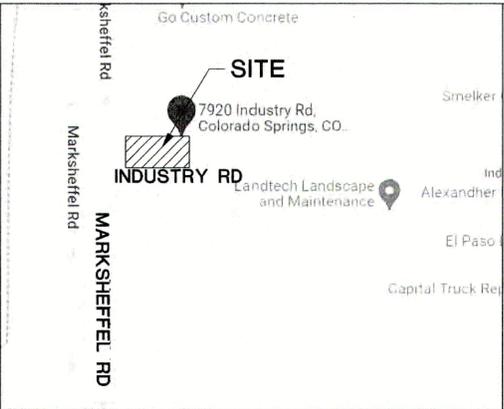


SMELKER SCHLEDER LLP
 7950 INDUSTRY ROAD
 PARCEL NO: 53332-01-011
 ZONE: I-3 CAD-0
 USE: MINI WAREHOUSE

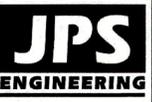
LOT 1
 2.763 ACRE

KEYED NOTES:

- 1 TOPSOIL & STRIPPINGS STOCKPILE AREA
- 2 CONTRACTOR MAY WASTE EXCESS CUT MATERIAL OR BORROW SUITABLE FILL MATERIAL FROM THIS AREA. MAINTAIN POSITIVE DRAINAGE & MATCH INTO EXISTING GRADES WITH 3:1 MAX. SLOPE.
- 3 PREPARE AND COMPACT BUILDING FOUNDATION & SLABS PER PROJECT GEOTECHNICAL REPORT
- 4 PARKING LOT PAVING PER GEOTECHNICAL REPORT (4" ASPHALT OVER 6" AGGREGATE BASE UNLESS NOTED OTHERWISE)
- 5 STORAGE AREA FOR BUILDING MATERIALS, EQUIPMENT & CONSTRUCTION WASTE (CONTRACTOR MAY ADJUST AS NEEDED)
- 6 MIN 4'x4' CONCRETE LANDING AT DOOR W/2.0% SLOPE AWAY FROM BUILDING



VICINITY MAP



19 E. Willamette Ave.
 Colorado Springs, CO
 80903
 PH: 719-477-9429
 FAX: 719-471-0766
 www.jpsegr.com



CALL UTILITY NOTIFICATION
 CENTER OF COLORADO
 1-800-922-1987
 CALL BUSINESS DAYS IN ADVANCE
 BEFORE ANY EXCAVATION
 FOR THE MARKING OF UNDERGROUND
 UTILITIES.

**SMELKER - HCI BUILDING
 LOT 2, PUMP IT BABY SUBDIVISION**

ESTIMATED EARTHWORK QUANTITY:

UNCLASSIFIED EXCAVATION (TOTAL CUT) = 42 CY
 * TOTAL FILL = 1,592 CY
 NET (FILL) = 1,789 CY
 *(ASSUMES 15% COMPACTION FACTOR)

NOTE: THIS ESTIMATE IS PROVIDED FOR INFORMATION ONLY, REPRESENTING THE CALCULATED BULK EARTHWORK VOLUME TO FINISHED GRADE, EXCLUDING ANY ADJUSTMENT FOR PAVEMENT DEPTHS, ETC. CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF EARTHWORK QUANTITIES AS BASIS FOR BID PRICING AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

ENGINEER:

DESIGN ENGINEER'S STATEMENT:

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED AND SUBMITTED TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR LIABILITY AS Laid BY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.

JOHN P. SCHWAB, P.E. #29891

OWNER/DEVELOPER'S STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

OWNER SIGNATURE

NAME: HAMMERS CONSTRUCTION
 ADDRESS: 1411 WOOLSEY HEIGHTS
 COLORADO SPRINGS, CO 80915
 PHONE: (719) 570-1599 EMAIL: SHammers@hammersconstruction.com

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THEY WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

