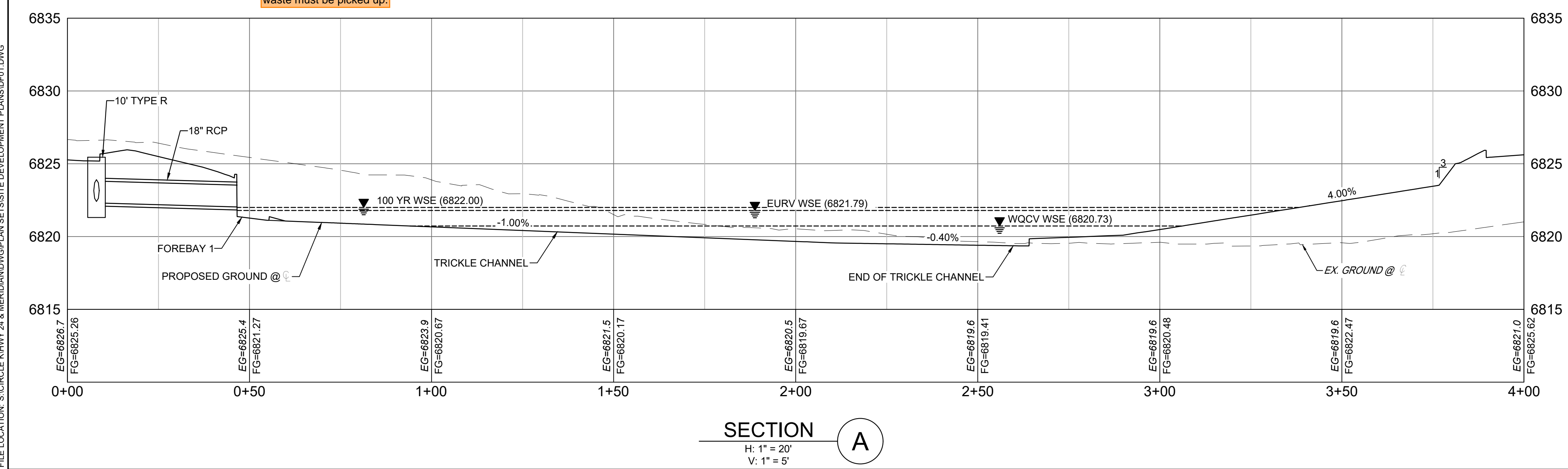
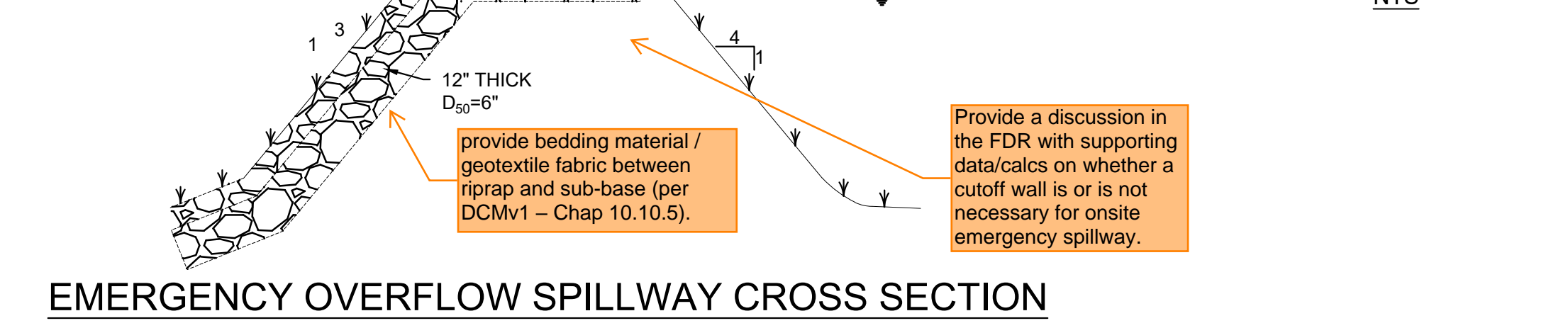
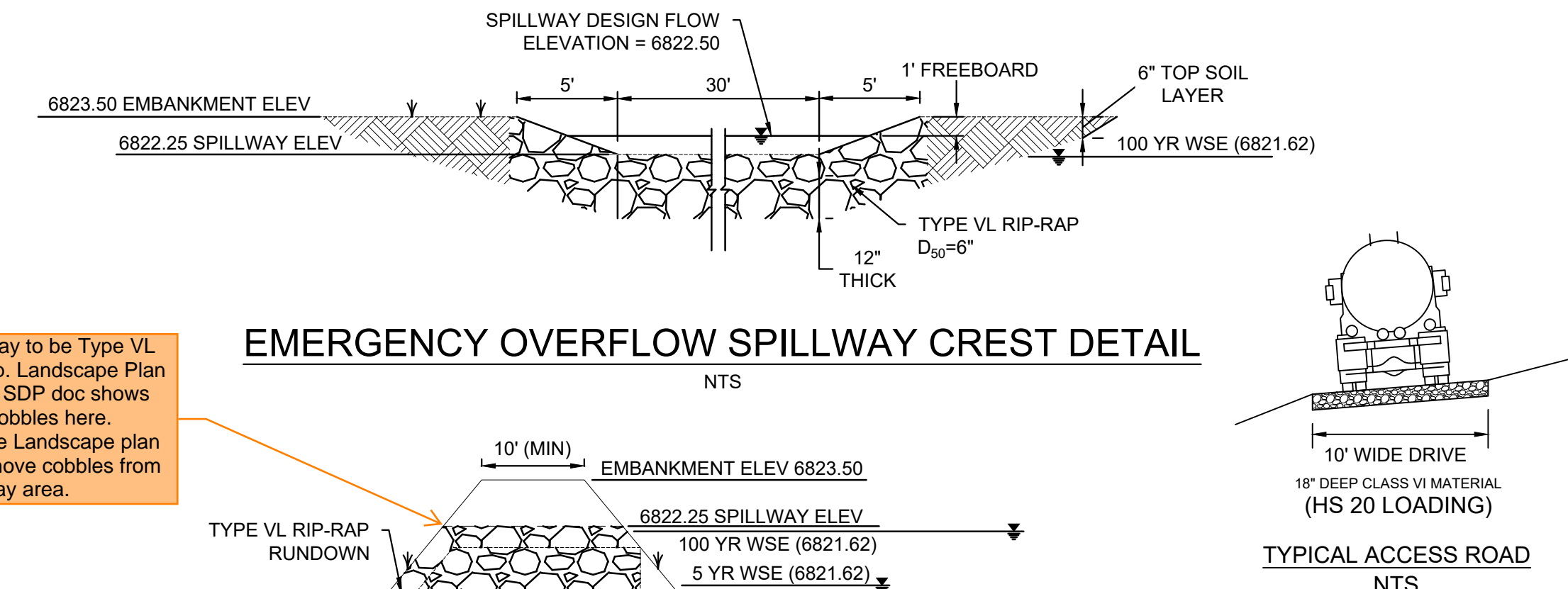
FILE LOCATION: S:\CIRCLE K HWY 24 & MERIDIAN\DWG\PLAN SET\SITE DEVELOPMENT PLANS\SD01.DWG



LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY LINE
- EASEMENT BOUNDARY LINE
- TYPE A CONCRETE CURB & GUTTER
- PROPOSED BOUNDARY BETWEEN CONCRETE & ASPHALT
- PROPOSED STORM DRAIN
- EXISTING STORM DRAIN
- PROPOSED STORM ROOF DRAIN
- PROPOSED CONTOURS
- EXISTING CONTOURS
- OFFSITE CONSTRUCTION LIMITS

- NOTES:**
- CONTRACTOR TO VERIFY LOCATION & ELEVATION OF EXISTING UTILITIES.
 - ALL STATION, OFFSET AND NORTHING/EASTING VALUES ARE TO THE CENTER OF ALL STRUCTURES UNLESS OTHERWISE NOTED.
 - REFER TO LANDSCAPE PLAN OR GRADING EROSION CONTROL FOR FINAL LANDSCAPE AND FINAL STABILIZATION.
 - ALL STORM SEWER AND STORM STRUCTURES TO BE PRIVATE UNLESS OTHERWISE NOTED.
 - THE OUTLET STRUCTURE MAY BE PRECAST OR CAST IN PLACE.



CONSULTANTS:

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2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100

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950 S. CHERRY ST., SUITE 512 DENVER, CO 80246

OWNER/DEVELOPER:

CIRCLE K

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5500 S QUEBEC STREET, SUITE 100 GREENWOOD VILLAGE, CO 80111
PHONE: (720) 758-6223

SEAL

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC

VICINITY MAP:

PROJECT:
CIRCLE K STORES INC.

CONSTRUCTION DOCUMENTS
HIGHWAY 24 & MERIDIAN ROAD
FALCON, CO

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:
PROJECT NO: 21.1207.037
DRAWN BY: LCB
CHECKED BY: NMS
DESIGNED BY: NMS

SHEET TITLE:
POND PLAN

SHEET 13 OF 17
DF01

ISSUE DATE: MARCH 2022

FILE LOCATION: S:\CIRCLE K HWY 24 & MERIDIAN\DWG\PLAN\SET SITE DEVELOPMENT\PLANS\DF01.DWG



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2435 RESEARCH PARKWAY, SUITE
300 COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100



LAND DEVELOPMENT
CONSULTANTS, LLC

950 S. CHERRY ST., SUITE 512
DENVER, CO 80246

OWNER/DEVELOPER:

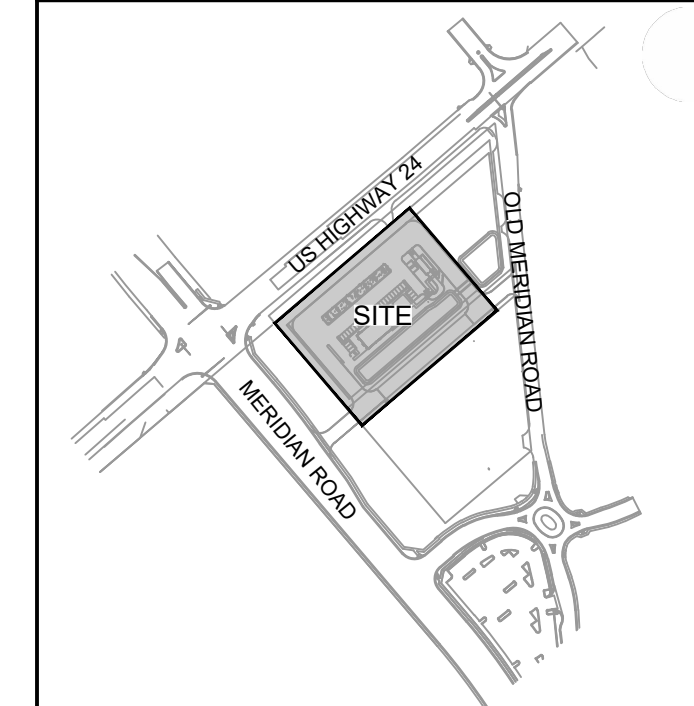


ROCKY MOUNTAINS DIVISION
5500 S QUEBEC STREET, SUITE 100
GREENWOOD VILLAGE, CO 80111
PHONE: (720) 758-6223

SEAL

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC

VICINITY MAP:



PROJECT:

CIRCLE K STORES INC.

