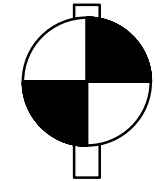


**BENCHMARK DATA**



A GPS DERIVED ELEVATION WAS ESTABLISHED AT AN ONSITE BENCHMARKING BEING SET NO.5 REBAR WITH A RED PLASTIC CAP STAMPED "P.S.M. CONTROL" AS SHOWN HEREON ELEVATION = 6,876.17' (NAVD88).

VERTICAL DATUM

**BASIS OF BEARING**

BEARINGS ARE BASED ON THE WESTERLY LINE OF LOT 4 OF THE FALCON HIGHLANDS MARKET PLACE FILING NO. 1A, ASSUMES TO BEAR N00°29'55W A DISTANCE OF 208.99 FEET FROM A CHISELED "X" FOUND AT THE SOUTHWEST CORNER OF SAID LOT 4 TO A 1.25" ALUMINUM CAP STAMPED L.S. #27605 FOUND AT THE NORTHWEST CORNER OF SAID LOT 4.

**LEGAL DESCRIPTION**

LOT 4 FALCON HIGHLANDS MARKET PLACE FILING NO. 1A;

RECEPTION NO. 206712475,  
EL PASO COUNTY, COLORADO

Please remove all references to City of Colorado Springs and replace with El Paso County. The property is located outside of COS limits and within unincorporated El Paso County.

