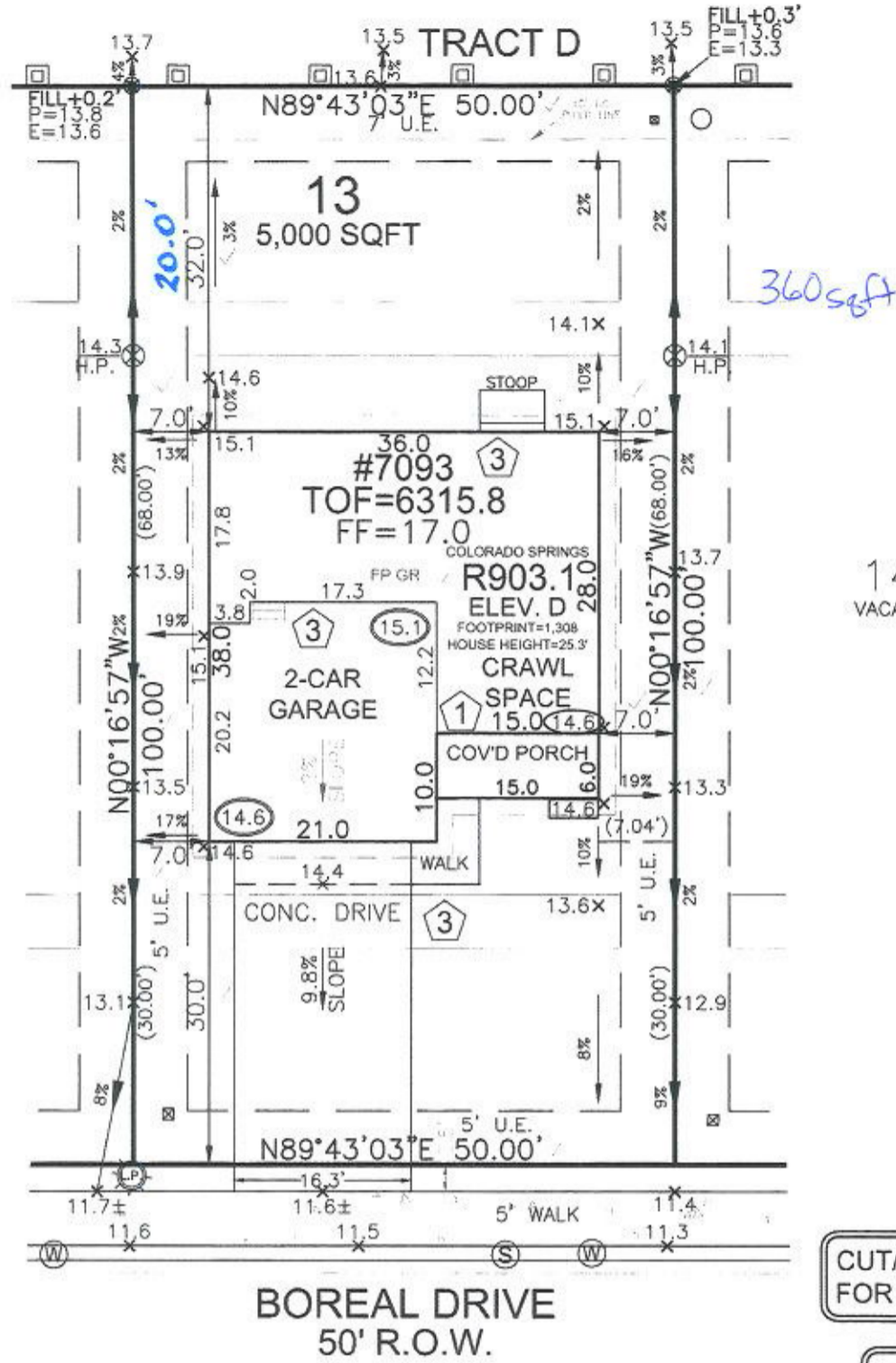


# RICHMOND AMERICAN HOMES LOT 13

## PLOT PLAN

SCHEDULE NUMBER 5408301013

### REVISED



12  
VACANT

14  
VACANT

CUT/FILL AT LOCATIONS SHOWN FOR ADEQUATE DRAINAGE

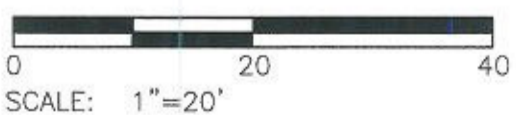
(XX.X) FINISH GRADES HAVE BEEN LOWERED, SIDE DOWN TO MATCH.

(X) SUGGESTED NUMBER OF RISERS AT LOCATION(S) SHOWN BASED ON 7-3/4" MAXIMUM RISERS.

(XX.X) FINISH GRADES HAVE BEEN LOWERED, THICKEN EDGE OF PORCH TO 14" BELOW TOP OF FOUNDATION.

FRONT SETBACK DRIVE COVERAGE  
FRONT SETBACK= 1,250 SF  
DRIVE COVERAGE IN  
FRONT SETBACK= 408 SF  
COVERAGE=32.6%

\* GRADE BEAM TO BE 18" BELOW TOP OF FOUNDATION TO ACHIEVE DRIVEWAY SLOPE INDICATED.  
**NOTE:** FROST DEPTH MUST BE MAINTAINED; REFER TO STRUCTURAL DETAILS.



LOT SIZE=5,000 SF ✓  
BLDG. SIZE=1,308 SF ✓  
COVERAGE=26% ✓  
T.O.F. TO TOP OF ROOF=25.3' ✓  
AVG. F.G.=14.9 ✓  
AVG. BLDG. HT.=21.2' ✓

41.1' ✓  
36.0' ✓  
21.2' ✓  
26.2' ✓

T.O.F.=15.8'  
AVG. F.G.=14.9'

- NOTES:**
- 1) PLOT PLAN **NOT** TO BE USED FOR EXCAVATION PLAN OR FOUNDATION PLAN LAYOUT.
  - 2) PLOT PLAN SUBJECT TO APPROVAL BY ZONING/BUILDING AUTHORITY PRIOR TO STAKEOUT.
  - 3) EASEMENTS DISPLAYED ON THIS PLOT ARE FROM THE RECORDED PLAT AND MAY NOT INCLUDE ALL EASEMENTS OF RECORD.