CONSTRUCTION DOCUMENTS

HIGHWAY 24 & MERIDIAN ROAD
FALCON, CO

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO: 21.1207.037

DRAWN BY: LCB

CHECKED BY: NMS

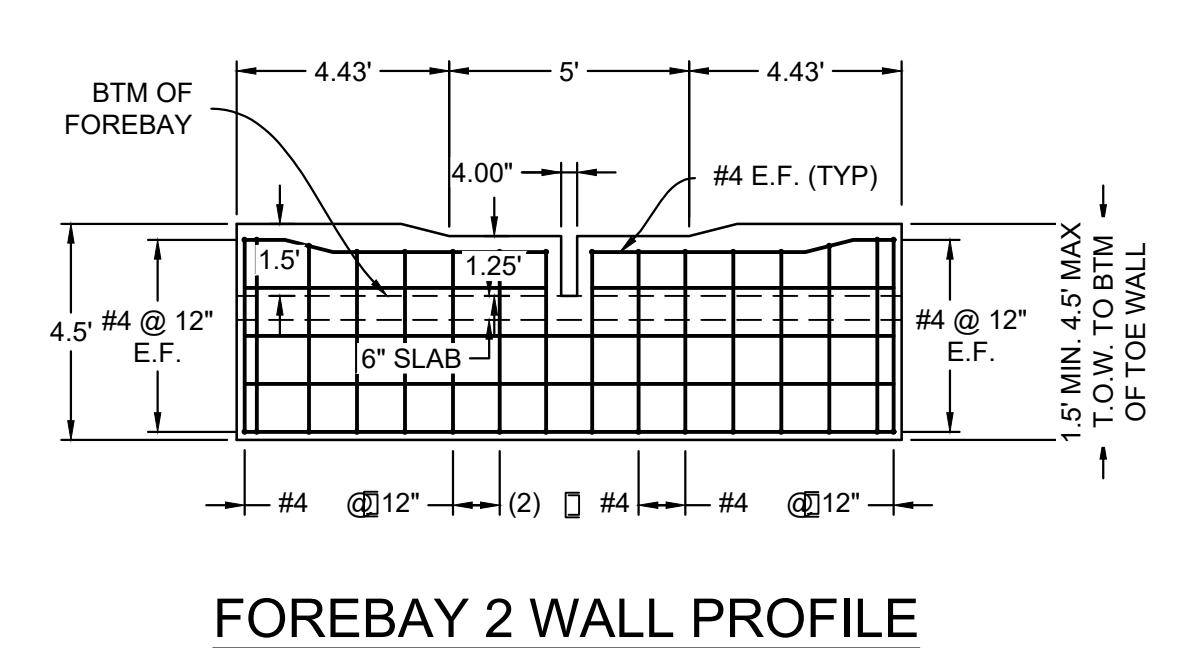
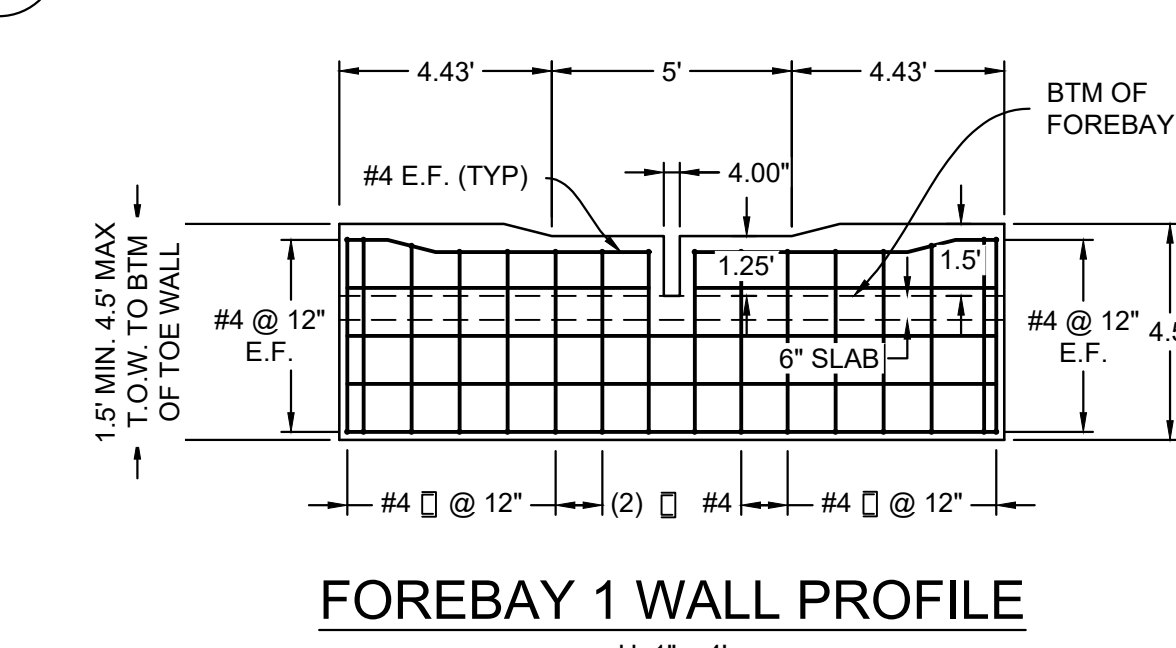
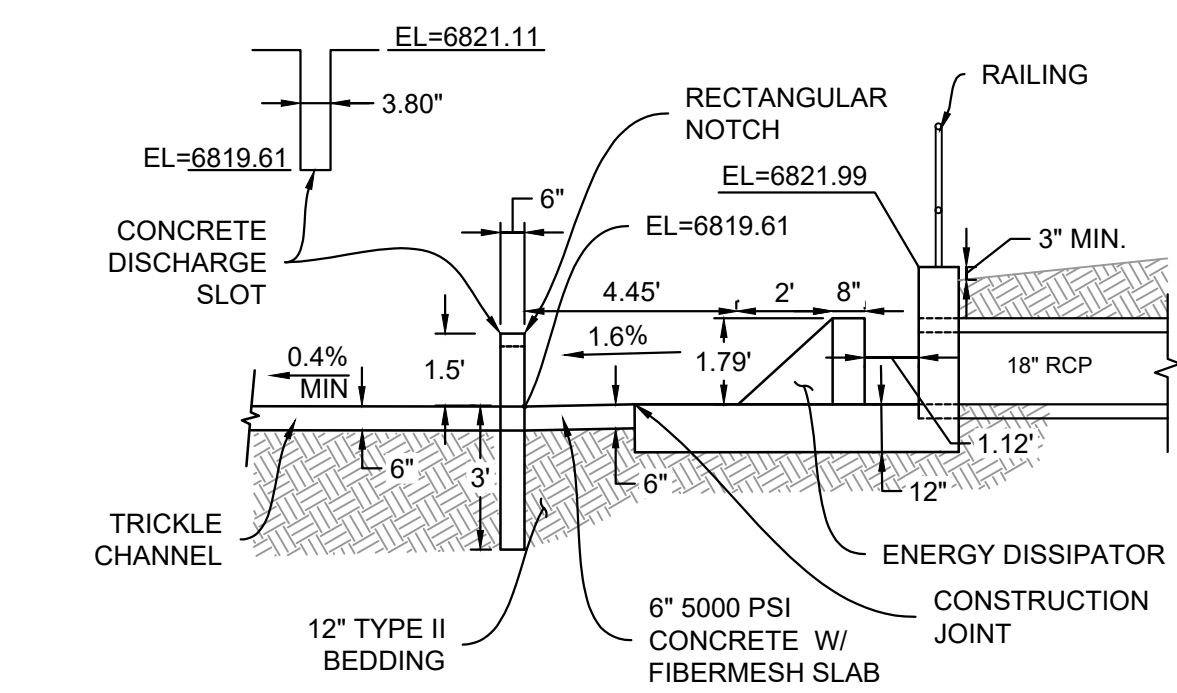
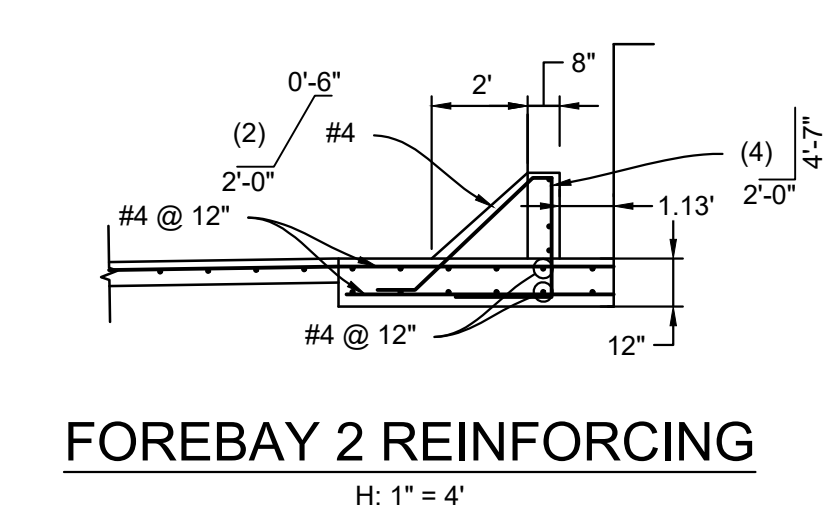
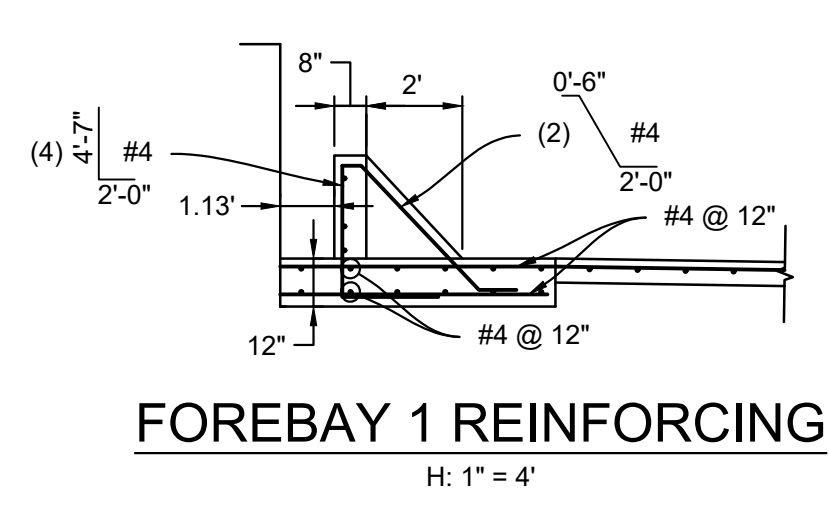
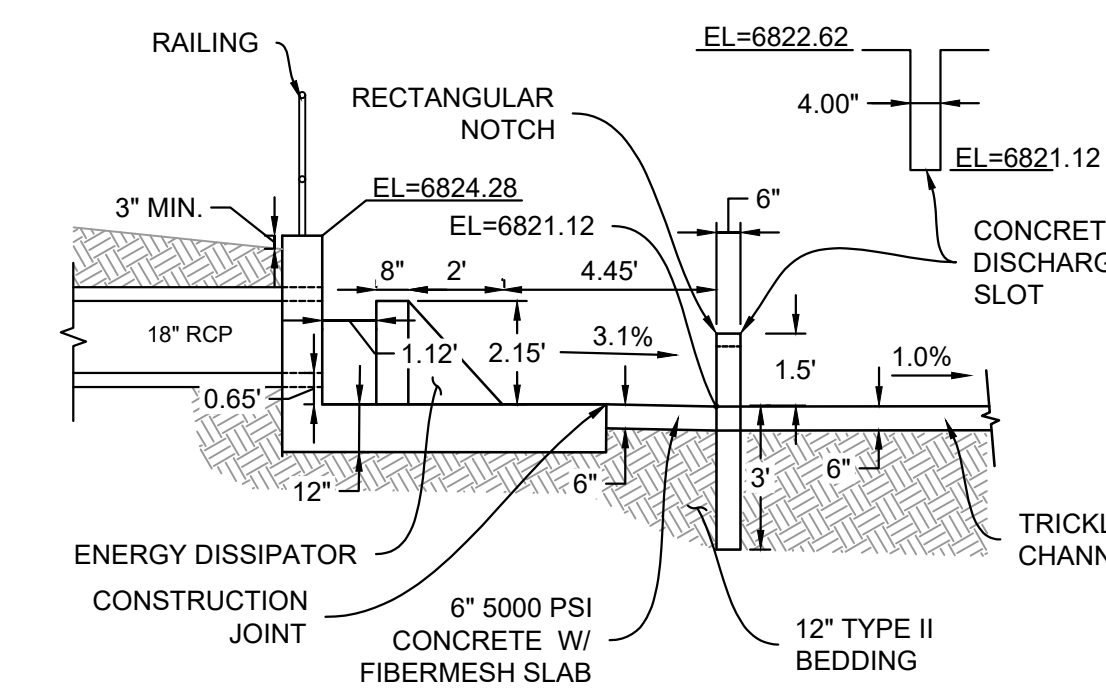
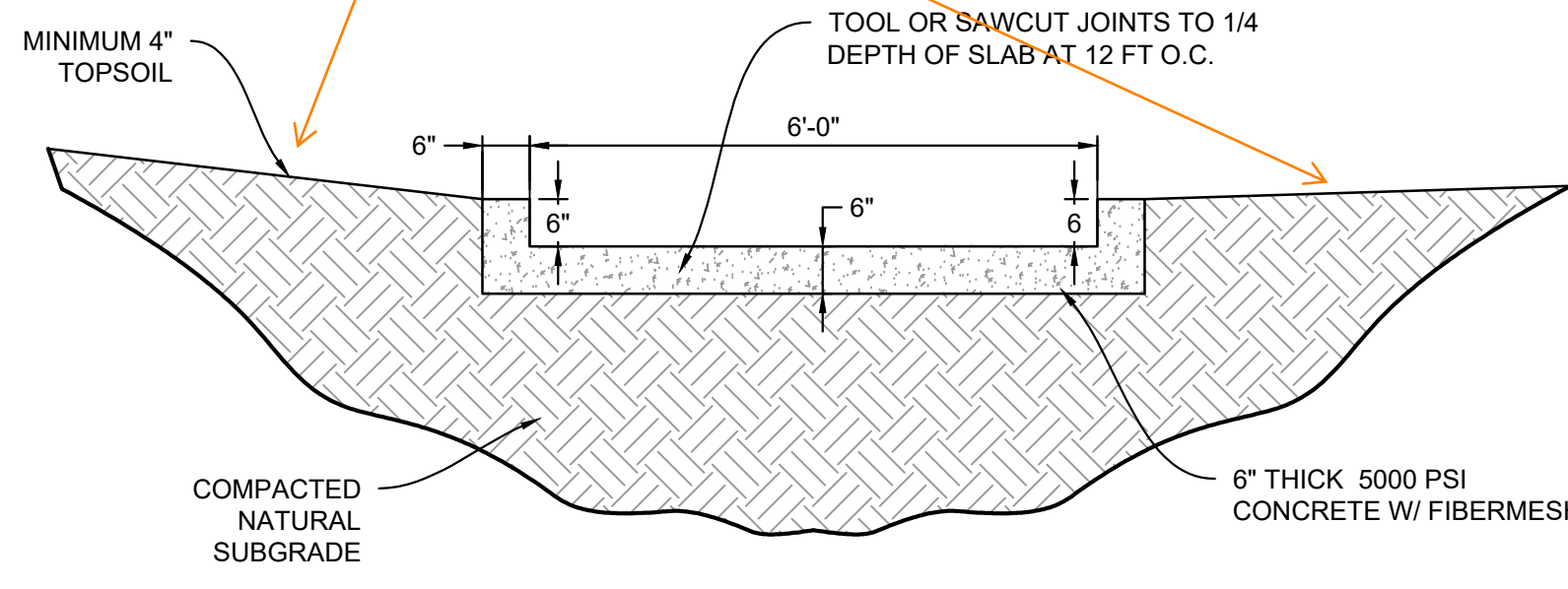
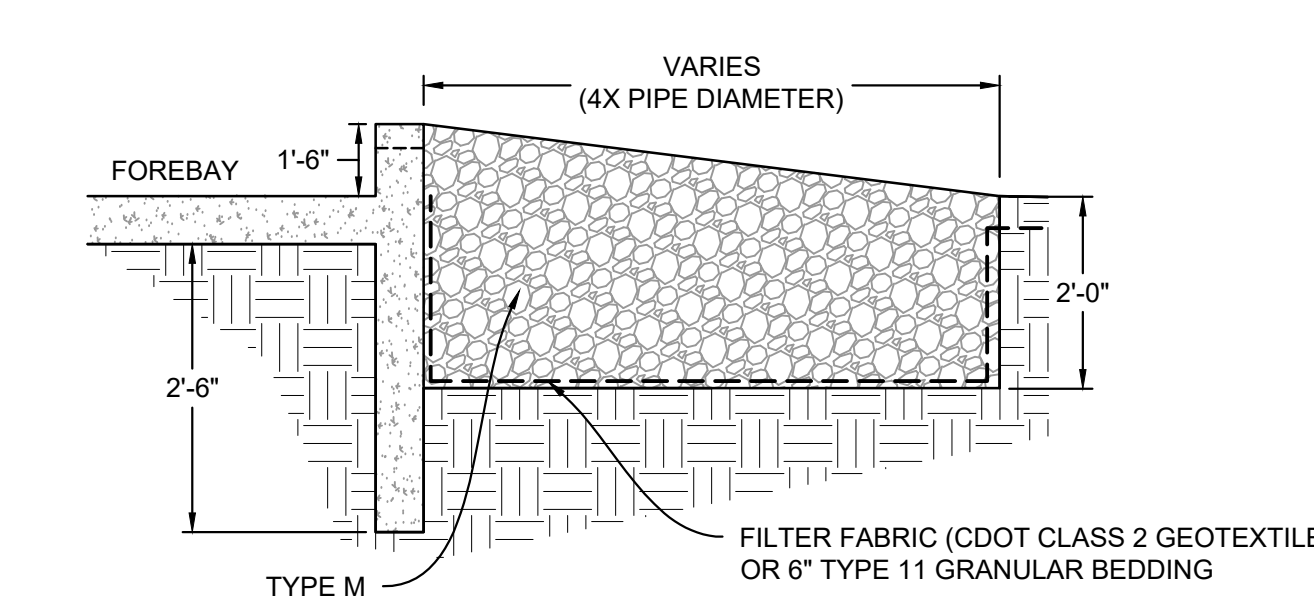
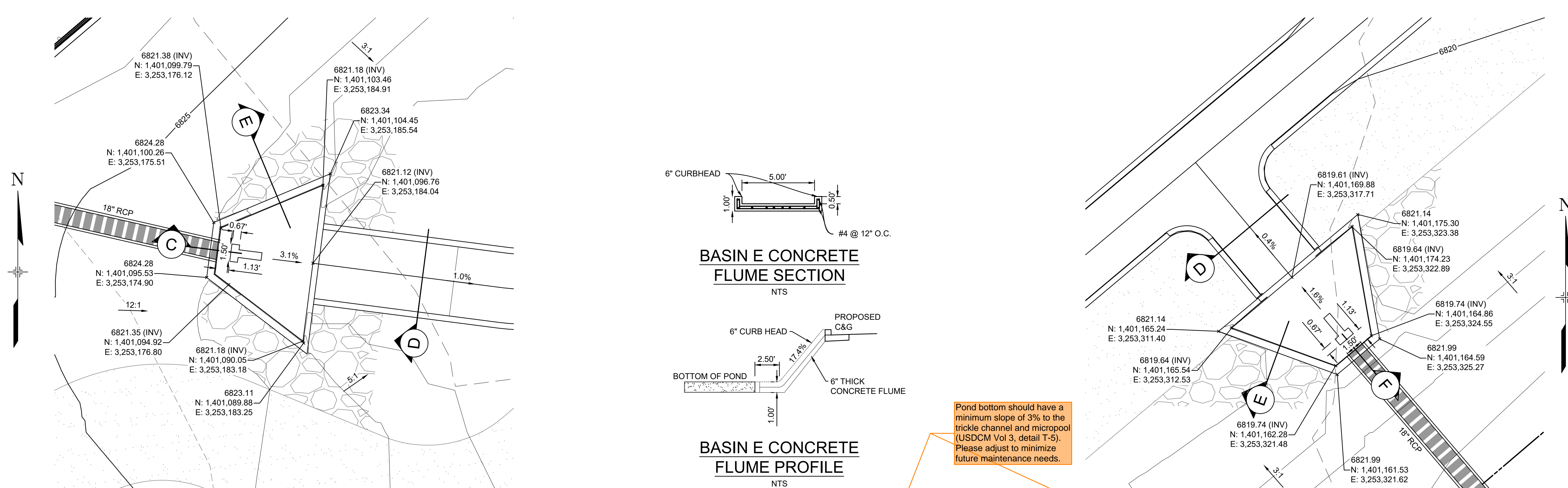
DESIGNED BY: NMS

