

Approved SFD with attached 3-garage with storage area and personal workshop non-commercial use (1,105 SF), uncovered outdoor courtyard (912 SF), attached accessory living quarters ("Casita #2" 517 SF) and second kitchen.

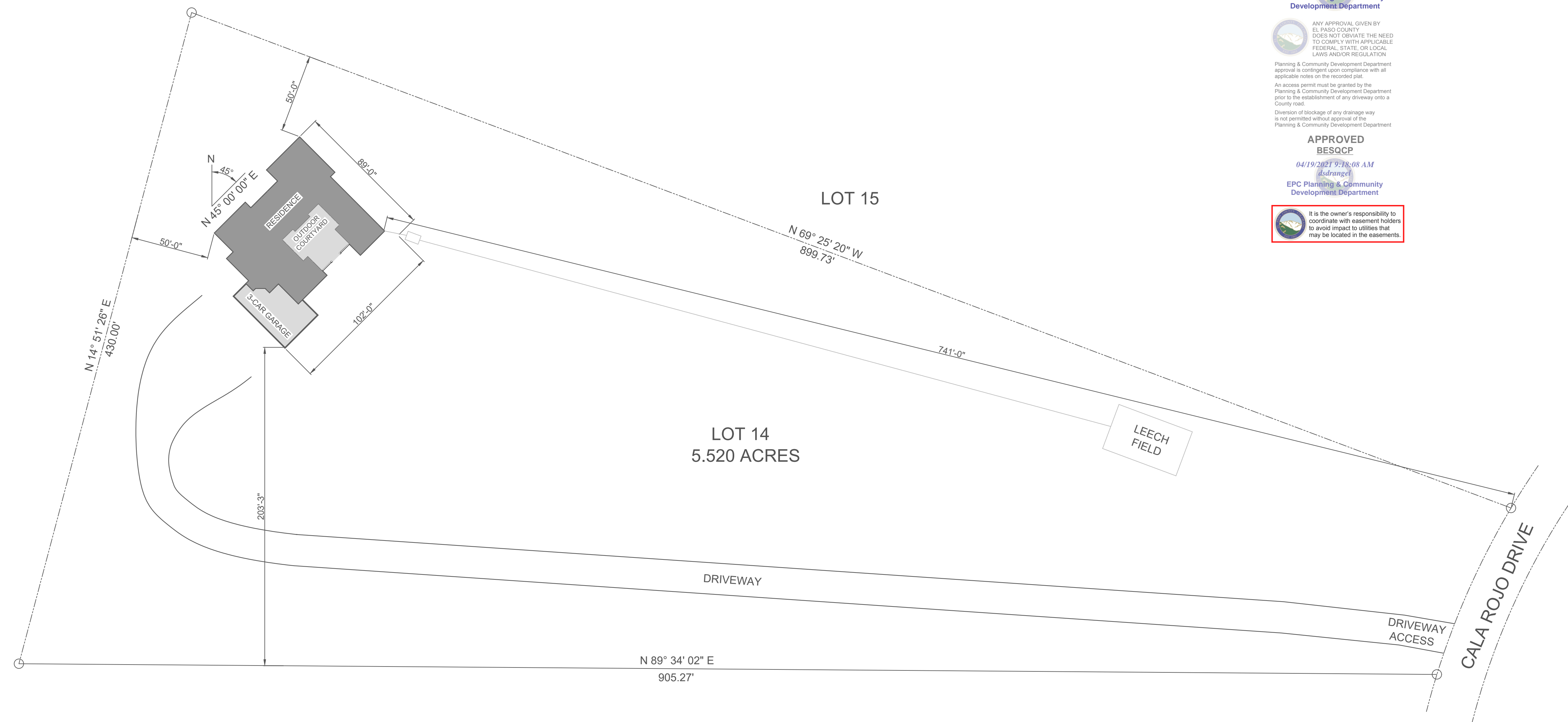
SFD21597
ADU2116
PLAT 9468
RR-5

APPROVED
Plan Review
04/19/2021 9:17:56 AM
dsdrangel
EPC Planning & Community
Development Department

ANY APPROVAL GIVEN BY
EL PASO COUNTY
DOES NOT OBTAIN THE NEED
TO COMPLY WITH APPLICABLE
FEDERAL, STATE, OR LOCAL
LAWS AND/OR REGULATION.
Planning & Community Development Department
approval is contingent upon compliance with all
applicable notes on the recorded plat.
An access permit must be granted by the
Planning & Community Development Department
prior to the establishment of any driveway onto a
County road.
Division of leakage of any drainage way
is not permitted without approval of the
Planning & Community Development Department.

APPROVED
BESQCP
04/19/2021 9:18:05 AM
dsdrangel
EPC Planning & Community
Development Department

It is the owner's responsibility to
coordinate with easement holders
to avoid impact to utilities that
may be located in the easements.



SITE PLAN

SCALE: 1" = 40'



MAIN LEVEL FINISHED = 4,840 S.F.
OUTDOOR COURTYARD = 912 S.F.
3-CAR GARAGE = 1,105 S.F.



Released for Permit
04/12/2021 10:48:23 AM
Becky A
ENUMERATION

LEGAL DESCRIPTION:

LOT 14, PINONS OF TURKEY CANON RANCH
EL PASO COUNTY, COLORADO

ADDRESS:

15992 CALA ROJO DRIVE
COLORADO SPRINGS, CO. 80906

TAX SCHEDULE NUMBER:

7705003014

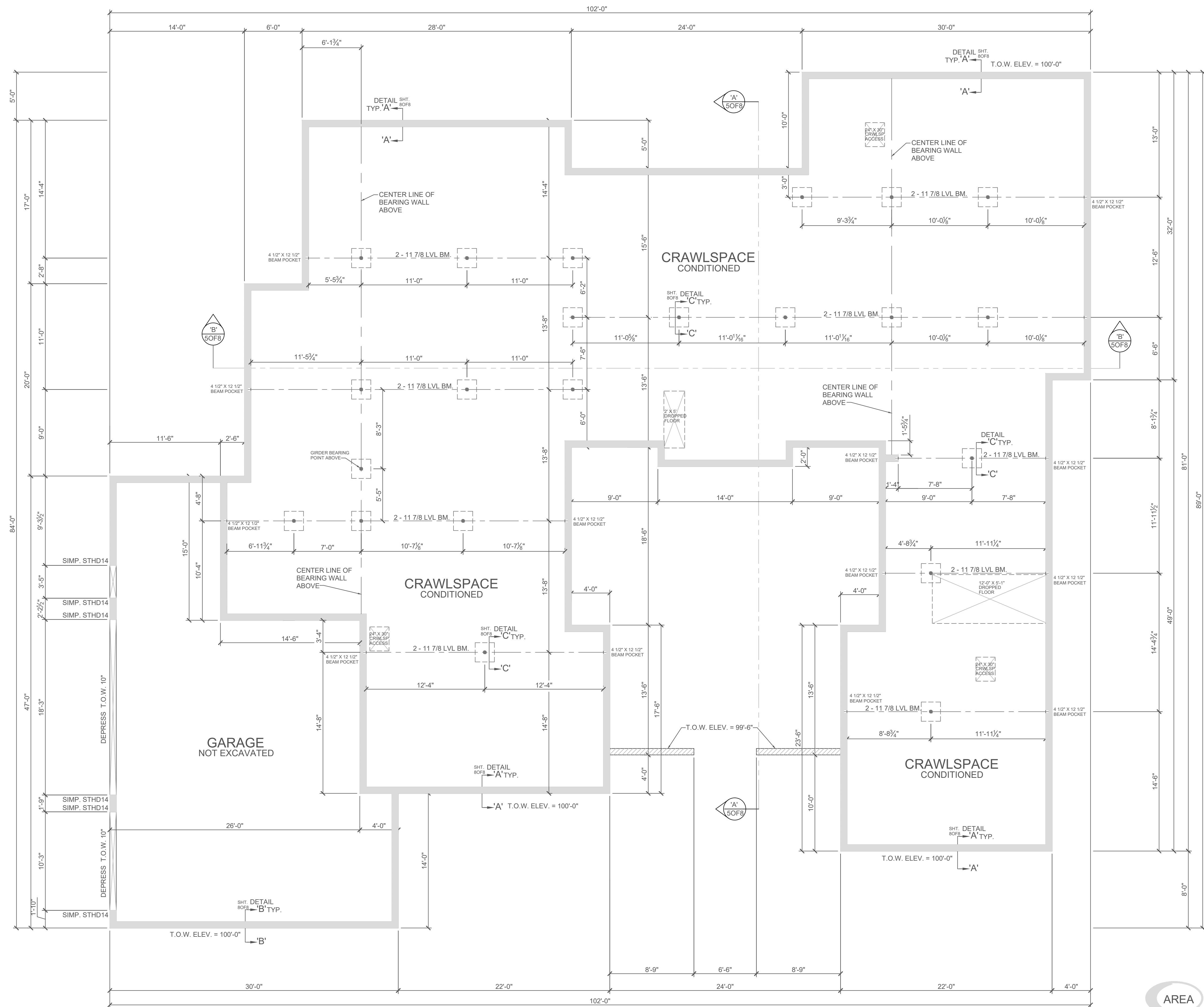
General Notes

1	ADDED DRIVEWAY ACCESS LOCATION AND DIMENSIONS	3/4/21
No.	Revision/Issue	Date

Firm Name and Address
DLM ENTERPRISES
P.O. BOX 1021
CANON CITY, CO.
81215. (719) 429-2657

Project Name and Address
YARBERRY HOME
15992 CALA ROJA DR.
COLORADO SPRINGS,
COLORADO 80926

Project YARBERRY	Sheet 1 OF 1
Date FEB. 22, 2021	SITE PLAN
Scale 1" = 40'	



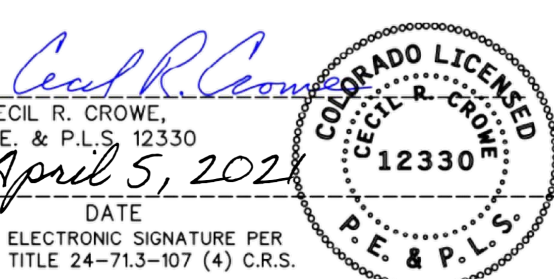
FOUNDATION PLAN ALL FOUNDATION COMPONENTS TO BE ENGINEERED BY A LICENSED COLORADO PROFESSIONAL. SOILS REPORT AND ENGINEERED FOUNDATION DESIGN AT TIME OF FIRST INSPECTION.