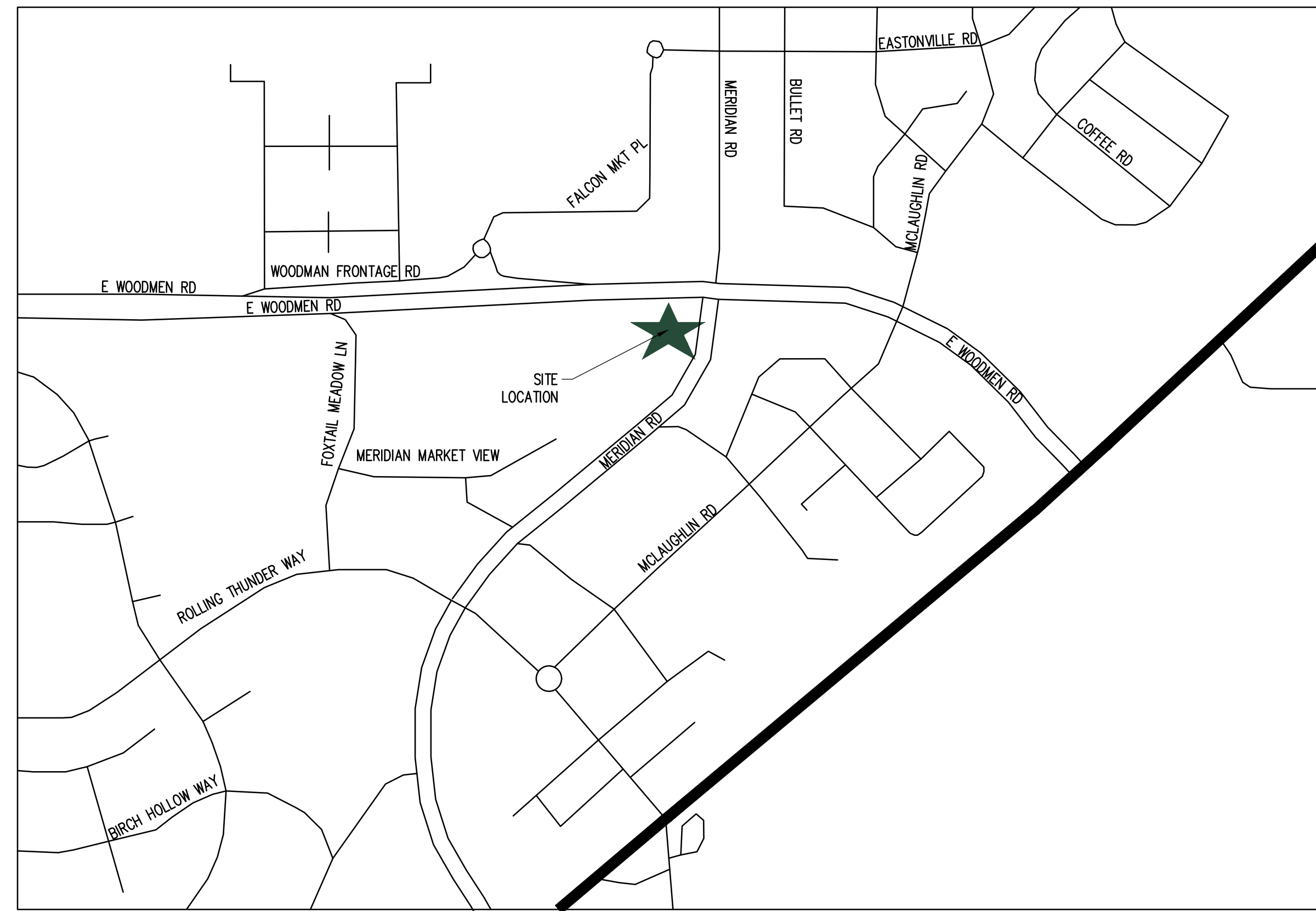
**NOTE**

- SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE PROJECT SPECIFICATIONS AND CITY OF COLORADO SPRINGS STANDARDS WHICH ARE HEREBY REFERENCED AS PART OF THESE PLANS.
- THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THE PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON THE SURVEY PREPARED BY PRECISION SURVEY & MAPPING, DATED 05/17/2022. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CAUTION - NOTICE TO CONTRACTOR**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL RESTRICT WORKING HOURS TO BETWEEN 7:00 AM AND 6:00 PM ON NORMAL CITY OF COLORADO SPRINGS BUSINESS DAYS UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE CITY.
- THE CONTRACTOR SHALL RESTRICT WORKING HOURS TO BETWEEN 7:00 AM AND 6:00 PM ON NORMAL CITY OF COLORADO SPRINGS BUSINESS DAYS UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE CITY.

# FALCON- RETAIL PAINT STORE

FALCON HIGHLANDS SITE PLAN, FILE #22-006-031  
A PARCEL OF LAND SITUATED IN THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M.  
CITY OF FALCON, COUNTY OF EL PASO, STATE OF COLORADO

DRAWING INDEX		
SHEET	SHEET TITLE	SHEET NUMBER
CV-1	COVER SHEET	1
C-1.0	SITE PLAN	2
C-2.0	GRADING PLAN	3



VICINITY MAP  
1:1000'

PROPOSED DEVELOPMENT SUMMARY TABLE	
SITE LOCATION	BUSINESS PARK LOCATED NORTHEAST OF MERIDIAN MARKET VIEW
SITE ADDRESS	LOT 4: 11695 MERIDIAN MARKET VIEW, FALCON, CO 80831
OWNER	FIRST BANK OF EL PASO COUNTY
OWNER ADDRESS	12345 W. COLFAX AVE., DENVER, CO 80215
OWNER CONTACT	PETE WHALEN, PH: 303-231-2034
TAX SCHEDULE NUMBER	5312101015
ZONE DISTRICT	CR
TOTAL ACREAGE	1.06
EXISTING USE	FIRSTBANK- FALCON BRANCH
PROPOSED USE	RETAIL PAINT STORE
BUILDING SETBACK	EXISTING (NO CHANGE)
BUILDING HEIGHT	EXISTING (NO CHANGE)
BUILDING FOOTPRINT	4,379 SF
PARKING	REQUIRED: 18; PROVIDED: 26
LOT COVERAGE	9% (BUILDING) 54% (IMPERVIOUS SURFACES) 37% (PERVIOUS SURFACES)

**PROJECT NOTES**

- THIS PROPERTY IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOODPLAIN) AS ESTABLISHED BY FEMA PER FIRM PANEL 0804100553G, WITH AN EFFECTIVE DATE OF 12/7/2018.
- PER COUNTY CODE SECTION 6.2.3.B.1.A, ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
- SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE DEVELOPMENT REVIEW ENTERPRISE AT 719-385-5982 TO BEGIN A SIGN PERMIT APPLICATION.
- ~~OLD REPUBLIC TITLE INSURANCE COMPANY ORDER NO. S655401761-5 DATED MARCH 28, 2022 WAS RELIED UPON ENTIRELY FOR RECORD INFORMATION REGARDING RIGHTS-OF-WAY, EASEMENTS AND ENCUMBRANCES. THE PROPERTY DESCRIBED HEREON IS SUBJECT TO ALL RESTRICTIONS SET FORTH IN SAID COMMITMENT.~~
- ALL DIMENSIONS SHOWN HEREON ARE IN U.S. FEET. ALL BEARINGS SHOWN HEREON ARE IN DEGREES-MINUTES-SECONDS.
- NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK WAS FOUND AT THE TIME OF SURVEY AND NO OBSERVABLE EVIDENCE OF BUILDING ADDITIONS WITHIN RECENT MONTHS.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR THEIR ASSIGNS.

Please update note. The project is located within unincorporated El Paso County. Sign permit review is conducted by El Paso County Planning and Community Development Department, (719-520-6300)

**PROJECT CONTACTS:**

**CIVIL ENGINEER**  
RIDGETOP ENGINEERING  
541 E. GARDEN DRIVE, UNIT N  
WINDSOR, CO 80550  
(970) 663-4552  
CONTACT: MIKE BEACH, P.E.