SHEET TITLE:

POND DETAILS

SHEET 14 OF 17
DF02

ISSUE DATE: MARCH 2022



FILE LOCATION: S:\CIRCLE K HWY 24 & MERIDIAN\DWG\PLAN\SET\SITE DEVELOPMENT\PLANS\DF01.DWG



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LAND DEVELOPMENT
CONSULTANTS, LLC

950 S. CHERRY ST., SUITE 512
DENVER, CO 80246

OWNER/DEVELOPER:

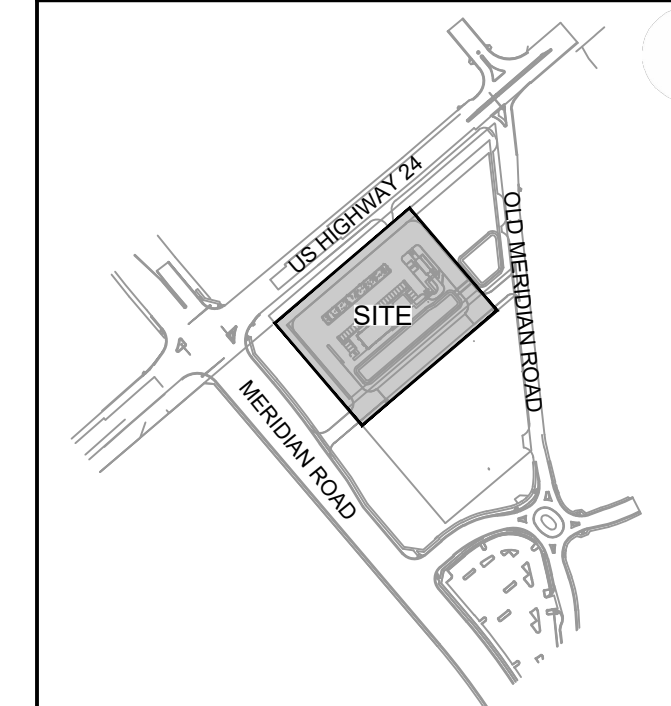


ROCKY MOUNTAINS DIVISION
5500 S. QUEBEC STREET, SUITE 100
GREENWOOD VILLAGE, CO 80111
PHONE: (720) 758-6223

SEAL

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC

VICINITY MAP:



PROJECT:

CIRCLE K STORES INC.

