

**Date:** 02-14-2023

**Project Name:** Retail Paint Store – 11695 Meridian Market View.

**Property Address:** 11695 Meridian Market View Road, Peyton, CO 80831

**Property Tax No.:** 5312101015

#### **Agent/Project Manager:**

**Ridgetop Engineering** 

541 E. Garden Drive, Unit N

Windsor, CO 80550

Mike Beach 970-663-4552

mbeach@ridgetopeng.com

#### Applicant/Developer:

Wall Development Group LLC

4201 E. Yale Ave, Suite 140

Denver, CO 80222

Alicia Khine 949.302.4291

akhine@walldevgroup.com

**Ownership:** The applicant is a contract purchaser pursuant to a contract with FirstBank.

First Bank of El Paso County, a Colorado Corporation

11695 Meridian Market View

Peyton, CO 80831 Pete Whalen 303.231.2034

Pete.Whalen@efirstbank.com

**Proposed Use:** Sherwin Williams Retail Paint Store

Land Area: 1.05 acres

# Approved By: Gustin Kilgere Planning Manager Date:02/22/2023 El Paso County Planning & Community Development

#### **Project Summary:**

The Retail Paint Store is proposed on the currently vacant building (former First Bank). The property is currently zoned as CR- Commercial Regional that allows the proposed use (Retail



Paint). The existing driveway to the south of the existing building will be modified for the proposed use. Four (4) of the existing parking spaces will be lost due to the new driveway configuration. However, the number of car parks provided (26 spaces) is above the required number (18 spaces).

The existing building footprint (approximate 4500 sf.) will remain as it is, however, interior tenant improvement works will be required for the development. A new loading door will be added to the north façade.

Site work will consist of removal of approximately 170 LF of curb and gutter. Approximately 100 LF of new curb and gutter will be installed. The two islands being removed will be sawcut around and this area will be replaced with asphalt. Two parking lot lights will be shifted over to accommodate the delivery trucks. The existing fire hydrant will be shifted to the north as well approximately 10 LF to accommodate the delivery trucks.

#### Zoning:

The property is currently zoned as CR- Commercial Regional. The proposed use (Retail Paint) is allowed under the CR- Commercial Regional.

#### Access and Traffic:

The parcel currently obtains access through an existing driveway off Meridian Road. The proposed Sherwin-Williams store will generate equal or fewer traffic trips than the former First Bank.

#### **Utilities**:

All existing utilities including water, stromsewer, stormwater, gas, and electricity will remain AS-IS.

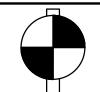
#### Conclusion

The proposed development will have little or no impact on adjacent land. The proposed use is consistent with El Paso County's CR-Commercial Regional requirements.

With the proposed minor site modifications with the total land disturb areas of approximately 1900 square feet, we do not anticipate any adverse drainage pattern changes. Runoff will continue to flow in the current flow directions as exist today. Only minor work related to relocating of existing fire hydrant is to be done on the adjacent which is granted under the existing utility access easements.

The site has been vacant for a while; thus, the proposed project will add commercial service to neighboring communities and will generate income for the County.

#### BENCHMARK DATA



A GPS DERIVED ELEVATION WAS ESTABLISHED AT AN ONSITE BENCHMARKING BEING SET NO.5 REBAR WITH A RED PLASTIC CAP STAMPED "P.S.M. CONTROL" AS SHOWN HEREON ELEVATION = 6,876.17 (NAVD88).

VERTICAL DATUM

#### BASIS OF BEARING

BEARINGS ARE BASED ON THE WESTERLY LINE OF LOT 4 OF THE FALCON HIGHLANDS MARKET PLACE FILING NO. 1A, ASSUMES TO BEAR NOO'29"55W A DISTANCE OF 208.99 FEET FROM A CHISELED "X" FOUND AT THE SOUTHWEST CORNER OF SAID LOT 4 TO A 1.25" ALUMINUM CAP STAMPED L.S. #27605 FOUND AT THE NORTHWEST CORNER OF SAID LOT 4.

