

GENERAL CONDITIONS and LIMITS OF LIABILITY

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Tapper Residence

REVISION:

4-11-2018 KKC (Rev's per Owner)
4-16-2018 KKC (Rev's per Owner)
4-19-2018 KKC (Rev's per Owner)
10-30-2018 KKC (Rev's per Owner)
1-07-2020 JRP (Const. Drawg)
1-21-2020 KKC (Const. Drawg)
2-11-20 KKC (Rev's per MBR Eng)
2-24-20 KKC (Rev's per MBR Eng)
2-25-20 KKC (Rev's per MBR Eng)
2-24-2020 KKC (Rev's per Owner)
7-31-2020 KKC (Rev's per Owner)
4-10-20 KKC (CD's per FINELINE)
4-16-20 KKC (Rev's per G.B.F. Eng)

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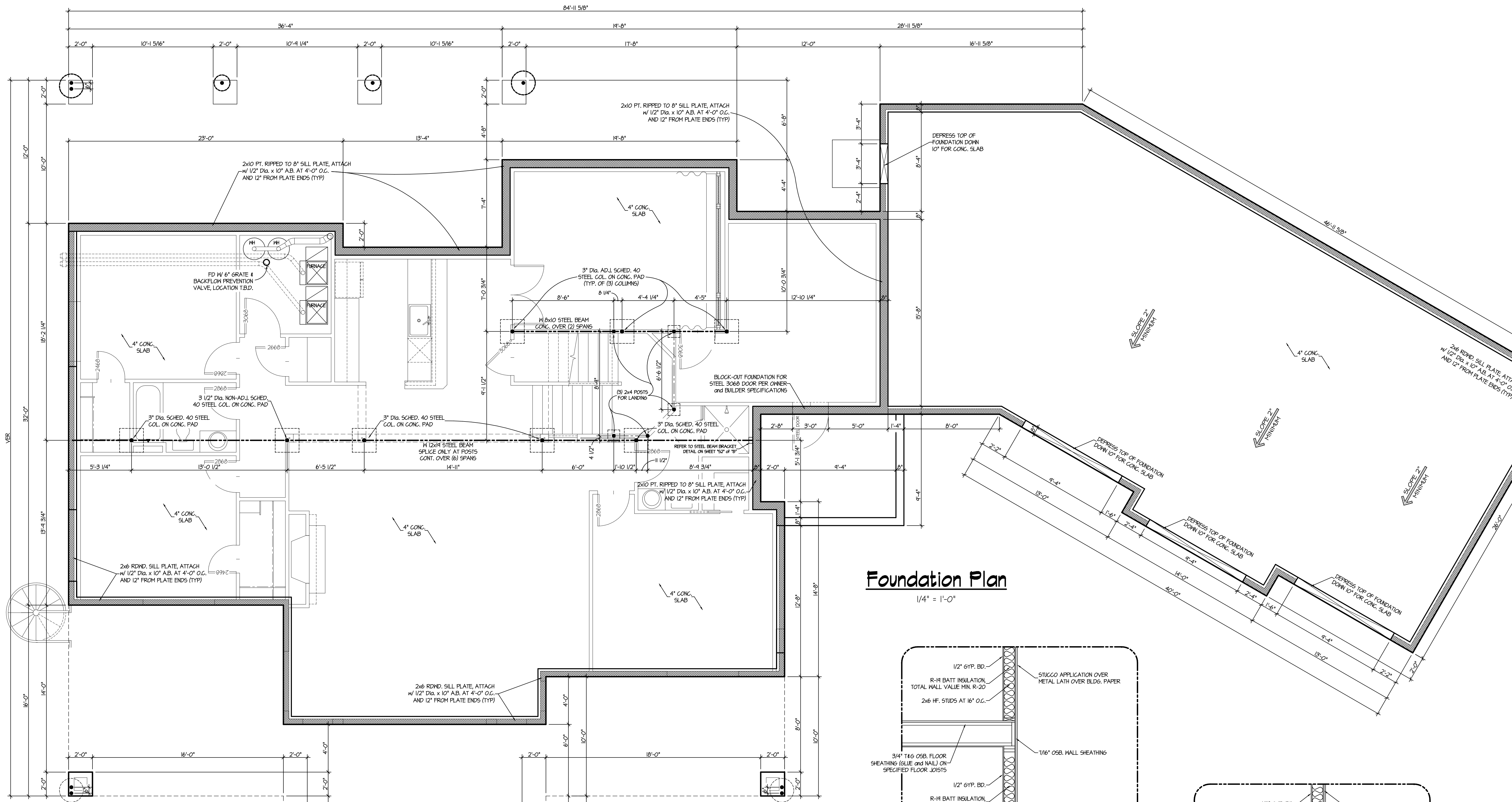
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BUILDER:
Cuvula
Construction, Inc.
Dan & John Cuvula
P.O. Box 1392
Monument, CO 80132
(719) 488-2426

DATE:
9-5-2019

ADDRESS:
Tapper Residence
4641 Red Rock Ranch Dr.
Monument, CO
80132
El Paso County

SHEET OF
A1 8



Foundation Plan
1/4" = 1'-0"

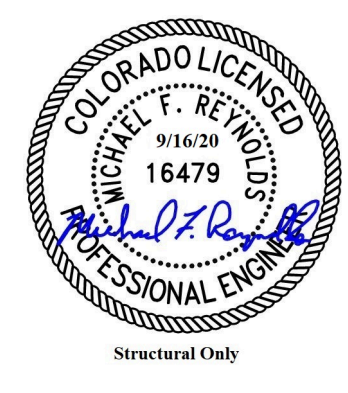
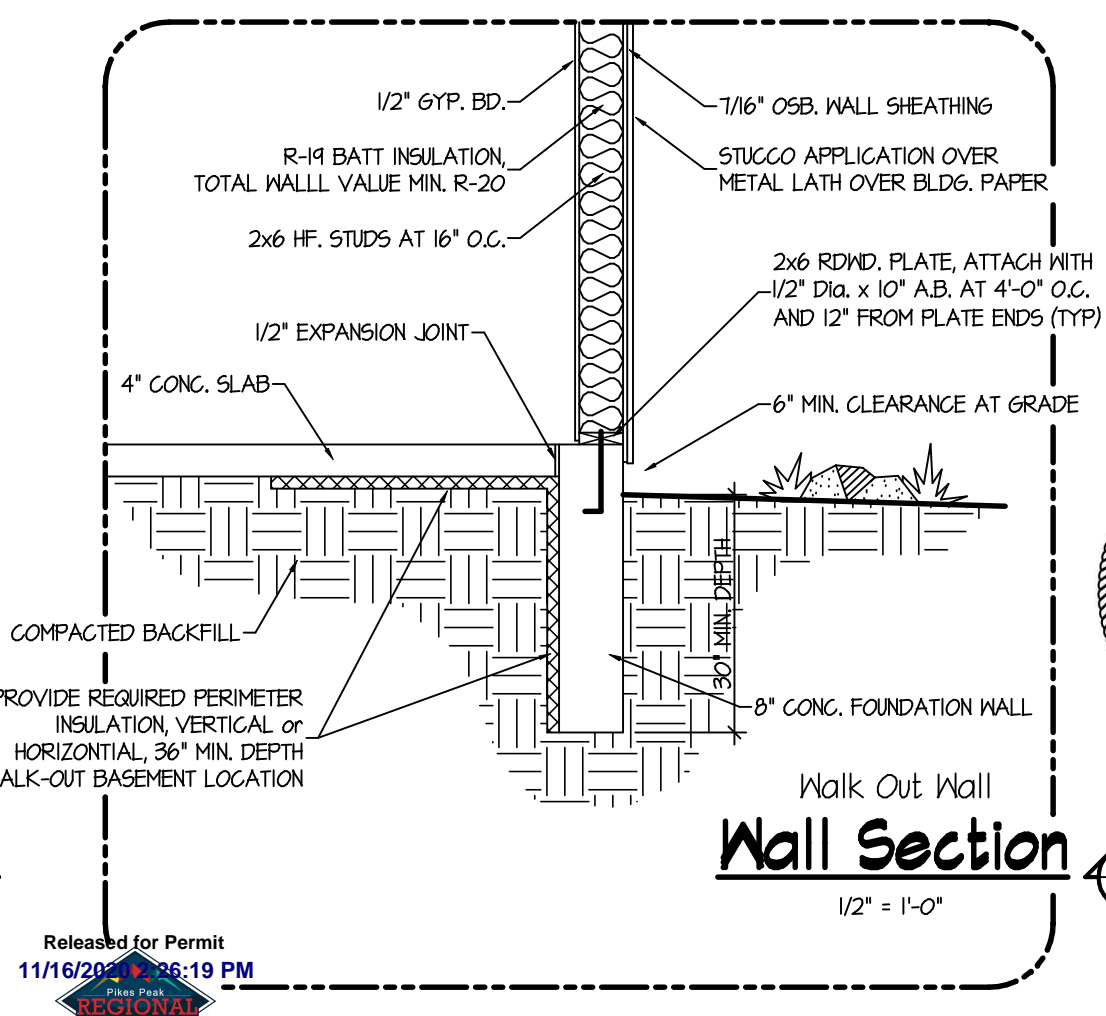
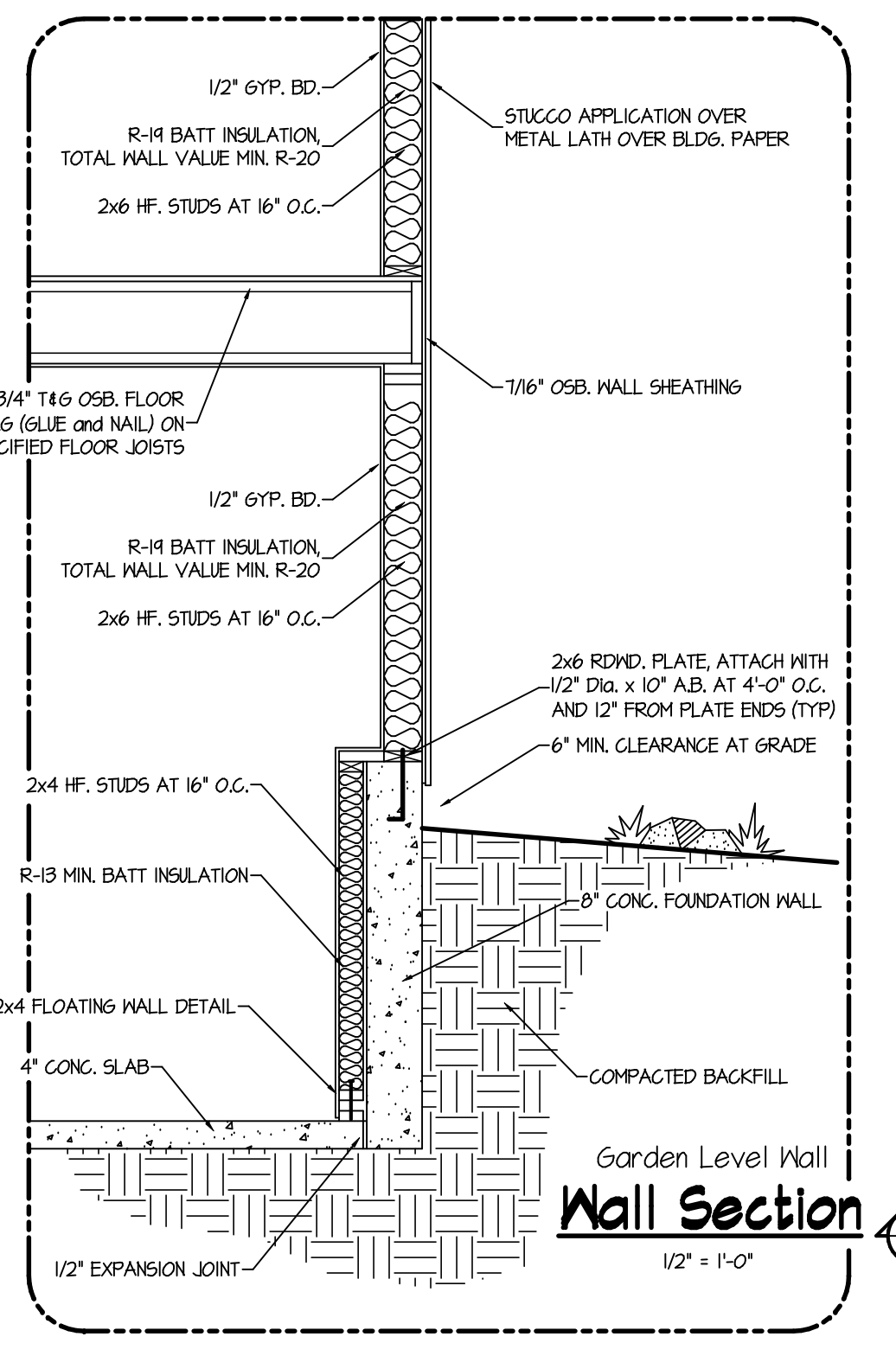
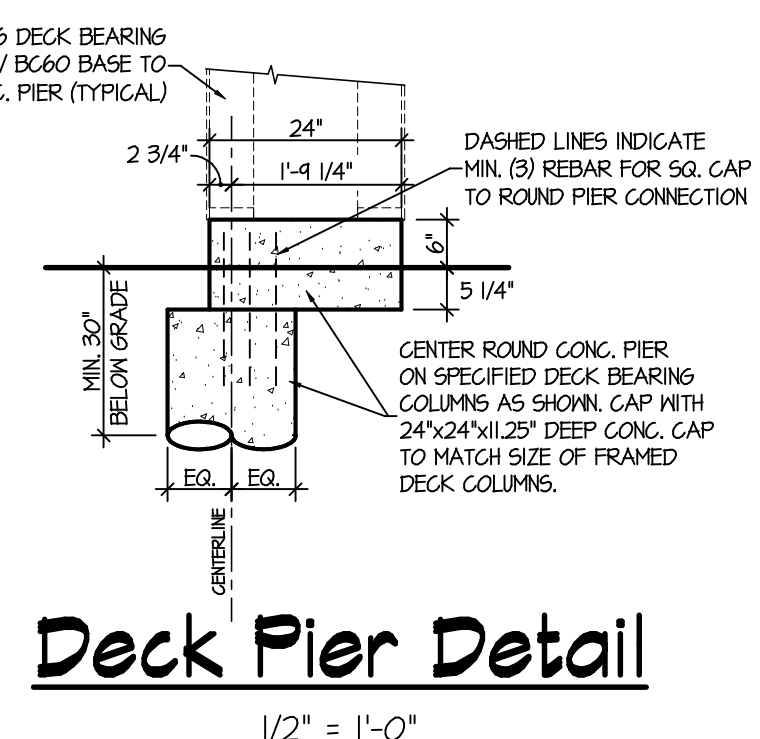
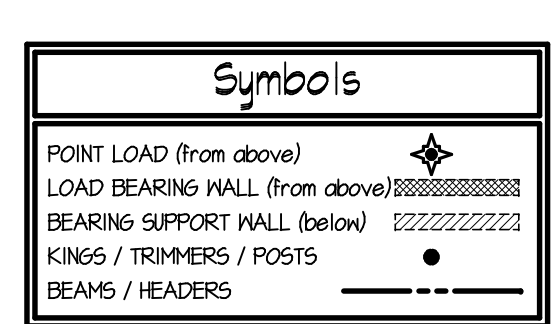
Code Information: El Paso County

