

THE COTTAGES AT MESA RIDGE
CONSTRUCTION DRAWING
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1. EL PASO COUNTY CONSTRUCTION DOCUMENTS AND GRADING AND EROSION CONTROL PLANS (ON SITE)
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LEGAL DESCRIPTION:

THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 28 AND THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: BEARINGS ARE BASED UPON THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 29, MONUMENTED AT THE WEST END WITH A 3.25" ALUMINUM CAP IN CONCRETE STAMPED "PLS 4842" AND MONUMENTED AT THE EAST END WITH A #6 REBAR AND 3.25" ALUMINUM CAP STAMPED "PLS 38141" AND ASSUMED TO BEAR S 89°57'13" E A FIELD MEASURED DISTANCE OF 2,652.37 FEET.

BENCHMARK: ELEVATIONS ARE BASED UPON THE FOUNTAIN SANITATION DISTRICT POINT N-1, BEING A 2" BRASS CAP IN CONCRETE AT THE NORTHEAST CORNER OF MESA RIDGE PARKWAY AND FOUNTAIN MESA ROAD. (ELEVATION=5750.57 NGVD 29).

BEGINNING AT THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 28; THENCE N 89°41'59" E ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 117.30 FEET TO A POINT ON THE WEST LINE OF POWERS BOULEVARD AS RECORDED UNDER BOOK 6788 AT PAGE 531 OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDERS OFFICE; THENCE ALONG THE WEST LINE OF SAID POWERS BOULEVARD, 933.14 FEET ALONG THE ARC OF A 1,096.98 FOOT RADIUS CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 48°44'17" AND A CHORD THAT BEARS S 12°56'23" W, 905.26 FEET TO A POINT ON THE NORTHERLY LINE OF THAT PARCEL OF LAND DESCRIBED UNDER BOOK 5506 AT PAGE 1290 OF SAID RECORDS; THENCE OF THE FOLLOWING EIGHT (8) COURSES ALONG SAID NORTHERLY LINES AND EASTERLY LINES OF SAID PARCEL OF LAND DESCRIBED UNDER BOOK 5506 AT PAGE 1290:

- 1) N 84°16'00" W, A DISTANCE OF 198.99 FEET;
 - 2) 46.11 FEET ALONG THE ARC OF A 540.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 04°53'33" AND A CHORD THAT BEARS N 86°42'46" W, 46.10 FEET;
 - 3) N 89°09'33" W, A DISTANCE OF 124.09 FEET;
 - 4) 100.02 FEET ALONG THE ARC OF A 140.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 40°56'07" AND A CHORD THAT BEARS N 68°41'30" W, 97.91 FEET;
 - 5) N 48°13'27" W, A DISTANCE OF 126.77 FEET;
 - 6) 6.49 FEET ALONG THE ARC OF AN 8.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 46°29'23" AND A CHORD THAT BEARS N 24°58'45" W, 6.31 FEET;
 - 7) N 01°44'04" W, A DISTANCE OF 137.18 FEET;
 - 8) 87.71 FEET ALONG THE ARC OF A 135.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 37°13'35" AND A CHORD THAT BEARS N 20°21'02" W, 86.18 FEET TO THE SOUTHWEST CORNER OF LOT 15, BLOCK 3, SUNRISE RIDGE SUBDIVISION FILING NO. 8 AS RECORDED UNDER RECEPTION NO. 1722613 OF SAID RECORDS;
- THENCE THE FOLLOWING TWO (2) COURSES ALONG THE EASTERLY LINE OF SAID SUNRISE RIDGE SUBDIVISION FILING NO. 8: 1) 511.39 FEET ALONG THE ARC OF A 1,034.60 FOOT RADIUS CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 28°19'14" AND A CHORD THAT BEARS N 58°13'41" E, 506.20 FEET TO A POINT OF COMPOUND CURVATURE;
- 2) 283.12 FEET ALONG THE ARC OF A 500.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 32°26'36" AND A CHORD THAT BEARS N 27°50'47" E, 279.35 FEET TO A POINT ON THE NORTH LINE OF SAID NORTHEAST QUARTER;
- THENCE N 89°57'13" E ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER, A DISTANCE OF 115.21 FEET TO THE POINT OF BEGINNING.

CONTAINING A CALCULATED AREA OF 445,104 SQUARE FEET (10.218 ACRES) OF LAND, MORE OR LESS.

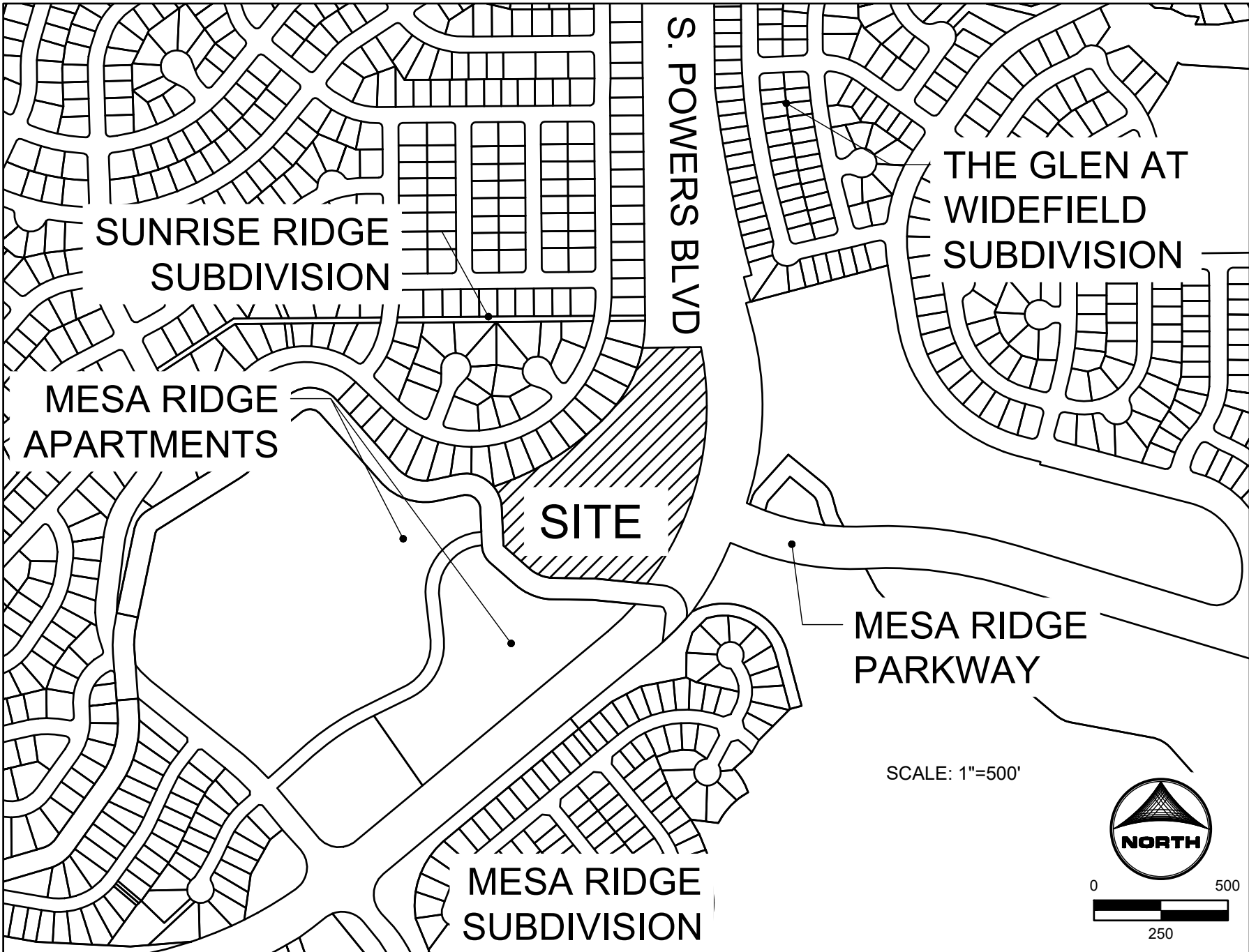
TO BE PLATTED AS "THE COTTAGES AT MESA RIDGE"

STANDARD NOTES:

1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FILED NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC)
3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - A. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - B. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - C. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - D. CDOT M & S STANDARDS
4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DPW, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

THE COTTAGES AT MESA RIDGE
EL PASO COUNTY CONSTRUCTION DOCUMENTS
AND GRADING AND EROSION CONTROL PLANS

A PORTION OF THE NORTHEAST QUARTER OF SECTION 29, THE SOUTHEAST QUARTER OF SECTION 20, THE SOUTHWEST QUARTER OF SECTION 21, & THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



VICINITY MAP

GRADING AND EROSION CONTROL NOTES:

1. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
2. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE, AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
3. A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OF CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
4. ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND THE EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
5. CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
6. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATION CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
7. TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS
8. FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
9. ALL PERMANENT STORMWATER FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE DESIGN OF FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
10. EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
11. COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OF WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENEED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S)
12. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.

GENERAL PROVISIONS:

1. STATEMENT OF INTENT: THE PURPOSE AND INTENT OF THE PUD ZONING DISTRICT IS TO CREATE A COHESIVE WELL PLANNED COMMUNITY THAT WILL ALLOW FOR A MAXIMUM OF 122 DWELLING UNITS, SINGLE FAMILY ATTACHED UNITS FOR RENT ONLY, AN AMENITY CENTER, AND OPEN SPACE.
2. AUTHORITY: THIS PUD IS AUTHORIZED BY CHAPTER 4 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, ADOPTED PURSUANT TO THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED.
3. APPLICABILITY: THE PROVISIONS OF THIS PUD SHALL RUN WITH THE LAND. THE LANDOWNERS, THEIR SUCCESSORS, HEIRS, OR ASSIGNS SHALL BE BOUND BY THE DEVELOPMENT PLAN, AS AMENDED AND APPROVED BY THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DIRECTOR OR BOARD OF COUNTY COMMISSIONERS.
4. ADOPTION: THE ADOPTION OF THIS DEVELOPMENT PLAN SHALL EVIDENCED THE FINDINGS AND DECISIONS OF THE EL PASO COUNTY BOARD OF COUNTY COMMISSIONS THAT THIS DEVELOPMENT PLAN FOR THE COTTAGES AT MESA RIDGE IS IN GENERAL CONFORMITY WITH THE EL PASO COUNTY MASTER PLAN, EL PASO COUNTY POLICY PLAN, AND APPLICABLE SMALL AREA PLAN(S); IS AUTHORIZED UNDER THE PROVISIONS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE; AND THAT THE EL PASO COUNTY LAND DEVELOPMENT CODE AND THIS DEVELOPMENT PLAN COMPLIES WITH THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED.
5. RELATIONSHIP TO COUNTY REGULATIONS: THE PROVISIONS OF THIS DEVELOPMENT PLAN SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF THE COTTAGES AT MESA RIDGE, PROVIDED, HOWEVER, THAT WHERE THE PROVISIONS OF THIS DEVELOPMENT PLAN DO NOT ADDRESS A PARTICULAR SUBJECT THE RELEVANT PROVISIONS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED AND IN EFFECT AT THE TIME OF THE PUD PLAN APPROVAL (OR OWNER ACKNOWLEDGE THE PUD CHANGES WITH THE CODE), OR ANY OTHER APPLICABLE RESOLUTIONS OR REGULATIONS OF EL PASO COUNTY, SHALL BE APPLICABLE.
6. ENFORCEMENT: TO FURTHER THE MUTUAL INTEREST OF THE RESIDENTS, OCCUPANTS, AND OWNERS OF THE PUD AND OF THE PUBLIC IN PRESERVATION OF THE INTEGRITY OF THIS DEVELOPMENT PLAN, THE PROVISIONS OF THIS PLAN RELATING TO THE USE OF LAND AND THE LOCATION OF COMMON SPACE SHALL RUN IN FAVOR OF EL PASO COUNTY AND SHALL BE ENFORCEABLE AT LAW OR IN EQUITY BY THE COUNTY WITHOUT LIMITATION ON ANY POWER OR REGULATION OTHERWISE GRANTED BY LAW. WHERE THERE IS MORE THAN ONE PROVISIONS WITHIN THE DEVELOPMENT PLAN THAT COVERS THE SAME SUBJECT MATTER, THE PROVISIONS WHICH IS MORE RESTRICTIVE OR IMPOSES THE HIGHER STANDARDS OR REQUIREMENTS SHALL GOVERN.

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STAKEHOLDERS:

OWNER:	CSJ NO 1 LLC 111 S. TEJON STREET, SUITE 222 COLORADO SPRINGS, CO 80903
DEVELOPER:	GOODWIN KNIGHT 8605 EXPLORER DRIVE, SUITE 250 COLORADO SPRINGS, CO 80920
ATTN:	DAVE MORRISON
APPLICANT:	HR GREEN DEVELOPMENT, LLC 1975 RESEARCH PKWY, SUITE 230 COLORADO SPRINGS, CO 80920
ATTN:	PHIL STUEPFERT, KEN HUHN
SURVEYOR:	BARRON LAND, LLC 2790 N ACADEMY BLVD #311 COLORADO SPRINGS, CO 80917
	ATTN: SPENCER BARRON

ENGINEER'S STATEMENT

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

KENNETH M. HUHN, P.E. DATE

KHUHN@HGREEN.COM
COLORADO P.E. 0054022

OWNER'S STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

OWNER SIGNATURE DATE

add owner's name

Please add GEC Standard Notes 13 - 29 (see GEC Checklist)

EL PASO COUNTY STATEMENT

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUALS AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JENNIFER IRVINE, P.E. DATE

COUNTY ENGINEER/ ECM ADMINISTRATOR

Please include after drainage criteria manual: Engineering Criteria Manual

Please add PCD File No. SF2214

DRAWN BY: CBM	JOB DATE: 4/5/2022	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
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NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
7222 COMMERCE CENTER DR SUITE 220
COLORADO SPRINGS CO 80919
PHONE: 719.300.4140 TOLL FREE: 800.728.7805
FAX: 844.273.1057 | HRGreen.com

THE COTTAGES AT MESA RIDGE
GOODWIN KNIGHT
EL PASO COUNTY, COLORADO



EL PASO COUNTY CONSTRUCTION DOCUMENTS
COVER

SHEET
CV

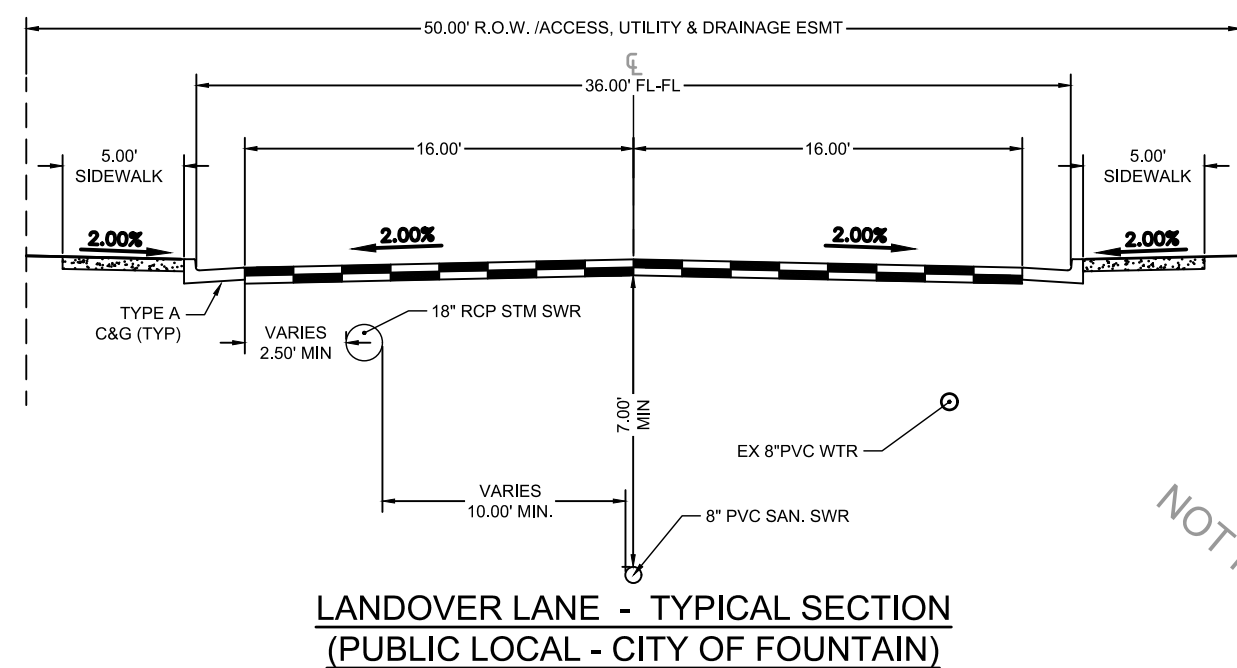
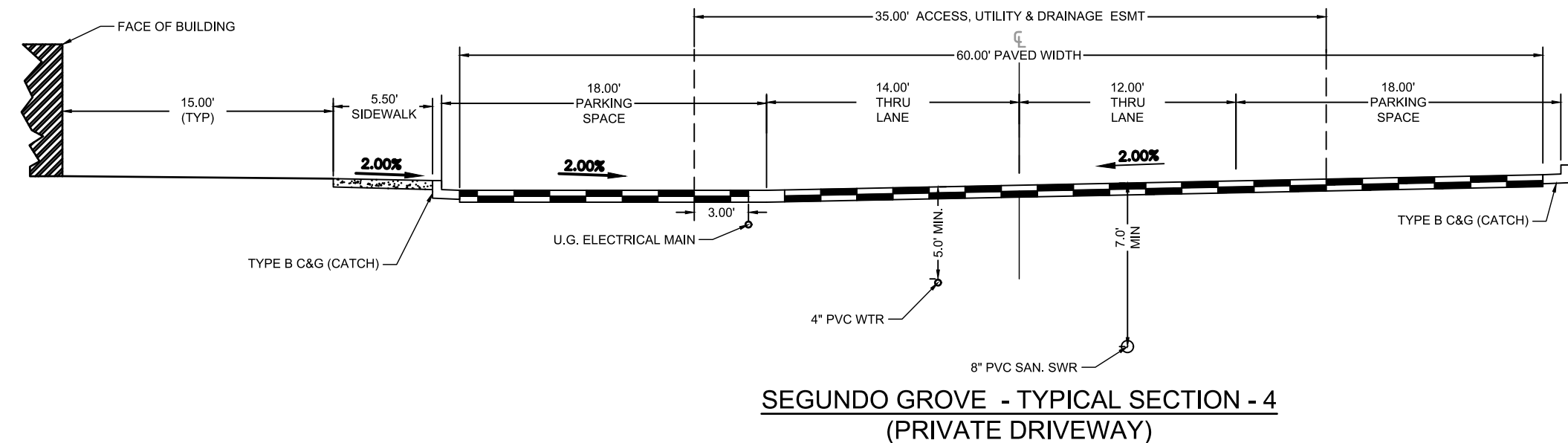
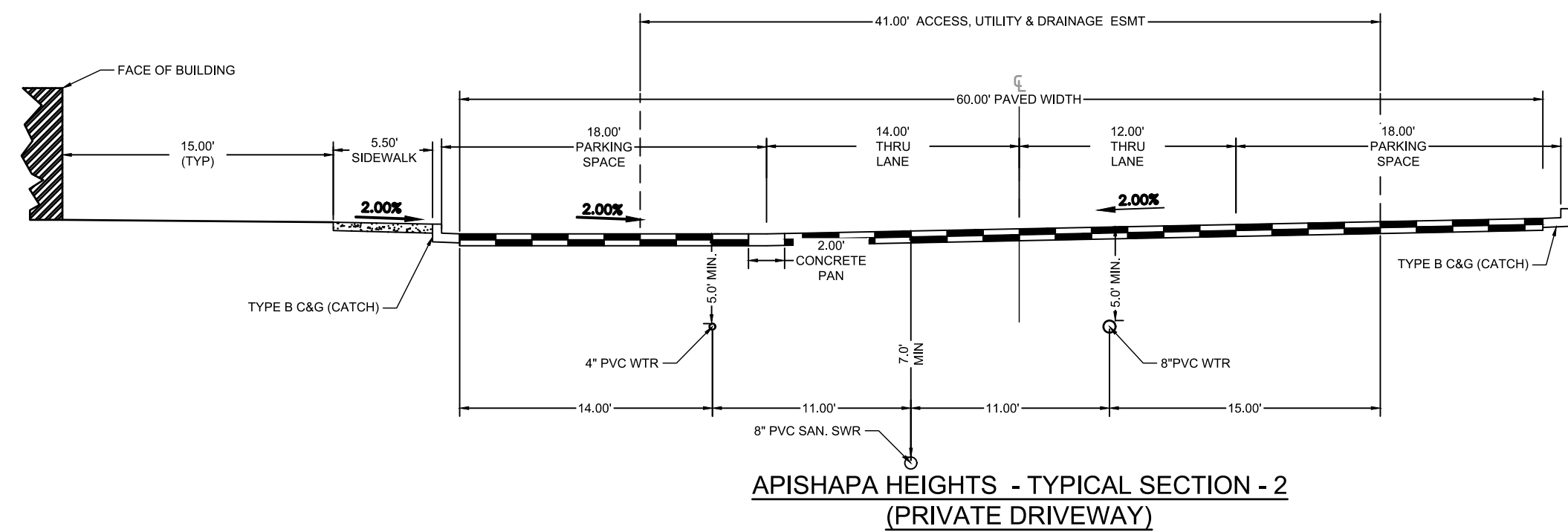
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MATCH LINE		
PHASE LINE		
SECTION LINE		
PROPERTY LINE		
EASEMENT LINE		
RIGHT OF WAY		
CENTERLINE		
CHAIN LINK FENCE		
WOODEN FENCE		
ROD IRON FENCE		
GUARDRAIL		
CABLE TV		
U.G. ELECTRIC		
OVERHEAD ELECTRIC		
FIBER OPTIC		
GAS MAIN		
SANITARY SEWER		
STORM DRAIN		
TELEPHONE		
WATER MAIN		
SWALE		
TRAIL		
CURB & GUTTER		
DRAINAGE BASIN		
INDEX CONTOUR		
INTER. CONTOUR		
100-YR FLOODPLAIN		
FLOODWAY		
EDGE OF WETLANDS		
DRAINAGE		
	EXISTING	PROPOSED
DRAINAGE BASIN		
BASIN TAG		
DESIGN POINT		

FIRE HYDRANT
FIRE DEPT. CONNECTION
GATE VALVE
MANHOLE
METER
TEE
REDUCER

ELECTRIC METER
ELECTRIC PEDESTAL
ELECTRICAL CABINET
ELECTRIC VAULT
FIBER OPTIC PULL BOX
FIBER OPTIC MANHOLE
FIBER OPTIC PEDESTAL
FIBER OPTIC SIGN
FIBER OPTIC VAULT
GAS METER
GAS SIGN
GAS VAULT
TELEPHONE CABINET
TELEPHONE MANHOLE
TELEPHONE SIGNAL/MAST
TELEPHONE SIGN
TELEPHONE PEDESTAL
TRANSFORMER
LIGHT POLE
FIBER OPTIC VAULT

SIGN
BOLLARD
ACCESSIBLE PARKING



NOT FOR CONSTRUCTION

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NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS

7222 COMMERCE CENTER DR SUITE 220
COLORADO SPRINGS CO 80919

PHONE: 719.300.4140 TOLL FREE: 800.728.7805
FAX: 844.273.1057 | HRGreen.com

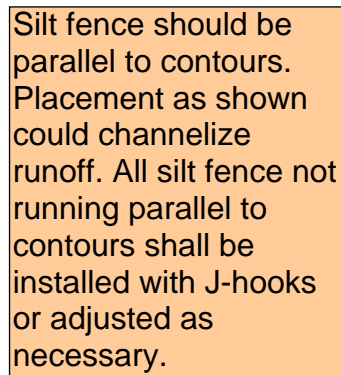
THE COTTAGES AT MESA RIDGE
GOODWIN KNIGHT
EL PASO COUNTY, COLORADO



EL PASO COUNTY CONSTRUCTION DOCUMENTS

TYPICAL SECTIONS

SHEET
TS



1. SEE SHEETS 15 -18 FOR CITY OF COLORADO SPRINGS GRADING AND EROSION CONTROL DETAILS.
2. ALL STORMWATER MANAGEMENT MEASURES SHOWN ON THIS PLAN MUST BE INSTALLED AND MAINTAINED PER THE COLORADO SPRINGS STORMWATER CONSTRUCTION MANUAL; LATEST REVISIONS.
3. AREA WITHIN LIMITS OF DISTURBANCE TO BE CLEARED, GRUBBED AND STOCKPILED PRIOR TO IMPORT OF ANY FILL.
4. ALL 3:1 SLOPES MUST BE RECEIVE SLOPE TRACKING TREATMENT AND EROSION CONTROL BLANKETS.
5. STOCKPILES REQUIRED DURING ONSITE CONSTRUCTION ACTIVITIES WILL BE PLACED AT THE DISCRETION OF THE CONTRACTOR. STOCKPILING OF MATERIAL MUST NOT OCCUR OUTSIDE THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN.
6. NON-STRUCTURAL CONTROLS (I.E. STREET SWEEPING) WILL BE AT THE DISCRETION OF THE PROJECT'S CERTIFIED GEC ADMINISTRATOR THROUGHOUT THE DURATION OF LAND DISTURBING ACTIVITIES.
7. THERE ARE NO ANTICIPATED ASPHALT AND/OR CONCRETE BATCH PLANTS, OR MASONRY MIX STATIONS ASSOCIATED WITH THIS PROJECT. IF THE CONTRACTOR REQUIRES A ASPHALT/CONCRETE BATCH PLANTS OR MASONRY MIX STATIONS, THESE PLANS WILL BE AMENDED AS REQUIRED.
8. THERE ARE NO EXISTING PRESERVATION EASEMENTS LOCATED ON SITE.
9. THE SITE IS NOT LOCATED IN THE FEMA 100-YR FLOODPLAIN

PROJECT INFO:

TOTAL DISTURBANCE AREA = 11.33 AC

RECEIVING WATERS: JIMMY CAMP CREEK

ANTICIPATED START OF CONSTRUCTION: SPRING 2022

ANTICIPATED END OF LAND DISTURBANCE: WINTER 2022

ANTICIPATED FINAL STABILIZATION: SPRING 2023

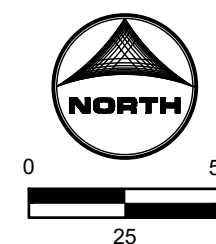
GEC LEGEND:

define line type


- | | | |
|-------|-------|---|
| | (CWA) | CONCRETE WASHOUT AREA |
| | (CF) | CONSTRUCTION FENCE |
| | (DD) | DIVERSION DITCH |
| | (IP) | INLET PROTECTION |
| | (CIP) | CULVERT INLET PROTECTION |
| | (SCL) | SEDIMENT CONTROL LOG |
| | (SF) | SILT FENCE |
| | (SSA) | STABILIZED STAGING AREA |
| | (SP) | STOCKPILE MANAGEMENT |
| | (VTC) | VEHICLE TRACKING CONTROL |
| | (LOD) | LIMITS OF CONSTRUCTION
(OUTFILE LIMIT) |
| | (SM) | SEEDING AND MULCHING |
| | (FA) | FILL AREA (ALL OTHER
AREAS ARE CUT) |
| | (RS) | ROCK SOCK |
| | (TSB) | TEMPORARY SEDIMENT BASIN |
| | (ECB) | EROSION CONTROL BLANKET |
| TW/BW | | ELEVATION OF TOP/BOTTOM OF WALL |
| | | PROP FLOW DIRECTION |
| | | EX FLOW DIRECTION |

If "limits of disturbance" and "construction boundary" are the same, change to "limits of construction/disturbance" or otherwise show as separate line types for each on the legend and figure.

these line types do not match.