### LEGAL DESCRIPTION

LOT 4 FALCON HIGHLANDS MARKET PLACE FILING NO. 1A;

RECEPTION NO. 206712475, EL PASO COUNTY, COLORADO

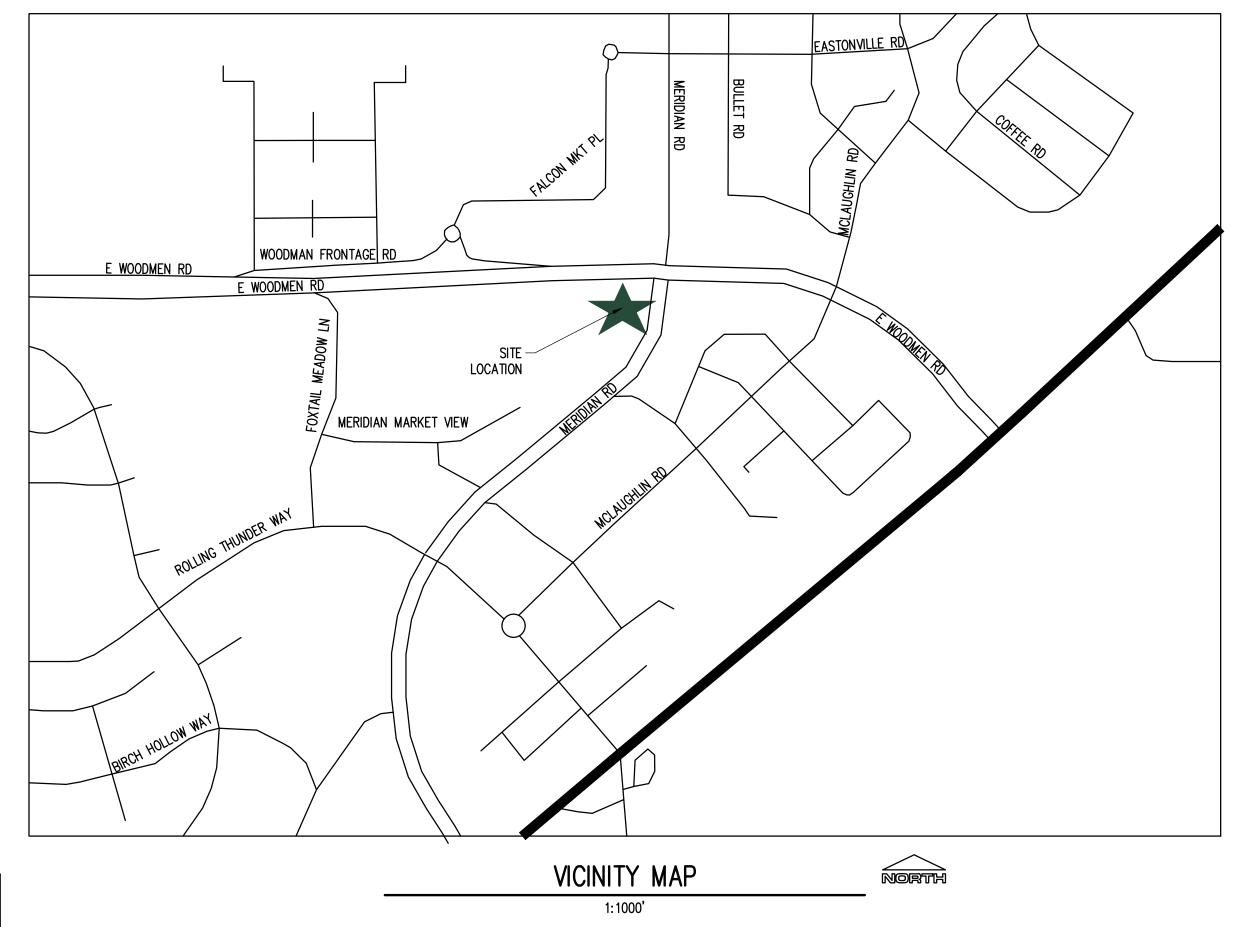
### NOTE

- 1. SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE PROJECT SPECIFICATIONS AND COUNTY OF EL PASO STANDARDS WHICH ARE HEREBY REFERENCED AS PART OF THESE PLANS.
- 2. THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THE PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON THE SURVEY PREPARED BY PRECISION SURVEY & MAPPING, DATED 05/17/2022. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- 3. <u>CAUTION NOTICE TO CONTRACTOR</u>
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- 4. THE CONTRACTOR SHALL RESTRICT WORKING HOURS TO BETWEEN 7:00 AM AND 6:00 PM ON NORMAL EL PASO COUNTY BUSINESS DAYS UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE COUNTY.

