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LEGAL DESCRIPTION

LOT 2 MOUNTAIN STATES PIPE AND SUPPLY

ELECTRONIC STORAGE
SITE DEVELOPMENT PLAN
COVER SHEET
DECEMBER 2020

SHEET INDEX

COVER SHEET	1
EXISTING SITE	2
PROPOSED SITE	3
DETAILS SHEET	4

GENERAL NOTES

1. THE PROPOSED STRUCTURE WILL BE ACCESSED FROM THE BOTTOM TWO LEVELS. THE SOUTHEAST SIDE WILL HAVE ACCESS TO THE FIRST LEVEL AND THE NORTHWEST SIDE WILL HAVE ACCESS TO THE SECOND LEVEL.



VICINITY MAP

N.T.S.

PROJECT DATA:

OWNER/DEVELOPER:	D. STEFANO—BUILDING & RESTORATION, INC. 520 WEST 21ST STREET, G-2 #710 NORFOLK, VA 23517
APPLICANT:	TERRA NOVA ENGINEERING, INC. 721 S. 23RD ST. COLORADO SPRINGS, CO. 80904 (719) 635-6422
SITE AREA:	2.25 ACRES
MASTER PLAN:	UNK
CONCEPT PLAN:	UNK
EXISTING ZONING:	M CAD-O (INDUSTRIAL)
PROPOSED ZONING:	M CAD-O (INDUSTRIAL)
PROPOSED USE:	MINI STORAGE FACILITY (MINI-WAREHOUSE)
UTILITY EASEMENTS:	AS NOTED
BUILDING SETBACKS:	FRONT: 15', REAR: 15', SIDE: NONE
BUILDING HEIGHT:	40'
PROPOSED BLDG SIZE:	19,392 SF BLDG FOOTPRINT (74,698 SF BLDG TOTAL)
MINI STORAGE UNITS:	1ST FLOOR: 80 UNITS 2ND FLOOR: 103 UNITS 3RD FLOOR: 148 UNITS 4TH FLOOR: 149 UNITS TOTAL: 480 UNITS

PARKING SPACES:	REQUIRED: MINI STORAGE: 1 PER 100 UNITS + 1 PER EMPLOYEE (USING 1 EMPLOYEE)
	HANDICAPPED: 1 SPACE PER 25 SPACES = 1 SPACE
	TOTAL: 6 SPACES (1 HANDICAPPED)
	BIKE PARKING (AT 5% OF CAR PARKING): 1
PROVIDED:	CAR: 9 SPACES (1 HANDICAPPED VAN - 5 OVERSIZED)
	BIKE: 1

PROJECT DENSITIES:	TOTAL AREA:	98,010 SF	100%
	BUILDING AREA:	19,392 SF	19.8%
	PAVEMENT AREA:	26,600 SF	27.1%
	LANDSCAPE AREA:	52,018 SF	53.1%

PROJECT DEVELOPMENT SCHEDULE:
START OF DEVELOPMENT IN FALL 2020 TO BE COMPLETED BY SPRING 2021.

UTILITY SERVICE PROVIDERS:	WATER - CHEROKEE METRO DISTRICT
	SEWER - NONE (ONSITE SEPTIC)
	ELECTRIC - MOUNTAIN VIEW ELECTRIC ASSOCIATION
	GAS - COLORADO SPRINGS UTILITIES
	FIRE PROTECTION - FALCON FIRE PROTECTION DISTRICT

SITE DATA

OWNER/PETITIONER:
D. STEFANO—BUILDING & RESTORATION, INC.
520 WEST 21ST STREET, G-2 #710
NORFOLK, VA 23517

PREPARER:
TERRA NOVA ENGINEERING, INC.
721 S. 23RD STREET
COLORADO SPRINGS, CO 80904
(719) 635-6422

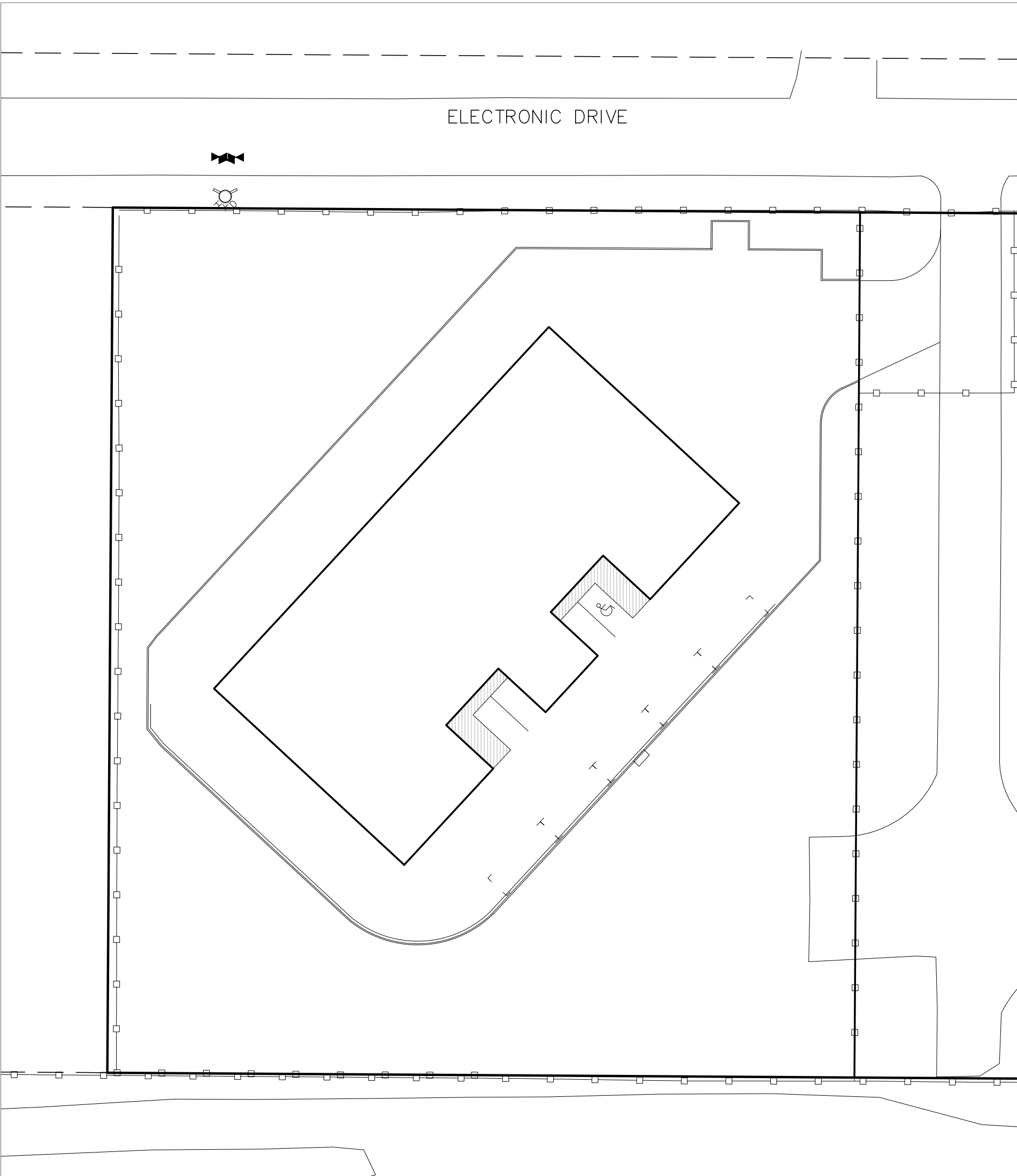
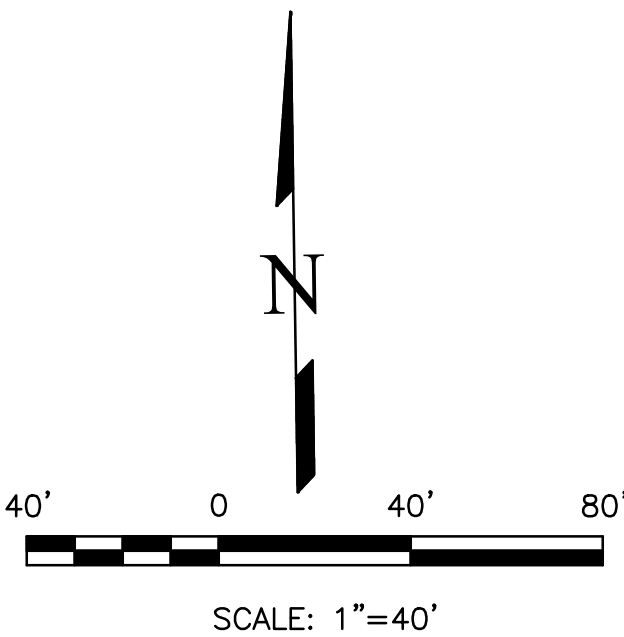
MINERAL RIGHTS OWNERSHIP:
NOT APPLICABLE

ADDRESS: 7765 +/- ELECTRONIC DRIVE,
COLORADO SPRINGS, CO

CERTIFICATION STATEMENTS:

CERTIFICATION OF OWNERSHIP

PROPERTY OWNER SIGNATURE _____ DATE _____



Approved

By: Craig Dossey, Executive Director

Date: 10/28/2021

El Paso County Planning & Community Development



The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

REVISIONS		DESCRIPTION	DATE
NO.			

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE REVIEWING AGENCIES, TERRA NOVA ENGINEERING, INC. APPROVES THEIR USE ONLY FOR THE PROJECT DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR:
D. STEFANO—BUILDING &...
ATTN: DAVID STEFANO
520 W 21ST ST, G-2 #710
NORFOLK, CA 23517
757.333.3144

721 S. 23RD STREET
COLORADO SPRINGS, CO 80904

OFFICE: 719-635-6422
FAX: 719-635-6426
www.tnecinc.com

ELECTRONIC STORAGE	SITE DEVELOPMENT PLAN COVER SHEET
--------------------	--------------------------------------

DESIGNED BY DLF
DRAWN BY DLF
CHECKED BY LD
H-SCALE AS SHOWN
V-SCALE N/A
JOB NO. 1971.00
DATE ISSUED 12/14/20
SHEET NO. 1 OF 4

