A REPLAT OF LOTS 8, 9, & 10, AND TRACT B "CLAREMONT BUSINESS PARK 2 FILING NO. 1", BEING A TRACT OF LAND IN THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER (SE 1/4, SE 1/4) OF SECTION 5 AND NORTHEAST QUARTER OF THE NODTHEAST OLIADTED (NE 1/4, NE 1/4) OF SECTION 8, T14S, R65W, OF THE 6TH P.M., EL PASO COUNTY, COLORADO

BE IT KNOWN BY THESE PRESENTS:

THAT DTV MEADOWBROOK LLC, AN ARIZONA DOMESTIC LIMITED LIABILITY COMPANY. BEING THE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND:

LEGAL DESCRIPTION:

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER (SE 1/4 SE 1/4) OF SECTION 5 AND THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER (NE 1/4 NE 1/4) OF SECTION 8, T14S, R65W OF THE 6th P.M., EL PASO COUNTY, COLORADO.

SAID PARCEL CONSISTING OF LOTS 8, 9, & 10, AND TRACT B "CLAREMONT BUSINESS PARK 2 FILING NO. 1" RECORDED UNDER RECEPTION NO. 221714714 OF THE RECORDS OF EL PASO COUNTY, COLORADO.

SAID PARCEL CONTAINS A CALCULATED AREA OF 212,276 SQUARE FEET (4.988 ACRES MORE OR LESS).

SEE GENERAL PLAT NOTE 1 THIS SHEET FOR BASIS OF BEARING.

DEDICATION:

THE UNDERSIGNED OWNER HAS CAUSED SAID PARCEL TO BE PLATTED INTO LOTS, A TRACT, AND EASEMENTS, AS SHOWN ON THE PLAT. THE UNDERSIGNED DOES HEREBY DEDICATE, GRANT AND CONVEY TO EL PASO COUNTY COLORADO THOSE PUBLIC EASEMENTS AS SHOWN ON THE PLAT; AND FURTHER RESTRICTS THE USE OF ALL PUBLIC EASEMENTS TO EL PASO COUNTY AND/OR ITS ASSIGNS, PROVIDED HOWEVER, THAT THE SOLE RIGHT AND AUTHORITY TO RELEASE OR QUITCLAIM ALL OR ANY SUCH PUBLIC EASEMENTS SHALL REMAIN EXCLUSIVELY VESTED IN EL PASO COUNTY. THIS PARCEL OF LAND AS PLATTED HEREIN SHALL BE KNOWN AS "CLAREMONT BUSINESS PARK 2 FILING NO. 2", IN EL PASO COUNTY, COLORADO.

OWNER:

COUNTY OF

DTV MEADOWBROOK LLC, AN ARIZONA DOMESTIC LIMITED LIABILITY 106 SOUTH KYRENE ROAD, SUITE 2

BY:		
	BRIAN ZURFK.	

CHANDLER, AZ 85226

<u>NOTARIAL</u>	<u>.</u>
STATE OF _)

THE ABOVE AND AFOREMENTIONED INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ______ DAY OF _______, 2023, A.D. BY BRIAN ZUREK, ______,

DTV MEADOWBROOK LLC, AN ARIZONA DOMESTIC LIMITED LIABILITY

WITNESS MY	HAND AND	OFFICIAL	SEAL:	
MY COMMISS	ION EXPIRES	S:		

EASEMENTS:

NOTARY PUBLIC: ____

UNLESS OTHERWISE INDICATED, ALL SIDE, FRONT, AND REAR LOT LINES ARE HEREBY PLATTED ON EITHER SIDE WITH A 5 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT UNLESS OTHERWISE INDICATED. ALL EXTERIOR SUBDIVISION BOUNDARIES ARE HEREBY PLATTED WITH A 7 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT. THE SOLE RESPONSIBILITY FOR MAINTENANCE OF THESE EASEMENTS IS HEREBY VESTED WITH THE INDIVIDUAL PROPERTY OWNERS.

EASEMENTS ARE AS SHOWN ON SHEET 3 OF THIS PLAT.

Easements: Unless otherwise indicated, all side, front, and rear lot lines are hereby platted on either side with a 10 foot (use 5 feet for lots smaller than 2.5 acres) public utility and drainage easement unless otherwise indicated. All exterior subdivision boundaries are hereby platted with a 20 foot (use 7 feet for lots smaller than 2.5 acres) public utility and drainage easement. The sole responsibility for maintenance of these easements is hereby vested with the individual property owners.

The undersigned, being all the owners, mortgagees, beneficiaries of deeds of trust and holders of other nterests in the land described herein, have laid out, subdivided, and platted said lands into lots, tracts. All public improvements so platted are hereby dedicated to public use and said owner does hereby covenant and agree that the public improvements will be constructed to El Paso County standards and that proper drainage and erosion control for same will be provided at said owner's expense, all to the satisfaction of the Board of County Commissioners of El Paso County, Colorado. Jpon acceptance by resolution, all public improvements so dedicated will become matters of naintenance by El Paso County, Colorado. The utility easements shown hereon are hereby dedicated for public utilities and communication systems and other purposes as shown hereon. The entities responsible for providing the services for which the easements are established are hereby granted the perpetual right of ingress and egress from and to adjacent properties for installation, maintenance, and replacement of utility lines and related facilities.

