

WATERVIEW EAST-COMMERCIAL PRELIMINARY PLAN

SITUATED IN THE WEST HALF OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

LEGAL DESCRIPTION

A TRACT OF LAND LOCATED IN A PORTION OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH PM, EL PASO COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 9;
THENCE S00°19'32"E ALONG THE NORTH-SOUTH CENTERLINE OF SAID SECTION 9, A DISTANCE OF 1613.76 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF BRADLEY ROAD AS RECORDED IN BOOK 5307 AT PAGE 1472 OF THE RECORDS OF SAID EL PASO COUNTY;
THE FOLLOWING THREE (3) COURSES ARE ON SAID SOUTHERLY RIGHT-OF-WAY LINE OF SAID BRADLEY ROAD:
1) THENCE S89°30'29"W A DISTANCE OF 3.77 FEET TO A POINT OF CURVE TO THE LEFT;
2) THENCE ON SAID CURVE, HAVING A RADIUS OF 2759.79 FEET, AN ARC LENGTH OF 730.29 FEET, A DELTA ANGLE OF 15°09'41" WHOSE LONG CHORD BEARS S81°55'38"W A DISTANCE OF 728.16 FEET;
3) THENCE S74°20'48"W A DISTANCE OF 930.15 FEET TO THE POINT OF BEGINNING;
THENCE DEPARTING SAID RIGHT-OF-WAY S15°39'12"W A DISTANCE OF 394.68 FEET TO A POINT OF NON-TANGENT CURVE TO THE RIGHT WHOSE RADIAL BEARS N75°43'37"W;
THENCE ON SAID CURVE, HAVING A RADIUS OF 75.00 FEET, AN ARC LENGTH OF 56.94 FEET, A DELTA ANGLE OF 43°29'55" WHOSE LONG CHORD BEARS S36°01'21" W A DISTANCE OF 55.58 FEET;
THENCE S57°46'18"W A DISTANCE OF 68.47 FEET TO A POINT OF CURVE TO THE LEFT;
THENCE ON SAID CURVE, HAVING A RADIUS OF 450.00 FEET, AN ARC LENGTH OF 280.72 FEET, A DELTA ANGLE OF 35°44'30" WHOSE LONG CHORD BEARS S39°54'03"W, A DISTANCE OF 267.19 FEET;
THENCE S67°58'24"E A DISTANCE OF 40.00 FEET;
THENCE S22°01'36"W A DISTANCE OF 538.15 FEET TO A POINT OF CURVE TO THE RIGHT;
THENCE ON SAID CURVE, HAVING A RADIUS OF 260.00 FEET, AN ARC LENGTH OF 61.46 FEET, A DELTA ANGLE OF 13°32'35", WHOSE LONG CHORD BEARS S28°47'53"W A DISTANCE OF 61.31 FEET;
THENCE S00°00'00"W A DISTANCE OF 148.75 FEET;
THENCE N90°00'00"W A DISTANCE OF 515.00 FEET TO A POINT ON THE NORTHEASTERLY RIGHT- OF-WAY LINE OF POWERS BOULEVARD DESCRIBED IN SAID BOOK 5307 AT PAGE 1472 (NOW HIGHWAY 21);
THE FOLLOWING FIVE (5) COURSES ARE ON SAID RIGHT-OF-WAY LINE AND THE NORTHERLY RIGHT-OF-WAY LINE OF BRADLEY ROAD AS RECORDED IN BOOK 5307 AT PAGE 1472 OF THE RECORDS OF SAID EL PASO COUNTY:
1) THENCE N00°29'10"W A DISTANCE OF 1123.38 FEET TO A POINT OF CURVE TO THE RIGHT;
2) THENCE ON SAID CURVE, HAVING A RADIUS OF 150.00 FEET, AN ARC LENGTH OF 229.91 FEET, A DELTA ANGLE OF 87°49'03", WHOSE LONG CHORD BEARS N43°25'21"E A DISTANCE OF 208.05 FEET;
3) THENCE N87°19'53" E A DISTANCE OF 53.06 FEET TO A POINT OF CURVE TO THE LEFT;
4) THENCE ON SAID CURVE, HAVING A RADIUS OF 2,969.79 FEET, AN ARC LENGTH OF 673.03 FEET, A DELTA ANGLE OF 12°59'05", WHOSE LONG CHORD BEARS N80°50'20"E A DISTANCE OF 671.59 FEET;
5) THENCE N47°20'48"E A DISTANCE OF 21.87 FEET TO THE POINT BEGINNING.
PARCEL CONTAINS 963,596 SQUARE FEET OR 22.121 ACRES MORE OR LESS.

PRELIMINARY PLAN NOTES

- THE FOLLOWING REPORTS HAVE BEEN SUBMITTED IN ASSOCIATION WITH THE PRELIMINARY PLAN FOR THIS SUBDIVISION AND ARE ON FILE AT THE COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT: TRANSPORTATION IMPACT STUDY; DRAINAGE REPORT; WATER RESOURCES REPORT; WASTEWATER DISPOSAL REPORT; GEOLOGY AND SOILS REPORT; FIRE PROTECTION REPORT; NATURAL FEATURES REPORT.
- TRACT-A, CONSIST OF A BLANKET EASEMENT FOR ALL PUBLIC AND PRIVATE UTILITIES, DRAINAGE, PARKING AND ACCESS FOR ALL ASSOCIATED LOTS. TRACT-A WILL BE THE RESPONSIBILITY OF THE WATERVIEW III METRO DISTRICT.
- ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE LOT OWNERS UNLESS OTHERWISE INDICATED.
- UNLESS OTHERWISE INDICATED, ALL FRONT, SIDE AND REAR LOT LINES ARE HEREBY PLATTED ON EITHER SIDE WITH A 10 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT. ALL EXTERIOR SUBDIVISION BOUNDARIES ARE HEREBY PLATTED WITH A 10 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT. THE SOLE RESPONSIBILITY FOR MAINTENANCE OF THESE EASEMENTS ON THE PRIVATE LOTS IS HEREBY VESTED WITH THE INDIVIDUAL PROPERTY OWNERS. THE RESPONSIBILITY OF THE COMMON TRACT AND RELATED EASEMENTS WILL BE WITH THE WATERVIEW III METRO DISTRICT.
- DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEW AND PERMIT REQUIREMENTS, AND OTHER AGENCY REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO DIVISION OF WILDLIFE, COLORADO DEPARTMENT OF TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS, AND THE U.S. FISH AND WILDLIFE SERVICE REGARDING THE ENDANGERED SPECIES ACT, PARTICULARLY AS RELATED TO THE LISTED SPECIES IDENTIFIED IN THE PROJECT'S ENVIRONMENTAL ASSESSMENT.
- NO DRIVEWAYS SHALL BE ESTABLISHED ALONG PUBLIC STREET UNLESS AN ACCESS PERMIT HAS BEEN GRANTED BY EL PASO COUNTY.
- AS OTHERWISE NOTED ON THE PRELIMINARY PLAN, INDIVIDUAL LOTS WILL HAVE FULL ACCESS AND SHARED KINGWAY WAY OF THE OVERALL TRACT-A.
- AT THE TIME OF APPROVAL OF THIS PROJECT, THIS PROPERTY IS LOCATED WITHIN THE SECURITY FIRE PROTECTION DISTRICT, WHICH HAS ADOPTED A FIRE CODE WITH FIRE MITIGATION REQUIREMENTS DEPENDING UPON THE LEVEL OF FIRE RISK ASSOCIATED WITH THE PROPERTY AND STRUCTURES. THE OWNER OF ANY LOT SHOULD CONTACT THE FIRE DISTRICT TO DETERMINE THE EXACT DEVELOPMENT REQUIREMENTS RELATIVE TO THE ADOPTED FIRE CODE.
- NO-BUILD AREAS ARE SHOWN ON THE PLANS. NO-BUILD AREAS INCLUDE, BUT ARE NOT LIMITED TO, WITHIN DESIGNATED DRAINAGE EASEMENTS AND TRACTS. NO-BUILD AREAS WITHIN INDIVIDUAL LOTS ARE THE RESPONSIBILITY OF THE PROPERTY OWNER. ALL OTHER NO-BUILD AREAS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER'S AND ASSOCIATED WATERVIEW III METRO DISTRICT.
- THIS PROPERTY MAY BE ADVERSELY IMPACTED BY NOISE, DUST, FUMES, AND LIGHT POLLUTION CAUSED BY ADJACENT INDUSTRIAL AND AIRPORT PROPERTIES AND ACTIVITIES. THE BUYER SHOULD RESEARCH AND BE AWARE OF THIS POTENTIALITY AND THE RAMIFICATIONS THEREOF.
- SIGNAGE IS NOT APPROVED WITH THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT AT 2880 INTERNATIONAL CIRCLE FOR A SIGN PLAN APPLICATION.
- RETAINING WALLS EXCEEDING 4- FEET WILL NEED TO BE STRUCTURALLY ENGINEERED.
- ALL "STOP SIGNS" AND OTHER TRAFFIC CONTROL SIGNAGE SHALL BE INSTALLED BY THE DEVELOPER AT LOCATIONS SHOWN ON THE SITE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS.
- PRIOR TO BUILDING PERMIT APPROVAL, A FINAL SUBDIVISION PLAT SHALL BE SUBMITTED FOR REVIEW BY THE EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT, AND APPROVAL BY THE BOARD OF COUNTY COMMISSIONERS, OR DESIGNEE MUST BE RECORDED, OR AUTHORIZED DESIGNEE, AND THE PLAT SHALL BE RECORDED.
- ALL STREETS SHALL BE NAMED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS AND ANY APPROVED DEVIATIONS, UPON ACCEPTANCE BY EL PASO COUNTY, PUBLIC STREETS SHALL BE MAINTAINED BY THE COUNTY.
- NOTWITHSTANDING ANYTHING DEPICTED IN THIS PLAN IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE (LDC), THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL (DCM), AND DCM VOLUME 2. ANY DEVIATIONS FROM THESE STANDARDS MUST BE SPECIFICALLY REQUESTED AND APPROVED IN WRITING TO BE ACCEPTABLE. THE APPROVAL OF THIS PRELIMINARY PLAN DOES NOT IMPLICITLY ALLOW ANY DEVIATIONS OR WAIVERS THAT HAVE NOT BEEN OTHERWISE APPROVED THROUGH THE DEVIATION APPROVAL PROCESS.
- DEVELOPMENT OF THE PROPERTY WILL BE IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE EL PASO COUNTY LAND DEVELOPMENT CODE FOR OR ZONING, AND THE COMMERCIAL AVIATION DISTRICT OVERLAY (CAD-O)
- THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAPS NUMBERED '08041C0768G', DATED DECEMBER 7, 2018, THE LIMITS OF WHICH ARE SHOWN ON THE SURVEY. AREAS WITHIN THE FLOODPLAIN ARE ZONE AE, AREAS OUTSIDE THE FLOODPLAIN ARE ZONE X.
- WATER AND WASTEWATER SERVICES FOR THIS SUBDIVISION WILL BE PROVIDED BY THE WIDEFELD WATER DISTRICT (WWD) SUBJECT TO THE DISTRICT'S RULES, REGULATIONS AND SPECIFICATIONS. THE OFFICE ENGINEER HAS ISSUED AN OPINION OF WATER INADEQUACY BASED ON ITS ANALYSIS AND INTERPRETATION STIPULATED AGREEMENT CONCERNING THE AVAILABILITY OF CERTAIN WATER RIGHTS.
- THE PROPERTY IS LOCATED IN THE AIRPORT OVERLAY ZONE. THIS SERVES AS NOTICE OF POTENTIAL OVERFLIGHT AND NOISE IMPACTS ON THIS PROPERTY DUE TO ITS CLOSE PROXIMITY TO AN AIRPORT, WHICH IS DISCLOSED TO ALL PROSPECTIVE PURCHASERS CONSIDERING THE USE OF THIS PROPERTY FOR RESIDENT PURPOSES. THIS PROPERTY IS SUBJECT TO THE OVERFLIGHT AND ASSOCIATED NOISE OF ARRIVING AND DEPARTING AIRCRAFT DURING THE COURSE OF NORMAL AIRPORT OPERATIONS. ALL PROPERTY WITHIN THIS SUBDIVISION IS SUBJECT TO AN AVIATION EASEMENT AS RECORDED IN BOOK 2378 AT PAGE 306 OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER.
- A 30 DB(A) INDOOR NOISE REDUCTION SHALL BE ACHIEVED BY APPROVED CONSTRUCTION TECHNIQUES AS EVIDENCED BY A NOISE REDUCTION CERTIFICATE PRIOR TO SITE DEVELOPMENT PLAN APPROVAL.
- A TITLE 32 SPECIAL DISTRICT ANNUAL REPORT AND DISCLOSURE FORM SATISFACTORY TO THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE RECORDED WITH EACH PLAT.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER FOR INDIVIDUAL LOT, BUT COMMON LANDSCAPE ASSOCIATED WITH TRACT-A WILL BE THE RESPONSIBILITY OF WATERVIEW III METRO DISTRICT
- LANDSCAPING SHALL CONFORM TO THE REQUIREMENTS OF CHAPTER 6 OF THE COUNTY CODE TOGETHER WITH ALL APPLICABLE CONDITIONS OF APPROVAL IMPOSED BY THE BOCC.
- THERE SHALL BE NO DIRECT LOT ACCESS TO POWERS BOULEVARD AND BRADLEY ROAD.



