

ADD24695
 PLAT 9113
 PUD
 APPROVED 280 SQ FT
 SHED

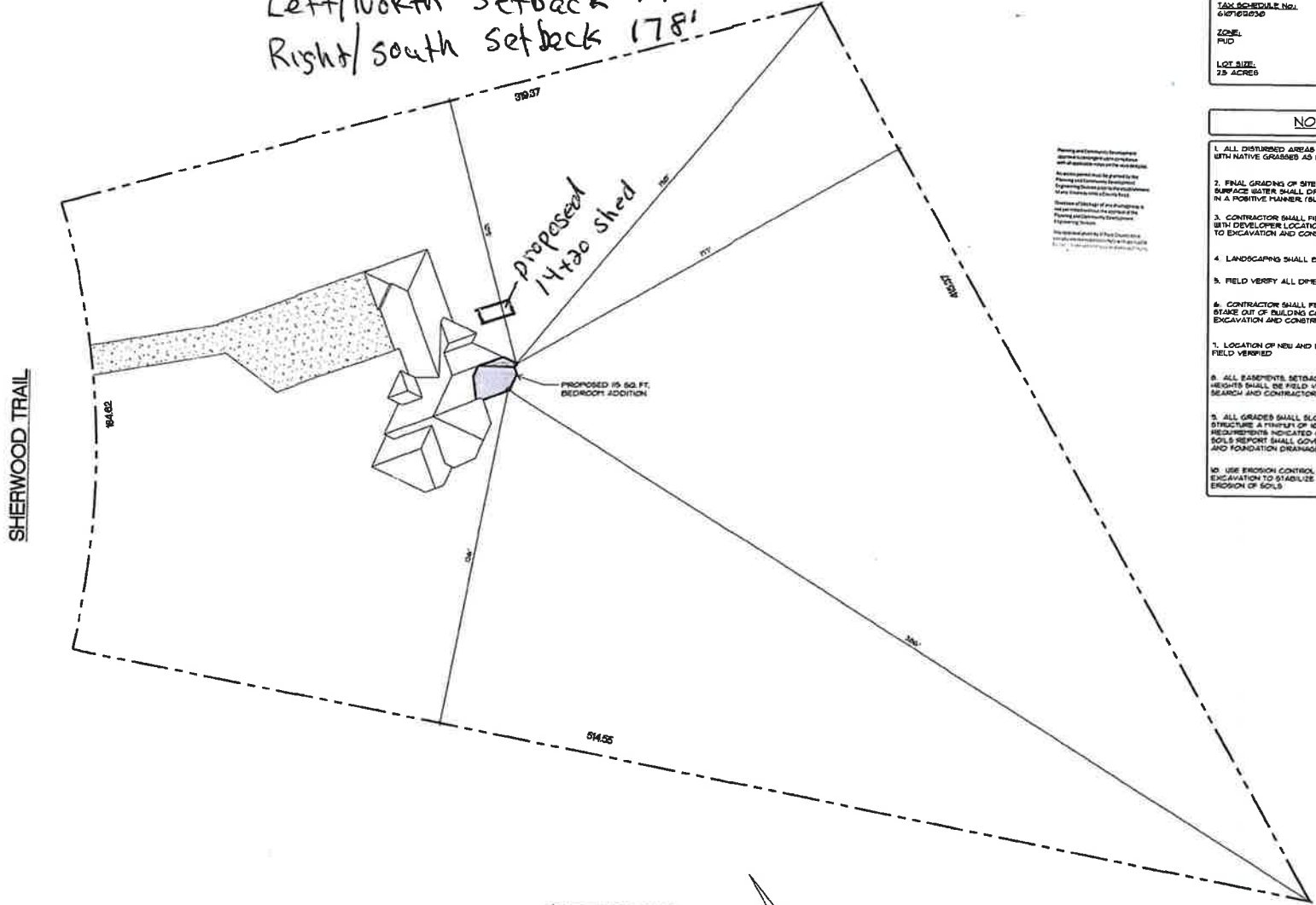
Front Setback 242'
 Setback from house 42'
 Rear Setback 161'
 Left/North Setback 74'
 Right/south setback 178'