**DEVELOPER/APPLICANT**  
WALL DEVELOPMENT GROUP  
4201 EAST YALE AVENUE  
DENVER, CO 80222  
(720) 907-9010  
CONTACT: ALICIA KHINE

**ARCHITECT**  
LINGLE DESIGN GROUP INC.  
1764 BLAKE STREET  
DENVER, CO 80202  
(303) 974-5873  
CONTACT: MICHAEL PUCKETT

**SURVEYOR**  
PRECISION SURVEY & MAPPING  
9025 E. KENYON AVE., SUITE 150  
DENVER, CO 80237  
(303) 753-9799  
CONTACT: STEVEN BAILEY



PROJECT TITLE  
**FALCON- RETAIL PAINT STORE**

11695 MERIDIAN MARKET VIEW, FALCON, CO 80831

PREPARED FOR  
**WALL DEVELOPMENT GROUP**

4201 E. YALE AVE, #140 DENVER, CO 80222

SUBMITTAL  
**SITE PLAN**

DRAWN BY: #####  
CHECKED BY: MRB  
PROJECT NO.: #22-006-031

REVISIONS	

DATE  
**01/13/2023**

SHEET TITLE  
**COVER SHEET**

SHEET INFORMATION  
**CV-1**



REVIEWED BY:	EL PASO COUNTY ENGINEERING	DATE
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# FALCON- RETAIL PAINT STORE

FALCON HIGHLANDS SITE PLAN, FILE #22-006-031  
 A PARCEL OF LAND SITUATED IN THE NORTHEAST QUARTER OF  
 SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M.  
 CITY OF FALCON, COUNTY OF EL PASO, STATE OF COLORADO



## LEGEND

	LOADING DOCKS AND DUMPSTER PADS
	LIGHT DUTY HYBRID (OPTION A)
	LIGHT DUTY HYBRID (OPTION B)
	SIDEWALKS
	LANDSCAPE
	PROPERTY LINE
	CURB AND GUTTER
	SAW CUT
	CANOPY
	ADA PATH
	BUILDING
	FIBER OPTIC LINE
	WATER LINE
	STORM DRAIN LINE
	SANITARY SEWER LINE
	GAS LINE
	ELECTRICAL LINE
	PARKING BUBBLE
	LIGHTPOLE (TYP)
	FIRE HYDRANT
	TRANSFORMER

PROJECT TITLE  
**FALCON-  
 RETAIL PAINT  
 STORE**

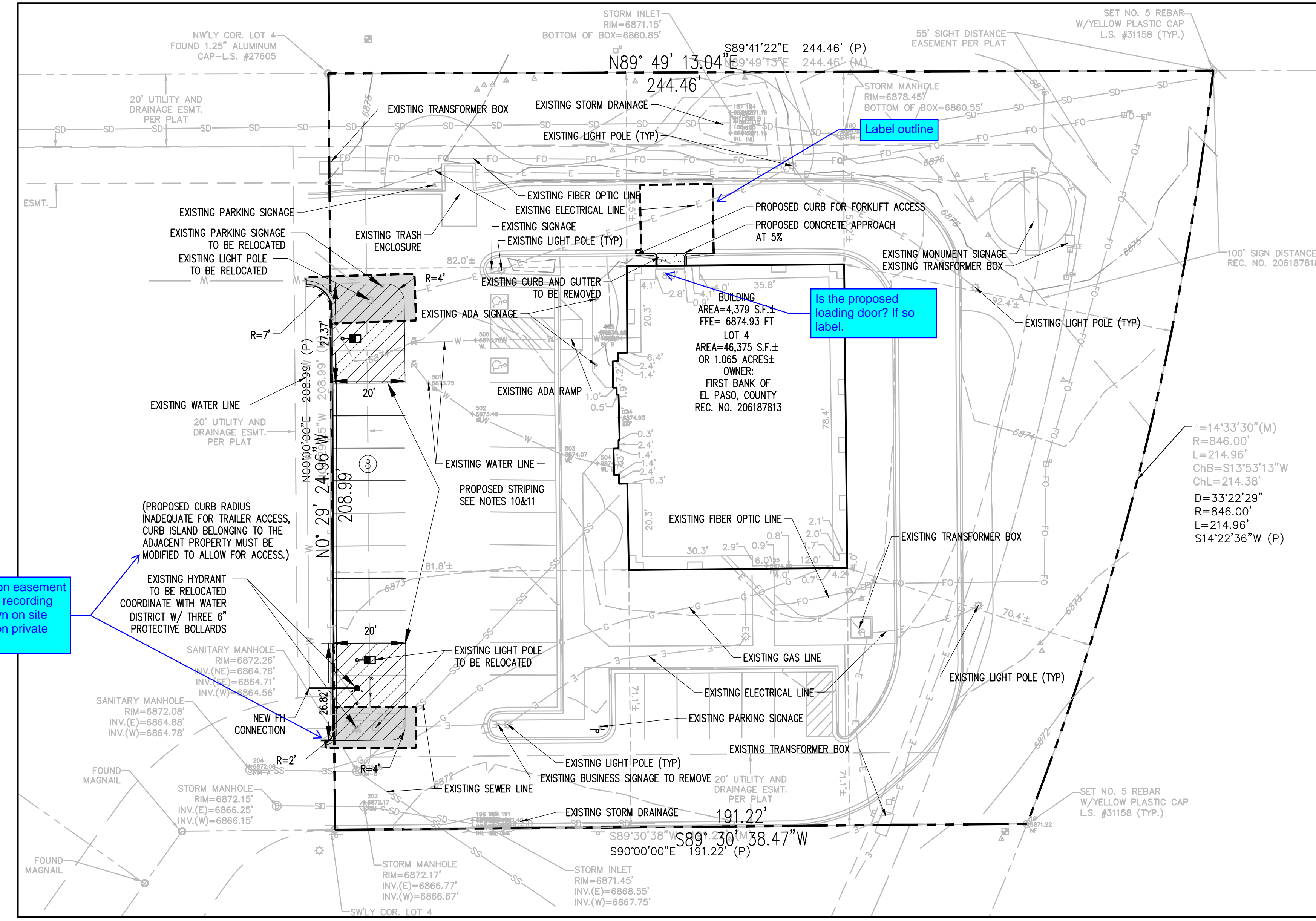
11695 MERIDIAN MARKET  
 VIEW, FALCON, CO 80831