  - 4) RECORDED PLAT AND OVERLOT GRADING PLAN PREPARED BY CLASSIC.
  - 5) LOT CORNER ELEVATION CHECK: 03-22-18

Elevation view of building is an illustrative tool only to indicate the calculation for the average building height.

SUBDIVISION: MEADOWBROOK CROSSING FILING NO. 1	REVISIONS: 10-22-18 - CHANGED FROM E TO D PER 10-19-18 ORDER - DV
COUNTY: EL PASO	
ADDRESS: 7093 BOREAL DRIVE	
MODEL OPTIONS: R903.1-D/2-CAR/CRAWL SPACE/FP FR	

DRAWN BY: DV	DATE: 10-19-18	CHECK BY:	
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<p style="font-size: small;">Specializing in Home Builder Services Since 1985.</p>	<p><b>MINIMUM SETBACKS:</b></p> <p>FRONT: 25' REAR: 25'</p>	<p>CORNER: 5' SIDE: 5'</p>	<p>SETBACK REQUIREMENTS ACQUIRED FROM EL PASO COUNTY LAND DEVELOPMENT CODE</p> <p>6841 South Yosemite Street #100 Centennial, CO 80112 USA Phone: (303) 850-0559 Fax: (303) 850-0711 E-mail: info@bisurvey.net</p>
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4x8 1/2" OSB Deck Sheathing  
 8x8 r/g shank for sheathing  
 Seams staggered  
 1 1/2" flashing under ledger  
 1" Flash Roll under ledger  
 1 1/2" flashing over ledger under siding  
 4x8 angle flash under siding  
 over comp shingle at top of roof