2017	PPRBC	Pikes Peak Regional Building Code
2015	I.R.C. (*)	International Residential Code
2015	I.E.B.C. (*)	International Existing Building Code
2015	I.E.C.C. (*)	International Energy Conservation Code
2015	I.M.C. (*)	International Mechanical Code
2015	I.F.G.C. (*)	International Fuel Gas Code
2015	I.P.C. (*)	International Plumbing Code
2017	N.E.C. (**)	National Electrical Code

(*) As amended by 2017 PPRBC
(**) Or the latest addition adopted by the State of Colorado

Note: 2017 PPRBC can be viewed at:
www.pprbd.org

- General Foundation Notes**
1. LP BURNING APPLIANCES ARE NOT PERMITTED IN BASEMENTS OR GRAB SPACES.
 2. SOILS REPORT AND FOUNDATION DESIGN BY LICENSED COLORADO ENGINEER OR ARCHITECT TO ON HAND AT TIME OF FIRST INSPECTION.
 3. ALL FOUNDATION PADS TO BE 24"x24"x10" (MIN.) INSULATION FOR ALL CONC. EXTERIOR FOUNDATION WALLS.
 4. PROVIDE MIN. R-10 INSULATION FOR ALL CONC. EXTERIOR FOUNDATION WALLS.
 5. PROVIDE SPRAYED ON DAMP PROOFING ON ALL EXTERIOR FOUNDATION WALLS.



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CONSTRUCTION

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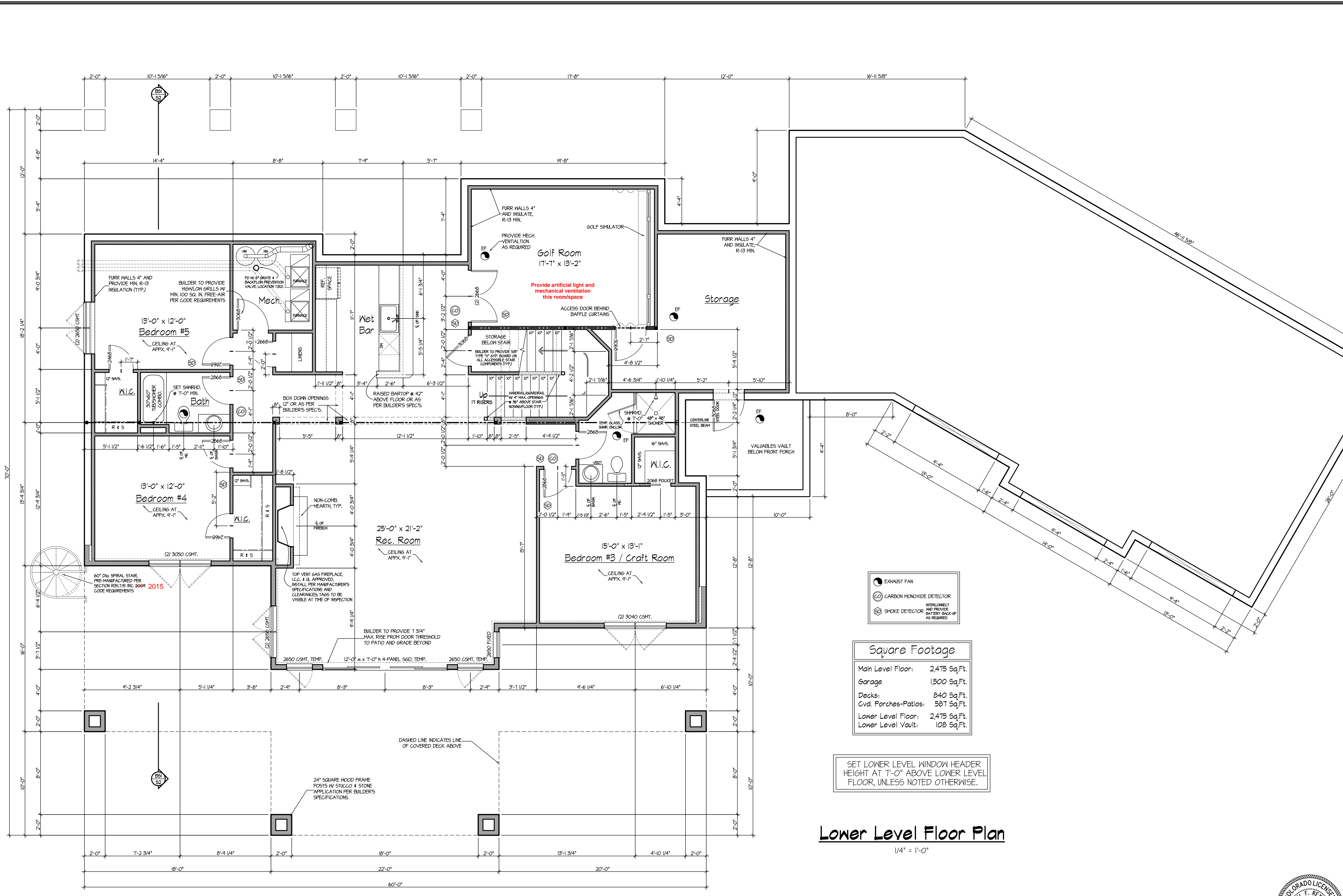
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BUILDER:
Cuvala Construction, Inc.
Dan & John Cuvala
P.O. Box 1392
Monument, CO 80132
(719) 488-2426

DATE:
9-5-2019

ADDRESS:
Tapper Residence
4641 Red Rock Ranch Dr.
Monument, CO 80132
El Paso County

SHEET OF
A2 8



- EXHAUST FAN
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR INTERCONNECT AND PROVIDE BATTERY BACK-UP AS REQUIRED

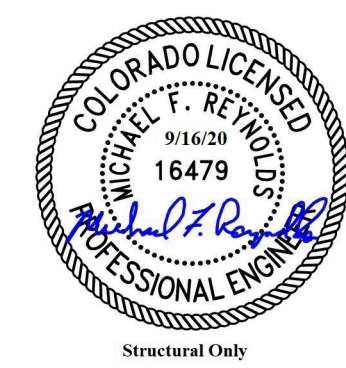
Square Footage

Main Level Floor:	2,475 Sq.Ft.
Garage:	1,500 Sq.Ft.
Decks:	840 Sq.Ft.
Cvd. Porches-Patios:	587 Sq.Ft.
Lower Level Floor:	2,475 Sq.Ft.
Lower Level Vault:	108 Sq.Ft.