MAIN LEVEL FINISHED = 4,840 S.F.
 OUTDOOR COURTYARD = 912 S.F.
 3-CAR GARAGE = 1,105 S.F.

AREA

General Notes

Cecil R. Crowe
 CECIL R. CROWE,
 P.E. & P.L.S. 12330
 April 5, 2021
 DATE
 ELECTRONIC SIGNATURE PER
 TITLE 24-713-107 (4) C.R.S.



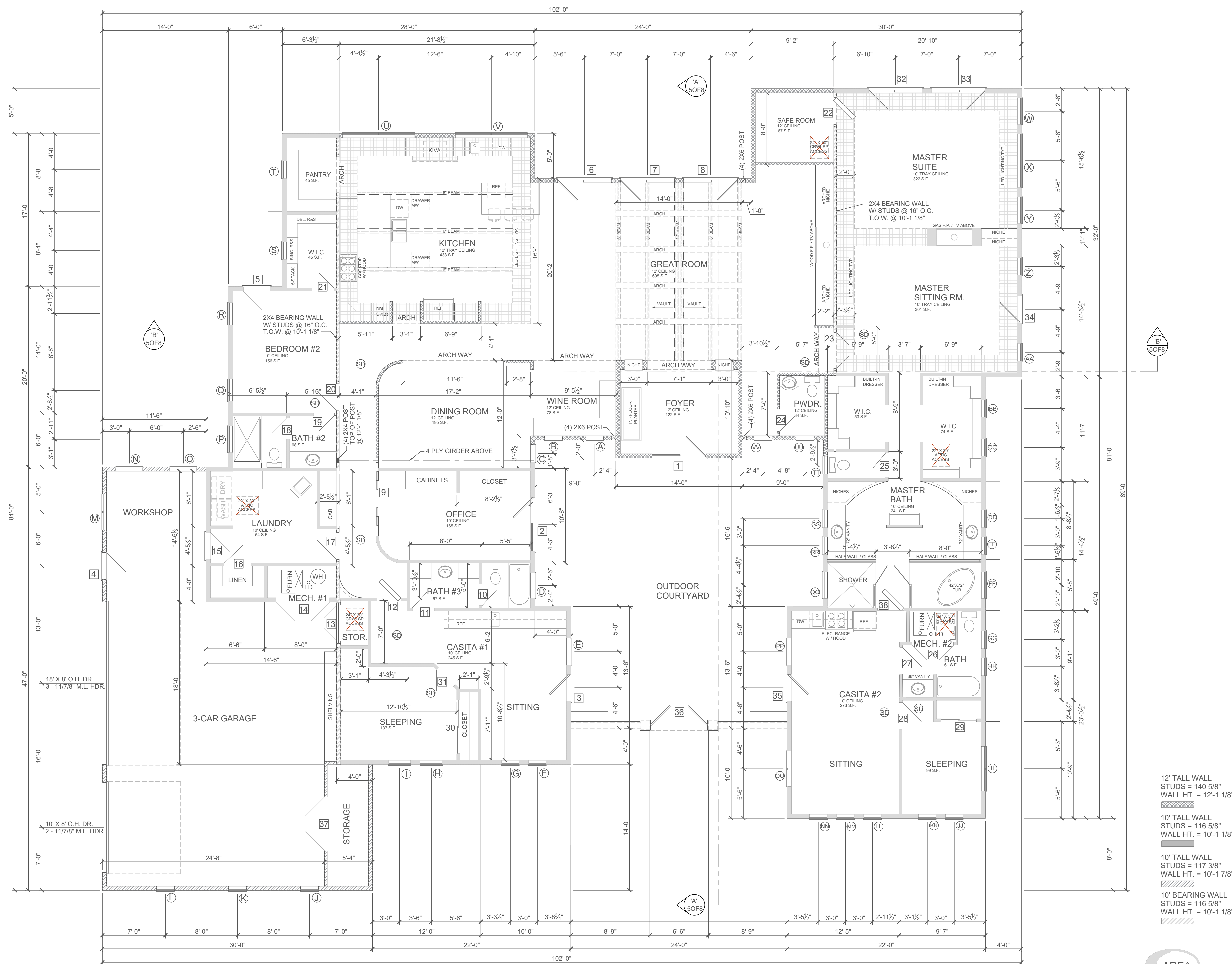
Released for Permit
 04/13/2021 10:56 AM
 REGIONAL
 ENGINEERS
 CONSTRUCTION

No.	Revision/Issue	Date

Firm Name and Address
DLM ENTERPRISES
 P.O. BOX 1021
 CANON CITY, CO.
 81215. (719) 429-2657

Project Name and Address
YARBERRY HOME
 15992 CALA ROJA DR.
 COLORADO SPRINGS,
 COLORADO 80926

Project YARBERRY	Sheet 1 OF 8
Date FEB. 22, 2021	FOUNDATION PLAN
Scale 3/16" = 1'-0"	



MAIN LEVEL FLOORPLAN

- ALL EXTERIOR DOOR AND WINDOW HEADERS ARE TO BE 2 - 11 7/8" LVL U.N.O.
- ALL INTERIOR BEARING WALL HEADERS ARE TO BE 2 - 11 7/8" LVL U.N.O.
- ALL HEADERS TO BE ADJACENT TO THE OPENINGS THEY CARRY, NOT AT THE TOP OF THE WALL.

MAIN LEVEL FINISHED = 4,840 S.F.
OUTDOOR COURTYARD = 912 S.F.
3-CAR GARAGE = 1,105 S.F.

General Notes

Carl R. Crowe
CARL R. CROWE,
P.E. & P.L.S. #2330
April 5, 2021
DATE
ELECTRONIC SIGNATURE PER
TITLE 24-713-107 (4) C.R.S.



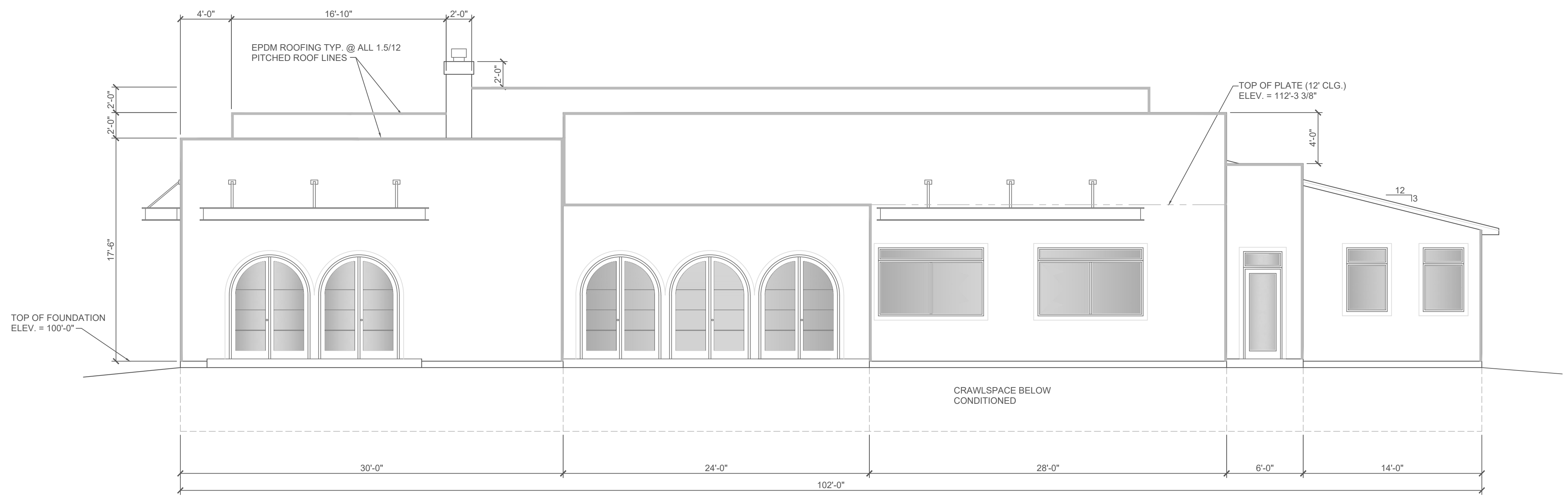
No.	Revision/Issue	Date
1	ADDED DOORWAY FROM CASITA #2 TO MAIN HOUSE	3/30/21

Firm Name and Address
DLM ENTERPRISES
P.O. BOX 1021
CANON CITY, CO.
81215. (719) 429-2657

Project Name and Address
YARBERRY HOME
15992 CALA ROJA DR.
COLORADO SPRINGS,
COLORADO 80926

Project YARBERRY	Sheet 2 OF 8
Date FEB. 22, 2021	MAIN LEVEL FLOOR PLAN
Scale 3/16" = 1'-0"	





NORTH WEST ELEVATION

PROVIDE 1/150 OF ROOF AREA FOR ROOF VENTILATION.