PREPARED FOR  
**WALL DEVELOPMENT  
 GROUP**

4201 E. YALE AVE, #140  
 DENVER, CO 80222

## NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/TOWN/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THIS PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON SURVEY PREPARED BY PRECISION SURVEY & MAPPING, DATED 05/17/22. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CAUTION - NOTICE TO CONTRACTOR**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES AND EXISTING IMPROVEMENTS WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS ON THE PLANS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, SIDEWALKS, RAMPS & TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- DIMENSIONS SHOWN REFER TO FACE OF CURB, FACE OF BUILDING OR TO THE CENTERLINE OF PAVEMENT STRIPING, UNLESS OTHERWISE NOTED.
- ALL PAVED PARKING LOT AREAS WITHIN THE LIMITS OF IMPROVEMENTS SHALL BE STANDARD DUTY PAVEMENT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PROVIDE A TEMPORARY TRAFFIC CONTROL PLAN FOR THE CITY ENGINEER'S APPROVAL PRIOR TO ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- FIRE LANE STRIPING AROUND BUILDING PERIMETER AND ALONG FIRE TRUCK ACCESS WAYS SHALL BE INSTALLED AS PART OF THIS CONTRACT, IN ACCORDANCE WITH THE LOCAL CODE AND FIRE MARSHALL REQUIREMENTS.
- REFER TO BOUNDARY SURVEY FOR LEGAL DESCRIPTION, DIMENSIONS OF PROPERTY LINES, BASIS OF BEARINGS & BENCHMARK INFORMATION.
- ALL ON-SITE PAINTED STRIPING SHALL BE DOUBLE COATED. SEPARATE COATS SHALL BE APPLIED NO SOONER THAN 4 HOURS APART. (CONTRACTOR TO REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL PAVING MARKING REQUIREMENTS.)
- PARKING LOT STRIPING SHALL BE YELLOW, 4" WIDTH, UNLESS OTHERWISE NOTED.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- CURB RADII ADJACENT TO PARKING STALLS SHALL BE 2'. ALL OTHER CURB RADII SHALL BE 10', UNLESS OTHERWISE NOTED.
- THE INTERNAL QUEUE PROVIDED FOR DRIVE THROUGH TRAFFIC WAS BASED ON TWO STUDIES FOR THE SAME TYPE OF RESTAURANT USING THE FREESTANDING PROTOTYPE WITH A PICK-UP WINDOW AND PICK-UP LANE AT THIS LOCATION "HIPPLANE FORMAT." IF THIS LOCATION CAUSES ANY TYPE OF GRIDLOCK TRAFFIC TO PUBLIC ROADS, THEN THE RESTAURANT WILL NEED TO APPLY FOR OTHER OPTIONS TO ALLEVIATE ANY TRAFFIC ISSUES.
- EXISTING LIGHT POLES AND CONNECTED UTILITY LINES LOCATED WITHIN THE NORTH AND SOUTH PARKING ISLANDS MUST BE RELOCATED IN ACCORDANCE WITH THE COUNTY OF EL PASO, ADJACENT PROPERTY OWNERS AND UTILITY COMPANY.
- EXISTING HYDRANT AND WATER LINE LOCATED WITHIN THE SOUTH PARKING ISLAND MUST BE RELOCATED IN ACCORDANCE WITH THE COUNTY OF EL PASO, ADJACENT PROPERTY OWNERS AND UTILITY COMPANY.
- PROPOSED CURB AT THE NORTH PARKING ISLAND INADEQUATE FOR TRAILER ACCESS, CURB FACE WITHIN ADJACENT PROPERTY MUST BE MODIFIED TO ALLOW FOR ACCESS.



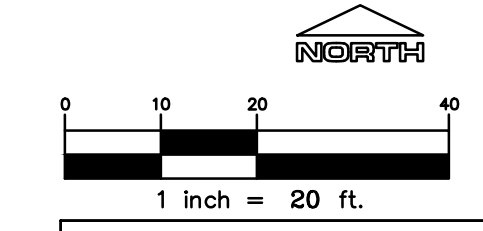
Temporary construction easement must be provided and recording number must be shown on site plan for construction on private property.

Replace reference to City with El Paso County Department of Public Works.