Provide information regarding Tracts B, C, D. What are their allowed uses and who owns maintains said tract.

Lot 6 does appear to have access via Tract A.

remove the text strike through.

update site plan to identify these no-build areas.

SOILS & GEOLOGY CONDITIONS, CONSTRAINTS & HAZARDS NOTES

- A GEOLOGIC HAZARDS EVALUATION AND PRELIMINARY GEOTECHNICAL INVESTIGATION, CROSSROADS NORTH, MARKSHEFFEL ROAD AND STATE HIGHWAY 24, EL PASO COUNTY, COLORADO, FOR THE EQUITY GROUP, WAS COMPLETED BY CTL THOMPSON ON OCTOBER 6, 2020 AND INCLUDED THE AREA OF DEVELOPMENT PROPOSED WITH THE CROSSROADS NORTH DEVELOPMENT. THE GEOLOGY AND SOILS REPORT FOR THE CROSSROADS NORTH DEVELOPMENT WAS PROVIDED AS PART OF THE CROSSROADS NORTH PRELIMINARY PLAN SUBMITTED TO THE EL PASO BOARD OF COUNTY COMMISSIONERS. PLANNING AND COMMUNITY DEVELOPMENT FILE NUMBER [180]. DEVELOPERS AND HOME OWNERS SHOULD BECOME FAMILIAR WITH THIS REPORT AND ITS CONTENTS. **
- THERE ARE NO SIGNIFICANT GEOLOGICAL HAZARDS; HOWEVER, THE POTENTIAL FOR GEOLOGIC CONSTRAINTS DO EXIST RELATED TO THE POTENTIAL FOR SHALLOW GROUNDWATER TABLES, EXPANSIVE CLAY OR CLAYEY SANDSTONE, ERODIBLE SANDY SOILS. RELATIVELY COMMON TO THE AREA WITH MITIGATION PRACTICES. IF THE PREVIOUSLY LISTED POTENTIAL GEOTECHNICAL CONSTRAINTS SHALL BE PERFORMED AT THE TIME OF FINAL DEVELOPMENT OF THE SITE. THE CONDITIONS INCLUDED THE PRESENCE OF POTENTIALLY REGIONAL GEOLOGIC CONDITIONS THAT IMPACT THESE CONDITIONS CAN BE MITIGATED WITH ENGINEERING PRACTICES. THESE CONDITIONS ARE DISCUSSED IN GREATER DETAIL IN THE SOILS REPORT FOR MORE DETAILED INFORMATION.
- CONVENTION WILL BE APPLIED TO THE SOILS REPORT FOR MORE DETAILED INFORMATION.
- SITE-SPECIFIC GEOTECHNICAL INVESTIGATION AND RECOMMENDATIONS:
- GEO REPORT



Please quality control the documents within the submittal

Some of these notes appear to be from Crossroads North Prelim plan; please review

Where did this list of hazards come from, as Geotech report does not list any.

SITE DATA TABLE:

TAX ID NUMBERS	550920002
CURRENT ZONING	CR CAD-O
PROPOSED ZONING	CR CAD-O
PROPOSED LOTS	9
TOTAL SITE ACREAGE	22.10 AC
MINIMUM LOT SIZE	0.22 AC
TOTAL LOT ACREAGE	13.01 AC±
PRIVATE ROAD ACREAGE	XX.XX AC±
DETENTION POND ACREAGE	0.91 AC±
OPEN SPACE ACREAGE	XX.XX AC±

Finish filling out table and ensure information matches what is shown on subdivision summary sheet

Easements: Unless otherwise indicated, all side, front, and rear lot lines are hereby platted on either side with a 10 foot (use 5 feet for lots smaller than 2.5 acres) public utility and drainage easement. The sole responsibility for maintenance of these easements is hereby vested with the individual property owners.

identify the standard lot easements in a note

is this for this development? Is this in a APZI zone

Add the following sentence to note 25. Access to Legacy Hill Drive and Frontside Dr are limited to the locations shown on the site plan.

Please provide an email or document that the District does agree to maintain tracts, landscape etc...

SHEET INDEX

01	COVER SHEET	
02	SITE PLAN	
03	PRELIMINARY GRADING	(1 OF 2)
04	PRELIMINARY GRADING	(2 OF 2)
05	PRELIMINARY UTILITY	(1 OF 2)
06	PRELIMINARY UTILITY	(2 OF 2)
07	TRACT MAP	
08	LANDSCAPE SHEET	(1 OF 2)
09	LANDSCAPE SHEET	(2 OF 2)
10	LANDSCAPE NOTES AND DETAILS	

PROJECT TEAM
OWNER / DEVELOPER:
WATERVIEW COMMERCIAL INVESTORS, LLC
2727 GLEN ARBOR DRIVE
COLORADO SPRINGS, CO 80920

PLANNER / LANDSCAPE ARCH.:
KIMLEY-HORN
2 NORTH NEVADA AVENUE
SUITE 300
COLORADO SPRINGS, CO 80903

CIVIL ENGINEER
KIMLEY-HORN
2 NORTH NEVADA AVENUE
SUITE 300
COLORADO SPRINGS, CO 80903

PLANNING AND COMMUNITY DEVELOPMENT



COVER SHEET
SHEET 01 OF 10

WATERVIEW EAST-COMMERCIAL

PRELIMINARY PLAN

SITUATED IN THE WEST HALF OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

please look at the
prelim plan checklist
and the missing items
Several items are
missing- PCD staff
will review when a
more complete
application is
provided.

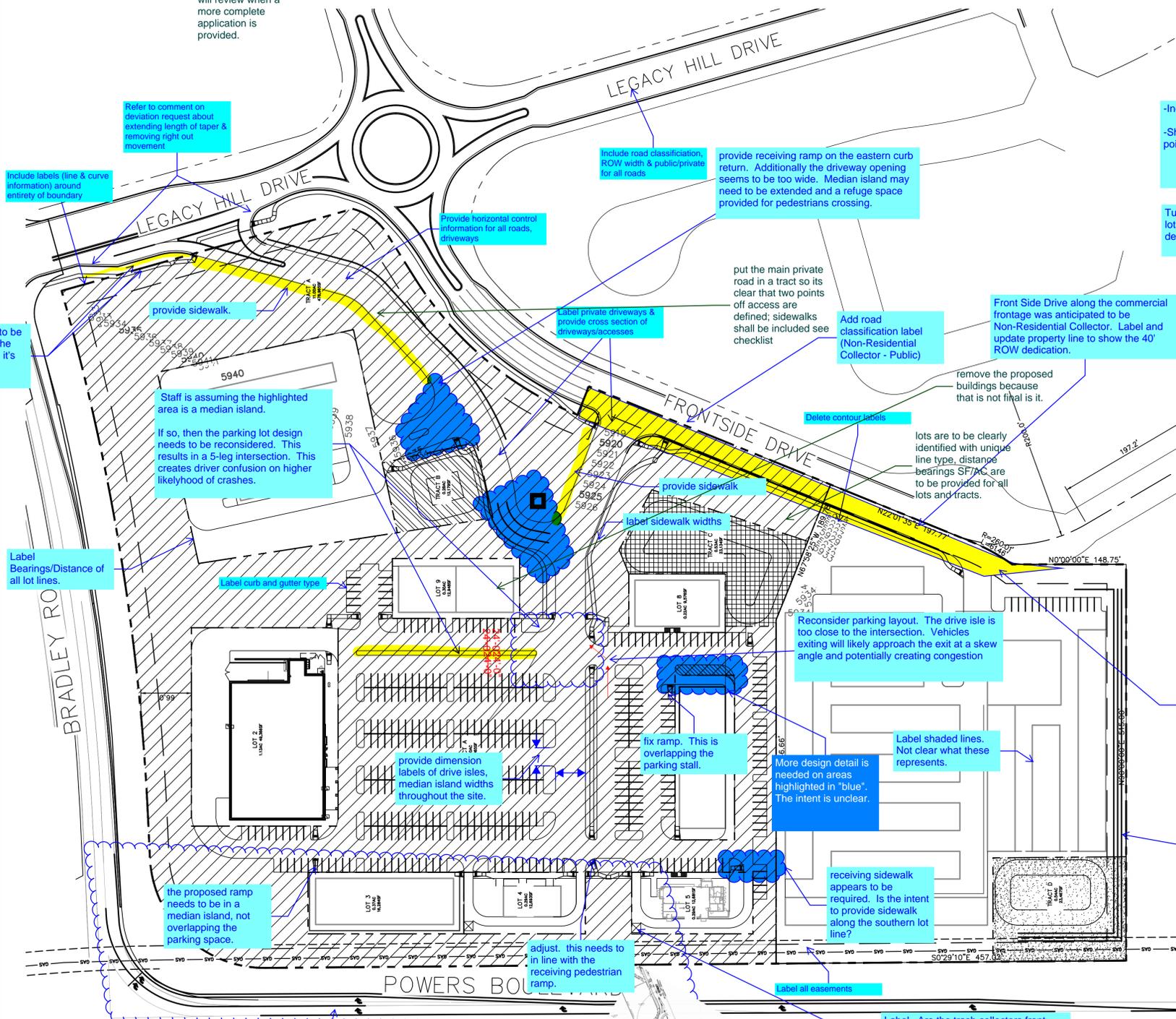
Update Frontside Drive to show the street and striping configuration based on the traffic study recommendations.