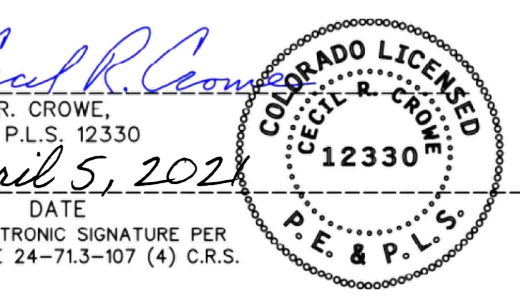


SOUTH EAST ELEVATION

PROVIDE 1/150 OF ROOF AREA FOR ROOF VENTILATION.

General Notes

Carl R. Crowe
 DECIL R. CROWE
 P.E. & P.L.S. 12330
 DATE: April 5, 2021
 ELECTRONIC SIGNATURE PER
 TITLE 24-71.3-107 (4) C.R.S.



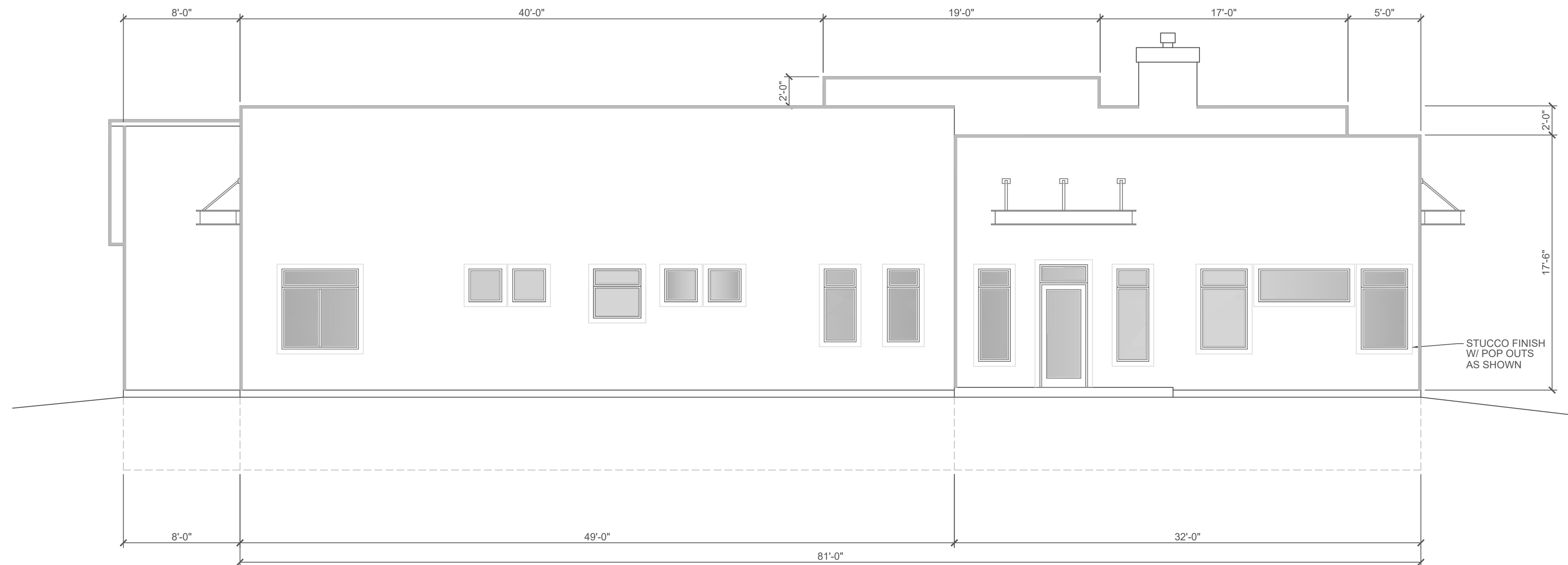
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 04/13/2021 10:57 AM
 REGIONAL
 CONSTRUCTION

No.	Revision/Issue	Date

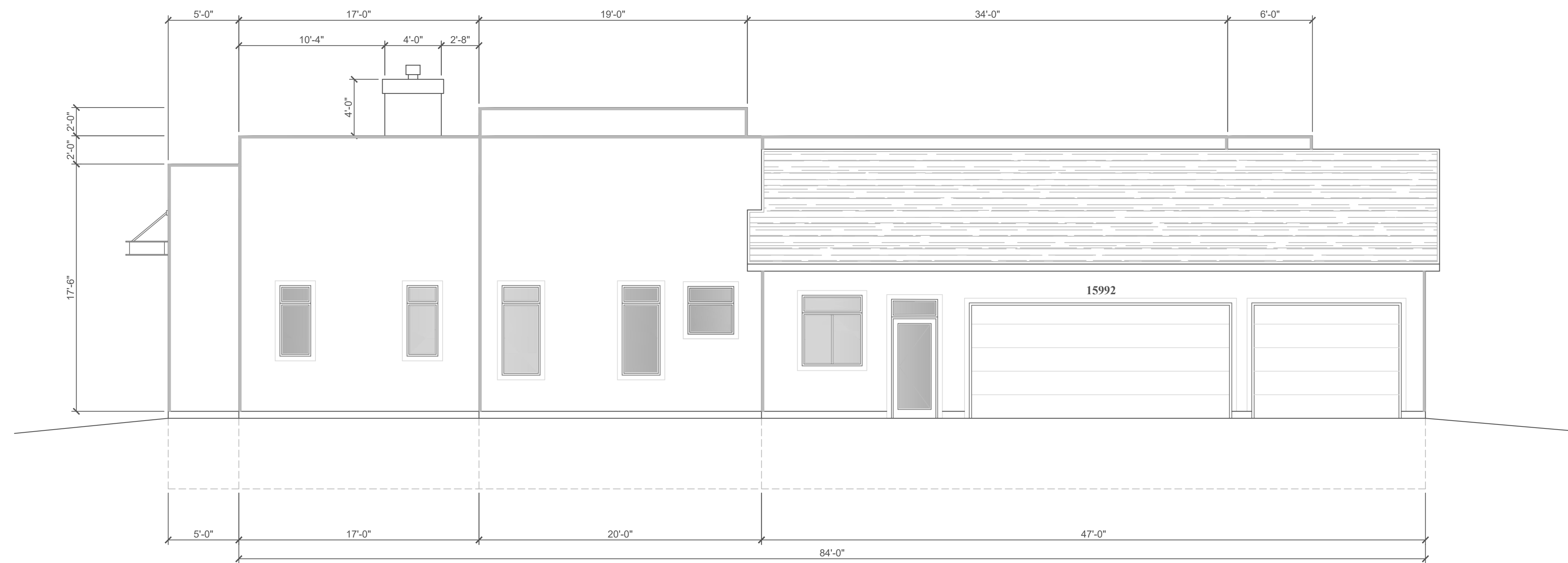
Firm Name and Address
DLM ENTERPRISES
 P.O. BOX 1021
 CANON CITY, CO.
 81215. (719) 429-2657

Project Name and Address
YARBERRY HOME
 15992 CALA ROJA DR.
 COLORADO SPRINGS,
 COLORADO 80926

Project YARBERRY	Sheet 3 OF 8
Date FEB. 22, 2021	ELEVATION PLAN 1
Scale 3/16" = 1'-0"	



NORTH EAST ELEVATION
 PROVIDE 1/150 OF ROOF AREA FOR ROOF VENTILATION



SOUTH WEST ELEVATION
 PROVIDE 1/150 OF ROOF AREA FOR ROOF VENTILATION

General Notes

Cecil R. Crowe
 CEIL R. CROWE
 P.E. & P.L.S. 12330
 April 5, 2021
 DATE
 ELECTRONIC SIGNATURE PER
 TITLE 24-71.3-107 (4) C.R.S.



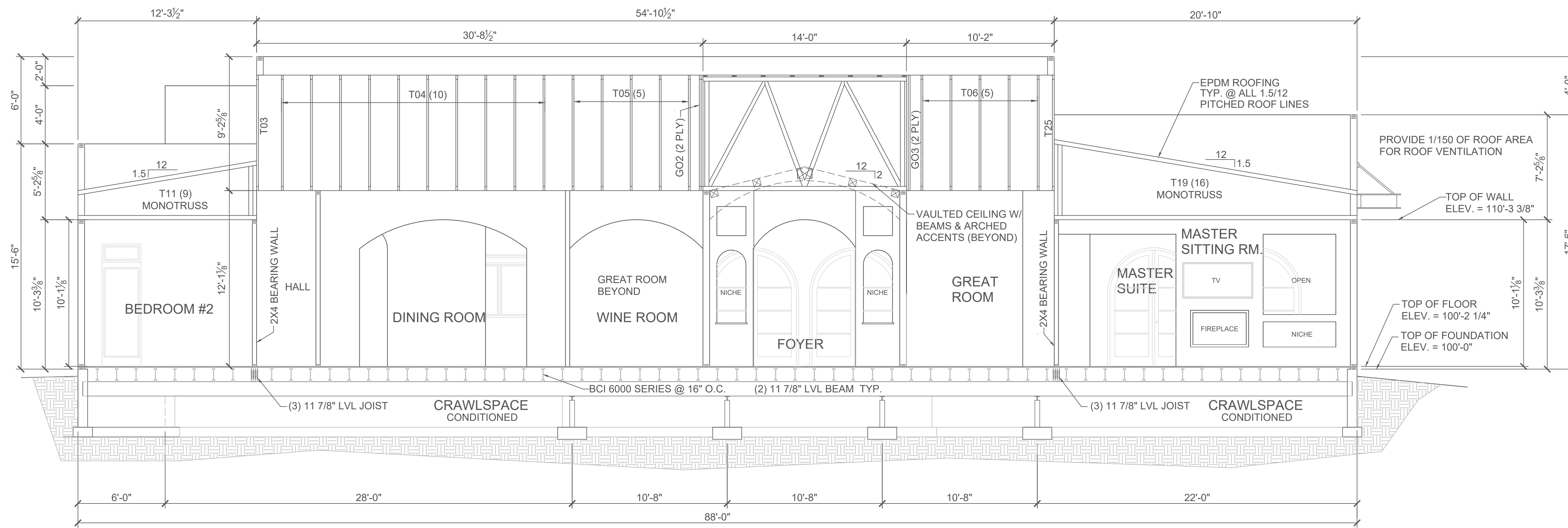
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 04/13/2021 10:57 AM
 REGIONAL
 ENGINEERS
 ARCHITECTS
 CONSTRUCTION