Stop up 4x4 flash  
 angle over shingle  
 under siding  
 both  
 sides

2x6 for ceiling  
 joist hangers on ledger  
 boards

2x6 Jack stud Hangers

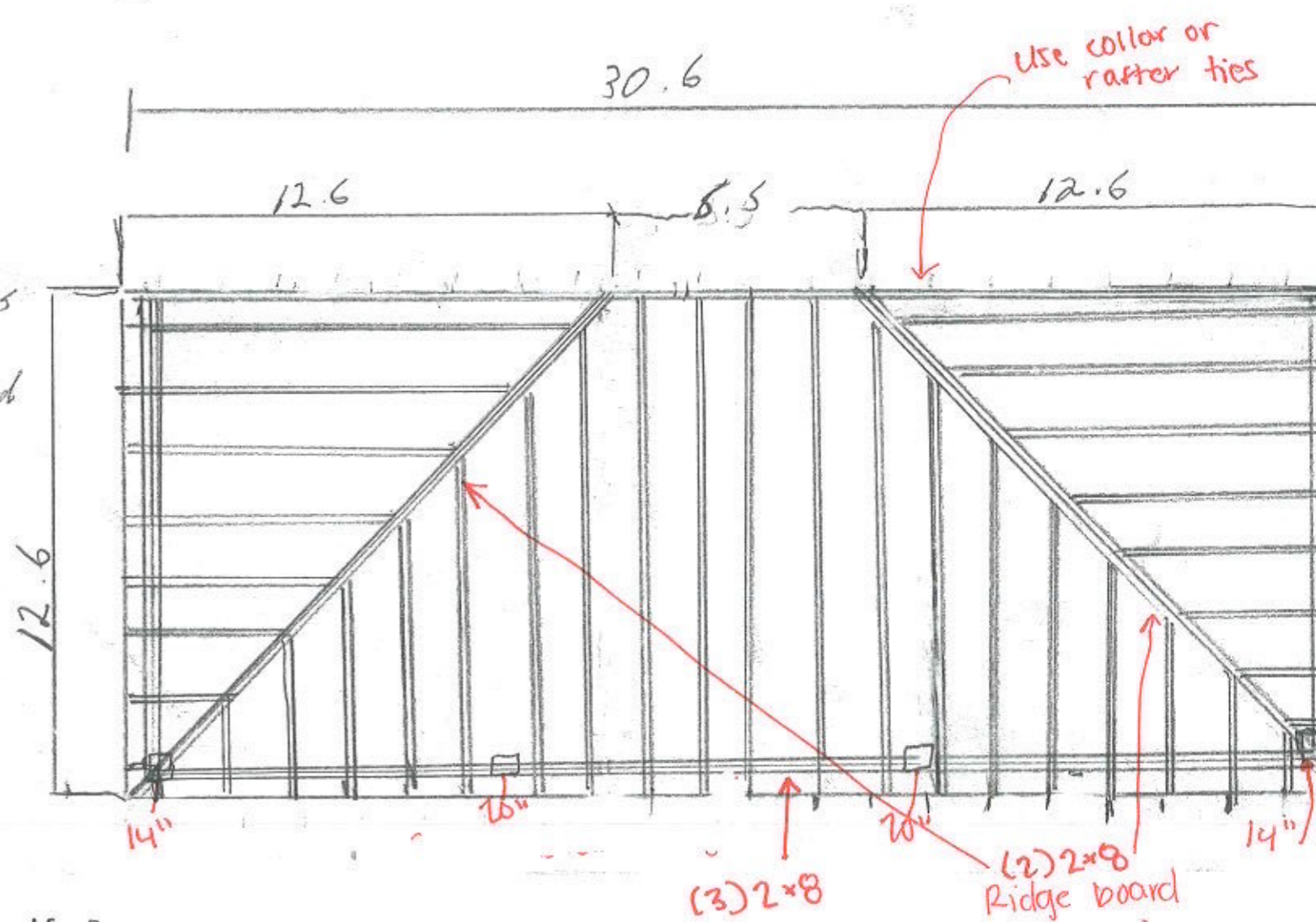
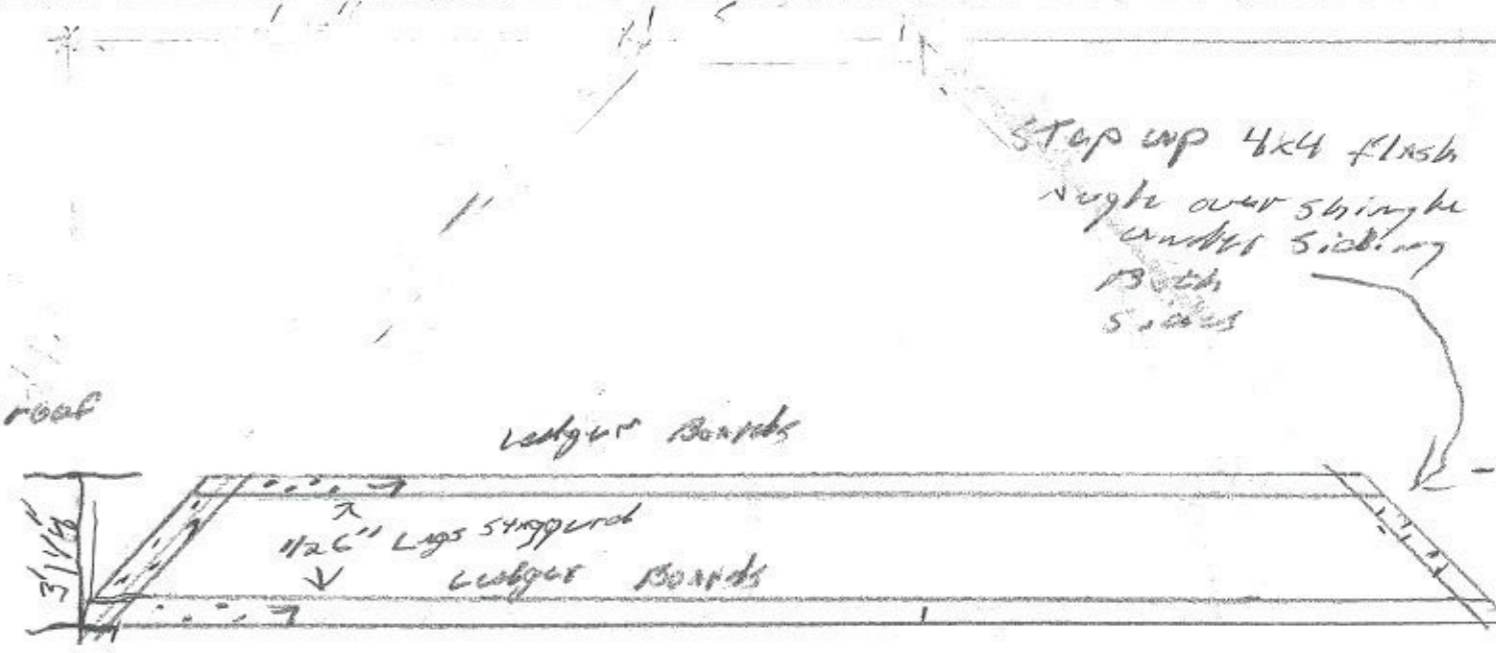
2x6 Joist  
 Strong tie hangers  
 Hurricane ties to beam