NOT FOR CONSTRUCTION

DRAWN BY: CBM JOB DATE: 4/5/2022 BAR IS ONE INCH ON
APPROVED: KMH JOB NUMBER: 200541 OFFICIAL DRAWINGS.
0  1"
IF NOT ONE INCH,
CAD DATE: 4/5/2022 ADJUST SCALE ACCORDINGLY
CAD FILE: J:\2020\200541\CAD\Drawgs\C\CD\IE Paso_ColGEC\GEC_Initial

NO.	DATE	BY	REVISION DESCRIPTION



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THE COTTAGES AT MESA RIDGE
GOODWIN KNIGHT
EL PASO COUNTY, COLORADO



EL PASO COUNTY CONSTRUCTION DOCUMENTS
GEC- INITIAL PLAN

SHEET
EC

3




1. SEE SHEETS 15-8 FOR CITY OF COLORADO SPRINGS GRADING AND EROSION CONTROL DETAILS.
2. ALL STORMWATER MANAGEMENT MEASURES SHOWN ON THIS PLAN MUST BE INSTALLED AND MAINTAINED PER THE COLORADO SPRINGS STORMWATER CONSTRUCTION MANUAL; LATEST REVISIONS.
3. AREA WITHIN LIMITS OF DISTURBANCE TO BE CLEARED, GRUBBED AND STOCKPILED PRIOR TO IMPORT OF ANY FILL.
4. ALL 3:1 SLOPES MUST BE RECEIVE SLOPE TRACKING TREATMENT AND EROSION CONTROL BLANKET.
5. STOCKPILES REQUIRED DURING ONSITE CONSTRUCTION ACTIVITIES WILL BE PLACED AT THE DISCRETION OF THE CONTRACTOR. STOCKPILING OF MATERIAL MUST NOT OCCUR OUTSIDE THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN.
6. NON-STRUCTURAL CONTROLS (I.E. STREET SWEEPING) WILL BE AT THE DISCRETION OF THE PROJECT'S CERTIFIED GEC ADMINISTRATOR THROUGHOUT THE DURATION OF LAND DISTURBING ACTIVITIES.
7. THERE ARE NO ANTICIPATED ASPHALT AND/OR CONCRETE BATCH PLANTS, OR MASONRY MIX STATIONS ASSOCIATED WITH THIS PROJECT. IF THE CONTRACTOR REQUIRES A ASPHALT/CONCRETE BATCH PLANTS OR MASONRY MIX STATIONS, THESE PLANS WILL BE AMENDED AS REQUIRED.
8. THERE ARE NO EXISTING PRESERVATION EASEMENTS LOCATED ON SITE.
9. THE SITE IS NOT LOCATED IN THE FEMA 100-YR FLOODPLAIN

TOTAL DISTURBANCE AREA = 11.33 AC
RECEIVING WATERS: JIMMY CAMP CREEK
ANTICIPATED START OF CONSTRUCTION: SPRING 2022
ANTICIPATED END OF LAND DISTURBANCE: WINTER 2022
ANTICIPATED FINAL STABILIZATION: SPRING 2023

	CWA	CONCRETE WASHOUT AREA
	CF	CONSTRUCTION FENCE
	DD	DIVERSION DITCH
	IP	INLET PROTECTION
	CIP	CULVERT INLET PROTECTION
	SCL	SEDIMENT CONTROL LOG
	SF	SILT FENCE
	SSA	STABILIZED STAGING AREA
	SP	STOCKPILE MANAGEMENT
	VTC	VEHICLE TRACKING CONTROL
	LOD	LIMITS OF CONSTRUCTION (CUT/FILL LIMIT)
	SM	SEEDING AND MULCHING
	FA	FILL AREA (ALL OTHER AREAS ARE CUT)
	RS	ROCK SOCK
	TSB	TEMPORARY SEDIMENT BASIN
	ECB	EROSION CONTROL BLANKET
	TW/BW	ELEVATION OF TOP/BOTTOM OF WALL
		PROP FLOW DIRECTION
		EX FLOW DIRECTION

NOT FOR CONSTRUCTION

DRAWN BY: CBM JOB DATE: 4/5/2022 BAR IS ONE INCH ON
APPROVED: KMH JOB NUMBER: 200541 OFFICIAL DRAWINGS.
0  1"
IF NOT ONE INCH,
CAD DATE: 4/5/2022 ADJUST SCALE ACCORDINGLY
CAD FILE: J:\2020\200541\CAD\Drawgs\C\CD\IE Paso_ColGEC\GEC Interim

NO.	DATE	BY	REVISION DESCRIPTION



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COLORADO SPRINGS CO 80919
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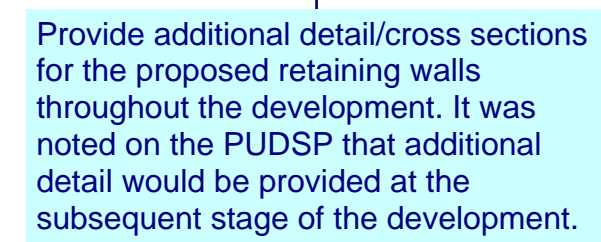
THE COTTAGES AT MESA RIDGE
GOODWIN KNIGHT
EL PASO COUNTY, COLORADO

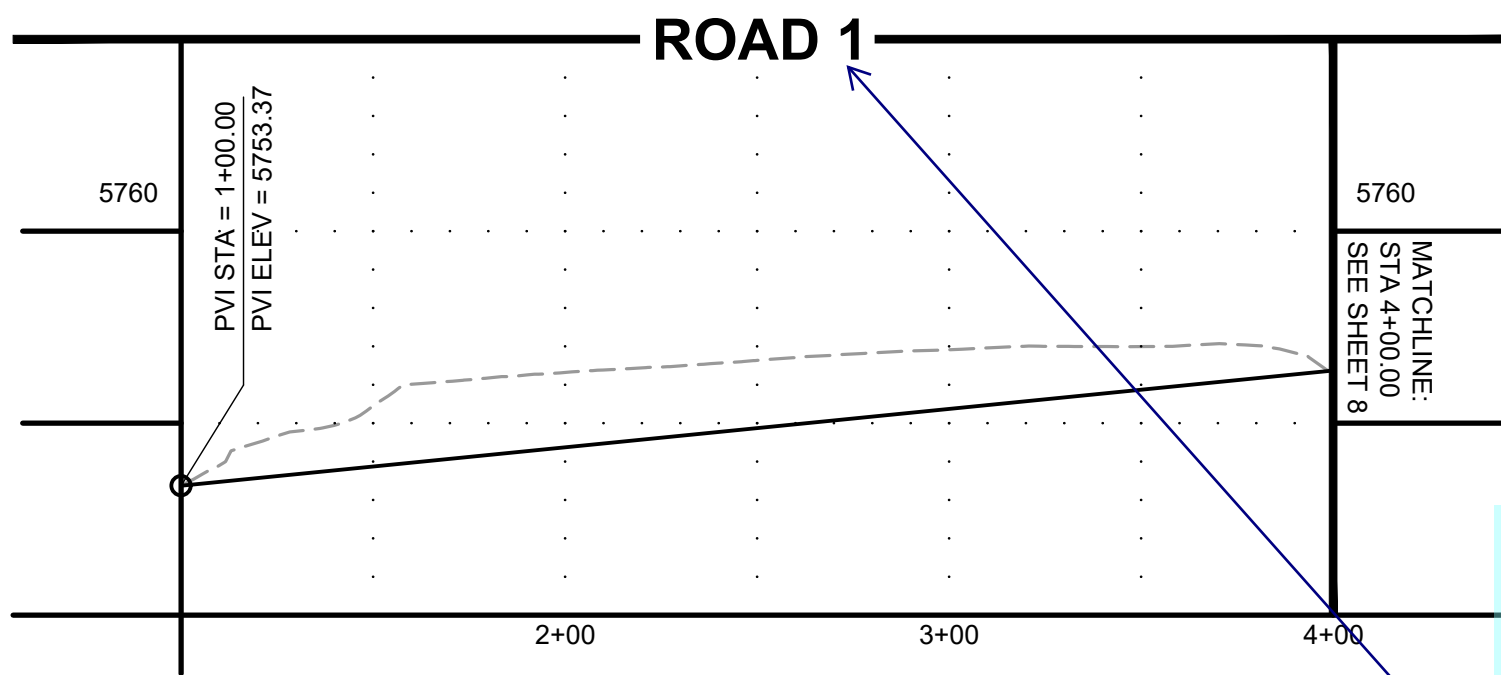
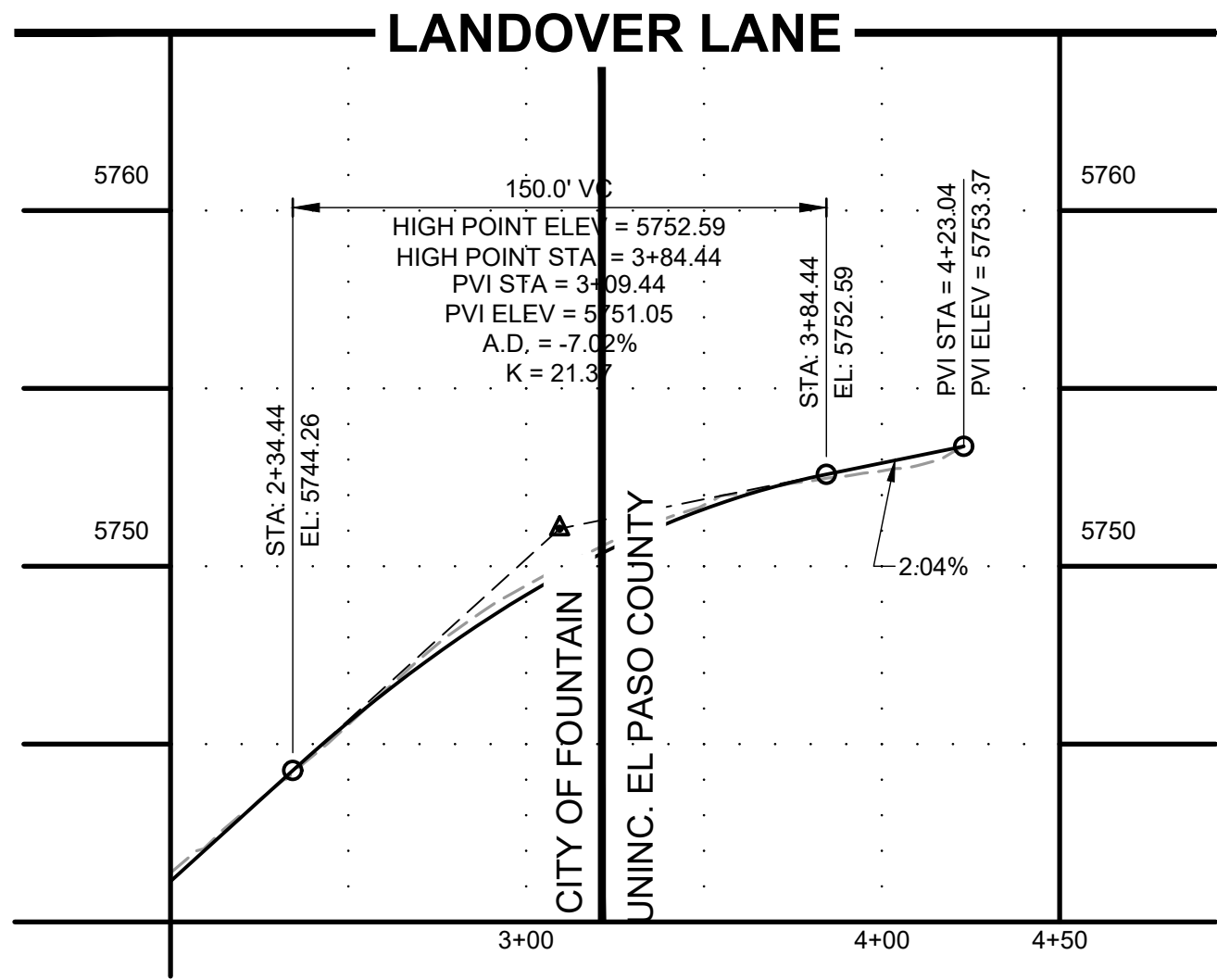


EL PASO COUNTY CONSTRUCTION DOCUMENTS
GEC- INTERIM PLAN

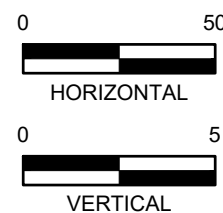
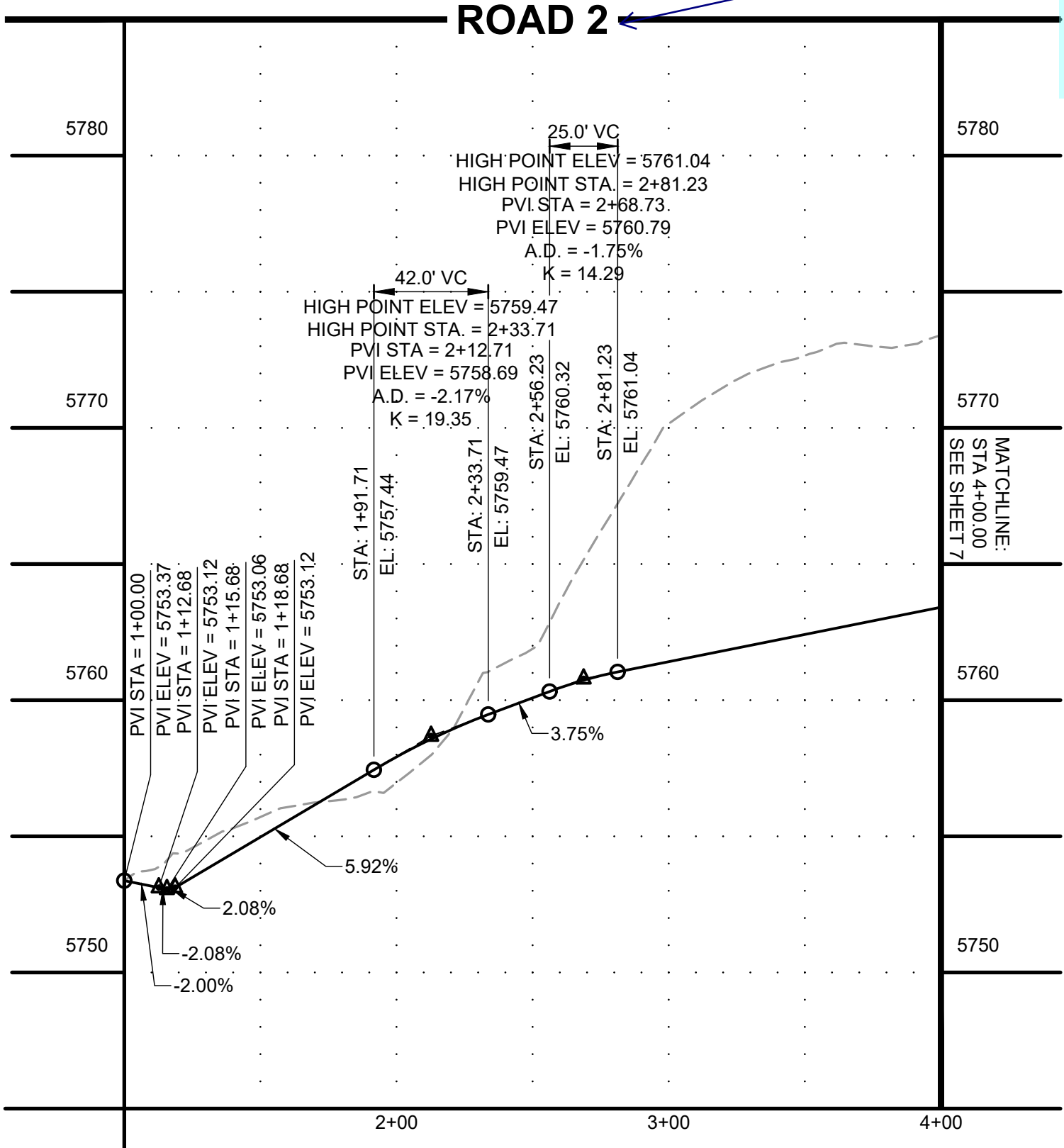
SHEET
EC

4





Please revise the title to private drive 1 and 2 and also provide the name of the private drive. Typical throughout the plans. I have clouded the titles where I found them throughout the plans but revise any that I may have missed.



POINT TABLE					
No.	DESC.	ALIGNMENT	STATION	OFFSET	FL EL.
1	PCR/ BEGIN TYPE 1 C&G	Landover Lane	STA 3+22.73	18.0' L	5750.38
2	BEGIN TYPE 1 C&G	Landover Lane	STA 3+20.15	18.0' R	5749.90
3	PCR	Landover Lane	STA 3+92.13	18.0' L	5752.24
4	PCR	Road 1	STA 1+41.66	14.0' L	5753.91
5	PCR	Road 1	STA 1+08.73	35.2' R	5753.34
6	PCR	Road 1	STA 1+36.32	12.0' R	5754.12
7	PC	Road 1	STA 1+65.86	14.0' L	5755.57
8	PT	Road 1	STA 1+68.86	17.0' L	5755.97
9	PC	Road 1	STA 2+60.53	12.0' R	5760.74
10	PI	Road 1	STA 3+06.84	32.0' L	5761.63
11	PC	Road 1	STA 3+06.84	17.0' L	5761.34
12	PT	Road 1	STA 3+09.89	14.0' L	5761.37
13	HC RAMP MP	Road 1	STA 3+15.07	14.0' L	5761.50
14	PC	Road 1	STA 3+21.08	14.0' L	5761.59
15	PT	Road 1	STA 3+24.12	17.0' L	5761.68
19	PI	Road 1	STA 1+68.86	32.0' L	5756.25
20	PI	Road 1	STA 3+24.12	32.0' L	5762.02
21	PT	Road 1	STA 2+64.06	15.1' R	5761.37
22	END TYPE 3 C&G	Road 1	STA 2+63.88	20.2' R	5762.00
23	BEGIN TYPE 3 C&G	Road 1	STA 3+09.65	20.2' R	5762.00
24	PC	Road 1	STA 3+09.74	14.9' R	5761.90
25	PT	Road 1	STA 3+12.71	12.0' R	5761.90
26	HC RAMP MP	Road 1	STA 3+15.06	12.0' R	5762.01
27	PC	Road 1	STA 3+17.41	12.0' R	5762.10
28	PT	Road 1	STA 3+20.38	14.9' R	5762.50
29	END TYPE 3 C&G	Road 1	STA 3+20.48	20.3' R	5763.10
30	BEGIN TYPE 3 C&G	Road 1	STA 3+60.90	20.1' R	5763.10
31	PC	Road 1	STA 3+60.90	15.0' R	5762.95
32	PT	Road 1	STA 3+63.86	12.0' R	5762.94
33	PC	Road 1	STA 3+72.97	12.0' R	5763.21
34	PT	Road 1	STA 3+75.93	14.9' R	5763.60
35	END TYPE 3 C&G	Road 1	STA 3+76.03	20.2' R	5764.20
59	HC RAMP MP	Road 1	STA 1+23.99	20.3' L	5753.04
60	HC RAMP MP	Road 1	STA 1+20.75	16.7' R	5753.21
61	PC	Road 2	STA 2+01.40	12.0' R	5754.65

POINT TABLE					
No.	DESC.	ALIGNMENT	STATION	OFFSET	FL EL.
62	PC	Road 2	STA 2+04.49	14.0' L	5754.16
63	PT	Road 2	STA 2+08.11	17.1' L	5754.29
64	PT	Road 2	STA 2+04.01	15.0' R	5754.77
65	PI	Road 2	STA 2+04.01	29.0' R	5755.03
66	PI	Road 2	STA 2+44.56	29.0' R	5755.49
67	PC	Road 2	STA 2+44.56	15.0' R	5755.23
68	PI	Road 2	STA 2+08.11	32.0' L	5754.58
69	PT	Road 2	STA 2+47.17	12.0' R	5755.10
70	PC	Road 2	STA 3+03.57	12.0' R	5755.67
71	PT	Road 2	STA 3+08.51	17.0' R	5755.81
72	PI	Road 2	STA 3+58.87	32.0' L	5756.05
73	PI	Road 2	STA 3+08.51	30.0' R	5756.05
74	PI	Road 2	STA 3+62.04	30.0' R	5756.71
75	PC	Road 2	STA 3+62.04	15.0' R	5756.28
76	PT	Road 2	STA 3+65.01	12.0' R	5756.27
77	PC	Road 2	STA 3+58.87	17.0' L	5755.75
78	PT	Road 2	STA 3+61.91	14.0' L	5755.73
79	PC	Road 2	STA 3+73.97	14.0' L	5755.85
80	PC	Road 2	STA 3+73.06	12.0' R	5756.34
81	PT	Road 2	STA 3+76.02	15.0' R	5756.43
82	PT	Road 2	STA 3+77.00	17.0' L	5755.93
83	PI	Road 2	STA 3+77.00	32.0' L	5756.25
84	PI	Road 2	STA 3+75.97	30.0' R	5756.75
85	PI	Road 2	STA 4+19.28	30.0' R	5757.17
86	PC	Road 2	STA 4+19.28	15.0' R	5757.12
87	PT	Road 2	STA 4+22.25	12.0' R	5756.86
88	PC	Road 2	STA 4+41.55	12.0' R	5757.05
89	HC RAMP MP	Road 2	STA 2+28.22	32.0' L	5754.75
90	HC RAMP MP	Road 2	STA 1+52.86	14.0' L	5753.57
92	HC RAMP MP	Road 2	STA 3+69.03	12.0' R	5756.30
93	HC RAMP MP	Road 2	STA 3+69.10	14.0' L	5755.85
182	END TYPE 1 C&G	Landover Lane	STA 3+41.54	18.0' L	5750.83
183	BEGIN TYPE 5 C&G	Landover Lane	STA 3+50.87	16.8' L	5751.26
184	END TYPE 5 C&G	Landover Lane	STA 3+67.99	16.8' L	5751.81
185	BEGIN TYPE 1 C&G	Landover Lane	STA 3+76.46	18.0' L	5752.39

Please revise to drive1 and 2

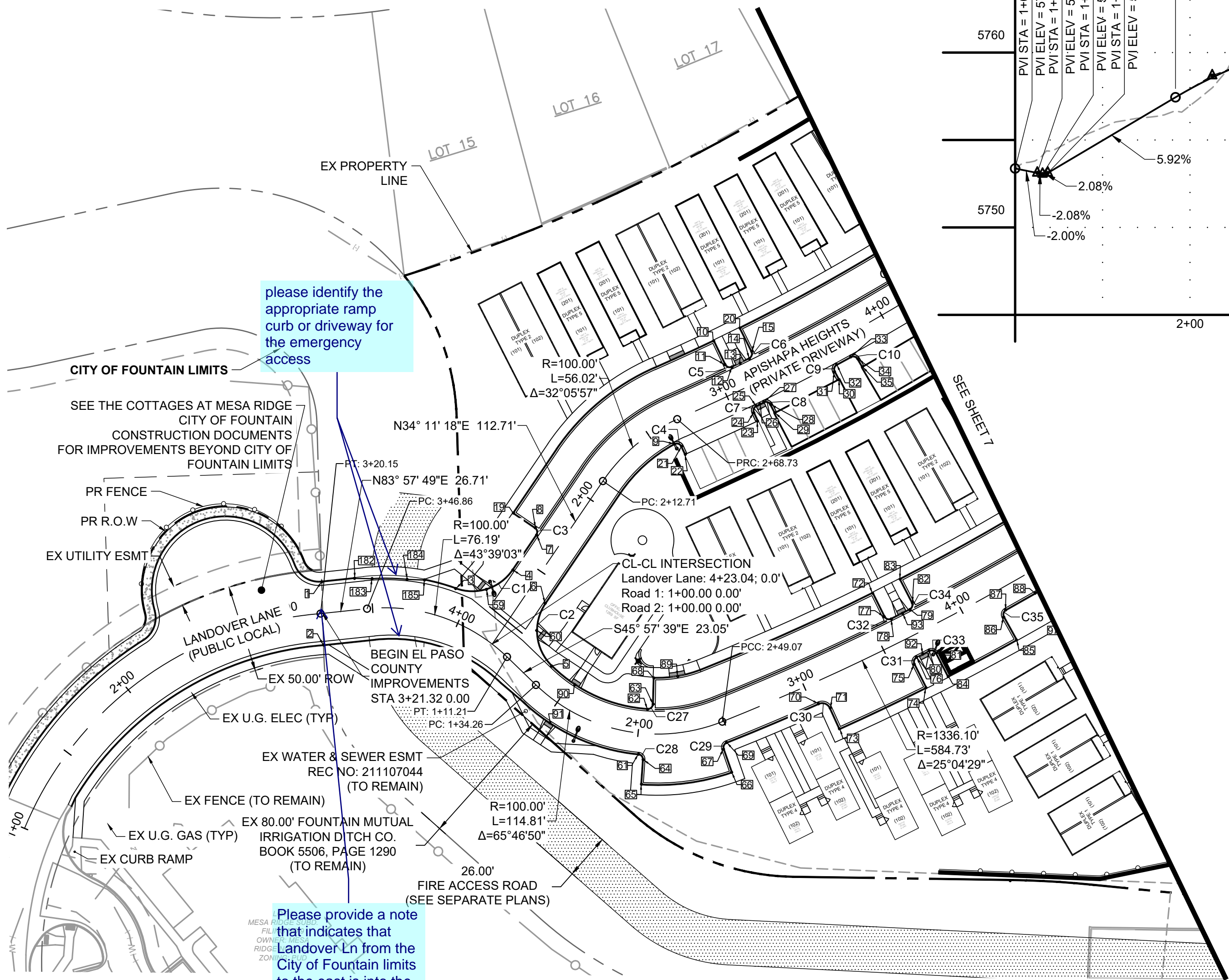
Curve Table				
Curve #	Length	Radius	Delta	Centerline/Flowline
C1	37.00	28.00	75°42'56"	Flowline
C2	39.17	28.00	80°08'56"	Flowline
C3	4.71	3.00	90°00'00"	Flowline
C4	4.91	3.00	93°40'48"	Flowline
C5	4.72	3.00	90°08'58"	Flowline
C6	4.72	3.00	90°08'58"	Flowline
C7	4.65	3.00	88°51'25"	Flowline
C8	4.65	3.00	88°45'05"	Flowline
C9	4.71	3.00	89°52'44"	Flowline
C10	4.65	3.00	88°45'05"	Flowline
C27	4.82	3.00	92°04'17"	Flowline
C28	4.63	3.00	88°30'19"	Flowline
C29	4.63	3.00	88°30'19"	Flowline
C30	7.84	5.00	89°47'18"	Flowline
C31	4.71	3.00	89°52'22"	Flowline
C32	4.72	3.00	90°07'49"	Flowline
C33	4.72	3.00	90°03'49"	Flowline
C34	4.72	3.00	90°07'49"	Flowline

**EL PASO COUNTY ENGINEER
CONSTRUCTION DRAWING DESIGN APPROVAL**

PROJECT NUMBER:
WORK ORDER NUMBER:
SHEET ____ OF ____

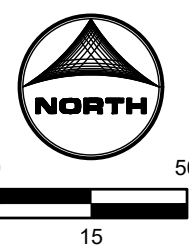
APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE ABOVE AND RESUBMITTAL OF THESE PLANS FOR REVIEW AND APPROVAL IS REQUIRED IF CONSTRUCTION DOES NOT BEGIN DURING THIS PERIOD.

NOT FOR CONSTRUCTION



please identify the appropriate ramp curb or driveway for the emergency access

Please provide a note that indicates that Landover Ln from the City of Fountain limits to the east is into the site is a private roadway.