CONSTRUCTION DOCUMENTS

HIGHWAY 24 & MERIDIAN ROAD
FALCON, CO

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO: 21.1207.037

DRAWN BY: LCB

CHECKED BY: NMS

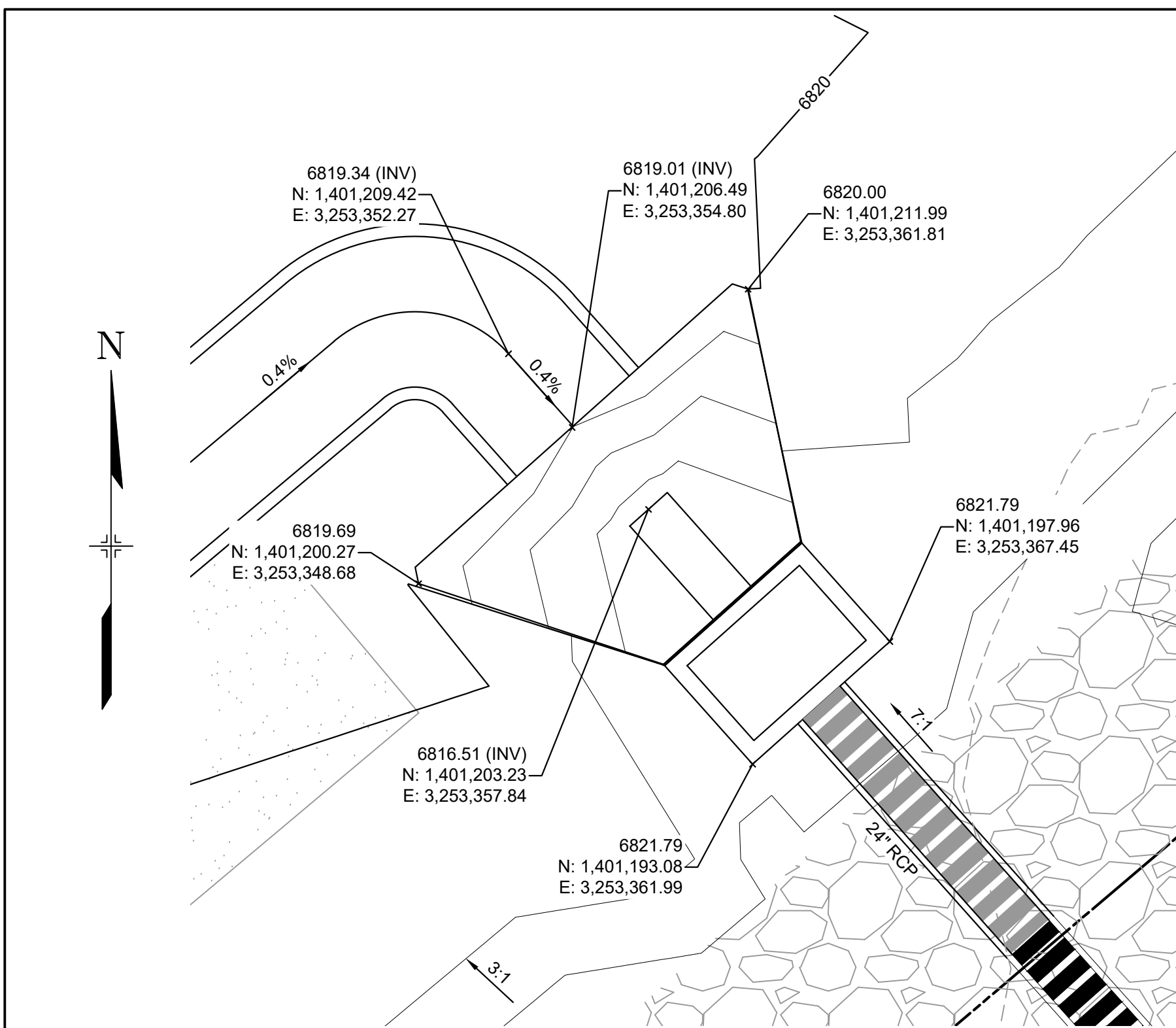
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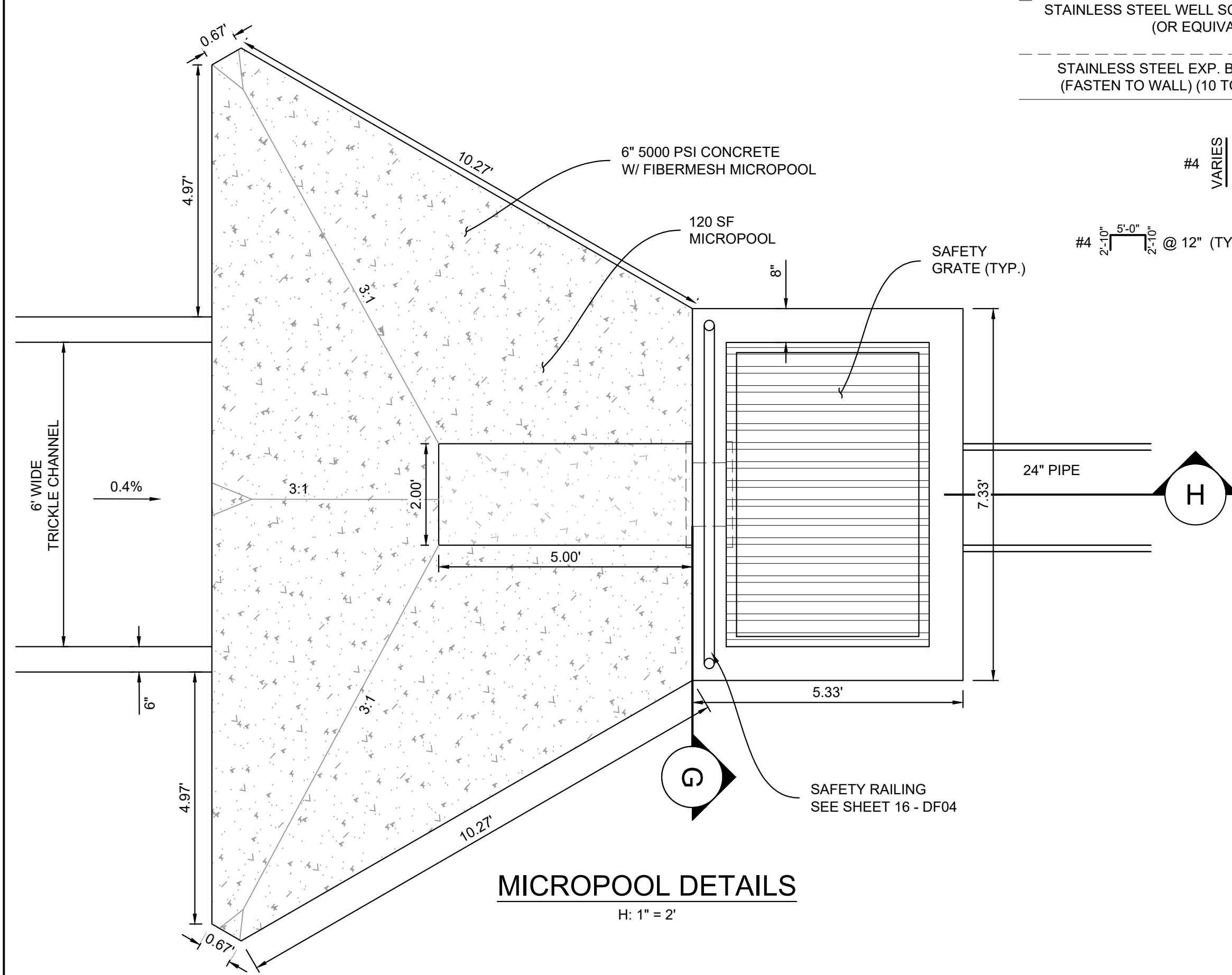
POND DETAILS

SHEET 15 OF 17
DF03

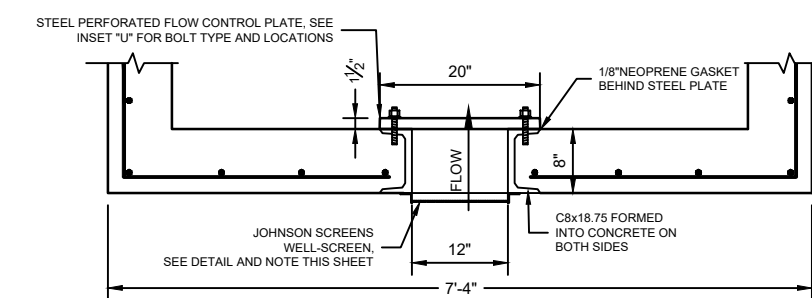
ISSUE DATE: MARCH 2022



OUTLET STRUCTURE
H: 1" = 5'



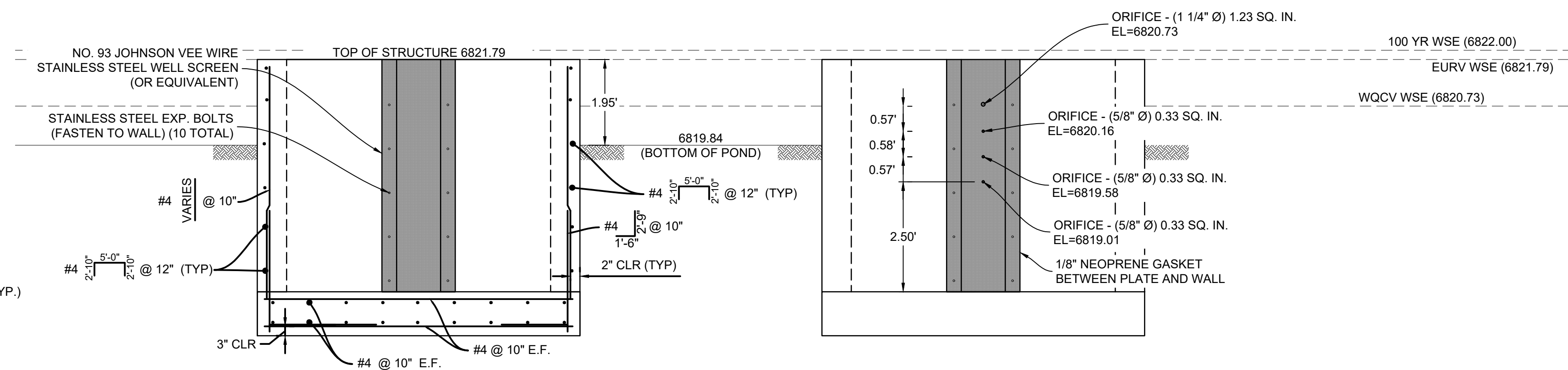
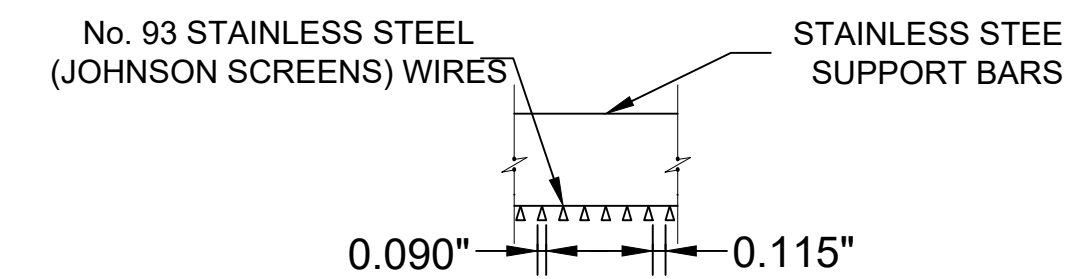
MICROPOOL DETAILS
H: 1" = 2'



OUTLET STRUCTURE AT ORIFICE PLATE DETAILS
H: 1" = 2'

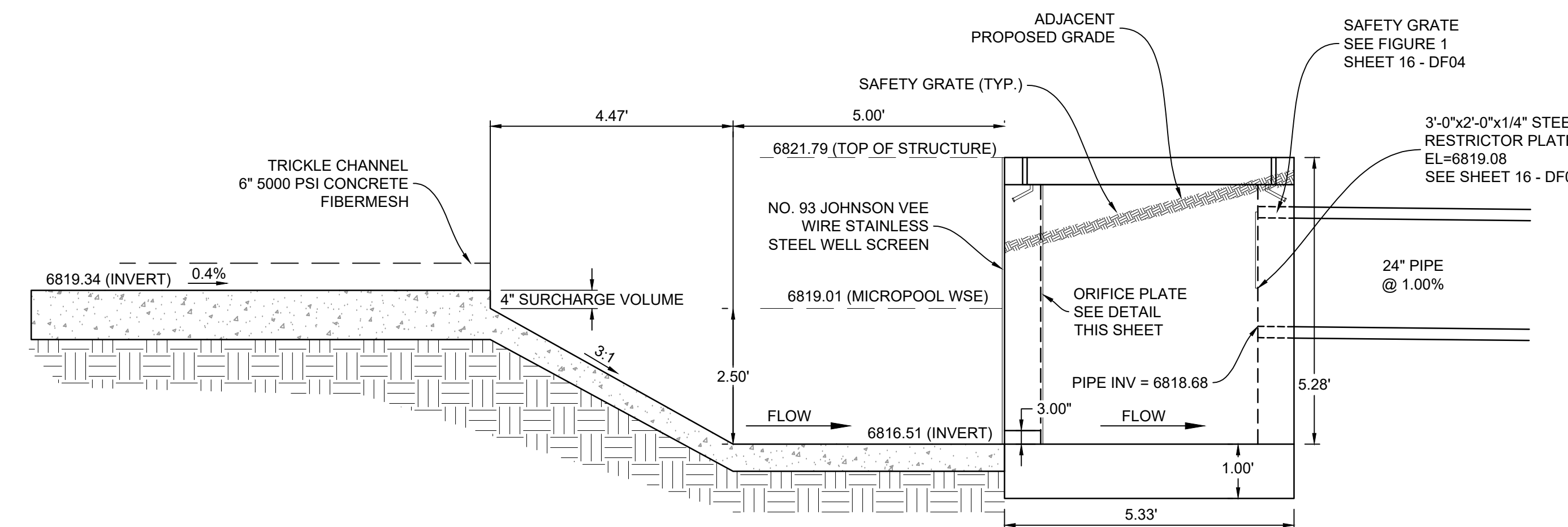
JOHNSON SCREENS STAINLESS STEEL VEE WIRE FILTERS WELL-SCREEN (OR EQUAL)

STRUCTURE	SCREEN #93 VEE WIRE SLOT OPENING	SUPPORT ROD TYPE & SPACING	TOTAL SCREEN THICKNESS	CARBON STEEL FRAME TYPE
OUTLET STRUCTURES	0.139	#156 VEE @ 3/4" O.C.	0.31"	3/8" x 1" BAR



WELL SCREEN DETAILS
H: 1" = 2'

ORIFICE PLATE DETAILS
H: 1" = 2'



SECTION H
NTS

- NOTES:
- ALL CONCRETE SHALL BE CDOT CLASS D; Fc' = 4500 PSI
 - ALL REINFORCING STEEL SHALL BE Fy: 60 KSI
 - CONCRETE COVER FOR STEEL REINFORCING BARS SHALL BE AS FOLLOWS:
CONCRETE PLACED AGAINST EARTH..... 3"
CONCRETE EXPOSED TO EARTH OR WEATHER..... 2"
 - ALL EXPOSED CONCRETE CORNERS SHALL HAVE A MINIMUM 3" CHAMFER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AS RELATED TO SHORING AND PROTECTION OF NEW AND EXISTING STRUCTURES AS NECESSARY TO PREVENT DAMAGE OR COLLAPSE DUE TO WIND, EARTH, CONSTRUCTION OR OTHER LOADS.
 - STRUCTURE EXCAVATION AND BACKFILL SHALL BE IN ACCORDANCE WITH CDOT STANDARD PLAN M-206-1.
 - ALL BEDDING SHALL BE A MINIMUM OF 12" THICK CDOT CLASS 6 COMPACTED TO NOT LESS THAN 95% MAXIMUM DENSITY DETERMINED IN CONFORMANCE WITH AASHTO T 180.
 - INLET STEPS SHALL BE ALUMINUM & CONFORM TO CITY OF COLORADO SPRINGS STANDARD DETAIL D-20D.
 - WINGWALLS AND POND STRUCTURE WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CDOT STANDARD M-601-20