TRACT	SF/AC
4	12,693/0.29
5	12,681/0.29
6	226,977/5.21
7	16,656/0.38
8	9,576/0.22
9	12,948/0.30

TRACT DATA	
TRACT	SF/AC
A	478,965/11.00
B	12,179/0.28
C	23,134/0.53
D	23,467/0.54

Tract Table needs to state the ownership/ and maintenance as well as the allowed uses with each tract (purpose)

please identify percentage of lots, tracts, and private roads, public road dedication



Include labels (line & curve information) around entirety of boundary

Refer to comment on deviation request about extending length of taper & removing right out movement

Include road classification, ROW width & public/private for all roads

provide receiving ramp on the eastern curb return. Additionally the driveway opening seems to be too wide. Median island may need to be extended and a refuge space provided for pedestrians crossing.

-Include all adjoining property owner information
-Show & Label point of commencement (POC) & point of beginning (POB) on plan.

Turn off building layers within each lots that are not part of common development improvements

put the main private road in a tract so its clear that two points off access are defined; sidewalks shall be included see checklist

Add road classification label (Non-Residential Collector - Public)

Front Side Drive along the commercial frontage was anticipated to be Non-Residential Collector. Label and update property line to show the 40' ROW dedication.

remove the proposed buildings because that is not final is it.

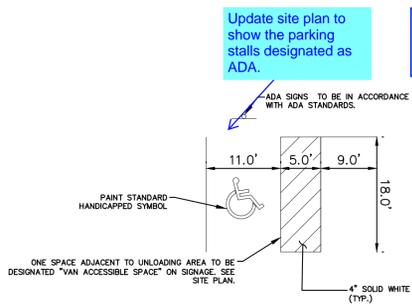
lots are to be clearly identified with unique line type, distance bearings SF/AC are to be provided for all lots and tracts.

Delete contour labels

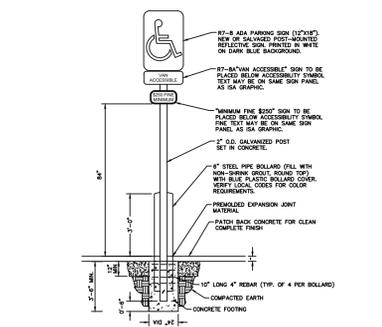
Label private driveways & provide cross section of driveways/accesses

Staff is assuming the highlighted area is a median island. If so, then the parking lot design needs to be reconsidered. This results in a 5-leg intersection. This creates driver confusion on higher likelihood of crashes.

adjust sidewalk to be attached along the auxiliary lane so it's located with the ROW.



A ADA PARKING STALL DETAIL
NTS



B ADA PARKING SIGN DETAIL
NTS

Show the proposed curb return and sidewalk. Proposed sidewalk to extend south and connect to the sidewalk constructed by the residential development.

Reconsider parking layout. The drive isle is too close to the intersection. Vehicles exiting will likely approach the exit at a skew angle and potentially creating congestion

Label shaded lines. Not clear what these represents.

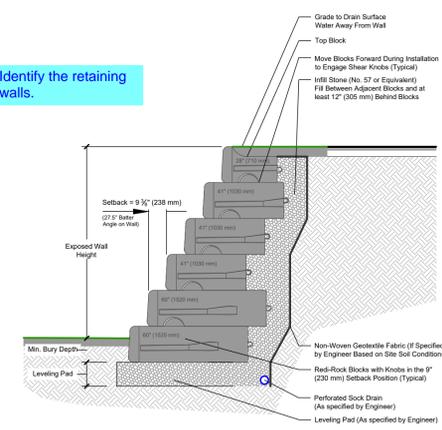
More design detail is needed on areas highlighted in "blue". The intent is unclear.

receiving sidewalk appears to be required. Is the intent to provide sidewalk along the southern lot line?

Label all easements

Label. Are the trash collectors front loader? Staff recommends coordinating with the trash company to make sure this is accessible.

As previously informed coordinate with CDOT regarding ROW dedication and preservation. As noted during the Early Assistance Meeting the previously approved preliminary plan showed this area for future CDOT ROW



C RETAINING WALL DETAIL
NTS

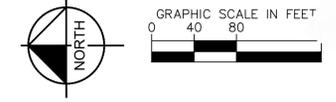
Increasing the drawing scale and breaking the site up into multiple sheets. The site plan is too small to adequately show the preliminary design.

Remove that hatches from the site plan since sheet 7 tract map provides the pertinent information.

wall must be submitted to PRRBD for approval prior to the approval of the grading plan. Provide specific detail if your requesting early grading



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WATERVIEW EAST-COMMERCIAL PRELIMINARY PLAN

SITUATED IN THE WEST HALF OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

LEGEND

	6000	PROPOSED MAJOR CONTOUR
	6001	PROPOSED MINOR CONTOUR
	6000	EXISTING MAJOR CONTOUR
	6001	EXISTING MINOR CONTOUR

Include all items in legend (Boundary, easements, ROW, utilities, etc)

- Include slope arrows
- Include centerline grades at driveways
- Label all easements
- Label all storm
- Label all High points & Low points
- Label Tracts and Lot #'s

Show the proposed improvements on the preliminary grading plan.
Additional comments will likely be generated on the re-submittal.

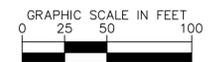
show the proposed inlets as darker lines.

Update page #

Update label to Preliminary Grading Plan

GRADING PLAN (1 OF 2)
SHEET 03 OF 10

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WATERVIEW EAST-COMMERCIAL PRELIMINARY PLAN

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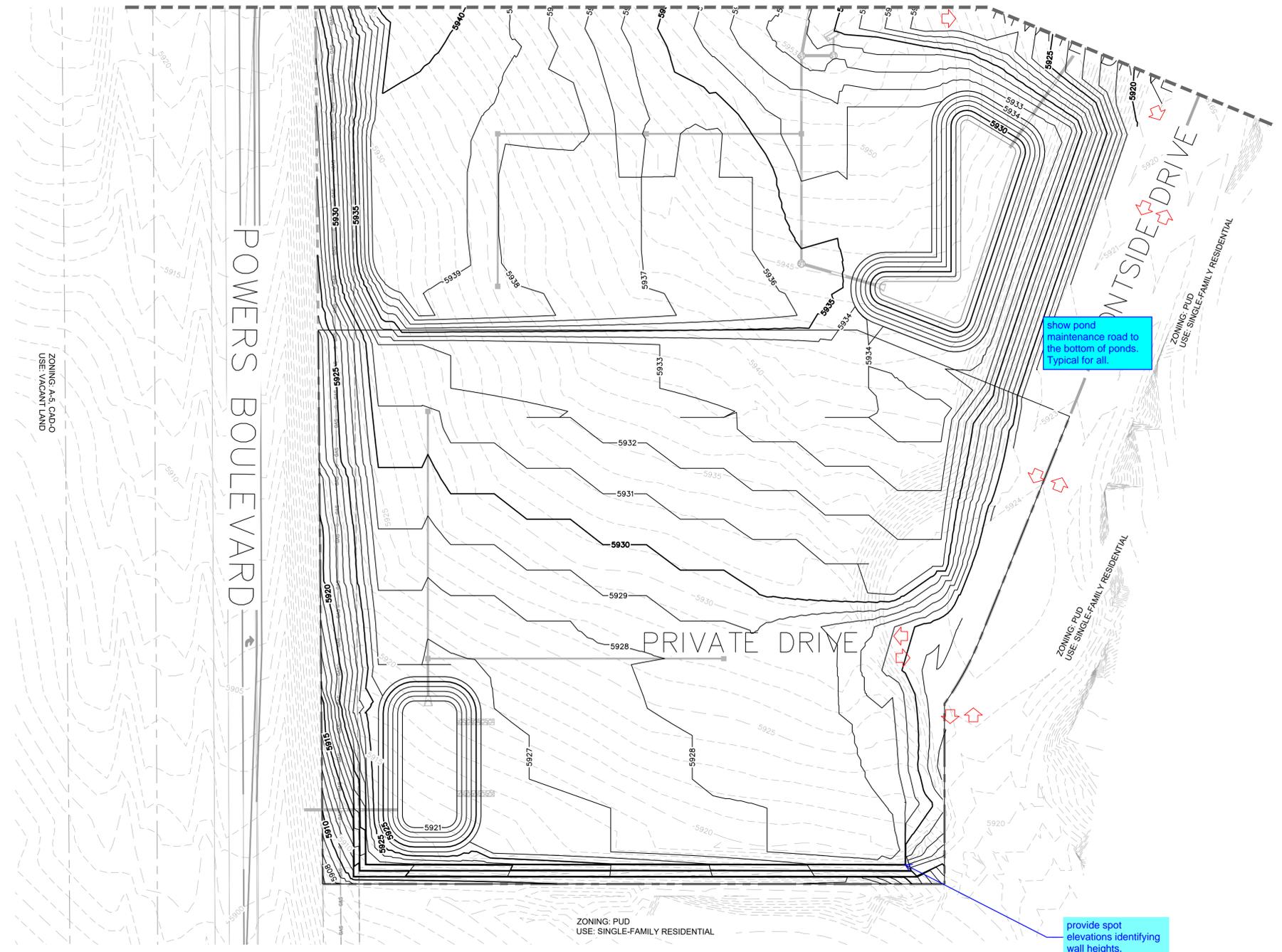
Update page #