No.	Revision/Issue	Date

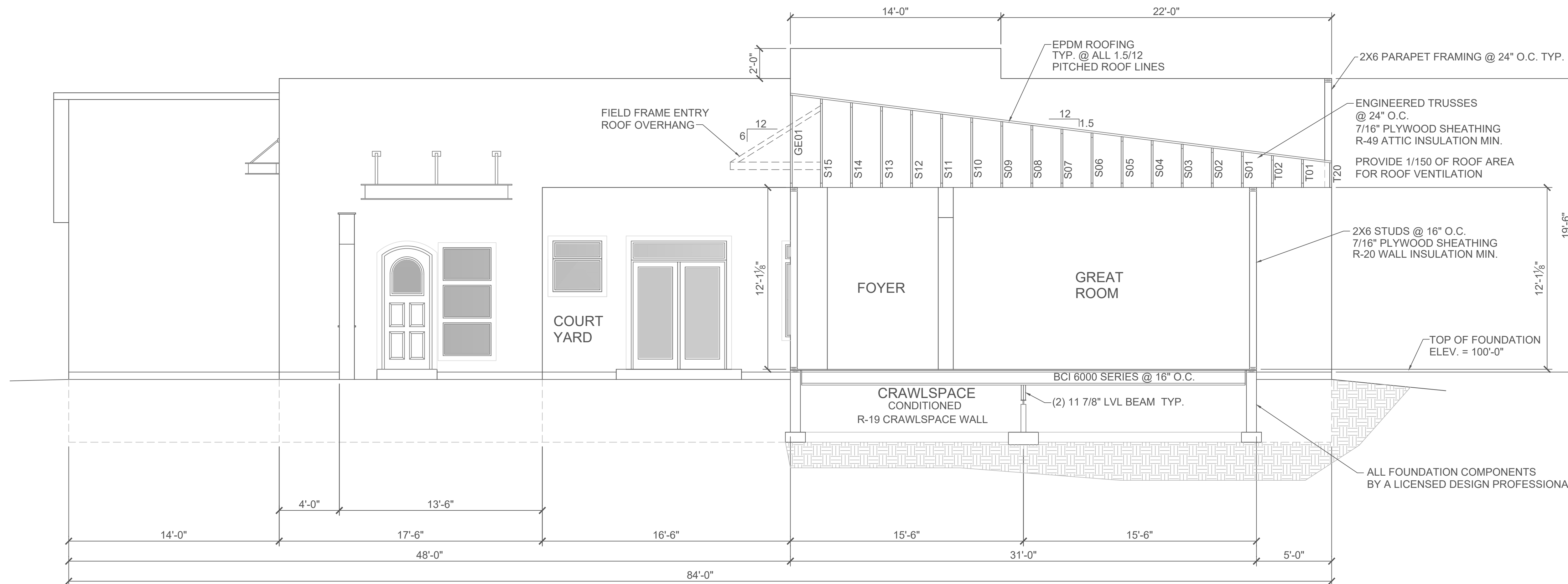
Firm Name and Address
DLM ENTERPRISES
 P.O. BOX 1021
 CANON CITY, CO.
 81215. (719) 429-2657

Project Name and Address
YARBERRY HOME
 15992 CALA ROJA DR.
 COLORADO SPRINGS,
 COLORADO 80926

Project YARBERRY	Sheet 4 OF 8
Date FEB. 22, 2021	ELEVATION PLAN 2
Scale 3/16" = 1'-0"	



BUILDING SECTION B-B



WEST COURT YARD ELEVATION

BUILDING SECTION A-A

General Notes

Cecil R. Crowe
 CECIL R. CROWE
 P.E. & P.L.S. 12330
 April 5, 2021
 DATE
 ELECTRONIC SIGNATURE PER
 TITLE 24-713-107 (4) C.R.S.



Released for Permit
 04/13/21 10:58 AM
 SECTIONAL
 CONSTRUCTION

No.	Revision/Issue	Date

Firm Name and Address
DLM ENTERPRISES
 P.O. BOX 1021
 CANON CITY, CO.
 81215. (719) 429-2657

Project Name and Address
YARBERRY HOME
 15992 CALA ROJA DR.
 COLORADO SPRINGS,
 COLORADO 80926

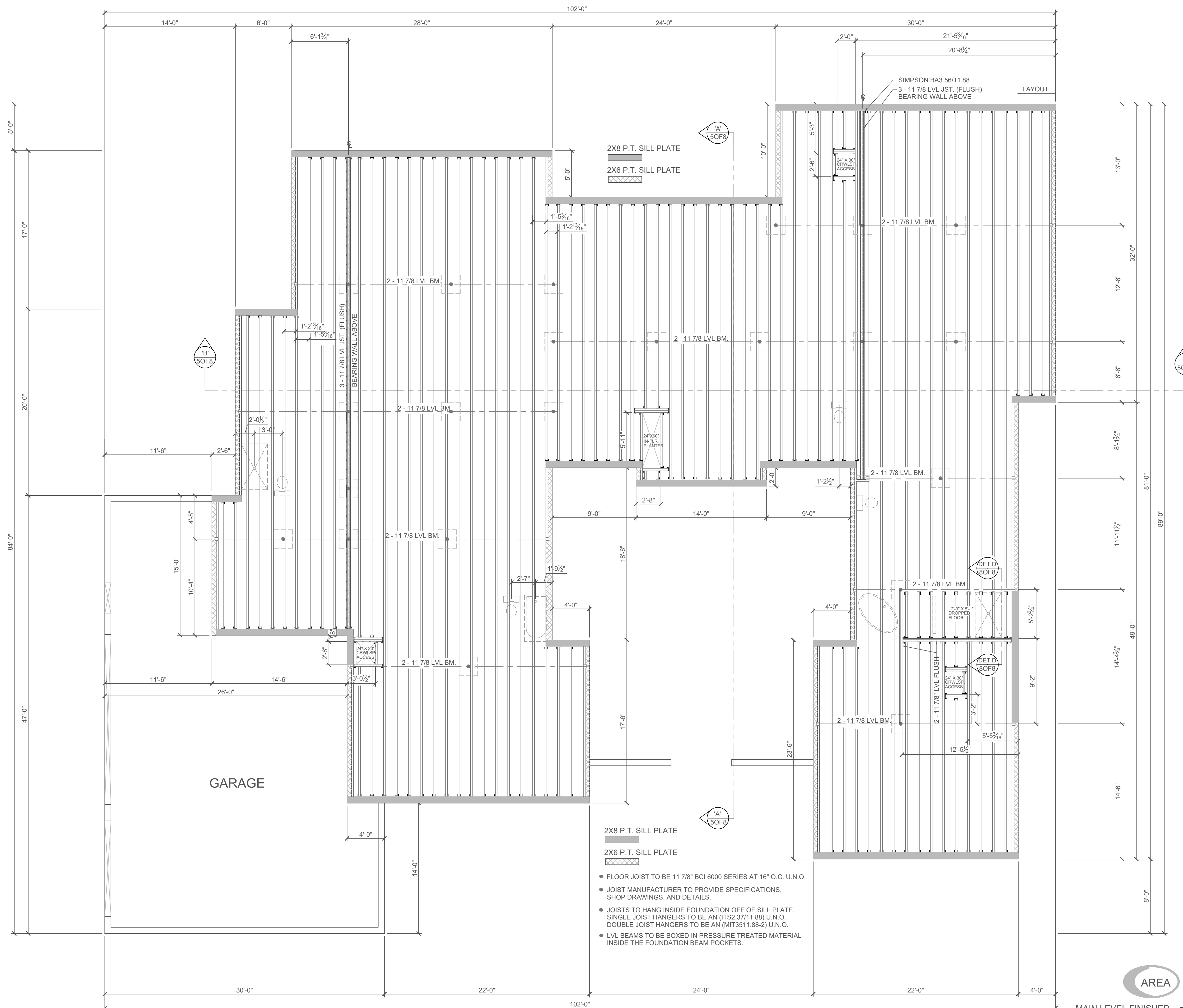
Project
YARBERRY

Date
FEB. 22, 2021

Scale
1/4" = 1'-0"

Sheet
5 OF 8

BUILDING
 SECTIONS



FLOOR FRAMING PLAN

General Notes

Carl R. Crowe
 DECIL R. CROWE
 P.E. & P.L.S. 12330
 DATE: April 5, 2021
 ELECTRONIC SIGNATURE PER
 TITLE 24-71.3-107 (4) C.R.S.



Released for Permit
 04/13/21 10:58 AM
 CONSTRUCTION

No.	Revision/Issue	Date

Firm Name and Address
DLM ENTERPRISES
 P.O. BOX 1021
 CANON CITY, CO.
 81215. (719) 429-2657

Project Name and Address
YARBERRY HOME
 15992 CALA ROJA DR.
 COLORADO SPRINGS,
 COLORADO 80926

Project YARBERRY	Sheet 6 OF 8
Date FEB. 22, 2021	FLOOR FRAMING PLAN
Scale 3/16" = 1'-0"	

General Notes

Cecil R. Crowe
 P.E. & P.L.S. 12330
 April 5, 2021
 DATE
 ELECTRONIC SIGNATURE PER
 TITLE 24-71.3-107 (4) C.R.S.