APPROVED
 Plan Review
 11/25/2024 1:17:11 PM
 (dstrange)
 EPC Planning & Community
 Development Department

Not Required
 BESQP
 11/25/2024 1:18:23 PM
 (dstrange)
 EPC Planning & Community
 Development Department

ANY APPROVAL GIVEN BY
 THE PUD COUNTY
 DOES NOT OBLIVATE THE NEED
 TO COMPLY WITH APPLICABLE
 FEDERAL, STATE, OR LOCAL
 LAWS AND/OR REGULATION.
 Planning & Community Development Department
 approval is contingent upon compliance with all
 applicable rules on the recorded plat.
 An access permit must be granted by the
 Planning & Community Development Department
 prior to the establishment of any driveway onto a
 County road.
 Division of Storage of any drainage way
 is not permitted without approval of the
 Planning & Community Development Department

It is the owner's responsibility to
 coordinate with easement holders
 to avoid impact to utilities that
 may be located in the easements.



SITE PLAN
 SCALE: 1" = 20'-0"

PROPERTY OWNER:
 CLYDE TUCKER

ADDRESS:
 19395 SHERWOOD TRAIL
 MONUMENT CO, 80132-2889

LEGAL DESCRIPTION:
 LOT 2 LANDTREE SUB PL. NO 1

TAX SCHEDULE No.:
 4 NOTED

ZONE:
 PUD

LOT SIZE:
 2.8 ACRES

- NOTES:**
1. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH NATIVE GRASSES AS SOON AS POSSIBLE.
 2. FINAL GRADING OF SITE SHALL BE SUCH THAT SURFACE WATER SHALL DRAIN AWAY FROM STRUCTURE IN A POSITIVE MANNER (SLOPE 1/4 MINIMUM)
 3. CONTRACTOR SHALL FIELD VERIFY AND CONFIRM WITH DEVELOPER LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION AND CONSTRUCTION.
 4. LANDSCAPING SHALL BE PROVIDED BY OTHERS.
 5. FIELD VERIFY ALL DIMENSIONS.
 6. CONTRACTOR SHALL FIELD VERIFY AND CONFIRM STAKE OUT OF BUILDING CORNERS PRIOR TO EXCAVATION AND CONSTRUCTION.
 7. LOCATION OF NEW AND EXISTING UTILITIES TO BE FIELD VERIFIED
 8. ALL EASEMENTS, SETBACKS, GRACES AND HEIGHTS SHALL BE FIELD VERIFIED BY TITLE SEARCH AND CONTRACTOR.
 9. ALL GRADES SHALL SLOPE AWAY FROM STRUCTURE A MINIMUM OF 1/4 CORRESPOND TO ALL REQUIREMENTS INDICATED ON SOILS REPORT, SOILS REPORT SHALL GOVERN ALL BLAD DESIGN AND FOUNDATION DRAINAGE.
 10. USE EROSION CONTROL, FENCE DURING EXCAVATION TO STABILIZE AND PREVENT THE EROSION OF SOILS

Planning and Community Development
 Division of Storage of any drainage way
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D-1477(616)

DRAWINGS PREPARED BY:

 3rd Dimension
 10-10 DECATUR BLVD
 1431 Valley View Drive, Monument, CO 80132-2818

CONTRACTOR:

Affordable Views
 RJB CONSTRUCTION, INC.
 1425 Valley St. Unit C, CS, CO 80915 (719) 574-1422

CLIENT:
Bedroom Addition
19395 Sherwood Trail
Monument, CO
80132

DRAWN BY:
Brett A. Still

DATE:
1-21-20

JOB NO:
2020-02

SHEET: **1** OF **2**

3rd Dimension Graphics liability concerning anything presented on these drawings is limited to correction of the drawings and nothing more. All construction, craftsmanship and/or installation is the sole responsibility of the owner / contractor.