PROPOS	SED DEVELOPMENT SUMMARY TABLE
SITE LOCATION	BUSINESS PARK LOCATED NORTHEAST OF MERIDIAN MARKET VIEW
SITE ADDRESS	LOT 4: 11695 MERIDIAN MARKET VIEW, FALCON, CO 80831
OWNER	FIRST BANK OF EL PASO COUNTY
OWNER ADDRESS	12345 W. COLFAX AVE., DENVER, CO 80215
OWNER CONTACT	PETE WHALEN, PH: 303-231-2034
TAX SCHEDULE NUMBER	5312101015
ZONE DISTRICT	CR
TOTAL ACREAGE	1.06
existing use	FIRSTBANK- FALCON BRANCH
PROPOSED USE	RETAIL PAINT STORE
BUILDING SETBACK	EXISTING (NO CHANGE)
BUILDING HEIGHT	EXISTING (NO CHANGE)
BUILDING FOOTPRINT	4,379 SF
PARKING	REQUIRED: 18; PROVIDED: 26
LOT COVERAGE	9% (BUILDING) 54% (IMPERVIOUS SURFACES) 37% (PERVIOUS SURFACES

## FALCON - RETAIL PAINT STORE

FALCON HIGHLANDS SITE PLAN, FILE #22-006-031 A PARCEL OF LAND SITUATED IN THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M. CITY OF FALCON, COUNTY OF EL PASO, STATE OF COLORADO



## PROJECT NOTES

- 1. THIS PROPERTY IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOODPLAIN) AS ESTABLISHED BY FEMA PER FIRM PANEL 08041C0553G, WITH AN EFFECTIVE DATE OF 12/7/2018.
- 2. PER COUNTY CODE SECTION 6.2.3.B.1.A. ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF
- 3. SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED, CONTACT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT AT 719-520-6300 TO BEGIN A SIGN PERMIT APPLICATION.
- 4. OLD REPUBLIC TITLE INSURANCE COMPANY, ORDER NO. SC55101761-5 DATED MARCH 29,2022 WAS RELIED UPON ENTIRELY FOR RECORD INFORMATION REGARDING RIGHTS-OF-WAY, EASEMENTS AND ENCUMBRANCES. THE PROPERTY DESCRIBED HEREON IS SUBJECT TO ALL RESTRICTIONS SET FORTH IN SAID COMMITMENT.
- 5. ALL DIMENSIONS SHOWN HEREON ARE IN U.S. FEET. ALL BEARINGS SHOWN HEREON ARE IN DEGREES—MINUTES—SECONDS. 6. NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK WAS FOUND AT THE TIME OF SURVEY AND NO OBSERVABLE EVIDENCE OF
- BUILDING ADDITIONS WITHIN RECENT MONTHS. 7. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR THEIR ASSIGNS.

DRAWING INDEX SHEET SHEET TITLE SHEET NUMBER CV-1 COVER SHEET 1 SITE PLAN C-1.0 2 C - 2.0GRADING PLAN



W ridgetopeng.com

PROJECT TITLE FALCON-**RETAIL PAINT** STORE

11695 MERIDIAN MARKET VIEW, FALCON, CO 80831 PREPARED FOR

WALL DEVELOPMENT GROUP

4201 E. YALE AVE, #140 DENVER, CO 80222

PROJECT CONTACTS:

<u>CIVIL ENGINEER</u> RIDGETOP ENGINEERING 541 E. GARDEN DRIVE, UNIT N WINDSOR, CO 80550 (970) 663-4552 CONTACT: MIKE BEACH, P.E.