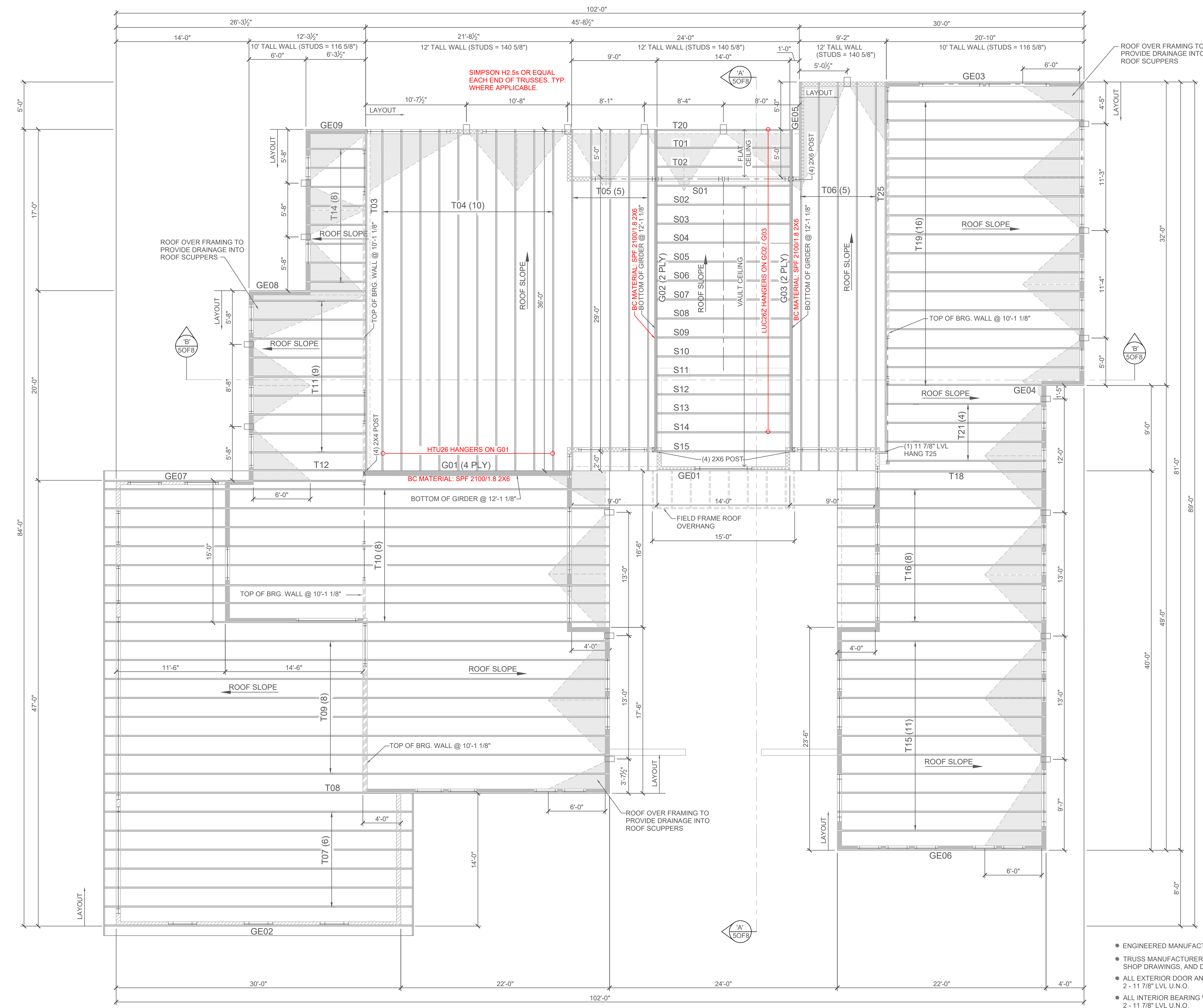
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 REGIONAL
 ENGINEERS
 GROUP
 CONSTRUCTION

No.	Revision/Issue	Date
1	SPECIFIED CONNECTION HARDWARE	3/5/21
2	ADDED GIRDER BOTTOM CHORD MATERIAL TO PLAN	3/12/21

Firm Name and Address
DLM ENTERPRISES
 P.O. BOX 1021
 CANON CITY, CO.
 81215. (719) 429-2657

Project Name and Address
YARBERRY HOME
 15992 CALA ROJA DR.
 COLORADO SPRINGS,
 COLORADO 80926

Project YARBERRY	Sheet 7 OF 8
Date FEB. 22, 2021	ROOF FRAMING PLAN
Scale 3/16" = 1'-0"	



- 12' TALL WALL (STUDS = 140 5/8")
 WALL HT. = 12'-1 1/8"
- 10' TALL WALL (STUDS = 116 5/8")
 WALL HT. = 10'-1 1/8"
- 10' TALL WALL (STUDS = 117 3/8")
 WALL HT. = 10'-1 7/8"
- 10' BRG. WALL (STUDS = 116 5/8")
 WALL HT. = 10'-1 1/8"

- ENGINEERED MANUFACTURED TRUSSES AT 24" O.C. TYP.
- TRUSS MANUFACTURER TO PROVIDE SPECIFICATIONS, SHOP DRAWINGS, AND DETAILS.
- ALL EXTERIOR DOOR AND WINDOW HEADERS ARE TO BE 2 - 11 7/8" LVL U.N.O.
- ALL INTERIOR BEARING WALL HEADERS ARE TO BE 2 - 11 7/8" LVL U.N.O.
- ALL HEADERS TO BE ADJACENT TO THE OPENINGS THEY CARRY, NOT AT THE TOP OF THE WALL.
- SEE JACK / KING TABLE ON SHEET 8 OF 8 FOR OPENING REQUIREMENTS.

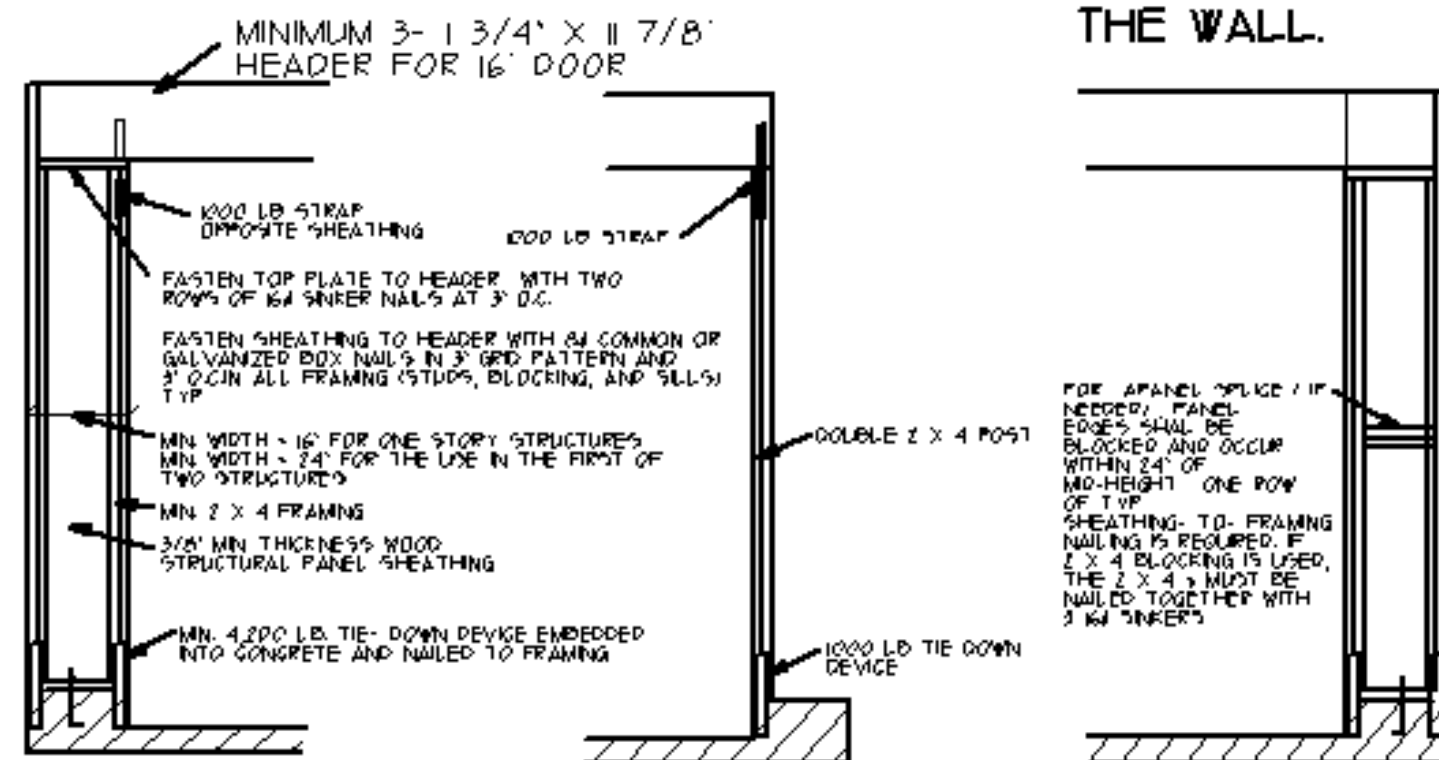
ROOF FRAMING PLAN SIMPSON H2.5s OR EQUAL EACH END OF TRUSSES, TYP. WHERE APPLICABLE.