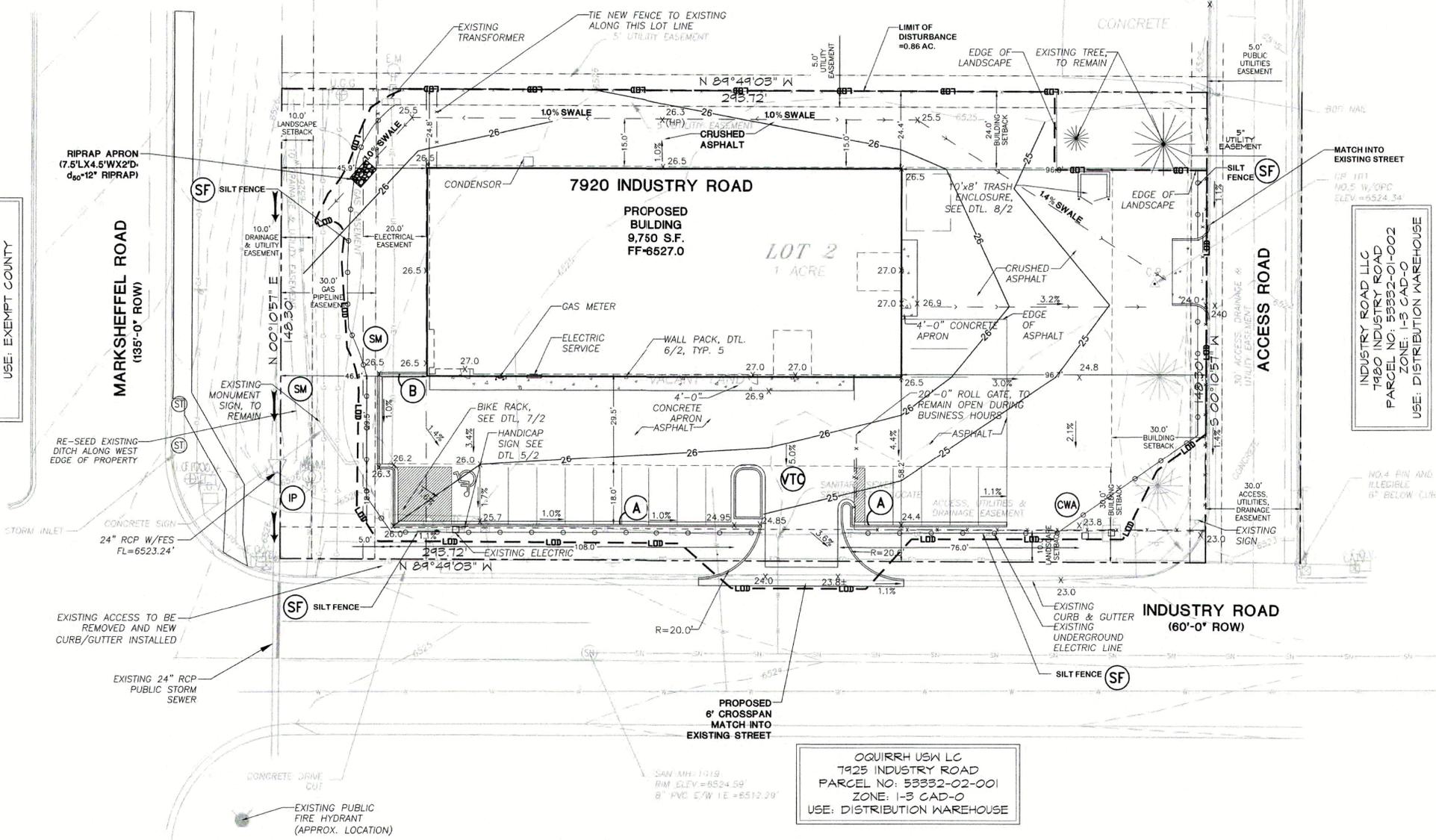
JOSHUA PALMER, P.E.
 COUNTY ENGINEER / ECM ADMINISTRATOR

DATE

EL PASO COUNTY
 3115 AKERS DRIVE
 PARCEL NO: 53000-00-592
 ZONE: I-3 CAD-0
 USE: EXEMPT COUNTY

MARKSHEFFEL ROAD
 (135'-0" ROW)

