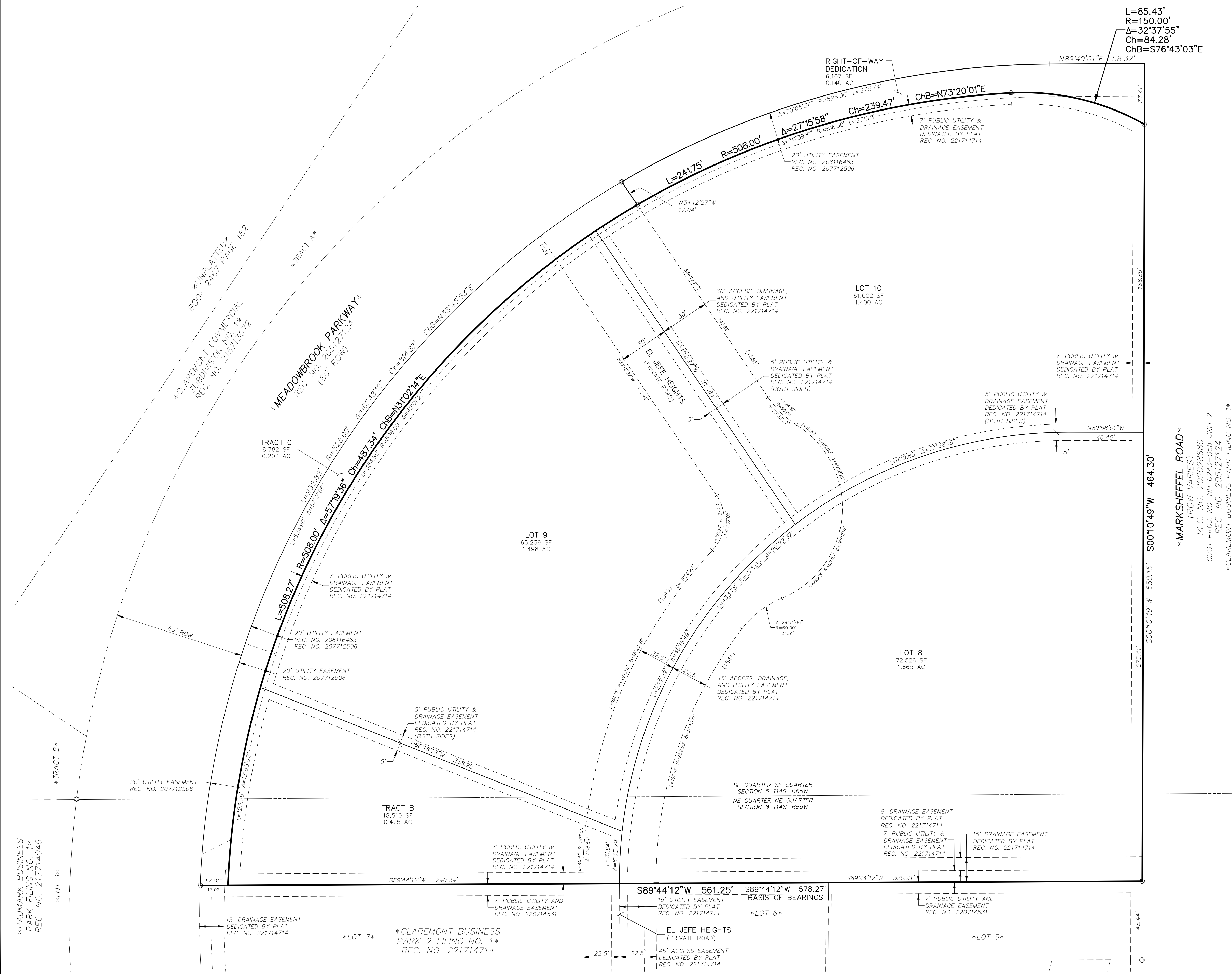




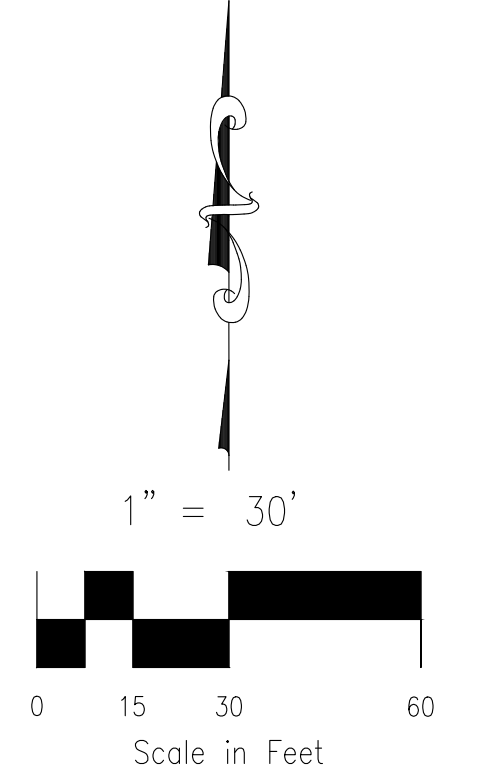
# CLAREMONT BUSINESS PARK 2 FILING NO. 2

A REPLAT OF LOTS 8, 9, & 10, AND TRACT B "CLAREMONT BUSINESS PARK 2 FILING NO. 1", BEING A TRACT OF LAND IN THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER (SE 1/4, SE 1/4) OF SECTION 5 AND NORTHEAST QUARTER OF THE NORTHEAST QUARTER (NE 1/4, NE 1/4) OF SECTION 8, T14S, R65W, OF THE 6TH P.M., EL PASO COUNTY, COLORADO



- LEGEND:**
- SF SQUARE FEET
  - (0000) ADDRESS
  - Ch CHORD LENGTH
  - ChB CHORD BEARING
  - SET No 5 REBAR AND 1.25" ORANGE CAP STAMPED "M&S CIVIL PLS 25966" FLUSH W/ EXISTING GRADE UNLESS NOTED OTHERWISE
  - FOUND No 5 REBAR AND 1.25" ORANGE CAP STAMPED "M&S CIVIL PLS 25966" FLUSH W/ EXISTING GRADE UNLESS NOTED OTHERWISE

The scale shall be one inch equals 100 feet (1inch = 100 feet) or a scale of one inch equals 50 feet (1 inch = 50 feet) unless the PCD Director approves a larger or smaller scale.



FINAL PLAT  
CLAREMONT BUSINESS PARK 2 FILING NO. 2  
JOB NO. 10-020  
DATE PREPARED: 02/27/2023  
DATE REVISED:



AS PLATTED

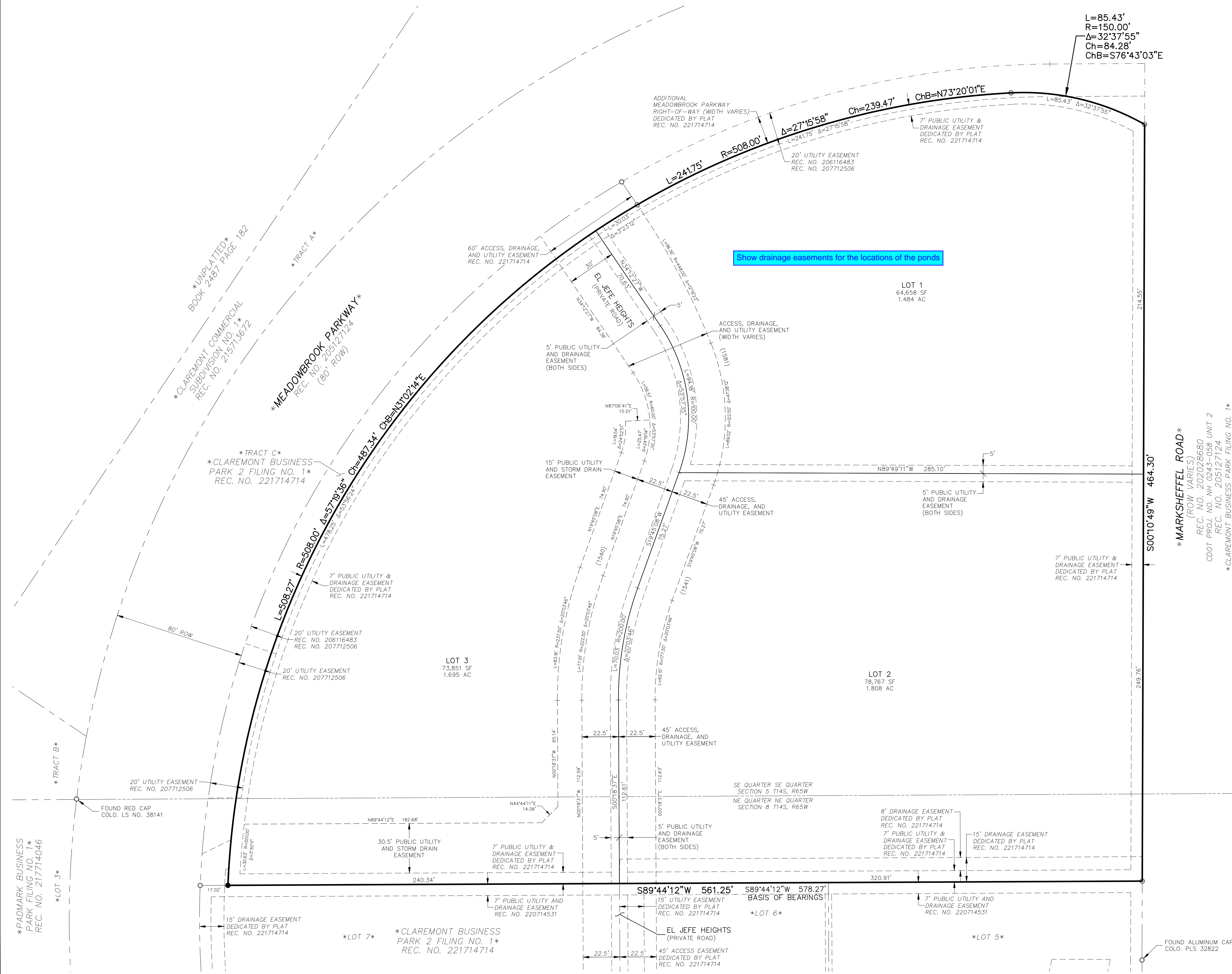
PCD FIL. NO. \_\_\_\_\_

SHEET 2 OF 3

File: C:\100204-CBP-Dunkin\Drawings\Drawings\Survey\Plat\10-020 CBP 2 Filing 2 FP.dwg Plotstamp: 2/27/2023 10:23 AM

# CLAREMONT BUSINESS PARK 2 FILING NO. 2

A REPLAT OF LOTS 8, 9, & 10, AND TRACT B "CLAREMONT BUSINESS PARK 2 FILING NO. 1", BEING A TRACT OF LAND IN THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER (SE 1/4, SE 1/4) OF SECTION 5 AND NORTHEAST QUARTER OF THE NORTHEAST QUARTER (NE 1/4, NE 1/4) OF SECTION 8, T14S, R65W, OF THE 6TH P.M., EL PASO COUNTY, COLORADO