HEADER SCHEDULE	
SPAN	HEADER
TO 4'0"	2- 1 3/4" x 7 1/2' LVL'S
4'0" TO 6'0"	2- 1 3/4" x 7 1/2' LVL'S
6'0" TO 8'0"	2- 1 3/4" x 9 1/2' LVL'S
8'0" TO 10'0"	2- 1 3/4" x 9 1/2' LVL'S
10'0" TO 12'0"	2- 1 3/4" x 11 7/8' LVL'S
SPANS OVER 10' SEE PLANS	

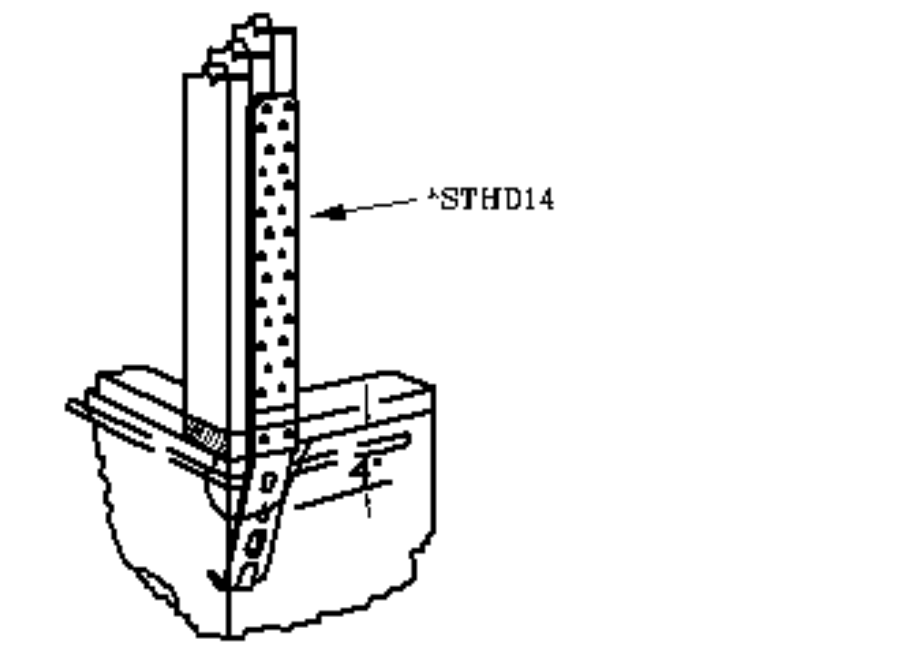
16' O.C. STUD SPACING		
SPAN	NO. JACK STUDS	NO. KING STUDS
UP TO 3' 6"	1	1
3' 6" TO 5' 0"	1	2
5' 0" TO 5' 6"	2	2
5' 6" TO 6' 0"	2	2
6' 0" TO 10' 6"	2	3
SPANS OVER 10' SEE PLANS		

POST LOCATION	
EXTERIOR WALL	(3) 2 X 6 POST
INTERIOR WALL	(4) 2 X 4 POST

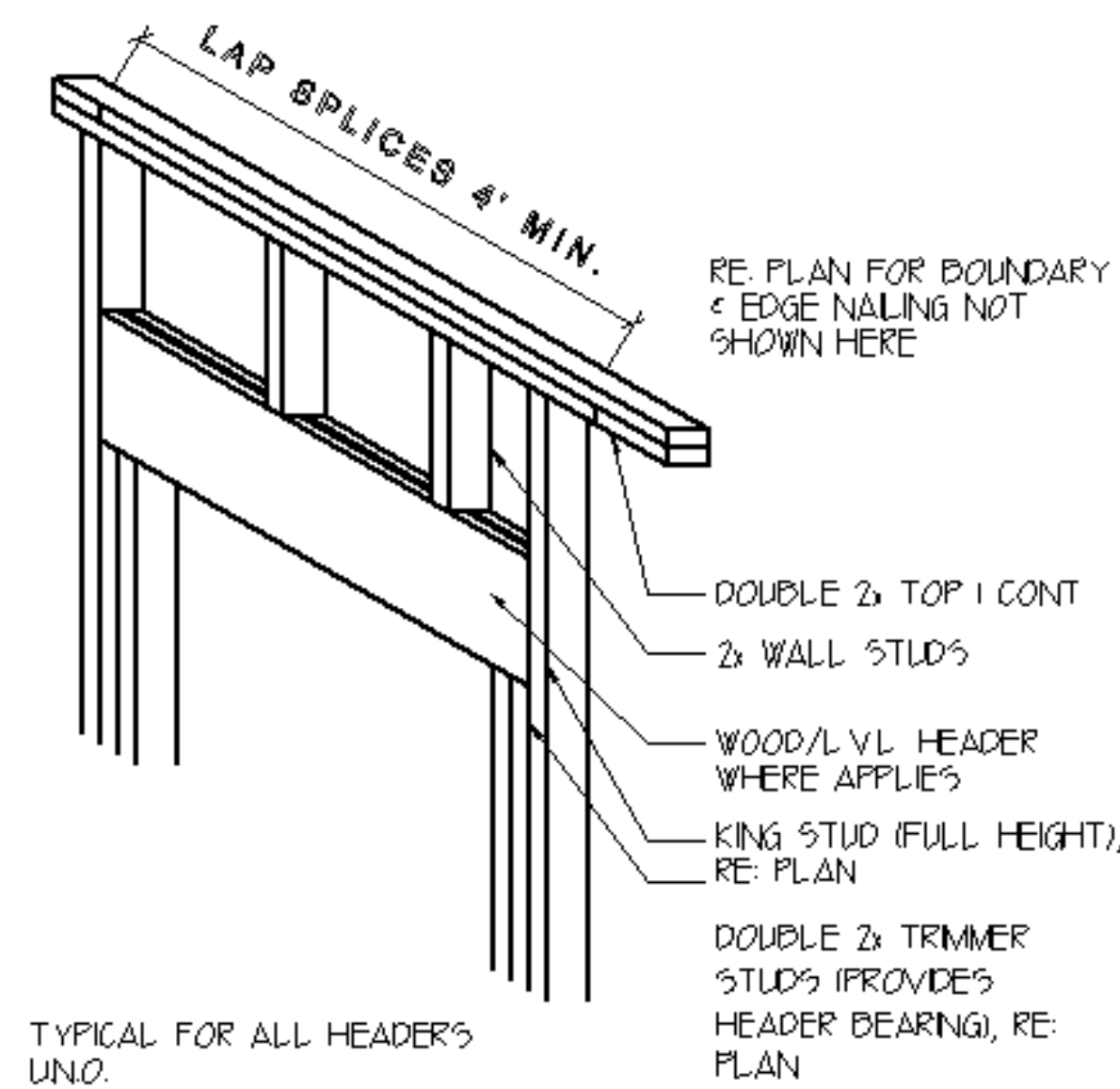
NOTE:
HEADERS WILL BE ADJACENT TO THE HOLES THEY COVER. NO HEADERS AT THE TOP OF THE WALL.



GARAGE DOOR WALL PANEL DETAIL

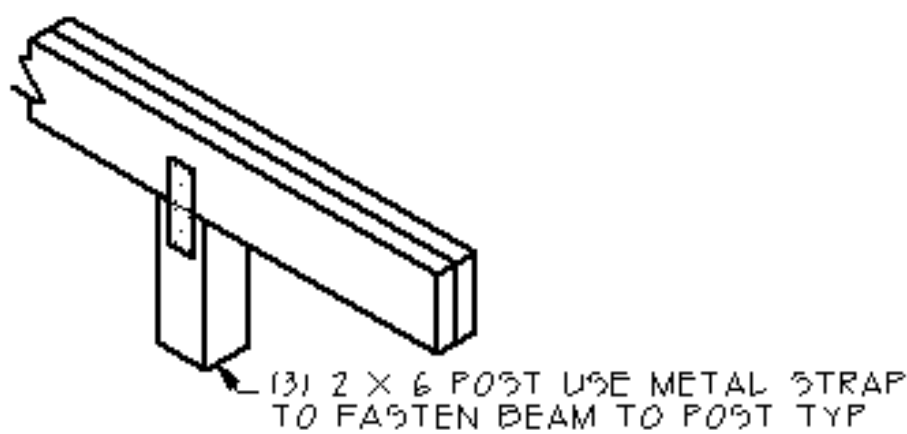


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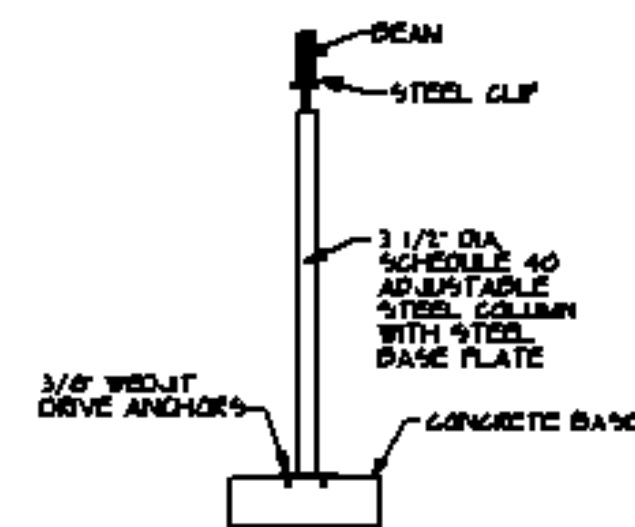