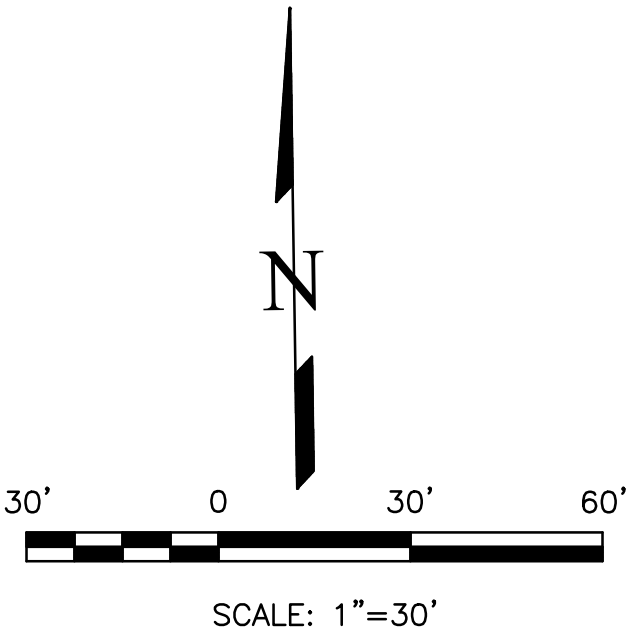
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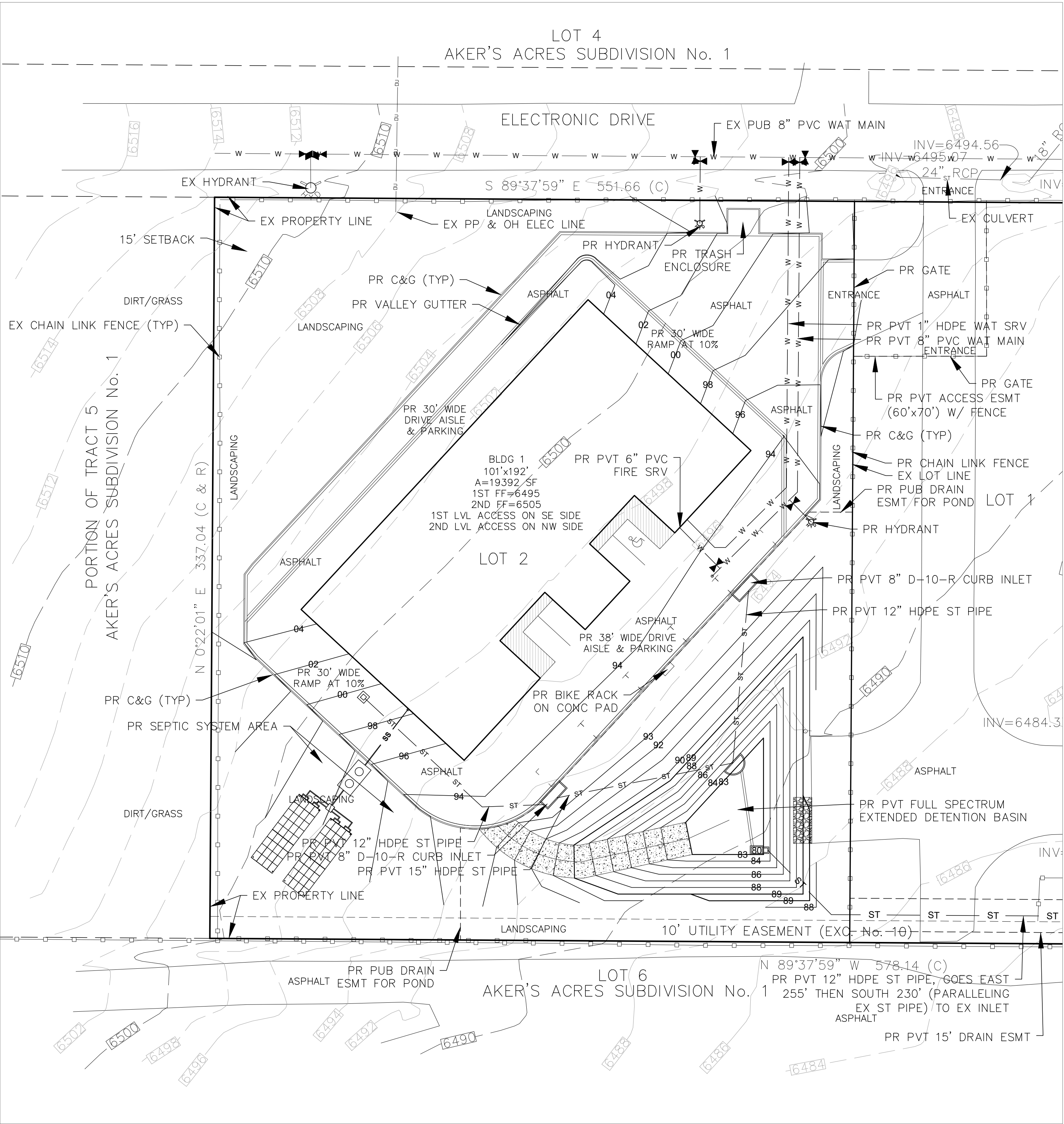
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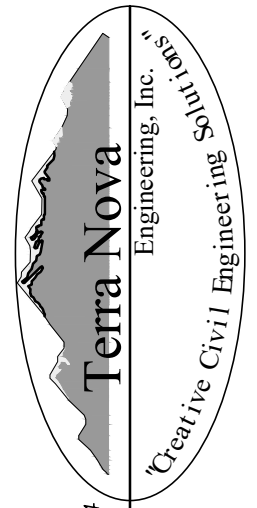
ELECTRONIC STORAGE
SITE DEVELOPMENT PLAN
PROPOSED SITE
DECEMBER 2020



LEGEND

EXISTING CONTOURS - MINOR	---	6132	---
EXISTING CONTOURS - MAJOR	---	6130	---
GRADE & DIRECTION	---	2.2%	---
PROPOSED CONTOUR	---	62	---
PROPOSED	---	PR	---
EXISTING	---	EX	---
WATER LINE	---	W	---
SEWER LINE	---	SS	---
STORM LINE	---	ST	---
OVERHEAD ELECTRICAL LINE	---	OE	---
CHAIN LINK FENCE	---	---	---
FIRE HYDRANT	---	---	---



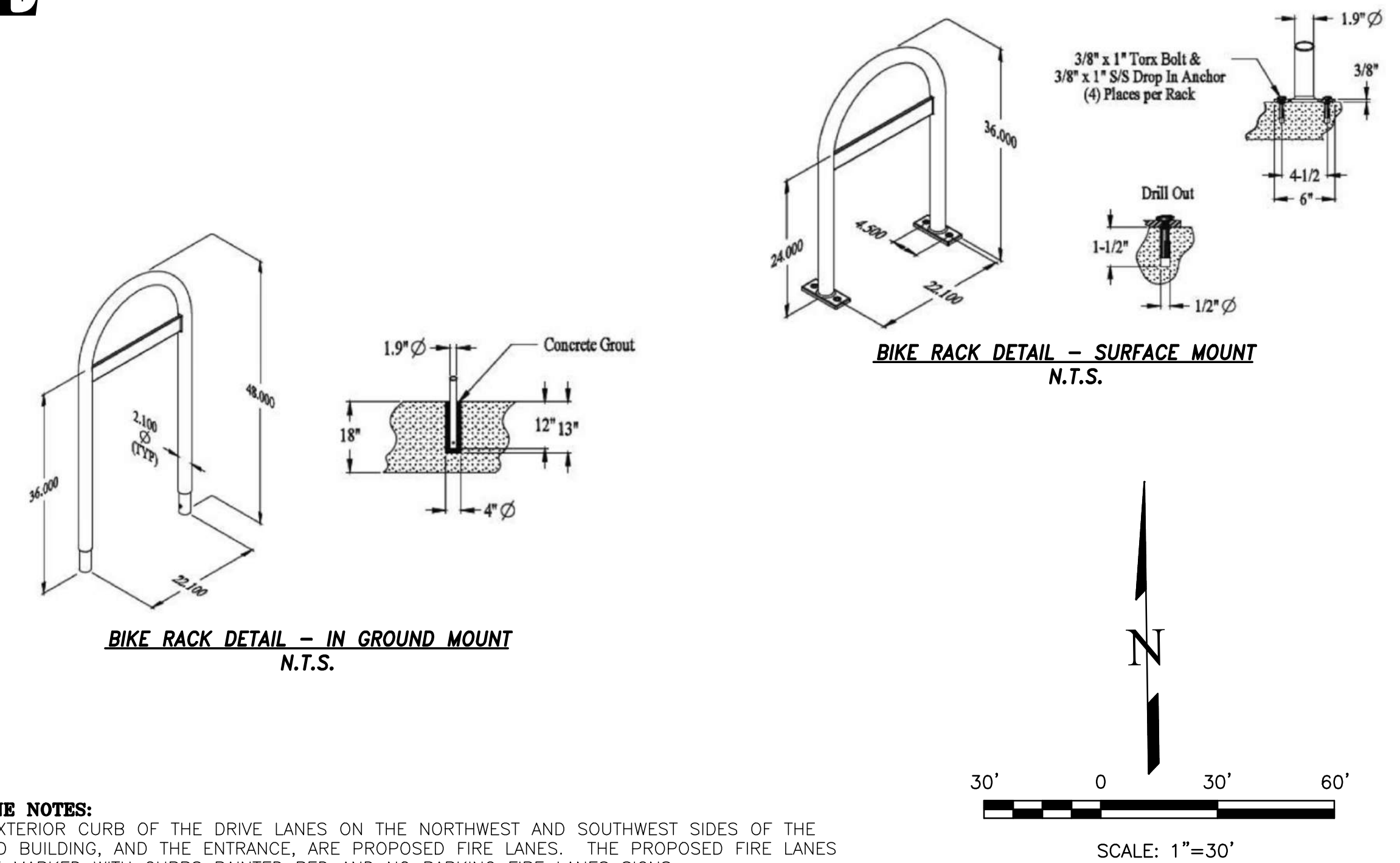
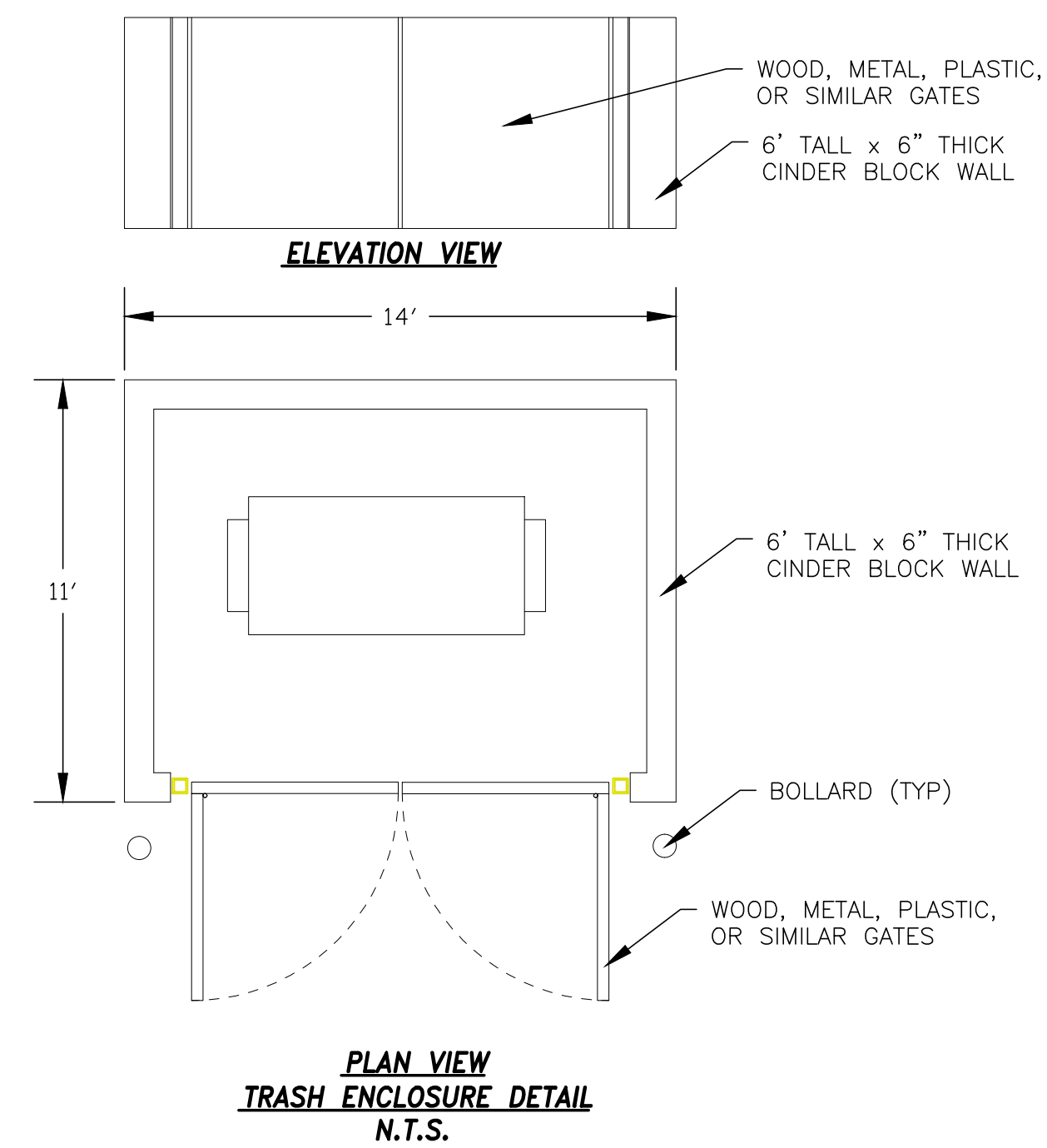
REVISIONS	NO.	DESCRIPTION	DATE
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PREPARED FOR: D. STEFANO-BUILDING &... ATTN: DAVID STEFANO 520 W 21ST ST, G-2 #710 NORFOLK, CA 23517 757.333.3144			
 721 S. 23RD STREET COLORADO SPRINGS, CO 80904 OFFICE: 719-635-6422 FAX: 719-635-6426 www.tnainc.com			
ELECTRONIC STORAGE		SITE DEVELOPMENT PLAN PROPOSED SITE	
DESIGNED BY DLF			
DRAWN BY DLF			
CHECKED BY LD			
H-SCALE 1" = 30'			
V-SCALE N/A			
JOB NO. 1971.00			
DATE ISSUED 12/14/20			
SHEET NO. 3 OF 4			