SET LOWER LEVEL WINDOW HEADER HEIGHT AT 7'-0" ABOVE LOWER LEVEL FLOOR, UNLESS NOTED OTHERWISE.

Lower Level Floor Plan

1/4" = 1'-0"



Structural Only

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Tapper Residence

REVISION:

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- 3-16-2019 KCCG (Rev's per Owner)
- 3-16-2019 KCCG (Rev's per Owner)
- 10-30-2018 KCCG (Rev's per Owner)
- 1-07-2020 JSP (Consol. Drawg.)
- 2-11-2020 KCCG (Consol. Drawg.)
- 2-11-20 KCCG (Rev's per MBR/ Eng)
- 2-24-20 KCCG (Rev's per MBR/ Eng)
- 2-25-20 KCCG (Rev's per MBR/ Eng)
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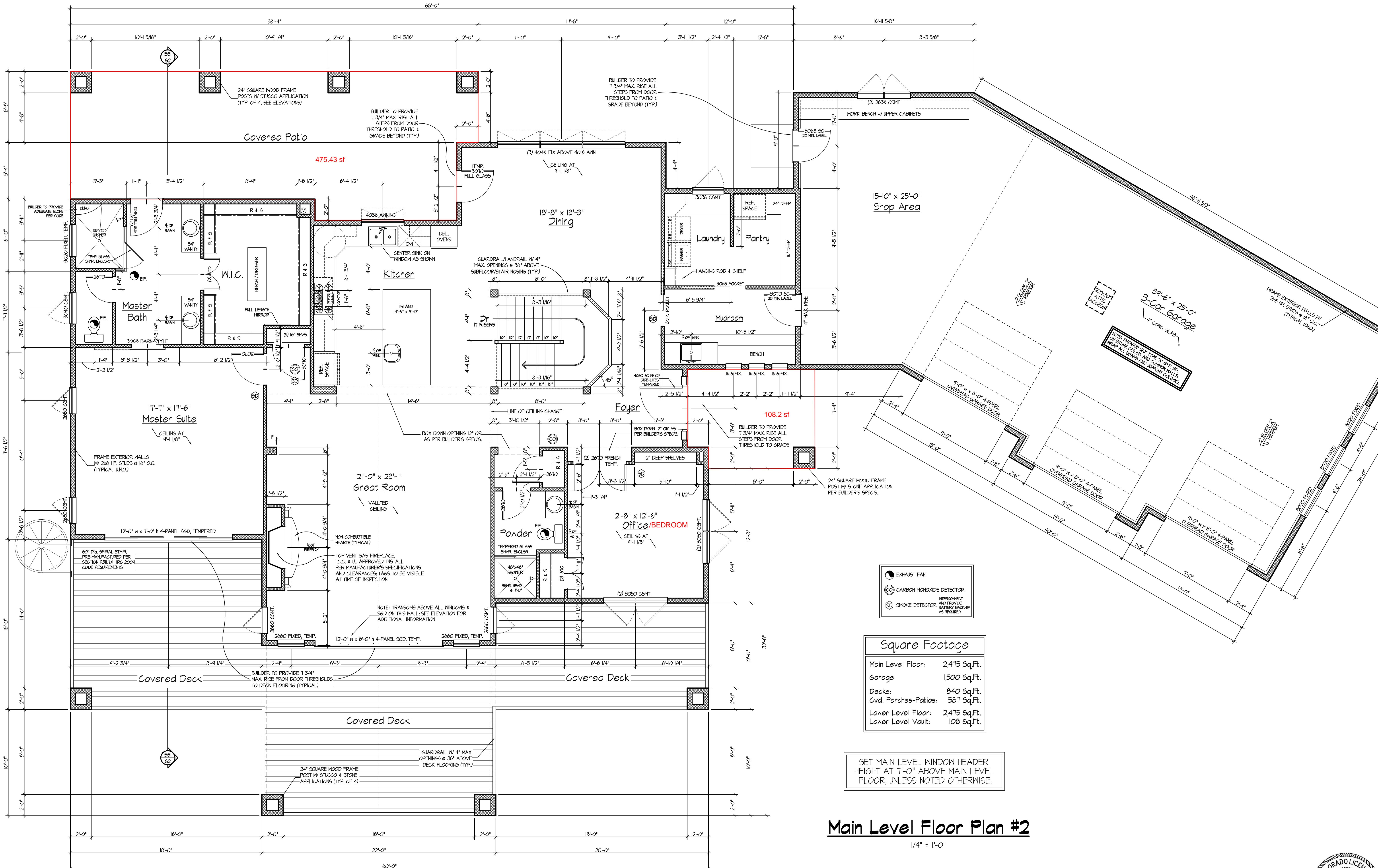
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Cuvala
Construction, Inc.
Dan & John Cuvala
P.O. Box 1392
Monument, CO 80132
(719) 488-2426

DATE:
9-5-2019

ADDRESS:
Tapper Residence
4641 Red Rock Ranch Dr.
Monument, CO
80132
El Paso County

SHEET OF
A3 8



- ⊘ EXHAUST FAN
- ⊙ CARBON MONOXIDE DETECTOR
- ⊙ SMOKE DETECTOR (INTERCONNECT AND PROVIDE BATTERY BACK-UP AS REQUIRED)

Square Footage

Main Level Floor:	2,475 Sq.Ft.
Garage:	1,500 Sq.Ft.
Decks:	840 Sq.Ft.
Cvd. Porches-Patios:	587 Sq.Ft.
Lower Level Floor:	2,475 Sq.Ft.
Lower Level Vault:	108 Sq.Ft.

SET MAIN LEVEL WINDOW HEADER HEIGHT AT 7'-0" ABOVE MAIN LEVEL FLOOR, UNLESS NOTED OTHERWISE.

Main Level Floor Plan #2

1/4" = 1'-0"

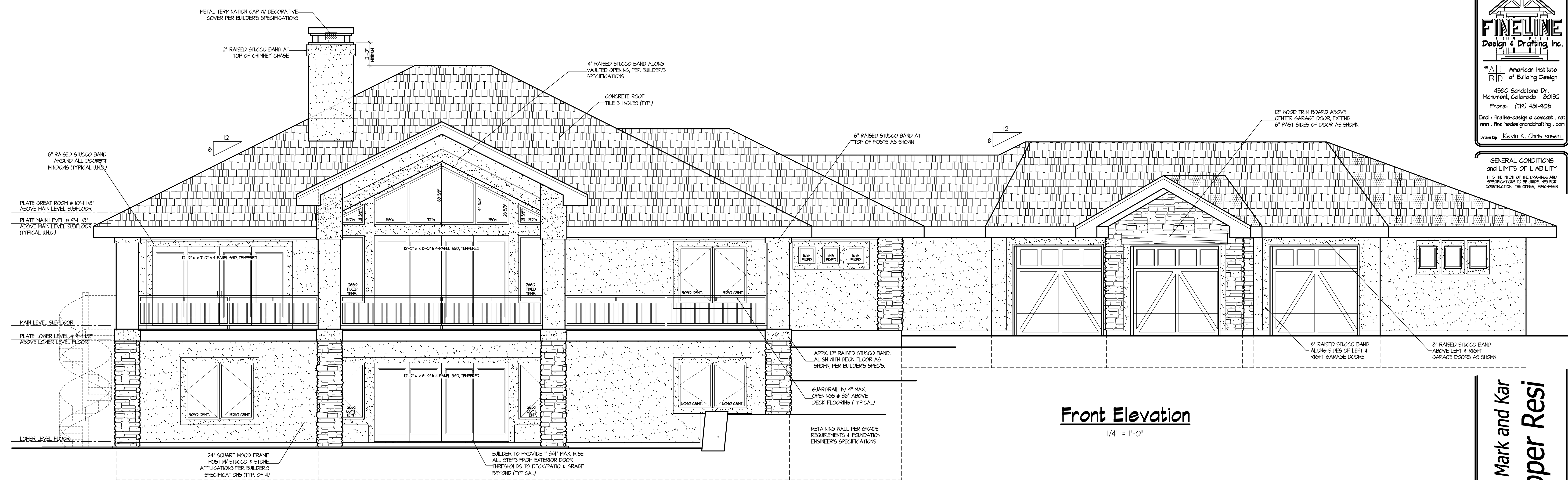
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**GENERAL CONDITIONS
and LIMITS OF LIABILITY**

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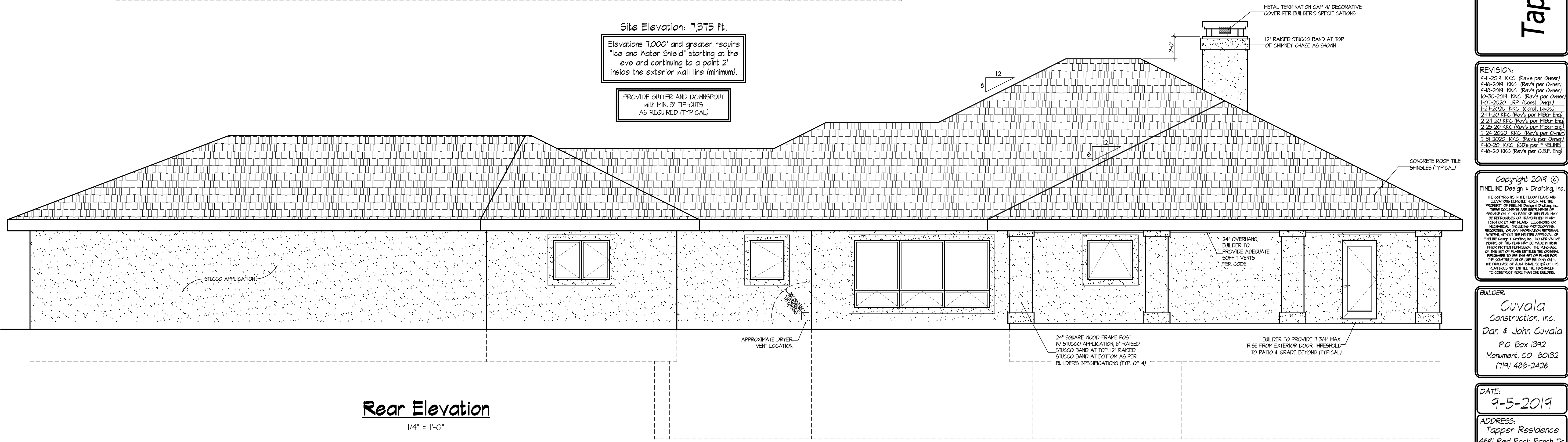


Front Elevation
1/4" = 1'-0"

Site Elevation: 7,315 ft.