HEADER DETAIL

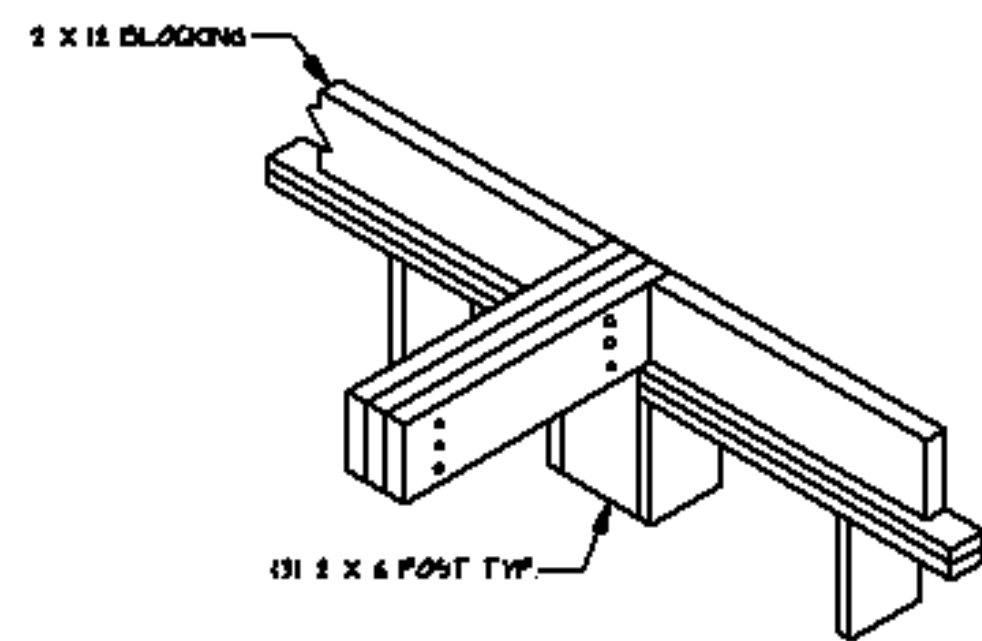
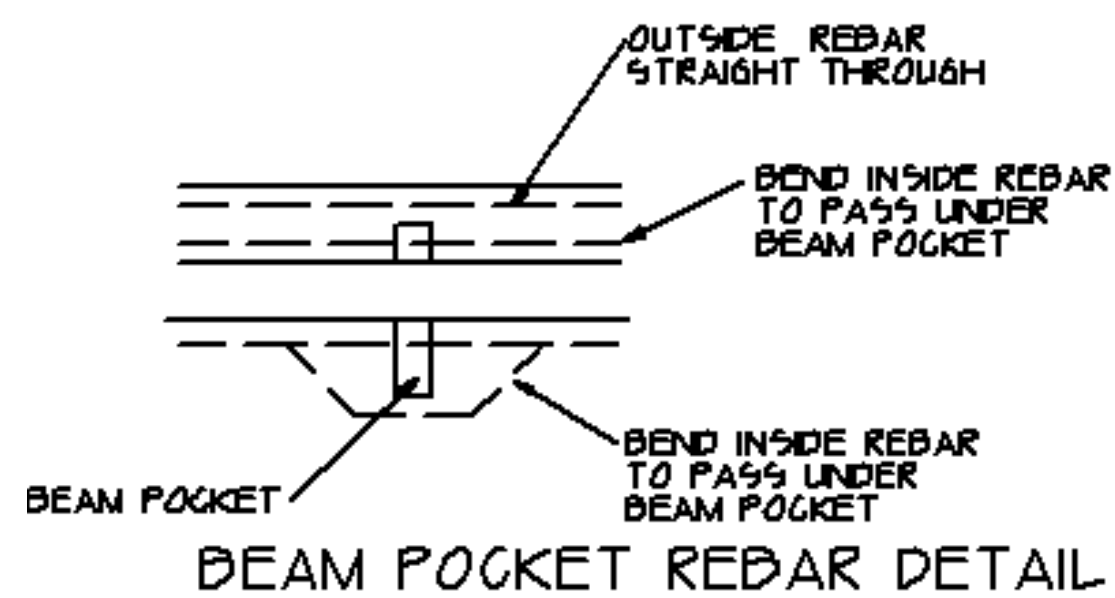
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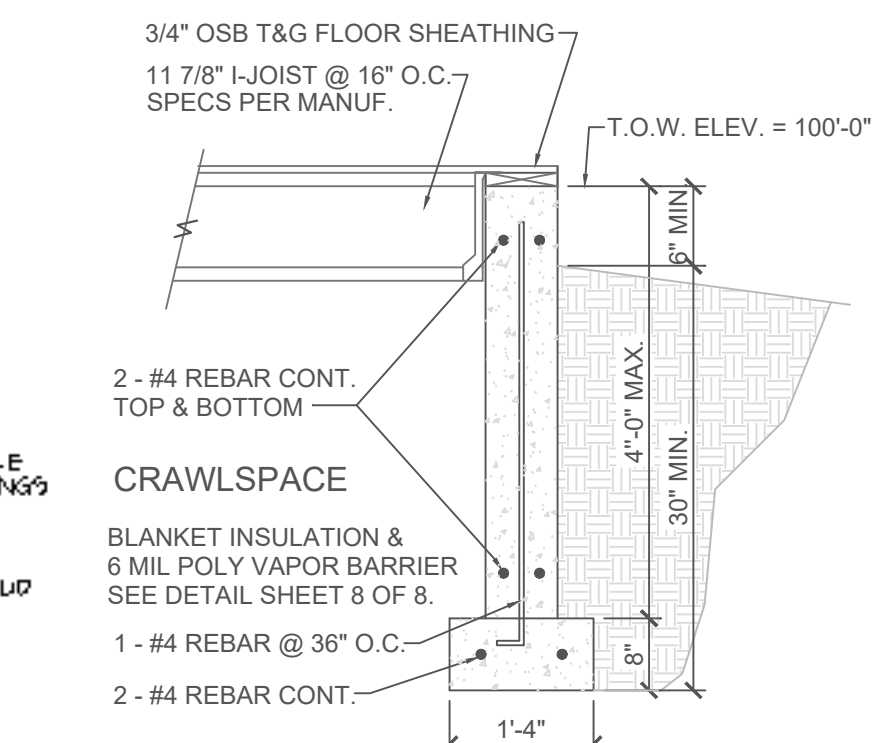
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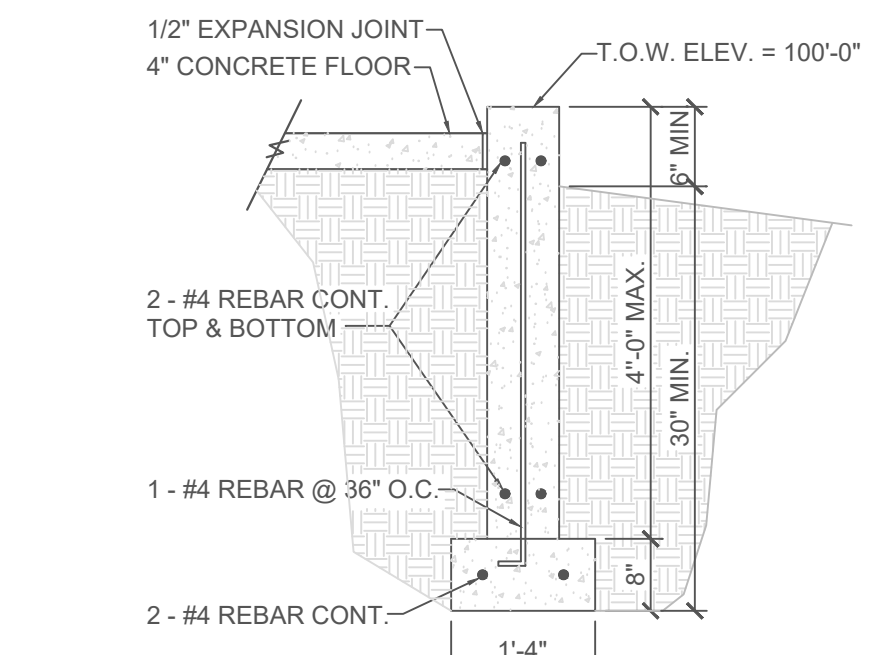
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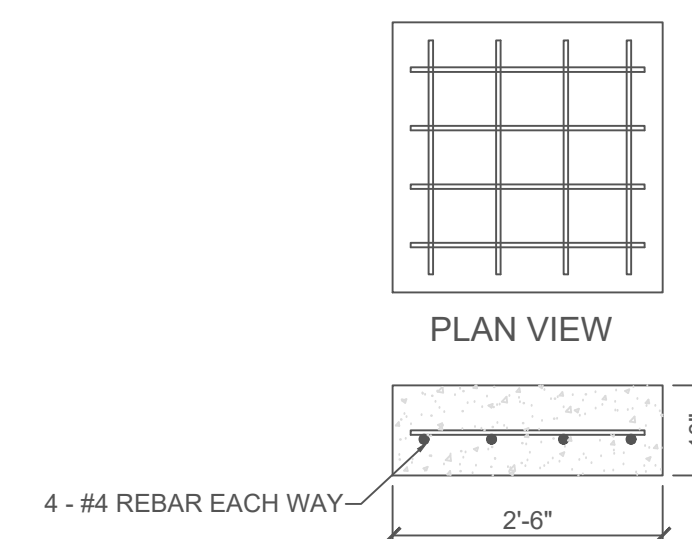
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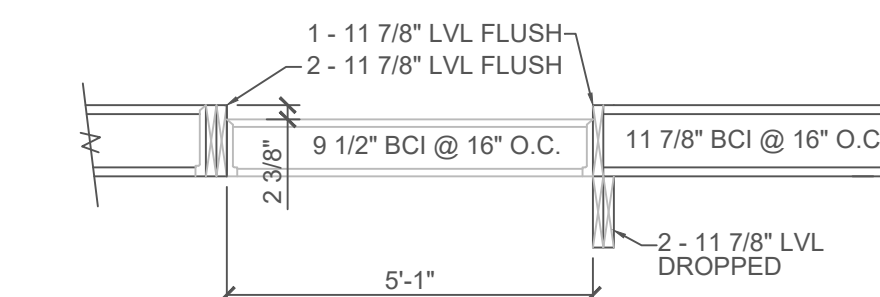
SCALE: 3/4" = 1'-0"



SCALE: 3/4" = 1'-0"



SCALE: 3/4" = 1'-0"



SCALE: 3/8" = 1'-0"

SHEAR BRACING

- EXTERIOR WALL SHEATHING SHALL BE 7/16 APA RATED OSB SHEATHING ATTACHED WITH #4 NAILS AT 4" O.C. AT ALL PANEL EDGE AND 12" O.C. AT ALL INTERMEDIATE SUPPORT, UNLESS NOTED OTHERWISE. DO NOT SPLICE OSB AT CORNERS OF OPENINGS IN WALLS. ALL PANEL EDGES MUST BE BLOCKED AT EXTERIOR WALLS.
- ROOF SHEATHING SHALL BE 1/2" OSB, NAL AT 6" O.C. AT PANEL EDGES AND 12" AT PANEL FIELD.
- FLOOR SHEATHING SHALL BE 3/4" APA 48X24 EXPOSURE 1 RATED TONGUE AND GROOVE PLYWOOD OR OSB EQUIVALENT. GLE AND NAIL WITH #4 NAILS AT 6" O.C. AT PERIMETER AND 12" O.C. AT INTERMEDIATE FRAMING.