ELECTRONIC STORAGE

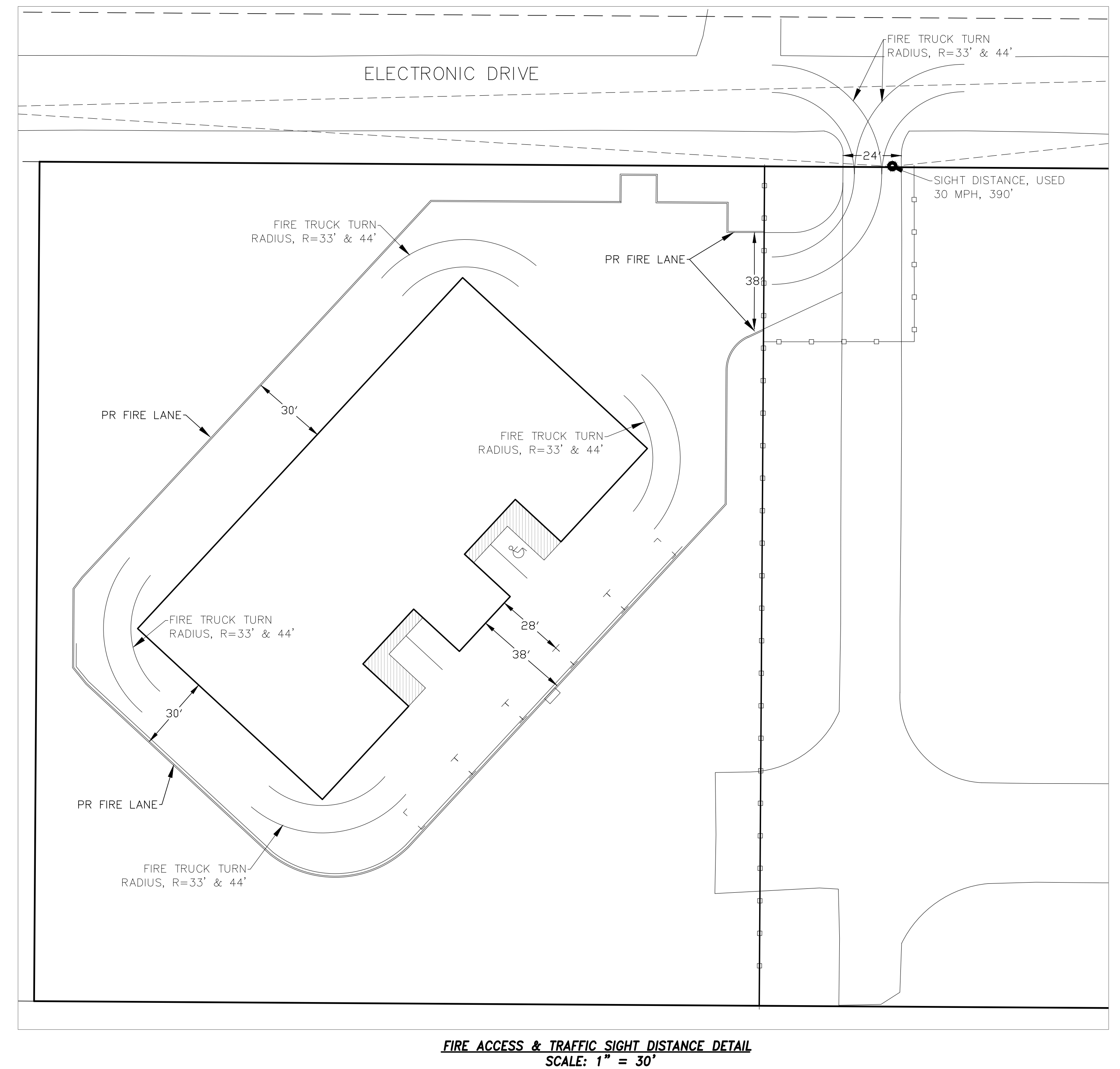
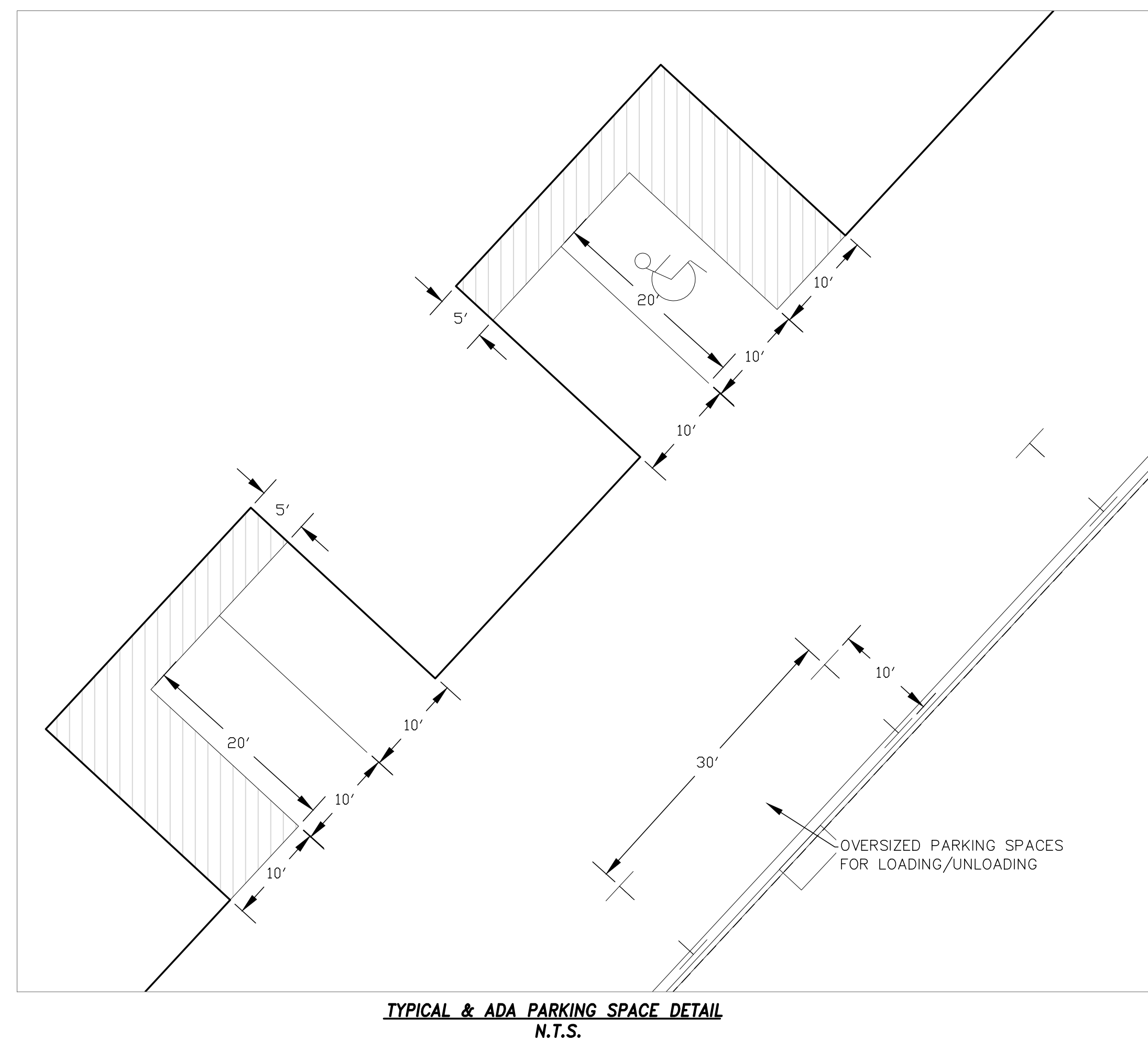
SITE DEVELOPMENT PLAN

DETAILS SHEET

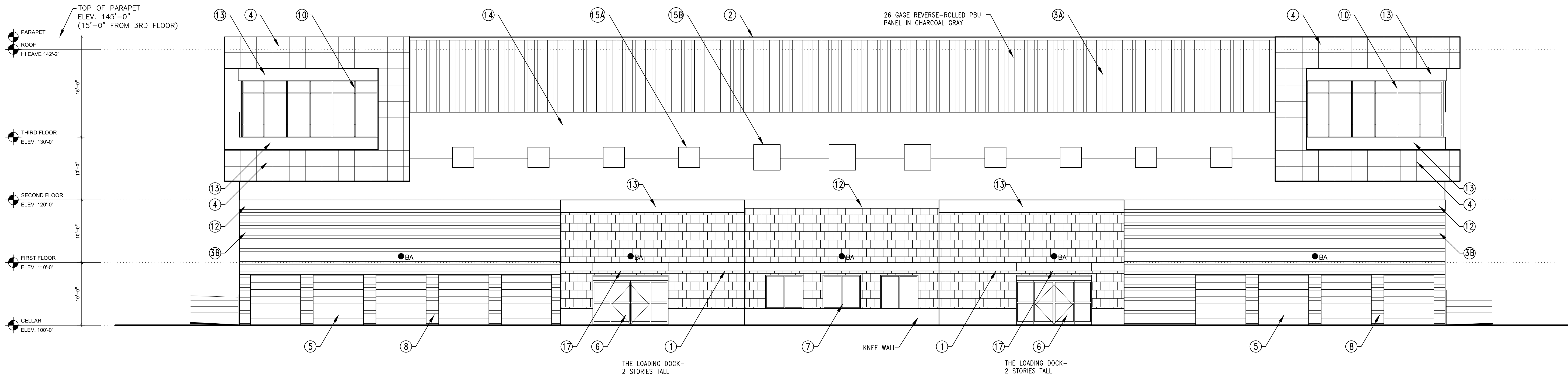
DECEMBER 2020



FIRE LANE NOTES:
1. THE EXTERIOR CURB OF THE DRIVE LANES ON THE NORTHWEST AND SOUTHWEST SIDES OF THE PROPOSED BUILDING, AND THE ENTRANCE, ARE PROPOSED FIRE LANES. THE PROPOSED FIRE LANES SHALL BE MARKED WITH CURBS PAINTED RED AND NO PARKING FIRE LANES SIGNS.