<u>ARCHITECT</u> LINGLE DESIGN GROUP INC. 1764 BLAKE STREET DENVER, CO 80202 (303) 974-5873 CONTACT: MICHAEL PUCKETT

<u>SURVEYOR</u> PRECISION SURVEY & MAPPING 9025 E. KENYON AVE., SUITE 150 DENVER, CO 80237 (303) 753-9799 CONTACT: STEVEN BAILEY

DEVELOPER/APPLICANT

DENVER, CO 80222

(720) 907-9010

WALL DEVELOPMENT GROUP

4201 EAST YALE AVENUE

CONTACT: ALICIA KHINE

SUBMITTAL SITE PLAN DRAWN BY:

> CHECKED BY: PROJECT NO.: #22-006-031 REVISIONS CITY COMMENTS

02/10/2023

SHEET TITLE

**COVER SHEET** 

DATE

EL PASO COUNTY ENGINEERING

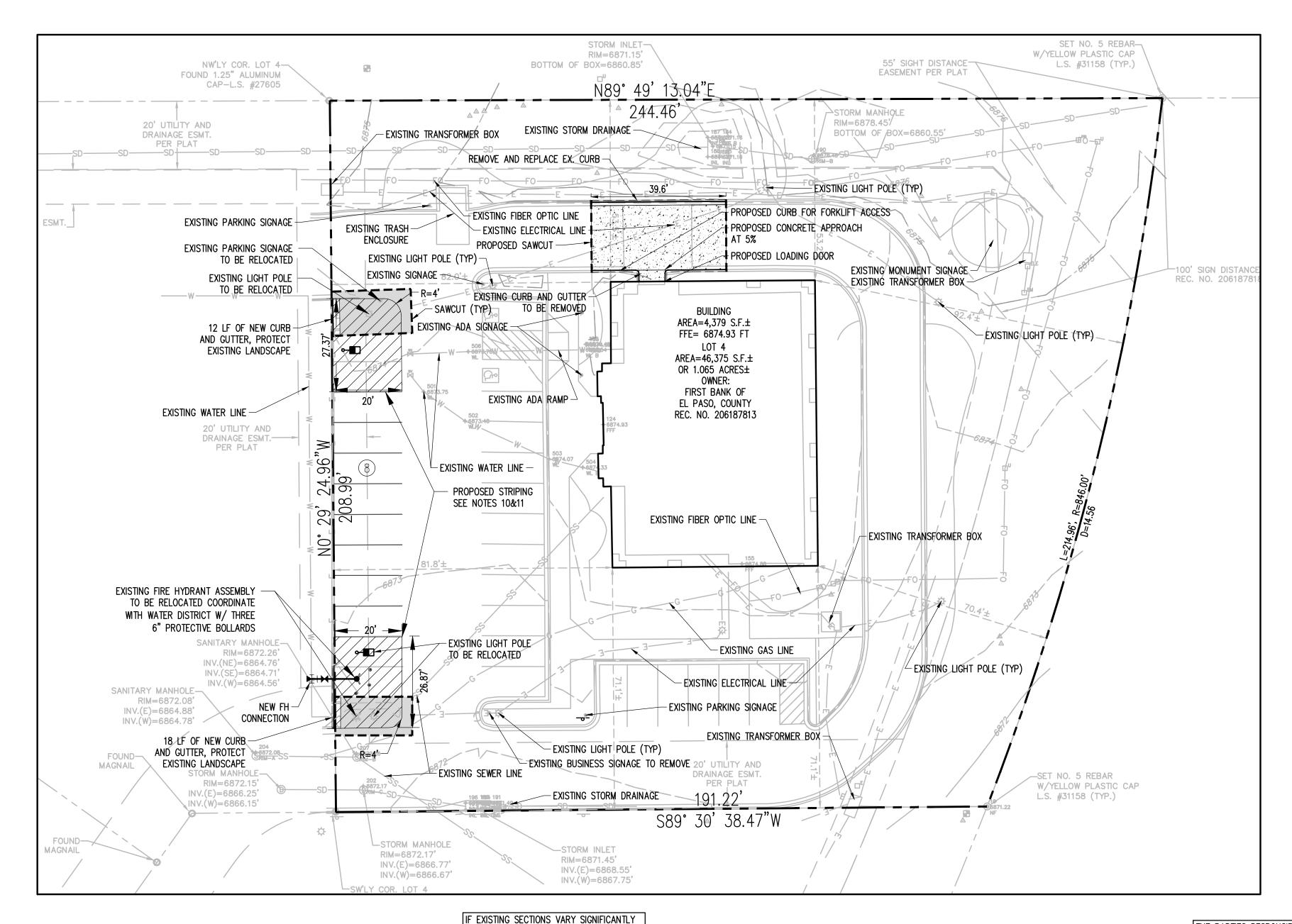
SHEET INFORMATION Know what's below.