Owners/Mortgagee (Signature)

ATTEST: (if corporation)

Secretary/Treasurer

STATE OF COLORADO)

COUNTY OF

Acknowledged before me this ____ day of .

My commission expires

Nitness my hand and official seal_ Notary Public

Signatures of officers signing for a corporation shall be acknowledged as follows: (print name) as President/Vice President and print name as Secretary/Treasurer, name of corporation, a

Signatures of managers/members for a LLC shall be acknowledged as follows: (print name) as Manager/Member of company, a state limited liability company. (Note: Required when separate ratification statements for deed of trust holders, mortgagees are not

GENERAL PLAT NOTES:

- 1. BASIS OF BEARINGS: THE NORTH LINE OF LOTS 5, 6, AND 7 "CLAREMONT BUSINESS PARK 2 FILING NO. 1" AS RECORDED UNDER RECEPTION NO. 221714714 OF THE RECORDS OF EL PASO COUNTY, COLORADO, MONUMENTED AT THE NORTHEAST CORNER OF LOT 5 WITH A NO. 5 REBAR WITH ORANGE SURVEYOR'S CAP STAMPED "M&S CIVIL PLS 25966", FROM WHICH THE NORTHWEST CORNER OF LOT 7, MONUMENTED WITH A NO. 5 REBAR WITH ORANGE SURVEYOR'S CAP STAMPED "M&S CIVIL PLS 25966", BEARS S89°44'12"W, A DISTANCE OF 578.27 U.S. SURVEY FEET.
- 2. THE FLOOD INSURANCE RATE MAP (FIRM) PANEL NO. 08041C0756 G, WITH AN EFFECTIVE DATE OF DECEMBER 7, 2018 SHOWS THE SUBJECT PROPERTY LIES WITHIN ZONE X (AREA OF MINIMAL FLOOD HAZARD).
- 3. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY M&S CIVIL CONSULTANTS, INC. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING TITLE OF RECORD, EASEMENTS, AND RIGHTS-OF-WAY, M&S CIVIL CONSULTANTS, INC. RELIED UPON TITLE COMMITMENT ORDER NO. SC55104361.1, EFFECTIVE DATE OF FEBRUARY 22, 2023 AT 5:00 P.M., AS PREPARED BY LAND TITLE GUARANTEE COMPANY AS AGENT FOR OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY.
- 4. WATER AND WASTEWATER SERVICES FOR THIS SUBDIVISION ARE PROVIDED BY THE CHEROKEE METROPOLITAN DISTRICT SUBJECT TO THE DISTRICTS RULES REGULATIONS AND SPECIFICATIONS. THE OFFICE OF THE STATE ENGINEER HAS ISSUED AN OPINION OF WATER INADEQUACY BASED ON ITS ANALYSIS AND INTERPRETATION OF A STIPULATED AGREEMENT CONCERNING THE AVAILABILITY OF CERTAIN WATER RIGHTS FOR USE OUTSIDE OF THE UPPER BLACK SQUIRREL CREEK DESIGNATED BASIN, AND THUS FOUND INSUFFICIENCY OF WATER RESOURCES FOR THIS SUBDIVISION BASED ON THAT AGREEMENT. THIS INTERPRETATION DIFFERS FROM CERTAIN OPINIONS ISSUED BY THE OFFICE IN THE PAST. BASED ON ITS OWN REVIEW OF THE STIPULATED AGREEMENT AND ITS HISTORY (AND NOT ON THE AMOUNT OF WATER ACTUALLY AVAILABLE) THE BOARD OF COUNTY COMMISIONERS IN AN OPEN AND PUBLIC HEARING DID NOT ACCEPT THE INTERPRETATION OF THE STATE ENGINEERS OFFICE. THE BOARD OF COUNTY COMMISIONERS FOUND THAT CHEROKEE HAS COMMITED TO PROVIDE WATER SERVICE TO THE SUBDIVISION AND ASSERTED THAT ITS LONG TERM WATER SERVICE CAPABILITIES ARE SUFFICIENT. THE BOARD OF COUNTY COMMISIONERS MADE THIS DETERMINATION IN RELIANCE UPON THE TESTIMONY AND EXPERTISE PROVIDED BY CHEROKEE AT THE PUBLIC HEARING THEREON. AT THE HEARING, CHEROKEE ASSERTED THAT ITS PLANS AND CONTINUED FINANCIAL INVESTMENT IN INFRASTRUCTURE ARE DESIGNED TO ALLOW CHEROKEE TO CONTINUE TO PROVIDE THIS SUBDIVISION AND ITS EXISTING CUSTOMERS WITH Should be number WATER AND WASTEWATER SERVICES FOR 300 YEARS OR MORE.
- 5. ALL STRUCTURAL FOUNDATIONS SHALL BE LOCATED AND DESIGNED BY A PROFESSIONAL ENGINEER, CURRENTLY REGISTERED IN THE STATE OF COLORADO.
- 6. THE ADDRESSES EXHIBITED ON THIS PLAT ARE FOR INFORMATIONAL PURPOSES ONLY. THEY ARE NOT THE LEGAL DESCRIPTION AND ARE SUBJECT TO CHANGE.
- 7. ACCESS TO MEADOWBROOK PARKWAY SHALL BE VIA EL JEFE HEIGHTS AND GARY WATSON POINT (PRIVATE ROADS). THERE SHALL BE NO DIRECT ACCESS TO MEADOWBROOK PARKWAY, MARKSHEFFEL ROAD, OR U.S. HIGHWAY 24 ALLOWED.
- 8. ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS UNLESS OTHERWISE INDICTED. STRUCTURES, FENCES, MATERIALS, OR LANDSCAPING THAT COULD IMPEDE THE FLOW OF RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENT.
- 9. NO DRIVEWAY SHALL BE ESTABLISHED UNLESS AN ACCESS PERMIT HAS BEEN GRANTED BY EL PASO COUNTY.