MATCHLINE; SEE SHEET 08

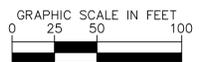
LEGEND

	6000	PROPOSED MAJOR CONTOUR
	6001	PROPOSED MINOR CONTOUR
	6000	EXISTING MAJOR CONTOUR
	6001	EXISTING MINOR CONTOUR

See comments on previous page



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GRADING PLAN (2 OF 2)
SHEET 04 OF 10

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WATERVIEW EAST-COMMERCIAL PRELIMINARY PLAN

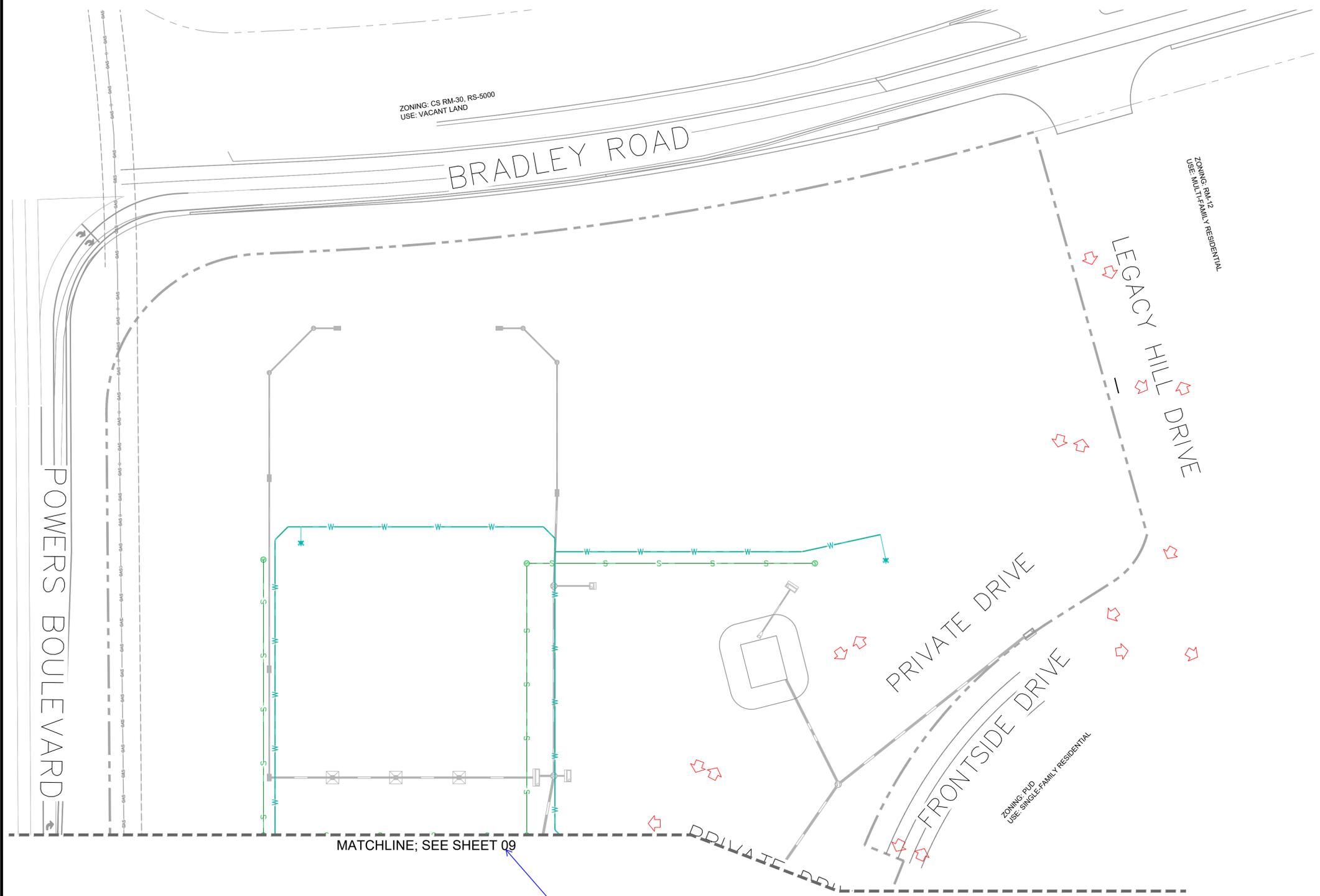
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LEGEND

	6000	PROPOSED MAJOR CONTOUR
	6001	PROPOSED MINOR CONTOUR
	6000	EXISTING MAJOR CONTOUR
	6001	EXISTING MINOR CONTOUR

Include all items in legend (Boundary, easements, ROW, utilities, etc)

- Label utilities
- Turn on all proposed features (Lots, easements, roads, etc)
- Label all easements



MATCHLINE; SEE SHEET 09

Update page #



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PRELIMINARY UTILITY PLAN (1 OF 2)
SHEET 05 OF 10

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WATERVIEW EAST-COMMERCIAL

PRELIMINARY PLAN

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Update page #

MATCHLINE; SEE SHEET 08

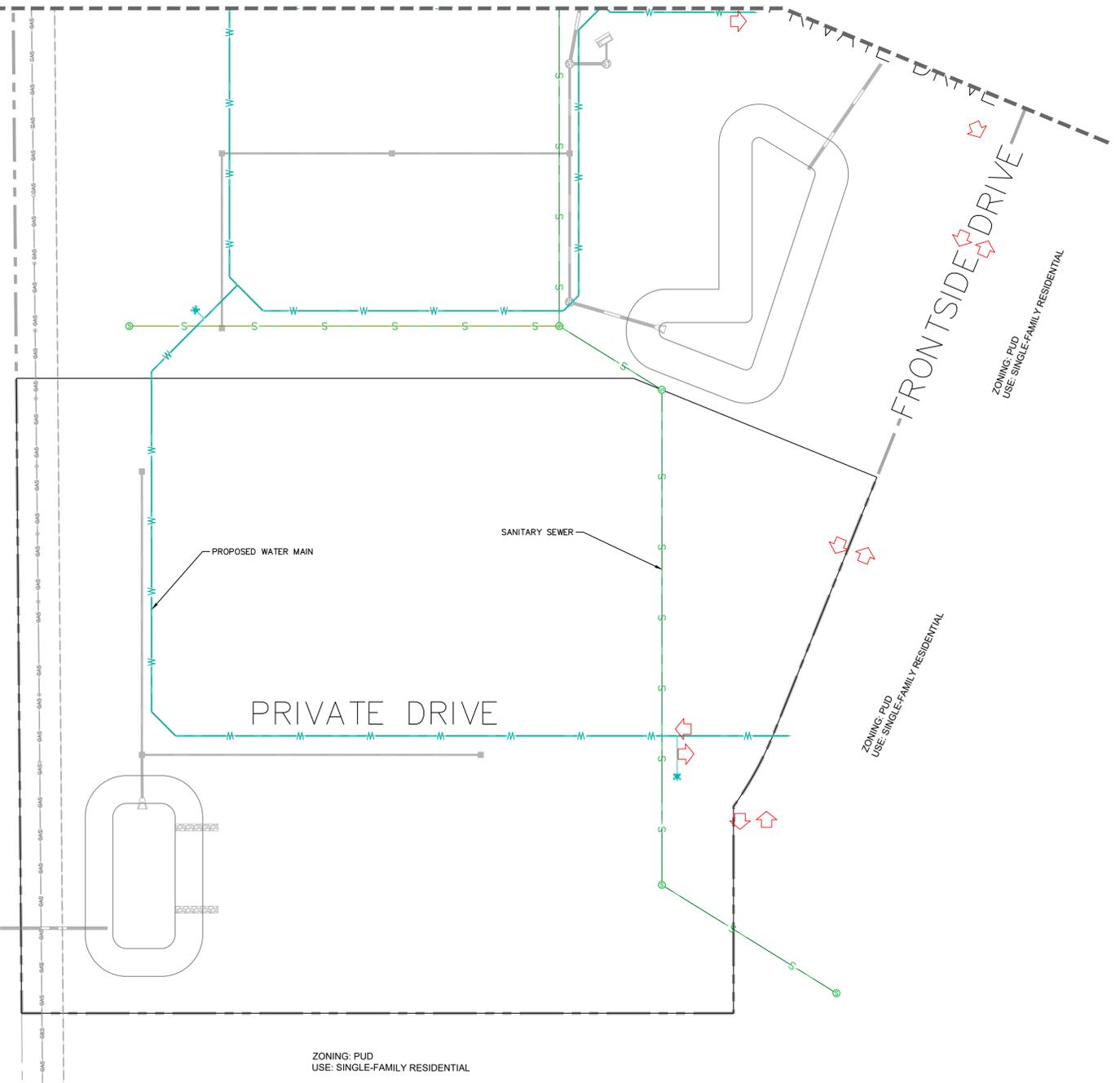
LEGEND

	6000	PROPOSED MAJOR CONTOUR
	6001	PROPOSED MINOR CONTOUR
	6000	EXISTING MAJOR CONTOUR
	6001	EXISTING MINOR CONTOUR

See comments on previous page

ZONING: A-4, C-AD, O
USE: VACANT LAND

POWERS BOULEVARD



ZONING: PUD
USE: SINGLE-FAMILY RESIDENTIAL

ZONING: PUD
USE: SINGLE-FAMILY RESIDENTIAL

ZONING: PUD
USE: SINGLE-FAMILY RESIDENTIAL



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PRELIMINARY UTILITY PLAN (2 OF 2)
SHEET 06 OF 10

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WATERVIEW EAST-COMMERCIAL

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LOT DATA		
LOT	SF/AC±	USE
1	68,670/1.58	COMMERCIAL
2	49,366/1.13	COMMERCIAL
3	16,284/0.37	COMMERCIAL
4	12,693/0.29	COMMERCIAL
5	12,681/0.29	COMMERCIAL
6	226,977/5.21	COMMERCIAL
7	16,656/0.38	COMMERCIAL
8	9,576/0.22	COMMERCIAL
9	12,948/0.30	COMMERCIAL

TRACT DATA			
TRACT	SF/AC	OWNER	USE
A	478,965/11.00	**W2MD	VEHICULAR AND PEDESTRIAN ACCESS, DRAINAGE, UTILITY, LANDSCAPE
B	12,179/0.28	**W2MD	DRAINAGE, DETENTION/WATER QUALITY
C	23,134/0.53	**W2MD	DRAINAGE, DETENTION/WATER QUALITY
D	23,467/0.54	**W2MD	DRAINAGE, DETENTION/WATER QUALITY

**W2MD=WATERVIEW EAST II METROPOLITAN DISTRICT
TRACT TABLE TO REFERENCE SHEET 2 AND SHEET 3

TRACT LEGEND

GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	TYPE
	TR-A	478,964 SF	TRACT A / TRACT A	TRACTS/LOTS
	TR-B	12,179 SF	TRACT B / TRACT B	TRACTS/LOTS
	TR-C	23,134 SF	TRACT C / TRACT C	TRACTS/LOTS
	TR-D	23,467 SF	TRACT D / TRACT D	TRACTS/LOTS

Ensure all hatches match plan (direction, scale, etc.)