GENERAL NOTES & SPECIFICATIONS:

- THIS FOUNDATION PLAN IS DESIGNED FOR A FAMILY HOME AT 5942 CALA ROJA DRIVE, COLORADO SPRINGS, COLORADO.
- DESIGN LOADS: A. ROOF LIVE LOAD = 643 PSF, 10 PSF DEAD LOAD; B. FLOOR LIVE LOAD = 10 PSF, 10 PSF DEAD LOAD; C. 15 MPH (3 SECOND GUST) WIND LOAD.
- THE FOUNDATION SHOULD BE BASED ON SPREAD FOOTINGS WITH A MIXTURE OF 3500 PSF AND 2400 PSF ACCORDING TO A SUB-SURFACE EXPLORATION BY ENTECH ENGINEERING DATED NOVEMBER 10, 2020.
- CONCRETE SHALL DEVELOP 3500 PSI STRENGTH IN 28 DAYS.
- REINFORCING STEEL SHALL BE GRADE 60, REBAR, SPLICED WITH 18" OVERLAPS TO BE CONTINUOUS AROUND CORNERS.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS SHOWN ON THIS PLAN PRIOR TO CONCRETE PLACEMENT AND REPORT ANY DISCREPANCY TO THE ENGINEER OR BE RESPONSIBLE FOR SAME.
- FOUNDATION CONTRACTOR SHALL CHECK AND REVIEW UPPER ARCHITECTURAL FLOOR PLAN FOR DOOR, DUCT, STAIR, AND MISCELLANEOUS BLOCKOUTS AND BE RESPONSIBLE FOR SAME.
- THIS FOUNDATION IS DESIGNED ACCORDING TO IRC 2015.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BUILDING CODE ADOPTED BY PIKE'S PEAK REGIONAL, COLORADO.

General Notes

Geoff R. Crowe
 GEORGE R. CROWE
 P.E. & P.L.S. 12330
 April 5, 2021
 DATE
 ELECTRONIC SIGNATURE PER
 TITLE 24-713-107 (4) C.R.S.

Released for Permit
 04/13/2021 10:40 AM
 REGIONAL
 CONSTRUCTION

No.	Revision/Issue	Date

Firm Name and Address
DLM ENTERPRISES
 P.O. BOX 1021
 CANON CITY, CO.
 81215. (719) 429-2657

Project Name and Address
YARBERRY HOME
 15992 CALA ROJA DR.
 COLORADO SPRINGS,
 COLORADO 80926

Project YARBERRY	Sheet 8 OF 8
Date FEB. 22, 2021	DETAILS SHEET
Scale 3/16" = 1'-0"	

Chuck Broerman
03/23/2021 04:32:10 PM
Doc \$0.00 1
Rec \$13.00 Page

El Paso County, CO



221057968

ATTACHED ACCESSORY LIVING QUARTERS FOR PERMANENT OCCUPANCY COMPLIANCE AFFIDAVIT

I, William Scott Yarberry & Tommi Mia Yarberry, applicant or applicant's agent for a Attached Accessory Living Quarters for Permanent Occupancy being duly sworn on oath, deposes and says:

I, as applicant, own and hold title to the following described real property (hereinafter referred to as "the PROPERTY"), or have been given authority to represent the owner by an Owner's Affidavit of the PROPERTY for purposes of the above referenced application:

15992 Cala Rojo Dr. Street Address
Lot 14, Pinons of Turkey Creek Ranch Legal Description
7705003014 Assessor Tax Schedule Number

El Paso County, Colorado

I hereby acknowledge and agree to the following:

"Pursuant to Chapter 5 of the El Paso County Land Development Code, I as Owner acknowledge and agree that the Attached Accessory Living Quarters for Permanent Occupancy apartment proposed as part of this development application and to be located on the above referenced property may not be leased or rented. I, hereby agree that I will not lease or rent the Attached Accessory Living Quarters for Permanent Occupancy apartment."

IN WITNESS WHEREOF, the parties hereto have hereunder set their hands and seal this 23 day of February, 2021.

OWNER STATE OF Colorado

COUNTY OF Fremont

[Signature]
Owner Signature

Scott Yarberry 5609 Calvert Creek Dr. L/S CO 80924 719-671-2021
Print Name, Mailing Address and Phone Number

The foregoing instrument was acknowledged before me this 23 day of February, 2021 by William Scott Yarberry, COUNTY OF Fremont.

Alison Marie Mathews My Commission expires 4/11/2022
(Notary Public)

OWNER STATE OF _____)

COUNTY OF _____)

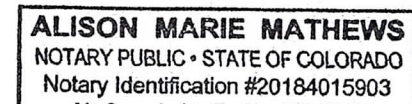


[Signature]
Owner Signature

Tommi Mia Yarberry 5609 Calvert Creek L/S 80924 719-671-2021
Print Name, Mailing Address and Phone Number

The foregoing instrument was acknowledged before me this 23 day of February, 2021 by Tommi Mia Yarberry, COUNTY OF Fremont.

Alison Marie Mathews My Commission expires 4/11/21
(Notary Public)



SECOND KITCHEN COMPLIANCE AFFIDAVIT

I, William Scott Yarberry & Mia Yarberry, applicant or applicant's agent for a Second Kitchen being duly sworn on oath, deposes and says:

I, as applicant, own and hold title to the following described real property (hereinafter referred to as "the PROPERTY"), or have been given authority to represent the owner by an Owner's Affidavit of the PROPERTY for purposes of the above referenced application:

15992 Cala Rojo Dr. Street Address
Lot 14, Pinons of Turkey Creek Ranch Legal Description
7705003014 Assessor Tax Schedule Number

El Paso County, Colorado

I hereby acknowledge and agree to the following:

"I understand that my plans appear to provide for more than one kitchen in a single family dwelling. Pursuant to the El Paso County Land Development Code I understand only one dwelling unit is allowed per lot or parcel in the zoning district in which the proposed home is located. I understand that the County cannot approve the second kitchen unless an affidavit is signed and recorded in the Office of the El Paso County Clerk and Recorder where by I as Owner acknowledge and agree that I will not create a second dwelling unit to be leased or rented. I, hereby agree that I will not establish a second dwelling unit to be rented or leased."

IN WITNESS WHEREOF, the parties hereto have hereunder set their hands and seal this 23 day of February, 2021.

OWNER

STATE OF _____

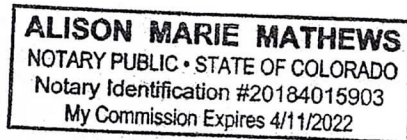
COUNTY OF _____

[Signature]
Owner Signature

Scott Yarberry 5609 Cabot Creek Dr. C/S CO 80924
Print Name, Mailing Address and Phone Number

The foregoing instrument was acknowledged before me this 23 day of February, 2021 by William Scott Yarberry, COUNTY of Fremont.

Alison Marie Mathews My Commission expires 4/11/22
(Notary Public)



OWNER

STATE OF _____

COUNTY OF _____

[Handwritten Signature]
Owner Signature

[Handwritten Name and Address]
Print Name, Mailing Address and Phone Number

The foregoing instrument was acknowledged before me this 23 day of February, 2021 by
Tommi Mia Garberry, COUNTY of Fremont

Alison Marie Mathews My Commission expires 4/11/22
(Notary Public)

ALISON MARIE MATHEWS
NOTARY PUBLIC - STATE OF COLORADO
Notary Identification #20184015903
My Commission Expires 4/11/2022

RESIDENTIAL



2017 PPRBC

Address: 15992 CALA ROJO DR, COLORADO SPRINGS

Parcel: 7705003014

Plan Track #: 141895 

Received: 25-Feb-2021 (SAVANNAHT)

Description:

RESIDENCE

Contractor: DLM ENTERPRISES

Type of Unit:

Garage	1105	
Main Level	4840	
	5945	Total Square Feet

Required PPRBD Departments (4)


Enumeration
Released for Permit
03/09/2021 8:03:26 AM

Becky A
ENUMERATION

Floodplain
(N/A) RBD GIS

Construction
Released for Permit
04/13/2021 10:50:22 AM

tcrippen
CONSTRUCTION

Mechanical
Released for Permit
03/02/2021 4:05:21 PM

tcrippen
MECHANICAL

Required Outside Departments (1)

County Zoning
APPROVED
Plan Review
04/19/2021 9:19:55 AM

dsdrangel
EPC Planning & Community
Development Department

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.