APPROVED WITH SP-xx-xxx

DEVIATION TABLE

	LDC/ECM SECTION	CATEGORY	STANDARD	MODIFICATION	JUSTIFICATION
1	LDC 8.4.4.E.3, LDC 8.4.4.E.2 ECM SECTION 2.2.4.B.6/SD-4-1	PRIVATE ROAD ALLOWANCES	ALLOWANCE FOR A PRIVATE ROAD	ECM SECTION 2.2.4.B.6/SD-4-1, THE PRIVATE ROADWAY SECTION SHALL MEET ALL DETAILS OF THE LOCAL URBAN ROAD SECTION EXCEPT REQUESTS TO EXCLUDE THE 5' WIDE SIDEWALK (EACH SIDE) AS DEFINED IN THE DETAIL AND PROVIDE A 5' WIDE SIDEWALK ON THE ONE SIDE ONLY AND REQUEST TO REDUCE THE MINIMUM CENTERLINE RADIUS FROM 200' TO 100'. (REQUEST EL JEFE HEIGHTS ONLY.)	THIS DEVIATION REQUEST WOULD PROVIDE ALIGNMENT TO THE CURRENT CHARACTERISTICS, DESIGN AND APPEARANCE OF THE CLAREMONT BUSINESS PARK COMMERCIAL DEVELOPMENT. ROAD TO BE MAINTAINED BY CLAREMEONT BUSINESS PARK HOA.

WAIVER REQUESTS

- 1. PRIVATE ROAD: REQUESTING A WAIVER TO HAVE EL JEFE HEIGHTS TO BE A PRIVATE ROAD AND OWNED BY THE PROPERTY OWNERS. THE CLAREMONT BUSINESS PARK OWNERS ASSOCIATION HAS ACCEPTED THIS ROAD TO BE MAINTAINED WITH IN THE ASSOCIATION. THIS REQUEST IS CONSISTENT WITH CLAREMONT BUSINESS PARK FILINGS 1 & 2.
- 2. PRIVATE ROAD: IN ADDITION, WE ARE REQUESTING A WAIVER TO DEVIATE FROM ECM STANDARDS FOR EL JEFE HEIGHTS. THE STANDARDS WE ARE NOT MEETING IS NOT TO HAVE A PUBLIC SIDEWALK ON BOTH SIDES OF THE ROAD AND TO REDUCE THE SIDEWALK WE ARE INSTALLING TO 5'-0" WIDE AS DEFINED IN OUR DEVIATION REQUEST.
- 3. PRIVATE ROAD: IN ADDITION, WE ARE REQUESTING A WAIVER TO DEVIATE FROM THE ECM STANDARDS FOR EL JEFE HEIGHTS. THE STANDARDS WE ARE NOT MEETING IS THE MINIMUM OF A 200' CENTERLINE RADIUS IN ONE LOCATION ALONG THE EL JEFE HEIGHTS ROADWAY, AS DEFINED IN OUR DEVIATION REQUEST

GENERAL PLAT NOTES: (CONT.)