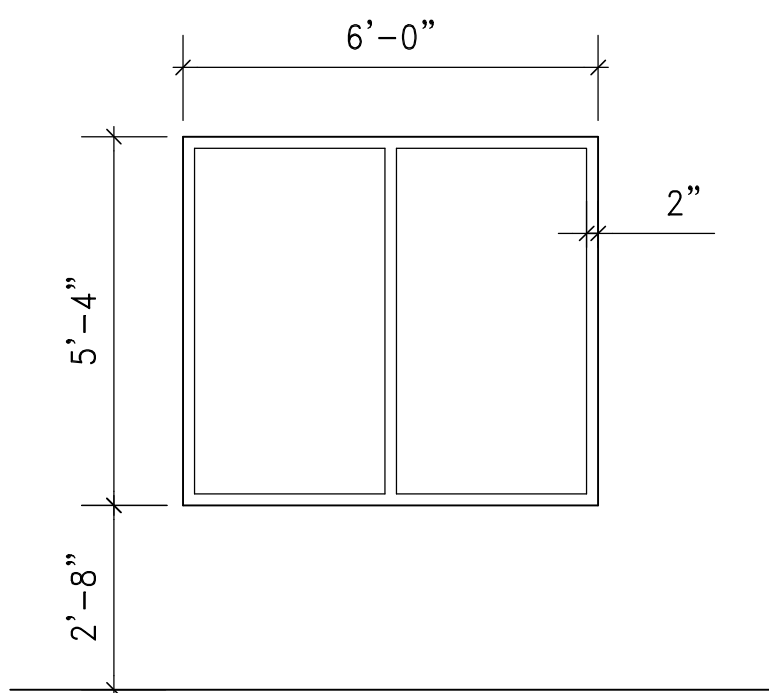


<p>ELECTRONIC STORAGE</p>	<p>DESIGNED BY DLF</p>	<p>DATE: _____</p>
	<p>DRAWN BY DLF</p>	
<p>CHECKED BY LD</p>	<p>SCALE 1" = 30'</p>	<p>NO. _____</p>
<p>DATE 1971.12</p>	<p>SCALE N/A</p>	
<p>PROJECT NO. ISSUED 12/14/20</p>	<p>PROJECT NO. 4 OF 4</p>	<p>DESCRIPTION _____</p>

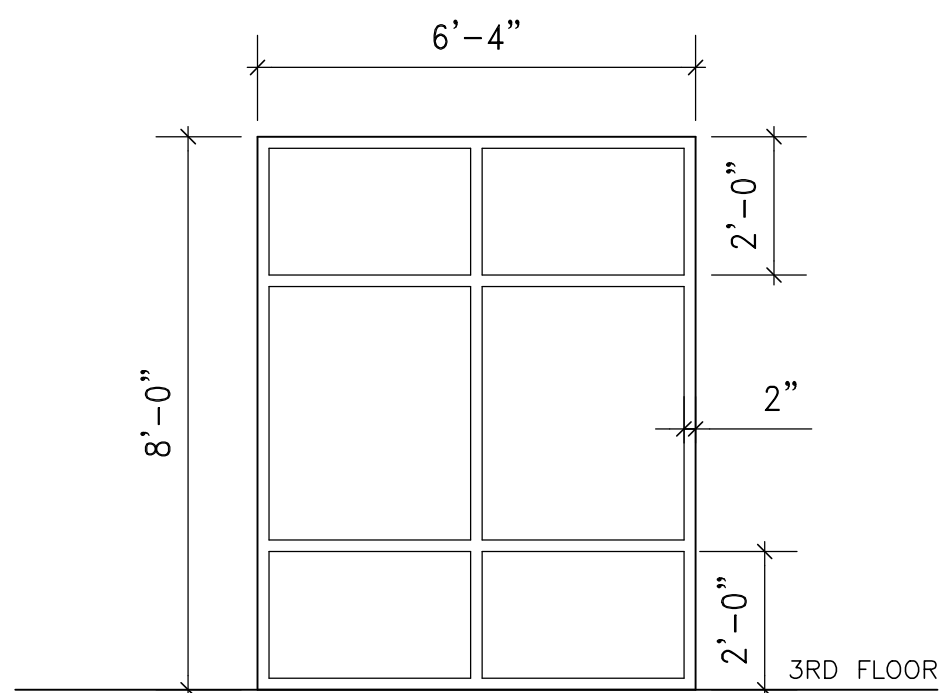


1 EAST ELEVATION
A-200 SCALE: 1/8"=1'-0"

BA - EXTERIOR BUILDING WALL LIGHTING 102W LED ON PHOTOCELL(TIMER CONTROL), SEE ELECTRICAL DWGS.



TYPICAL OFFICE CELLAR STOREFRONT SYSTEM
SCALE: 3/8"=1'-0"



STOREFRONT SYSTEM AT DISPLAY
SCALE: 3/8"=1'-0"
-CB.O.D.: OLD CASTLE 3000 x T OR EQ.

NOTES:

- ALL S.F. SYSTEM TO BE 1" LOW-E GLASS, TEMPERED, MAXIMUM U=0.38, MAXIMUM SHGC=0.4
- AIR LEAKAGE: PROVIDE FLASHING, WINDOW DAMS, SEALANT/CAULKING AT R.O. & TO CREATE CONTINUOUS AIR BARRIER
- COORDINATE/ VERIFY ALL OPENING DIMENSIONS PRIOR TO FABRICATION OF STOREFRONT SYSTEM

EXTERIOR MATERIAL SCHEDULE					
#	DESCRIPTION	MATERIAL	COLOR	MANUFACTURER	REMARKS
1	CMU- Masonry	8" Split-Faced	Charcoal w/ Med. Gray Accent (54-N2)	EP Henry	All grout to match medium gray block 2 story at loading docks and around entry doors on west elevation
2	Roof Coping	Metal	Charcoal Gray	MBCI or Equal	
3a	Metal Siding	Metal	Charcoal Gray	MBCI or Equal	Reverse-Rolled Vertical PBU Panels
3b	Metal Siding	Metal	Tundra	MBCI or Equal	Reverse-Rolled Horizontal PBU Panels
4	Decorative Window Box	EIFS	Metallic Medium Gray		Match medium gray block
5	Exterior Roll-Up Door	Metal	Apple Lime Cocktail	JAN. International	Rough Openings (8x8)
6	Automatic Bi-Parting Door	Metal & Glass	Anodized Silver	Stanley or Equal	Glass to be supplied by store front contractor
7	Window	Aluminum & Glass	Anodized Silver	TDB	Glass & Frame to be supplied by store front contractor
8	Metal Column Wrap	Metal	Tundra	MBCI or Equal	24" wide
9	Sign per Tenant	-	-	-	-
10	Display Window	Aluminum & Glass	Anodized Silver	TBD	Glass & Frame to be supplied by store front contractor
11	Gutter	Metal	Charcoal Gray	MBCI or Equal	-
12	Accent Band #1	EIFS	Match Ultra Marine Blue	JAN. International	Over East Elevation Roll-up Doors
13	Accent Band #2	EIFS	Match Apple Lime Cocktail	JAN. International	Over Loading Dock Entries
14	EIFS	EIFS	Match Snow White	MBCI or Equal	Second Floor Exterior
15a	Accent Squares	EIFS	Match Ultra Marine Blue	JAN. International	Horizontal line and Squares (3'x3')
15b	Accent Squares	EIFS	Match Ultra Marine Blue	JAN. International	Horizontal line and Squares (4'x4')

05/01/2020

Advance Structural Concepts, LLC.
Consulting Structural Engineers
10875 Main Street, Suite #101
Fairfax, VA 22030
Tel: (703) 865-7122 Fax: (703) 865-7155

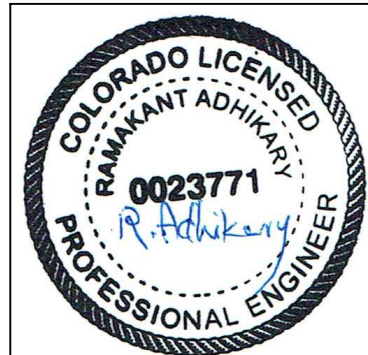
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ELECTRONIC DRIVE SELF STORAGE

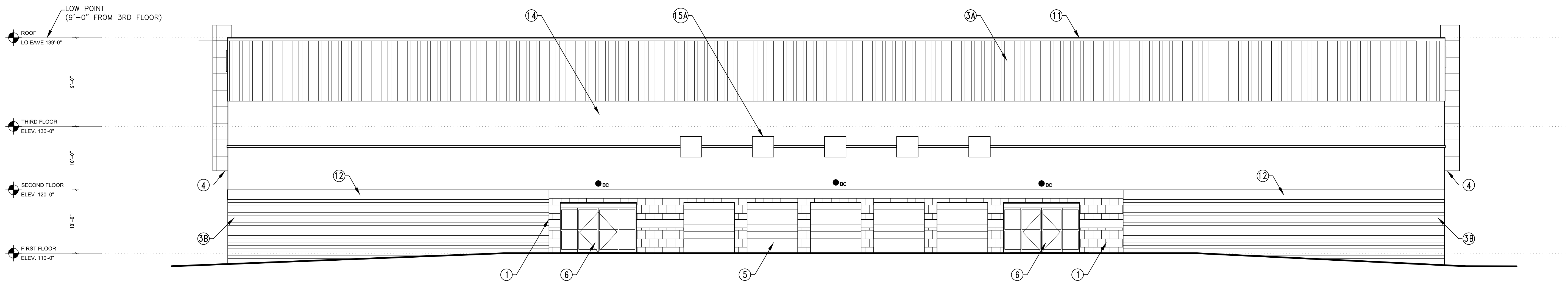
7765 Electronic Drive,
Colorado Spring, CO 80922

C.S. DEVELOPMENT PARTNER,
LLC.

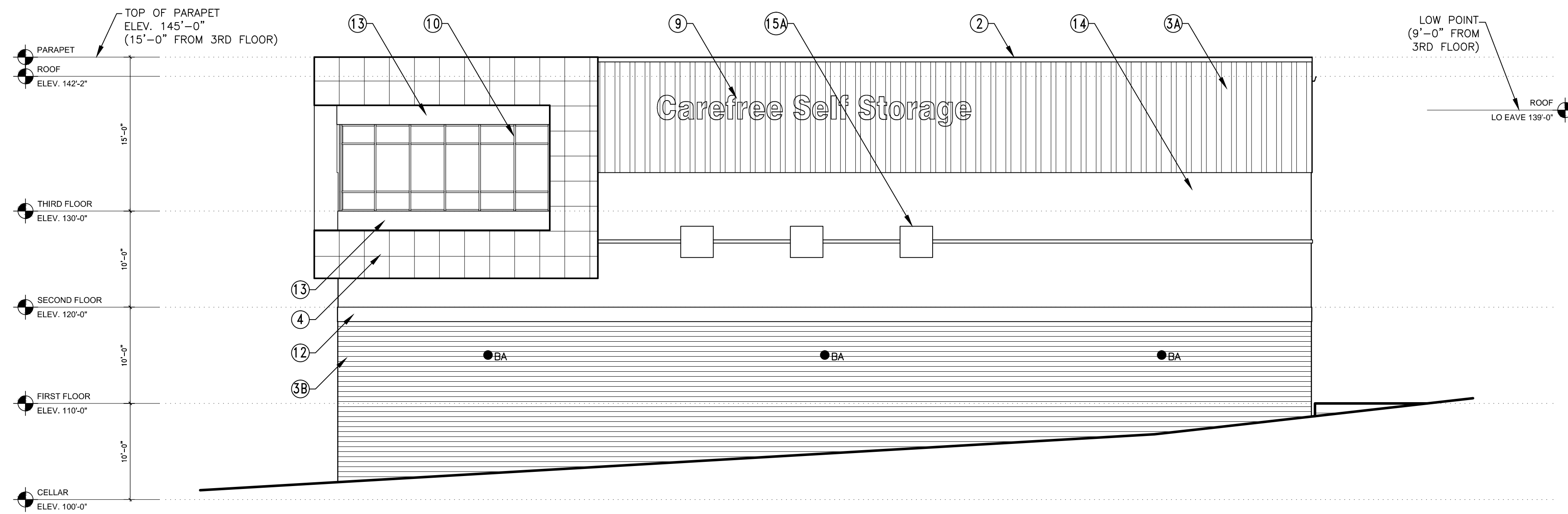
520 WEST 21st STREET
Unit G2, # 710
NORFOLK, VA 23517
TEL. (757) 333-3144