Call before you dig.

Of

## FALCON - RETAIL PAINT STORE

FALCON HIGHLANDS SITE PLAN, FILE #22-006-031 A PARCEL OF LAND SITUATED IN THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M. CITY OF FALCON, COUNTY OF EL PASO, STATE OF COLORADO



NEW MATERIAL. -ASPHALT CONCRETE SURFACING (GRADE S OR SX) ASPHALT CONCRETE SURFACING (GRADE S OR SX) - CRUSHED BASE COURSE (CLASS 5 OR 6) COMPACTED SUITABLE NATIVE MATERIAL OR STRUCTURAL FILL. COMPACTED SUITABLE NATIVE MATERIAL OR STRUCTURAL FILL. UNSUITABLE NATIVE MATERIAL SHALL BE OVEREXCAVATED AND UNSUITABLE NATIVE MATERIAL SHALL BE OVEREXCAVATED AND REPLACED. STANDARD DUTY ASPHALT (OPT A) STANDARD DUTY ASPHALT (OPT B)

PORTLAND CEMENT CONCRETE (4000 PSI

COMPACTED SUITABLE NATIVE MATERIAL OR STRUCTURAL FILL. UNSUITABLE NATIVE MATERIAL SHALL BE OVEREXCAVATED AND

COMPRESSIVE STRENGTH)

HEAVY DUTY CONCRETE

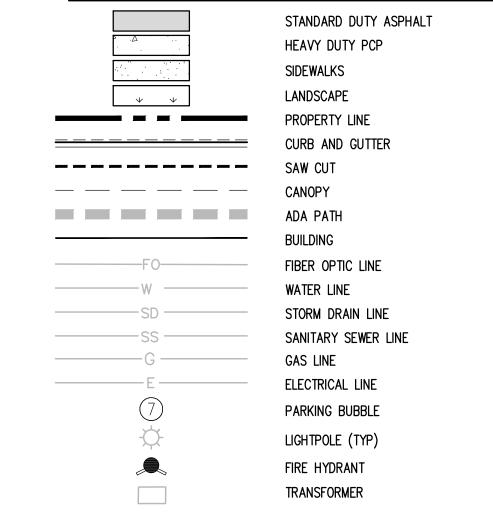
FROM THE PROPOSED SECTIONS BELOW

IMMEDIATELY PRIOR TO PLACEMENT OF ANY

PLEASE INFORM OWNER AND EOR

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS Published by the united states department of Justice. Approval of this plan by the CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

#### **LEGEND**





PROJECT TITLE FALCON-**RETAIL PAINT** STORE

> 11695 MERIDIAN MARKET VIEW. FALCON, CO 80831

PREPARED FOR WALL DEVELOPMENT GROUP

4201 E. YALE AVE, #140 **DENVER, CO 80222** 

## **NOTES**

- 1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/TOWN/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS
- 2. THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THIS PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON SURVEY PREPARED BY PRECISION SURVEY & MAPPING, DATED 05/17/22. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER

FOR REVIEW. 3. <u>CAUTION - NOTICE TO CONTRACTOR</u>

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITIES. AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES AND EXISTING IMPROVEMENTS WHICH