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PHONE: (719) 575-0100

LAND DEVELOPMENT
CONSULTANTS, LLC

950 S. CHERRY ST., SUITE 512
DENVER, CO 80246

OWNER/DEVELOPER:

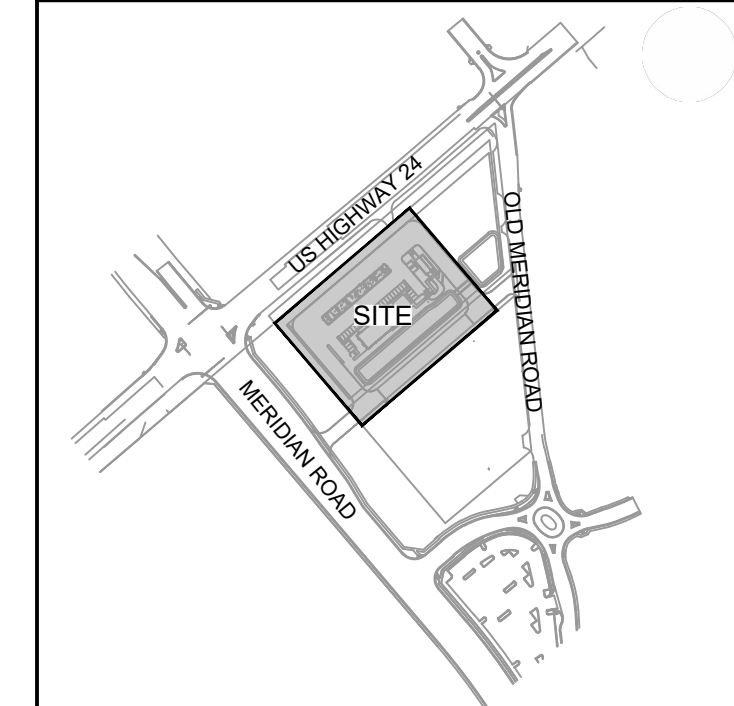


ROCKY MOUNTAINS DIVISION
5500 S. QUEBEC STREET, SUITE 100
GREENWOOD VILLAGE, CO 80111
PHONE: (720) 758-6223

SEAL

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC

VICINITY MAP:



PROJECT:

CIRCLE K STORES INC.