Elevations 7,000' and greater require "Ice and Water Shield" starting at the eave and continuing to a point 2' inside the exterior wall line (minimum).

PROVIDE GUTTER AND DOWNSPOUT with MIN. 3" TIP-OUTS AS REQUIRED (TYPICAL)



Rear Elevation
1/4" = 1'-0"

**Mark and Kar
Tapper Resi**

REVISION:

4-11-2014	KKC	(Rev's per Owner)
4-16-2014	KKC	(Rev's per Owner)
4-18-2014	KKC	(Rev's per Owner)
10-30-2014	KKC	(Rev's per Owner)
1-07-2020	JSP	(Const. Drawg.)
1-21-2020	KKC	(Const. Drawg.)
2-11-20	KKC	(Rev's per MBR, Eng.)
2-24-20	KKC	(Rev's per MBR, Eng.)
2-25-20	KKC	(Rev's per MBR, Eng.)
1-24-2020	KKC	(Rev's per Owner)
1-31-2020	KKC	(Rev's per Owner)
4-10-20	KKC	(CD's per FINELINE)
4-16-20	KKC	(Rev's per G.B.F., Eng.)

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BUILDER:
Cuvola Construction, Inc.
Dan & John Cuvola
P.O. Box 1392
Monument, CO 80132
(719) 488-2426

DATE:
9-5-2019

ADDRESS:
Tapper Residence
4641 Red Rock Ranch Dr.
Monument, CO 80132
El Paso County

SHEET **OF**
A4 **8**



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CONSTRUCTION

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Mark and Karen Tapper Residence

REVISION:

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4-16-2019	KKC	(Rev's per Owner)
4-18-2019	KKC	(Rev's per Owner)
10-30-2019	KKC	(Rev's per Owner)
1-07-2020	JRP	(Const. Drawg.)
1-21-2020	KKC	(Const. Drawg.)
2-11-20 KKC		(Rev's per MBR, Eng.)
2-24-20 KKC		(Rev's per MBR, Eng.)
2-25-20 KKC		(Rev's per MBR, Eng.)
2-26-20 KKC		(Rev's per Owner)
3-31-2020	KKC	(Rev's per Owner)
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4-16-20 KKC		(Rev's per G.B.F., Eng.)

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Cuvula Construction, Inc.
Dan & John Cuvula
P.O. Box 1392
Monument, CO 80132
(719) 488-2426

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9-5-2019

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El Paso County

SHEET OF
A5 **8**



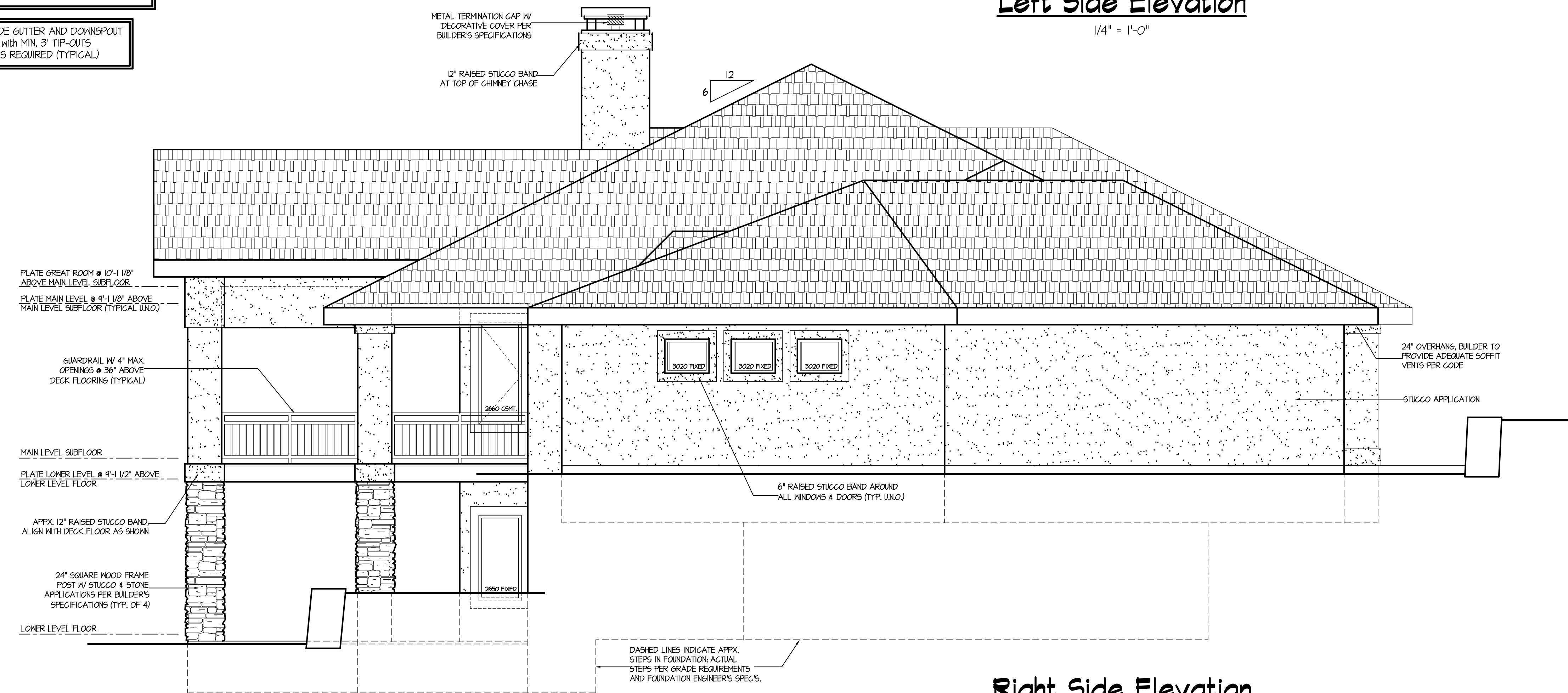
Site Elevation: 7,375 ft.

Elevations 7,000' and greater require "Ice and Water Shield" starting at the eave and continuing to a point 2' inside the exterior wall line (minimum).

PROVIDE GUTTER AND DOWNSPOUT with MIN. 3" TIP-OUTS AS REQUIRED (TYPICAL)

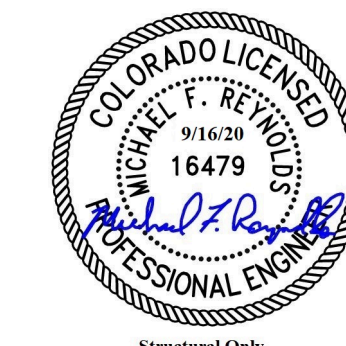
Left Side Elevation

1/4" = 1'-0"



Right Side Elevation

1/4" = 1'-0"

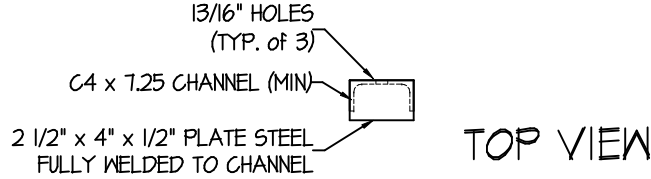


Hanger Notes:

- USE "LUS28" HANGERS FOR 2x10 JOISTS
- USE "H414" HANGERS FOR SINGLE M-L or V/L OR L55U125 AT SKEWED LOCATIONS
- USE "H414" FOR DOUBLE V/L OR M-L HANGER

STEEL BRACKET NOTES

- PLACE THIS BRACKET UNDER STEEL BEAM WITH NO BEAM POCKET
- 1/8" Dia. HOLES (TYP. OF 3 as specified)
- USE 3/4" Dia. x 4 1/2" WEDGE-ALLS IN CONCRETE WALL
- USE 3/8" FILLET WELDED TO WELD STEEL PLATE TO CHANNEL
- USE 3/16" FILLET WELDED TO WELD STEEL PLATE TO BEAM



Steel Beam Bracket Detail

1" = 1'-0"

BCI Product: Single I-Joist

BCI 60 2.0	Top Flange	Face Mount	45° Skew
11' 7/8"	IT52.371/1.5	IU52.371/1.5	SJR/L.2.371/1
14'	IT52.371/1.88	IU52.371/1.88	SJR/L.2.371/1.4
16'	IT52.371/4	IU52.371/4	SJR/L.2.371/4

BCI Product: Double I-Joist

BCI 60 2.0	Top Flange	Face Mount	45° Skew
11' 7/8"	MIT3511.88-2	MIU4.75/11	HSUR/L.4.75/11
14'	MIT3514-2	MIU4.75/14	HSUR/L.4.75/14
16'	MIT4.75/16	MIU4.75/16	HSUR/L.4.75/16

TrusJoist Product: Single TJI Joist

TJI 360 Series	Top Flange	Face Mount	45° Skew
11' 7/8"	IT52.371/1.88	IU52.371/1.88	SJR/L.2.371/1
14'	IT52.371/4	IU52.371/4	SJR/L.2.371/4
16'	IT52.371/6	IU52.371/6	SJR/L.2.371/4