- 10. MAILBOXES SHALL BE INSTALLED IN ACCORDANCE WITH ALL EL PASO COUNTY AND UNITED STATES POSTAL SERVICES REGULATIONS.
- 11. NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACT ASSOCIATED WITH AIRPORT: THIS SERVES AS NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACTS ON THIS PROPERTY DUE TO ITS CLOSE PROXIMITY TO AN AIRPORT, WHICH IS BEING DISCLOSED TO ALL PROSPECTIVE PURCHASERS CONSIDERING THE USE OF THIS PROPERTY FOR RESIDENTIAL AND OTHER PURPOSES. THIS PROPERTY IS SUBJECT TO THE OVERFLIGHT AND ASSOCIATED NOISE OF ARRIVING AND DEPARTING AIRCRAFT DURING THE COURSE OF NORMAL AIRPORT OPERATIONS.ALL PROPERTY WITHIN THIS SUBDIVISION IS SUBJECT TO AVIGATION EASEMENTS AS RECORDED AT RECEPTION NO. 203019547 AND RECEPTION NO. 206095824 OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER.AS SUCH, FUTURE OWNERS SHOULD MAKE THEMSELVES FAMILIAR WITH THE FOLLOWING STIPULATIONS AND FACTS.
- NO MAN-MADE OR NON MAN-MADE OBSTRUCTIONS SHALL BE ALLOWED TO PENETRATE THE 40:1 APPROACH SURFACE.
- ALL EXTERIOR LIGHTING PLANS SHALL BE APPROVED BY THE DIRECTOR OF

ANTIANI TA DDENENT A HAZADA TA AIDADAET Where the Property is Located in the Airport Overlay Zone NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACT

AY ASSOCIATED WITH AIRPORT: This serves as notice of potential aircraft NAL AIDS overflight and noise impacts on this property due to its close proximity to an airport, which is being disclosed to all prospective purchasers considering the use of this property for residential and other purposes. This property is subject DR to the overflight and associated noise of arriving and departing aircraft during the course of normal airport operations. (Use when this plat is to provide the All property within this subdivision is subject to a Notice of Potential Aircraft

ED BY A Overflight and Noise Impact recorded at Reception No. the records of the El Paso County Clerk and Recorder. (Use when the Notice WILL NEED All property within this subdivision is subject to an Avigation Easement as VED BY ___, of the records of the El Paso recorded at Reception No. IS ISSUED County Clerk and Recorder. (Use only when the property is subject to an 30 TO 60 existing avigation easement as reflected in the title policy)

- PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS UNLESS OTHERWISE INDICTED. STRUCTURES, FENCES, MATERIALS, OR LANDSCAPING THAT COULD IMPEDE THE FLOW OF RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENT.
- 12. THE PROPERTY IS SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS AND GRANT OF EASEMENTS AS RECORDED AT RECEPTION NO. 12, fix all numbers 206031585 OF THE RECORDS OF EL PASO COUNTY.
 - 13. ALL LOTS SHALL BE SUBJECT TO THE DECLARATIONS OF THE CLAREMONT BUSINESS PARK OWNERS ASSOCIATION AND ARE SUBJECT TO ASSOCIATION FEES. ROAD MAINTENANCE SHALL BE PROVIDED BY THE CLAREMONT BUSINESS PARK OWNERS ASSOCIATION (EL JEFE HEIGHTS).
 - 14. THE PRIVATE ROADS AS SHOWN ON THIS PLAT WILL NOT BE MAINTAINED BY EL PASO COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN CONFORMANCE WITH EL PASO COUNTY STANDARDS IN EFFECT AT THE DATE OF THE REQUEST FOR DEDICATION AND MAINTENANCE. PRIVATE ROADS ARE TO BE MAINTAINED BY THE CLAREMONT OWNERS ASSOCIATION.
 - 15. THE PROPERTY IS WITHIN THE SERVICE AREA OF THE CENTRAL MARKSHEFFEL METROPOLITAN DISTRICT AND, AS SUCH, IS SUBJECT TO AN ASSESSMENT FOR THE CONSTRUCTION OF MARKSHEFFEL ROAD.
 - 16. THE FOLLOWING REPORTS HAVE BEEN SUBMITTED IN ASSOCIATION WITH THE FINAL PLAT FOR THIS SUBDIVISION AND ARE ON FILE AT THE COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT: TRANSPORTATION IMPACT STUDY; DRAINAGE REPORT.

GENERAL PLAT NOTES: (CONT.)