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

NOTE:  
 CONTRACTOR SHALL POTHOLE ALL NEW AND/OR EXISTING UTILITY CROSSINGS AND POINTS OF CONNECTION TO CONFIRM DEPTH AND LOCATION AS FIRST ORDER OF WORK PRIOR TO STARTING CONSTRUCTION.

REVIEWED BY: \_\_\_\_\_ DATE \_\_\_\_\_  
 COMMUNITY DEVELOPMENT DIRECTOR



REVIEWED BY: \_\_\_\_\_ DATE \_\_\_\_\_  
 EL PASO COUNTY ENGINEERING



SHEET TITLE  
**SITE  
 IMPROVEMENT  
 PLAN**

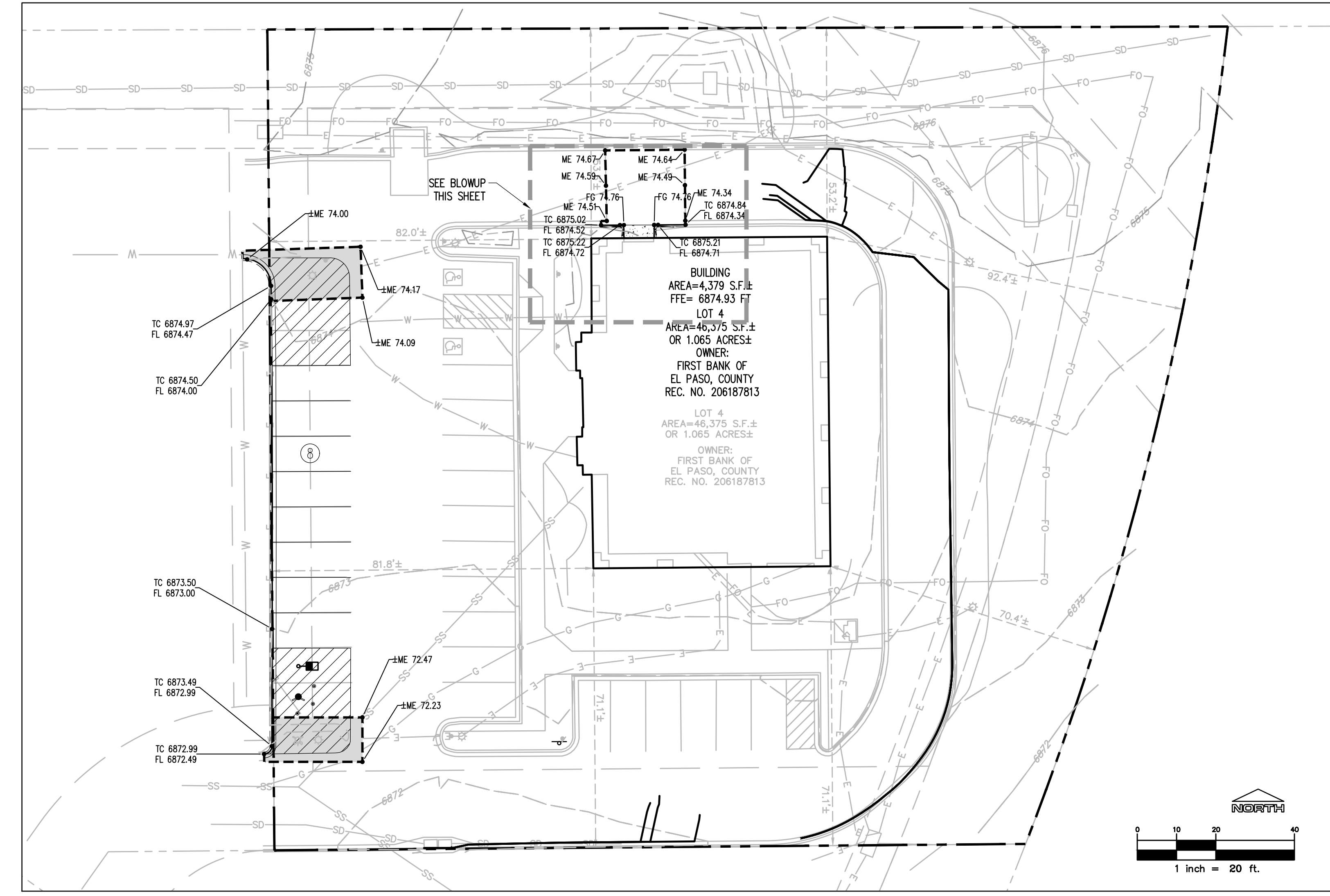
SHEET INFORMATION  
**C-1.0**

# FALCON- RETAIL PAINT STORE

FALCON HIGHLANDS SITE PLAN, FILE #22-006-031  
 A PARCEL OF LAND SITUATED IN THE NORTHEAST QUARTER OF  
 SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M.  
 CITY OF FALCON, COUNTY OF EL PASO, STATE OF COLORADO