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APPROVED: KMH JOB NUMBER: 200541
CAD DATE: 4/5/2022
CAD FILE: J:\2020\200541\CAD\DWG\CD\CDIE_Paso_Co\Roadway

BAR IS ONE INCH ON OFFICIAL DRAWINGS.
IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

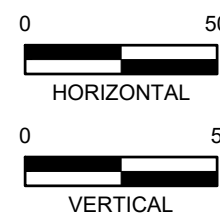
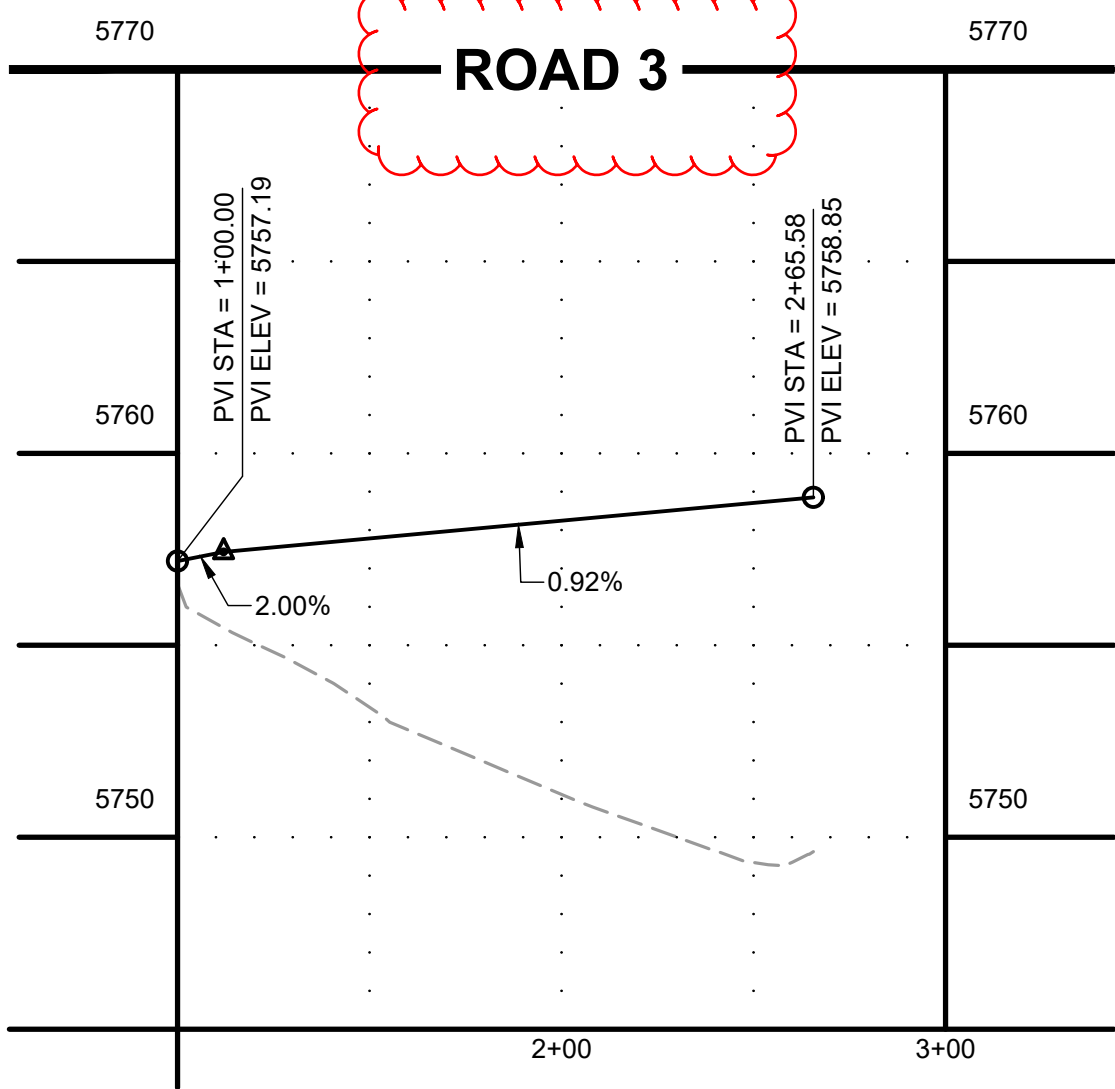
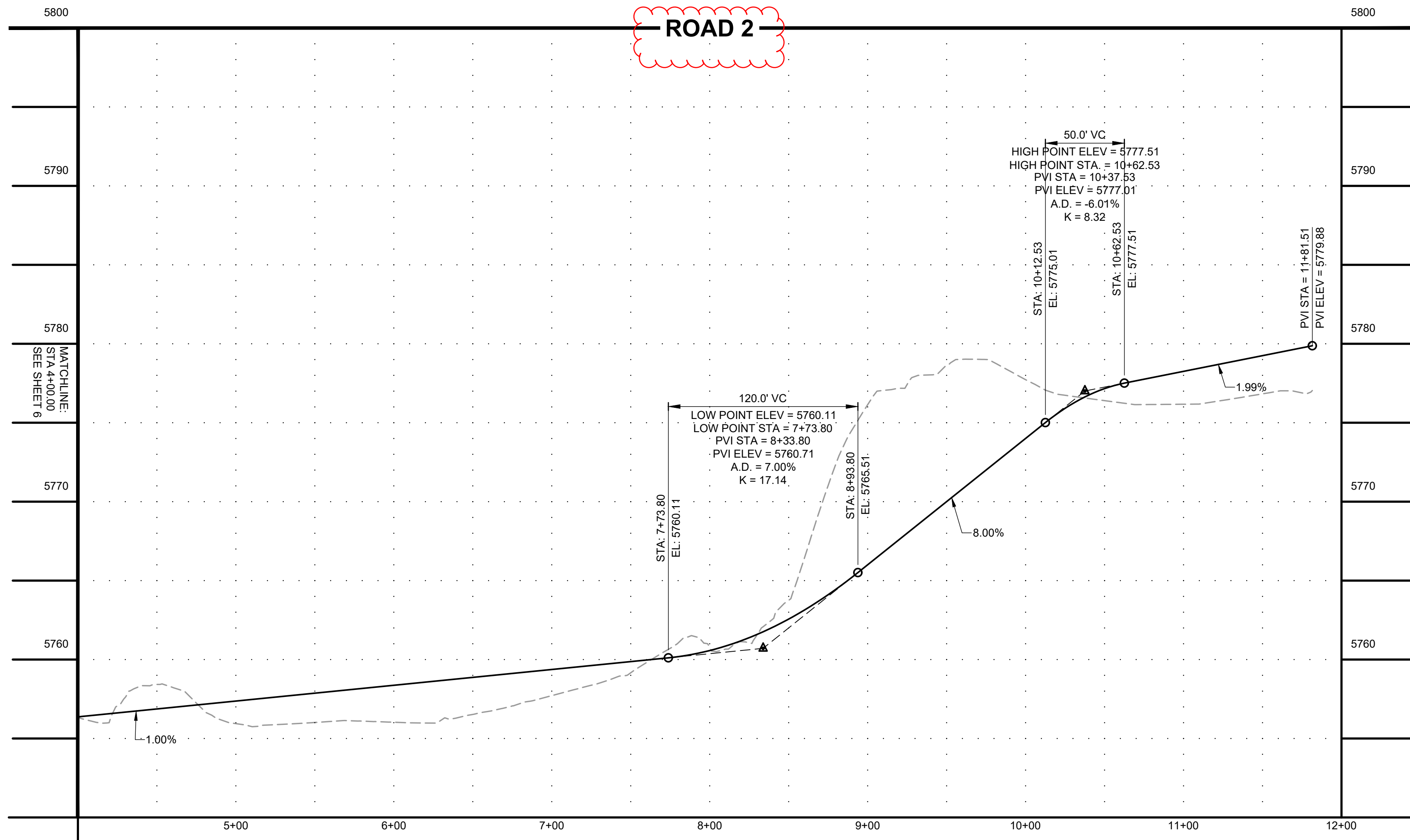
NO.	DATE	BY	REVISION DESCRIPTION

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**THE COTTAGES AT MESA RIDGE
GOODWIN KNIGHT
EL PASO COUNTY, COLORADO**

**EL PASO COUNTY CONSTRUCTION DOCUMENTS
ROADWAY PLAN & PROFILE**

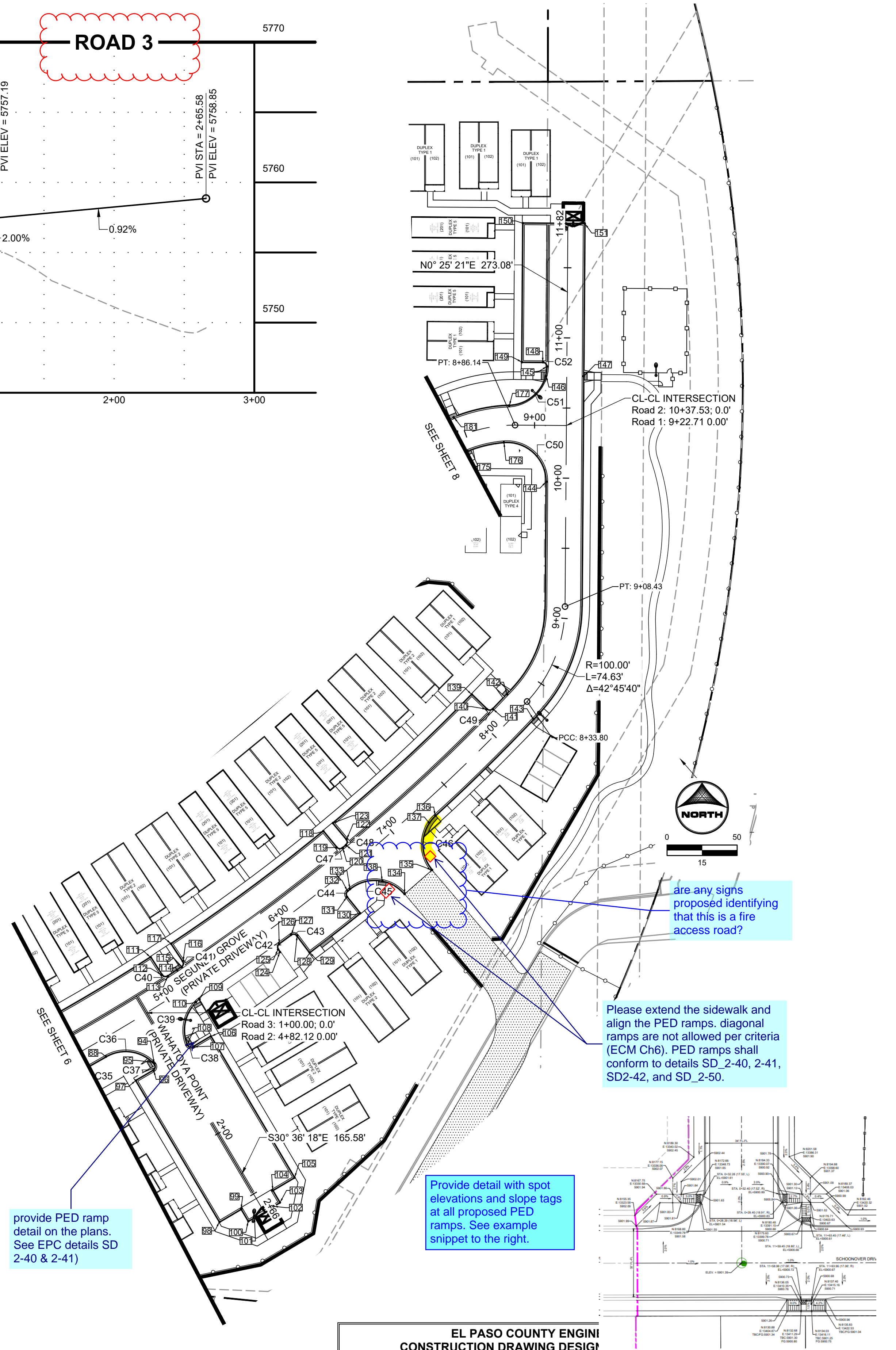
**SHEET
RD
6**



POINT TABLE				
No.	DESC.	ALIGNMENT	STATION	FL EL.
94	PCC	Road 2	STA 4+68.15	33.9' R 5757.93
95	HC RAMP MP	Road 2	STA 4+67.77	32.3' R 5757.90
96	PT	Road 2	STA 4+65.26	37.6' R 5758.10
97	PI	Road 2	STA 4+51.25	37.5' R 5758.37
98	PI	Road 3	STA 2+54.80	31.0' R 5759.52
99	PI	Road 3	STA 2+54.80	13.0' R 5759.15
100	PI	Road 3	STA 2+64.80	13.0' R 5759.35
101	END TYPE 3 C&G	Road 3	STA 2+64.80	7.8' R 5759.42
102	BEGIN TYPE 3 C&G	Road 3	STA 2+64.80	7.8' L 5759.42
103	PI	Road 3	STA 2+64.80	13.0' L 5759.35
104	PI	Road 3	STA 2+54.80	13.0' L 5759.15
105	PI	Road 3	STA 2+54.80	31.0' L 5759.51
106	PI	Road 2	STA 5+11.52	38.7' R 5758.36
107	PC	Road 2	STA 4+97.23	38.2' R 5758.10
108	PCC	Road 2	STA 4+94.45	34.7' R 5757.96
109	END TYPE 3 C&G	Road 2	STA 5+19.07	12.1' R 5758.32
110	HC RAMP MP	Road 2	STA 5+15.83	12.5' R 5757.79
111	PI	Road 2	STA 5+06.10	32.0' L 5757.52
112	PC	Road 2	STA 5+06.10	17.0' L 5757.22
113	PT	Road 2	STA 5+09.13	14.0' L 5757.22
114	HC RAMP MP	Road 2	STA 5+17.06	14.0' L 5757.30
115	PC	Road 2	STA 5+21.08	14.0' L 5757.33
116	PT	Road 2	STA 5+24.12	17.0' L 5757.40
117	PI	Road 2	STA 5+24.12	32.0' L 5757.72
118	PI	Road 2	STA 6+62.37	32.0' L 5759.09
119	PC	Road 2	STA 6+62.37	17.0' L 5758.78
120	PT	Road 2	STA 6+65.41	14.0' L 5758.77
121	PC	Road 2	STA 6+68.55	14.0' L 5758.80
122	PT	Road 2	STA 6+71.59	17.0' L 5758.87
123	PI	Road 2	STA 6+71.59	32.0' L 5759.20

POINT TABLE				
No.	DESC.	ALIGNMENT	STATION	FL EL.
124	BEGIN TYPE 3 C&G	Road 2	STA 5+84.69	17.2' R 5758.57
125	PC	Road 2	STA 5+84.73	14.9' R 5758.52
126	PT	Road 2	STA 5+87.70	12.0' R 5758.49
127	PC	Road 2	STA 5+98.26	12.0' R 5758.59
128	PT	Road 2	STA 6+01.23	15.0' R 5758.68
129	PI	Road 2	STA 6+01.23	30.0' R 5758.99
130	PI	Road 2	STA 6+45.82	30.0' R 5759.53
131	PC	Road 2	STA 6+45.82	15.0' R 5759.21
132	PT	Road 2	STA 6+48.79	12.0' R 5759.08
133	PCR	Road 2	STA 6+51.00	12.0' R 5759.10
134	END TYPE 3 C&G	Road 2	STA 6+78.19	39.6' R 5758.87
135	BEGIN TYPE 3 C&G	Road 2	STA 7+03.45	39.3' R 5759.39
136	PCR	Road 2	STA 7+30.63	12.0' R 5759.94
137	HC RAMP MP	Road 2	STA 7+23.96	12.8' R 5759.82
138	HC RAMP MP	Road 2	STA 6+72.17	22.3' R 5759.54
139	PI	Road 2	STA 8+09.90	32.0' L 5760.72
140	PC	Road 2	STA 8+09.90	17.0' L 5760.74
141	PT	Road 2	STA 8+12.94	14.0' L 5760.61
142	HC RAMP MP	Road 2	STA 8+27.83	14.0' L 5761.16
143	HC RAMP MP	Road 2	STA 8+27.77	12.0' R 5761.74
144	PCR	Road 2	STA 9+97.28	14.0' L 5773.45
145	PCR	Road 2	STA 10+79.52	14.0' L 5777.52
146	HC RAMP MP	Road 2	STA 10+72.79	14.8' L 5777.39
147	HC RAMP MP	Road 2	STA 10+72.78	12.0' R 5778.25
148	PT	Road 2	STA 10+82.51	17.0' L 5777.64
149	PI	Road 2	STA 10+82.51	32.0' L 5777.95
150	PT	Road 2	STA 11+81.51	32.0' L 5779.97
151	PT	Road 2	STA 11+81.51	12.0' R 5780.27
176	PCR	Road 1	STA 8+77.07	12.0' R 5775.00
177	PCR	Road 1	STA 8+82.31	14.0' L 5774.66

Curve Table			
Curve #	Length	Radius	Delta
C36	37.60	28.00	76°56'16"
C37	5.37	3.00	102°38'48"
C38	5.17	3.00	98°45'33"
C39	36.19	28.00	74°03'36"
C40	4.72	3.00	90°07'49"
C41	4.72	3.00	90°07'49"
C42	4.66	3.00	88°54'28"
C43	4.71	3.00	89°52'22"
C44	4.71	3.00	89°52'22"
C45	43.27	28.00	88°32'23"
C46	43.03	28.00	88°02'44"
C47	4.72	3.00	90°07'49"
C48	4.72	3.00	90°07'49"
C49	4.72	3.00	90°07'49"
C50	46.52	28.00	95°11'48"
C51	43.01	28.00	88°00'41"
C52	4.70	3.00	89°47'43"



EL PASO COUNTY ENGINE
CONSTRUCTION DRAWING DESIGN

PROJECT NUMBER: _____
WORK ORDER NUMBER: _____
SHEET _____ OF _____

APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE ABOVE AND RESUBMITTAL OF THESE PLANS FOR REVIEW AND APPROVAL IS REQUIRED IF CONSTRUCTION DOES NOT BEGIN DURING THIS PERIOD.

DRAWN BY: CBM JOB DATE: 4/5/2022
APPROVED: KMH JOB NUMBER: 200541
CAD DATE: 4/5/2022
CAD FILE: J:\2020\200541\CAD\DWG\CD\CDIEI_Paso_Co\Roadway

BAR IS ONE INCH ON OFFICIAL DRAWINGS.
IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION

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2222 COMMERCE CENTER DR SUITE 220
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THE COTTAGES AT MESA RIDGE
GOODWIN KNIGHT
EL PASO COUNTY, COLORADO

GOODWIN KNIGHT

EL PASO COUNTY CONSTRUCTION DOCUMENTS
ROADWAY PLAN & PROFILE

SHEET RD 7

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FSD SANITARY SEWER CONSTRUCTION NOTES:

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH FOUNTAIN SANITATION DISTRICT DESIGN CRITERIA AND CONSTRUCTION SPECIFICATIONS.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS PRIOR TO INSTALLATION OF NEW SANITARY SEWER SYSTEM.
- THE CONTRACTOR ASSUMES RESPONSIBILITY FOR THE PROTECTION OF ALL UTILITIES DURING THE WORK. PRIOR TO ANY EXCAVATION, CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO AT 811 AT LEAST TWO WORKING DAYS PRIOR TO DIGGING.
- ALL PROPOSED SANITARY SEWER PIPELINES WITHIN THIS PROJECT SHALL BE AIR TESTED AND VIDEO INSPECTED PER THE FOUNTAIN SANITATION DISTRICT (FSD) STANDARD SPECIFICATIONS,
- ALL AS-CONSTRUCTED RECORDS AND OTHER REQUIREMENTS OF THE SUBDIVISION PUBLIC IMPROVEMENTS AGREEMENT SHALL BE COMPLETED PRIOR TO CONSIDERATION OF ACCEPTANCE OF THE SYSTEM BY THE DISTRICT,
- DURING THE CONSTRUCTION OF THE SANITARY SEWER SYSTEM THE CONTRACTOR SHALL HAVE IN HIS/HER POSSESSION AT LEAST ONE "APPROVED FOR CONSTRUCTION" SET OF UPDATED PLANS AT ALL TIMES. APPROVED FIELD MODIFICATIONS TO PLAN SETS SHALL BE CLEARLY IDENTIFIED IN RED INK ON THE PLANS BY THE CONTRACTOR PER FIELD CONSTRUCTION. THESE AS-BUILT CHANGES SHALL BE DATED AND SUBMITTED TO THE ENGINEER OF RECORD. THE ENGINEER OF RECORD SHALL PREPARE A COMPLETE SET OF "AS CONSTRUCTED" DRAWINGS AND DELIVER THE SETS TO THE FOUNTAIN SANITATION DISTRICT PRIOR TO FINAL ACCEPTANCE OF THE SANITARY SEWER SYSTEM.
- WITH PRIOR APPROVAL, THE CONTRACTOR SHALL PROVIDE 3 DEGREE BENDS ON ALL CURVILINEAR SANITARY SEWER PIPE AT THE LOCATIONS DETAILED ON THE APPROVED CONSTRUCTION PLANS.
- SANITARY SEWER SERVICE LINES SHALL BE LOCATED PER THE DETAIL ON THE UTILITY SERVICE PLAN, THE DIMENSIONS GIVEN AT EACH LOT WHERE A TYPICAL INSTALLATION IS REQUIRED OR AT THE DIRECTION OF THE FOUNTAIN SANITATION DISTRICT REPRESENTATIVE.
- SERVICE STUBS SHALL BE INSTALLED A MINIMUM OF TEN (10) FEET INTO THE PROPERTY, UNLESS OTHERWISE SHOWN, AND THE END OF THE STUB SHALL BE MARKED WITH A 2"x4"x12' STEEL OR WOODEN POST PAINTED GREEN.
- OVERLOT GRADING AND STREET SUBGRADE MUST BE WITHIN ± ONE (1) FOOT PRIOR TO ANY UTILITY INSTALLATION.
- CONTRACTOR TO CONSTRUCT ALL MANHOLES AND STRUCTURES TO FINISHED GRADE.
- ALL SANITARY SERVICE PIPE TO BE GREEN GASKET SDR35.
- ALL 3' BENDS SHALL BE A SPIGOT X BELL FITTING. THE SPIGOT END OF EACH BEND FITTING SHALL BE INSERTED IN THE BELL OF A FULL PIECE (13 FEET) OF ASTM D3034 FOR PVC, SDR 26 OR 35 PIPE WITH THE SUBSEQUENT UPSTREAM PIPE SEGMENT BEING A FULL PIECE OF PIPE. EACH JOINT OF PIPE MAY BE DEFLECTED TO A MINIMUM RADIUS OF 200 FEET IN CONFORMANCE WITH THE MANUFACTURER'S SPECIFICATIONS BETWEEN EACH BEND FITTING. THE CONTRACTOR SHALL USE EXTREME CARE AND EXPERT WORKMANSHIP TO PROVIDE PROPER HORIZONTAL AND VERTICAL ALIGNMENT THROUGH SECTIONS WITH 3' BENDS.
- MINIMUM RADIUS FOR SANITARY SEWER WITHOUT JOINT FITTINGS IS 267 FEET USING A 14-FOOT-LONG PIPE SEGMENT.
- CONTRACTOR SHALL BE AWARE THAT WHEN DEBRIS IS DROPPED INTO MANHOLES AND OTHER STRUCTURES, THEY ARE TO IMMEDIATELY REMOVE THIS TO ELIMINATE THE POSSIBILITY OF PROPERTY DAMAGE DUE TO THE DEBRIS-CAUSING BACKUP INTO PRIVATE PROPERTIES. IF AND WHEN IT IS DETERMINED THAT DEBRIS CAUSED A BACKUP, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGES.
- NO TREES ARE TO BE PLANTED WITHIN ANY SEWER EASEMENT OR WITHIN FIFTEEN (15) FEET OF ANY MANHOLE OR PIPE.
- ACCESS TO MANHOLES AND INLETS SHALL BE MADE AVAILABLE FOR MAINTENANCE PURPOSES.
- ALL MANHOLES SHALL RECEIVE AN EXTERIOR WATERPROOF COATING OF COAL TAR EPOXY, ICS DEVCOE "DEV TAR," OR APPROVED EQUIVALENT.
- ALL MANHOLES SHALL RECEIVE AN EXTERIOR JOINT WRAP TO BEST ASSURE WATERTIGHTNESS. REFER TO THE FOUNTAIN SANITATION DISTRICT STANDARD SPECIFICATIONS FOR MATERIALS AND INSTALLATION REQUIREMENTS.
- ALL SANITARY SEWER MANHOLES ON THIS PROJECT SHALL BE SUBJECT TO VACUUM TESTING PRIOR TO THE CONSIDERATION OF ACCEPTANCE BY THE DISTRICT. AT THE DISTRICT'S SOLE OPTION, ADDITIONAL VACUUM TESTING MAY BE REQUIRED DURING AND PRIOR TO THE CONCLUSION OF THE WARRANTY PERIOD FOR THIS WORK. REFER TO THE FOUNTAIN SANITATION DISTRICT STANDARD SPECIFICATIONS FOR TESTING REQUIREMENTS.
- CLASS "B" GRANULAR BEDDING SHALL BE UTILIZED FOR ALL WASTEWATER PIPELINE CONSTRUCTION ON THIS PROJECT. AS A MINIMUM, THE CLASS "B" BEDDING SHALL BE COMPRISED OF 3/4-INCH CRUSHED ROCK. LARGER AGGREGATE AND/OR ALTERNATIVE GRADATIONS MAY BE NECESSARY IN ORDER TO ADDRESS TRENCH SUBGRADE STABILIZATION CONDITIONS FOUND UPON EXCAVATION OF THE TRENCH IN ADDITION TO THE SPECIFIED CLASS "B" PIPE BEDDING.
- WHERE NECESSARY, THE CONTRACTOR SHALL PROVIDE 3' BENDS ON ALL CURVILVEAR SANITARY SEWER PIPE AT THE LOCATIONS SHOWN ON THE PLANS.
- SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC), SDR 35, IN ACCORDANCE WITH ASTM D3034 FOR DEPTHS UP TO SIXTEEN (16) FEET. SANITARY SEWER LINES WITH COVER EXCEEDING SIXTEEN (16) FEET FROM FINISHED GRADE SHALL BE POLYVINYL CHLORIDE (PVC), SDR 26, IN ACCORDANCE WITH ASTM D3034. ALL SDR 26 PIPE SHALL BE BEDDED IN CLASS B BEDDING MATERIAL OR WITH RECLAIMED CONCRETE MATERIAL MEETING SANITATION DISTRICT STANDARD.
- MANHOLES SHALL BE STANDARD PRECAST CONCRETE.
- ALL SANITARY SEWER MANHOLES SHALL NOT HAVE ANY ACCESS STEPS INSTALLED INSIDE THE MANHOLE. ANY PRECAST SANITARY MANHOLES WITH STEPS SHALL HAVE THE STEPS REMOVED BY SAW CUTTING STEPS FLUSH TO THE MANHOLE AND ADDING EPOXY TO THE CUT ENDS OF THE STEPS.
- SANITARY SEWER MH COVERS SHALL BE LOCATED ALONG THE CENTERLINE OF THE STREET OR AS CLOSE TO THE CENTERLINE AS IS PRACTICAL.
- IF GROUNDWATER IS ENCOUNTERED DURING TRENCHING THEN THE TRENCH SHALL BE OVEREXCAVATED AND DEWATERED. WELL POINTS SHALL BE PLACED AS NECESSARY TO PREVENT WATER IN THE TRENCH. THE GROUNDWATER LEVEL SHALL BE KEPT 12-INCHES OR MORE BELOW THE UTILITY BEING INSTALLED. OVEREXCAVATED TRENCH DEPTH SHALL BE BACKFILLED WITH 2-INCH MINUS ROCK WITH <5% PASSING NO. 4 SIEVE. DEWATERING SHALL CONTINUE UNTIL SUCH TIME AS IT IS SAFE TO ALLOW THE WATER TABLE TO RISE IN THE EXCAVATION. PIPE TRENCHES SHALL CONTAIN ENOUGH BACKFILL TO PREVENT PIPE FLOATATION.
- IN AREAS WHERE SANITARY SEWER WILL BE PLACED ON FILL THE CONTRACTOR SHALL SUPPLY THE FOUNTAIN SANITATION DISTRICT WITH SOIL DENSITY REPORTS PRIOR TO COMMENCING CONSTRUCTION OF THE PIPELINES. THE DENSITY REPORTS SHALL DEMONSTRATE THAT ALL FILLS PLACED WITHIN PIPELINE CONSTRUCTION SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY OR PER GEOTECHNICAL RECOMMENDATION, WHICHEVER STANDARD IS STRICTER. ADDITIONALLY, FILLS SHALL BE PLACED TO A MINIMUM OF 6' ABOVE THE TOP OF THE PROPOSED PIPE PRIOR TO CONSTRUCTION OF THE PIPELINES.
- THE SANITARY SEWER SERVICES TO BE CONSTRUCTED IN THIS PROJECT SHALL BE CONNECTED TO THE MAIN WITH IN-LINE WYE FITTINGS IN ACCORDANCE WITH FOUNTAIN SANITATION DISTRICT DESIGN CRITERIA AND CONSTRUCTION SPECIFICATIONS. EACH WYE FITTING WILL BE LOCATED NO LESS THAN 3- FEET CLEAR FROM AN ADJACENT SERVICE LINE WYE FITTING. IF TWO (2) SERVICE LINES ARE LOCATED ON THE SAME SIDE OF THE WASTEWATER COLLECTION SYSTEM MAIN, THERE SHALL BE NO LESS THAN 4 FEET OF SPACE BETWEEN THE TWO SEPARATE SEWER SERVICE PIPELINES TO FACILITATE FUTURE EXCAVATION OF EACH WITHOUT DISTURBANCE.
- ALL SANITARY SEWER MAINS AND PIPELINES SHALL BE CONSTRUCTED WITH COPPER TRACER WIRE, 6 GAUGE SOLID COPPER, EXTENDING FROM THE MANHOLE-TO-MANHOLE ON THE MAIN LINES. IN ADDITION, A COPPER TRACER WIRE SHALL EXTEND ALONG EACH SERVICE LINE, CONNECTED TO THE MAIN LINE COPPER TRACER WIRE, TO A LOCATION NO LESS THAN 10 FEET INSIDE THE LOT FRONTAGE. THE TRACER WIRES WILL BE CONTINUED AT THE TIME OF BUILDING SEWER CONSTRUCTION SUBJECT TO THE INSPECTION OF THE FOUNTAIN SANITATION DISTRICT.
- THE TRACER WIRE WILL EXTEND UP THE OUTSIDE OF EACH MANHOLE AND BE INSERTED INTO THE MANHOLE INTERIOR UNDER ADJUSTING RINGS SET ON THE CONE WITH NO LESS THAN 1.5 FEET OF CONDUCTOR COILED AT THE MANHOLE INTERIOR.

FSD SANITARY SERVICE PLAN NOTES:

- ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET FOUNTAIN SANITATION DISTRICT STANDARD SPECIFICIATIONS.
- FINAL LOCATION OF ALL SEWER, WATER AND GAS SERVICES TO BE APPROVED IN THE FIELD BY THE CONSTRUCTION MANAGER AND DISTRICT INSPECTOR PRIOR TO INSTALLATION.
- PROPERTY END OF ALL SEWER SERVICES TO BE MARKED WITH A 12"x2"x4" STEEL OR WOODEN POST EXTENDING VERTICALLY FROM THE FLOWLINE.
- UTILITY LOCATIONS, WHETHER OR NOT SHOWN ON THIS PLAN, IN NO WAY RELIEVES THE CONTRACTOR FROM THE RESPONSIBILITY FOR CALLING FOR UTILITY LOCATIONS FROM THE APPROPRIATE AUTHORITIES PRIOR TO BEGINNING EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES WITHIN THE PROJECT. ANY DAMAGE TO EXISTING UTILITIES SHALL BE IMMEDIATELY REPAIRED AT THE CONTRACTOR'S SOLE EXPENSE.
- REUSE OF ANY MATERIAL IS AT THE DISCRETION OF THE DISTRICT INSPECTOR.
- ALL SANITARY SERVICES TO BE INSTALLED AT THE MINIMUM PERMISSIBLE GRADE OF 2.08% UNLESS OTHERWISE PRE-APPROVED BY THE FOUNTAIN SANITATION DISTRICT.
- ALL SANITARY SERVICE PIPE SHALL BE GREEN GASKETED SDR35.
- SANITARY SEWER SERVICE CONNECTIONS ARE TO BE A MINIMUM OF 5' FROM THE MANHOLE.
- THE CONTRACTOR SHALL NOTIFY FOUNTAIN SANITATION DISTRICT'S INSPECTOR (382- 5303) 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO OUTLINE METHODS OF CONSTRUCTION, MATERIALS TO BE USED AND CONSTRUCTION STAKING.
- ALL SANITARY SEWER SERVICE LINES TO THE RESIDENTIAL LOTS SHALL BE 4-INCH DIAMETER PIPE. SEWER SERVICES SHALL BE EXTENDED 10' INTO THE RESIDENTIAL LOTS TO AVOID GAS, ELECTRIC AND WATER EASEMENTS ADJACENT TO THE RIGHT OF WAY.
- TRENCH BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH SECTION PART C, ARTICLE II OF THE FOUNTAIN SANITATION DISTRICT STANDARD SPECIFICATIONS MANUAL.