INDUSTRY ROAD LLC
 7950 INDUSTRY ROAD
 PARCEL NO: 53332-01-002
 ZONE: I-3 CAD-0
 USE: DISTRIBUTION WAREHOUSE

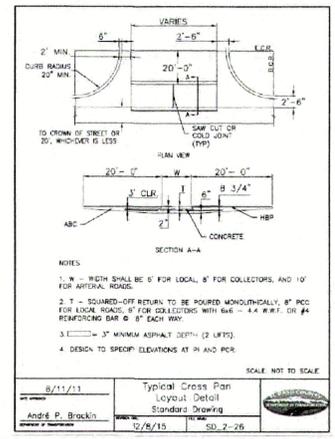


EROSION CONTROL LEGEND:

- (SF) SILT FENCE
- (VTC) VEHICLE TRACKING PAD
- (IP) INLET PROTECTION
- (SM) SEED & MULCH
- (CWA) CONCRETE WASHOUT AREA
- (IP) INLET PROTECTION
- PROPERTY LINE
- EASEMENT LINE
- 6520 --- PROPOSED CONTOUR
- 49.0 --- EXISTING CONTOUR
- 49.0 --- PROPOSED SPOT ELEVATION (FLOWLINE)
- 28.5 --- EXIST. SPOT ELEVATION
- TW TOP OF RETAINING WALL
- BW BOTTOM OF RETAINING WALL
- CUT --- CUT/FILL DEMARCATION LINE
- LOD --- LIMIT OF CONSTRUCTION/DISTURBANCE
- DS DOWNSPOUT CONNECTION TO STORM SEWER, INSTALL TRANSITION COUPLINGS & EXTEND 6" PVC (SDR35) AT 1.0% MIN. SLOPE TO SD REQUIREMENTS

NOTE: ALL EROSION CONTROL MEASURES SHALL CONFORM TO CITY OF COLORADO SPRINGS DRAINAGE CRITERIA MANUAL, VOLUME 2 REQUIREMENTS

BENCHMARK:
 SAN MH 1019
 RIM ELEV.=6524.59'

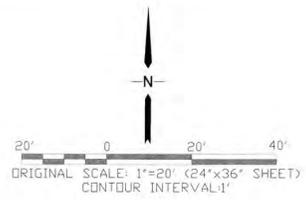


TYPE 3 CARRY CURB (A)

TYPE 3 SPILL CURB (B)

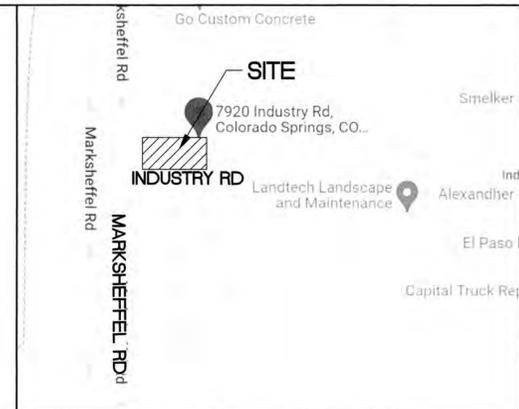
HORZ. SCALE: 1"=20'	DRAWN: PV
VERT. SCALE: N/A	DESIGNED: JPS
SURVEYED: RIDGELINE	CHECKED: JPS
CREATED: 05/27/20	LAST MODIFIED: 07/18/22
PROJECT NO: 042203	MODIFIED BY: PV
SHEET:	

