



Date: 02-14-2023
Project Name: Retail Paint Store – 11695 Meridian Market View.
Property Address: 11695 Meridian Market View Road, Peyton, CO 80831
Property Tax No.: 5312101015

Agent/Project Manager:

Ridgetop Engineering
541 E. Garden Drive, Unit N
Windsor, CO 80550
Mike Beach
970-663-4552
mbeach@ridgetopeng.com

Applicant/Developer:

Wall Development Group LLC
4201 E. Yale Ave, Suite 140
Denver, CO 80222
Alicia Khine
949.302.4291
akhine@walldevgroup.com

Ownership:

The applicant is a contract purchaser pursuant to a contract with FirstBank.
First Bank of El Paso County, a Colorado Corporation
11695 Meridian Market View
Peyton, CO 80831
Pete Whalen
303.231.2034
Pete.Whalen@efirstbank.com

Proposed Use: Sherwin Williams Retail Paint Store

Land Area: 1.05 acres



Project Summary:

The Retail Paint Store is proposed on the currently vacant building (former First Bank). The property is currently zoned as CR- Commercial Regional that allows the proposed use (Retail



Paint). The existing driveway to the south of the existing building will be modified for the proposed use. Four (4) of the existing parking spaces will be lost due to the new driveway configuration. However, the number of car parks provided (26 spaces) is above the required number (18 spaces).

The existing building footprint (approximate 4500 sf.) will remain as it is, however, interior tenant improvement works will be required for the development. A new loading door will be added to the north façade.

Site work will consist of removal of approximately 170 LF of curb and gutter. Approximately 100 LF of new curb and gutter will be installed. The two islands being removed will be sawcut around and this area will be replaced with asphalt. Two parking lot lights will be shifted over to accommodate the delivery trucks. The existing fire hydrant will be shifted to the north as well approximately 10 LF to accommodate the delivery trucks.

Zoning:

The property is currently zoned as CR- Commercial Regional. The proposed use (Retail Paint) is allowed under the CR- Commercial Regional.

Access and Traffic:

The parcel currently obtains access through an existing driveway off Meridian Road. The proposed Sherwin-Williams store will generate equal or fewer traffic trips than the former First Bank.

Utilities:

All existing utilities including water, stormsewer, stormwater, gas, and electricity will remain AS-IS.

Conclusion

The proposed development will have little or no impact on adjacent land. The proposed use is consistent with El Paso County's CR-Commercial Regional requirements.

With the proposed minor site modifications with the total land disturb areas of approximately 1900 square feet, we do not anticipate any adverse drainage pattern changes. Runoff will continue to flow in the current flow directions as exist today. Only minor work related to relocating of existing fire hydrant is to be done on the adjacent which is granted under the existing utility access easements.

The site has been vacant for a while; thus, the proposed project will add commercial service to neighboring communities and will generate income for the County.

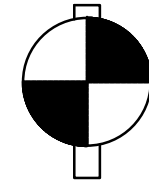
FALCON - RETAIL PAINT STORE

FALCON HIGHLANDS SITE PLAN, FILE #22-006-031
 A PARCEL OF LAND SITUATED IN THE NORTHEAST QUARTER OF
 SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M.
 CITY OF FALCON, COUNTY OF EL PASO, STATE OF COLORADO

DRAWING INDEX		
SHEET	SHEET TITLE	SHEET NUMBER
CV-1	COVER SHEET	1
C-1.0	SITE PLAN	2
C-2.0	GRADING PLAN	3



BENCHMARK DATA



A GPS DERIVED ELEVATION WAS ESTABLISHED AT AN ONSITE BENCHMARKING BEING SET NO.5 REBAR WITH A RED PLASTIC CAP STAMPED "P.S.M. CONTROL" AS SHOWN HEREON ELEVATION = 6,876.17' (NAVD88).

VERTICAL DATUM

BASIS OF BEARING

BEARINGS ARE BASED ON THE WESTERLY LINE OF LOT 4 OF THE FALCON HIGHLANDS MARKET PLACE FILING NO. 1A, ASSUMES TO BEAR N00°29'55"W A DISTANCE OF 208.99 FEET FROM A CHISELED "X" FOUND AT THE SOUTHWEST CORNER OF SAID LOT 4 TO A 1.25" ALUMINUM CAP STAMPED L.S. #27605 FOUND AT THE NORTHWEST CORNER OF SAID LOT 4.