FSD GENERAL SERVICE PLAN NOTES

THE CONTRACTOR SHALL NOTIFY THE FOUNTAIN SANITATION DISTRICT OFFICE (719-382-5303) A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

GENERAL:

- ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET FOUNTAIN SANITATION DISTRICT STANDARD SPECIFICATIONS.
- FOUNTAIN SANITATION DISTRICT DOES NOT GUARANTEE THE ACCURACY OF LOCATIONS OF EXISTING PIPELINES, MANHOLES, AND SERVICE LINES. IF FIELD CONDITIONS ARE FOUND TO BE DIFFERENT THAN SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DISTRICT INSPECTOR AND THE DESIGN ENGINEER IMMEDIATELY.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY FACILITIES AS A RESULT OF THEIR ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF FOUNTAIN SANITATION DISTRICT.
- ALL FIELD STAKING SHALL COMPLY WITH THE WASTEWATER STANDARD SPECIFICATIONS.
- FINAL LOCATION OF ALL WASTEWATER SERVICES SHALL BE APPROVED IN THE FIELD BY THE DISTRICT INSPECTOR.
- ALL TRENCH BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH SECTION PART C, ATRICLE II OF THE FOUNTAIN SANITATION DISTRICT STANDARD SPECIFICATIONS MANUAL.

WIDEFIELD WATER AND SANITATION DISTRICT GENERAL NOTES

- ALL UTILITY CONSTRUCTION TO BE CONDUCTED IN CONFORMANCE WITH THE CURRENT WIDEFIELD WATER AND SANITATION DISTRICT SPECIFICATIONS. COMPACTION REQUIREMENTS SHALL BE 95% STANDARD PROCTOR AS DETERMINED BY ASTM D698, UNLESS OTHERWISE APPROVED BY THE WIDEFIELD WATER AND SANITATION DISTRICT OR A HIGHER STANDARD IS IMPOSED BY ANOTHER AGENCY HAVING RIGHT-OF-WAY JURISDICTION.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE WIDEFIELD WATER AND SANITATION DISTRICT. THE WIDEFIELD WATER AND SANITATION DISTRICT RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- THE DEVELOPER OR HIS ENGINEER HAS LOCATED ALL FIRE HYDRANTS AND FUTURE SERVICE STUBS. ANY REQUIRED REALIGNMENT, EITHER HORIZONTAL OR VERTICAL, SHALL BE AT THE EXPENSE OF THE DEVELOPER.
- ALL DUCTILE IRON PIPE, TO INCLUDE FITTINGS, VALVES AND FIRE HYDRANTS WILL BE WRAPPED WITH POLYETHYLENE TUBING, AND ELECTRICALLY ISOLATED.
- ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE DOUBLE BONDED. SPECIFICATIONS FOR CATHODIC PROTECTION ON BOTH DIP MAINS AND PVC MAINS IS SPECIFIED IN THE STANDARDS AND SPECIFICATIONS.
- PVC MAIN LINES SHALL BE INSTALLED WITH COATED NO. 12 TRACER WIRE.
- THE CONTRACTOR IS REQUIRED TO NOTIFY THE WIDEFIELD WATER AND SANITATION DISTRICT (390-7111) A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO NOTIFY AFFECTED UTILITY COMPANIES 48 HOURS PRIOR TO CONSTRUCTION ADJACENT TO THE KNOWN UTILITY LINES.
- THE LOCATION OF ALL UTILITIES AS SHOWN ON THESE DRAWINGS ARE APPROXIMATE ONLY. THE LOCATION OF ALL UTILITIES SHALL BE VERIFIED PRIOR TO CONSTRUCTION BY THE CONTRACTOR.
- THE CONTRACTOR SHALL FIELD EXCAVATE AND VERIFY THE VERTICAL AND HORIZONTAL LOCATION OF ALL TIE-INS. CONTRACTOR SHALL NOTIFY THE WIDEFIELD WATER AND SANITATION DISTRICT AND THE ENGINEER OF THE FIELD VERIFIED INFORMATION PRIOR TO CONSTRUCTION.
- ALL BENDS SHALL BE FIELD STAKED PRIOR TO CONSTRUCTION.
- ANY WATER UTILITY MATERIAL REMOVED AND NOT REUSED SHALL BE RETURNED TO THE WIDEFIELD WATER AND SANITATION DISTRICT IF THE DISTRICT SO REQUESTS.
- THE CONTRACTOR SHALL AT HIS EXPENSE SUPPORT AND PROTECT ALL UTILITY MAINS SO THAT THEY WILL FUNCTION CONTINUOUSLY DURING CONSTRUCTION. SHOULD A UTILITY MAIN FAIL AS A RESULT OF THE CONTRACTOR'S OPERATION, IT WILL BE REPLACED IMMEDIATELY BY EITHER THE CONTRACTOR OR THE WIDEFIELD WATER AND SANITATION DISTRICT AT FULL COST OF LABOR AND MATERIALS TO THE CONTRACTOR.
- ANY PUMPING OR BYPASS OPERATIONS MUST BE REVIEWED AND APPROVED PRIOR TO EXECUTION BY BOTH THE WIDEFIELD WATER AND SANITATION DISTRICT AND THE ENGINEER.
- CONTRACTOR MUST REPLACE OR REPAIR ANY DAMAGE TO ALL SURFACE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO FENCES, CURB AND GUTTER AND/OR ASPHALT THAT MAY BE CAUSED DURING CONSTRUCTION.
- ALL WATER LINES 6" AND LARGER, AND ALL SEWER LINES 8" AND LARGER, SHALL HAVE AS "AS-BUILT" PLANS PREPARED AND APPROVED PRIOR TO FINAL ACCEPTANCE BY THE WIDEFIELD WATER AND SANITATION DISTRICT.
- PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION CONFERENCE IS REQUIRED A MINIMUM OF 72 HOURS IN ADVANCE OF COMMENCEMENT OF WORK. TO SET THE PRE-CONSTRUCTION CONFERENCE, CONTACT BRANDON BERNARD-WATER DIVISION MANAGER AND/OR JASON DREESSEN, WASTEWATER DIVISION MANAGER AT (719)955-0548 OF THE WIDEFIELD WATER AND SANITATION DISTRICT FOR A TIME. NO PRE-CONSTRUCTION CONFERENCE TIMES WILL BE SET UNTIL 4 SETS OF SIGNED DRAWINGS ARE RECEIVED BY THE WIDEFIELD W & S DISTRICT. PRE-CONSTRUCTION DATE/INITIALS ----- .

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APPROVED: KMH


CAD DATE: 4/5/2022

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JOB DATE: 4/5/2022


JOB NUMBER: 200541

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IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION



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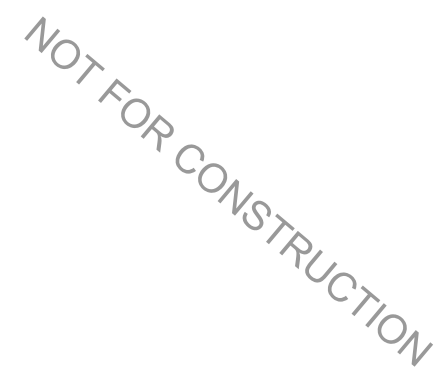
EL PASO COUNTY CONSTRUCTION DOCUMENTS

NOTES WATER AND SANITARY SEWER

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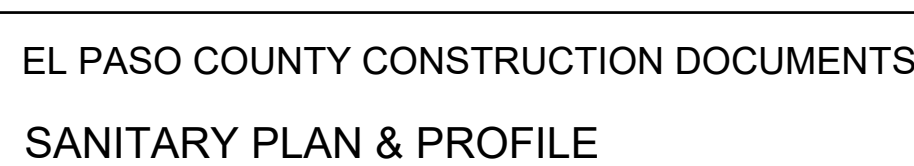
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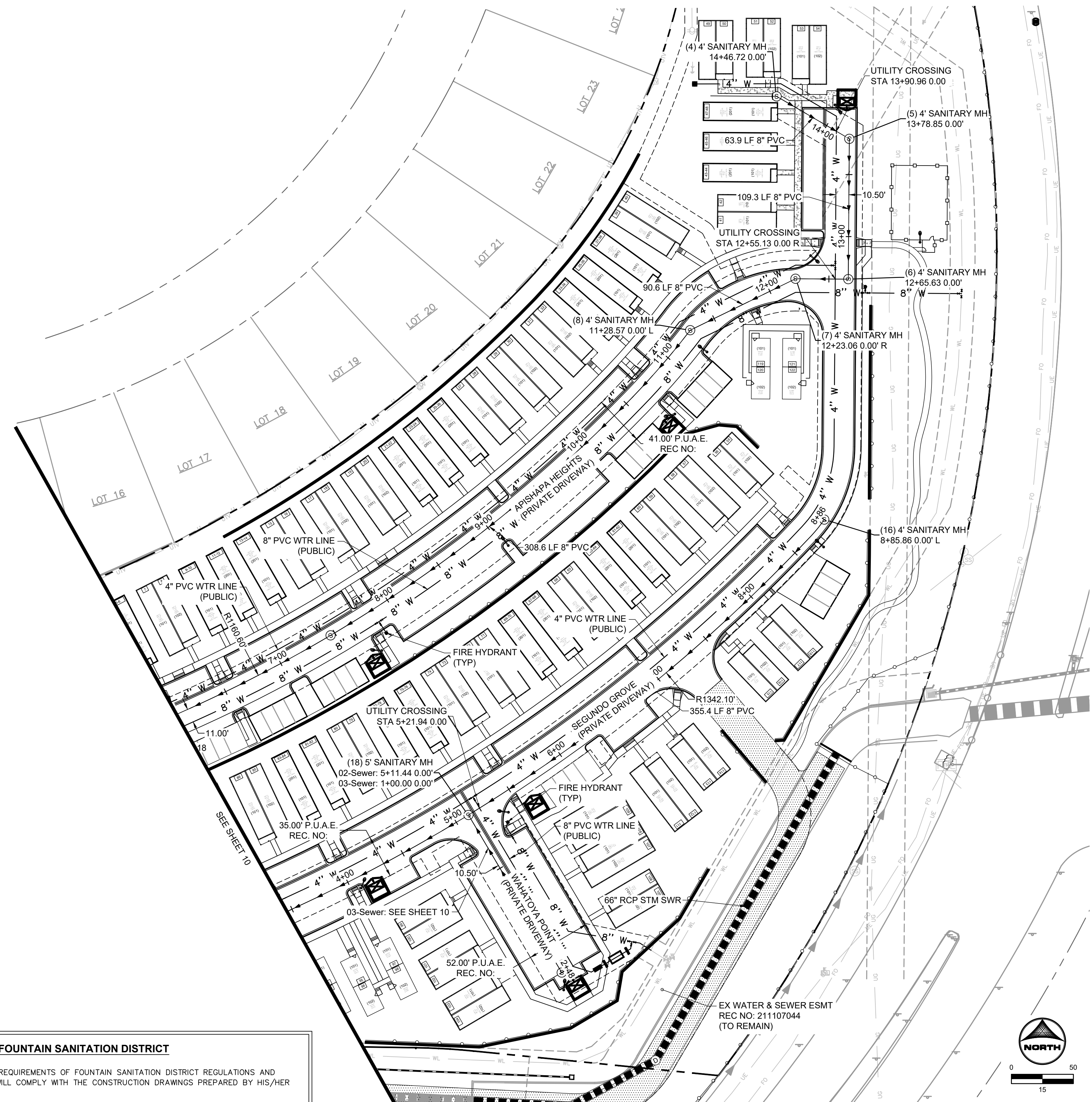
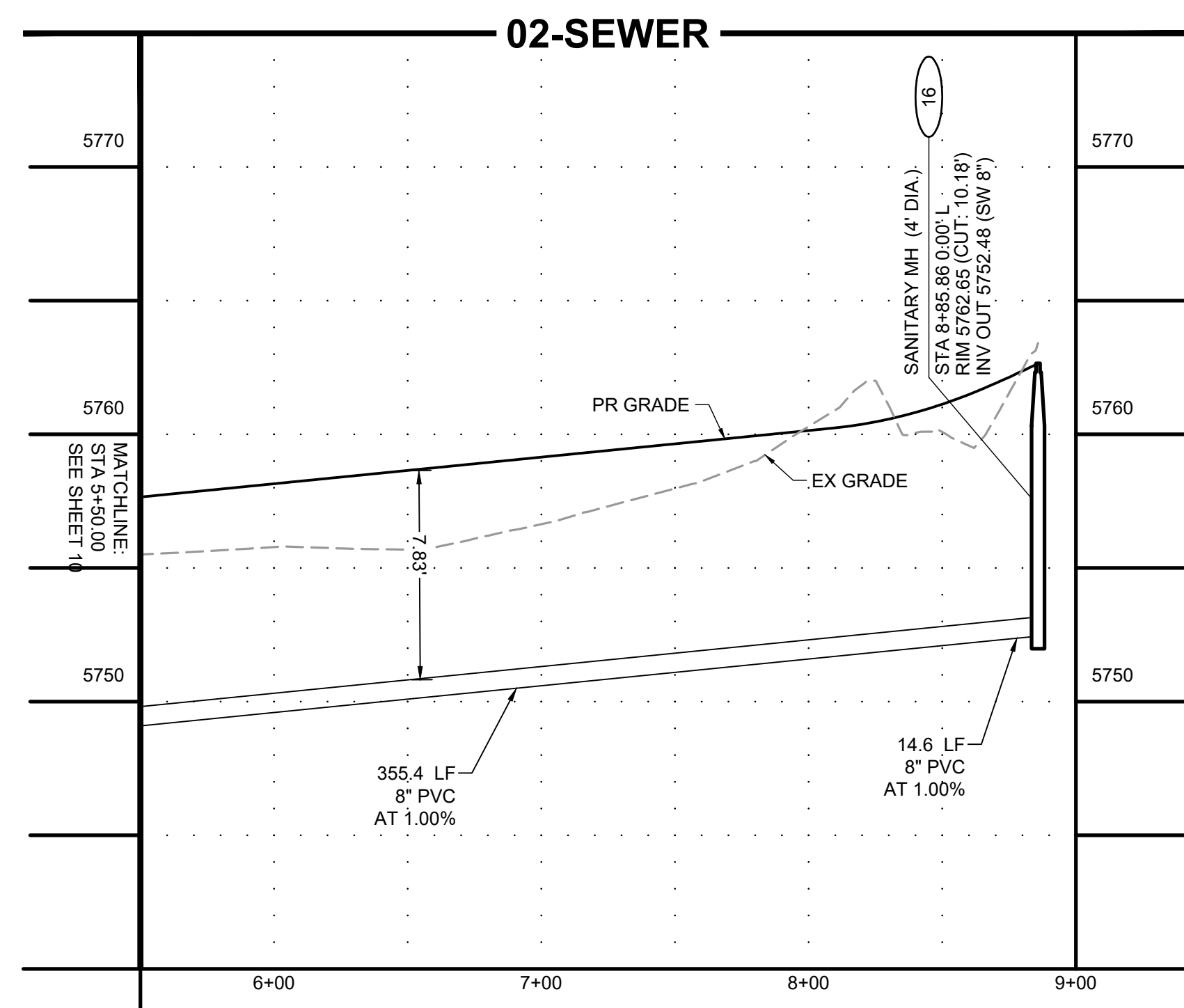


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GOODWIN KNIGHT
EL PASO COUNTY, COLORADO



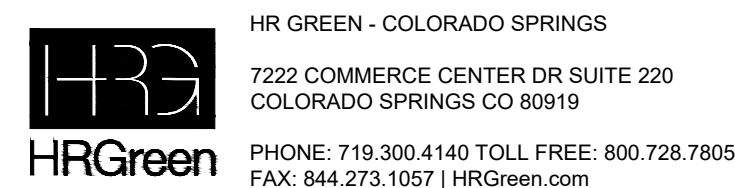
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THE COTTAGES AT MESA RIDGE
GOODWIN KNIGHT
EL PASO COUNTY, COLORADO



EL PASO COUNTY CONSTRUCTION DOCUMENTS
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WATER and SEWER MAIN EXTENSIONS

Any changes or alterations affecting the grade, alignment, elevation and/or depth of cover of any water or sewer mains or other appurtenance shown on this drawing shall be the responsibility of the Owner/Developer. The Owner/Developer shall be responsible for all operational damages and defects in installation and material for mains and services from the date of approval until final acceptance is issued.

Signed _____ Date _____
Owner/Developer

Print Name _____

DBA _____

Address _____

FIRE AUTHORITY APPROVAL

The number of fire hydrants and hydrant locations shown on this water installation plan are correct and adequate to satisfy the fire protection requirements as specified by the Fire District serving the property noted on the plans.

Fire Protection District _____

Signed _____ Date _____
Fire Protection District

DISTRICT APPROVALS

The Widefield Water and Sanitation District recognizes the design engineer as having responsibility for the design and has limited its scope of review accordingly.

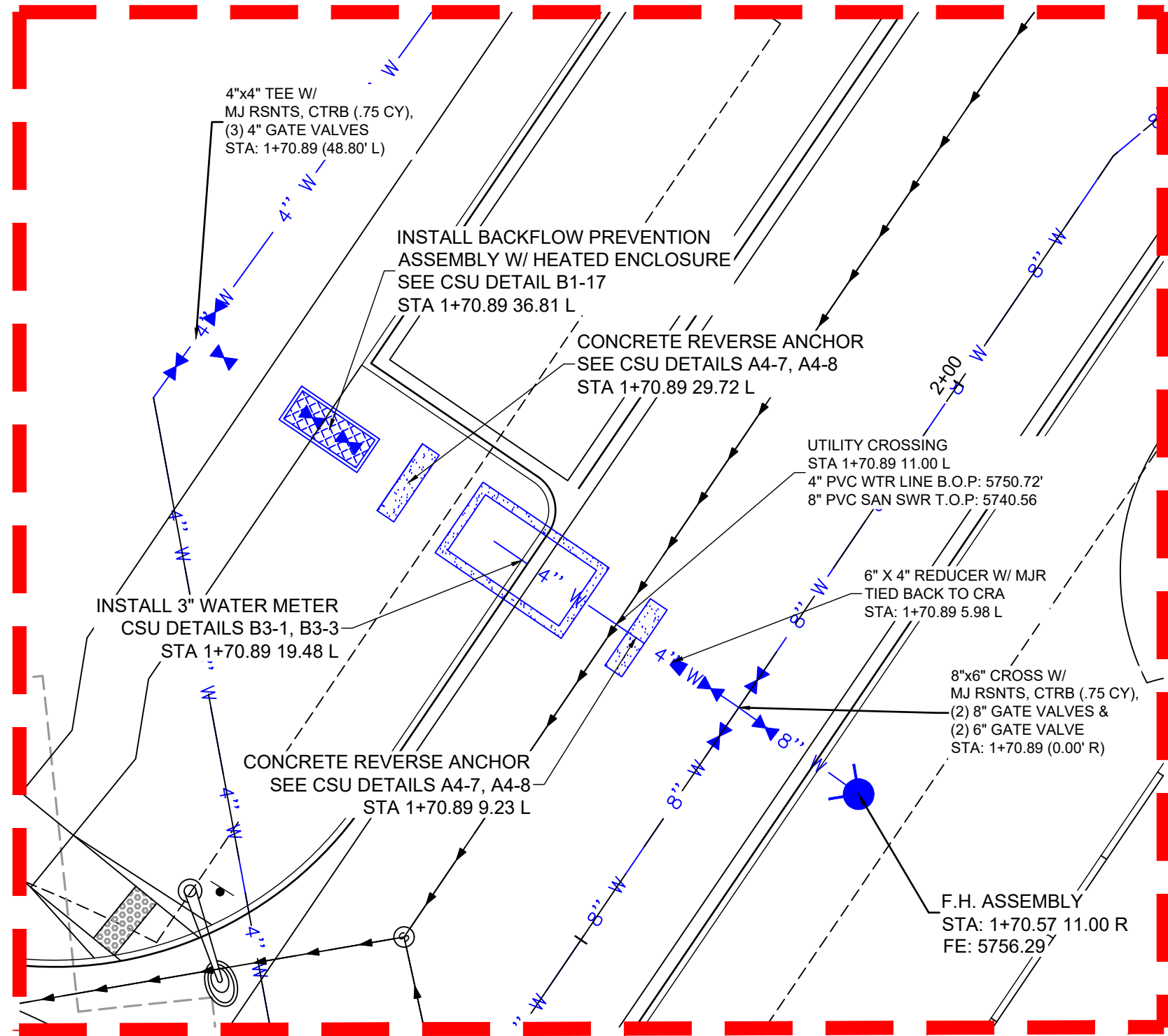
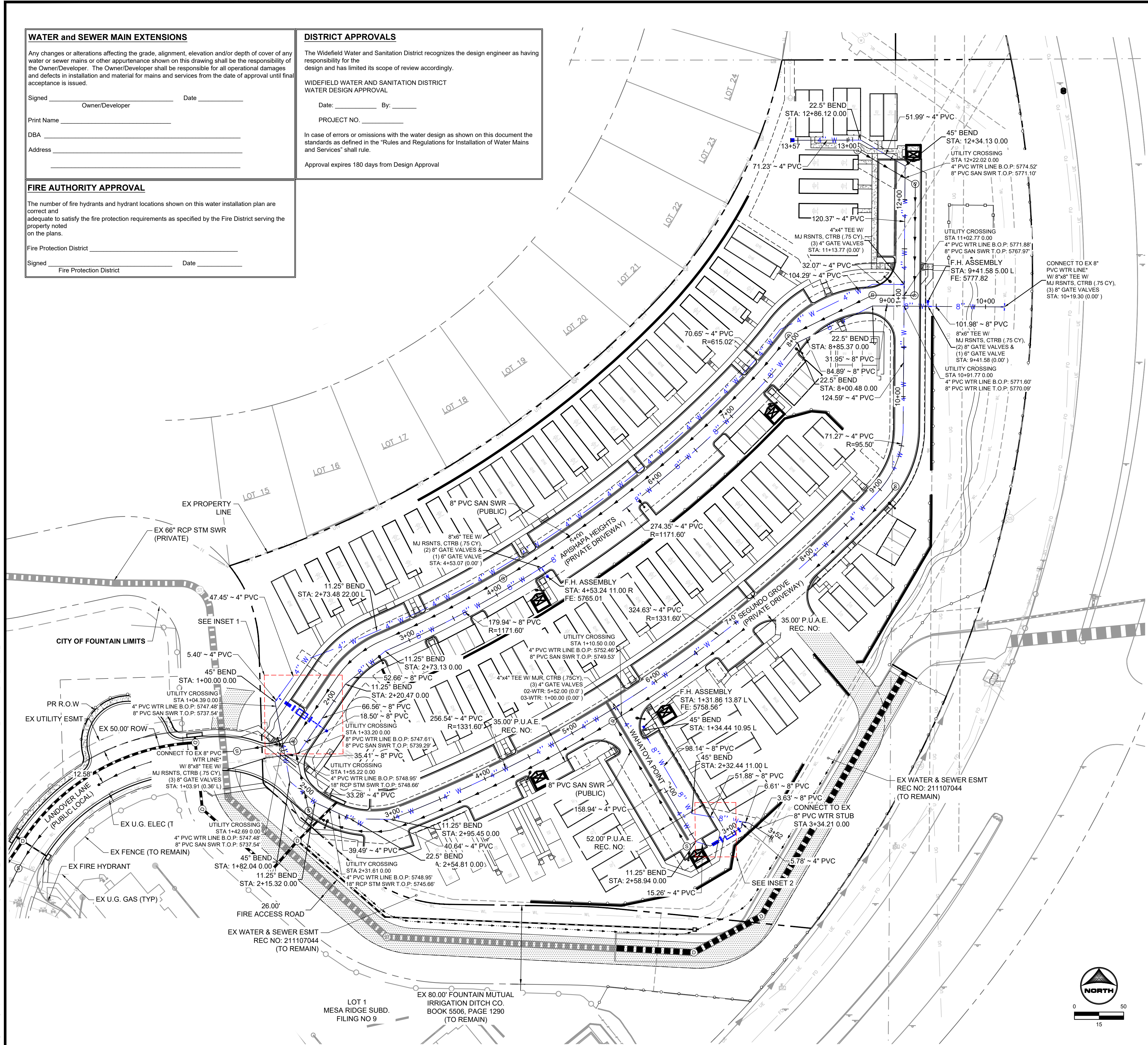
WIDEFIELD WATER AND SANITATION DISTRICT
WATER DESIGN APPROVAL

Date: _____ By: _____

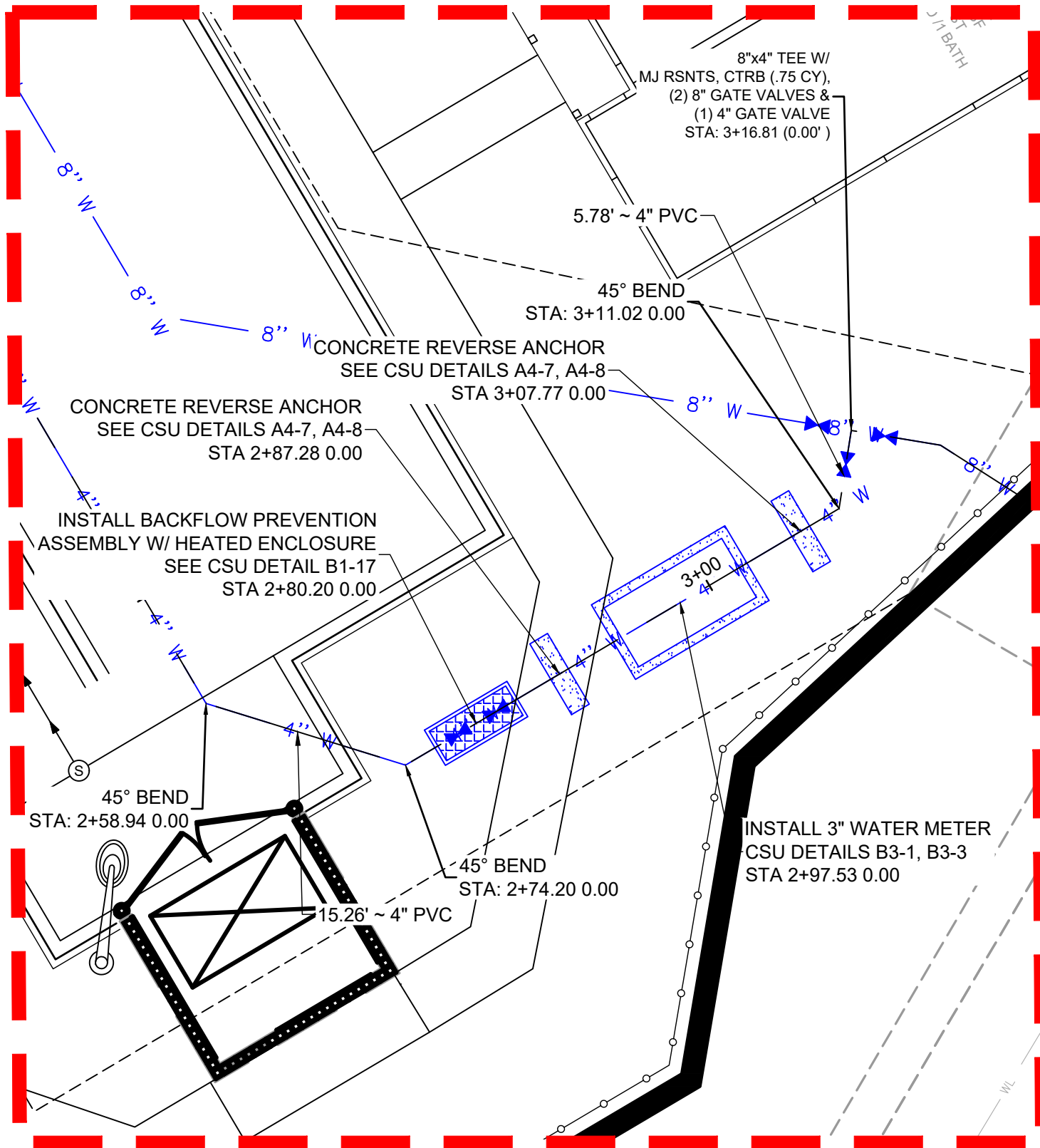
PROJECT NO. _____

In case of errors or omissions with the water design as shown on this document the standards as defined in the "Rules and Regulations for Installation of Water Mains and Services" shall rule.