2x8 Ledger Boards  
 1/2" 6" Lags  
 Lags staggered

6x6 Post Base  
 with 1" rise  
 per Post

Per Corner Post  
 2x5 Lags  
 both sides

6x6 Post  
 4 1/2 5.5 Lags

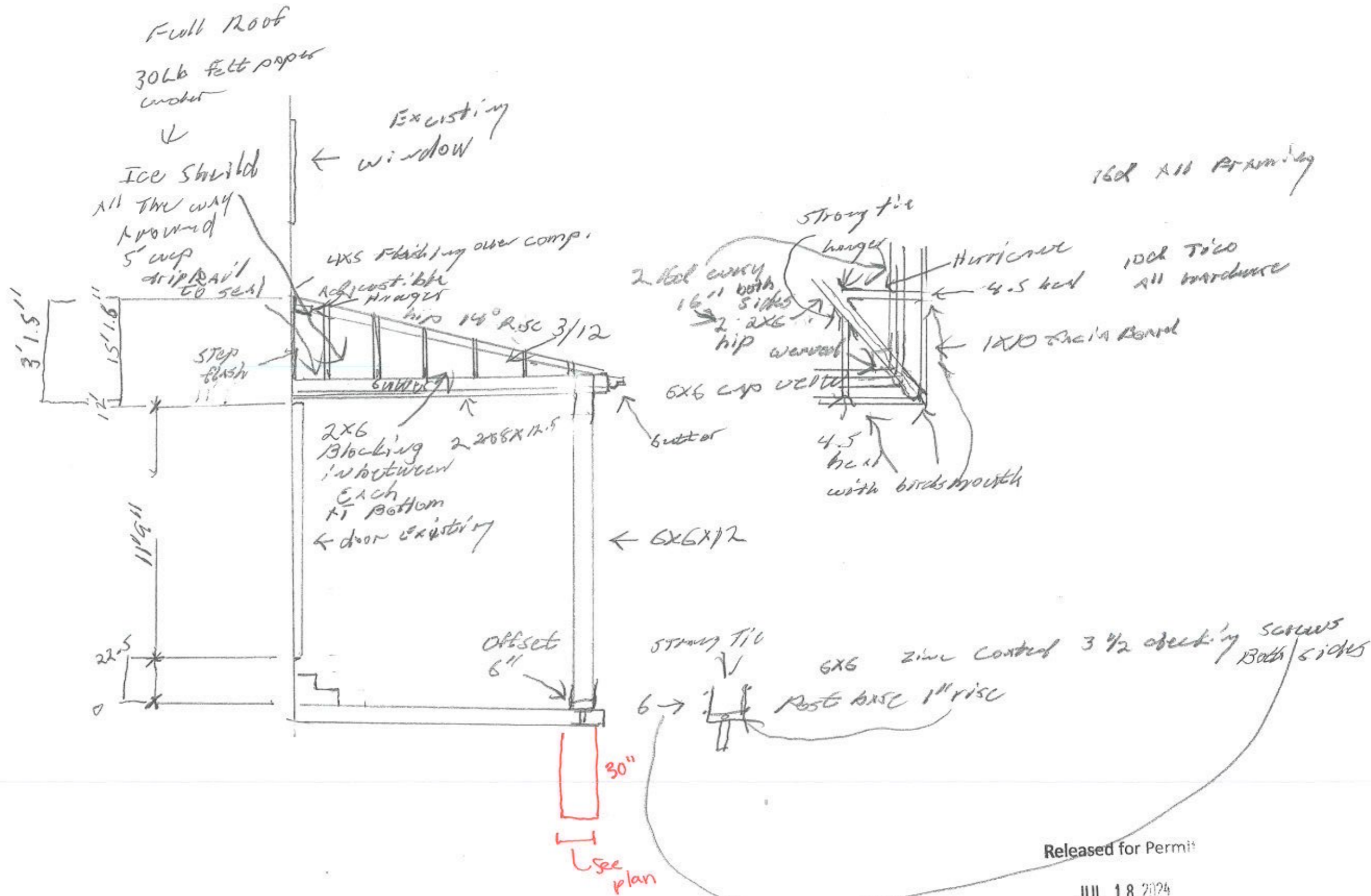


Released for Per

JUL 18 2024

EGCH  
 RBD Construction

4x8 1/2 OSB staggered joints.



Released for Permit

JUL 18 2024

CG CH  
RBD Construction