C1.1

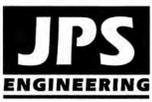


SMELKER SCHLEDER LLP
7950 INDUSTRY ROAD
PARCEL NO: 53332-01-011
ZONE: 1-3 CAD-0
USE: MINI WAREHOUSE

LOT 1
2.763 ACRE



VICINITY MAP



19 E. Willamette Ave.
Colorado Springs, CO
80903
PH: 719-477-9429
FAX: 719-471-0766
www.jpsegr.com

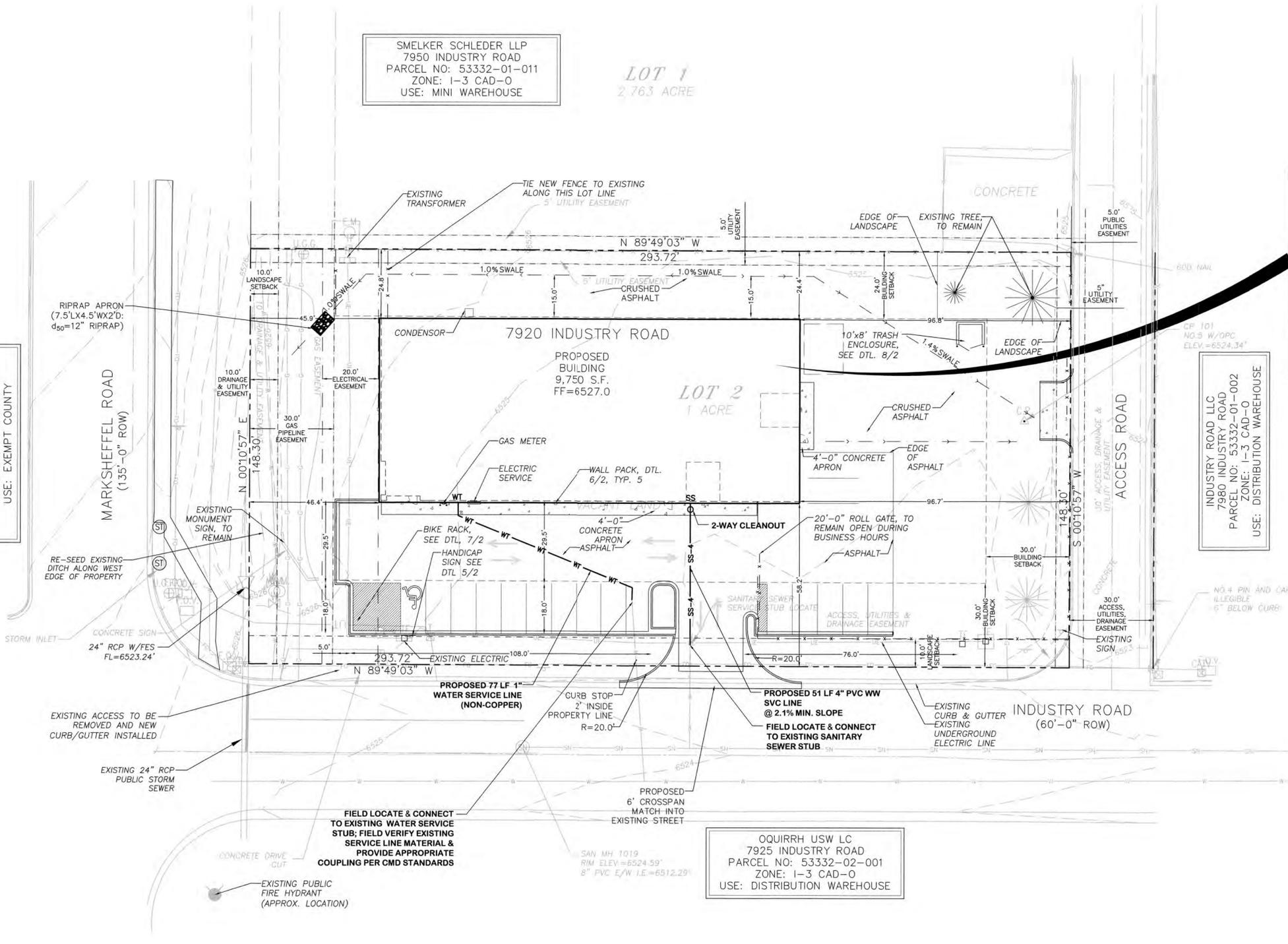


CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MEMBER UTILITIES.