- 17. PUBLIC AND COMMON SUBDIVISION IMPROVEMENTS: NO LOT OR INTEREST THEREIN, SHALL BE SOLD, CONVEYED, OR TRANSFERRED WHETHER BY DEED OR BY CONTRACT, NOR SHALL BUILDING PERMITS BE ISSUED, UNTIL AND UNLESS EITHER THE REQUIRED PUBLIC AND COMMON DEVELOPMENT IMPROVEMENTS HAVE BEEN CONSTRUCTED AND COMPLETED AND PRELIMINARILY ACCEPTED IN ACCORDANCE WITH THE SUBDIVISION IMPROVEMENTS AGREEMENT BETWEEN THE APPLICANT/OWNER AND EL PASO COUNTY AS RECORDED UNDER RECEPTION NO. 221059188 IN THE OFFICE OF THE CLERK AND RECORDER OF EL PASO COUNTY, COLORADO OR, IN THE ALTERNATIVE, OTHER COLLATERAL IS PROVIDED TO MAKE PROVISION FOR THE COMPLETION OF SAID IMPROVEMENTS IN ACCORDANCE WITH THE EL PASO COUNTY LAND DEVELOPMENT CODE AND ENGINEERING CRITERIA MANUAL. ANY SUCH ALTERNATIVE COLLATERAL MUST BE APPROVED BY THE BOARD OF COUNTY COMMISSIONERS OR, IF PERMITTED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT, BY THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DIRECTOR AND MEET THE POLICY AND PROCEDURE REQUIREMENTS OF EL PASO COUNTY PRIOR TO THE RELEASE BY THE COUNTY OF ANY LOTS FOR SALE, CONVEYANCE OR TRANSFER.
- THIS PLAT RESTRICTION MAY BE REMOVED OR RESCINDED BY THE BOARD OF COUNTY COMMISSIONERS OR, IF PERMITTED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT, BY THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DIRECTOR UPON EITHER APPROVAL OF AN ALTERNATIVE FORM OF COLLATERAL OR COMPLETION AND PRELIMINARY ACCEPTANCE BY THE EL PASO BOARD OF COUNTY COMMISSIONERS OF ALL IMPROVEMENTS REQUIRED TO BE CONSTRUCTED AND COMPLETED IN ACCORDANCE WITH SAID SUBDIVISION IMPROVEMENTS AGREEMENT. THE PARTIAL RELEASE OF LOTS FOR SALE, CONVEYANCE OR TRANSFER MAY ONLY BE GRANTED IN ACCORDANCE WITH ANY PLANNED PARTIAL RELEASE OF LOTS AUTHORIZED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT.
- 18. THE INDIVIDUAL LOT PURCHASER(S) SHALL BE RESPONSIBLE FOR FINAL DESIGN, CONSTRUCTION, AND MAINTENANCE OF PRIVATE DETENTION POND/WATER QUALITY BMP(S) AS DESCRIBED IN THE APPROVED PRELIMINARY/FINAL DRAINAGE REPORT FOR THIS SUBDIVISION. FINAL DESIGN, CONSTRUCTION DRAWINGS AND DRAINAGE REPORT UPDATES FOR THE DETENTION POND/WATER QUALITY BMP(S) SERVING EACH LOT SHALL BE PROVIDED WITH SITE DEVELOPMENT PLAN SUBMITTALS. THE DETENTION POND/WATER QUALITY BMP(S) SHALL BE CONSTRUCTED AND COMPLETED PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS FOR THE SUBJECT LOTS. THE SUBDIVISION DEVELOPER IS RESPONSIBLE FOR PROVIDING FINANCIAL ASSURANCES AS INDICATED IN THE SUBDIVISION IMPROVEMENTS AGREEMENT AND ESTIMATE OF GUARANTEED FUNDS FOR ALL DETENTION PONDS/WATER QUALITY BMPS. ALL DETENTION PONDS/WATER QUALITY BMPS SHALL BE CONSTRUCTED PRIOR TO THE RELEASE OF SAID FINANCIAL ASSURANCES.INDIVIDUAL LOT PURCHASERS SHALL ENTER INTO A PRIVATE DETENTION BASIN/ STORMWATER QUALITY BMP MAINTENANCE AGREEMENT AND EASEMENT ("AGREEMENT") PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS FOR THE SUBJECT LOTS. IN THE CASE THAT THE DEVELOPER CONSTRUCTS THE DETENTION POND(S), THE DEVELOPER SHALL ENTER INTO AN AGREEMENT FOR EACH POND CONSTRUCTED.
- 19. THE APPROVAL OF THIS REPLAT VACATES ALL PRIOR PLATS FOR THE AREA DESCRIBED BY THIS REPLAT.

SURVEYORS CERTIFICATE

I VERNON P. TAYLOR, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO. DO HEREBY CERTIFY THAT THIS PLAT TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE ON DATE OF SURVEY, BY ME OR UNDER MY DIRECT SUPERVISION AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON; THAT MATHEMATICAL CLOSURE ERRORS ARE LESS THAN 1:10,000; AND THAT SAID PLAT HAS BEEN PREPARED IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS OF THE STATE OF COLORADO DEALING WITH MONUMENTS, SUBDIVISION, OR SURVEYING OF LAND AND ALL APPLICABLE PROVISIONS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE.

I ATTEST THE ABOVE ON THIS DAY OF	. 2023.

VERNON P. TAYLOR COLORADO PLS NO. 25966, FOR AND ON BEHALF OF M&S CIVIL CONSULTANTS, INC

NOTICE:

ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT EXECUTIVE DIRECTOR CERTIFICATE:

THIS PLAT FOR "CLAREMONT BUSINESS PARK 2 FILING NO. 2" WAS APPROVED FOR FILING BY THE EXECUTIVE DIRECTOR OF THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DIRECTOR ON THIS _____ DAY OF 2023, SUBJECT TO ANY NOTES SPECIFIED HEREON AND ANY CONDITIONS INCLUDED IN THE RECORD OF ADMINISTRATIVE ACTION. THE DEDICATIONS OF LAND TO THE PUBLIC (STREETS AND EASEMENTS) ARE ACCEPTED, BUT PUBLIC IMPROVEMENTS THEREON WILL NOT BECOME MAINTENANCE RESPONSIBILITY OF EL PASO COUNTY UNTIL PRELIMINARY ACCEPTANCE OF THE PUBLIC IMPROVEMENTS IN ACCORDANCE WITH THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE AND ENGINEERING CRITERIA MANUAL AND THE SUBDIVISION IMPROVEMENTS AGREEMENT.