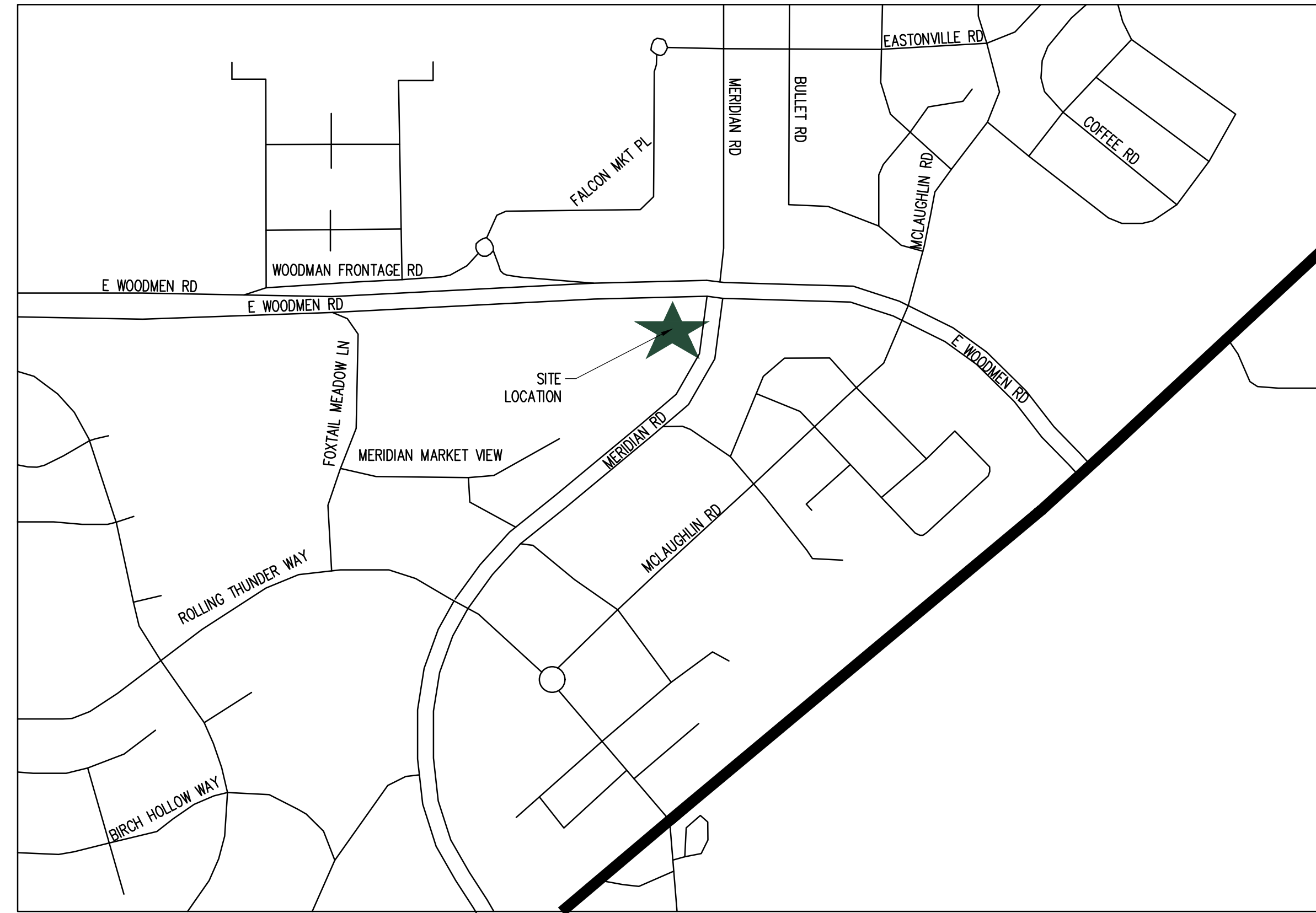
LEGAL DESCRIPTION

LOT 4 FALCON HIGHLANDS MARKET PLACE FILING NO. 1A;

RECEPTION NO. 206712475,
 EL PASO COUNTY, COLORADO

NOTE

- SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE PROJECT SPECIFICATIONS AND COUNTY OF EL PASO STANDARDS WHICH ARE HEREBY REFERENCED AS PART OF THESE PLANS.
- THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THE PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON THE SURVEY PREPARED BY PRECISION SURVEY & MAPPING, DATED 05/17/2022. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CAUTION - NOTICE TO CONTRACTOR**
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL RESTRICT WORKING HOURS TO BETWEEN 7:00 AM AND 6:00 PM ON NORMAL EL PASO COUNTY BUSINESS DAYS UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE COUNTY.