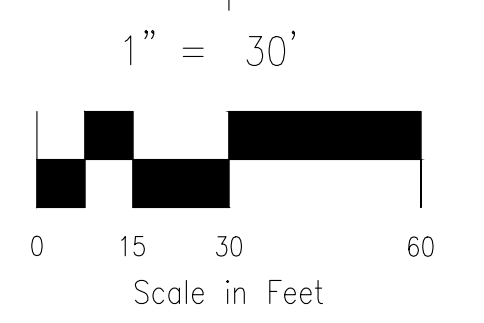


Show drainage easements for the locations of the ponds

**LEGEND:**

SF	SQUARE FEET
(0000)	ADDRESS
Ch	CHORD LENGTH
ChB	CHORD BEARING
●	SET No 5 REBAR AND 1.25" ORANGE CAP STAMPED "M&S CIVIL PLS 25966" FLUSH W/ EXISTING GRADE UNLESS NOTED OTHERWISE
○	FOUND No 5 REBAR AND 1.25" ORANGE CAP STAMPED "M&S CIVIL PLS 25966" FLUSH W/ EXISTING GRADE UNLESS NOTED OTHERWISE
—	BOUNDARY LINES
- - -	LOT LINES
- - - - -	EASEMENT LINES
- - - - -	EXISTING/ADJACENT SUBDIVISION LINES, PROPERTY LINES, AND RIGHTS-OF-WAY
- - - - -	EXISTING EASEMENT LINES
- - - - -	SECTION/QUARTER SECTION LINES

The scale shall be one inch equals 100 feet (1 inch = 100 feet) or a scale of one inch equals 50 feet (1 inch = 50 feet) unless the PCD Director approves a larger or smaller scale.



AS REPLATTED

FINAL PLAT  
CLAREMONT BUSINESS PARK 2 FILING NO. 2  
JOB NO. 10-020  
DATE PREPARED: 02/27/2023  
DATE REVISED:

212 N. WAHSATCH AVE., STE 305  
COLORADO SPRINGS, CO 80903  
PHONE: 719.955.5485

CIVIL CONSULTANTS, INC.

PCD FIL. NO. \_\_\_\_\_

SHEET 3 OF 3

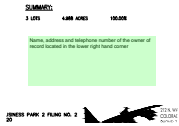
File: C:\100204-CBP-Dunkin\Drawings\Drawings\Survey\Files\10-020 CBP 2 Filing 2 FP.dwg Plotstamp: 2/27/2023 10:24 AM

# V1\_Final Plat Redlines.pdf Markup Summary

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Kylie Bagley (9)

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**Subject:** Text Box  
**Page Label:** Sheet 1 - Cover  
**Author:** Kylie Bagley  
**Date:** 3/29/2023 12:47:09 PM  
**Length:** 0  
**Area:** 0  
**Volume:** 0

Name, address and telephone number of the owner of record located in the lower right hand corner



**Subject:** Owner Certification  
**Page Label:** Sheet 1 - Cover  
**Author:** Kylie Bagley  
**Date:** 3/29/2023 12:50:32 PM  
**Length:** 0  
**Area:** 0  
**Volume:** 0

**Owners Certificate**

The undersigned, being all the owners, mortgagees, beneficiaries of deeds of trust and holders of other interests in the land described herein, have laid out, subdivided, and platted said lands into lots, tracts, streets, and easements (use which are applicable) as shown hereon under the name and subdivision of

\_\_\_\_\_. All public improvements so platted are hereby dedicated to public use and said owner does hereby covenant and agree that the public improvements will be constructed to El Paso County standards and that proper drainage and erosion control for same will be provided at said owner's expense, all to the satisfaction of the Board of County Commissioners of El Paso County, Colorado. Upon acceptance by resolution, all public improvements so dedicated will become matters of maintenance by El Paso County, Colorado. The utility easements shown hereon are hereby dedicated for public utilities and communication systems and other purposes as shown hereon. The entities responsible for providing the services for which the easements are established are hereby granted the perpetual right of ingress and egress from and to adjacent properties for installation, maintenance, and replacement of utility lines and related facilities.

\_\_\_\_\_  
 Owners/Mortgagee (Signature)

By:  
 Title:

ATTEST: (if corporation)

Secretary/Treasurer

STATE OF COLORADO)  
 ) ss.  
 COUNTY OF \_\_\_\_\_)

Acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 200\_\_ by \_\_\_\_\_ as \_\_\_\_\_.