CONSTRUCTION DOCUMENTS

HIGHWAY 24 & MERIDIAN ROAD
FALCON, CO

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO: 21.1207.037

DRAWN BY: LCB

CHECKED BY: NMS

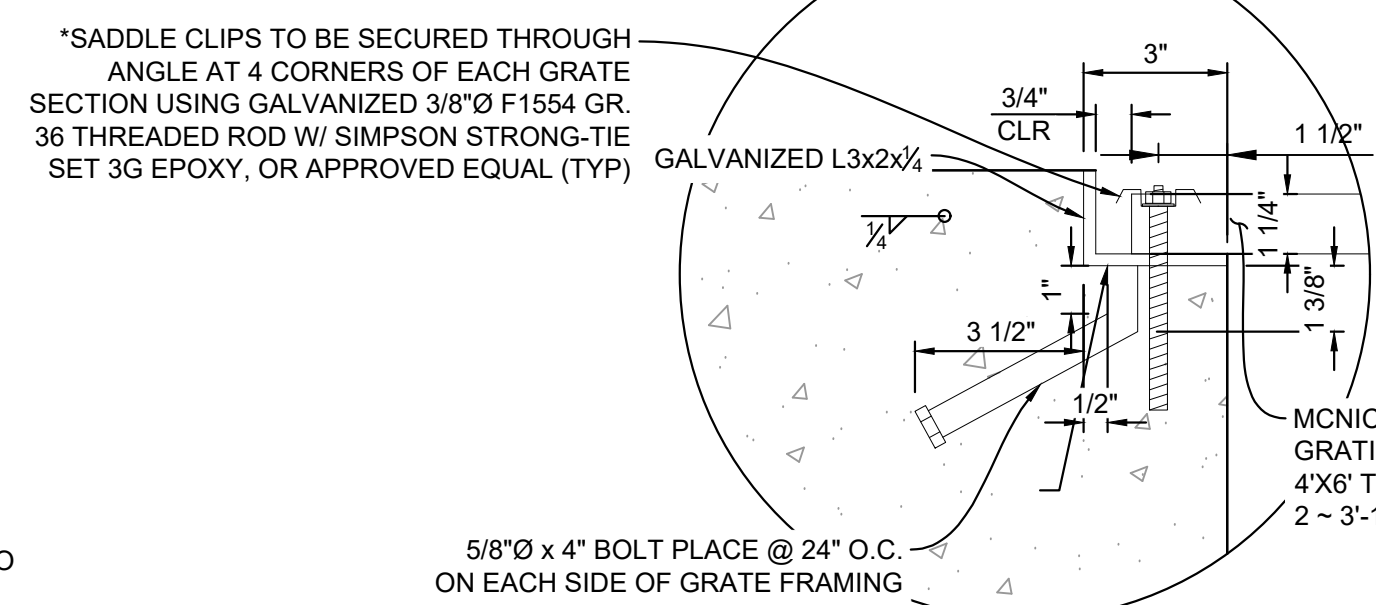
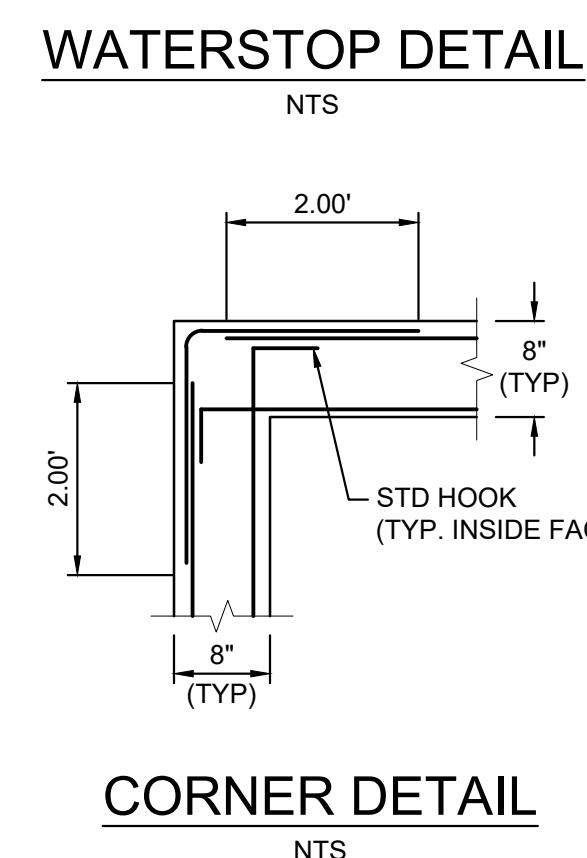
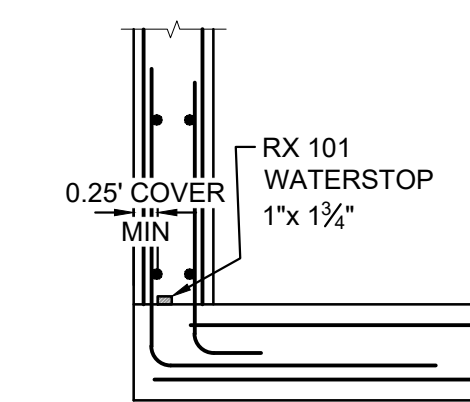
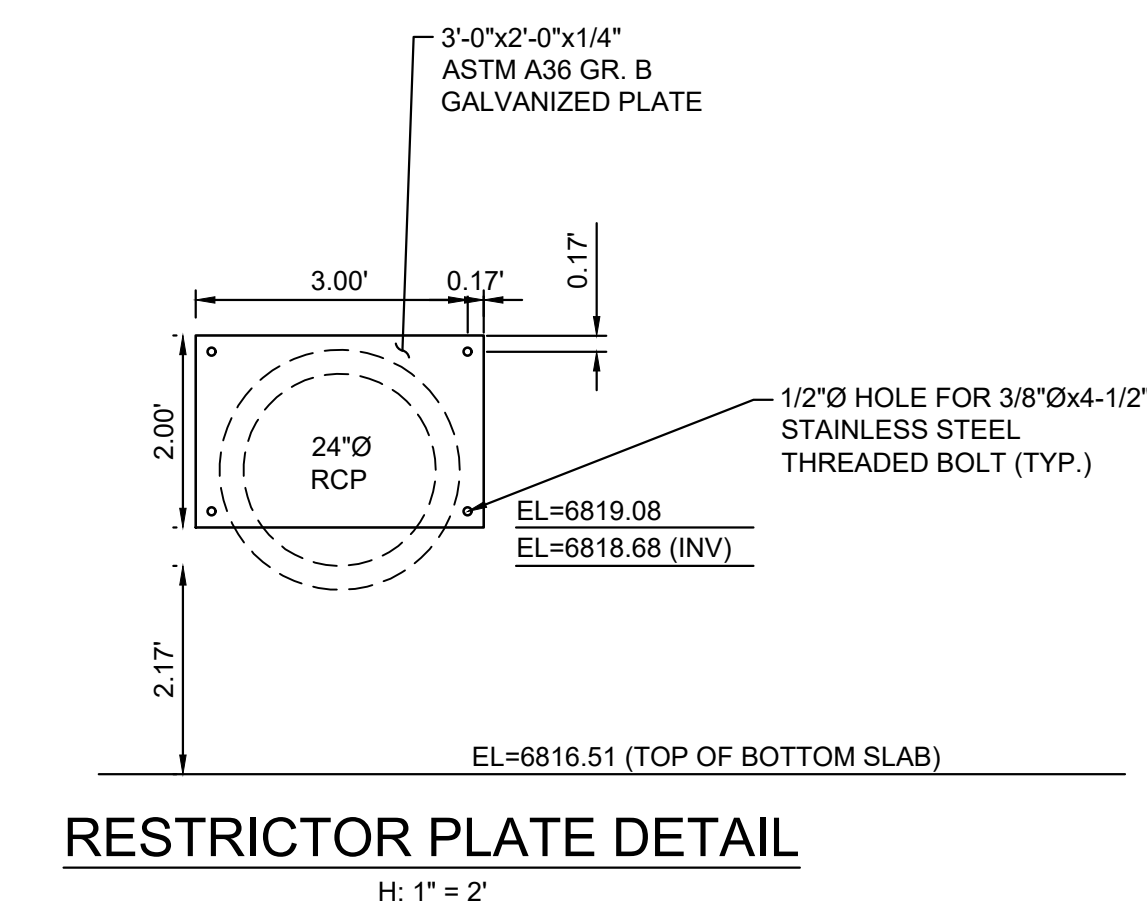
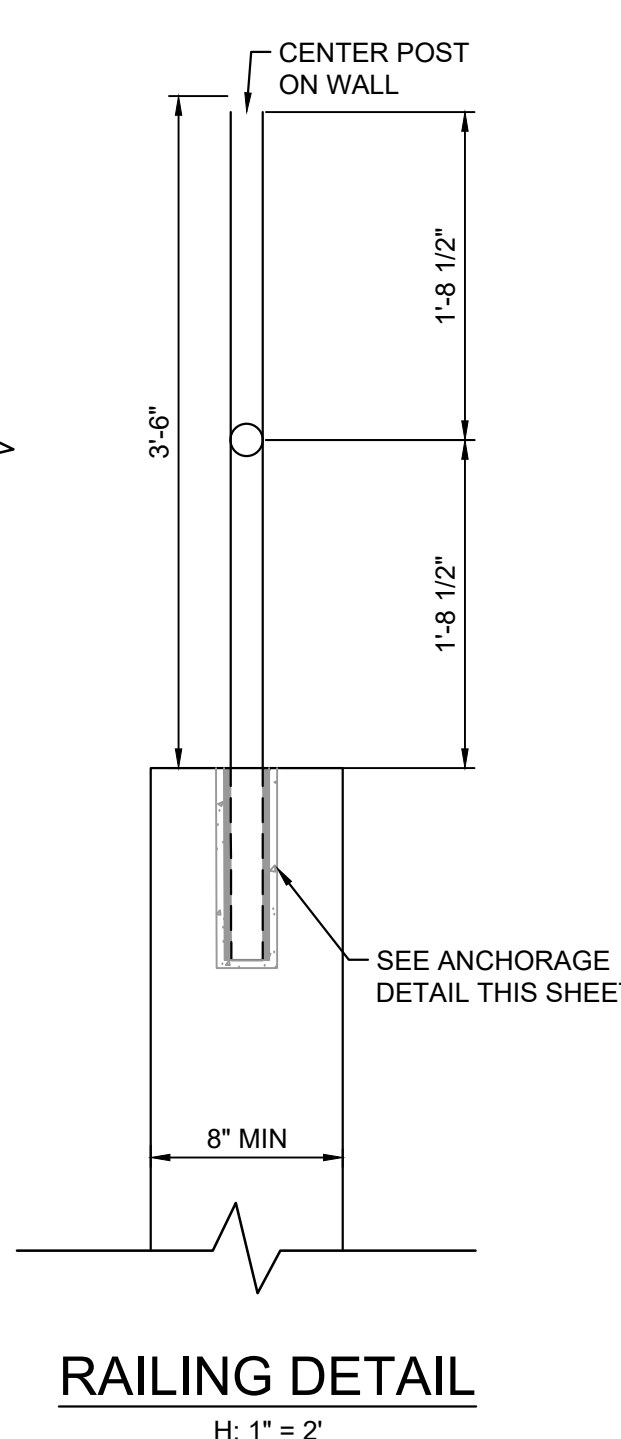