VICINITY MAP

1:1000'



PROJECT NOTES

- THIS PROPERTY IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOODPLAIN) AS ESTABLISHED BY FEMA PER FIRM PANEL 0804100553G, WITH AN EFFECTIVE DATE OF 12/7/2018.
- PER COUNTY CODE SECTION 6.2.3.B.1.A, ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
- SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT AT 719-520-6300 TO BEGIN A SIGN PERMIT APPLICATION.
- OLD REPUBLIC TITLE INSURANCE COMPANY, ORDER NO. SC55101761-5 DATED MARCH 29, 2022 WAS RELIED UPON ENTIRELY FOR RECORD INFORMATION REGARDING RIGHTS-OF-WAY, EASEMENTS AND ENCUMBRANCES. THE PROPERTY DESCRIBED HEREON IS SUBJECT TO ALL RESTRICTIONS SET FORTH IN SAID COMMITMENT.
- ALL DIMENSIONS SHOWN HEREON ARE IN U.S. FEET. ALL BEARINGS SHOWN HEREON ARE IN DEGREES-MINUTES-SECONDS.
- NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK WAS FOUND AT THE TIME OF SURVEY AND NO OBSERVABLE EVIDENCE OF BUILDING ADDITIONS WITHIN RECENT MONTHS.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR THEIR ASSIGNS.

PROPOSED DEVELOPMENT SUMMARY TABLE

SITE LOCATION	BUSINESS PARK LOCATED NORTHEAST OF MERIDIAN MARKET VIEW
SITE ADDRESS	LOT 4: 11695 MERIDIAN MARKET VIEW, FALCON, CO 80831
OWNER	FIRST BANK OF EL PASO COUNTY
OWNER ADDRESS	12345 W. COLFAX AVE., DENVER, CO 80215
OWNER CONTACT	PETE WHALEN, PH: 303-231-2034
TAX SCHEDULE NUMBER	5312101015
ZONE DISTRICT	CR
TOTAL ACREAGE	1.06
EXISTING USE	FIRSTBANK- FALCON BRANCH
PROPOSED USE	RETAIL PAINT STORE
BUILDING SETBACK	EXISTING (NO CHANGE)
BUILDING HEIGHT	EXISTING (NO CHANGE)
BUILDING FOOTPRINT	4,379 SF
PARKING	REQUIRED: 18; PROVIDED: 26
LOT COVERAGE	9% (BUILDING) 54% (IMPERVIOUS SURFACES) 37% (PERVIOUS SURFACES)

PROJECT CONTACTS:

CIVIL ENGINEER
 RIDGETOP ENGINEERING
 541 E. GARDEN DRIVE, UNIT N
 WINDSOR, CO 80550
 (970) 663-4552
 CONTACT: MIKE BEACH, P.E.

DEVELOPER/APPLICANT
 WALL DEVELOPMENT GROUP
 4201 EAST YALE AVENUE
 DENVER, CO 80222
 (720) 907-9010
 CONTACT: ALICIA KHINE

ARCHITECT
 LINGLE DESIGN GROUP INC.
 1764 BLAKE STREET
 DENVER, CO 80202
 (303) 974-5873
 CONTACT: MICHAEL PUCKETT

SURVEYOR
 PRECISION SURVEY & MAPPING
 9025 E. KENYON AVE., SUITE 150
 DENVER, CO 80237
 (303) 753-9799
 CONTACT: STEVEN BAILEY

SEAL

PROJECT TITLE

**FALCON-
 RETAIL PAINT
 STORE**

11695 MERIDIAN MARKET
 VIEW, FALCON, CO 80831

PREPARED FOR

**WALL DEVELOPMENT
 GROUP**

4201 E. YALE AVE, #140
 DENVER, CO 80222

SUBMITTAL

SITE PLAN

DRAWN BY: AJIS

CHECKED BY: MRB

PROJECT NO.: #22-006-031

REVISIONS

CITY COMMENTS 02/10/2023

DATE

02/10/2023

SHEET TITLE

COVER SHEET

SHEET INFORMATION

CV-1

1 of 3



Know what's below.
 Call before you dig.

REVIEWED BY: _____
 EL PASO COUNTY ENGINEERING DATE _____