TrusJoist Product: Double TJI Joist

TJI 360 Series	Top Flange	Face Mount	45° Skew
11' 7/8"	MIT3511.88-2	MIU4.75/11	HSUR/L.4.75/11
14'	MIT3514-2	MIU4.75/14	HSUR/L.4.75/14
16'	MIT4.75/16	MIU4.75/16	HSUR/L.4.75/16

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El Paso County

SHEET 51 **OF** 8

Framing Notes:

- ALL EXTERIOR WALLS TO BE 2x6 STUDS AT 16" O.C. UNLESS OTHERWISE NOTED.
- ALL HEADERS OVER INTERIOR OPENINGS OF LOAD BEARING WALLS SHALL BE (2) 2x12 W/ 1/2" FLYND. SPACERS UNLESS OTHERWISE NOTED.
- ALL HEADERS WITH SPANS OF: 1'-0" TO 2'-8" (1) TR, (2) KS PER SIDE; 2'-9" TO 5'-0" (2) TR, (2) KS PER SIDE; 5'-1" TO 8'-0" (2) TR, (3) KS PER SIDE (1.0N) UNLESS OTHERWISE NOTED.
- ALL BEAMS AND (2) FLY TRUSSES SHALL HAVE A MINIMUM OF (2) 2x4/6 STUD COLUMN AT EACH BEARING LOCATION UNLESS OTHERWISE SPECIFIED.
- ALL BUILT-UP STUD COLUMNS SHALL BE CONTINUED TO FOUNDATION OR OTHER SUPPORTING MEMBER. BUILT-UP COLUMNS SHALL BE BLOCKED SOLID AT THE FLOOR SYSTEM (TYPICAL).
- HEADERS IN 2x6 WALLS TO BE (3) 2x6 W/ 1/2" SPACERS, UNLESS OTHERWISE NOTE.
- NOTE: SUB-FASCIA TO BE 2x6 HF, FASCIA TO BE 2" HARDBOARD (TEXTURED).
- NOTE: SOFFITS TO BE 1/2" HARDBOARD (TEXTURED FINISH FLAT).
- NOTE: FRAMER TO PROVIDE ADEQUATE SOFFIT AND ATTIC VENTILATION (PER CURRENT I.R.C.) 1/50 OF ATTIC AREA.
- ALL FLOOR JOISTS TO BE 14" TJI 360 OR BCI 60 2.0 SERIES AT 16" O.C. UNLESS SPECIFIED OTHERWISE. PROVIDE 1 1/4" TIMBERSTRAND RIM BOARD ON ENTIRE PERIMETER OF FLOOR JOIST SYSTEM UNLESS SPECIFIED.
- FOR 8' WIDE GARAGE DOORS, PROVIDE 6 KING STUDS AND 2 TRIMMERS AT EACH SIDE (1.0N).
- FOR ANY TRUSS WITH INTERIOR BEARING POINTS, PROVIDE (2) 2x4 STUDS AT EACH INTERIOR BEARING POINT UNLESS OTHERWISE NOTED.
- ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A36 EXCEPT PIPE COLUMNS WHICH SHALL CONFORM TO ASTM A53, GRADE B OR A501.
- ADJUSTABLE PIPE COLUMNS SHALL BE LOAD RATED FOR 15000 LBS AT 4'-0" HEIGHT AND SHALL CONFORM TO I.R.C. USE OF MATERIALS AND CONNECTIONS SHALL BE AS PER THE WALL BRACING METHOD, C5-MEP (CONTINUOUS SHEATHING STRUCTURE), WITH 7/16" OSB SHEATHING. CONNECTION CRITERIA: BS COMMON (2 1/2" x 0.181") NAILS AT 6" SPACING (PANEL EDGES) AND AT 12" SPACING (INTERMEDIATE SUPPORTS) OR 16 2x4 x 3/4" STARTLES AT 3' SPACING (PANEL EDGES) AND 6" SPACING (INTERMEDIATE SUPPORTS).

WALL FLOOR LOAD DESIGN:

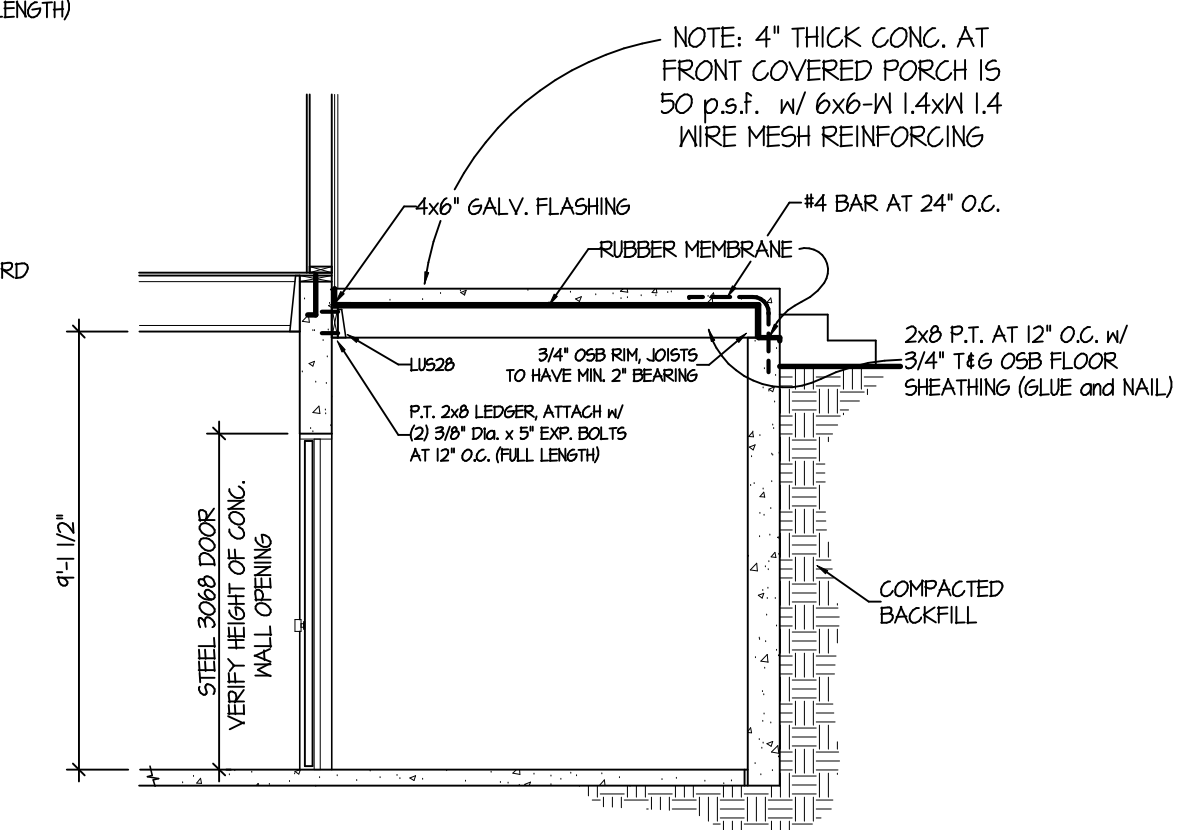
40 p.s.f. LIVE LOAD
15 p.s.f. DEAD LOAD
50 p.s.f. (4" MAX. CONCRETE)
TOTAL: 105 p.s.f. TOTAL LOAD

FLOOR LOAD DESIGN:

40 p.s.f. LIVE LOAD
10 p.s.f. DEAD LOAD
TOTAL: 50 p.s.f. TOTAL LOAD

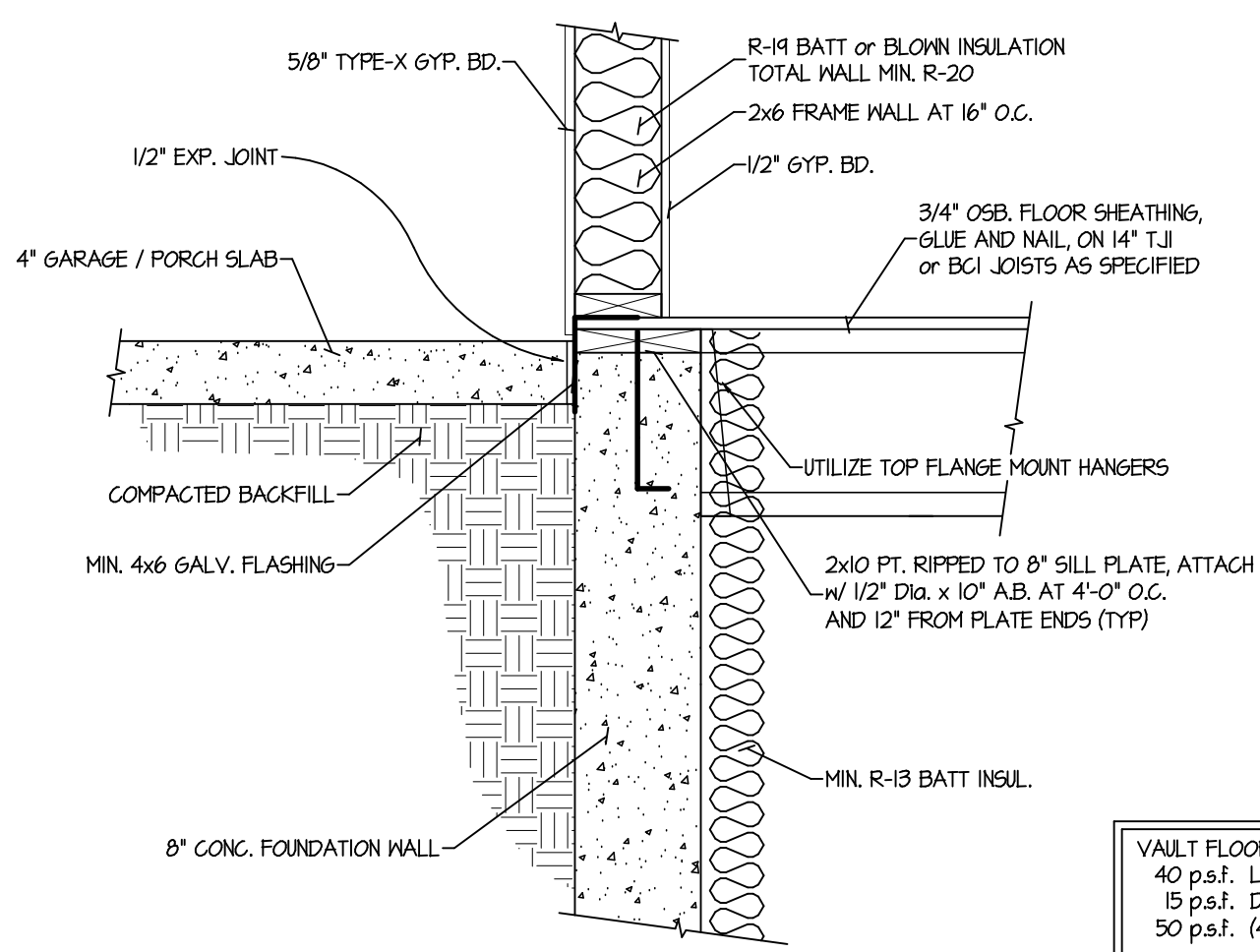
DECK LOAD DESIGN:

40 p.s.f. LIVE LOAD
15 p.s.f. DEAD LOAD
TOTAL: 55 p.s.f. TOTAL LOAD
LEDEG LOAD: 66 p.s.f.