CONFLICT WITH THE PROPOSED IMPROVEMENTS ON THE PLANS. 4. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND

- DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, SIDEWALKS, RAMPS & TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS. 5. DIMENSIONS SHOWN REFER TO FACE OF CURB, FACE OF BUILDING OR TO THE CENTERLINE OF PAVEMENT STRIPING, UNLESS OTHERWISE NOTED.
- 6. ALL PAVED PARKING LOT AREAS WITHIN THE LIMITS OF IMPROVEMENTS SHALL BE STANDARD DUTY PAVEMENT UNLESS OTHERWISE NOTED.
- 7. CONTRACTOR SHALL PROVIDE A TEMPORARY TRAFFIC CONTROL PLAN FOR THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS ENGINEER'S APPROVAL PRIOR TO ANY WORK WITHIN
- THE COUNTY RIGHT-OF-WAY. 8. FIRE LANE STRIPING AROUND BUILDING PERIMETER AND ALONG FIRE TRUCK ACCESS WAYS SHALL BE INSTALLED AS PART OF THIS CONTRACT, IN ACCORDANCE WITH THE LOCAL CODE AND FIRE MARSHALL REQUIREMENTS.
- 9. REFER TO BOUNDARY SURVEY FOR LEGAL DESCRIPTION, DIMENSIONS OF PROPERTY LINES, BASIS OF BEARINGS & BENCHMARK INFORMATION. 10. ALL ON-SITE PAINTED STRIPING SHALL BE DOUBLE COATED. SEPARATE COATS SHALL BE
- APPLIED NO SOONER THAN 4 HOURS APART. 11. PARKING LOT STRIPING SHALL BE YELLOW, 4" WIDTH, UNLESS OTHERWISE NOTED. 12. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND
- WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. 13. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR
- RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID. 14. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND
- SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID. 15. EXISTING LIGHT POLES AND ANY SIGNS/APPURTENANCES LOCATED WITHIN THE NORTH AND SOUTH PARKING ISLANDS MUST BE RELOCATED IN ACCORDANCE WITH THE COUNTY OF EL
- PASO, ADJACENT PROPERTY OWNERS AND UTILITY COMPANY. 16. EXISTING HYDRANT AND WATER LINE LOCATED WITHIN THE SOUTH PARKING ISLAND MUST BE RELOCATED IN ACCORDANCE WITH THE COUNTY OF EL PASO AND WATER UTILITY COMPANY.
- 17. PROPOSED CURB AND GUTTER MODIFICATIONS AT THE ENTRANCE AND EXIST MUST BE MODIFIED FOR TRAILER ACCESS, CURB FACE. 18. ALL JOINTS WITHIN PAVED SURFACES TO BE SEALED WITH APPROVED SEALANT. PLEASE

02/10/2023

SHEET TITLE

SUBMITTAL

DRAWN BY:

PROJECT NO .:

CITY COMMENTS

REVISIONS

#22-006-031

SITE PLAN

Call before you dig.

DATE

Know what's below.

**PLAN** 

EELPASSOCOUNTYYENGONERRIGG COMMUNITY DEVELOPMENT DIRECTOR DATE

1 inch = 20 ft.

SUBMIT PROPOSED SEALANT WITH MATERIAL SUBMITTAL.