## LEGEND

EX CONTOUR	-24-
PROPOSED CONTOUR	322
PROPERTY LINE	---
SPOT ELEVATION	4653
TOP OF CURB	TC
FLOW LINE	FL



## STORM DRAINAGE NOTES

- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- STORM DRAINAGE PIPE WITH LESS THAN 2'-0" COVER SHALL BE CLASS IV REINFORCED CONCRETE PIPE, OR APPROVED EQUAL TO SUSTAIN H-20 LOADING.
- ALL ON-SITE STORM DRAINAGE PIPE SHALL BE SMOOTH WALLED INTERIOR, MANUFACTURER'S VERIFICATION OF MANNING'S ROUGHNESS COEFFICIENT N=0.012 OR LESS.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION.
- ALL CATCH BASINS AND AREA DRAINS ARE TO BE SITUATED SUCH THAT THE OUTSIDE EDGE OF GRATE FRAME IS AT TOE OF CURB OR FLOWLINE OF GUTTER (WHERE APPLICABLE).
- CATCH BASIN INLET PROTECTION / EROSION CONTROL TO BE USED FOR ALL NEW INLETS.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING AND COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT, UNLESS OTHERWISE SHOWN IN THE CATCH BASIN DETAIL.
- CONTRACTOR SHALL CONNECT ROOF DRAIN LEADERS TO PROPOSED STORM DRAINS AS SHOWN.

NOTE:  
 CONTRACTOR SHALL POTHOLE ALL NEW AND/OR EXISTING UTILITY CROSSINGS AND POINTS OF CONNECTION TO CONFIRM DEPTH AND LOCATION AS FIRST ORDER OF WORK.