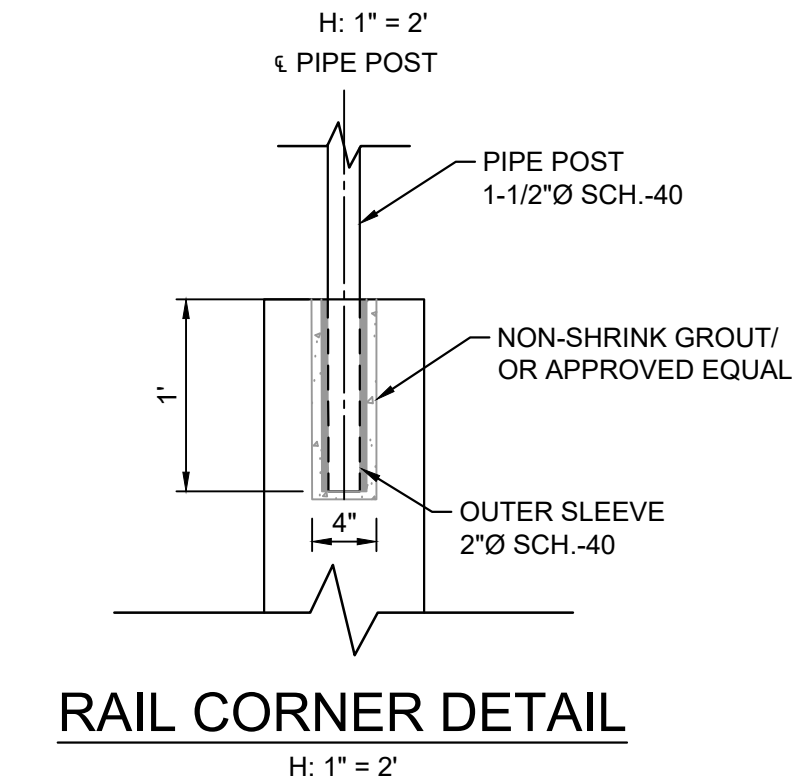
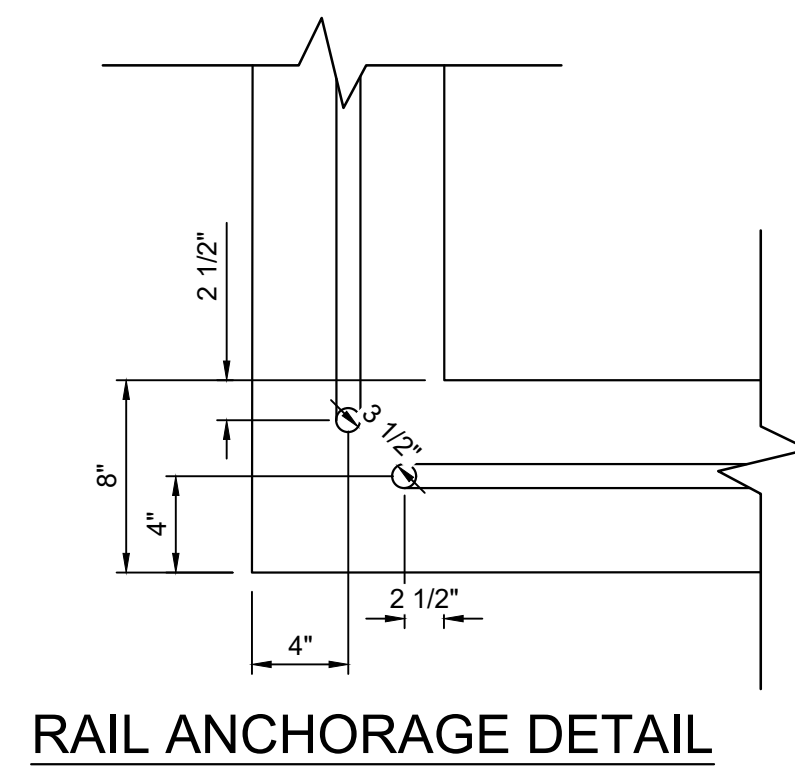
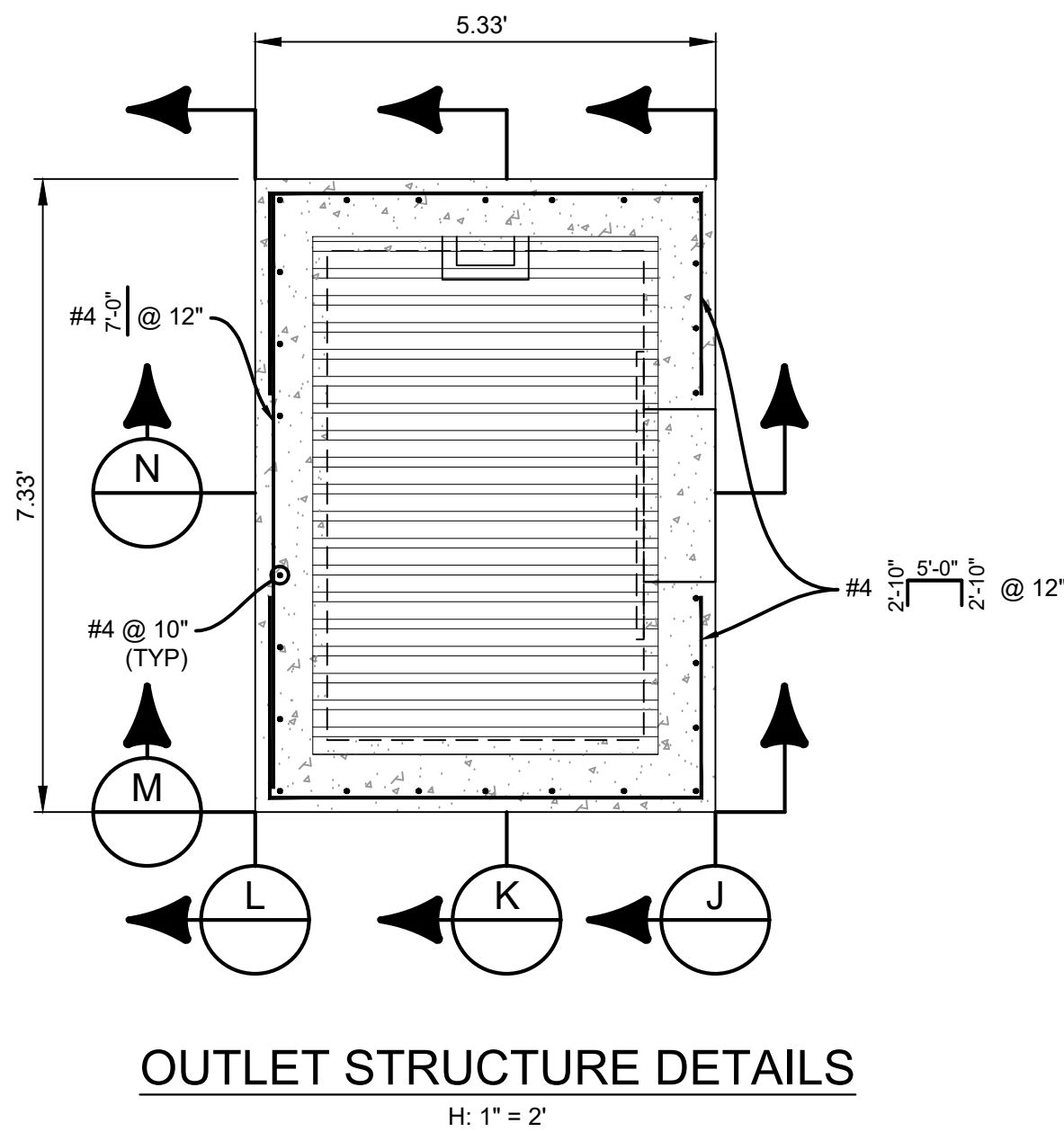
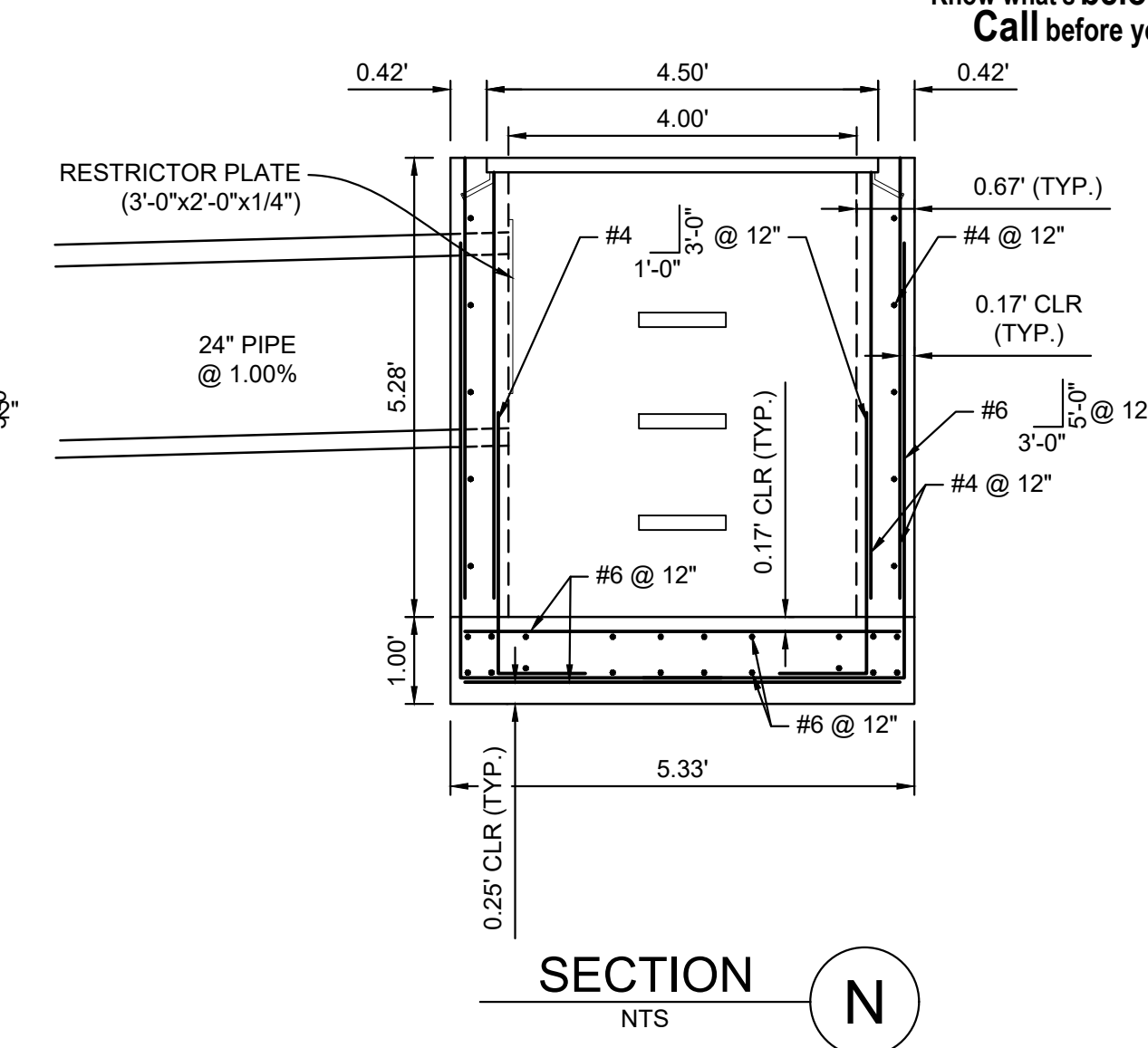
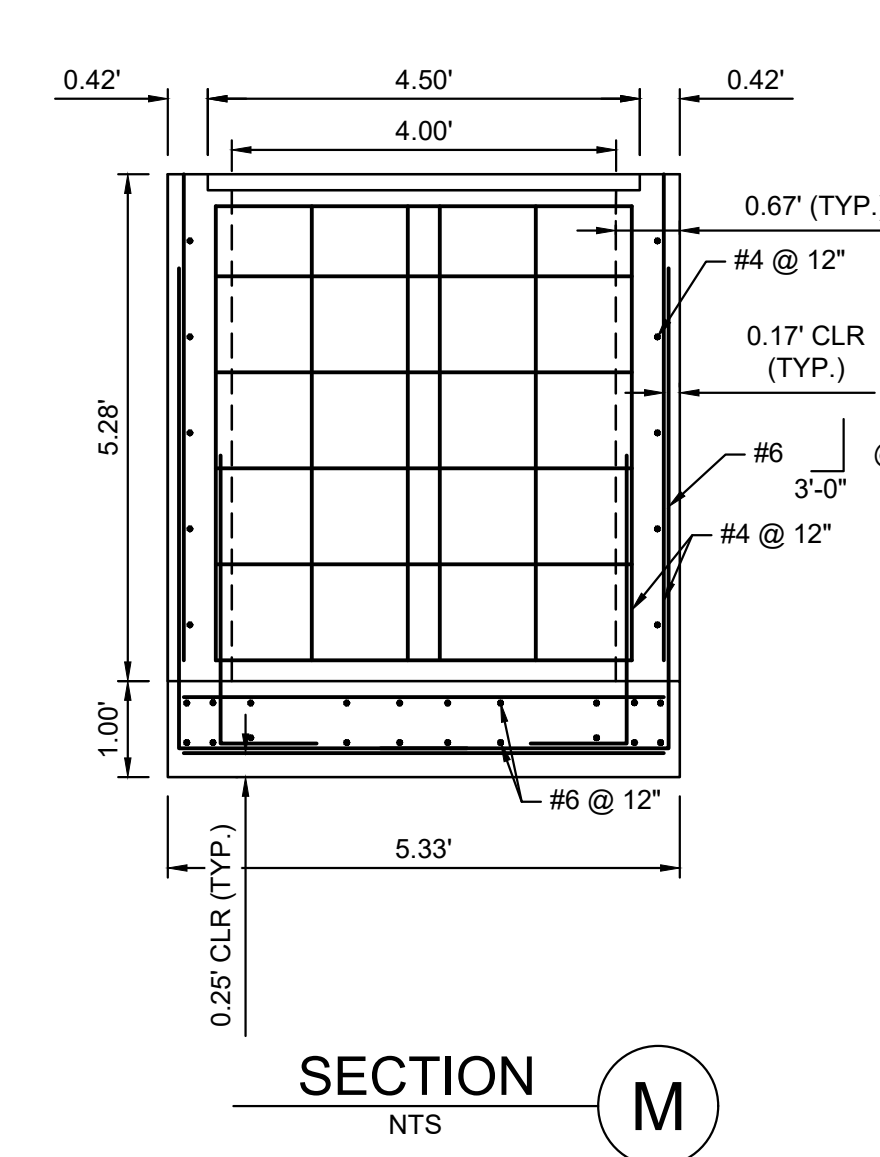
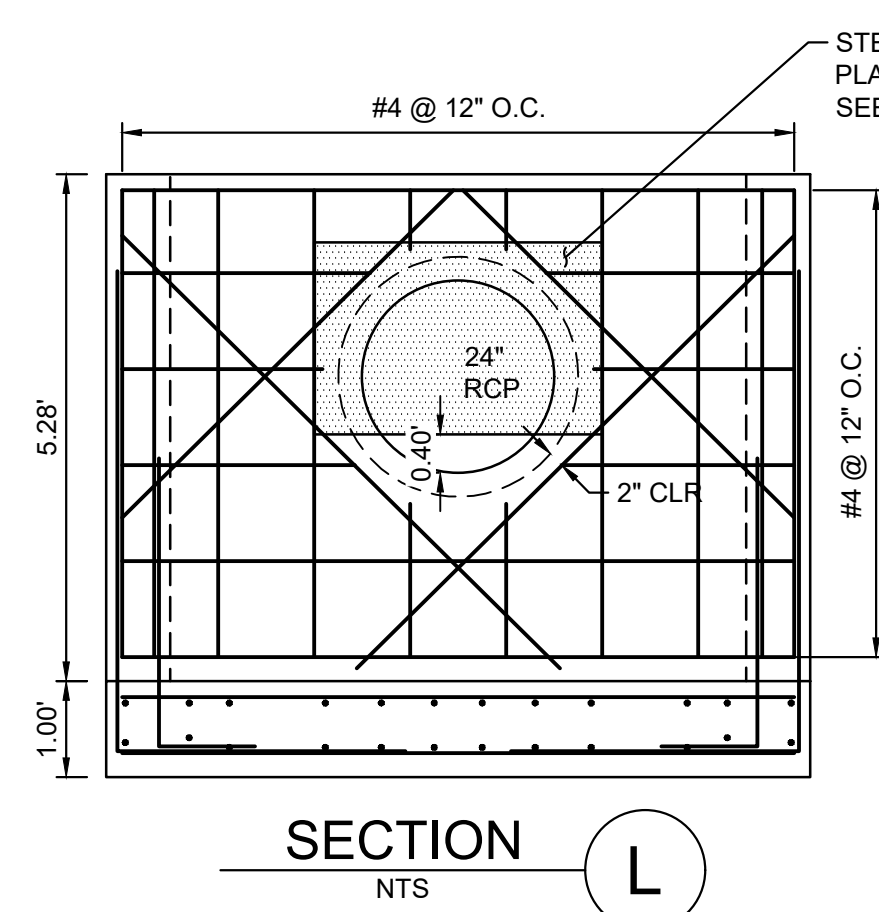
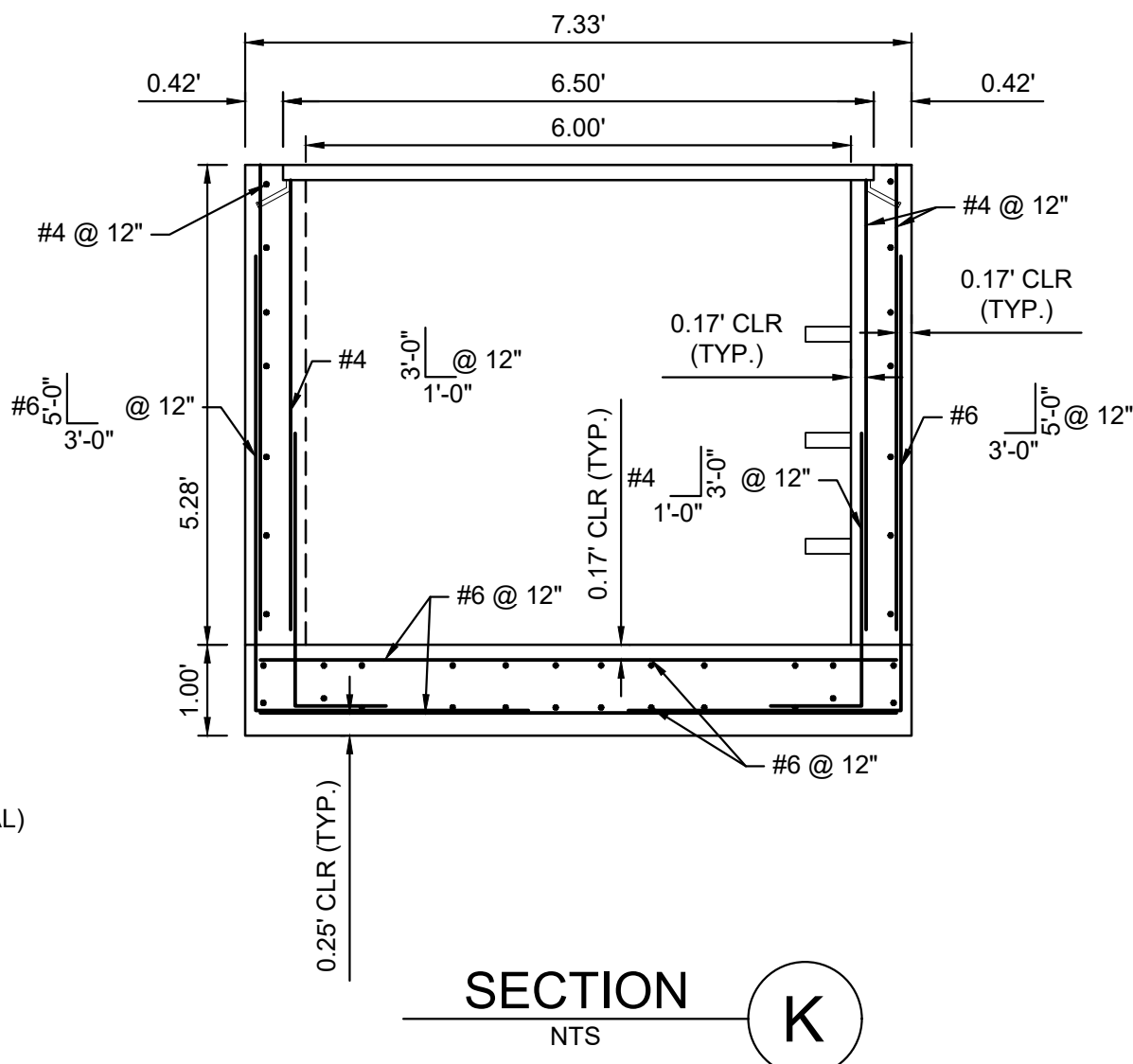
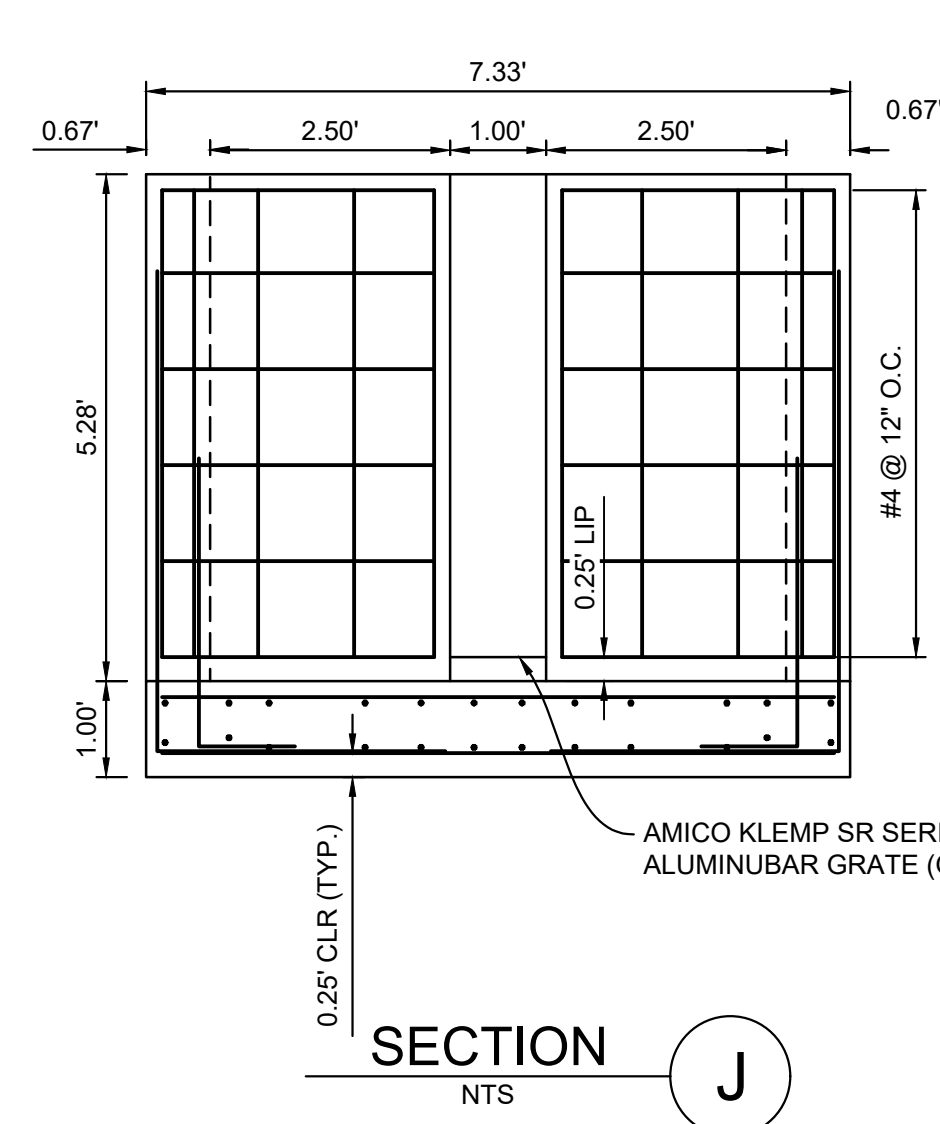
DESIGNED BY: NMS