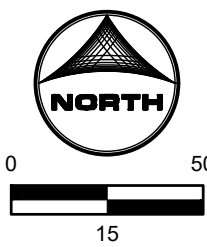
Approval expires 180 days from Design Approval



INSET 1



INSET 2



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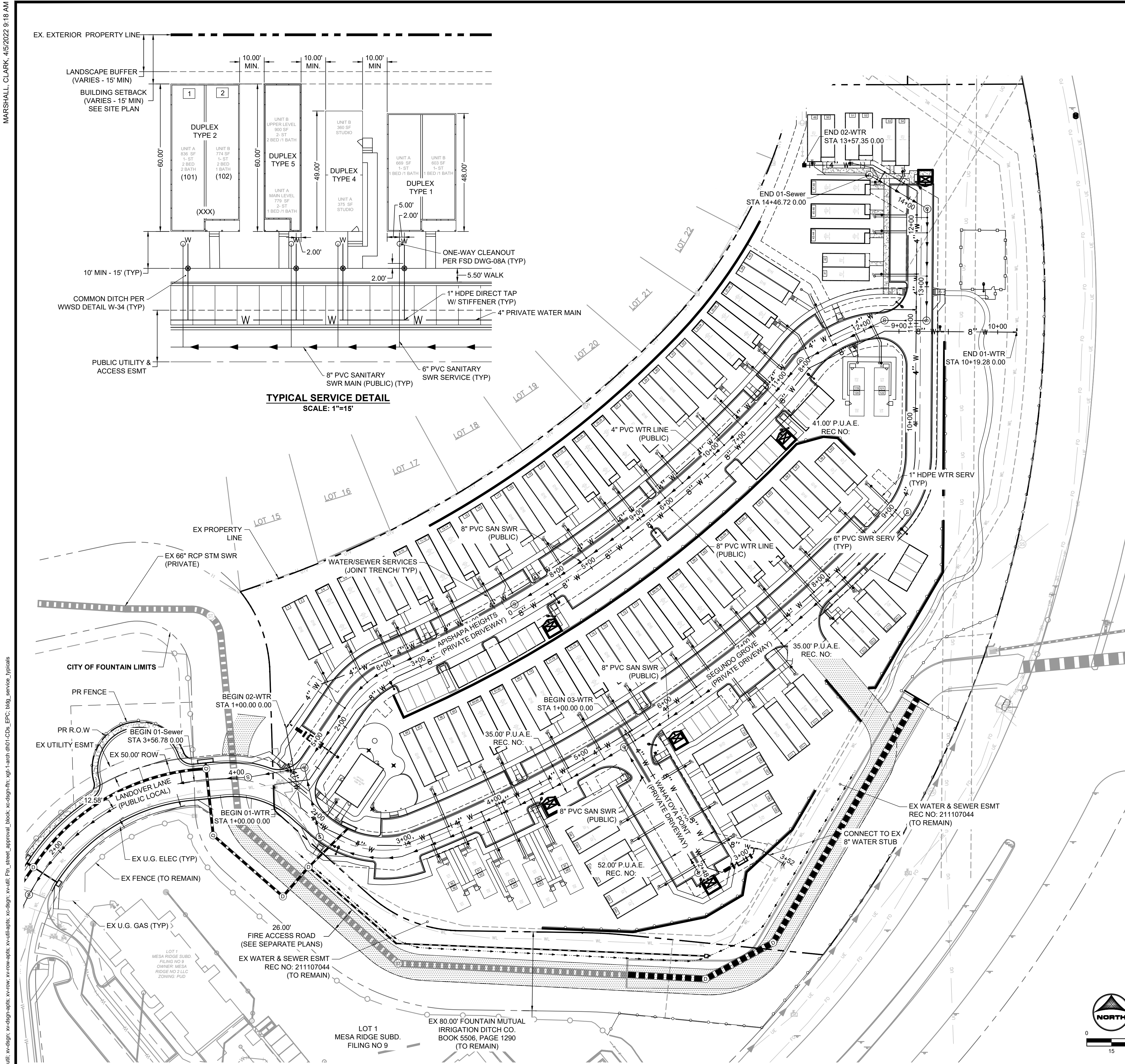
THE COTTAGES AT MESA RIDGE
GOODWIN KNIGHT
EL PASO COUNTY, COLORADO



CITY OF FOUNTAIN CONSTRUCTION DOCUMENTS
WATER DISTRIBUTION PLAN

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SEWER SERVICES

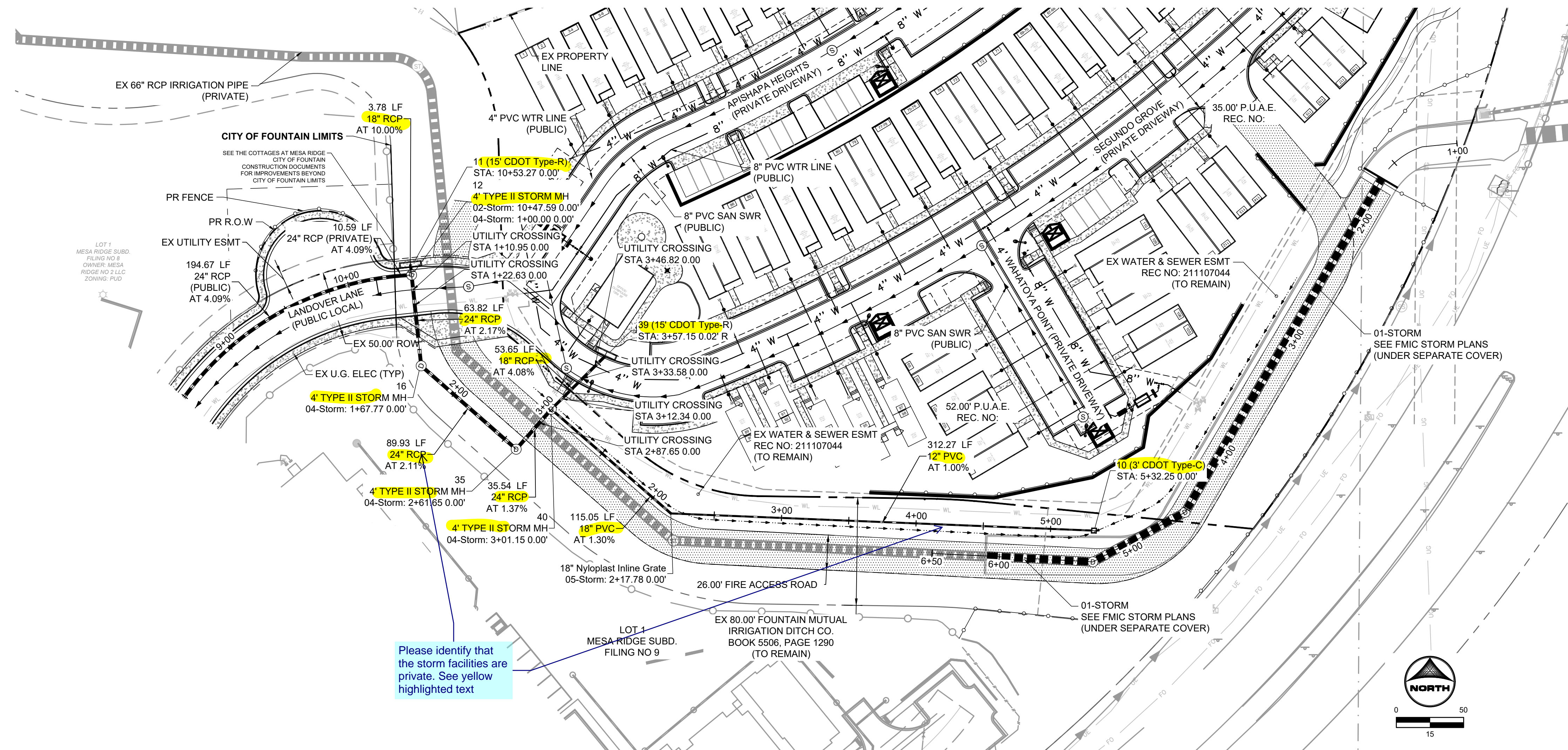
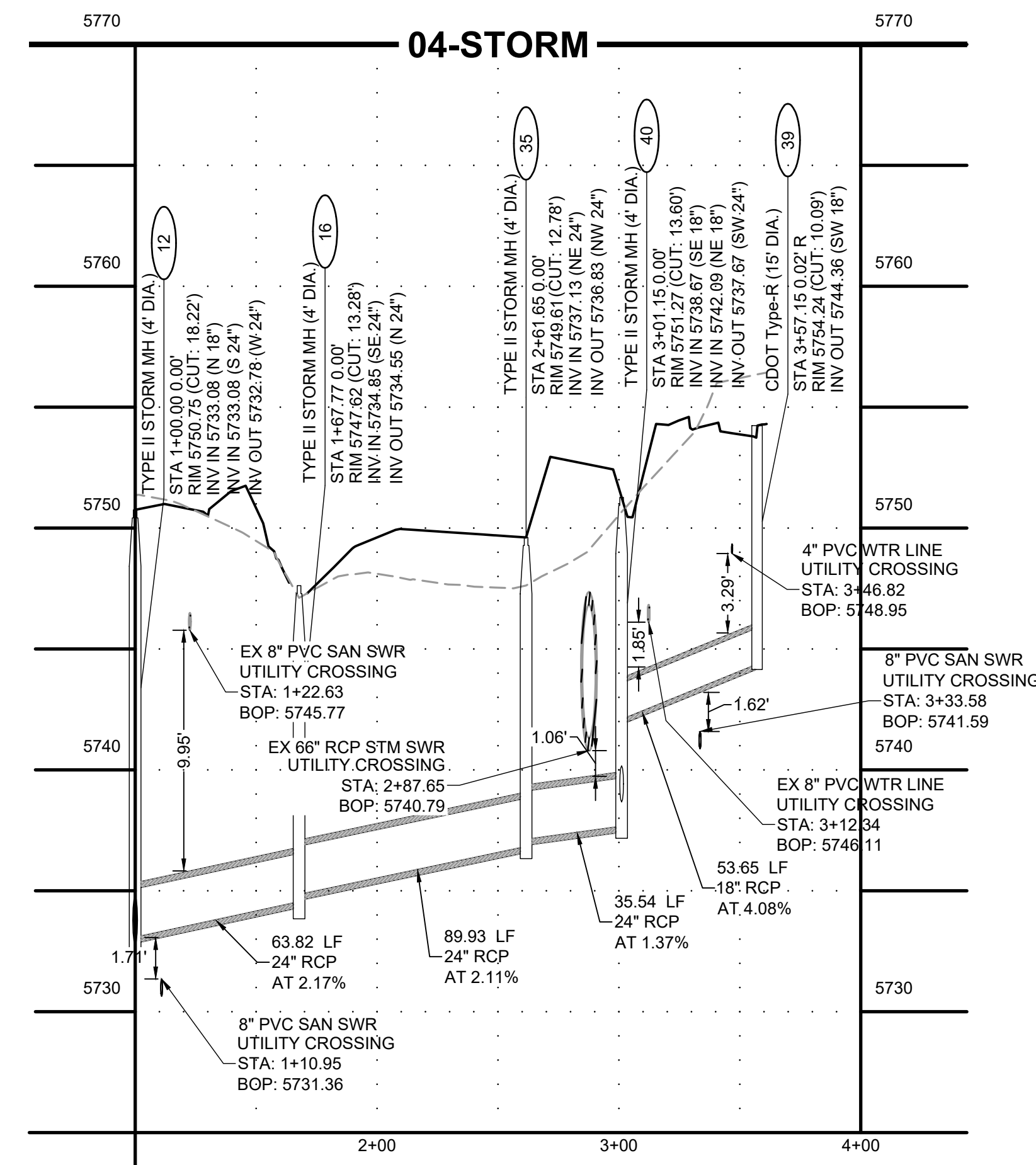
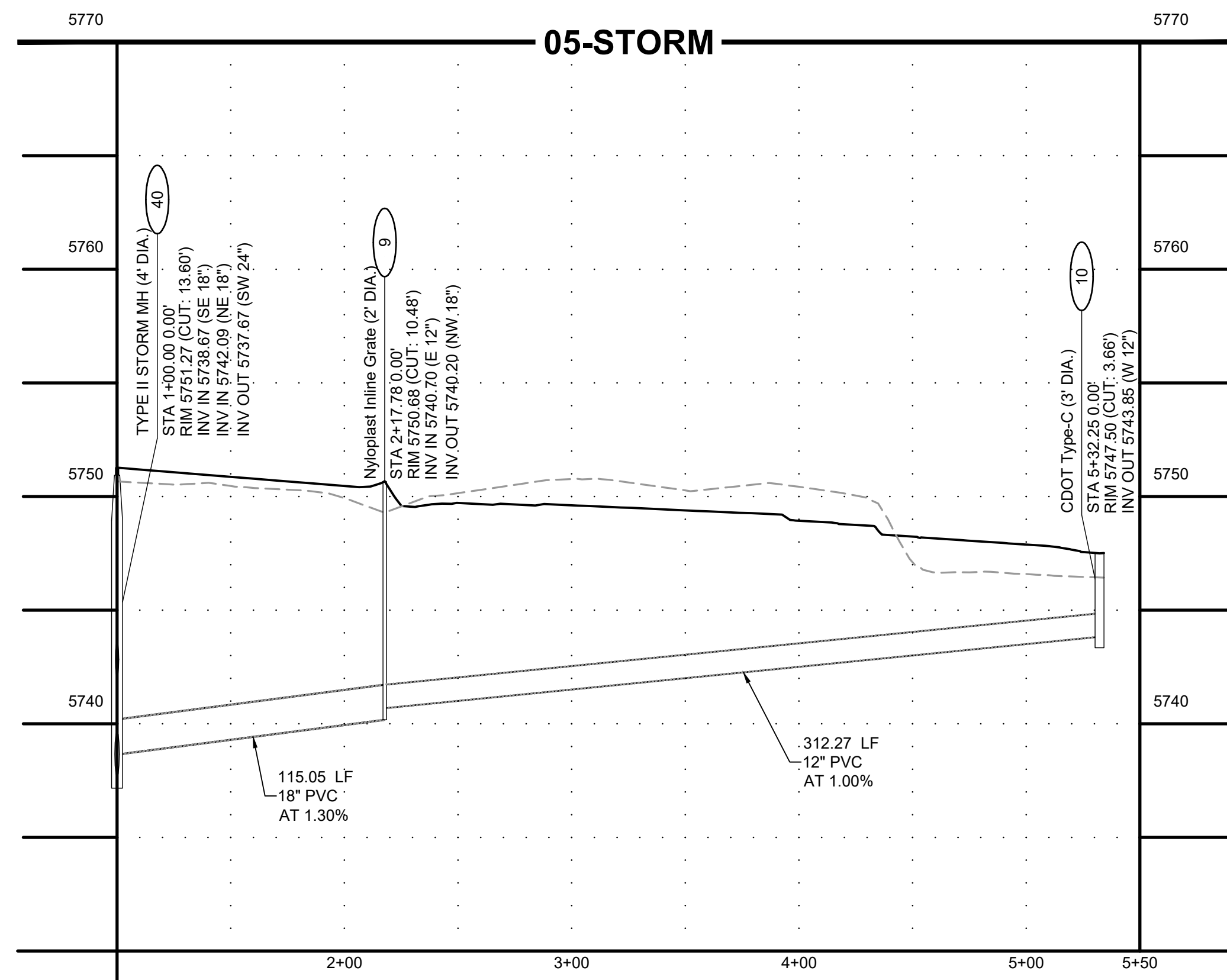
LOT	ALIGNMENT	STATION	OFFSET	LOT	ALIGNMENT	STATION	OFFSET	LOT	ALIGNMENT	STATION	OFFSET
CH	02-Sewer	STA 1+48.70	0.0'	41-42	01-Sewer	STA 13+10.74	0.0'	83-84	02-Sewer	STA 3+91.49	0.0'
1-2	01-Sewer	STA 5+42.35	0.0'	43-44	01-Sewer	STA 13+54.61	0.0'	85-86	02-Sewer	STA 3+70.17	0.0'
3-4	01-Sewer	STA 5+77.06	0.0'	45-46	01-Sewer	STA 13+70.10	0.0'	87-88	02-Sewer	STA 3+13.82	0.0' L
5-6	01-Sewer	STA 6+08.62	0.0'	47-48	01-Sewer	STA 14+33.02	0.0'	89-90	02-Sewer	STA 2+92.56	0.0'
7-8	01-Sewer	STA 6+27.63	0.0'	49-50	01-Sewer	STA 14+50.47	0.0' R	91-92	02-Sewer	STA 3+25.15	0.0'
9-10	01-Sewer	STA 6+71.64	0.0'	51-52	01-Sewer	STA 14+37.97	0.0'	93-94	02-Sewer	STA 3+50.16	0.0'
11-12	01-Sewer	STA 6+89.36	0.0'	53-54	01-Sewer	STA 14+15.90	0.0'	95-96	02-Sewer	STA 3+72.67	0.0' R
13-14	01-Sewer	STA 7+26.70	0.0'	55-56	02-Sewer	STA 8+77.13	0.0'	97-98	02-Sewer	STA 4+03.47	0.0'
15-16	01-Sewer	STA 7+36.12	0.0'	57-58	02-Sewer	STA 8+38.82	0.0' L	99-100	03-Sewer	STA 1+63.12	0.0'
17-18	01-Sewer	STA 8+05.80	0.0' L	59-60	02-Sewer	STA 7+80.53	0.0'	101-102	03-Sewer	STA 1+85.12	0.0'
19-20	01-Sewer	STA 8+32.70	0.0'	61-62	02-Sewer	STA 7+59.01	0.0'	103-104	03-Sewer	STA 2+39.12	0.0'
21-22	01-Sewer	STA 8+79.27	0.0'	63-64	02-Sewer	STA 7+22.26	0.0'	105-106	03-Sewer	STA 2+32.47	0.0'
23-24	01-Sewer	STA 8+97.48	0.0' L	65-66	02-Sewer	STA 6+84.11	0.0'	107-108	03-Sewer	STA 1+94.47	0.0'
25-26	01-Sewer	STA 9+33.07	0.0' L	67-68	02-Sewer	STA 6+62.70	0.0'	109-110	03-Sewer	STA 1+46.05	0.0'
27-28	01-Sewer	STA 9+56.22	0.0'	69-70	02-Sewer	STA 6+25.94	0.0'	111-112	02-Sewer	STA 6+40.50	0.0'
29-30	01-Sewer	STA 10+13.39	0.0'	71-72	02-Sewer	STA 6+04.51	0.0'	113-114	02-Sewer	STA 6+92.25	0.0'
31-32	01-Sewer	STA 10+39.91	0.0'	73-74	02-Sewer	STA 5+46.16	0.0'	115-116	02-Sewer	STA 7+54.62	0.0'
33-34	01-Sewer	STA 10+90.04	0.0'	75-76	02-Sewer	STA 5+24.66	0.0'	117-118	02-Sewer	STA 7+90.73	0.0' L
35-36	01-Sewer	STA 11+09.01	0.0'	77-78	02-Sewer	STA 4+87.90	0.0'	119-120	01-Sewer	STA 11+89.31	0.0' R
37-38	01-Sewer	STA 11+37.29	0.0'	79-80	02-Sewer	STA 4+49.75	0.0'	121-122	01-Sewer	STA 12+08.39	0.0' R
39-40	01-Sewer	STA 11+65.24	0.0' L	81-82	02-Sewer	STA 4+28.24	0.0' L				

WATER SERVICES

LOT	ALIGNMENT	STATION	OFFSET	LOT	ALIGNMENT	STATION	OFFSET	LOT	ALIGNMENT	STATION	OFFSET
CH	02-WTR	STA 2+09.03	0.0'	41-42	02-WTR	STA 11+49.80	0.0'	83-84	02-WTR	STA 4+24.31	0.0'
1-2	01-WTR	STA 2+20.47	41.3' L	43-44	02-WTR	STA 11+93.67	0.0' R	85-86	02-WTR	STA 4+03.44	0.0'
3-4	01-WTR	STA 2+49.76	29.9' L	45-46	02-WTR	STA 12+09.80	0.0' R	87-88	02-WTR	STA 3+47.25	0.0'
5-6	01-WTR	STA 2+76.54	21.9' L	47-48	02-WTR	STA 12+72.17	0.0'	89-90	02-WTR	STA 3+26.16	0.0' L
7-8	01-WTR	STA 2+95.91	22.0' L	49-50	02-WTR	STA 13+47.53	0.0'	91-92	02-WTR	STA 3+58.47	0.0' R
9-10	01-WTR	STA 3+40.76	22.0' L	51-52	02-WTR	STA 13+09.13	0.0' R	93-94	02-WTR	STA 3+83.31	0.0'
11-12	01-WTR	STA 3+58.82	22.0' L	53-54	02-WTR	STA 12+54.77	0.0'	95-96	02-WTR	STA 4+05.95	0.0' R
13-14	01-WTR	STA 3+96.36	22.0' L	55-56	02-WTR	STA 9+06.39	0.0'	97-98	02-WTR	STA 4+36.19	0.0'
15-16	01-WTR	STA 4+18.13	22.0' L	57-58	02-WTR	STA 8+68.13	0.0' L	99-100	03-WTR	STA 1+75.84	0.0'
17-18	01-WTR	STA 4+76.26	22.0' L	59-60	02-WTR	STA 8+10.31	0.0'	101-102	03-WTR	STA 1+97.84	0.0'
19-20	01-WTR	STA 5+03.15	22.0' L	61-62	02-WTR	STA 7+88.95	0.0'	103-104	03-WTR	STA 2+51.84	0.0'
21-22	01-WTR	STA 5+50.39	22.0' L	63-64	02-WTR	STA 7+52.49	0.0'	105-106	03-WTR	STA 2+45.19	0.0'
23-24	01-WTR	STA 5+68.76	22.0' L	65-66	02-WTR	STA 7+14.64	0.0'	107-108	03-WTR	STA 2+07.19	0.0'
25-26	01-WTR	STA 6+05.03	22.0' L	67-68	02-WTR	STA 6+93.40	0.0'	109-110	03-WTR	STA 1+58.77	0.0' R
27-28	01-WTR	STA 6+28.37	22.0' L	69-70	02-WTR	STA 6+56.93	0.0'	111-112	02-WTR	STA 6+71.37	0.0'
29-30	01-WTR	STA 6+86.97	22.0' L	71-72	02-WTR	STA 6+35.67	0.0'	113-114	02-WTR	STA 7+22.64	0.0'
31-32	01-WTR	STA 7+13.44	22.0' L	73-74	02-WTR	STA 5+77.77	0.0'	115-116	02-WTR	STA 7+84.24	0.0'
33-34	01-WTR	STA 7+63.45	22.0' L	75-76	02-WTR	STA 5+57.00	0.0'	117-118	02-WTR	STA 8+20.36	0.0'
35-36	01-WTR	STA 7+83.10	22.0' L	77-78	02-WTR	STA 5+19.97	0.0'	119-120	01-WTR	STA 8+58.41	19.7' L
37-38	01-WTR	STA 8+06.03	19.7' L	79-80	02-WTR	STA 4+82.12	0.0'	121-122	01-WTR	STA 8+77.50	19.7' L
39-40	01-WTR	STA 8+34.34	19.7' L	81-82	02-WTR	STA 4+60.78	0.0'				


NO.	DATE	BY	REVISION DESCRIPTION





<p>EL PASO COUNTY ENGINEER STORM PLAN DESIGN APPROVAL</p>	
<p>PROJECT NUMBER: _____</p>	
<p>WORK ORDER NUMBER: _____</p>	
<p>SHEET _____ OF _____</p>	
<p>APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE ABOVE AND RESUBMITTAL OF THESE PLANS FOR REVIEW AND APPROVAL IS REQUIRED IF CONSTRUCTION DOES NOT BEGIN DURING THIS PERIOD.</p>	