XECUTIVE DIRECTOR,	PLANNING	AND	COMMUNITY	DATE	
EVELOPMENT DEPART	MENT				

CLERK AND RECORDER:

STATE OF COLORADO COUNTY OF EL PASO

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED	FOR RECORD IN MY	OFFICE AT
O'CLOCK, THIS DAY OF _		2023, A.D.
AND DULY RECORDED UNDER RECEPTION NO		OF THE
RECORDS OF EL PASO COUNTY, COLORADO.		

STEVE SCHLEIKER. RECORDER

SURCHARGE:	BY:		
		DEPUTY	

DRAINAGE FEE: _____ PARK FEE:

SUMMARY:

4.988 ACRES 100.00%

Name, address and telephone number of the owner of record located in the lower right hand corner

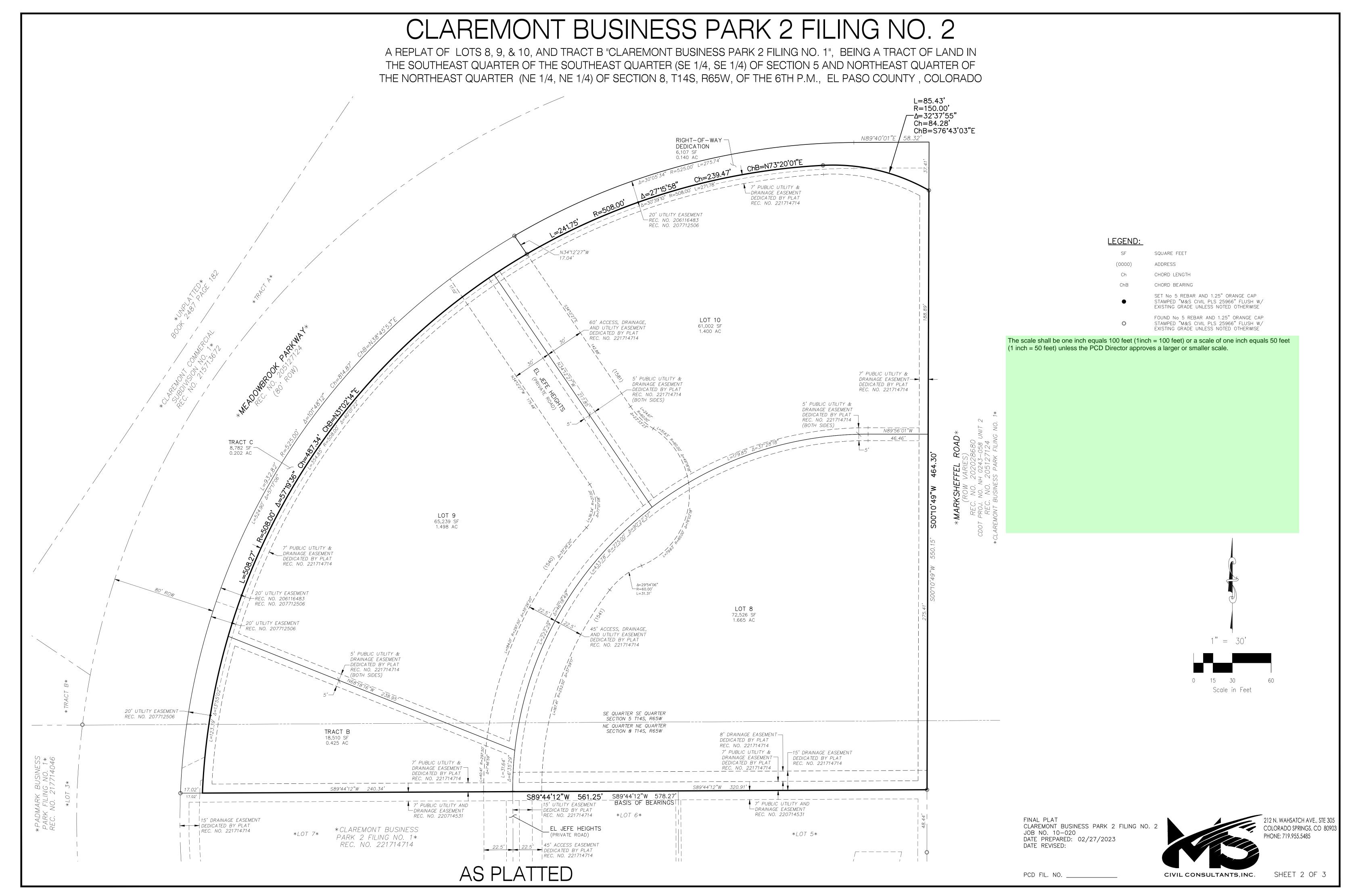
FINAL PLAT CLAREMONT BUSINESS PARK 2 FILING NO. 2 JOB NO. 10-020 DATE PREPARED: 02/27/2023 DATE REVISED:



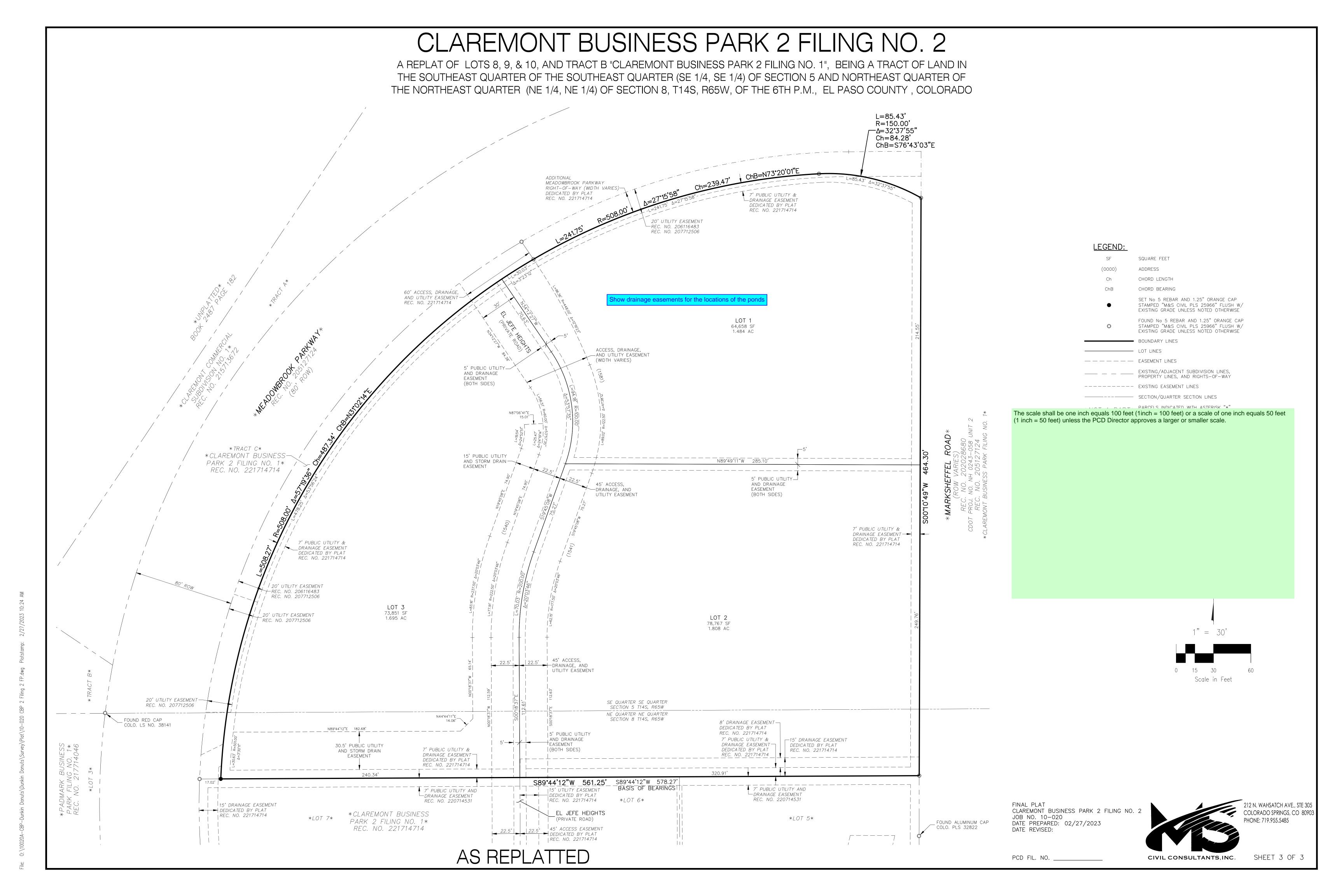
212 N. WAHSATCH AVE., STE 30. COLORADO SPRINGS, CO 80903 PHONE: 719.955.5485

SHEET 1 OF 3

PCD FIL. NO. ____



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V1_Final Plat Redlines.pdf Markup Summary

Kylie Bagley (9)



Subject: Text Box Page Label: Sheet 1 - Cover Author: Kylie Bagley Date: 3/29/2023 12:47:09 PM

Length: 0 Area: 0 Volume: 0 Name, address and telephone number of the owner of record located in the lower right hand



Subject: Owner Certification Page Label: Sheet 1 - Cover Author: Kylie Bagley Date: 3/29/2023 12:50:32 PM Length: 0