## GRADING NOTES

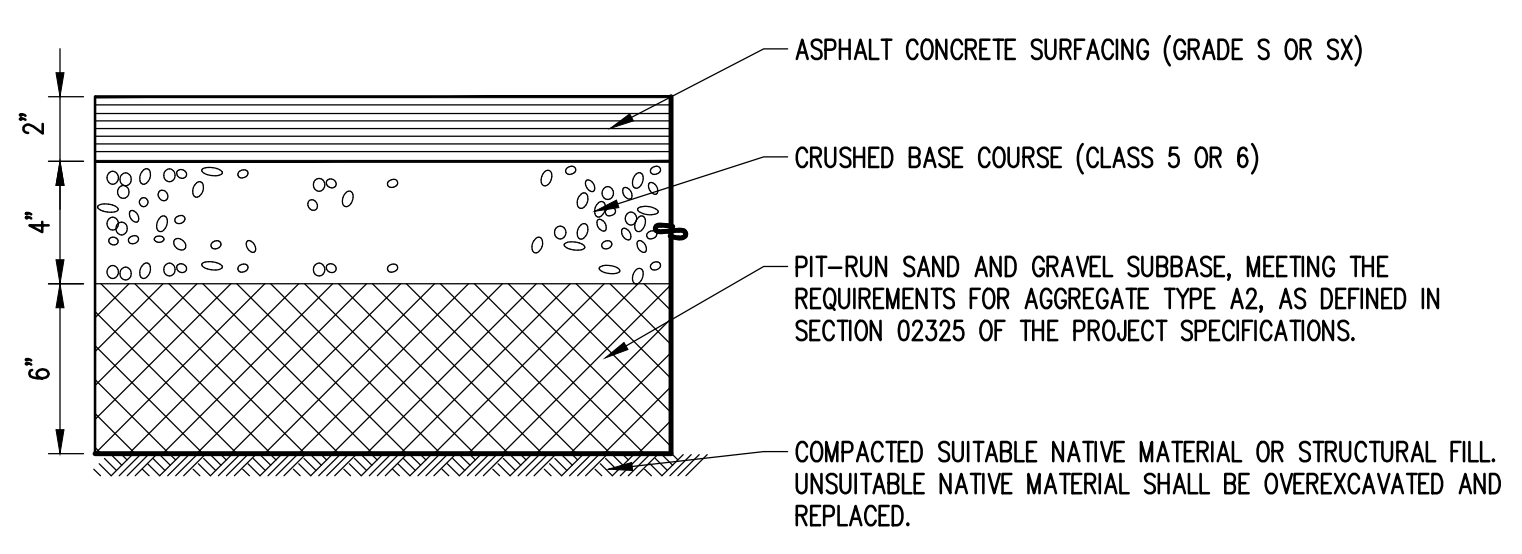
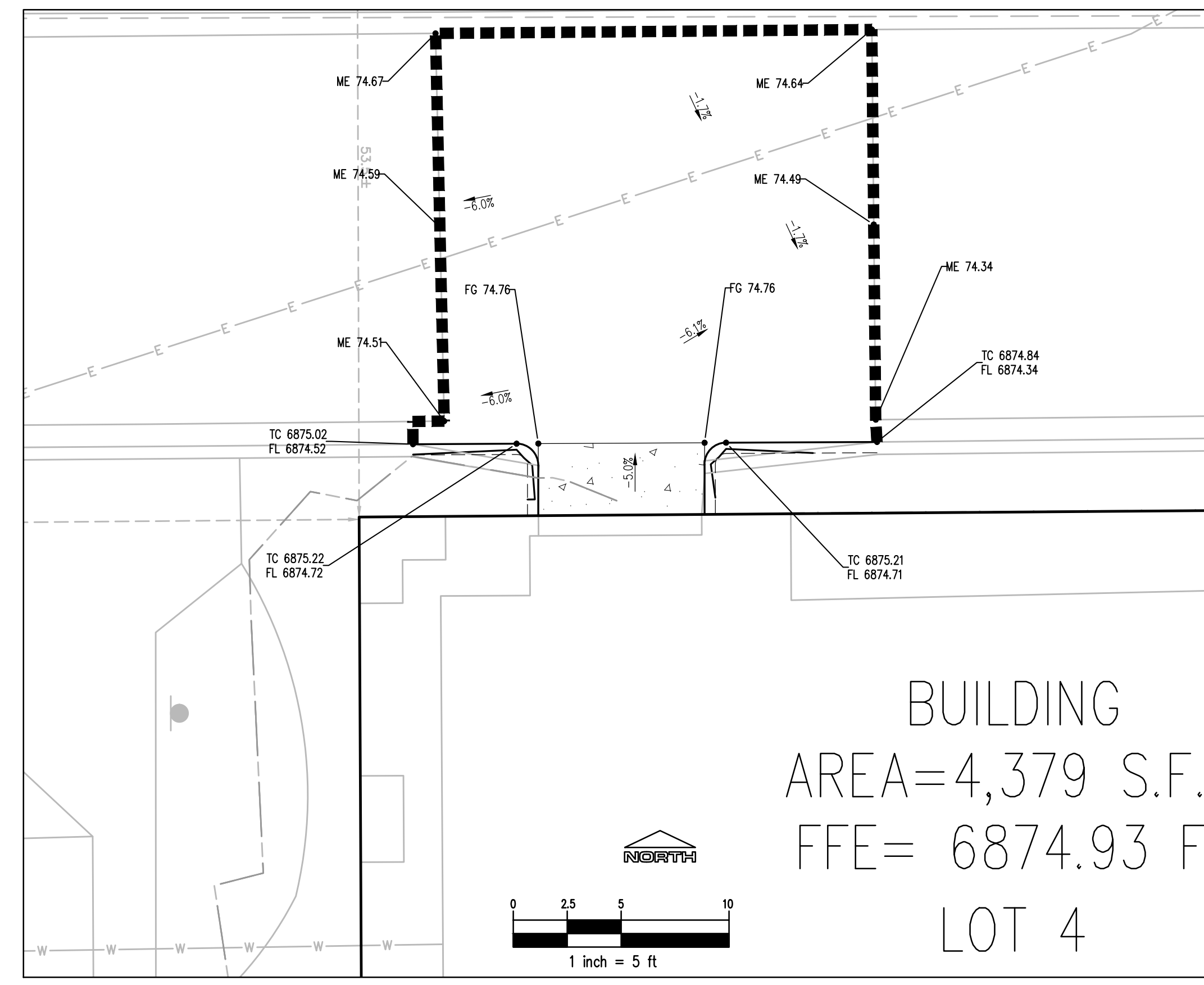
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 4H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS WITH GRASS IN ACCORDANCE WITH LOCAL SPECIFICATION UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ALL CUT AND FILL SLOPES SHALL BE CONSTRUCTED PER THE IBC CODE AND APPLICABLE LOCAL REGULATION. ALL CUT AND FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS AND SHALL GRADE ALL AREAS TO PRECLUDE PONDING OF WATER.
- ALL POLLUTANTS OTHER THAN SEDIMENT ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- PROPERTIES AND WATERWAYS DOWNSTREAM OF THE SITE SHALL BE PROTECTED FROM EROSION DUE TO INCREASES IN THE VOLUME, VELOCITY AND PEAK FLOW RATE OF STORMWATER RUNOFF FROM PROJECT SITE.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR TO REMOVE UNSUITABLE SOILS LOCATED WITHIN THE BUILDINGS SPLAY LINE OF THE FOOTINGS.
- FOR BOUNDARY AND TOPOGRAPHIC INFORMATION REFER TO PROJECT SURVEY.
- REUSE OF NATIVE MATERIAL PERMITTED IF PLACED IN 8" LIFTS AND COMPACTED TO 95% MODIFIED PROCTOR.
- SPOT ELEVATIONS SHOWN ARE TO THE TOP OF PAVEMENT, GUTTER FLOWLINE, OR FINISHED GRADE, UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL PERFORM A CUT AND FILL QUANTITY CALCULATION AND INCLUDE IN THE BASE BID. ANY CUT OR FILL REQUIRED IN ADDITION TO THE BASE BID SHALL BE AT THE CONTRACTOR'S EXPENSE.