Conc. Front Stoop Section

1/4" = 1'-0"

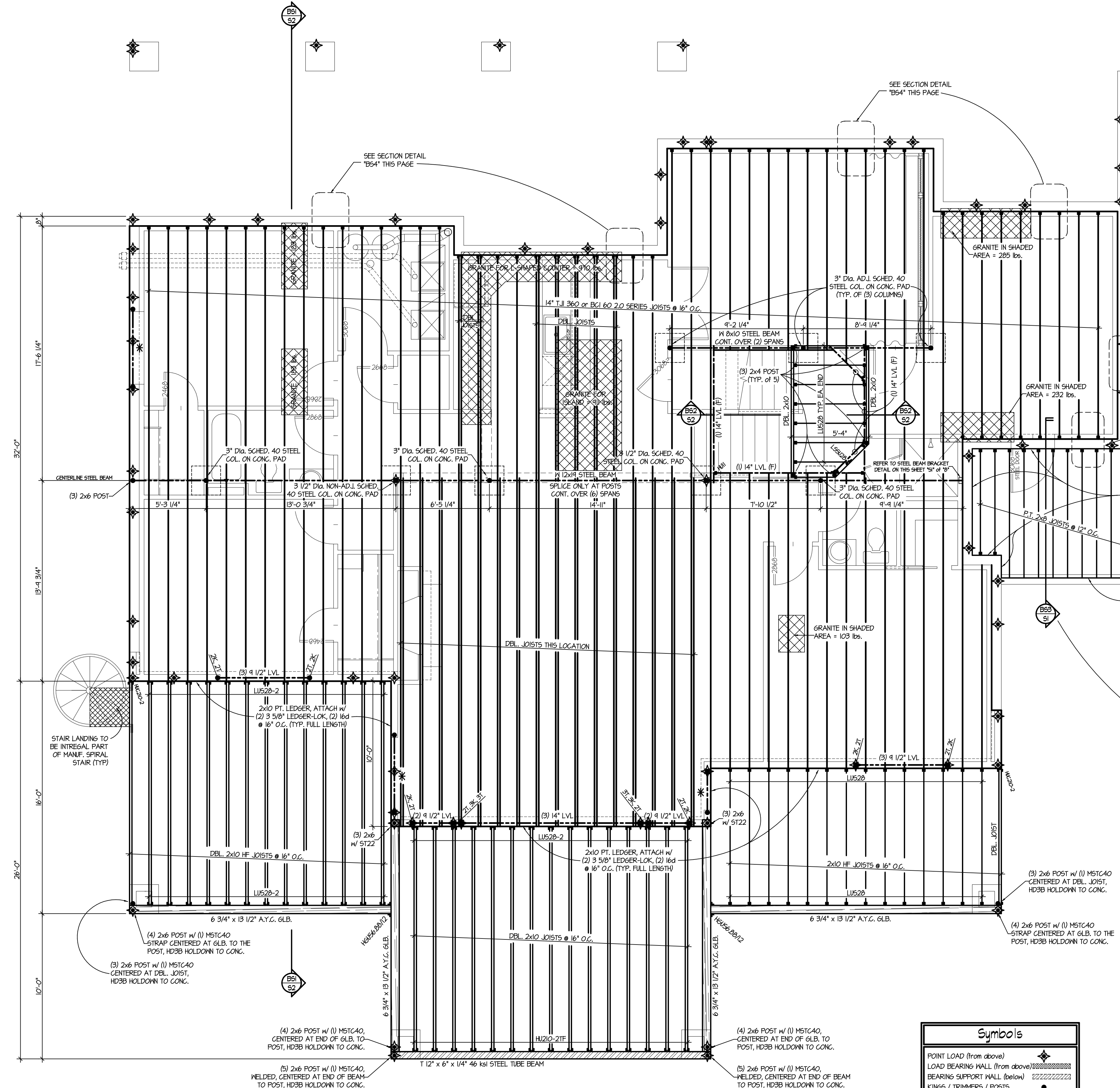


Building Section

1" = 1'-0"

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CONSTRUCTION

COLORADO LICENSED
K. F. REYNOLDS
16479
PROFESSIONAL ENGINEER
Structural Only



Main Level Floor Framing Plan

1/4" = 1'-0"

Symbols

POINT LOAD (from above)	◆
LOAD BEARING WALL (from above)	▤
LOAD BEARING SUPPORT WALL (below)	▥
KINGS / TRIMMERS / POSTS	●
BEAMS / HEADERS	—

GENERAL CONDITIONS and LIMITS OF LIABILITY

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Mark and Karen Tapper Residence

REVISION:

4-11-2019	KKC	(Rev's per Owner)
4-16-2019	KKC	(Rev's per Owner)
4-18-2019	KKC	(Rev's per Owner)
10-30-2019	KKC	(Rev's per Owner)
1-07-2020	JRP	(Const. Drawg)
1-21-2020	KKC	(Const. Drawg)
2-11-2020	KKC	(Rev's per MBR/ Eng)
2-24-2020	KKC	(Rev's per MBR/ Eng)
2-25-2020	KKC	(Rev's per MBR/ Eng)
1-24-2020	KKC	(Rev's per Owner)
1-31-2020	KKC	(Rev's per Owner)
4-10-2020	KKC	(CD's per FINELINE)
4-16-2020	KKC	(Rev's per G.B.F. Eng)

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BUILDER:
Cuvula Construction, Inc.
Dan & John Cuvula
P.O. Box 1392
Monument, CO 80132
(719) 488-2426

DATE:
9-5-2019

ADDRESS:
Tapper Residence
4641 Red Rock Ranch Dr.
Monument, CO 80132
El Paso County