Revise name of column

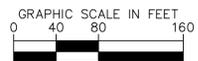
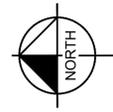
Does not match table

Sheet 4

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COLORADO SPRINGS, COLORADO 80903 (719) 453-0180



WATERVIEW EAST-COMMERCIAL PRELIMINARY PLAN

SITUATED IN THE WEST HALF OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



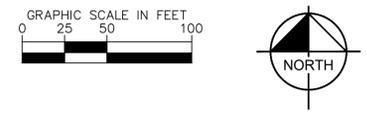
PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE
	AT	48	ACER TATARICUM 'HOT WINGS' / HOT WINGS TATARIAN MAPLE	B & B
	CS	26	CATALPA SPECIOSA / NORTHERN CATALPA	B & B
	PS	16	PRUNUS 'SUCKER PUNCH' / SUCKER PUNCH CHOKECHERRY	B & B
	QS	27	QUERCUS SHUMARDII / SHUMARD OAK	B & B
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE
	BS	20	PICEA PUNGENS 'FASTIGIATA' / FASTIGIATE BLUE SPRUCE	B & B
	PE	52	PINUS EDULIS / PINON PINE	B & B
	PN	16	PINUS NIGRA / AUSTRIAN BLACK PINE	B & B
	PP	26	PINUS PONDEROSA / PONDEROSA PINE	B & B

LANDSCAPE SETBACKS AND BUFFERS

STREET NAME OR BOUNDARY:	POWERS BLVD	BRADLEY RD	LEGACY HILL DR	FRONTSIDE DR	SOUTH BUFFER
ZONE DISTRICT BOUNDARY:	NO	NO	YES	YES	YES
STREET CLASSIFICATION:	EXPRESSWAY	PRINCIPAL ARTERIAL	NON-ARTERIAL	NON-ARTERIAL	N/A
SETBACK DEPTH REQUIRED / PROVIDED:	25' / 25'	25' / 25'	15' / 15'	15' / 15'	15' / 15'
LINEAR FOOTAGE:	1238'	863'	395'	1154'	515'
TREE PER FEET REQ.:	1 TREE PER 20 LF	1 TREE PER 20 LF	1 TREE PER 15 LF	1 TREE PER 15 LF	1 TREE PER 25 LF
NUMBER OF TREES REQ. / PROV.	62 / 62	44 / 44	27 / 27	77 / 77	21 / 21
EVERGREEN TREES REQ. / PROV.	N/A	N/A	9 / 23	26 / 37	7 / 20
SHRUB SUBSTITUTES REQ. / PROV.	N/A	N/A	N/A	N/A	N/A
OPAQUE SCREEN REQ. / PROV.	N/A	N/A	N/A	N/A	515'
PLANT ABBREVIATION DENOTED ON PLAN:	PW	BR	LH	FS	SB
% GROUND PLANE VEG. REQ. / PROV.	75% / 75%	75% / 75%	75% / 75%	75% / 75%	75% / 75%

Kimley»Horn
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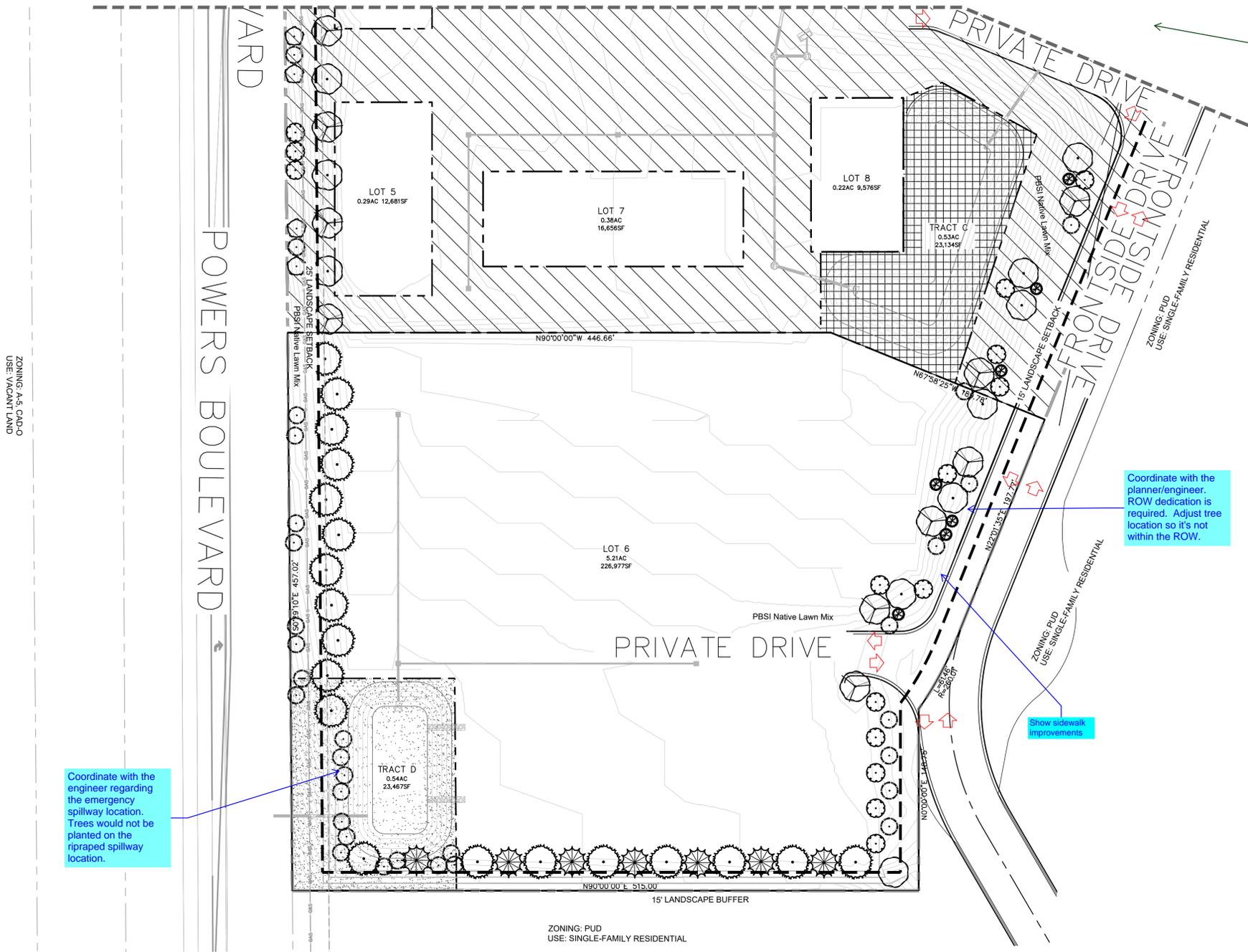
PRELIMINARY LANDSCAPE PLAN
SHEET 08 OF 10

WATERVIEW EAST-COMMERCIAL

PRELIMINARY PLAN

SITUATED IN THE WEST HALF OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

MATCHLINE; SEE SHEET 08



review landscape plan checklist add missing items

provide the tables for the roadway landscape categories; and buffer

Coordinate with the planner/engineer. ROW dedication is required. Adjust tree location so it's not within the ROW.

Show sidewalk improvements

Coordinate with the engineer regarding the emergency spillway location. Trees would not be planted on the ripraped spillway location.

PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE
	AT	48	ACER TATARICUM / HOT WINGS / HOT WINGS TATARIAN MAPLE	B & B
	CS	26	CATALPA SPECIOSA / NORTHERN CATALPA	B & B
	PS	16	PRUNUS 'SUCKER PUNCH' / SUCKER PUNCH CHOKECHERRY	B & B
	QS	27	QUERCUS SHUMARDII / SHUMARD OAK	B & B
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE
	BS	20	PICEA PUNGENS 'FASTIGIATA' / FASTIGIATE BLUE SPRUCE	B & B
	PE	52	PINUS EDULIS / PINON PINE	B & B
	PN	16	PINUS NIGRA / AUSTRIAN BLACK PINE	B & B
	PP	26	PINUS PONDEROSA / PONDEROSA PINE	B & B



PRELIMINARY LANDSCAPE PLAN
SHEET 09 OF 10



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WATERVIEW EAST-COMMERCIAL

PRELIMINARY PLAN

SITUATED IN THE WEST HALF OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

GENERAL LANDSCAPE SPECIFICATIONS

A. SCOPE OF WORK

1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
 2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.
- #### B. PROTECTION OF EXISTING STRUCTURES
1. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE PROJECT.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR: REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION, THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERE TO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

C. PROTECTION OF EXISTING PLANT MATERIALS

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE IDENTIFIED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC... THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPE AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
2. SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.

D. MATERIALS

1. GENERAL

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) CUBIC FOOT
TOPSOIL MIX	ONE (1) CUBIC FOOT
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)

2. PLANT MATERIALS

- a. FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 AND THE COLORADO NURSERY ACT, AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.

- b. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.
- c. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
- d. PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 AND COLORADO NURSERY ACT FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.

- e. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

- f. TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK ("INCLUDED BARK"); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN 1/2 INCH (19 MM) IN DIAMETER; OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.

- g. FURNISH TREES AND SHRUBS WITH ROOTS BALLS MEASURED FROM TOP OF ROOT BALL, WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1 AND COLORADO NURSERY ACT. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.