PROJECT TITLE  
**FALCON-  
 RETAIL PAINT  
 STORE**

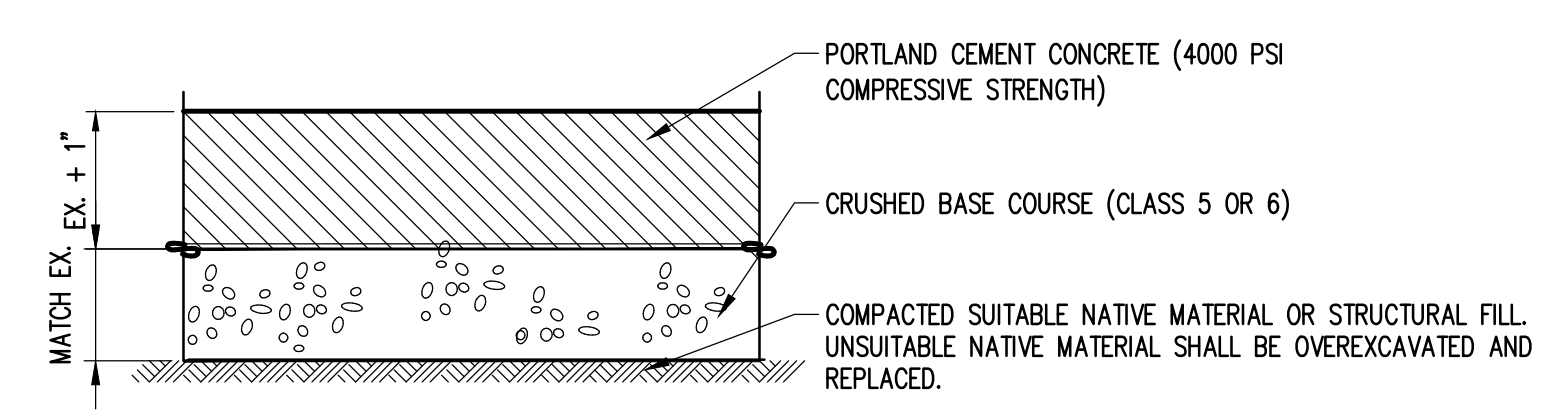
11695 MERIDIAN MARKET  
 VIEW, FALCON, CO 80831

PREPARED FOR  
**WALL DEVELOPMENT  
 GROUP**

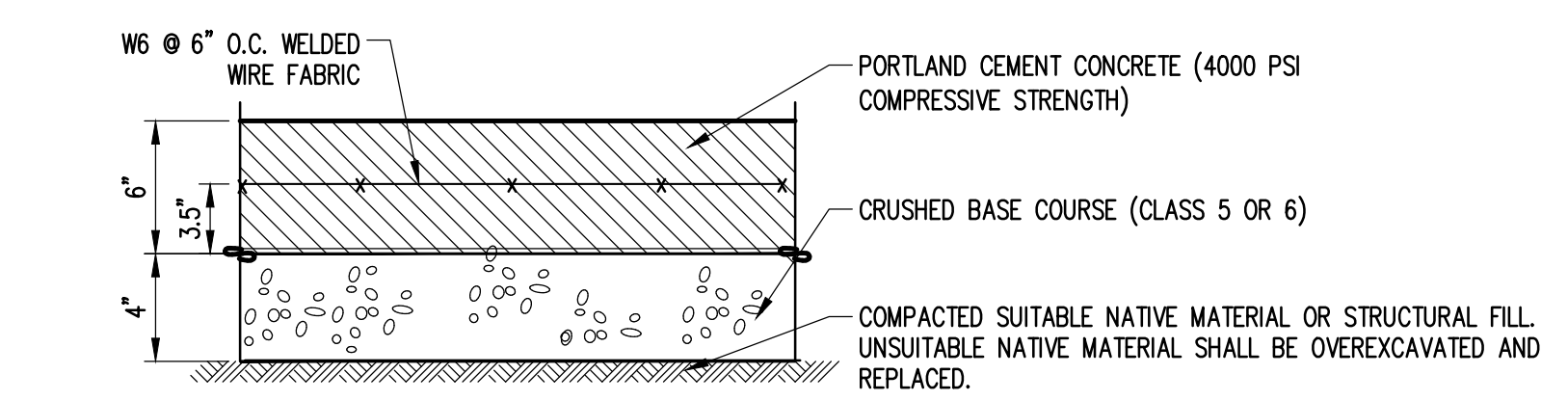
4201 E. YALE AVE, #140  
 DENVER, CO 80222



STANDARD DUTY ASPHALT  
 NTS ①



EXISTING + 1"  
 NTS ③



STANDARD DUTY CONCRETE  
 NTS ②

REVIEWED BY: \_\_\_\_\_  
 EL PASO COUNTY ENGINEERING DATE \_\_\_\_\_



SUBMITTAL  
 SITE PLAN

DRAWN BY: #####  
 CHECKED BY: MRB  
 PROJECT NO.: #22-006-031

REVISIONS


DATE  
 01/13/2023

SHEET TITLE  
**GRADING  
 PLAN**

SHEET INFORMATION  
 C-2.0

File: EPFA12006.dwg Path: P:\Colorado\El Paso County\Wall\22-006-031 Falcon Highlands SWP\2 Drawings\ Plotted by: Stephen Drenzek Date: 13-Jan-23 3:55:25pm