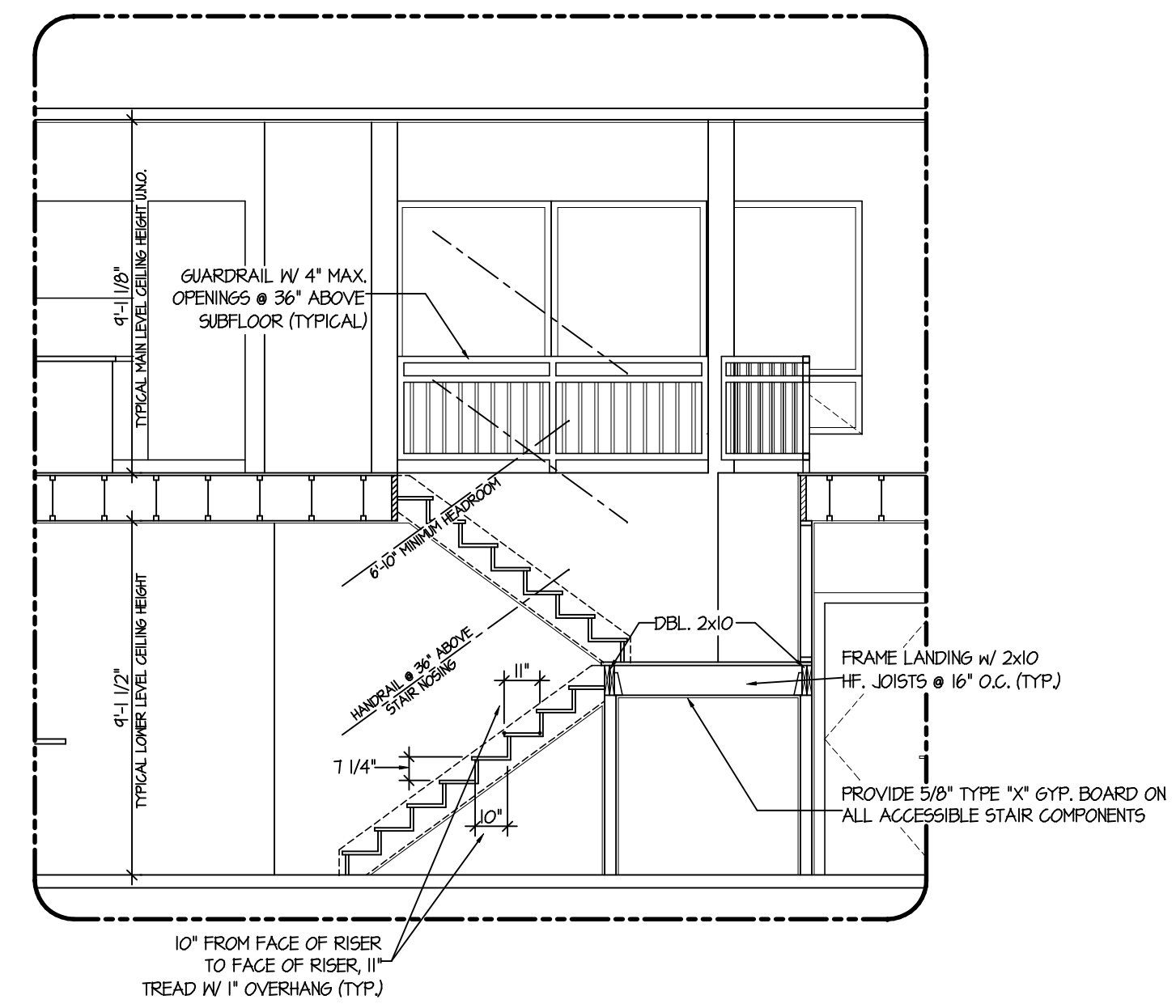
SHEET OF
52 8

Stair Notes

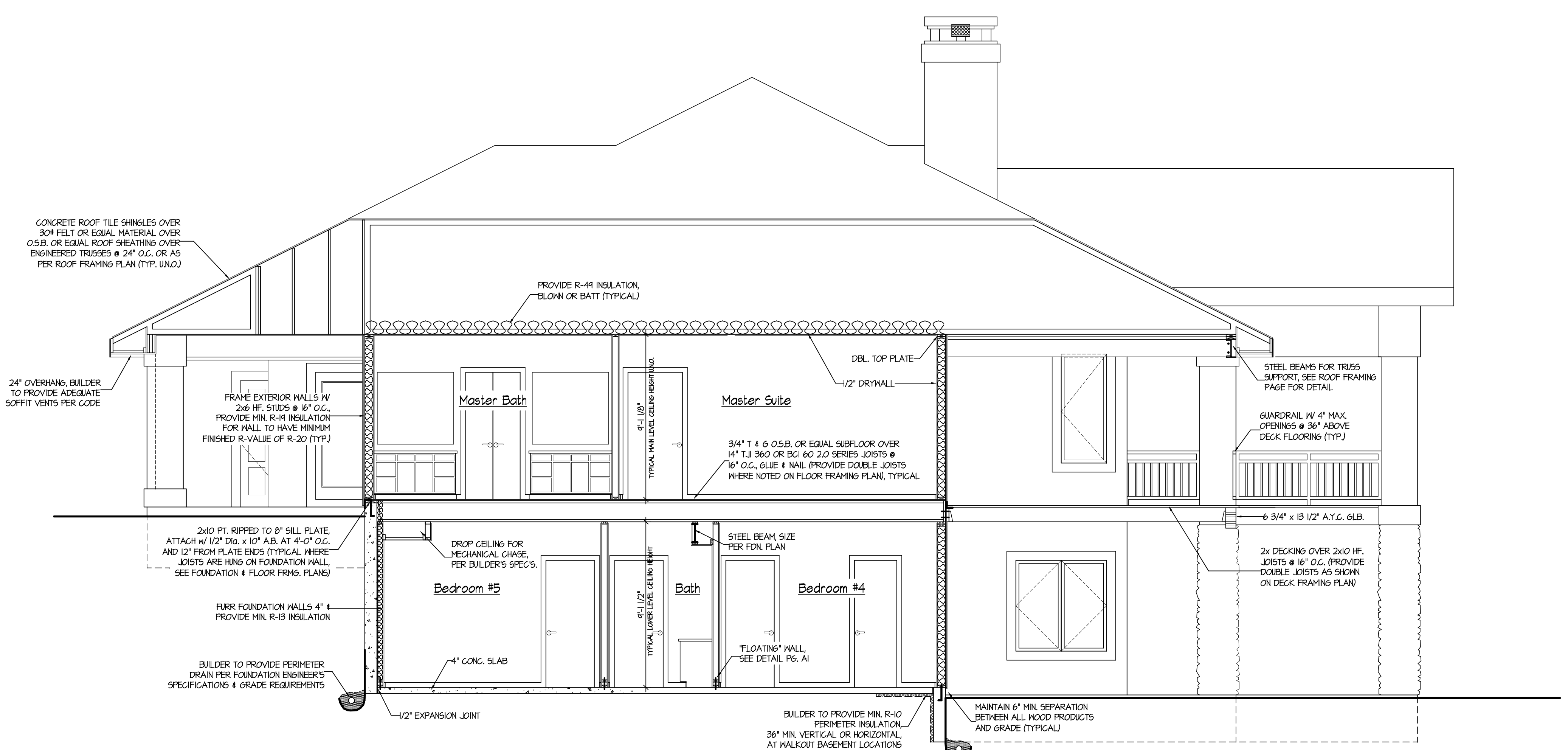
STAIRS TO HAVE A 7 3/4" MAX. RISER and 10" MIN. TREAD

HANDRAIL TO BE MIN. 34" and MAX. 38" ABOVE STAIR NOSING

HEADROOM TO BE MIN. 6'-10" CLEAR ABOVE STAIR NOSING

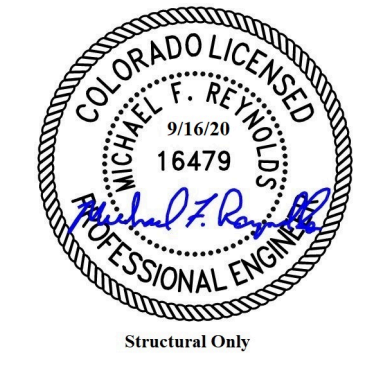


Stair Section
1/4" = 1'-0"



Building Section
1/4" = 1'-0"

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GENERAL CONDITIONS and LIMITS OF LIABILITY
IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS TO BE GUIDELINES FOR CONSTRUCTION. THE OWNER, PURCHASER AND/OR CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE STRUCTURAL ELEMENTS AND DETERMINING ANY QUESTIONS AND RESERVATIONS IN THE WORKING DRAWINGS AND SPECIFICATIONS. THE OWNER, PURCHASER AND/OR CONTRACTOR SHALL NOTIFY FINELINE Design & Drafting, Inc. IN WRITING OF ANY ERRORS, OMISSIONS OR UNUSABLE DETAILING WHICH MAY CAUSE CONSTRUCTION PROBLEMS. FINELINE Design & Drafting, Inc. SHALL NOT BE HELD LIABLE FOR ANY REASON BEFORE, DURING

UTILIZE L1K31 FOR F1, F2, F3, F4, F5, F6, F7, F8, F9, F10, F11, F12, F13, F14, F15, F16, F17, F18, F19, F20, F21, F22, F23, F24, F25, F26, F27, F28, F29, F30, F31, F32, F33, F34, F35, F36, F37, F38, F39, F40, F41, F42, F43, F44, F45, F46, F47, F48, F49, F50, F51, F52, F53, F54, F55, F56, F57, F58, F59, F60, F61, F62, F63, F64, F65, F66, F67, F68, F69, F70, F71, F72, F73, F74, F75, F76, F77, F78, F79, F80, F81, F82, F83, F84, F85, F86, F87, F88, F89, F90, F91, F92, F93, F94, F95, F96, F97, F98, F99, F100

REVISION:
4-11-2019 KKC (Rev's per Owner)
4-16-2019 KKC (Rev's per Owner)
4-18-2019 KKC (Rev's per Owner)
10-30-2019 KKC (Rev's per Owner)
1-07-2020 JRP (Const. Drawg.)
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2-11-2020 KKC (Rev's per MBR Eng.)
2-24-2020 KKC (Rev's per MBR Eng.)
2-25-2020 KKC (Rev's per MBR Eng.)
2-26-2020 KKC (Rev's per Owner)
3-31-2020 KKC (Rev's per Owner)
4-10-2020 KKC (CD's per FINELINE)
4-16-2020 KKC (Rev's per G.B.F. Eng.)

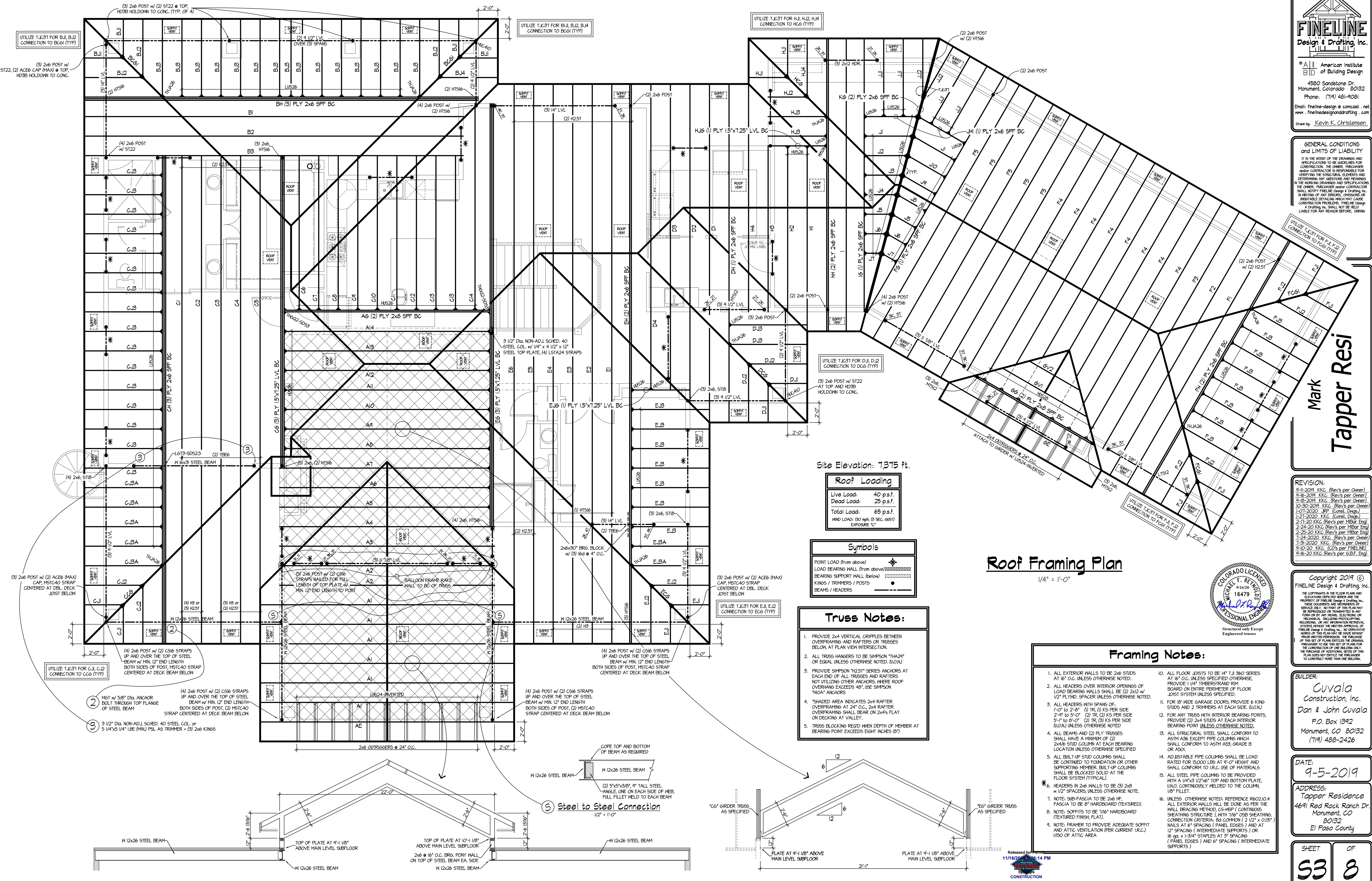
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PROFESSIONAL ENGINEER
COLORADO LICENSED
16479
Structural only Except Engineered trusses

BUILDER:
Cuvola
Construction, Inc.
Dan & John Cuvola
P.O. Box 1392
Monument, CO 80132
(719) 480-2426

DATE:
9-5-2019
ADDRESS:
Tapper Residence
461 Red Rock Ranch Dr.
Monument, CO
80132
El Paso County

SHEET OF
53 **8**



Site Elevation: 7375 ft.