- h. LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES, INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.

- i. IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.

E. SOIL MIXTURE

1. CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW:
2. SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.

- a. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER, REASONABLY FREE OF CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER, HAVE A PH BETWEEN 5.5 AND 8.0, AND SOLUBLE SALTS LESS THAN 3.0 MMS/CM. SUBMIT SOIL SAMPLE AND PH TESTING RESULTS FOR APPROVAL.

- b. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
3. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

F. WATER

1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC... IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

- * WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

G. FERTILIZER

1. CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.

- * FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
- #### H. MULCH
1. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES CLEAR MULCH FROM EACH PLANTS CROWN (BASE) OR AS SHOWN IN PLANTING DETAILS. MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH. DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE RING (6" MINIMUM) PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.

- #### I. DIGGING AND HANDLING
1. ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT.
 2. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRAVEL. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILT-PRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
 3. B&B AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.

- #### J. CONTAINER GROWN STOCK
1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
 2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
 3. ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.

- #### K. MATERIALS LIST
1. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

- #### L. FINE GRADING
1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
 2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.
 3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

- #### M. PLANTING PROCEDURES
1. THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT THE PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
 2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL LOCATOR (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMESTONE AND LIMESTONE SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMESTONE OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
 4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
 5. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.
 6. WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
 7. ALL PLANTING OPENINGS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN STANDARD FOR NURSERY STOCK.
 8. TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL.
 9. TREES SHALL BE SET PLUMBS AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.
 10. PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE ROTO-TILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL.
 11. EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
 12. IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL DEPTH PLUS 6".
 13. TREE OPENINGS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT PIT WALLS SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.
 14. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
 15. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 'E'.
 16. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).

17. AMEND PINE AND OAK PLANT OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.

18. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET, ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE.

19. ALL BURLAP, ROPE, WIRES, BASKETS, ETC... SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

20. TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOUT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.

21. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6". REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION 'E'. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

22. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WEAVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.

23. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S RECOMMENDATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER, (AS ALLOWED BY JURISDICTIONAL AUTHORITY).

- #### N. LAWN SODDING
1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
 2. ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
 3. PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
 4. SODDING

- a. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- b. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED, IMMEDIATELY FOLLOWING SOD LAYING. THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.

5. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

- #### 6. LAWN MAINTENANCE
- a. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"x12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRADING IF NECESSARY.
 - b. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

- #### O. EDGING
- a. CONTRACTOR SHALL INSTALL 4"x3" ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.

- #### P. CLEANUP
1. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTORS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.

- #### Q. PLANT MATERIAL MAINTENANCE
1. ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.

- #### R. FINAL INSPECTION AND ACCEPTANCE OF WORK
1. FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

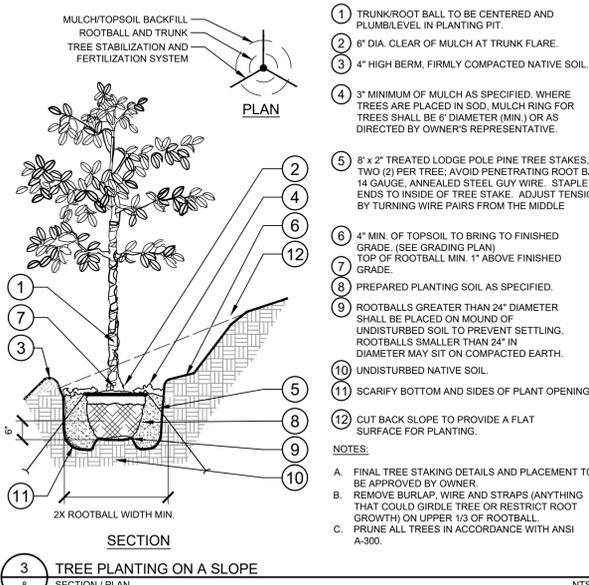
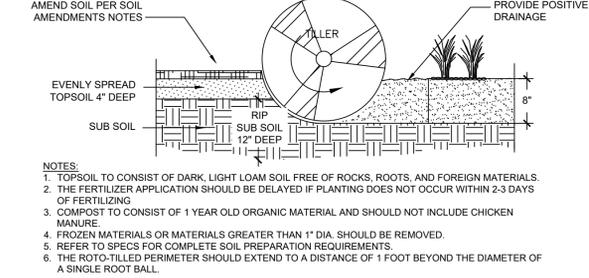
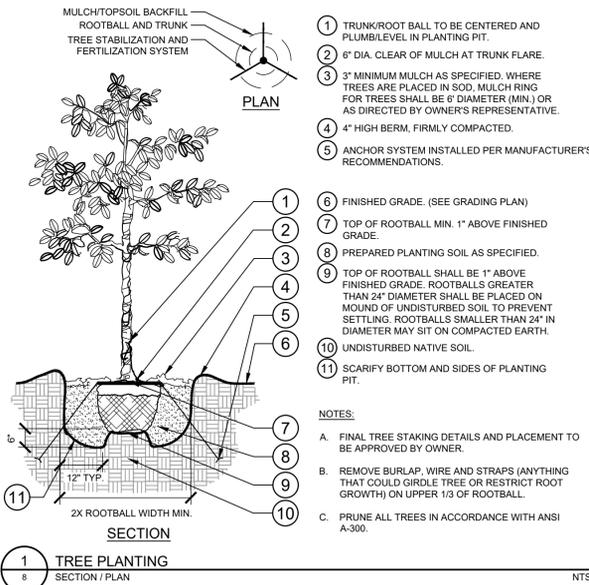
- #### S. WARRANTY
1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.

2. ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.

3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

- #### T. PARKING LOT ISLAND NOTE
1. THE SOIL OF ANY PLANTER WITHIN THE PARKING LOT SHALL BE STRUCTURALLY RENOVATED (TILLED) OR REMOVED TO A DEPTH OF THIRTY INCHES (30") AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES INDICATED FOR INSTALLATION.

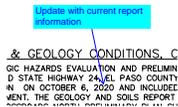
- #### U. MAINTENANCE
1. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER, AND/OR THEIR ASSIGNS.
 2. ALL STREET TREES AND STREETSCAPE IMPROVEMENTS LOCATED IN THE R.O.W. WILL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.



Preliminary plan Drawings V1 from PCD.pdf Markup Summary

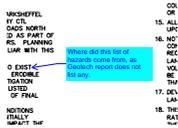
11-3-2022

CDurham (30)



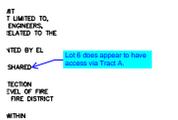
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Author: CDurham
Date: 10/11/2022 10:08:06 AM
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Update with current report information



Subject: Callout
Page Label: [1] 01 COVER SHEET
Author: CDurham
Date: 10/11/2022 10:09:32 AM
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Where did this list of hazards come from, as Geotech report does not list any.



Subject: Callout
Page Label: [1] 01 COVER SHEET
Author: CDurham
Date: 10/11/2022 10:10:10 AM
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Lot 6 does appear to have access via Tract A.



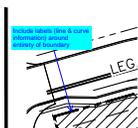
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Author: CDurham
Date: 10/11/2022 10:10:41 AM
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Finish filling out table and ensure information matches what is shown on subdivision summary sheet



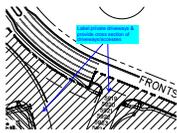
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PUDSP-22-009



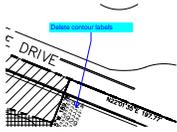
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Page Label: [2] 02 SITE PLAN
Author: CDurham
Date: 10/11/2022 10:24:14 AM
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Include labels (line & curve information) around entirety of boundary



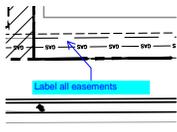
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Page Label: [2] 02 SITE PLAN
Author: CDurham
Date: 10/11/2022 10:12:57 AM
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Label private driveways & provide cross section of driveways/accesses



Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: CDurham
Date: 10/11/2022 10:12:26 AM
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Delete contour labels



Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: CDurham
Date: 10/11/2022 10:13:20 AM
Status:
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Label all easements



Subject: Text Box
Page Label: [2] 02 SITE PLAN
Author: CDurham
Date: 10/11/2022 10:14:30 AM
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-Include all adjoining property owner information
 -Show & Label point of commencement (POC) & point of beginning (POB) on plan.



Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: CDurham
Date: 10/11/2022 10:15:09 AM
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Include road classification, ROW width & public/private for all roads



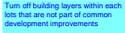
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Page Label: [2] 02 SITE PLAN
Author: CDurham
Date: 10/11/2022 10:16:08 AM
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Provide horizontal control information for all roads, driveways



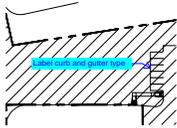
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Page Label: [2] 02 SITE PLAN
Author: CDurham
Date: 10/11/2022 10:24:59 AM
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Refer to comment on deviation request about extending length of taper & removing right out movement



Subject: Text Box
Page Label: [2] 02 SITE PLAN
Author: CDurham
Date: 10/12/2022 7:55:50 AM
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Turn off building layers within each lots that are not part of common development improvements



Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: CDurham
Date: 10/12/2022 8:05:19 AM
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Label curb and gutter type



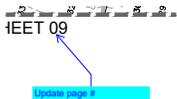
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Page Label: [3] 03 GRADING PLAN (1 OF 2)
Author: CDurham
Date: 10/11/2022 10:17:58 AM
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- Include slope arrows
- Include centerline grades at driveways
- Label all easements
- Label all storm
- Label all High points & Low points
- Label Tracts and Lot #'s



Subject: Text Box
Page Label: [3] 03 GRADING PLAN (1 OF 2)
Author: CDurham
Date: 10/11/2022 10:18:36 AM
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Include all items in legend (Boundary, easements, ROW, utilities, etc)



Subject: Callout
Page Label: [3] 03 GRADING PLAN (1 OF 2)
Author: CDurham
Date: 10/11/2022 10:18:55 AM
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Update page #

COUNTY OF EL F



Subject: Callout
Page Label: [4] 04 GRADING PLAN (2 OF 2)
Author: CDurham
Date: 10/11/2022 10:19:09 AM
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Update page #



Subject: Text Box
Page Label: [4] 04 GRADING PLAN (2 OF 2)
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Date: 10/11/2022 10:19:24 AM
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See comments on previous page



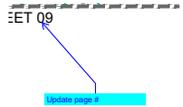
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Page Label: [5] 05 PRELIMINARY UTILITY PLAN (1 OF 2)
Author: CDurham
Date: 10/11/2022 10:19:41 AM
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Include all items in legend (Boundary, easements, ROW, utilities, etc)