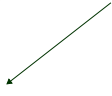
My commission expires \_\_\_\_\_

Witness my hand and official seal \_\_\_\_\_  
 Notary Public

Signatures of officers signing for a corporation shall be acknowledged as follows:  
 (print name) as President/Vice President and print name as Secretary/Treasurer, name of corporation, a state corporation.

Signatures of managers/members for a LLC shall be acknowledged as follows:  
 (print name) as Manager/Member of company, a state limited liability company.  
 (Note: Required when separate ratification statements for deed of trust holders, mortgagees are not utilized)

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**Subject:** Arrow  
**Page Label:** Sheet 1 - Cover  
**Author:** Kylie Bagley  
**Date:** 3/29/2023 12:50:43 PM  
**Length:** 0  
**Area:** 0  
**Volume:** 0

WITH THE RESPECTIVE PROPERTY OWNERS,  
AS ARE AS SHOWN ON SHEET 2 OF THE PLAN.

Easements  
Certain information indicated, all side, front, and rear lot lines are hereby granted unless otherwise indicated. All easements are subject to the provisions of the applicable public utility and drainage easements. The sole responsibility for maintenance of these easements is hereby vested with the individual property owners.

**Subject:** Easements  
**Page Label:** Sheet 1 - Cover  
**Author:** Kylie Bagley  
**Date:** 3/29/2023 2:42:27 PM  
**Length:** 0  
**Area:** 0  
**Volume:** 0

**Easements:**

Unless otherwise indicated, all side, front, and rear lot lines are hereby platted on either side with a 10 foot (use 5 feet for lots smaller than 2.5 acres) public utility and drainage easement unless otherwise indicated. All exterior subdivision boundaries are hereby platted with a 20 foot (use 7 feet for lots smaller than 2.5 acres) public utility and drainage easement. The sole responsibility for maintenance of these easements is hereby vested with the individual property owners.

ALL PROPERTY OWNERS ARE ADVISED AND ADVISED HEREBY THAT THE PROPERTY IS LOCATED IN THE AIRPORT OVERLAY ZONE AND IS SUBJECT TO THE AIRPORT OVERLAY ZONE REGULATIONS AND NOTICES OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACT ASSOCIATED WITH AIRPORT. THIS NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACT ASSOCIATED WITH AIRPORT IS BEING DISCLOSED TO ALL PROSPECTIVE PURCHASERS CONSIDERING THE USE OF THIS PROPERTY FOR RESIDENTIAL AND OTHER PURPOSES. THIS PROPERTY IS SUBJECT TO THE OVERFLIGHT AND ASSOCIATED NOISE OF ARRIVING AND DEPARTING AIRCRAFT DURING THE COURSE OF NORMAL AIRPORT OPERATIONS. (USE WHEN THIS PLAT IS TO PROVIDE THE NOTICE)

**Subject:** Airport Overlay  
**Page Label:** Sheet 1 - Cover  
**Author:** Kylie Bagley  
**Date:** 3/29/2023 2:47:22 PM  
**Length:** 0  
**Area:** 0  
**Volume:** 0

Where the Property is Located in the Airport Overlay Zone

**NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACT ASSOCIATED WITH AIRPORT:** This serves as notice of potential aircraft overflight and noise impacts on this property due to its close proximity to an airport, which is being disclosed to all prospective purchasers considering the use of this property for residential and other purposes. This property is subject to the overflight and associated noise of arriving and departing aircraft during the course of normal airport operations. (Use when this plat is to provide the notice)  
All property within this subdivision is subject to a Notice of Potential Aircraft Overflight and Noise Impact recorded at Reception No. \_\_\_\_\_, of the records of the El Paso County Clerk and Recorder. (Use when the Notice has previously been recorded)  
All property within this subdivision is subject to an Avigation Easement as recorded at Reception No. \_\_\_\_\_, of the records of the El Paso County Clerk and Recorder. (Use only when the property is subject to an existing avigation easement as reflected in the title policy)