SHEET TITLE:

POND DETAILS

SHEET 16 OF 17
DF04

ISSUE DATE: MARCH 2022



- NOTES:
- ALL CONCRETE SHALL BE CDOT CLASS D; F_c' = 4500 PSI
 - ALL REINFORCING STEEL SHALL BE F_y: 60 KSI
 - CONCRETE COVER FOR STEEL REINFORCING BARS SHALL BE AS FOLLOWS:
CONCRETE PLACED AGAINST EARTH..... 3"
CONCRETE EXPOSED TO EARTH OR WEATHER..... 2"
 - ALL EXPOSED CONCRETE CORNERS SHALL HAVE A MINIMUM 3/8" CHAMFER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AS RELATED TO SHORING AND PROTECTION OF NEW AND EXISTING STRUCTURES TO PREVENT COLLAPSE DUE TO WIND, EARTH, CONSTRUCTION OR OTHER LOADS.
 - STRUCTURE EXCAVATION AND BACKFILL SHALL BE IN ACCORDANCE WITH CDOT STANDARD PLAN M-206-1.
 - ALL BEDDING SHALL BE A MINIMUM OF 12" THICK CDOT CLASS 6 COMPACTED TO NOT LESS THAN 95% MAXIMUM DENSITY DETERMINED IN CONFORMANCE WITH AASHTO T-180.
 - INLET STEPS SHALL BE ALUMINUM & CONFORM TO CITY OF COLORADO SPRINGS STANDARD DETAIL D-20D.
 - WINGWALLS AND POND STRUCTURE WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CDOT STANDARD M-601-20



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300 COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100



LAND DEVELOPMENT
CONSULTANTS, LLC

950 S. CHERRY ST., SUITE 512
DENVER, CO 80246

OWNER/DEVELOPER:

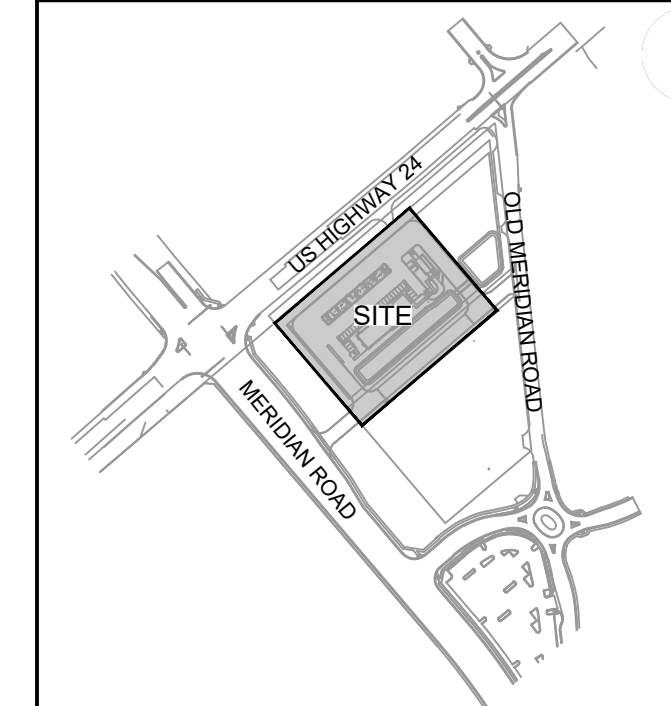


ROCKY MOUNTAINS DIVISION
5500 S. QUEBEC STREET, SUITE 100
GREENWOOD VILLAGE, CO 80111
PHONE: (720) 758-6223

SEAL

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC

VICINITY MAP:



PROJECT:

CIRCLE K STORES INC.

SITE DEVELOPMENT PLAN

HIGHWAY 24 & MERIDIAN ROAD
FALCON, CO

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO: 21.1207.037

DRAWN BY: LCB

CHECKED BY: NMS

DESIGNED BY: NMS

SHEET TITLE:

**SIGNING &
STRIPING PLAN**

SHEET 17 OF 17
SN01

ISSUE DATE: MARCH 2022

SITE LEGEND

- PROPERTY BOUNDARY LINE
- SETBACK LINE
- EASEMENT BOUNDARY LINE
- PROPOSED STRIPING
- PROPOSED CONCRETE CURB & GUTTER
- OFFSITE CONSTRUCTION LIMITS

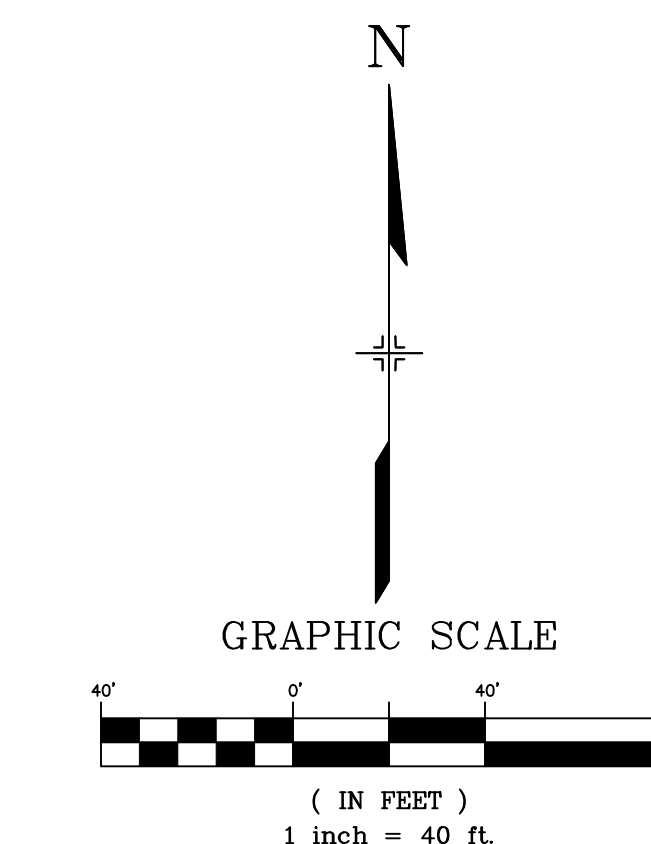


PROPOSED
R1-1
30"x30"

NOTES:

TRAFFIC CONTROL DEVICES SHOWN REPRESENT THE INTERMEDIATE SIGNING AND STRIPING FOR ALL INTERNAL ROADS. IT WILL BE THE CONTRACTORS RESPONSIBILITY TO ADJUST TRAFFIC CONTROL DEVICES AS NEEDED TO ACCOMMODATE CHANGES IN TRAFFIC MOVEMENTS.

ALL SIGN PLACEMENT SHOULD BE ACCORDING TO EL PASO COUNTY TRAFFIC ENGINEERING SIGNAGE AND PAVEMENT MARKINGS GUIDELINES (LATEST EDITION) AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).



OWNER: FARMERS STATE BANK OF CALHAN
1500 8TH ST. CALHAN CO. 80808
PUD

ELECTRIC EASEMENT
BK 5622 PG 406

ELECTRIC EASEMENT
BK 5622 PG 406

EASEMENT PE-7
REC. #219142201

EASEMENT TE-7
REC. #219142260

25' BUILDING SETBACK
20' LANDSCAPE SETBACK

EASEMENT PE-18
REC. #219062551
REC. #219164728

HIGHWAY 24 - PUBLIC
EXPRESSWAY (130' ROW)

PROPOSED MONUMENT
SIGN BY OTHERS

TRAFFIC FLOW
ARROW, TYP.

PROP. OVERHEAD
STREET LIGHT, TYP.

PRIVATE ACCESS ROAD

EASEMENT PE-21
REC. #219164726

EASEMENT PE-20
REC. #219164727

EASEMENT PE-22
REC. #219164725



PROPOSED
R1-1
30"x30"

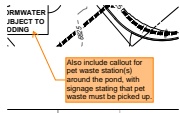
REFER TO OFF-SITE CONSTRUCTION
DOCUMENTS BY MATRIX DESIGN GROUP
FOR OFF-SITE GRADING INFORMATION

OWNER: BRIAN M MOODY -
BETTER LAND LLC
8605 EXPLORER DR, SUITE 250
COLORADO SPRINGS, CO
80920
R/CR SS

FILE LOCATION: S:\CIRCLE K HWY 24 & MERIDIAN\DWG\PLAN\SET\SITE DEVELOPMENT PLANS\SN01.DWG

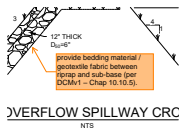
Construction Drawings_V1.pdf Markup Summary

Glenn Reese - EPC Stormwater (6)



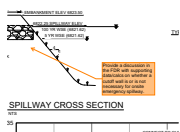
Subject: SW - Textbox with Arrow
Page Label: [13] 13 DF01
Author: Glenn Reese - EPC Stormwater
Date: 6/27/2022 12:22:14 PM
Status:
Color: ■
Layer:
Space:

Also include callout for pet waste station(s) around the pond, with signage stating that pet waste must be picked up.



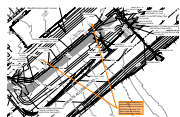
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Page Label: [13] 13 DF01
Author: Glenn Reese - EPC Stormwater
Date: 6/27/2022 12:23:03 PM
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Color: ■
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Space:

provide bedding material / geotextile fabric between riprap and sub-base (per DCMv1 – Chap 10.10.5).



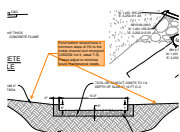
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Page Label: [13] 13 DF01
Author: Glenn Reese - EPC Stormwater
Date: 6/27/2022 12:25:01 PM
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Provide a discussion in the FDR with supporting data/calcs on whether a cutoff wall is or is not necessary for onsite emergency spillway.



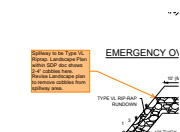
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Author: Glenn Reese - EPC Stormwater
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Space:

Pond bottom should have a minimum slope of 3% to the trickle channel and micropool (USDCM Vol 3, detail T-5). Please adjust to minimize future maintenance needs.



Subject: SW - Textbox with Arrow
Page Label: [14] 14 DF02
Author: Glenn Reese - EPC Stormwater
Date: 6/27/2022 12:27:28 PM
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Color: ■
Layer:
Space:

Pond bottom should have a minimum slope of 3% to the trickle channel and micropool (USDCM Vol 3, detail T-5). Please adjust to minimize future maintenance needs.



Subject: SW - Textbox with Arrow
Page Label: [13] 13 DF01
Author: Glenn Reese - EPC Stormwater
Date: 6/27/2022 2:59:31 PM
Status:
Color: ■
Layer:
Space:

Spillway to be Type VL Riprap. Landscape Plan within SDP doc shows 2-4" cobbles here. Revise Landscape plan to remove cobbles from spillway area.

Rob Stauffacher (4)

ELEMENTS SPECIFIED IN

Include owner and planner/plan preparer email addresses.
Also include Signature block for the Planning and Community Development Director a minimum of 1 inch by 2 inch.

Subject: Text Box
Page Label: [1] 1 TS01
Author: Rob Stauffacher
Date: 6/27/2022 9:07:22 PM
Status:
Color: ■
Layer:
Space:

Include owner and planner/plan preparer email addressees.

Also include Signature block for the Planning and Community Development Director a minimum of 1 inch by 2 inch.

Include location of all sidewalks, trails, fences and walls, retaining walls, or berms.

Subject: Text Box
Page Label: [8] 8 PP01
Author: Rob Stauffacher
Date: 6/27/2022 9:09:48 PM
Status:
Color: ■
Layer:
Space:

Include location of all sidewalks, trails, fences and walls, retaining walls, or berms

Include the layout and location of all off-street parking, loading and other vehicular use areas unless otherwise depicted in detail on a separate parking plan. If depicted on a separate parking plan then depiction of the parking areas are required.

Subject: Text Box
Page Label: [8] 8 PP01
Author: Rob Stauffacher
Date: 6/27/2022 9:21:57 PM
Status:
Color: ■
Layer:
Space:

Include the layout and location of all off-street parking, loading and other vehicular use areas, unless otherwise depicted in detail on a separate parking plan. If depicted on a separate parking plan then depiction of the parking areas are required.

Include location of all garbage receptacles with a graphical depiction of the screening mechanism.

Subject: Text Box
Page Label: [8] 8 PP01
Author: Rob Stauffacher
Date: 6/27/2022 9:48:15 PM
Status:
Color: ■
Layer:
Space:

Include location of all garbage receptacles with a graphical depiction of the screening mechanism.