NOT FOR CONSTRUCTION

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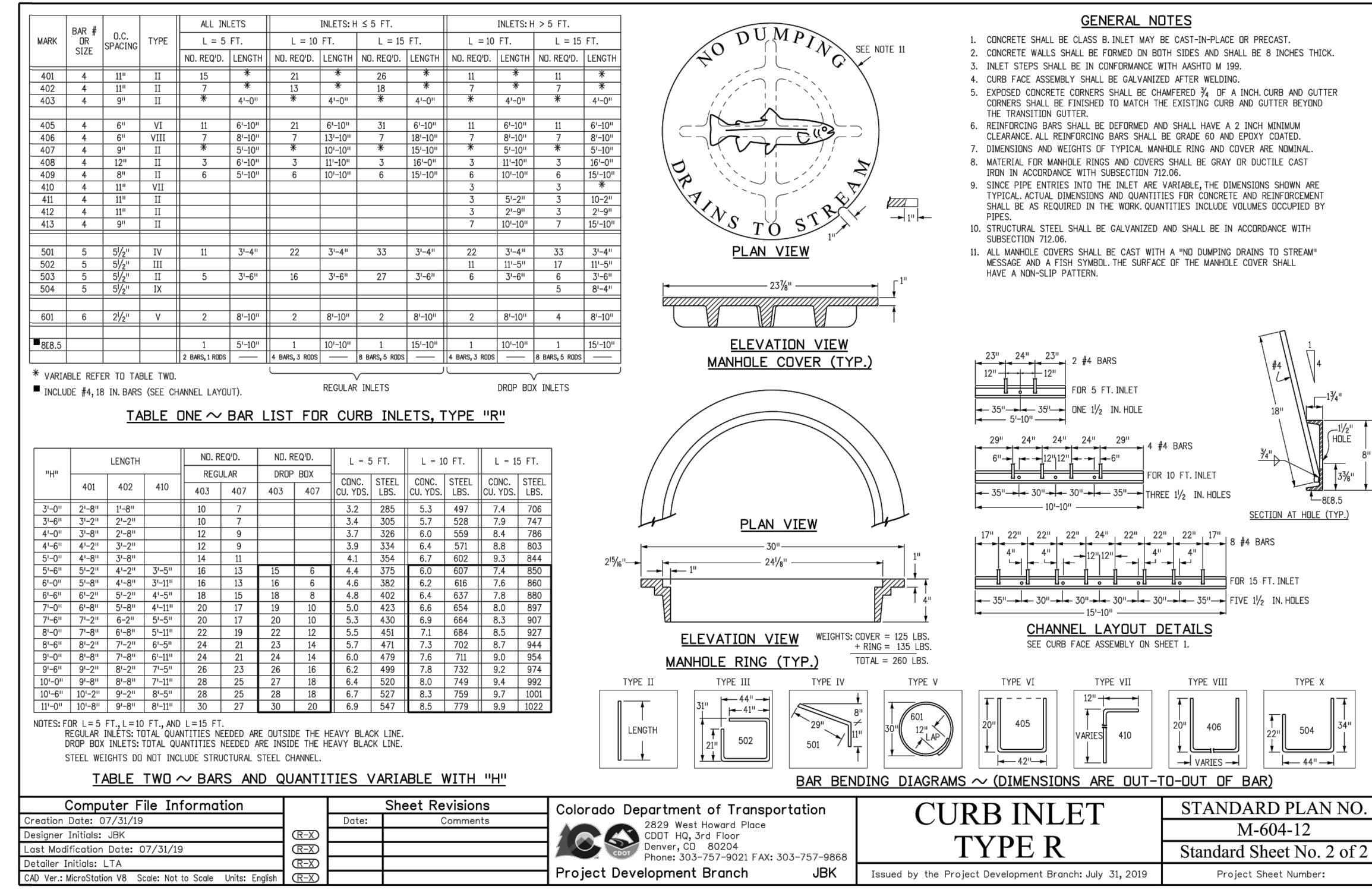
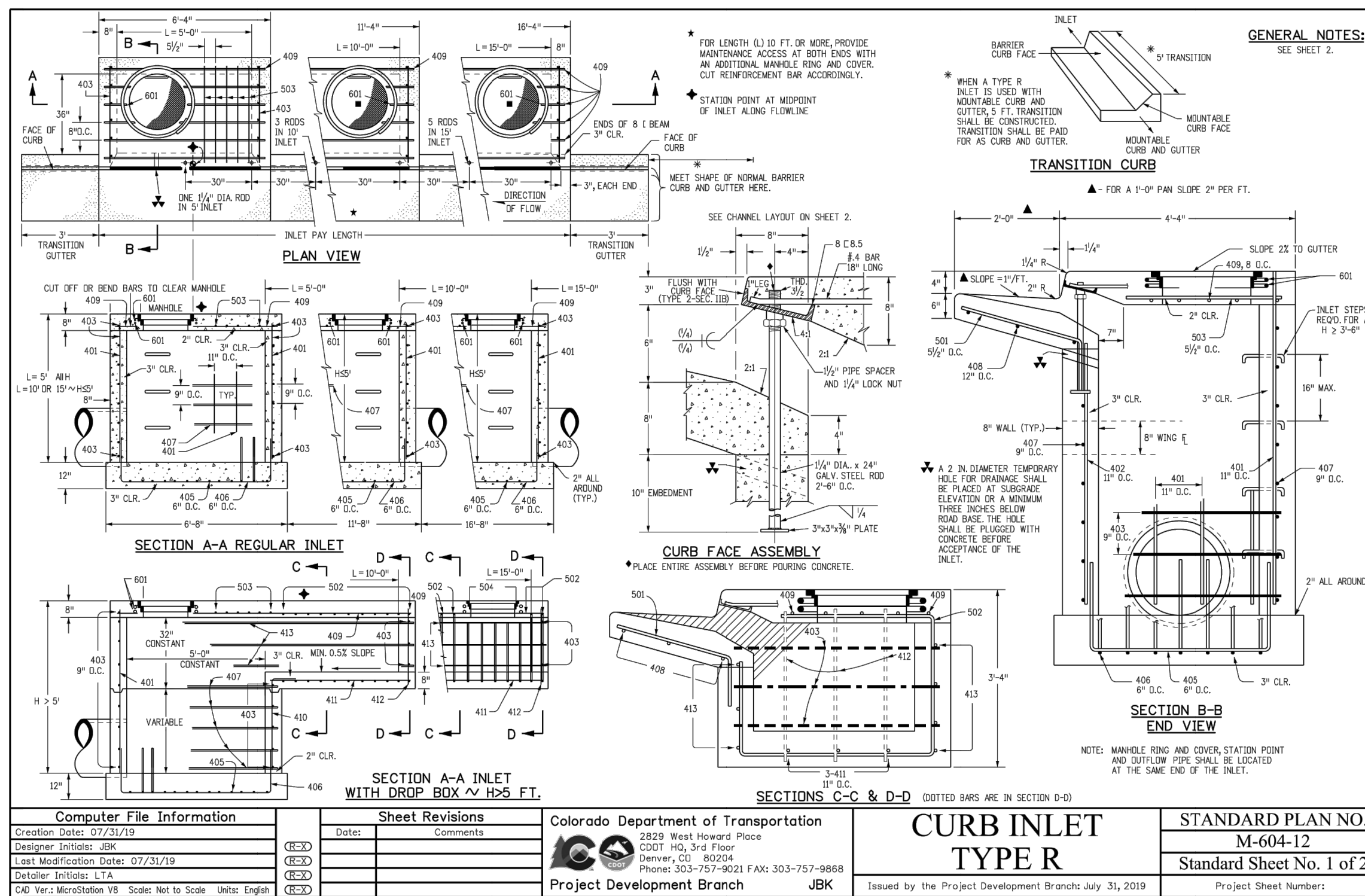
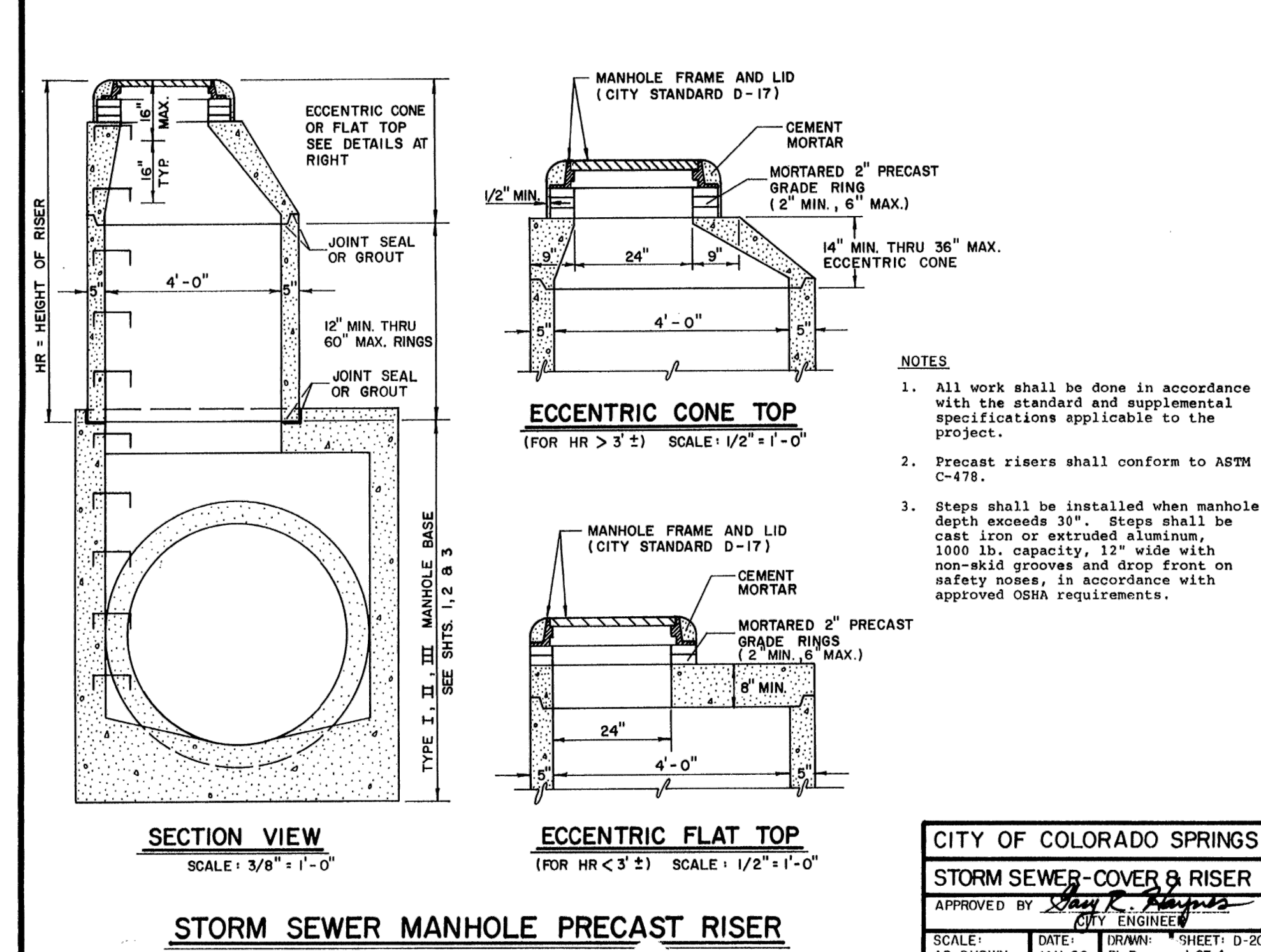
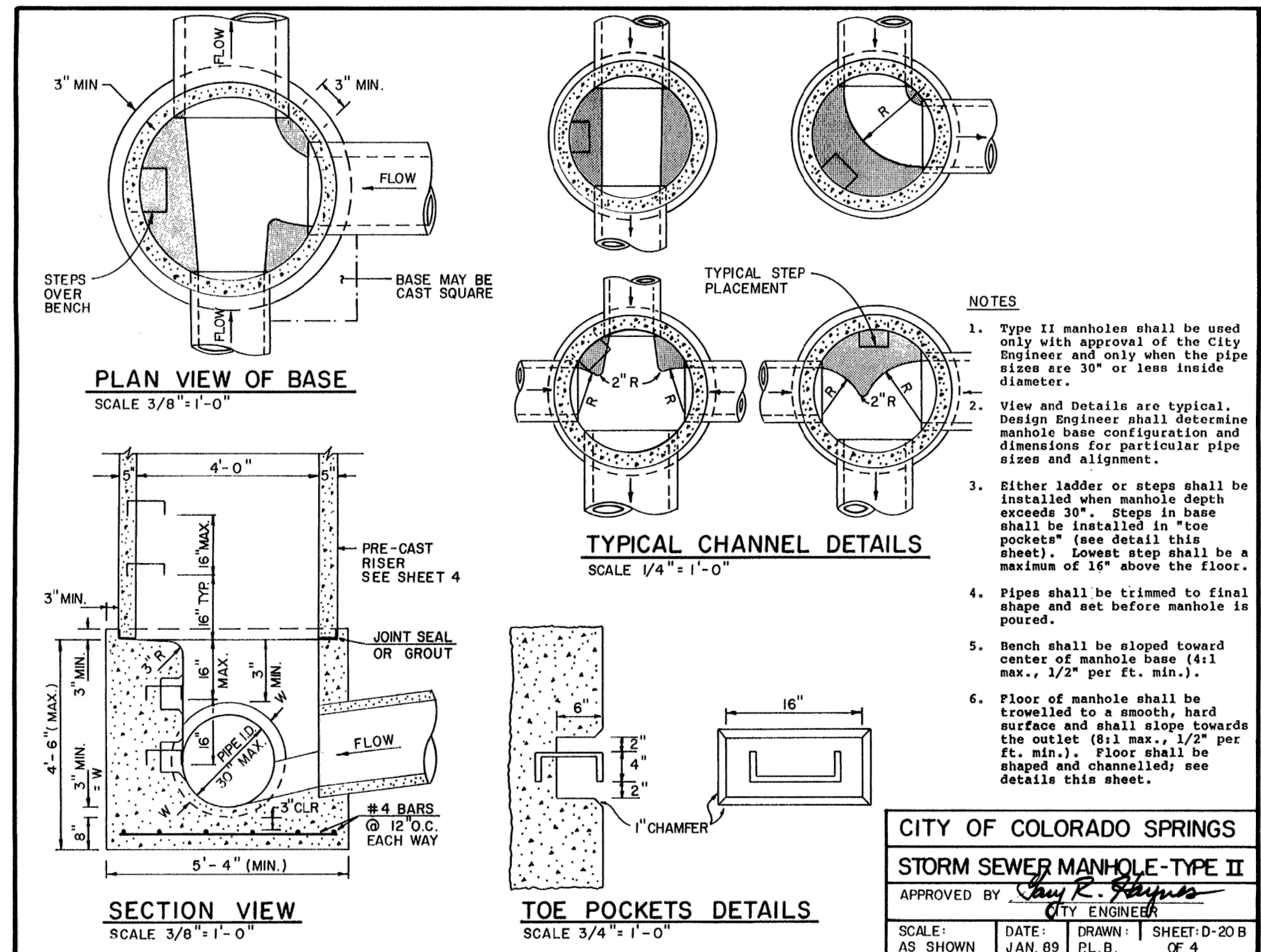
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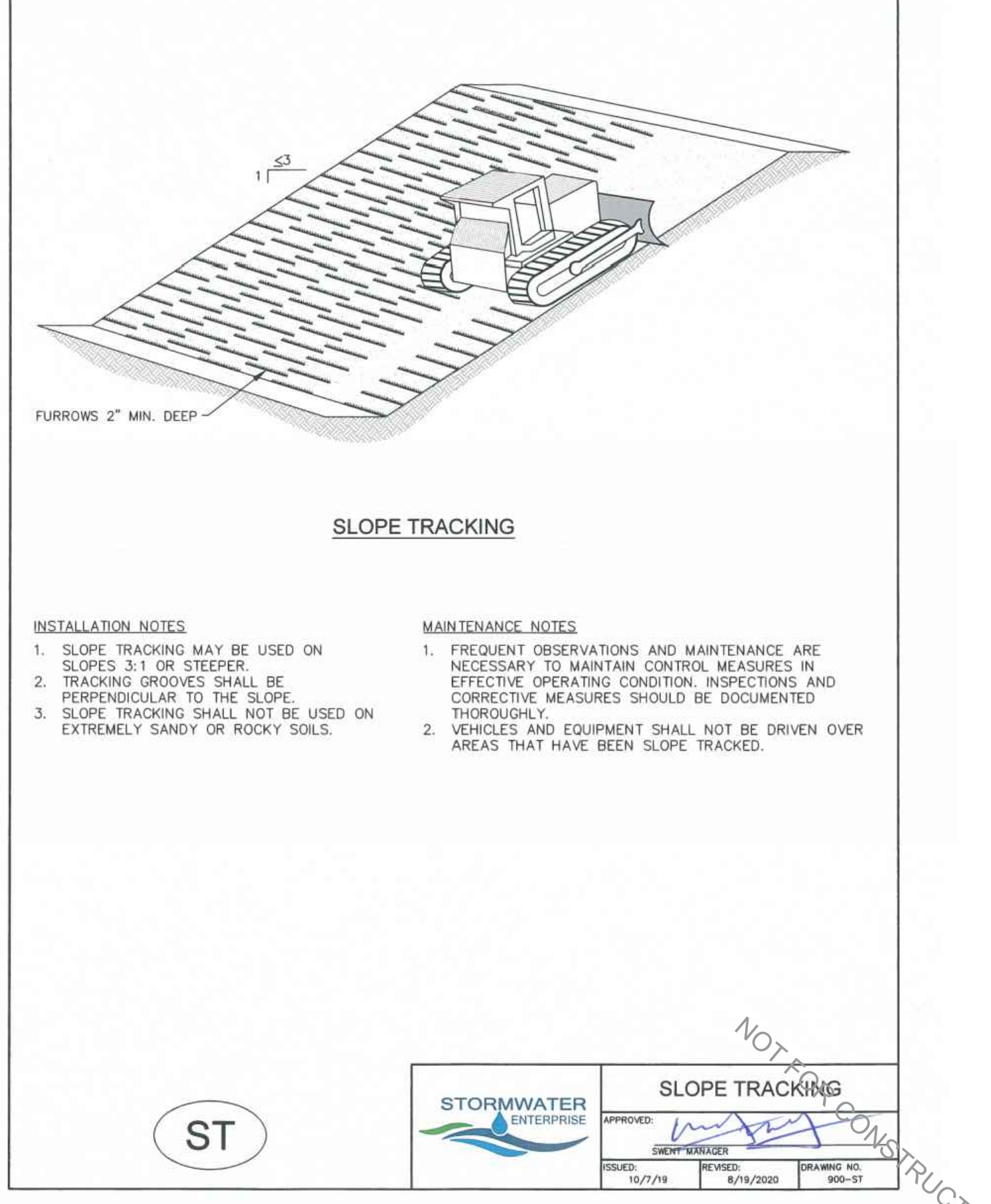
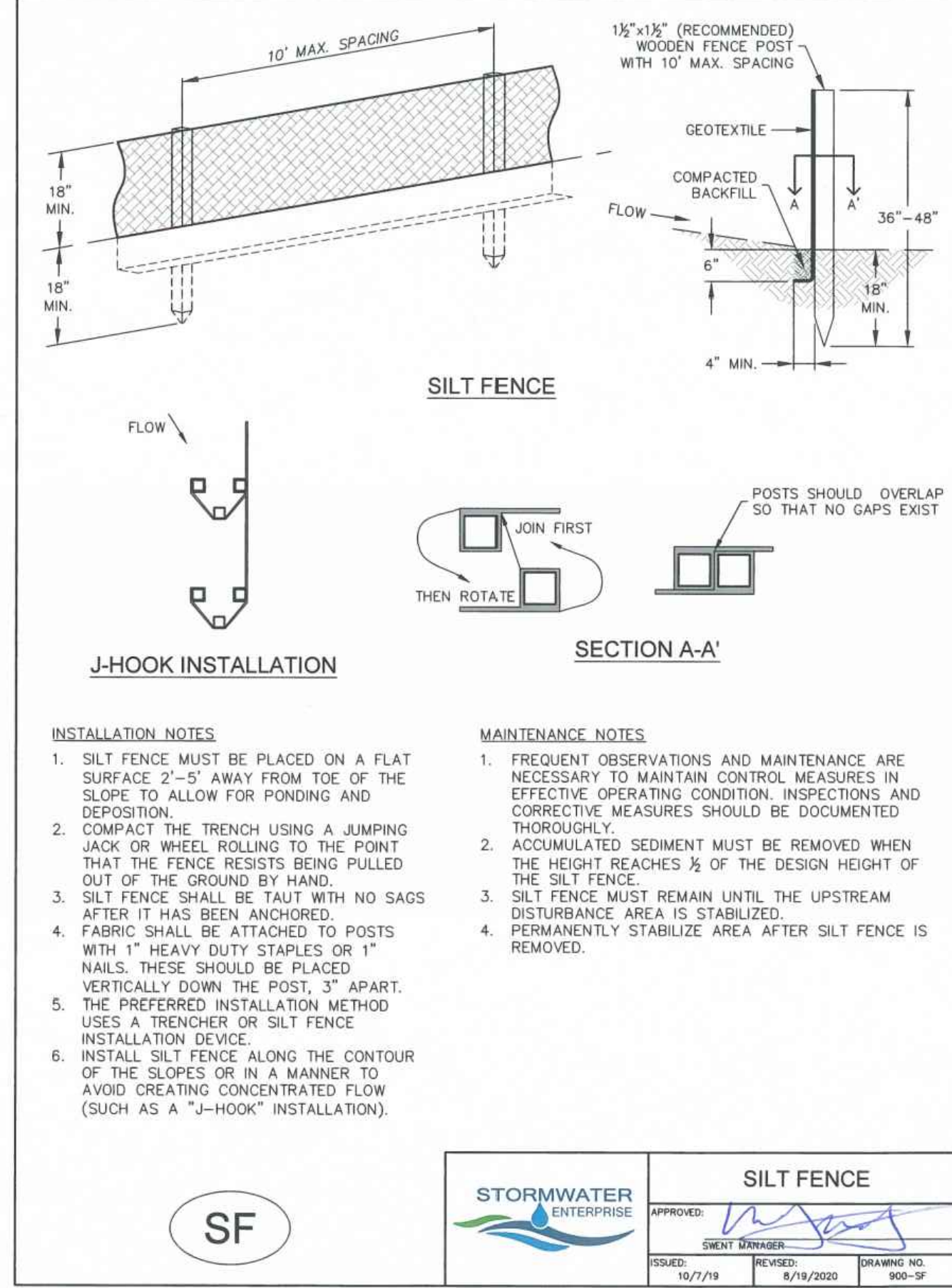
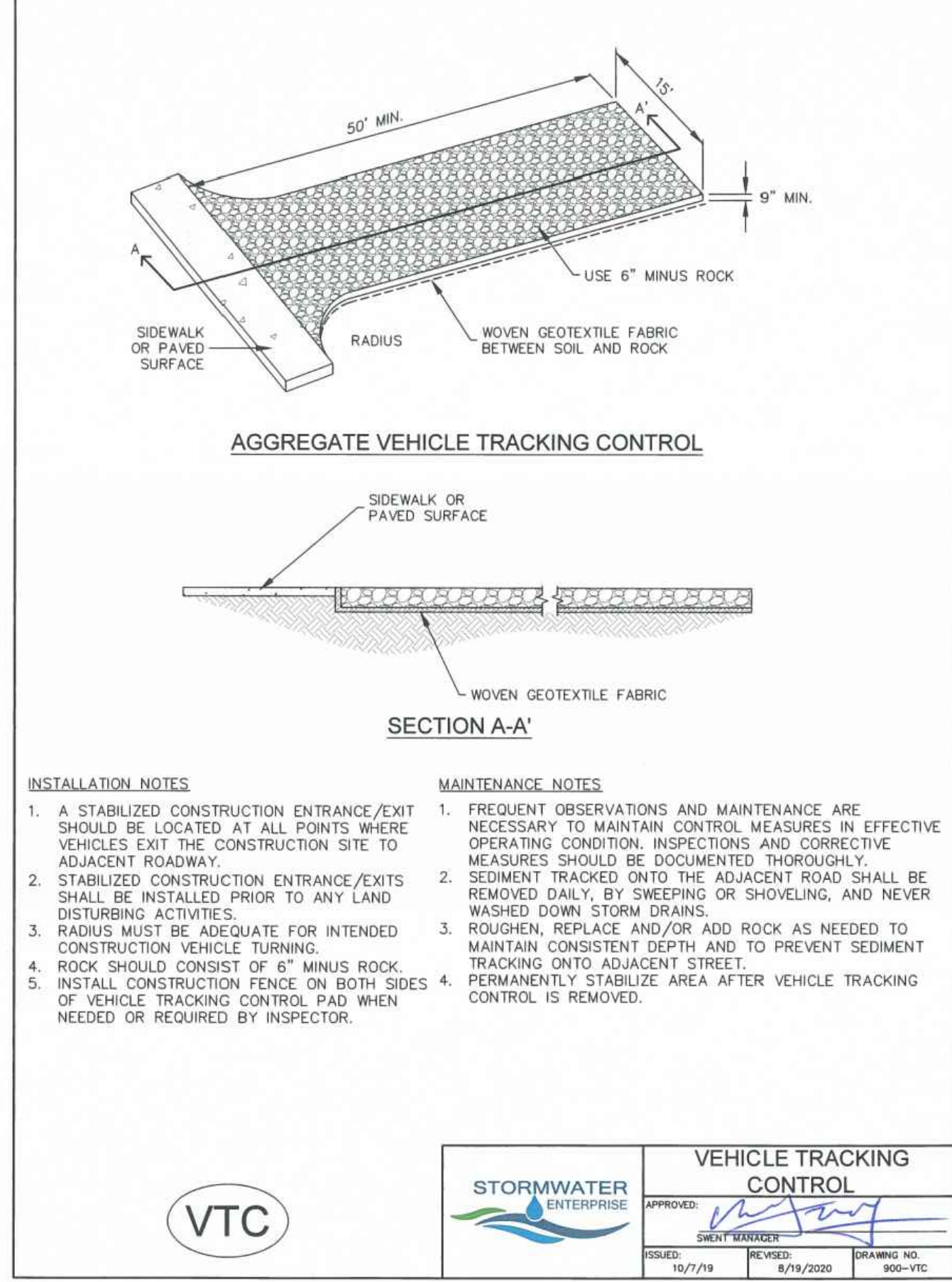
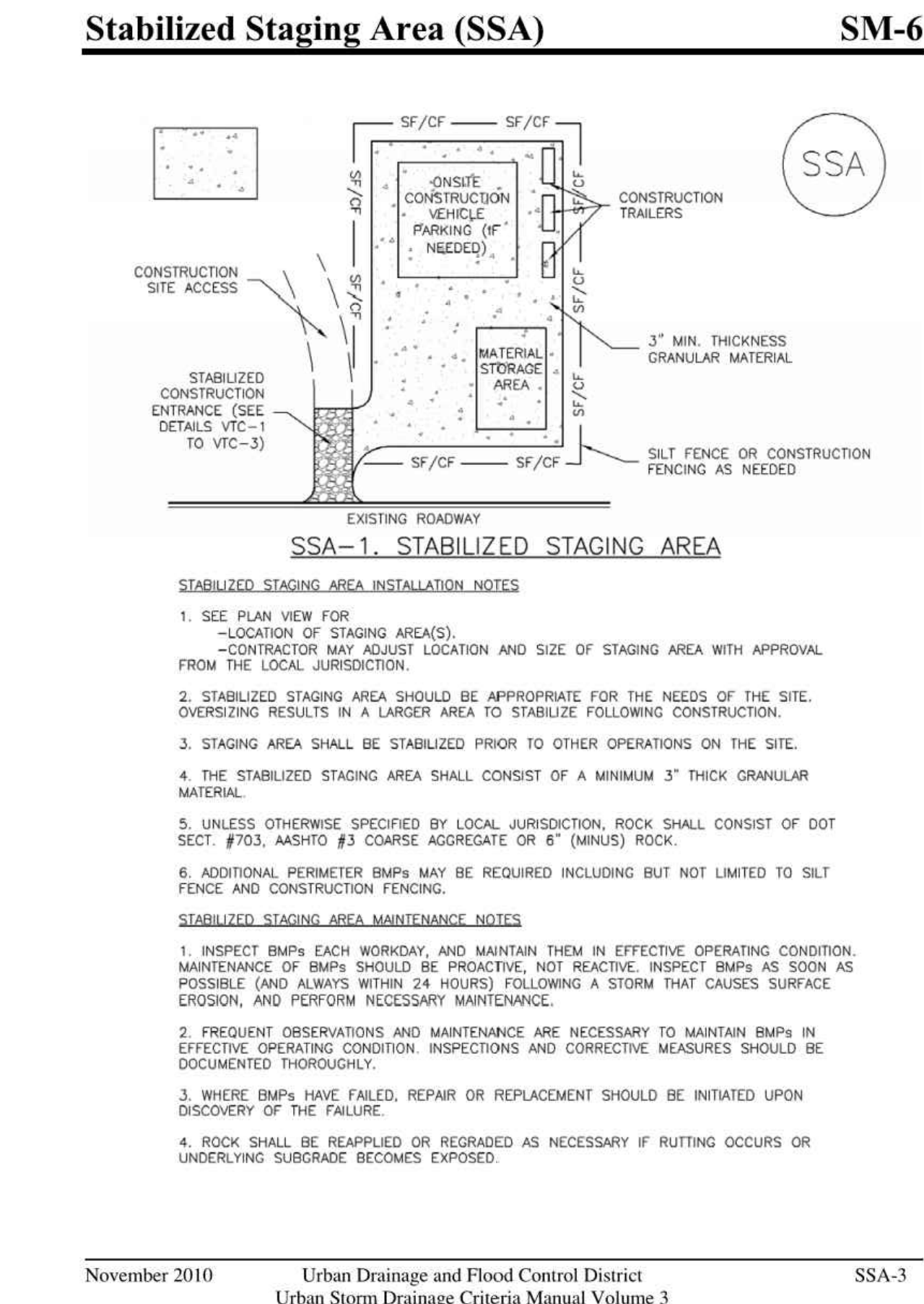
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GOODWIN KNIGHT
EL PASO COUNTY, COLORADO