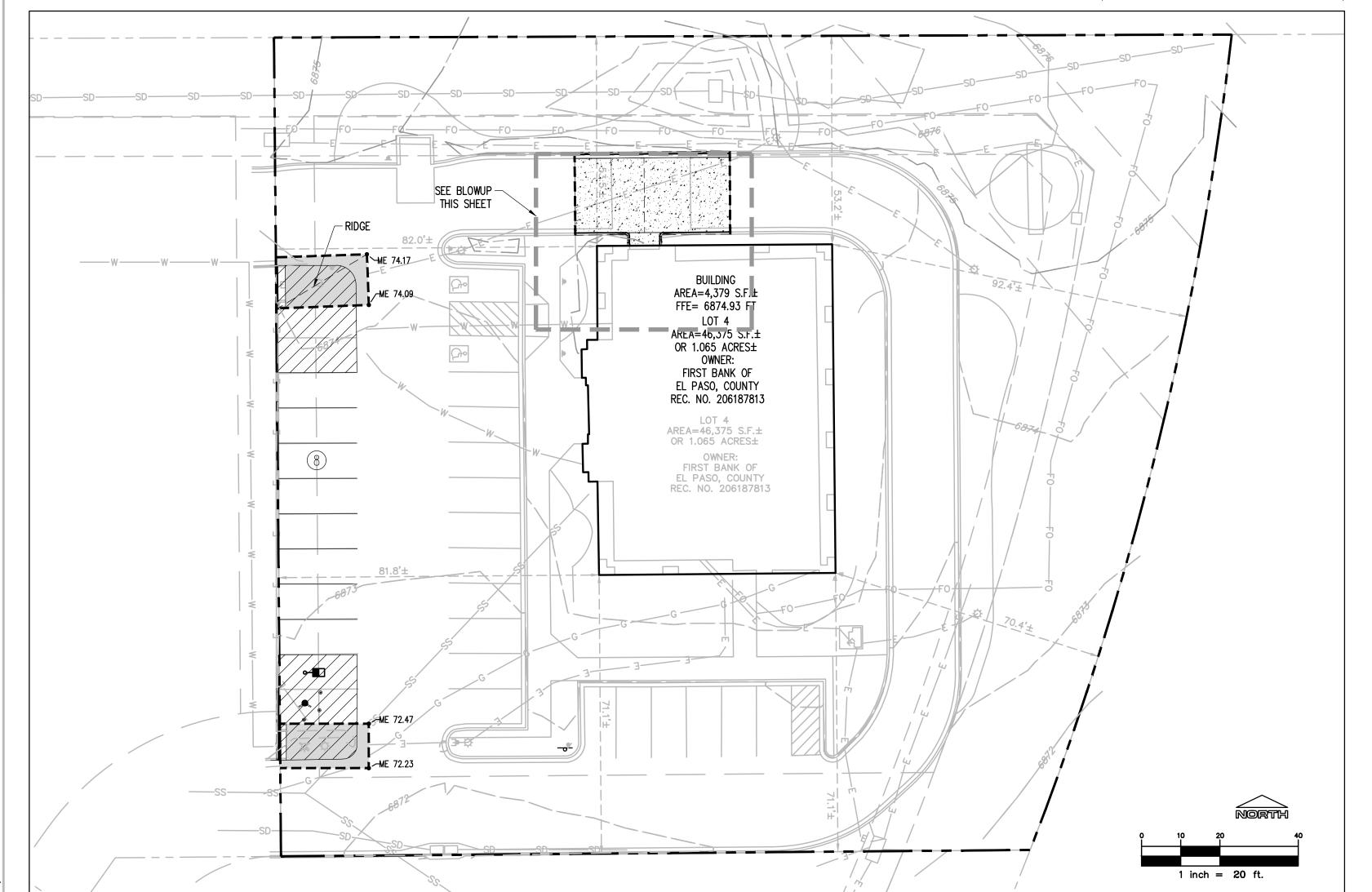
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**IMPROVEMENT** 

SHEET INFORMATION

## FALCON - RETAIL PAINT STORE

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## STORM DRAINAGE NOTES

- 1. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- 2. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.