A-201

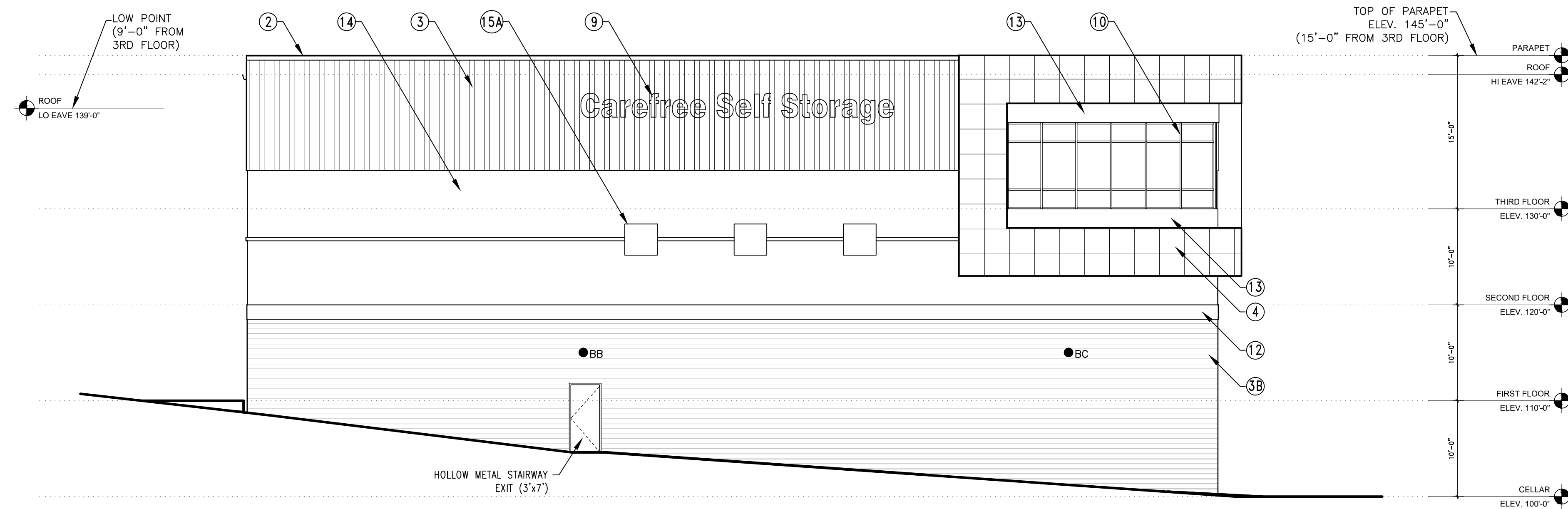


1 WEST ELEVATION
A-200 SCALE: 1/8"=1'-0"



1 NORTH ELEVATION
A-202 SCALE: 1/8"=1'-0"

BA, BB, BC - EXTERIOR BUILDING WALL LIGHTING 102W LED
ON PHOTOCELL (TIMER CONTROL), SEE ELECTRICAL DWGS.



2 SOUTH ELEVATION
A-202 SCALE: 1/8"=1'-0"

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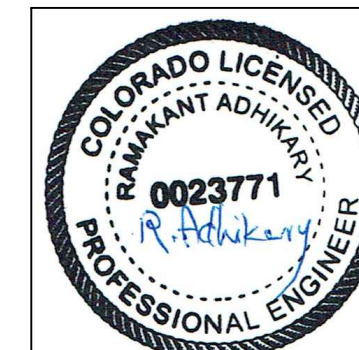
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ELECTRONIC DRIVE SELF STORAGE

7765 Electronic Drive,
Colorado Spring, CO 80922

520 WEST 21ST

520 WEST 21st STREET
Unit G-2, # 710
NORFOLK, VA 23517
TEL. (757) 333-3144






A-100



1 CELLAR PLAN
A-100 SCALE: 1/8"=1'-0"

NOTES:

1. HALLWAY SYSTEM 8'-4" HEIGHT GLOSSY WHITE BUILDING W/ 1 ROW BURGLAR BARS
2. 3'-0"x7'-0" SWING STAIR DOOR 1½" HOLLOW METAL NARROW LITE GLASS ADA THRESHOLD
3. DOOR TO BE GLOSSY WHITE SWING DOOR 3'-6"x7'-0", GLOSSY WHITE METAL DOOR
4. EXTERIOR ROLL UP DOOR 8'-8" OR 8'-0" (PER PLAN) x 8'-0", APPLE LIME COCKTAIL
5. INTERIOR ROLL UP DOOR 8'-8"x7'-0" TO BE JANUS ULTRA MARINE BLUE
6. INTERIOR ROLL UP DOOR 4'-6"x7'-0" OR 3'-8" WIDE TO BE JANUS ULTRA MARINE BLUE
7. FIRE BARRIER WALL: 2 HOUR RATED, UL # U905 8" CMU
- 7A. 8" CMU SPLIT FACED WALL 7B. GYPSUM BOARD 2 HR. WALL IN OFFICE ELECTRICAL ROOM UL# U419
- 7C. NON-RATED DRYWALL
8. F.E. FIRE EXTINGUISHER RECESSED IN WALL PER CODE MAXIMUM DISTANCE 150'
9. EXTERIOR WALLS WITH C16(4"x2 ½") @ 2'-0", PBU R-13 INSULATION WITH CONT. R-11 CAVITY
10. ELEVATOR MACHINE ROOM DOOR 3'-0"x7'-0", 1 ½ HR. RATED
11. ELEVATOR DOOR 4'-6" WIDE BY ELEVATOR SUPPLIER
12. AUTOMATIC BI-PARTING ENTRY DOOR (12'x8') - ROUGH OPENING
13. THERMAL INSULATED 4" STUD WALL 20GA @ 24" WITH R-13 INSULATION & LINER PANELS
14. EXTERIOR METAL SWING DOOR 3'-0"x7'-0"
15. INTERIOR METAL SWING DOOR 3'-0"x7'-0"
- 15A. INTERIOR METAL SWING DOOR 2'-8"x7'-0"
16.  BEARING WALL, 4" STUDS WITH 26GA SHEATHING ONE SIDE, SEE STRUCTURAL PLAN & DETAILS
17.  NON-BEARING WALL DBCI SYSTEM OR EQUAL
18.  BATHROOM WALL 4" STUDS 20GA @ 2'-0" (NON-BEARING)
19. EXTERIOR 12" CONCRETE FOUNDATION. ADD TO EXTERIOR: HAT CHANNELS & PBU PANELS
20. BATHROOM DOOR

EGRESS PATH CHECK:

1. DISTANCE BETWEEN EXITS 70' IN WORST CASE > $\frac{1}{3}$ MAX. DIAGONAL DISTANCE ($\frac{1}{3} \times 206' = 68'$) COMPLIES
2. CELLAR FLOOR OCCUPANT LOAD 'S1' USE OF 17,376 S.F. @ $\frac{500}{100} = 34 + 616$ S.F. 'B' USE @ $\frac{100}{100} = 7$, TOTAL 41 OCCUPANT LOAD CORRIDOR @ 0.2×41 (8.2") REQD. 44", PROVIDED 60"
DOORS @ 0.2×41 (8.2") REQD. 32", PROVIDED 36"
STAIRS @ 0.3×41 (12.3") REQD. 36", PROVIDED 44", COMPLIES
3. MAXIMUM DISTANCE TO EXIT FROM REMOTEST POINT = 94', COMPLIES

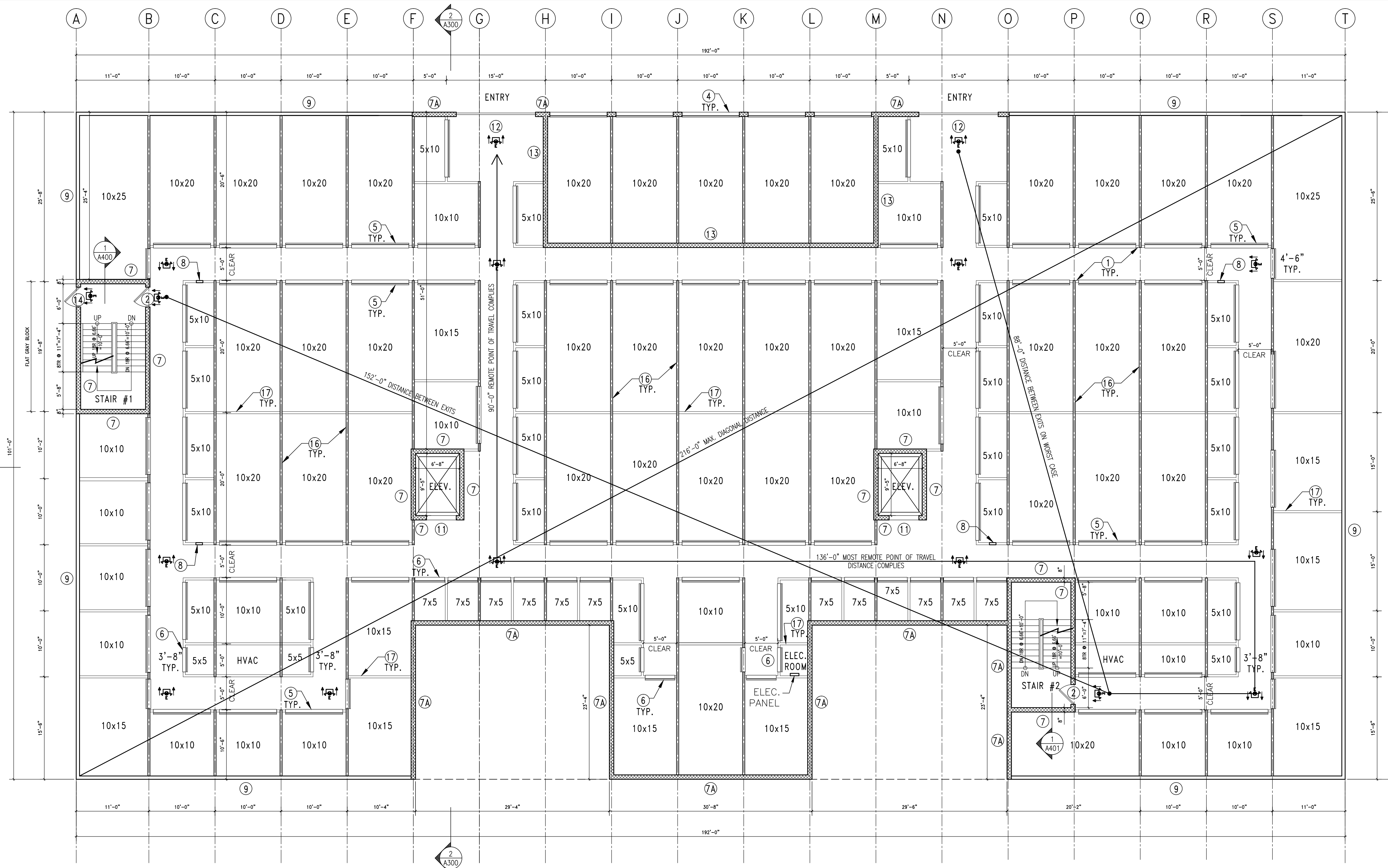
FINISH SCHEDULE:

- STUD WALLS TO BE PAINTED WITH INTERIOR LOW EGGSHELL TYPE PAINT, COLOR PER OWNER.
- DOORS AND TRIMS TO BE SEMI-GLOSS PAINT.
- CONCRETE FLOOR-PAINT PER OWNER.
- ALL FINISHES SHALL BE OF COMMERCIAL QUALITY AND SHALL MEET ALL FLAME SPREAD

CRITERIA PER IBC CHAPTER 8. CLASS 'C' INTERIOR FINISH FOR WALL & CEILING
FLAME SPREAD 76-200 SMOKE DEVELOP INDEX 0-450

-EXIT LIGHTS- LITHONIA LRP USING ARROW ORIENTATION
AS REQUIRED PER PLAN

FE: PORTABLE FIRE EXTINGUISHES SHALL BE SELECTED AND
INSTALLED PER IBC 906 & NFPA 10 & PER APPROVAL OF
FIRE DEPARTMENT



1
A-101

FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"

NOTES:

- HALLWAY SYSTEM 8'-4" HEIGHT GLOSSY WHITE BUILDING W/ 1 ROW BURGLAR BARS
- 3'-0"x7'-0" SWING STAIR DOOR 1 3/4" HOLLOW METAL NARROW LITE GLASS
- NOT USED
- EXTERIOR ROLL UP DOOR 8'-8" OR 8'-0" (PER PLAN) x 8'-0", APPLE LIME COCKTAIL
- INTERIOR ROLL UP DOOR 8'-8"x7'-0" TO BE JANUS ULTRA MARINE BLUE
- INTERIOR ROLL UP DOOR 4'-6"x7'-0" OR 3'-8" WIDE TO BE JANUS ULTRA MARINE BLUE
- FIRE BARRIER WALL: 2 HOUR RATED, UL # U905, 8" ERAY BLOCK, ADD TO EXTERIOR HAT CHANNELS & PBU PANELS
- 8" CMU SPLIT FACED WALL
- FE: FIRE EXTINGUISHER RECESSED IN WALL
PER CODE MAXIMUM DISTANCE 150'
- EXTERIOR WALLS WITH C16(4"x2 1/2") @ 2'-0", PBU R-13 INSULATION WITH CONT. R-11 CAVITY
- STAIR MECHANICAL/ ELEVATOR DOOR 3'-0"x7'-0", 1 1/2 HR. RATED
- ELEVATOR DOOR 4'-6" WIDE BY ELEVATOR SUPPLIER
- AUTOMATIC BI-PARTING ENTRY DOOR (8'x8')
- THERMAL INSULATED 4" STUD WALL 20GA @ 24" WITH R-13 INSULATION & LINER PANELS
- NOT USED
- NOT USED
- BEARING WALL, 4" STUDS WITH 26GA SHEATHING ONE SIDE, SEE STRUCTURAL PLAN & DETAILS
- NON-BEARING WALL DBCI SYSTEM OR EQUAL

EGRESS PATH CHECK:

- DISTANCE BETWEEN EXITS 88'-0" IN WORST CASE > 1/3 MAX. DIAGONAL DISTANCE (1/3 x 216'=72') COMPLIES
- FIRST FLOOR OCCUPANT LOAD @ 'A' USE OF 17,992 S.F. @ 500 = 36
CORRIDOR @ 0.2 x 36 (7.2") REQD. 44", PROVIDED 60"
DOORS @ 0.2 x 36 (7.2") REQD. 32", PROVIDED 36"
STAIRS @ 0.3 x 36 (10.8") REQD. 36", PROVIDED 44", COMPLIES
- MAXIMUM DISTANCE TO EXIT FROM REMOTEST POINT = 136'-0", COMPLIES

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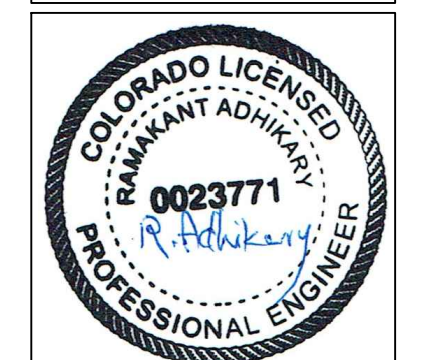
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ELECTRONIC DRIVE SELF STORAGE

7765 Electronic Drive,
Colorado Spring, CO 80922

C.S. DEVELOPMENT PARTNER,
LLC.

520 WEST 21st STREET
Unit G-2, # 710
NORFOLK, VA 23517
TEL. (757) 333-3144



A-102



1
A-102

SECOND FLOOR PLAN

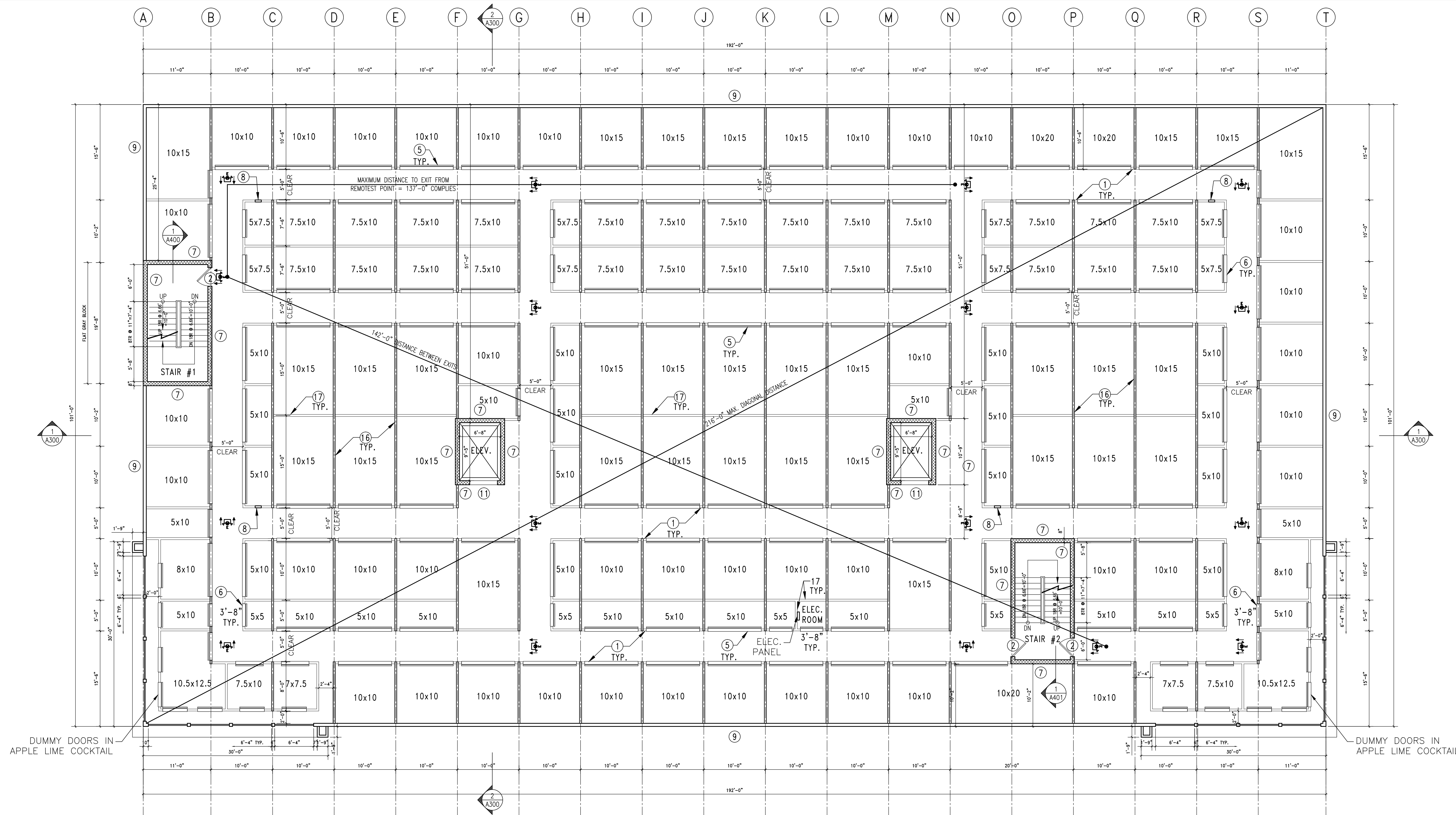
SCALE: 1/8"=1'-0"

NOTES:

1. HALLWAY SYSTEM 8'-4" HEIGHT GLOSSY WHITE BUILDING W/ 1 ROW BURGLAR BARS
2. 3'-0"x7'-0" SWING DOOR 1½" HOLLOW METAL NARROW LITE GLASS ADA THRESHOLD
3. NOT USED
4. NOT USED
5. INTERIOR ROLL UP DOOR 8'-8"x7'-0" TO BE JANUS ULTRA MARINE BLUE
6. INTERIOR ROLL UP DOOR 4'-6"x7'-0" OR 3'-8" WIDE TO BE JANUS ULTRA MARINE BLUE
7. FIRE BARRIER WALL: 2 HOUR RATED, UL # U905, 8" ERYA BLOCK, ADD TO EXTERIOR HAT CHANNELS & PBU PANELS
7. FE: FIRE EXTINGUISHER RECESSED IN WALL
PER CODE MAXIMUM DISTANCE 150'
8. EXTERIOR WALLS WITH C16(4"x2 ½") @ 2'-0", PBU R-13 INSULATION WITH CONT. R-11 CAVITY
9. STAIR MECHANICAL/ ELEVATOR DOOR 3'-0"x7'-0", 1 ½ HR. RATED
10. ELEVATOR DOOR 4'-6" WIDE BY ELEVATOR SUPPLIER
11. NOT USED
12. NOT USED
13. NOT USED
14. NOT USED
15. ☐ BEARING WALL, 4" STUDS WITH 26GA SHEATHING ONE SIDE, SEE STRUCTURAL PLAN & DETAILS
16. ☐ NON-BEARING WALL DBCI SYSTEM OR EQUAL

EGRESS PATH CHECK:

1. DISTANCE BETWEEN EXITS 142'-0" IN WORST CASE > $\frac{1}{3}$ MAX. DIAGONAL DISTANCE ($\frac{1}{3} \times 216' = 72'$) COMPL
2. SECOND FLOOR OCCUPANT LOAD @ 'A' USE OF 19,392 S.F. @ $\frac{500}{1000} = 39$
CORRIDOR @ 0.2 x 39 (7.8") REQD. 44", PROVIDED 60"
DOORS @ 0.2 x 39 (7.8") REQD. 32", PROVIDED 36"
STAIRS @ 0.3 x 39 (11.7") REQD. 36", PROVIDED 44", COMPLIES
3. MAXIMUM DISTANCE TO EXIT FROM REMOTEST POINT = 137'-0", COMPLIES



1
A-103
THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"

NOTES:

- HALLWAY SYSTEM 8'-4" HEIGHT GLOSSY WHITE BUILDING W/ 1 ROW BURGLAR BARS
- 3'-0"x7'-0" SWING DOOR 1 1/2" HOLLOW METAL NARROW LITE GLASS ADA THRESHOLD
- NOT USED
- NOT USED
- INTERIOR ROLL UP DOOR 8'-8"x7'-0" TO BE JANUS ULTRA MARINE BLUE
- INTERIOR ROLL UP DOOR 4'-6"x7'-0" OR 3'-8" WIDE TO BE JANUS ULTRA MARINE BLUE
- FIRE BARRIER WALL: 2 HOUR RATED, UL # U905, 8" ERAY BLOCK, ADD TO EXTERIOR HAT CHANNELS & PBU PANELS
- FE: FIRE EXTINGUISHER RECESSED IN WALL
PER CODE MAXIMUM DISTANCE 150'
- EXTERIOR WALLS WITH C16(4"x2 1/2") @ 2'-0", PBU R-13 INSULATION WITH CONT. R-11 CAVITY
- STAIR MECHANICAL/ ELEVATOR DOOR 3'-0"x7'-0", 1 1/2 HR. RATED
- ELEVATOR DOOR 4'-6" WIDE BY ELEVATOR SUPPLIER
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- BEARING WALL, 4" STUDS WITH 26GA SHEATHING ONE SIDE, SEE STRUCTURAL PLAN & DETAILS
- NON-BEARING WALL DBCI SYSTEM OR EQUAL

EGRESS PATH CHECK:

- DISTANCE BETWEEN EXITS OF 142'-0" > 1/3 MAXIMUM DIAGONAL DISTANCE (1/3 x 216' = 72') COMPLIES
- THIRD FLOOR OCCUPANT LOAD @ FLOOR AREA OF 19,392 @ 500 = 39
CORRIDOR @ 0.2 x 39 = 7.8" REQUIRED 44", PROVIDED 60"
DOORS @ 0.2 x 39 = 7.8" REQUIRED 32", PROVIDED 36"
STAIR @ 0.2 x 39 = 11.7" REQD. 36", PROVIDED 44"
- MAXIMUM DISTANCE TO EXIT FROM REMOTEST POINT = 137'-0" COMPLIES

Legal Description: See Site Plan

SN: 5332002019

Owner: D. Stefano Building and Restoration Inc.
 20 West 21st Street Unit G-2 #710
 Norfolk, VA 23517

Site Area: 2.25 Acre

Zoning: Industrial

Proposed Use: Self Storage

Lot Coverage: sf

Parking Spaces: 9 Spaces including 1 handicapped

Climate Zone: Foothills-Plains
Plant Communities: Foothills Shrublands
Irrigation: An irrigation system with drip components to be used to irrigate all plants and a pop up spray system will be used to irrigate all seeded areas (temporary).
A final landscape plan will be submitted and reviewed concurrent with the building permit submittal and prior to the issuance of a building permit.
All shrub beds and trees will be covered with 4" rock over fabric weed barrier unless noted.
Edging: All planting beds adjacent to native grass to be edged with steel edging.
Soil Treatment: A soils report will be submitted with Final Landscape Plan. Fertilizer to be applied as recommended.
Seed Mix: Fresh, clean, dry, new-crop seed complying with AOSA's Journal of Seed Technology. Rules for testing seeds for purity and germination standards.
Maintenance: Landscape Improvements and maintenance shall be the responsibility of the owner and/or their assigns
Underground Utilities: Contractor is required to locate all utilities prior to construction.

Plant Communities
3 - Prairie
4 - Lower Elev
Riparian
5 - Foothills
Shrublands

Hydrozones
L - Low 17-15"
M - Moderate 15-2
H - High +25"

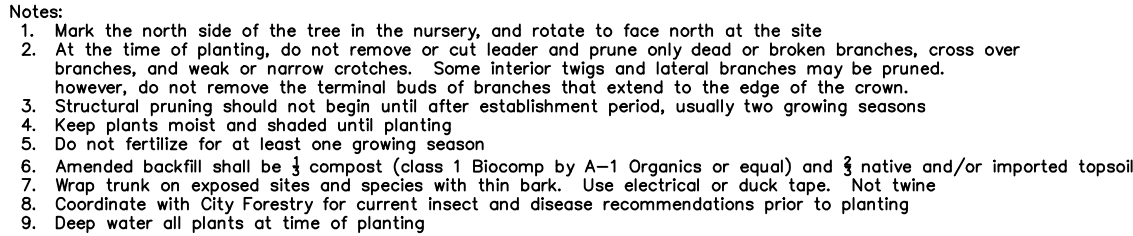
6' CEDAR FENCE

NOT TO SCALE

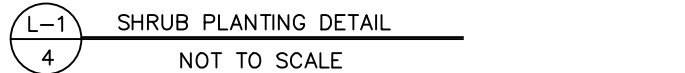
DUMPSTER ENCLOSURE WALL

NOT TO SCALE

LANDSCAPE SCHEDULE								
COL.	CODE	QUANTITY	BOTANICAL NAME	COMMON NAME	KEY #	WIDTH	SIZE	NOTES
	Co	3	<i>Celtis occidentalis</i>	Common Hackberry	3457DA	40'-0"	2-12" B&B	
	Cg	5	<i>Crataegus crua-gali</i>	Cockspur Hawthorn	235AD	15'-0"	1-12" B&B	Thornless
	Ag	2	<i>Acer ginnala</i>	Amur Maple	457A	15'-0"	1-12" B&B	
	Js	12	<i>Juniperus scopulorum 'Gray Clean'</i>	Gray Clean Juniper	12567B3	5'-0"	10 Gal	6'-0" min Height
	Jv	4	<i>Juniperus virginiana 'Skyrocket'</i>	Skyrocket Juniper	2568A	3'-6"	10 gal	6'-0" min Height
	Pe	18	<i>Pinus edulis</i>	Pinon Pine	1256D	10'-0"	6'-0" B&B	
			Total Trees 45	Signature Trees 100%				
	Jh	16	<i>Juniperus horizontalis 'Blue Chip'</i>	Blue Chip Juniper	2568A		5 Gal	
	Pr	29	<i>Potentilla fruticosa 'Gold Drop'</i>	Gold Drop Potentilla	4597S		5 Gal	
			Total Shrubs 45	100% Signature Shrubs				



- NOTES
1. Prune only dead or broken branches and weak or narrow crotch
 2. Keep plants moist and shaded until planting
 3. Do not fertilize for at least one growing season
 4. Amended backfill shall be 1/3 class 1 compost and 2/3 native and/or imported soil
 5. All shrubs in rock areas to receive shredded mulch rings
 6. Deep water all plants at time of planting



-
- DO NOT CUT LEADER. PRUNE DAMAGED OR DEAD WOOD PRIOR TO PLANTING
- RES TO BE UNIFORMLY TIGHTENED (TYP.)
- COTTON / NYLON WEBBING STRAP
- ORANGE FLOURESCENT FLAGGING ON WIRE FOR SAFETY, TYP.
- 3" DEPTH MULCH AS SPECIFIED GREEN "T" POSTS. PLACE 120 DEGREES APART.
- USE #10 GUY WIRE
- PLANTING PIT TO BE 2.5X THE WIDTH OF ROOTBALL
- REMOVE BURLAP AND WIRE BASKET FROM TOP 2/3 OF ROOTBALL (MIN.)
- ROOTBALL 2"-3" HIGHER THAN SURROUNDING GRADE
- TOP OF GRADE
- BACKFILL TO BE AS PER SPECIFICATIONS IN SOILS REPORT



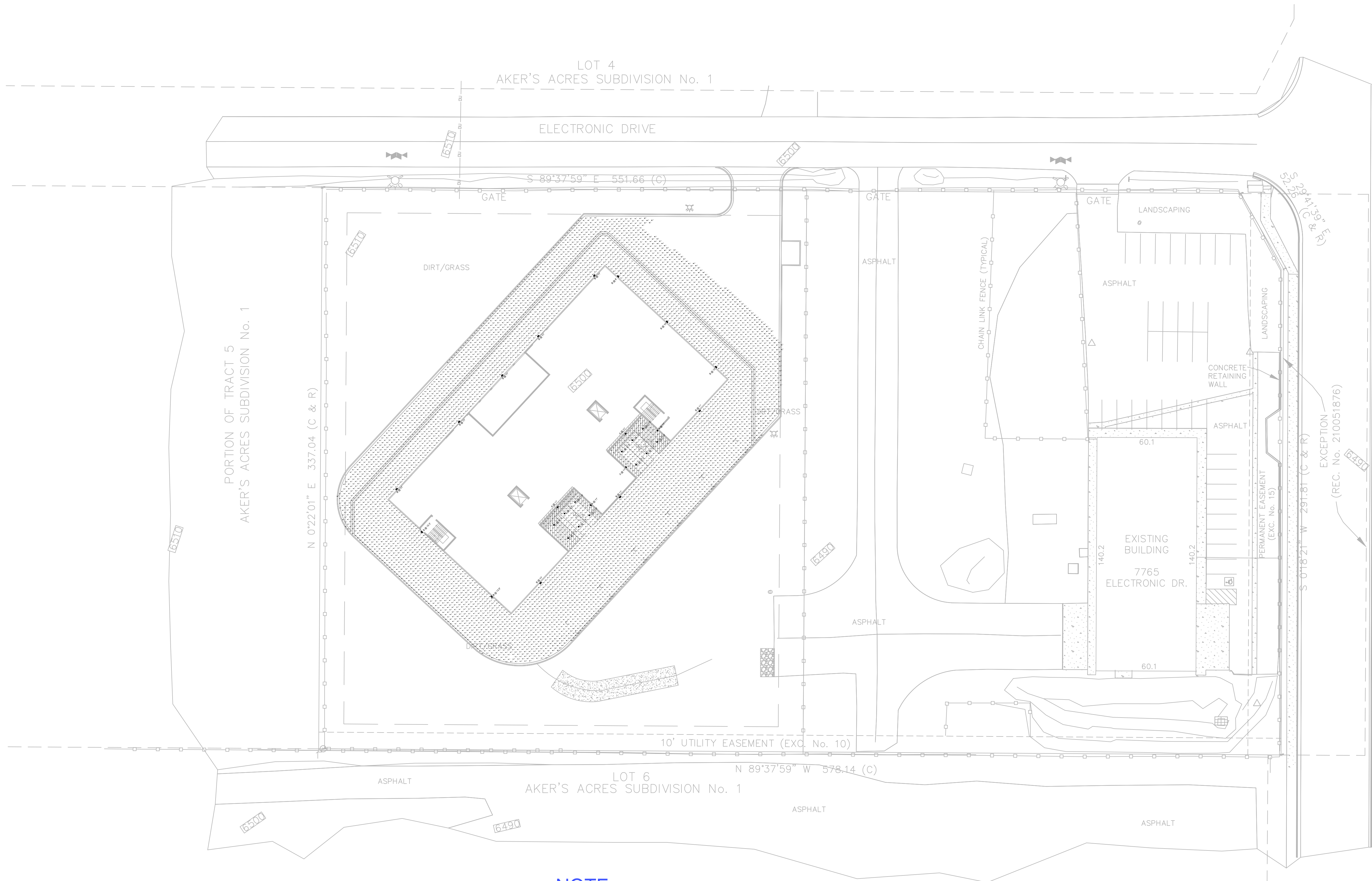
PCD File # PPR-20-020

Colorado Springs, CO 80907

James W. Rees
Landscape Architect
520 Silver Spring Cr
Colorado Springs, CO
80919

STAMP BOX

Project	Sheet
2005	L-1 of
Date	
3/16/20	
Scale	
1"=40'	



NOTE:

THE LIGHTING LEVEL BEYOND THE AREA SHOWN
ON THIS PHOTOMETRIC PLAN IS "ZERO".