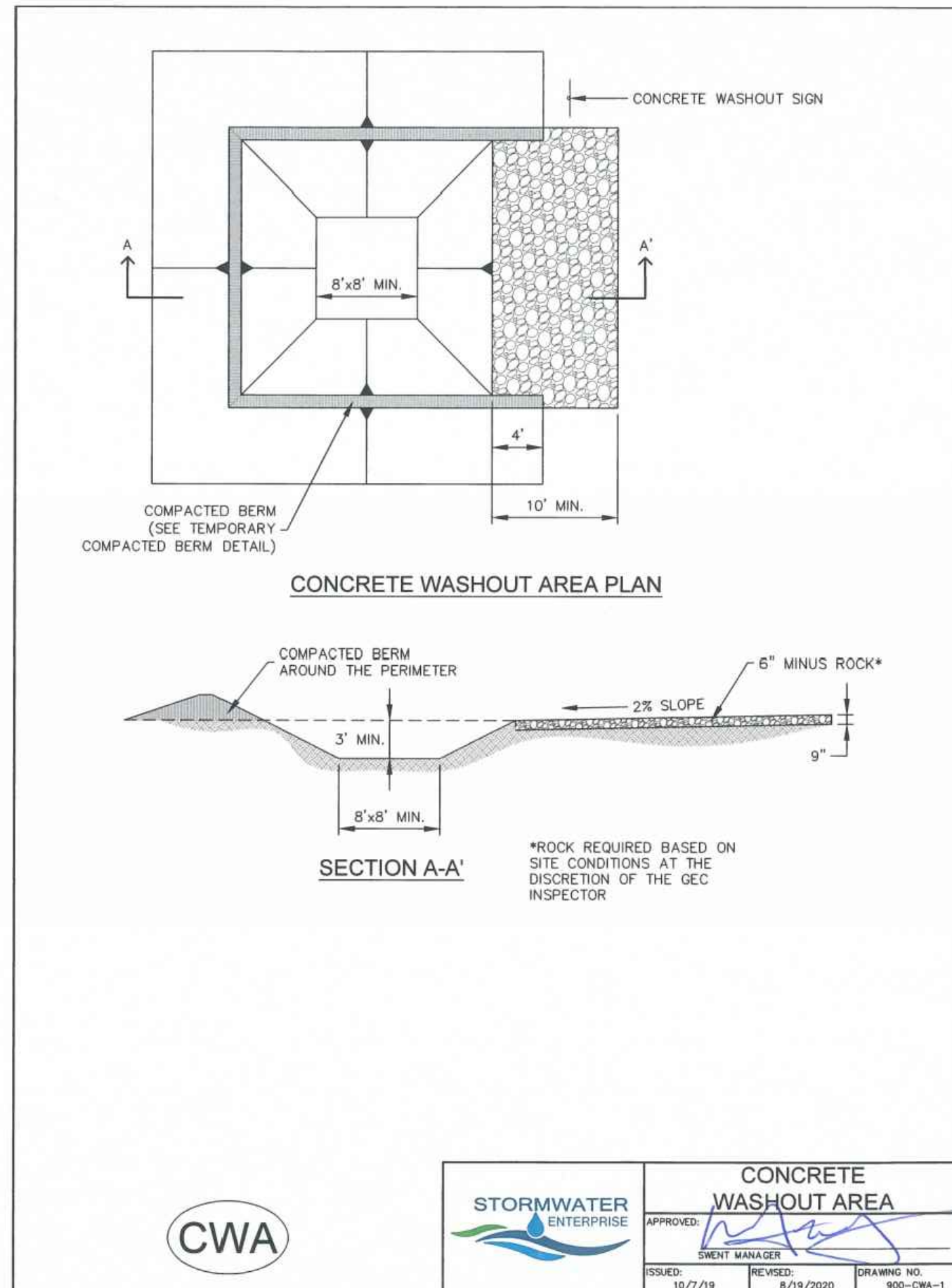


EL PASO COUNTY CONSTRUCTION DOCUMENTS
STORM SEWER PLAN AND PROFILE

SHEET
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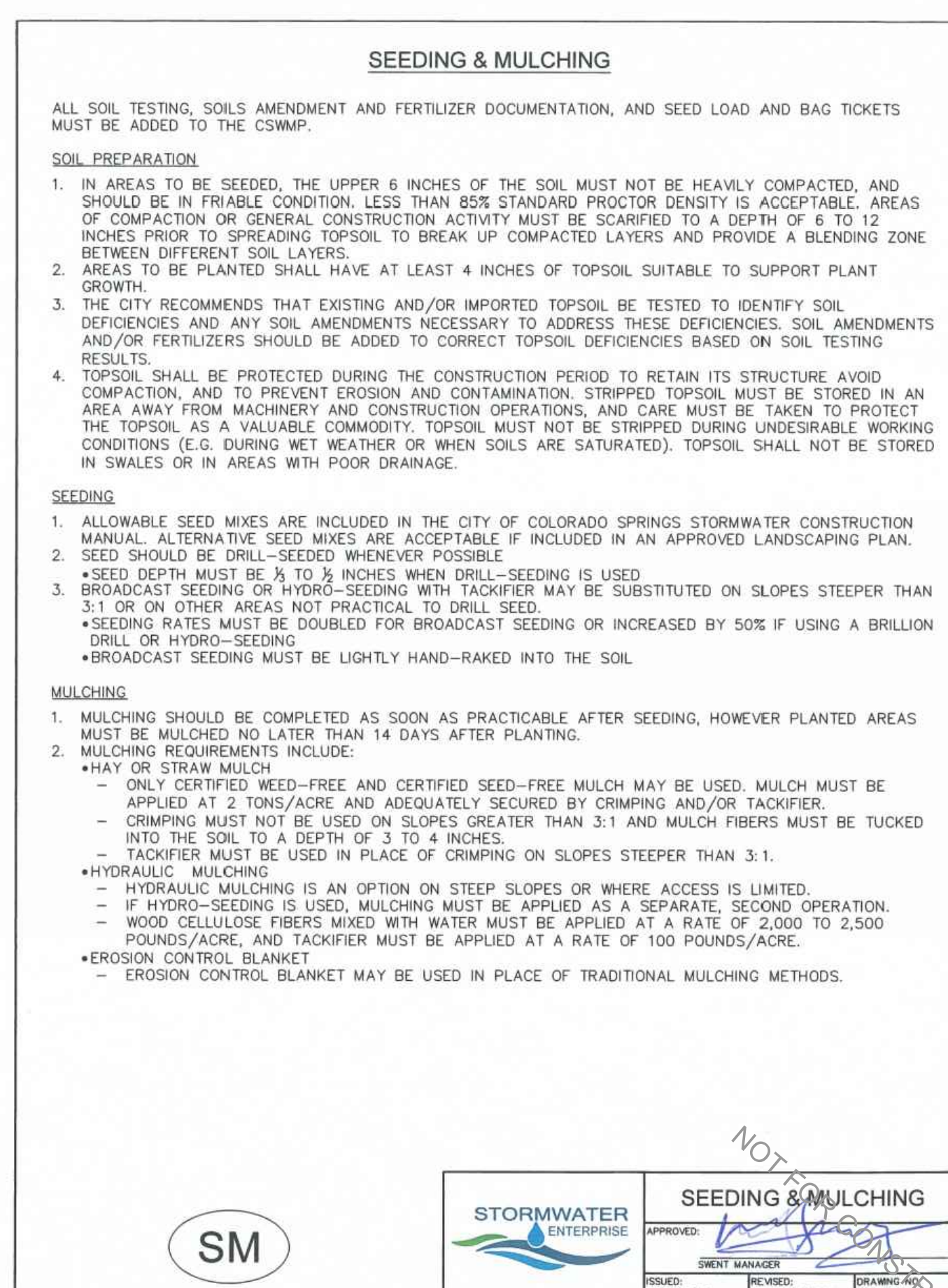
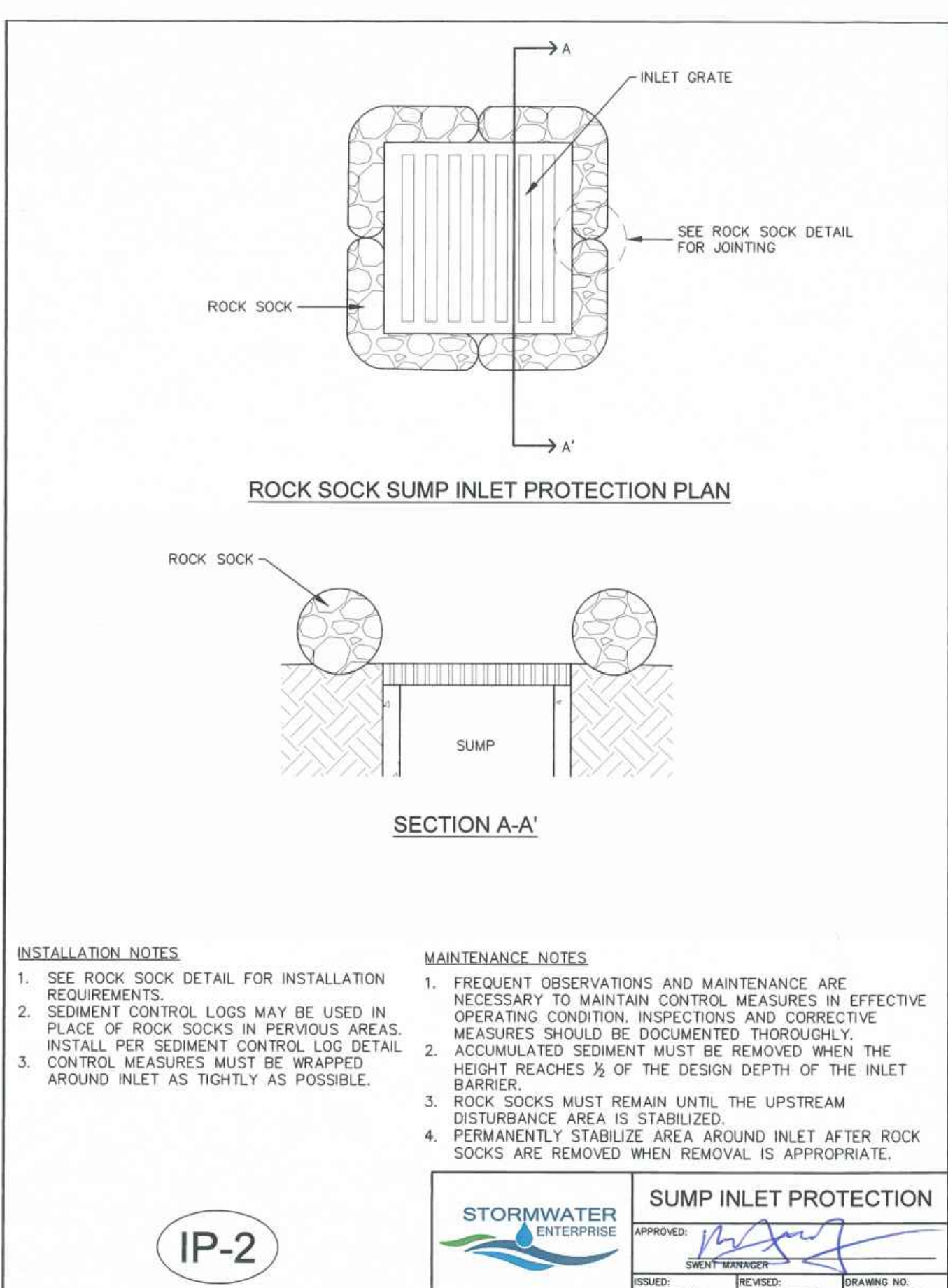
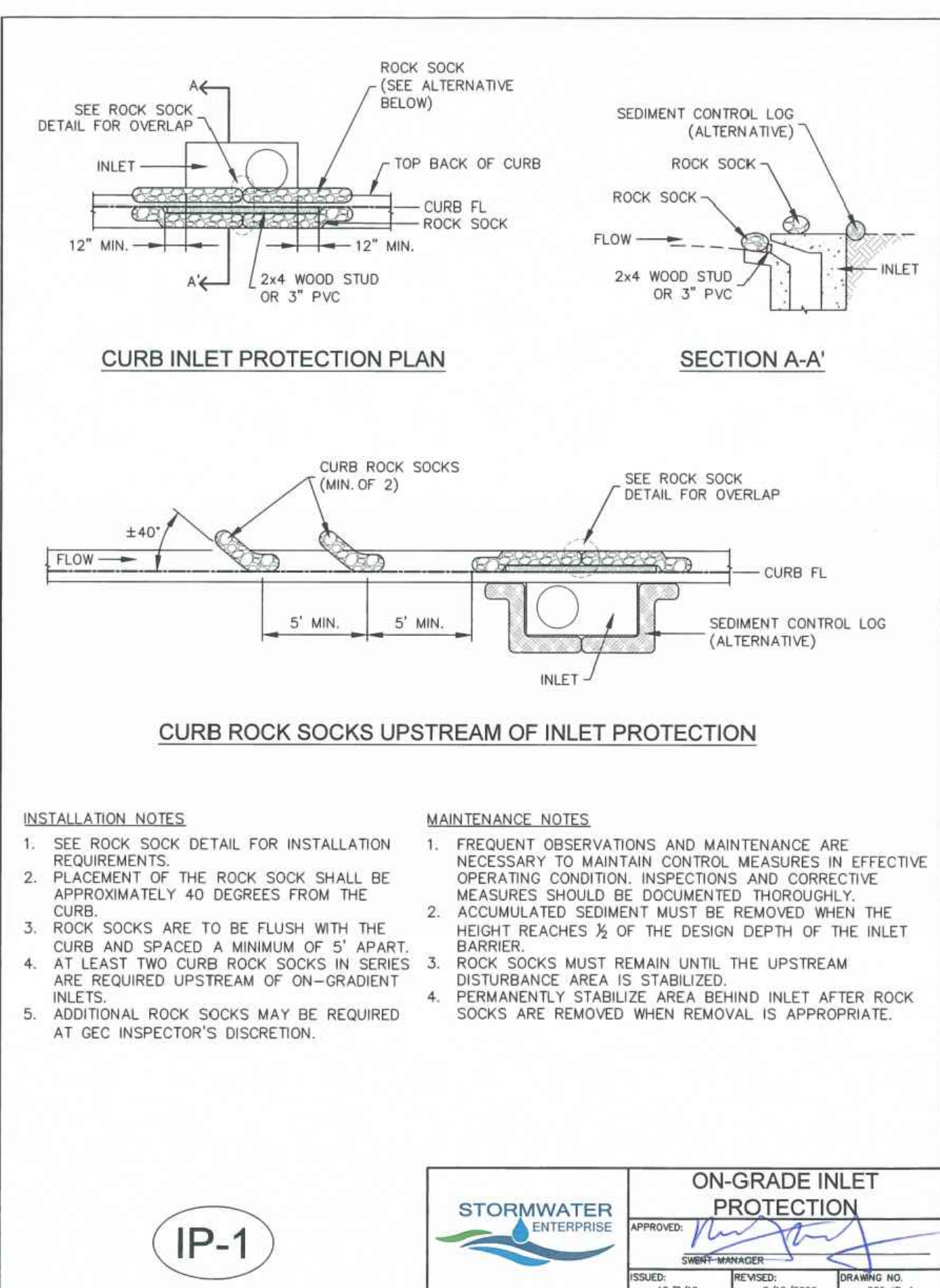
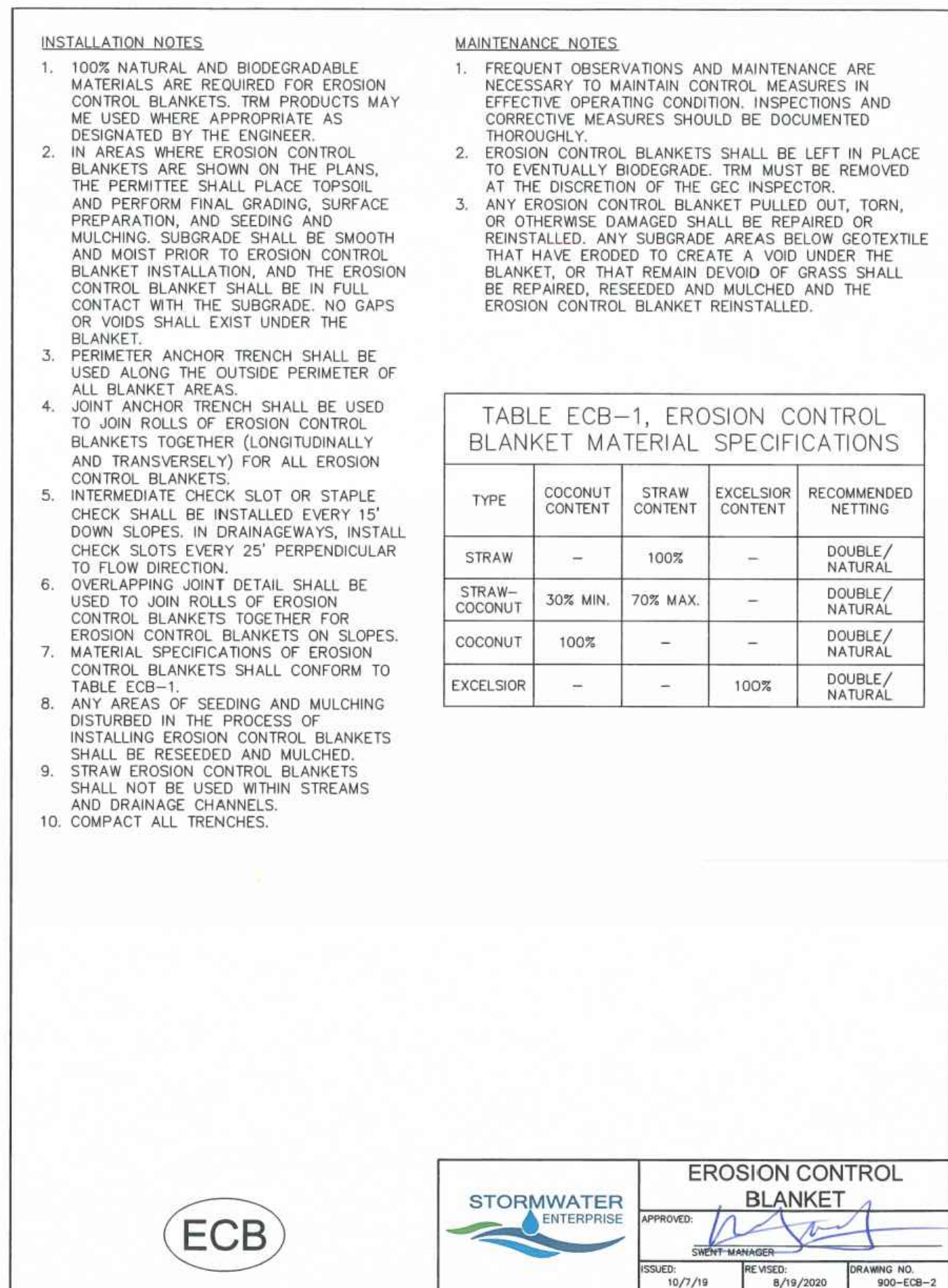
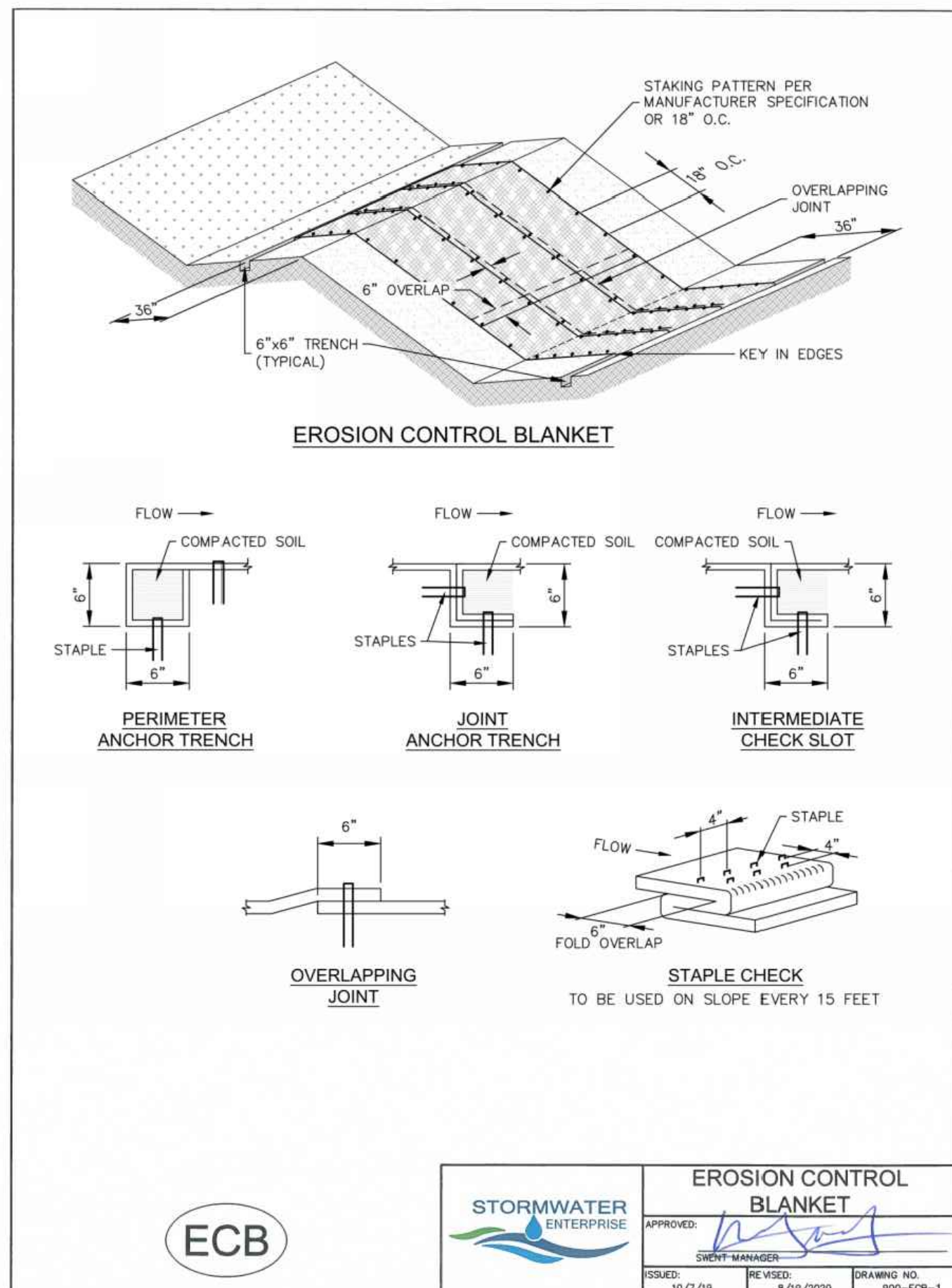
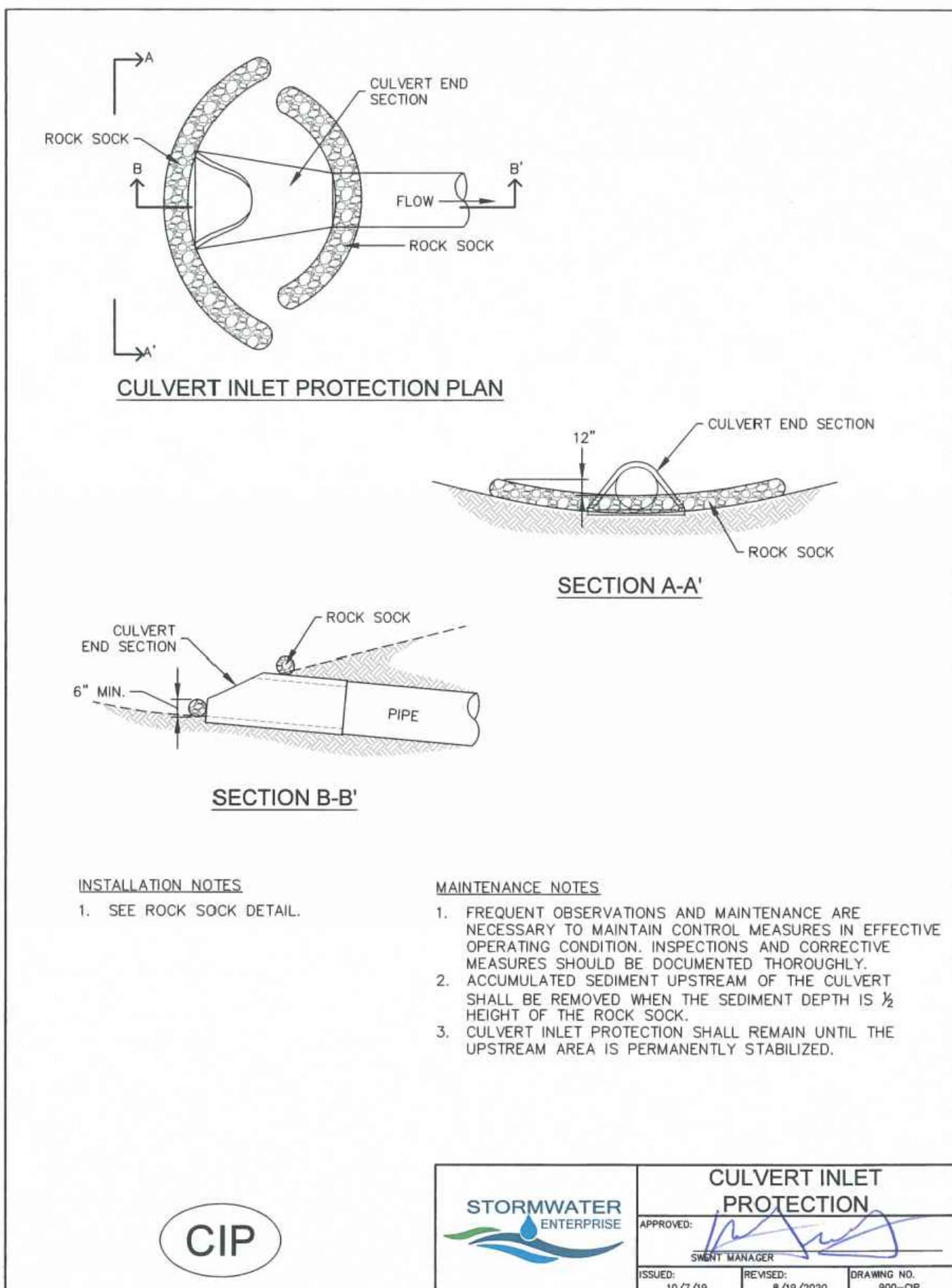


INSTALLATION NOTES

1. SEE PLAN VIEW FOR:
 - LOCATION OF CONCRETE WASHOUT AREA
 - LOCATE AT LEAST 50' AWAY FROM STATE WATERS MEASURED HORIZONTALLY.
2. AN IMPERMEABLE LINER (16 MIL. MINIMUM THICKNESS) IS REQUIRED IF CONCRETE WASH AREA IS LOCATED WITHIN 400' OF STATE WATERS OR 1000' OF WELLS OR DRINKING WATER SOURCES.
3. DO NOT LOCATE IN AREAS WHERE SHALLOW GROUNDWATER MAY BE PRESENT.
4. THE CONCRETE WASH AREA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
5. CONCRETE WASH AREA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8'.
6. BERM SURROUNDING SIDES AND BACK OF CONCRETE WASH AREA SHALL HAVE A MINIMUM HEIGHT OF 2 FEET.
7. CONCRETE WASH AREA ENTRANCE SHALL BE SLOPED 2% TOWARDS THE CONCRETE WASH AREA.
8. SIGNS SHALL BE PLACED AT THE CONCRETE WASH AREA.
9. USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

MAINTENANCE NOTES

1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
2. THE CONCRETE WASH AREA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS ACCUMULATED IN THE PIT SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 1/2 THE HEIGHT OF THE CONCRETE WASH AREA.
3. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE, AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
4. THE CONCRETE WASH AREA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
5. PERMANENTLY STABILIZE AREA AFTER CONCRETE WASH AREA IS REMOVED.