EL PASO COUNTY
3115 AKERS DRIVE
PARCEL NO: 53000-00-592
ZONE: 1-3 CAD-0
USE: EXEMPT COUNTY

C:\Users\Owner\Desktop\paprojects\042203\hammers-smelker.dwg (incoming)\11.dwg Oct 18, 2022 11:48am

BENCHMARK:
SAN MH 1019
RIM ELEV.=6524.59'



COMMERCIAL BUILDING
7920 INDUSTRY ROAD
COLORADO SPRINGS, CO
9,750 SQ. FT.
TYPE II-B
2,000 GPM REQUIRED
2 HYDRANTS REQUIRED
450' MAX. SPACING
BETWEEN HYDRANTS
225' MAX. HOSE LAY
SPRINKLED BUILDING (N)
AREA SEPARATION WALLS (N)

INDUSTRY ROAD LLC
7980 INDUSTRY ROAD
PARCEL NO: 53332-01-002
ZONE: 1-3 CAD-0
USE: DISTRIBUTION WAREHOUSE

OQUIRRH USW LC
7925 INDUSTRY ROAD
PARCEL NO: 53332-02-001
ZONE: 1-3 CAD-0
USE: DISTRIBUTION WAREHOUSE

GENERAL UTILITY NOTES:

- ALL UTILITY CONSTRUCTION SHALL CONFORM TO CHEROKEE METROPOLITAN DISTRICT SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WEATHER SHOWN ON THE PLAN OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION.
- REVEGETATION OF ALL DISTURBED SLOPES SHALL BE DONE WITH DRY LAND GRASS SEED AFTER FINE GRADING IS COMPLETE.
- SANITARY SEWER PIPE SHALL BE PVC ASTM 03034-SDR35 UNLESS OTHERWISE NOTED.
- STATIONING IS AT CENTERLINE UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL SERVICE LINES, TRENCH BEDDING, THRUST BLOCKS AND REVERSE ANCHORS SHALL BE INSTALLED PER SACWSD STANDARDS. DISINFECTION AND TESTING SHALL BE COMPLETED PER SACWSD SPECIFICATIONS.
- LENGTHS SHOWN FOR STORM SEWER PIPES ARE TO CENTER OF MANHOLE.
- CONTRACTOR SHALL MAKE WATER CONNECTIONS WITHOUT SHUTDOWN OR NOTIFY DISTRICT AND AFFECTED RESIDENTS OF ANY SERVICE SHUTDOWNS NECESSARY TO CONNECT TO EXISTING LINES.
- CONTRACTOR SHALL COORDINATE WITH GAS, ELECTRIC, TELEPHONE AND CABLE T.V. UTILITY SUPPLIERS FOR INSTALLATION OF ALL UTILITIES. MINIMUM COVER FOR ALL NON-CITY UTILITIES SHALL BE 36".
- REFER TO MECHANICAL DRAWINGS FOR EXTENSION OF UTILITIES INTO BUILDINGS.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, DEBRIS, WASTE AND OTHER UNSUITABLE FILL MATERIAL FOUND WITHIN THE LIMITS OF EXCAVATION.
- REFER TO THE PROJECT GEOTECHNICAL REPORT & DISTRICT STANDARDS FOR BACKFILL AND COMPACTION SPECIFICATIONS.
- ALL ELECTRICAL AND OTHER DRY UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.
- COORDINATE WITH LOCAL UTILITIES FOR ELECTRIC, GAS & TELEPHONE SERVICE CONNECTIONS.

FIRE HYDRANT NOTE:

ADDITIONAL SITE FIRE HYDRANT IS LOCATED APPROXIMATELY 180' EAST OF SE PROPERTY CORNER OF THIS SITE

WATER SERVICE NOTES:

- WATER SERVICE LINE TO BE NON-COPPER. ACCEPTABLE MATERIALS INCLUDE HDPE AND CTS (BLUE).
- REFER TO PLUMBING PLANS FOR BACKFLOW PREVENTER & METER SET, WHICH SHALL CONFORM TO CMD STANDARDS.



**SMELKER - HCI BUILDING
LOT 2, PUMP IT BABY SUBDIVISION**

SITE UTILITY PLAN

HORZ. SCALE: 1"=20'	DRAWN: PV
VERT. SCALE: N/A	DESIGNED: JPS
SURVEYED: RIDGELINE	CHECKED: JPS
CREATED: 05/27/20	LAST MODIFIED: 10/18/22
PROJECT NO: 042203	MODIFIED BY: PV
SHEET:	

U1