Subject: Text Box
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Author: CDurham
Date: 10/11/2022 10:21:50 AM
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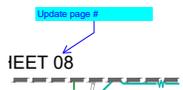
- Label utilities
- Turn on all proposed features (Lots, easements, roads, etc)
- Label all easements



Subject: Callout
Page Label: [5] 05 PRELIMINARY UTILITY PLAN (1 OF 2)
Author: CDurham
Date: 10/11/2022 10:20:26 AM
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Update page #

COUNTY OF EL F



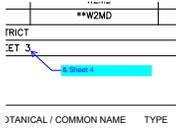
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See comments on previous page

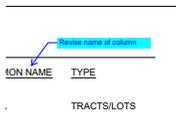
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See comments on previous page



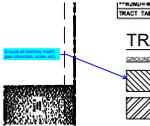
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Author: CDurham
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& Sheet 4



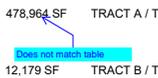
Subject: Callout
Page Label: [7] 07 TRACT MAP
Author: CDurham
Date: 10/11/2022 10:22:42 AM
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Revise name of column



Subject: Callout
Page Label: [7] 07 TRACT MAP
Author: CDurham
Date: 10/11/2022 10:23:11 AM
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Ensure all hatches match plan (direction, scale, etc)



Subject: Callout
Page Label: [7] 07 TRACT MAP
Author: CDurham
Date: 10/11/2022 10:23:27 AM
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Does not match table



Subject: Callout
Page Label: [9] 09 PRELIMINARY LANDSCAPE PLAN
Author: CDurham
Date: 10/12/2022 8:08:18 AM
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Show sidewalk improvements

STRAINTS & HAZARDS NOTES
GEOLOGICAL INVESTIGATION, CROSSROADS IN
COLORADO, FOR THE EQUITY GROUP, WAS COME
E AREA OF DEVELOPMENT PROPOSED WITH THE
THE CROSSROADS NORTH DEVELOPMENT WAS
TED TO THE EL PASO BOARD OF COUNTY COM
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SOILS & GEOLOGY CONDITIONS, CONSTRAINT
A GEOLOGIC HAZARD EVALUATION AND PRELIMINARY GEOTECHNICAL
AND SOILS REPORT FOR THE CROSSROADS NORTH DEVELOPMENT
PROJECT, EL PASO COUNTY, COLORADO, FOR THE EQUITY GROUP, WAS
COMPLETED BY THE GEOLOGY AND SOILS REPORT FOR THE CROSSROADS
NORTH DEVELOPMENT PROJECT, FILE NUMBER [TBD], DEVELOPER
AND ITS CONSULTANT.

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Author: dsdlaforce
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IS EVALUATION AND PRELIMINARY
HIGHWAY 24, EL PASO COUNTY, CO
OBER 6, 2020 AND INCLUDED THE
GEOLOGY AND SOILS REPORT FOR
CROSSROADS NORTH DEVELOPMENT
PROJECT, FILE NUMBER [TBD].

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Update the note to the current project and developer. These appears to have been copied from a different project.

IS & HAZARDS NO
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OR THE EQUITY GROUP, W
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LARGE TRACT
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AND FRACTURE
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Provide information regarding Tracts B, C, D. What are their allowed uses and who owns maintains said tract.

REVISIONS TO THE PLAN SHALL BE MADE BY THE DESIGNER AND SHALL BE THE PROPERTY OF THE DESIGNER. THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CITY. THE CITY SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CITY. THE CITY SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CITY.

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remove the text strike through.

ANY LINE OF UNUSUAL
1/4" ANGLE OF
DELTA ANGLE OF
update the plan to
identify these no-build
areas.

7. EXCEPT AS
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Author: dsdlaforce
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Layer:
Space:

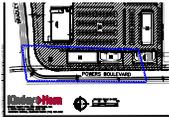
update site plan to identify these no-build areas.

THE CURBS FOR INDIVIDUAL LOTS MAY
BE WIDENED IN CERTAIN AREAS TO
COMPLY WITH THE CITY CODE TOGETHER WITH ALL
ROADS.

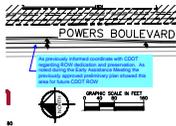
Add the following
reference to note 25:
Access to Legacy Hill
Drive and Frontside
Dr are limited to the
locations shown on
the site plan.

Subject: Callout
Page Label: [1] 01 COVER SHEET
Author: dsdlaforce
Date: 10/11/2022 4:12:58 PM
Status:
Color: ■
Layer:
Space:

Add the following sentence to note 25. Access to Legacy Hill Drive and Frontside Dr are limited to the locations shown on the site plan.



Subject: Cloud
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 3:17:32 PM
Status:
Color: ■
Layer:
Space:

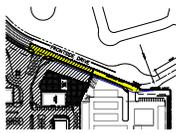


Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 3:36:06 PM
Status:
Color: ■
Layer:
Space:

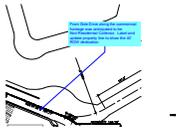
As previously informed coordinate with CDOT regarding ROW dedication and preservation. As noted during the Early Assistance Meeting the previously approved preliminary plan showed this area for future CDOT ROW



Subject: Image
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 3:21:20 PM
Status:
Color: ■
Layer:
Space:

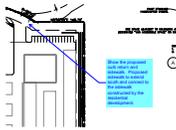


Subject: Polygon
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 3:31:03 PM
Status:
Color: ■
Layer:
Space:



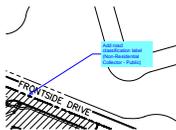
Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/13/2022 12:03:53 PM
Status:
Color: ■
Layer:
Space:

Front Side Drive along the commercial frontage was anticipated to be Non-Residential Collector. Label and update property line to show the 40' ROW dedication.



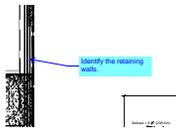
Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 3:35:00 PM
Status:
Color: ■
Layer:
Space:

Show the proposed curb return and sidewalk. Proposed sidewalk to extend south and connect to the sidewalk constructed by the residential development.



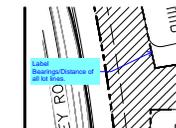
Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/13/2022 12:40:36 PM
Status:
Color: ■
Layer:
Space:

Add road classification label
(Non-Residential Collector - Public)



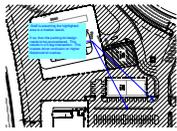
Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 3:36:29 PM
Status:
Color: ■
Layer:
Space:

Identify the retaining walls.



Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 3:38:18 PM
Status:
Color: ■
Layer:
Space:

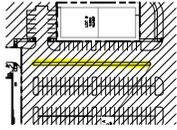
Label Bearings/Distance of all lot lines.



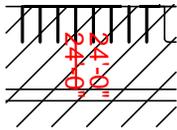
Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 4:02:48 PM
Status:
Color: ■
Layer:
Space:

Staff is assuming the highlighted area is a median island.

If so, then the parking lot design needs to be reconsidered. This results in a 5-leg intersection. This creates driver confusion on higher likelihood of crashes.

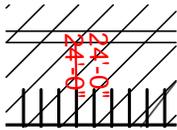


Subject: Highlight
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 3:41:52 PM
Status:
Color: ■
Layer:
Space:



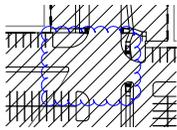
Subject: Polylength Measurement
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 3:42:10 PM
Status:
Color: ■
Layer:
Space:

24'-0"



Subject: Polylength Measurement
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 3:42:14 PM
Status:
Color: ■
Layer:
Space:

24'-0"

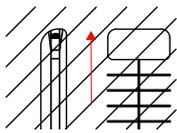


Subject: Cloud
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 3:45:01 PM
Status:
Color: ■
Layer:
Space:

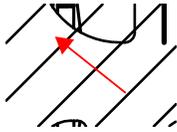


Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 3:50:16 PM
Status:
Color: ■
Layer:
Space:

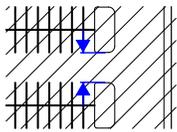
Reconsider parking layout. The drive isle is too close to the intersection. Vehicles exiting will likely approach the exit at a skew angle and potentially creating congestion



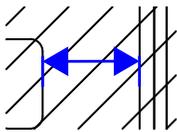
Subject: Arrow
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 3:48:36 PM
Status:
Color: ■
Layer:
Space:



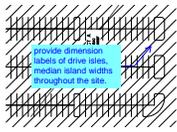
Subject: Arrow
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 3:49:28 PM
Status:
Color: ■
Layer:
Space:



Subject: Dimension
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 3:51:15 PM
Status:
Color: ■
Layer:
Space:

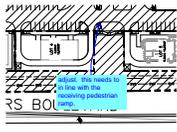


Subject: Dimension
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 3:51:58 PM
Status:
Color: ■
Layer:
Space:



Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 3:52:36 PM
Status:
Color: ■
Layer:
Space:

provide dimension labels of drive isles, median island widths throughout the site.



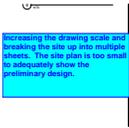
Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 3:53:40 PM
Status:
Color: ■
Layer:
Space:

adjust. this needs to in line with the receiving pedestrian ramp.



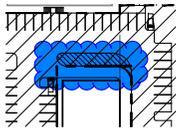
Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 3:54:37 PM
Status:
Color: ■
Layer:
Space:

Update site plan to show the parking stalls designated as ADA.

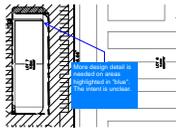


Subject: Text Box
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 3:57:29 PM
Status:
Color: ■
Layer:
Space:

Increasing the drawing scale and breaking the site up into multiple sheets. The site plan is too small to adequately show the preliminary design.



Subject: Cloud
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 3:58:42 PM
Status:
Color: ■
Layer:
Space:



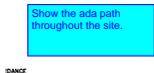
Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 4:26:19 PM
Status:
Color: □
Layer:
Space:

More design detail is needed on areas highlighted in "blue". The intent is unclear.



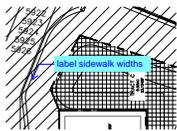
Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 3:56:47 PM
Status:
Color: ■
Layer:
Space:

fix ramp. This is overlapping the parking stall.



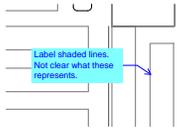
Subject: Text Box
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 4:03:37 PM
Status:
Color: ■
Layer:
Space:

Show the ada path throughout the site.



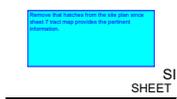
Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 4:00:31 PM
Status:
Color: ■
Layer:
Space:

label sidewalk widths



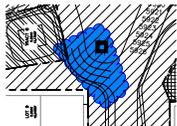
Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 4:01:59 PM
Status:
Color: ■
Layer:
Space:

Label shaded lines. Not clear what these represents.