1
PH01
SITE
PHOTOMETRIC PLAN
SCALE: 1/32" = 1'-0"

• RELEASE DATE •

05/01/2020

REV 1 on 9/24/2020

Advance Structural Concepts, LLC.
Consulting Structural Engineers
10875 Main Street, Suite #101
Fairfax, VA 22030
Tel: (703) 885-7122 Fax: (703) 885-7155

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ELECTRONIC DRIVE SELF STORAGE

SITE PHOTOMETRIC PLAN

7765 Electronic Drive,
Colorado Spring, CO 80922

C.S. DEVELOPMENT PARTNER,
LLC.
520 WEST 21st STREET
Unit G-2, # 710
NORFOLK, VA 23517
TEL: (757) 333-3144

PH01

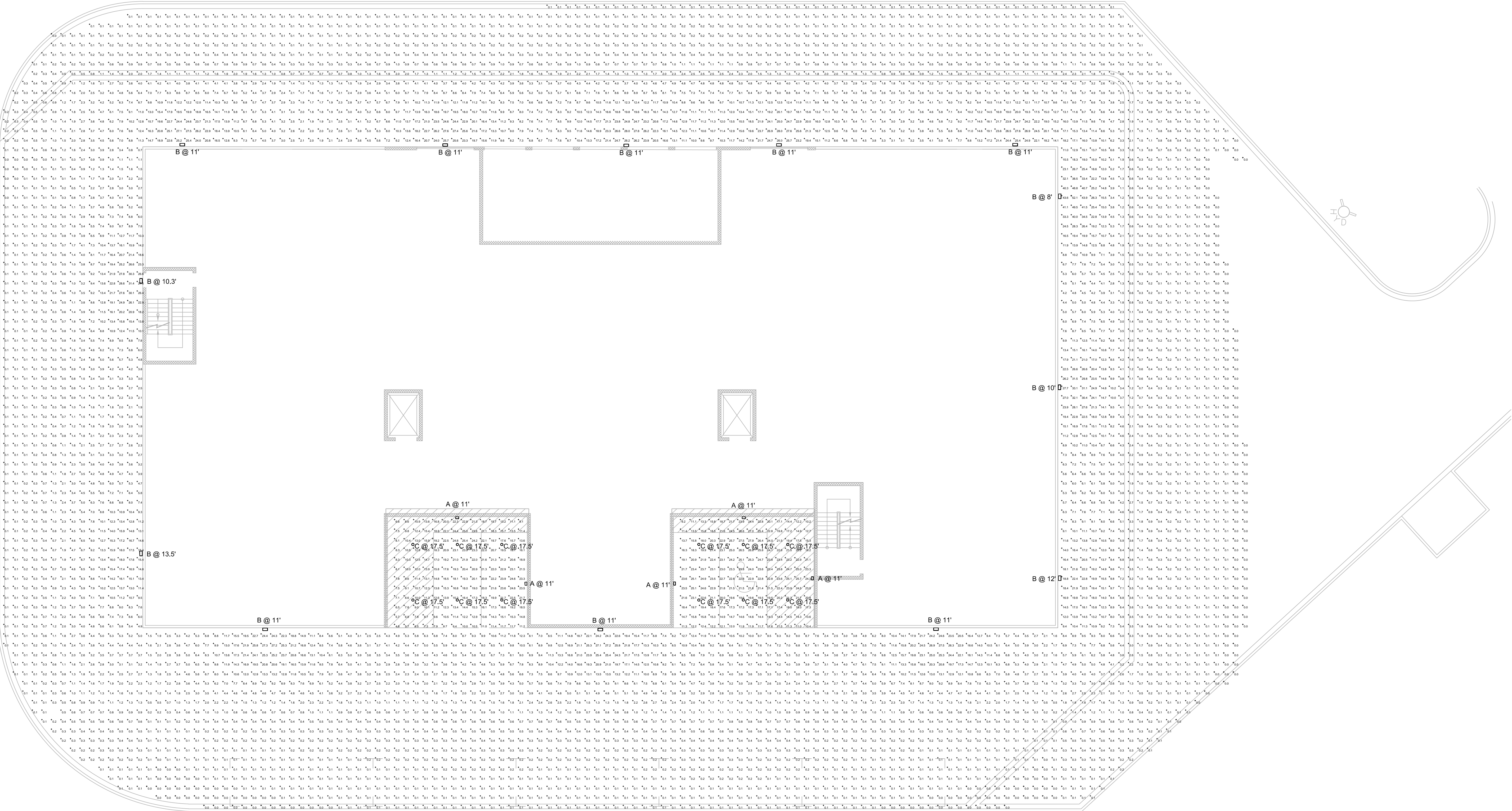
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ENLARGED SITE PHOTOMETRIC PLAN

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C.S. DEVELOPMENT PARTNER, LLC.
520 WEST 21st STREET
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NORFOLK, VA 23517
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PH02



ENLARGED SITE
PHOTOMETRIC PLAN
1
PH02
SCALE: 3/32" = 1'-0"

NOTE:

THE LIGHTING LEVEL BEYOND THE AREA SHOWN
ON THIS PHOTOMETRIC PLAN IS "ZERO".

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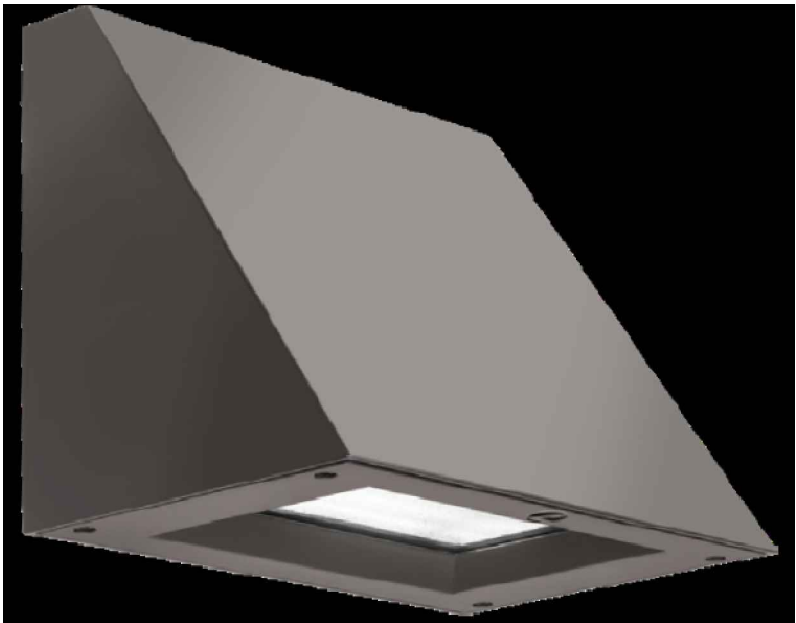
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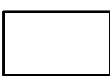
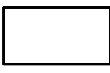

LIGHTING SCHEDULES

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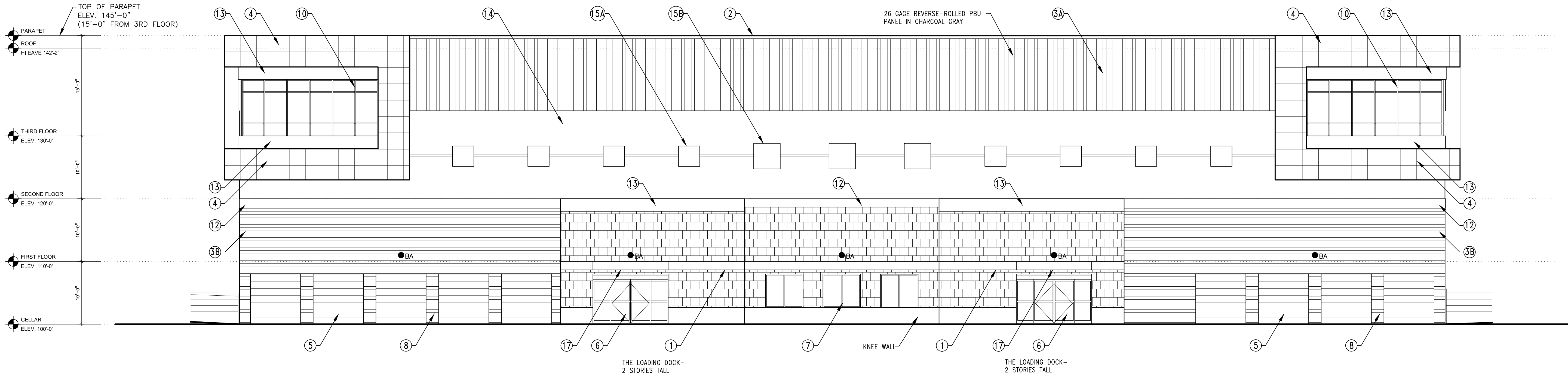
Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	5	Lithonia Lighting	WDGE2 LED P4 35K 80CRI VF	WDGE2 LED WITH P4 - PERFORMANCE PACKAGE, 3500K, 80CRI, VISUAL COMFORT FORWARD OPTIC		1	WDGE2_LED_P4_35K_80C RI_VF.ies	4394	1	34.96
	B	13	Lithonia Lighting	WDGE3 LED P2 70CRI R2 30K	WDGE3 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 70CRI, TYPE 2 OPTIC		1	WDGE3_LED_P2_70CRI_R 2_30K.ies	7981	1	59.2761
	C	12	Lithonia Lighting	REAL6C D6MW ESL 1500L 35K .95SC	6" REALITY LED RECESSED DOWNLIGHT MODULE WITH 1500 NOMINAL LUMENS, 3500K LEDS, AND 0.95 SPACING CRITERION BEAM	ONE 18-WATT LED	1	REAL6C_D6MW_ESL_1500 L_35K_95SC.ies	1521	1	18.8

Power Statistics

Description	# Luminaires	Total Watts	Area	Density
Power Density Zone # 1	30	1171.0 W	22900.8 ft²	0.1 W/ft²

Statistics

Description	Symbol	Avg	Max	Min	Max/Avg	Avg/Min
Calc Zone #3	+	4.3 fc	52.1 fc	0.0 fc	12.1	N/A



05/01/2020

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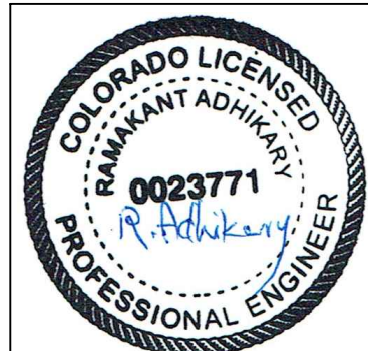
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ELECTRONIC DRIVE SELF STORAGE

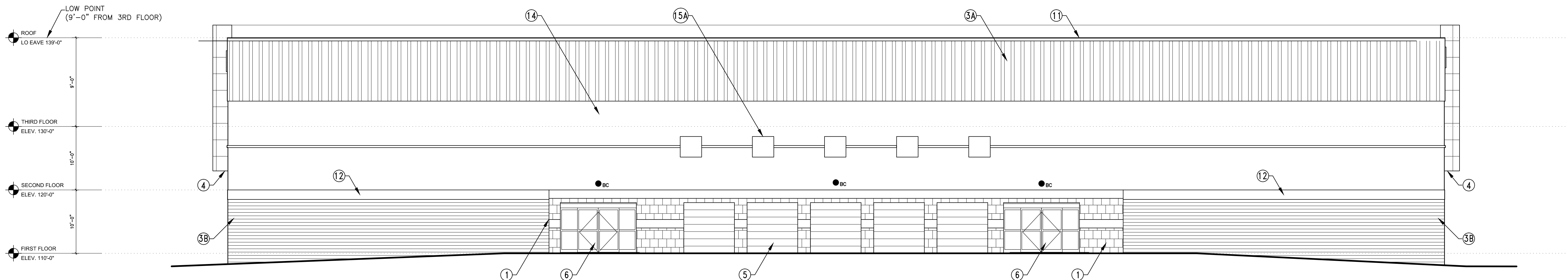
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A-201



BC - EXTERIOR BUILDING WALL LIGHT 70W LED
ON PHOTOCELL (TIMER CONTROL), ELECTRICAL DWG.

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2 SOUTH ELEVATION
A-202 SCALE: 1/8"=1'-0"

ELECTRONIC DRIVE SELF STORAGE

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A-202