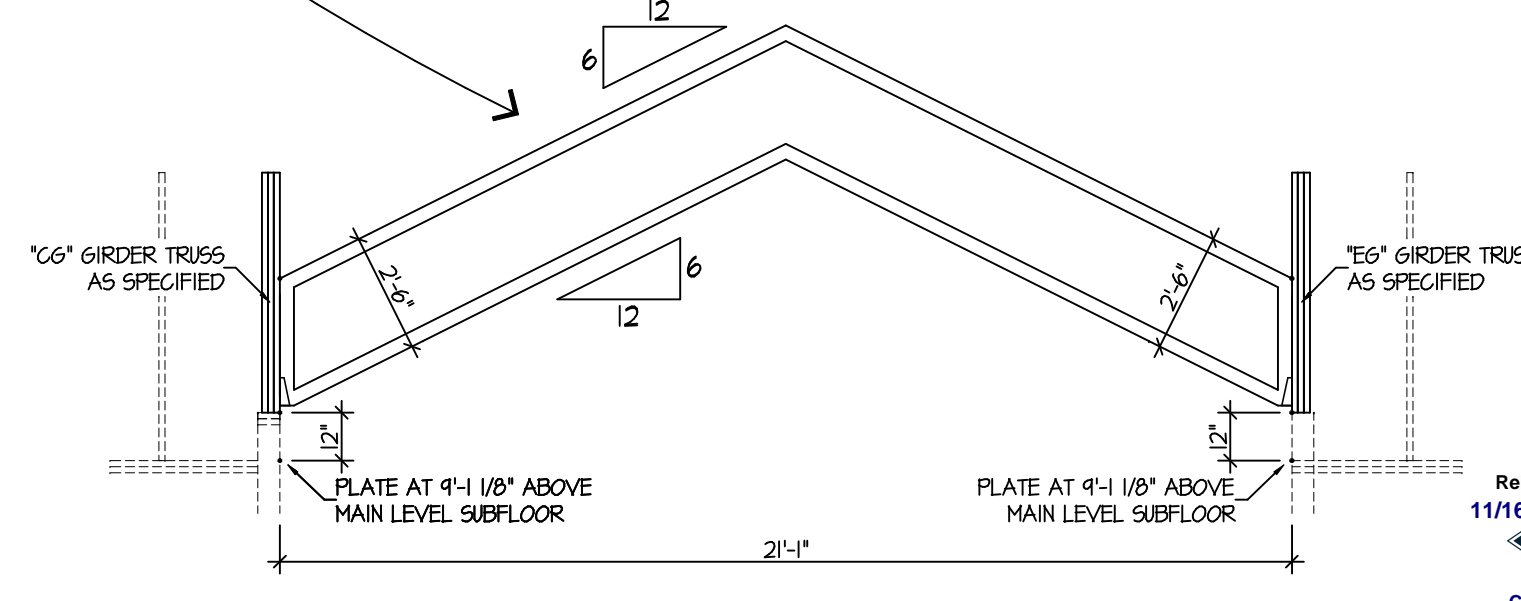
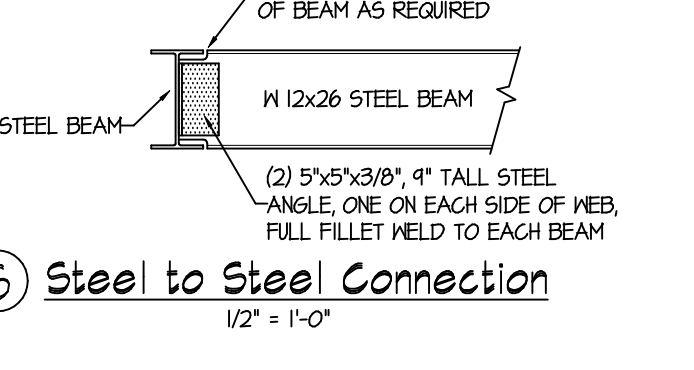
Roof Loading	
Live Load:	40 ps.f.
Dead Load:	25 ps.f.
Total Load:	65 ps.f.
WIND LOAD: 130 mph (3 SEC. GUST) EXPOSURE 1C	

Symbols	
POINT LOAD (from above)	◆
LOAD BEARING WALL (from above)	▬
BEARING SUPPORT WALL (below)	▬
KINGS / TRIMMERS / POSTS	•
BEAMS / HEADERS	—

- Truss Notes:**
1. PROVIDE 2x4 VERTICAL CRIPPLES BETWEEN OVERFRAMING AND RAFTERS OR TRUSSES BELOW AT PLAN VEIN INTERSECTION.
 2. ALL TRUSS HANGERS TO BE SIMPSON TH241 OR EQUAL UNLESS OTHERWISE NOTED.
 3. PROVIDE SIMPSON H251 SERIES ANCHORS AT EACH END OF ALL TRUSSES AND RAFTERS NOT UTILIZING OTHER ANCHORS. WHERE ROOF OVERHANG EXCEEDS 48", USE SIMPSON TH04 ANCHORS.
 4. SHADDED AREA INDICATES 2x4 RAFTER OVERFRAMING AT 24" O.C. 2x4 RAFTER OVERFRAMING SHALL BEAR ON 2x4x FLAT ON DECKING AT VALLEY.
 5. TRUSS BLOCKING REQ'D WHEN DEPTH OF MEMBER AT BEARING POINT EXCEEDS EIGHT INCHES (8").

Roof Framing Plan
1/4" = 1'-0"

- Framing Notes:**
1. ALL EXTERIOR WALLS TO BE 2x6 STUDS AT 16" O.C. UNLESS OTHERWISE NOTED.
 2. ALL HEADERS OVER INTERIOR OPENINGS OF LOAD BEARING WALLS SHALL BE (2) 2x12 W/ 1/2" PLYND. SPACER UNLESS OTHERWISE NOTED.
 3. ALL HEADERS WITH SPANS OF: 1'-0" TO 2'-0" (1) TR (1) K5 PER SIDE 2'-4" TO 5'-0" (2) TR (2) K5 PER SIDE 5'-1" TO 8'-0" (2) TR (3) K5 PER SIDE (0.02) UNLESS OTHERWISE NOTED.
 4. ALL BEAMS AND (2) PLY TRUSSES SHALL HAVE A MINIMUM OF (2) 2x4x6 STUD COLUMN AT EACH BEARING LOCATION UNLESS OTHERWISE SPECIFIED.
 5. ALL BUILT-UP STUD COLUMNS SHALL BE LOAD RATED FOR 15,000 LBS AT 9'-0" HEIGHT AND SHALL CONFORM TO I.R.C. USE OF MATERIALS SHALL BE BLOCKED SOLID AT THE FLOOR SYSTEM (TYPICAL).
 6. HEADERS IN 2x6 WALLS TO BE (3) 2x6 W/ 1/2" SPACERS, UNLESS OTHERWISE NOTED.
 7. NOTE: SUB-FASCIA TO BE 2x6 HF, FASCIA TO BE 8" HARDBOARD (TEXTURED).
 8. NOTE: SOFFITS TO BE 7/8" HARDBOARD (TEXTURED FINISH FLAT).
 9. NOTE: FRAMES TO PROVIDE ADEQUATE SOFFIT AND ATTIC VENTILATION (PER CURRENT I.R.C.) 1/50 OF ATTIC AREA.
 10. ALL FLOOR JOISTS TO BE 14" TJI 360 SERIES AT 16" O.C. UNLESS SPECIFIED OTHERWISE. PROVIDE 1/4" THICK STRAND B.M. BOARD ON ENTIRE PERIMETER OF FLOOR JOIST SYSTEM UNLESS SPECIFIED.
 11. FOR 18" WIDE GARAGE DOORS, PROVIDE 6 KING STUDS AND 2 TRIMMERS AT EACH SIDE. (0.02)
 12. FOR ANY TRUSSES WITH INTERIOR BEARING POINTS, PROVIDE (2) 2x4 STUDS AT EACH INTERIOR BEARING POINT UNLESS OTHERWISE NOTED.
 13. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A36 EXCEPT PIPE COLUMNS WHICH SHALL CONFORM TO ASTM A53, GRADE B OR A501.
 14. ADJUSTABLE PIPE COLUMNS SHALL BE LOAD RATED FOR 15,000 LBS AT 9'-0" HEIGHT AND SHALL CONFORM TO I.R.C. USE OF MATERIALS SHALL BE BLOCKED SOLID AT THE FLOOR SYSTEM (TYPICAL).
 15. ALL STEEL PIPE COLUMNS TO BE PROVIDED WITH A 1/4x3/8 12x6" TOP AND BOTTOM PLATE, UNO. CONTINUOUSLY WELDED TO THE COLUMN, 1/8" FILLET.
 16. UNLESS OTHERWISE NOTED, REFERENCE R602.10.4 ALL EXTERIOR WALLS WILL BE DONE AS PER THE WALL BRACING METHOD, OS-WEP (CONTINUOUS SHEATHING STRUCTURE) WITH 7/16 OSB SHEATHING. CONNECTION CRITERIA: 8d COMMON (2 1/2" x 0.131") NAILS AT 6" SPACING (PANEL EDGES) AND AT 12" SPACING (INTERMEDIATE SUPPORTS) OR 16 ga. x 1-3/4" STAPLES AT 3" SPACING (PANEL EDGES) AND 6" SPACING (INTERMEDIATE SUPPORTS).



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