Subject: Text Box
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 4:59:54 PM
Status:
Color: ■
Layer:
Space:

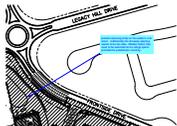
Remove that hatches from the site plan since sheet 7 tract map provides the pertinent information.



Subject: Cloud
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 4:13:40 PM
Status:
Color: ■
Layer:
Space:

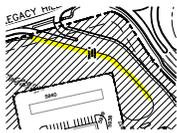


Subject: Cloud
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 4:14:52 PM
Status:
Color: ■
Layer:
Space:

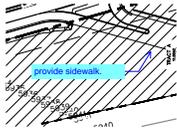


Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 4:27:33 PM
Status:
Color: ■
Layer:
Space:

provide receiving ramp on the eastern curb return. Additionally the driveway opening seems to be too wide. Median island may need to be extended and a refuge space provided for pedestrians crossing.

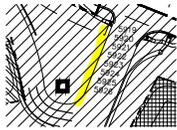


Subject: Highlight
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 4:15:53 PM
Status:
Color: ■
Layer:
Space:

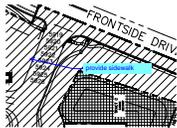


Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 4:16:16 PM
Status:
Color: ■
Layer:
Space:

provide sidewalk.

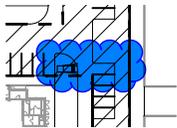


Subject: Highlight
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 4:17:27 PM
Status:
Color: ■
Layer:
Space:

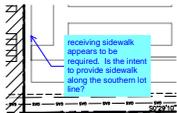


Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 4:17:38 PM
Status:
Color: ■
Layer:
Space:

provide sidewalk

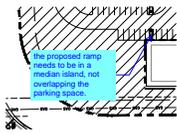


Subject: Cloud
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 4:19:25 PM
Status:
Color: ■
Layer:
Space:



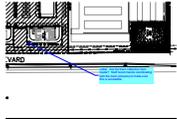
Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 4:20:04 PM
Status:
Color: ■
Layer:
Space:

receiving sidewalk appears to be required. Is the intent to provide sidewalk along the southern lot line?



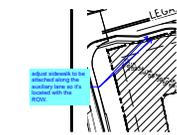
Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 4:21:43 PM
Status:
Color: ■
Layer:
Space:

the proposed ramp needs to be in a median island, not overlapping the parking space.



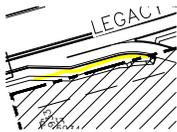
Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 4:24:40 PM
Status:
Color: ■
Layer:
Space:

Label. Are the trash collectors front loader? Staff recommends coordinating with the trash company to make sure this is accessible.



Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 5:02:51 PM
Status:
Color: ■
Layer:
Space:

adjust sidewalk to be attached along the auxiliary lane so it's located with the ROW.



Subject: Highlight
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/11/2022 5:02:18 PM
Status:
Color: ■
Layer:
Space:

Update Frontside Drive to show the street and striping configuration based on the traffic study recommendations.

ETH

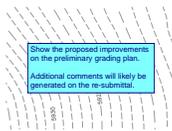
LOT DATA	
LOT	ST/ACL
1	HWY/18
1	HWY/18

Subject: Text Box
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/13/2022 12:42:06 PM
Status:
Color: ■
Layer:
Space:

H.P.M.

DATE	TIME	STATUS
10/13/22	12:42:19 PM	10/13/22
10/13/22	12:42:19 PM	10/13/22

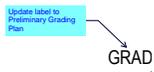
Subject: Image
Page Label: [2] 02 SITE PLAN
Author: dsdlaforce
Date: 10/13/2022 12:42:19 PM
Status:
Color: ■
Layer:
Space:



Subject: Text Box
Page Label: [3] 03 GRADING PLAN (1 OF 2)
Author: dsdlaforce
Date: 10/11/2022 4:30:34 PM
Status:
Color: ■
Layer:
Space:

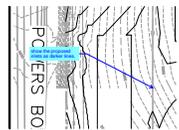
Show the proposed improvements on the preliminary grading plan.

Additional comments will likely be generated on the re-submittal.



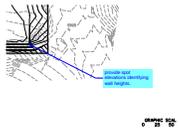
Subject: Callout
Page Label: [3] 03 GRADING PLAN (1 OF 2)
Author: dsdlaforce
Date: 10/10/2022 2:45:35 PM
Status:
Color: ■
Layer:
Space:

Update label to Preliminary Grading Plan



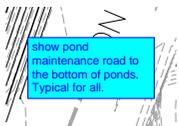
Subject: Callout
Page Label: [3] 03 GRADING PLAN (1 OF 2)
Author: dsdlaforce
Date: 10/11/2022 4:29:31 PM
Status:
Color: ■
Layer:
Space:

show the proposed inlets as darker lines.



Subject: Callout
Page Label: [4] 04 GRADING PLAN (2 OF 2)
Author: dsdlaforce
Date: 10/11/2022 4:32:17 PM
Status:
Color: ■
Layer:
Space:

provide spot elevations identifying wall heights.



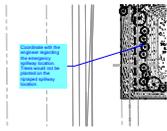
Subject: Text Box
Page Label: [4] 04 GRADING PLAN (2 OF 2)
Author: dsdlaforce
Date: 10/11/2022 4:33:22 PM
Status:
Color: ■
Layer:
Space:

show pond maintenance road to the bottom of ponds. Typical for all.



Subject: Callout
Page Label: [9] 09 PRELIMINARY LANDSCAPE PLAN
Author: dsdlaforce
Date: 10/11/2022 5:05:53 PM
Status:
Color: ■
Layer:
Space:

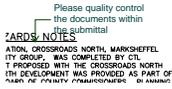
Coordinate with the planner/engineer. ROW dedication is required. Adjust tree location so it's not within the ROW.



Subject: Callout
Page Label: [9] 09 PRELIMINARY LANDSCAPE PLAN
Author: dsdlaforce
Date: 10/11/2022 5:07:14 PM
Status:
Color: ■
Layer:
Space:

Coordinate with the engineer regarding the emergency spillway location. Trees would not be planted on the ripraped spillway location.

dsdparsons (22)



Subject: Callout
Page Label: [1] 01 COVER SHEET
Author: dsdparsons
Date: 11/3/2022 12:36:10 PM
Status:
Color: ■
Layer:
Space:

Please quality control the documents within the submittal



Subject: Image
Page Label: [1] 01 COVER SHEET
Author: dsdparsons
Date: 11/3/2022 12:42:09 PM
Status:
Color: ■
Layer:
Space:



Subject: Image
Page Label: [1] 01 COVER SHEET
Author: dsdparsons
Date: 11/3/2022 12:35:56 PM
Status:
Color: ■
Layer:
Space:



Subject: Callout
Page Label: [1] 01 COVER SHEET
Author: dsdparsons
Date: 11/3/2022 12:44:11 PM
Status:
Color: ■
Layer:
Space:

verify this is correct



Subject: Callout
Page Label: [1] 01 COVER SHEET
Author: dsdparsons
Date: 11/3/2022 12:45:20 PM
Status:
Color: ■
Layer:
Space:

Please provide an email or document that the District does agree to maintain tracts, landscape etc...



Subject: Callout
Page Label: [1] 01 COVER SHEET
Author: dsdparsons
Date: 11/3/2022 12:55:25 PM
Status:
Color: ■
Layer:
Space:

identify the standard lot easements in a note

INDEX preliminary plan (not a site plan)

COVER SHEET	
SITE PLAN	
PRELIMINARY GRADING	(1 OF 2)
PRELIMINARY GRADING	(2 OF 2)
PRELIMINARY UTILITY	(1 OF 2)
PRELIMINARY UTILITY	(2 OF 2)

Subject: Callout
Page Label: [1] 01 COVER SHEET
Author: dsdparsons
Date: 11/3/2022 12:58:15 PM
Status:
Color: ■
Layer:
Space:

preliminary plan (not a site plan)

16,384/0.37
12,693/0.29
12,687/0.29
226,977/5.11
14,656/0.35
8,576/0.22
12,343/0.30
DATA
SF/AC
478,965/11.00
12,179/0.29
23,134/0.53

Tract Table needs to state the ownership/ and maintenance as well as the allowed uses with each tract boundary.

Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdparsons
Date: 11/3/2022 12:59:12 PM
Status:
Color: ■
Layer:
Space:

Tract Table needs to state the ownership/ and maintenance as well as the allowed uses with each tract (purpose)



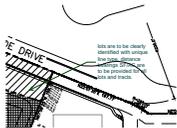
Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdparsons
Date: 11/3/2022 12:59:54 PM
Status:
Color: ■
Layer:
Space:

please identify percentage of lots, tracts, and private roads, public road dedication

please look at the prelim plan checklist and the missing items - Several items are missing- PCD staff will review when a more complete application is provided.

Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdparsons
Date: 11/3/2022 1:00:52 PM
Status:
Color: ■
Layer:
Space:

please look at the prelim plan checklist and the missing items . Several items are missing- PCD staff will review when a more complete application is provided.



Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdparsons
Date: 11/3/2022 1:01:44 PM
Status:
Color: ■
Layer:
Space:

lots are to be clearly identified with unique line type, distance bearings SF/AC are to be provided for all lots and tracts.



Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdparsons
Date: 11/3/2022 1:02:07 PM
Status:
Color: ■
Layer:
Space:

remove the proposed buildings because that is not final is it.



Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdparsons
Date: 11/3/2022 1:03:25 PM
Status:
Color: ■
Layer:
Space:

put the main private road in a tract so its clear that two points off access are defined; sidewalks shall be included see checklist



Subject: Callout
Page Label: [2] 02 SITE PLAN
Author: dsdparsons
Date: 11/3/2022 1:04:36 PM
Status:
Color: ■
Layer:
Space:

wall must be submitted to PPRBD for approval prior to the approval of the grading plan. Provide specific detail if your requesting early grading



Subject: Callout
Page Label: [9] 09 PRELIMINARY LANDSCAPE PLAN
Author: dsdparsons
Date: 11/3/2022 1:05:56 PM
Status:
Color: ■
Layer:
Space:

review landscape plan checklist add missing items



Subject: Callout
Page Label: [9] 09 PRELIMINARY LANDSCAPE PLAN
Author: dsdparsons
Date: 11/3/2022 1:06:30 PM
Status:
Color: ■
Layer:
Space:

provide the tables for the roadway landscape categories; and buffer