Area: 0 Volume: 0

The undersigned, being all the owners,
mortgagees, beneficiaries of deeds of trust and holders of other interests in the land described herein, have laid out, subdivided, and platted said lands into lots, tracts, streets, and easements (use which are applicable) as shown hereon under the name and subdivision of
improvements so platted are hereby dedicated to public use and said owner does hereby covenant and agree that the public improvements will be constructed to El Paso County standards and that proper drainage and erosion control for same will be provided at said owner's expense, all to the satisfaction of the Board of County Commissioners of El Paso County, Colorado. Upon acceptance by resolution, all public improvements so dedicated will become matters of maintenance by El Paso County, Colorado. The utility easements shown hereon are hereby dedicated for public utilities and communication systems and other purposes as shown hereon. The entities responsible for providing the services for which the easements are established are hereby granted the perpetual right of ingress and egress from and to adjacent properties for installation, maintenance, and replacement of utility lines and related facilities.
Owners/Mortgagee (Signature)
By: Title:
ATTEST: (if corporation)
Secretary/Treasurer
STATE OF COLORADO)) ss.
COUNTY OF)
Acknowledged before me this day of, 200 by as
My commission expires
Witness my hand and official seal Notary Public Signatures of officers signing for a corporation shall be acknowledged as follows: (print name) as President/Vice President and print name as Secretary/Treasurer, name of corporation, a state corporation.

Signatures of managers/members for a LLC shall be acknowledged as follows:
(print name) as Manager/Member of company, a state limited liability company. (Note: Required when separate ratification statements for deed of trust holders, mortgagees are not utilized)



Subject: Arrow

Page Label: Sheet 1 - Cover Author: Kylie Bagley

Date: 3/29/2023 12:50:43 PM

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WITH THE NUMBERS PROPERTY CHINESS.



Subject: Easements Page Label: Sheet 1 - Cover Author: Kylie Bagley Date: 3/29/2023 2:42:27 PM

Length: 0 Area: 0 Volume: 0



Subject: Airport Overlay
Page Label: Sheet 1 - Cover

Author: Kylie Bagley Date: 3/29/2023 2:47:22 PM

Length: 0 Area: 0 Volume: 0

Easements:

Unless otherwise indicated, all side, front, and rear lot lines are hereby platted on either side with a 10 foot (use 5 feet for lots smaller than 2.5 acres) public utility and drainage easement unless otherwise indicated. All exterior subdivision boundaries are hereby platted with a 20 foot (use 7 feet for lots smaller than 2.5 acres) public utility and drainage easement. The sole responsibility for maintenance of these easements is hereby vested with the individual property owners.

Where the Property is Located in the Airport Overlay Zone

NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACT

ASSOCIATED WITH AIRPORT: This serves as notice of potential aircraft overflight and noise impacts on this property due to its close proximity to an airport, which is being disclosed to all prospective purchasers considering the use of this property for residential and other purposes. This property is subject to the overflight and associated noise of arriving and departing aircraft during the course of normal airport operations. (Use when this plat is to provide the notice)

All property within this subdivision is subject to a Notice of Potential Aircraft Overflight and Noise Impact recorded at Reception No.

_____, of the records of the El Paso County Clerk and Recorder. (Use when the Notice has previously been recorded)

All property within this subdivision is subject to an Avigation Easement as recorded at Reception No.

, of the records of the El Paso

County Clerk and Recorder. (Use only when the property is subject to an existing avigation easement as reflected in the title policy)

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Subject: Arrow

Page Label: Sheet 1 - Cover Author: Kylie Bagley Date: 3/29/2023 2:46:54 PM

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Subject: Architect

Page Label: Sheet 1 - Cover Author: Kylie Bagley Date: 3/29/2023 2:48:11 PM

Length: 0 Area: 0 Volume: 0 Should be number 12, fix all numbers after



Subject: Text Box

Page Label: Sheet 2 - As Platted

Author: Kylie Bagley

Date: 3/29/2023 12:45:14 PM

Length: 0 Area: 0 Volume: 0 The scale shall be one inch equals 100 feet (1inch = 100 feet) or a scale of one inch equals 50 feet (1 inch = 50 feet) unless the PCD Director approves a larger or smaller scale.



Subject: Text Box

Page Label: Sheet 3 - As Replatted

Author: Kylie Bagley

Date: 3/29/2023 12:45:51 PM

Length: 0 Area: 0 Volume: 0 The scale shall be one inch equals 100 feet (1inch = 100 feet) or a scale of one inch equals 50 feet (1 inch = 50 feet) unless the PCD Director approves a

larger or smaller scale.

CDurham (4)

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Author: CDurham G A WAIVER TO DEVIATE FROM

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Deviation

Carlos (2)

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Subject: Text Box

Page Label: Sheet 1 - Cover

Author: Carlos

Date: 3/29/2023 3:18:11 PM

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Subject: Text Box

Page Label: Sheet 3 - As Replatted
Author: Carlos
Date: 3/27/2023 11:41:00 AM
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Show drainage easements for the locations of the

ponds