IF THIS PLAN OR THE COUNTY COMMISSIONERS IN EXERCISE OF THE POWERS GRANTED TO THEM BY THE CITY OF EL PASO, TEXAS, FIND THAT THE INFORMATION AND DATA SUBMITTED HEREON IS TRUE AND CORRECT AND THAT THE PROPERTY IS LOCATED IN THE AIRPORT OVERLAY ZONE AND IS SUBJECT TO THE AIRPORT OVERLAY ZONE REGULATIONS AND NOTICES OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACT ASSOCIATED WITH AIRPORT. THIS NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACT ASSOCIATED WITH AIRPORT IS BEING DISCLOSED TO ALL PROSPECTIVE PURCHASERS CONSIDERING THE USE OF THIS PROPERTY FOR RESIDENTIAL AND OTHER PURPOSES. THIS PROPERTY IS SUBJECT TO THE OVERFLIGHT AND ASSOCIATED NOISE OF ARRIVING AND DEPARTING AIRCRAFT DURING THE COURSE OF NORMAL AIRPORT OPERATIONS. (USE WHEN THIS PLAT IS TO PROVIDE THE NOTICE)

**Subject:** Arrow  
**Page Label:** Sheet 1 - Cover  
**Author:** Kylie Bagley  
**Date:** 3/29/2023 2:46:54 PM  
**Length:** 0  
**Area:** 0  
**Volume:** 0

THE FEDERAL AVIATION ADMINISTRATION (FAA) HAS DESIGNATED THE AIRPORT OVERLAY ZONE AS A CLASS C AIRPORT AND HAS ISSUED A NOTIFICATION TO AFFECT AIRCRAFT OPERATIONS IN THE AIRPORT OVERLAY ZONE. THIS NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACT ASSOCIATED WITH AIRPORT IS BEING DISCLOSED TO ALL PROSPECTIVE PURCHASERS CONSIDERING THE USE OF THIS PROPERTY FOR RESIDENTIAL AND OTHER PURPOSES. THIS PROPERTY IS SUBJECT TO THE OVERFLIGHT AND ASSOCIATED NOISE OF ARRIVING AND DEPARTING AIRCRAFT DURING THE COURSE OF NORMAL AIRPORT OPERATIONS. (USE WHEN THIS PLAT IS TO PROVIDE THE NOTICE)

**Subject:** Architect  
**Page Label:** Sheet 1 - Cover  
**Author:** Kylie Bagley  
**Date:** 3/29/2023 2:48:11 PM  
**Length:** 0  
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**Volume:** 0

Should be number 12, fix all numbers after



**Subject:** Text Box  
**Page Label:** Sheet 2 - As Platted  
**Author:** Kylie Bagley  
**Date:** 3/29/2023 12:45:14 PM  
**Length:** 0  
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**Volume:** 0

The scale shall be one inch equals 100 feet (1 inch = 100 feet) or a scale of one inch equals 50 feet (1 inch = 50 feet) unless the PCD Director approves a larger or smaller scale.



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**Page Label:** Sheet 3 - As Replatted  
**Author:** Kylie Bagley  
**Date:** 3/29/2023 12:45:51 PM  
**Length:** 0  
**Area:** 0  
**Volume:** 0

The scale shall be one inch equals 100 feet (1 inch = 100 feet) or a scale of one inch equals 50 feet (1 inch = 50 feet) unless the PCD Director approves a larger or smaller scale.

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**CDurham (4)**

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**Author:** CDurham  
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**Author:** CDurham  
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**Author:** CDurham  
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**Page Label:** Sheet 1 - Cover  
**Author:** CDurham  
**Date:** 3/30/2023 8:55:53 AM  
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Deviation

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**Carlos (2)**

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**Subject:** Text Box  
**Page Label:** Sheet 1 - Cover  
**Author:** Carlos  
**Date:** 3/29/2023 3:18:11 PM  
**Length:** 0  
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VR233

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**Subject:** Text Box  
**Page Label:** Sheet 3 - As Replatted  
**Author:** Carlos  
**Date:** 3/27/2023 11:41:00 AM  
**Length:** 0  
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Show drainage easements for the locations of the ponds