## LEGEND

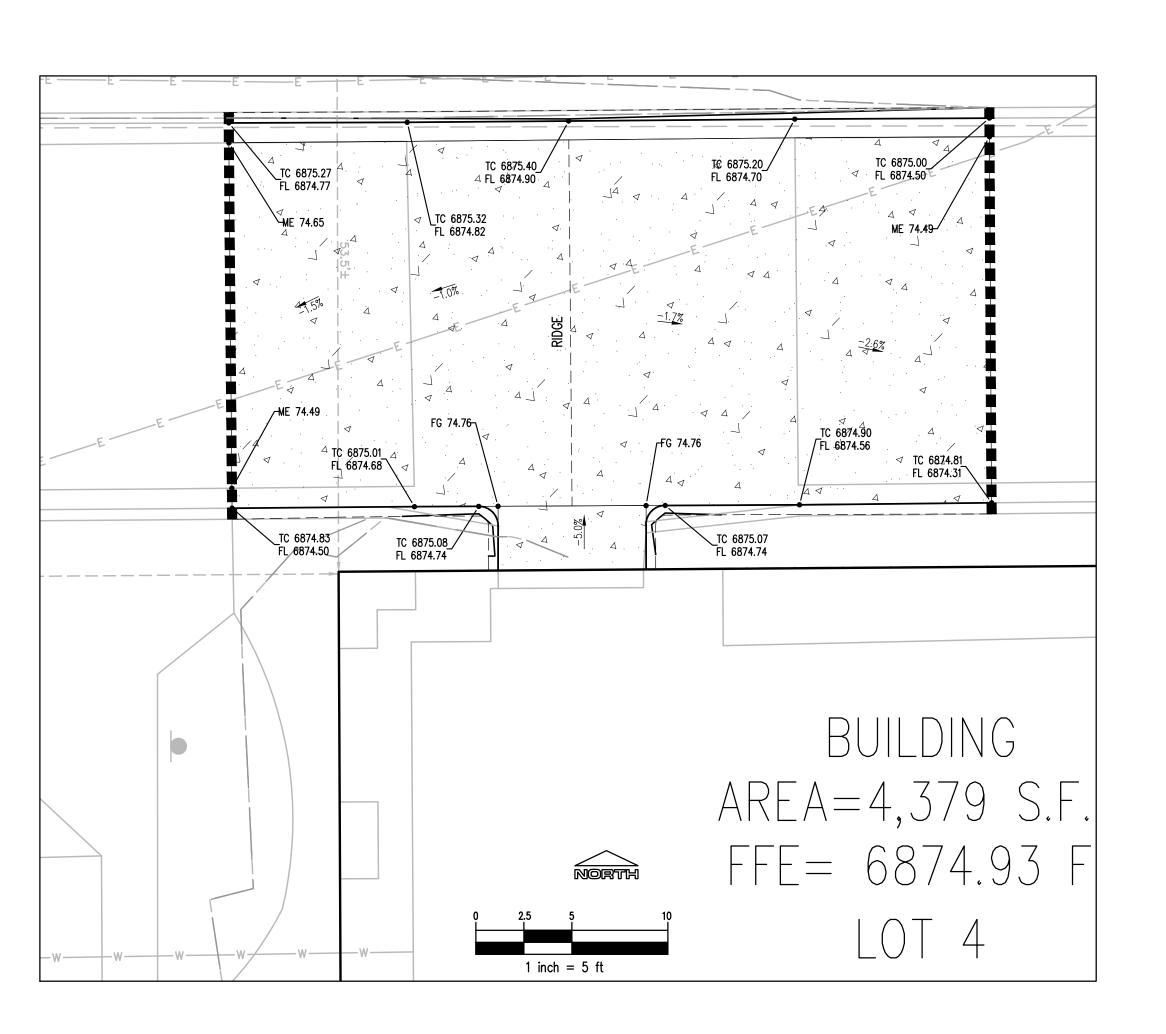
EX. CONTOUR	24
PROPOSED CONTOUR	322
PROPERTY LINE	
SPOT ELEVATION	<u>4653</u> ●
TOP OF CURB	TC

## **GRADING NOTES**

1. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL STABILIZE DISTURBED AREAS WITH GRASS IN ACCORDANCE WITH LOCAL SPECIFICATION UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

FLOW LINE

- 2. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS AND SHALL GRADE ALL AREAS TO PRECLUDE PONDING OF WATER. 3. ALL POLLUTANTS OTHER THAN SEDIMENT ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND
- DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- 4. PROPERTIES AND WATERWAYS DOWNSTREAM OF THE SITE SHALL BE PROTECTED FROM EROSION DUE TO INCREASES IN THE VOLUME, VELOCITY AND PEAK FLOW RATE OF STORMWATER RUNOFF FROM PROJECT
- 5. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME. 6. FOR BOUNDARY AND TOPOGRAPHIC INFORMATION REFER TO PROJECT SURVEY.
- 7. REUSE OF NATIVE MATERIAL PERMITTED IF PLACED IN 8" LIFTS AND COMPACTED TO 95% MODIFIED
- 8. SPOT ELEVATIONS SHOWN ARE TO THE TOP OF PAVEMENT, GUTTER FLOWLINE, OR FINISHED GRADE, UNLESS OTHERWISE SPECIFIED.



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11695 MERIDIAN MARKET VIEW, FALCON, CO 80831

WALL DEVELOPMENT GROUP

4201 E. YALE AVE, #140 **DENVER, CO 80222** 

SUBMITTAL SITE PLAN

CITY COMMENTS

02/10/2023

GRADING PLAN

SHEET INFORMATION Know what's below.

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C-2.0

3 Of 3

REVIEWED BY: \_\_\_\_\_\_EL PASO COUNTY ENGINEERING