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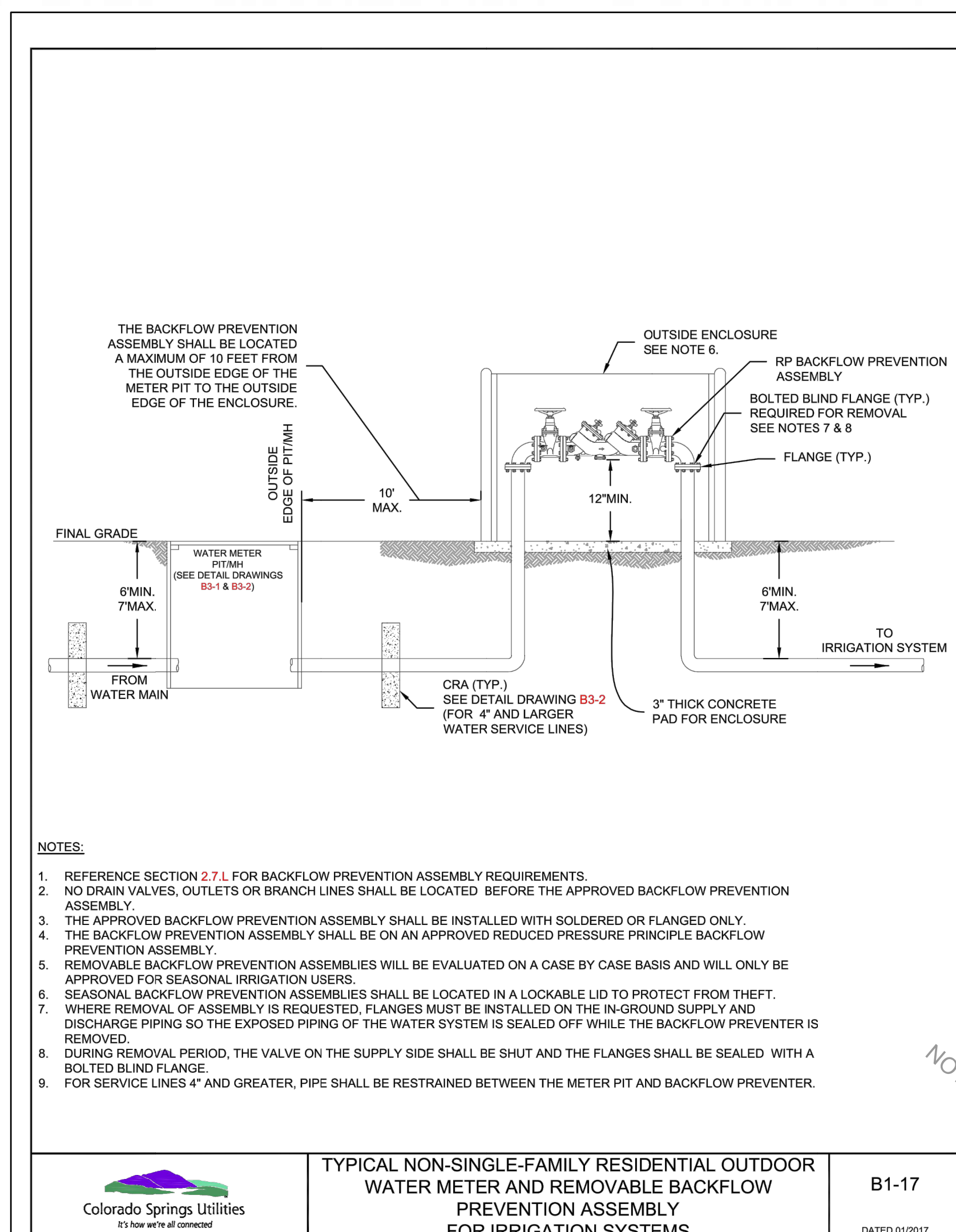
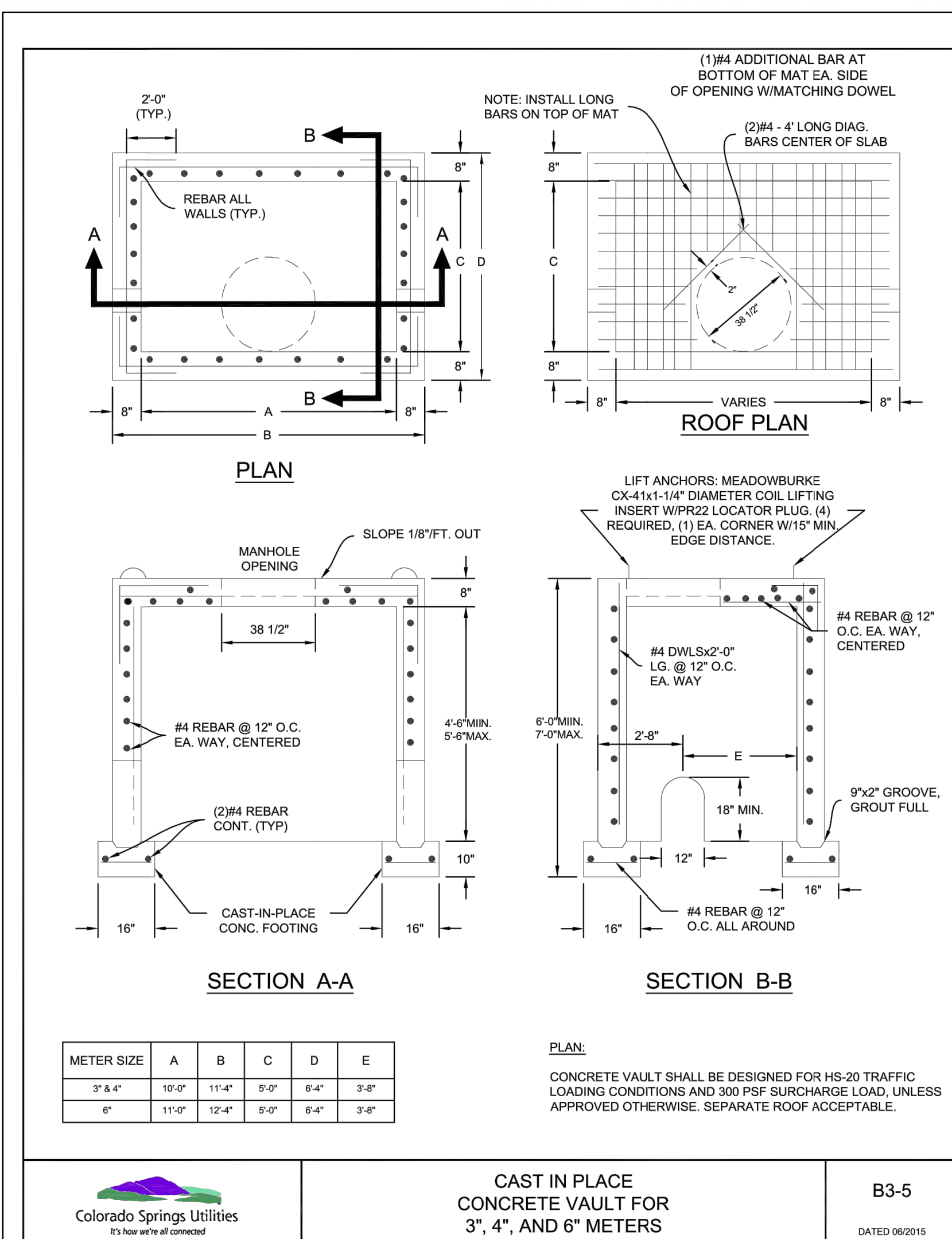
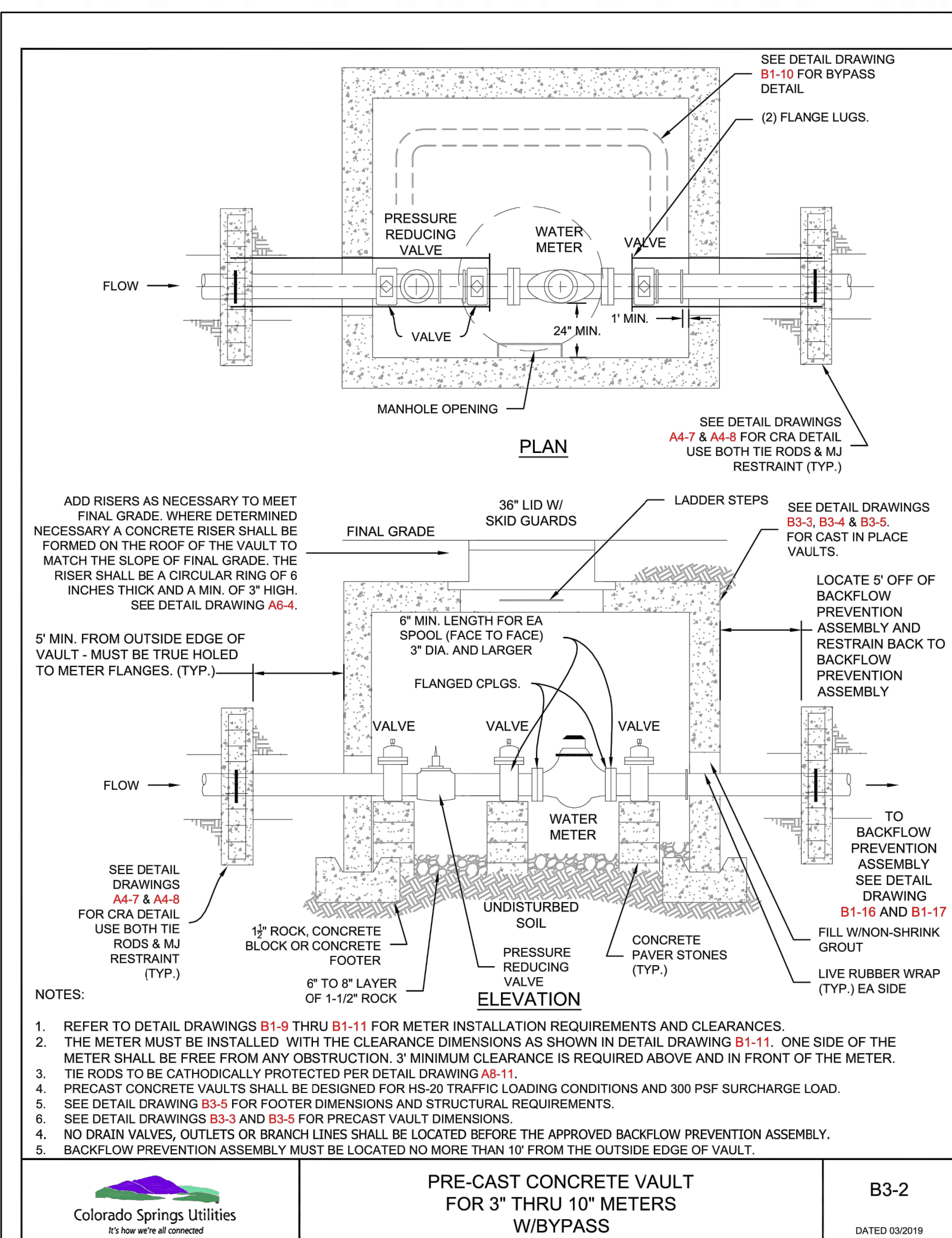
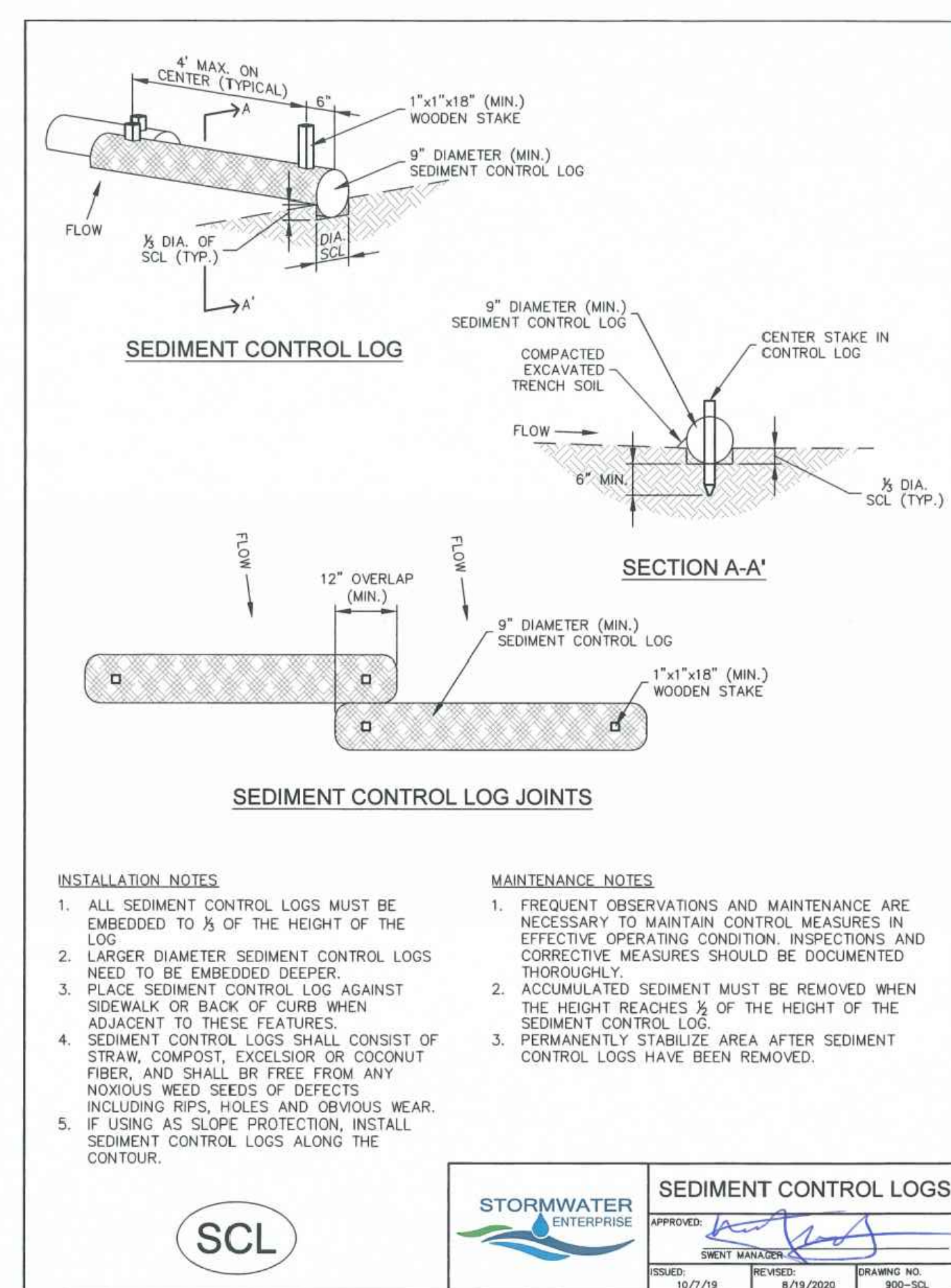
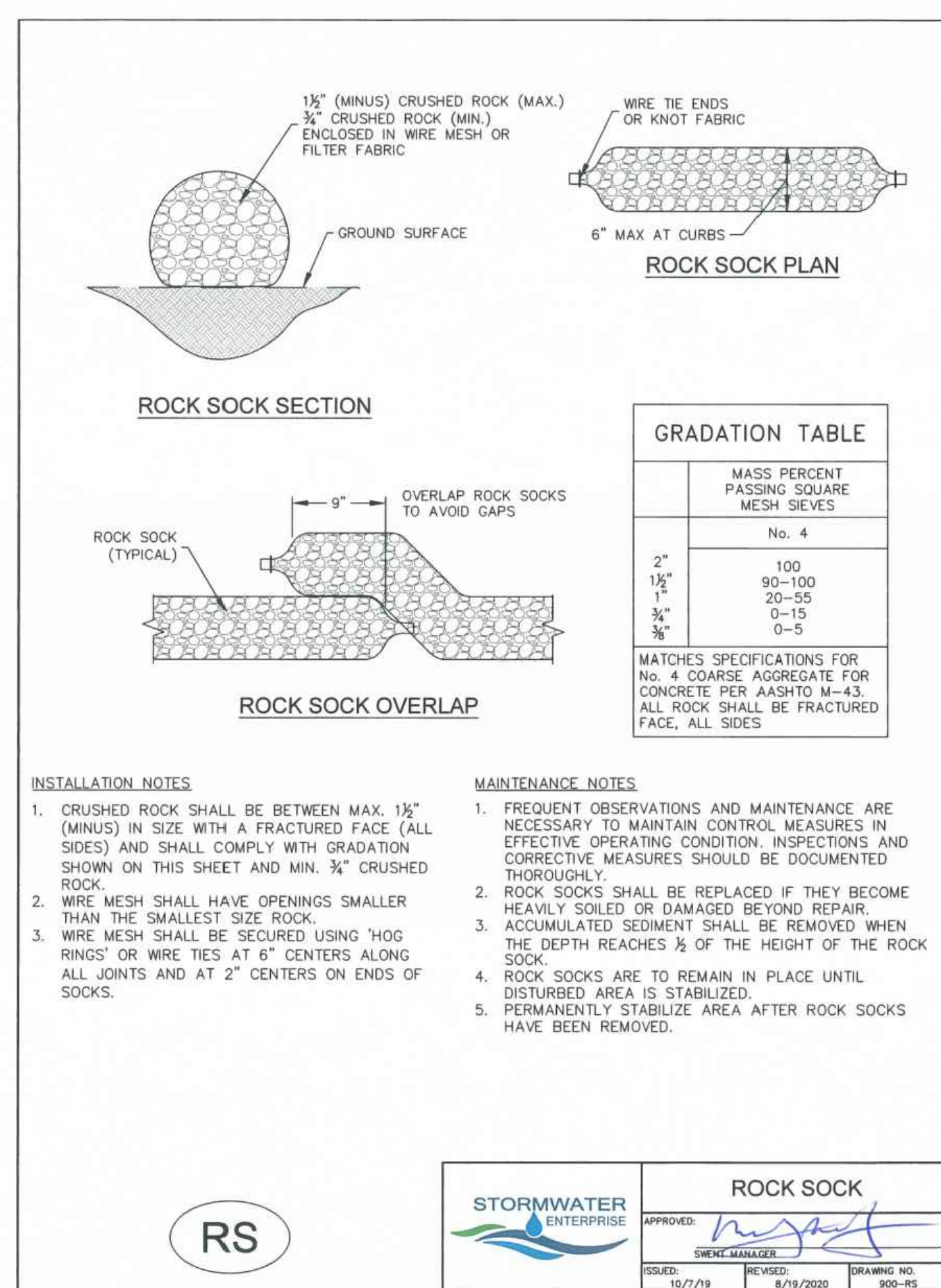
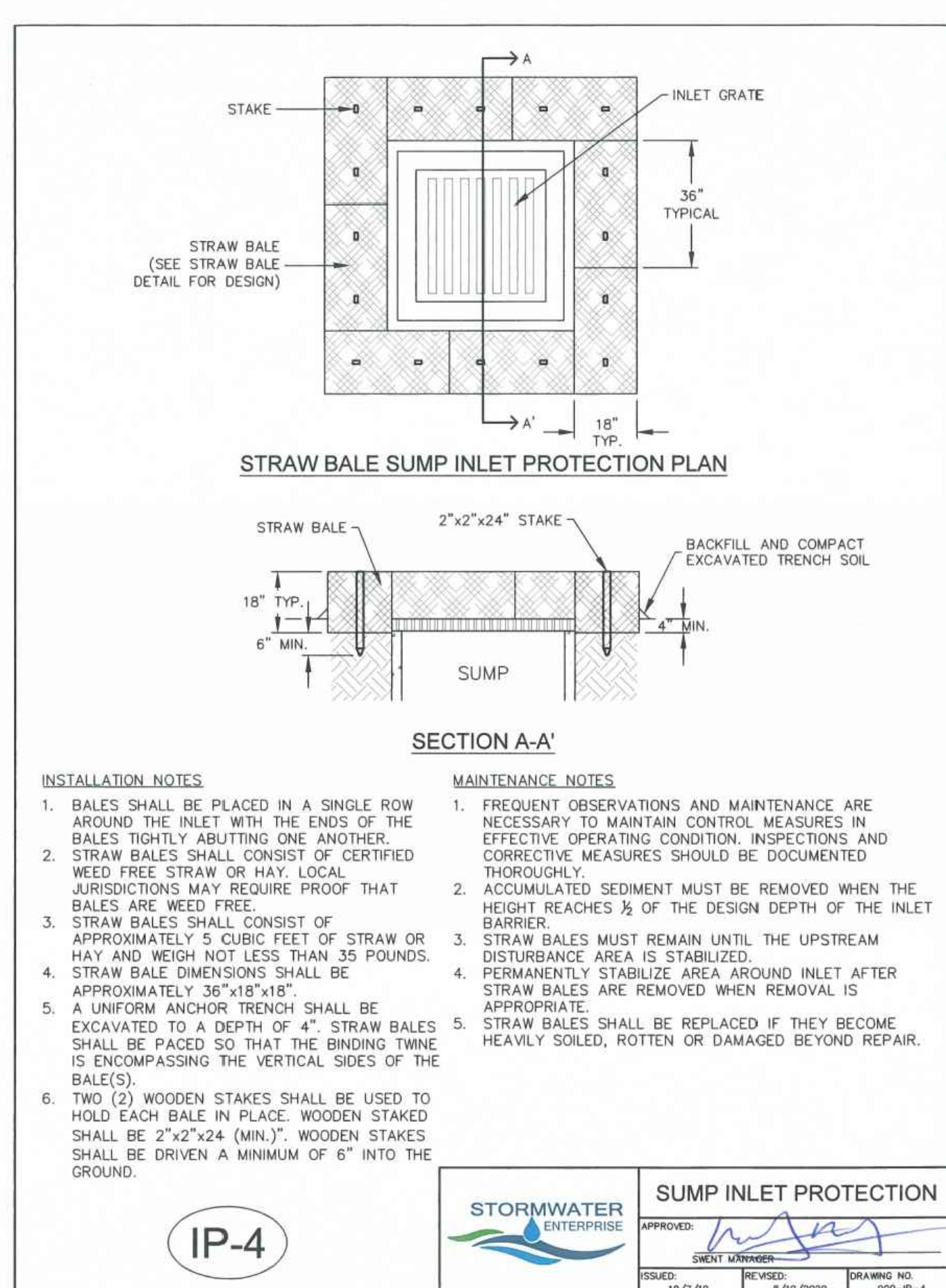
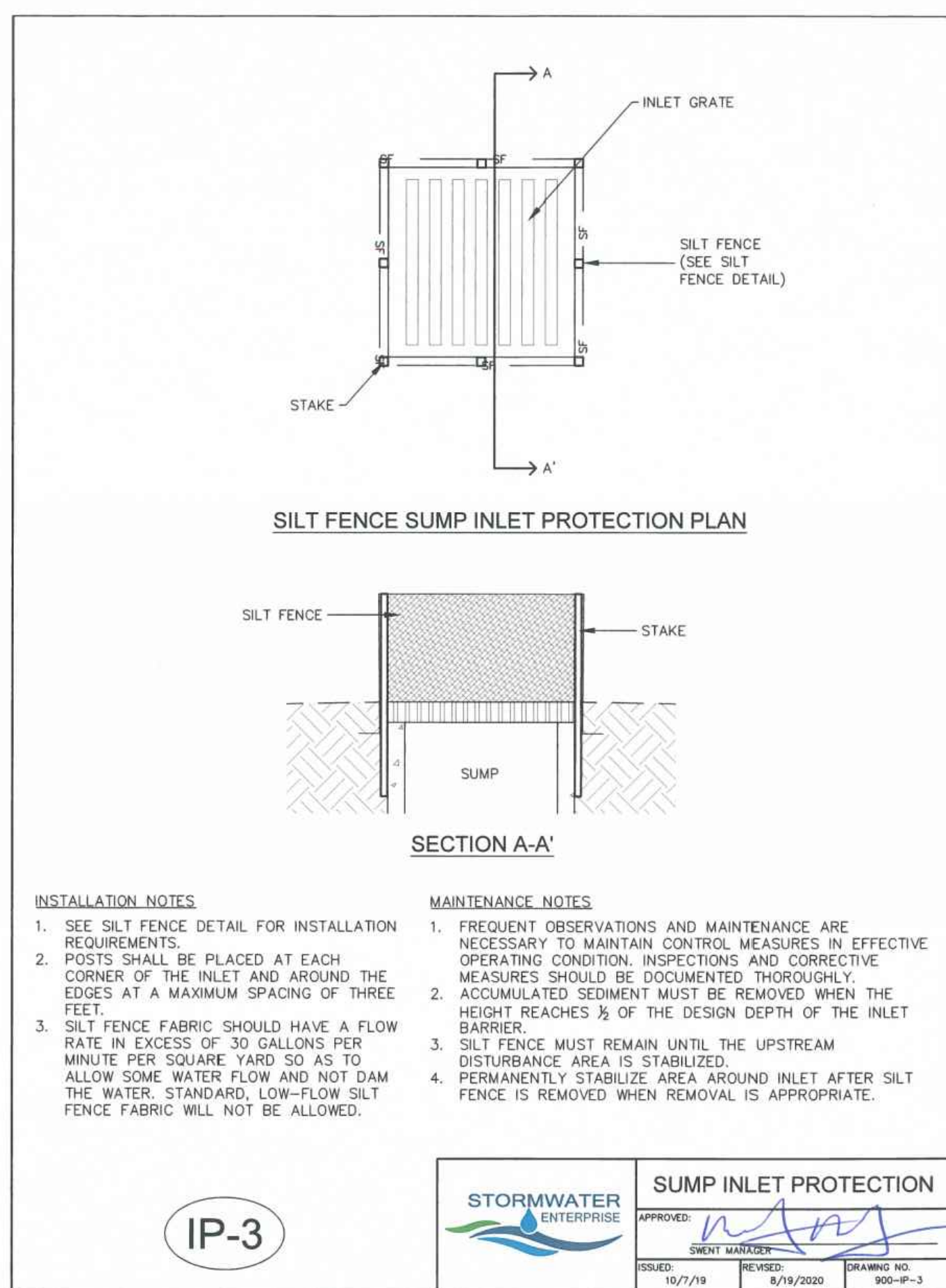
THE COTTAGES AT MESA RIDGE
GOODWIN KNIGHT
EL PASO COUNTY, COLORADO



EL PASO COUNTY CONSTRUCTION DOCUMENTS
DETAILS

SHEET
DT

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GOODWIN KNIGHT

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LEGAL DESCRIPTION:

THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 28 AND THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: BEARINGS ARE BASED UPON THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 29, MONUMENTED AT THE WEST END WITH A 3.25" ALUMINUM CAP IN CONCRETE STAMPED "PLS 4842" AND MONUMENTED AT THE EAST END WITH A #6 REBAR AND 3.25" ALUMINUM CAP STAMPED "PLS 38141" AND ASSUMED TO BEAR S 89°57'13" E A FIELD MEASURED DISTANCE OF 2,652.37 FEET.

BENCHMARK: ELEVATIONS ARE BASED UPON THE FOUNTAIN SANITATION DISTRICT POINT N-1, BEING A 2" BRASS CAP IN CONCRETE AT THE NORTHEAST CORNER OF MESA RIDGE PARKWAY AND FOUNTAIN MESA ROAD. (ELEVATION=5750.57 NGVD 29).

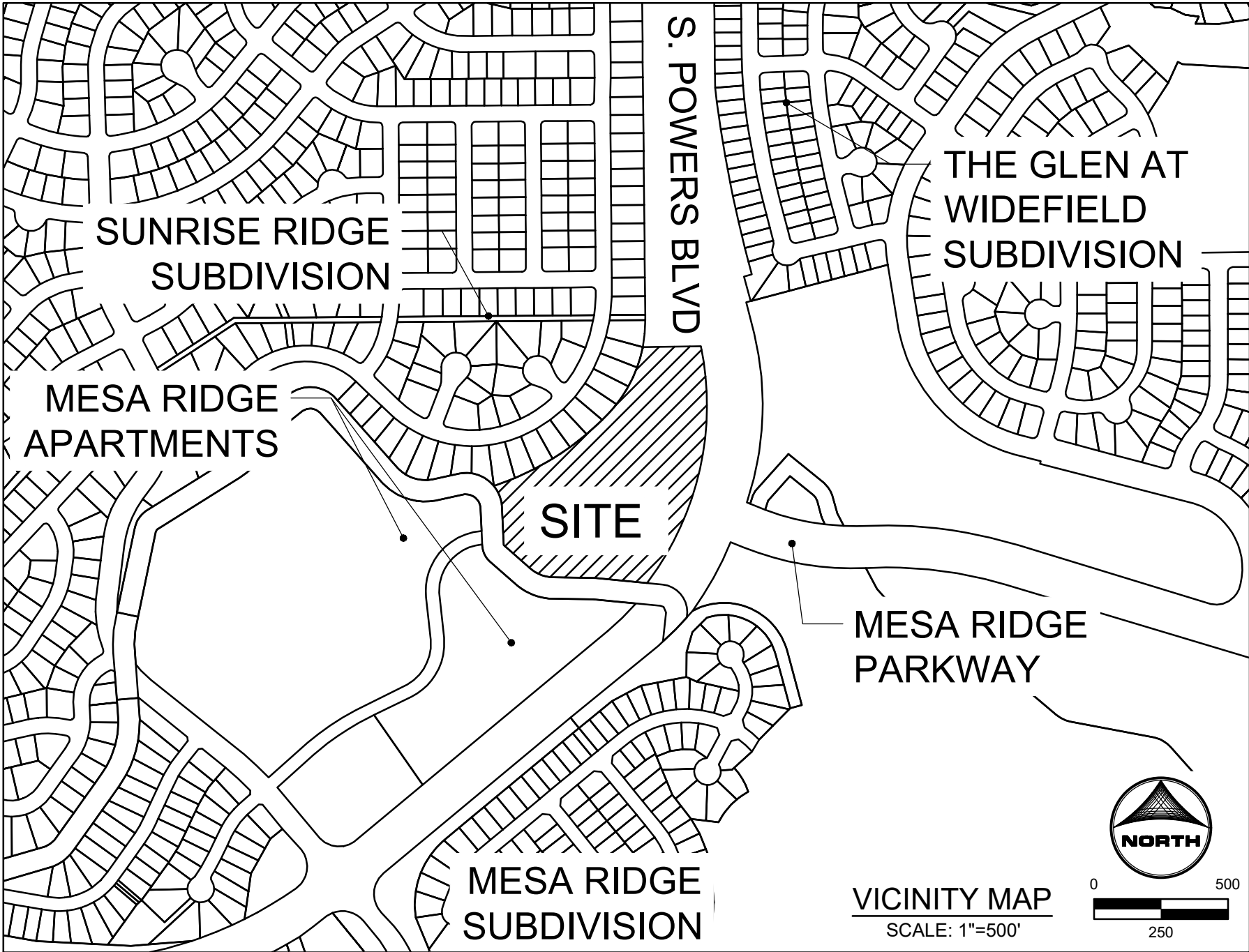
BEGINNING AT THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 28; THENCE N 89°41'59" E ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 117.30 FEET TO A POINT ON THE WEST LINE OF POWERS BOULEVARD AS RECORDED UNDER BOOK 6788 AT PAGE 531 OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDERS OFFICE; THENCE ALONG THE WEST LINE OF SAID POWERS BOULEVARD, 933.14 FEET ALONG THE ARC OF A 1,096.98 FOOT RADIUS CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 48°44'17" AND A CHORD THAT BEARS S 12°56'23" W, 905.26 FEET TO A POINT ON THE NORTHERLY LINE OF THAT PARCEL OF LAND DESCRIBED UNDER BOOK 5506 AT PAGE 1290 OF SAID RECORDS; THENCE OF THE FOLLOWING EIGHT (8) COURSES ALONG SAID NORTHERLY LINES AND EASTERLY LINES OF SAID PARCEL OF LAND DESCRIBED UNDER BOOK 5506 AT PAGE 1290:

- 1) N 84°16'00" W, A DISTANCE OF 198.99 FEET;
 - 2) 46.11 FEET ALONG THE ARC OF A 540.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 04°53'33" AND A CHORD THAT BEARS N 86°42'46" W, 46.10 FEET;
 - 3) N 89°09'33" W, A DISTANCE OF 124.09 FEET;
 - 4) 100.02 FEET ALONG THE ARC OF A 140.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 40°56'07" AND A CHORD THAT BEARS N 68°41'30" W, 97.91 FEET;
 - 5) N 48°13'27" W, A DISTANCE OF 126.77 FEET;
 - 6) 6.49 FEET ALONG THE ARC OF AN 8.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 46°29'23" AND A CHORD THAT BEARS N 24°58'45" W, 6.31 FEET;
 - 7) N 01°44'04" W, A DISTANCE OF 137.18 FEET;
 - 8) 87.71 FEET ALONG THE ARC OF A 135.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 37°13'35" AND A CHORD THAT BEARS N 20°21'02" W, 86.18 FEET TO THE SOUTHWEST CORNER OF LOT 15, BLOCK 3, SUNRISE RIDGE SUBDIVISION FILING NO. 8 AS RECORDED UNDER RECEPTION NO. 1722613 OF SAID RECORDS;
- THENCE THE FOLLOWING TWO (2) COURSES ALONG THE EASTERLY LINE OF SAID SUNRISE RIDGE SUBDIVISION FILING NO. 8: 1) 511.39 FEET ALONG THE ARC OF A 1,034.60 FOOT RADIUS CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 28°19'14" AND A CHORD THAT BEARS N 58°13'41" E, 506.20 FEET TO A POINT OF COMPOUND CURVATURE;
- 2) 283.12 FEET ALONG THE ARC OF A 500.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 32°26'36" AND A CHORD THAT BEARS N 27°50'47" E, 279.35 FEET TO A POINT ON THE NORTH LINE OF SAID NORTHEAST QUARTER;
- THENCE N 89°57'13" E ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER, A DISTANCE OF 115.21 FEET TO THE POINT OF BEGINNING.

CONTAINING A CALCULATED AREA OF 445,104 SQUARE FEET (10.218 ACRES) OF LAND, MORE OR LESS.

TO BE PLATTED AS "THE COTTAGES AT MESA RIDGE"

THE COTTAGES AT MESA RIDGE
CITY OF FOUNTAIN CONSTRUCTION DOCUMENTS
A PORTION OF THE NORTHEAST QUARTER OF SECTION 29, THE SOUTHEAST QUARTER OF SECTION 20, THE SOUTHWEST QUARTER OF SECTION 21, & THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



STAKEHOLDERS:


OWNER:	CSJ NO 1 LLC 111 S. TEJON STREET, SUITE 222 COLORADO SPRINGS, CO 80903
DEVELOPER:	GOODWIN KNIGHT 8605 EXPLORER DRIVE, SUITE 250 COLORADO SPRINGS, CO 80920 DAVE MORRISON
ATTN:	
APPLICANT:	HR GREEN DEVELOPMENT, LLC 1975 RESEARCH PKWY, SUITE 230 COLORADO SPRINGS, CO 80920 PHIL STUEPFERT, KEN HUHN
ATTN:	
SURVEYOR:	BARRON LAND, LLC 2790 N ACADEMY BLVD #311 COLORADO SPRINGS, CO 80917 ATTN: SPENCER BARRON

SHEET INDEX:

- 1 – COVER
- 2 – LEGEND & TYPICAL SECTIONS
- 3 – DEMOLITION PLAN
- 4 – GEC – INITIAL PLAN
- 5 – GEC – INTERIM-FINAL PLAN
- 6 – LANDOVER LANE – PLAN & PROFILE
- 7 – SANITARY PLAN & PROFILE
- 9 – STORM PLAN & PROFILE
- 8 – STORM PLAN & PROFILE
- 10 – OUTLET STRUCTURE MODIFICATION PLAN
- 11 – DETAILS
- 12 – DETAILS
- 13 – DETAILS
- 14 – DETAILS

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FOUNTAIN, COLORADO



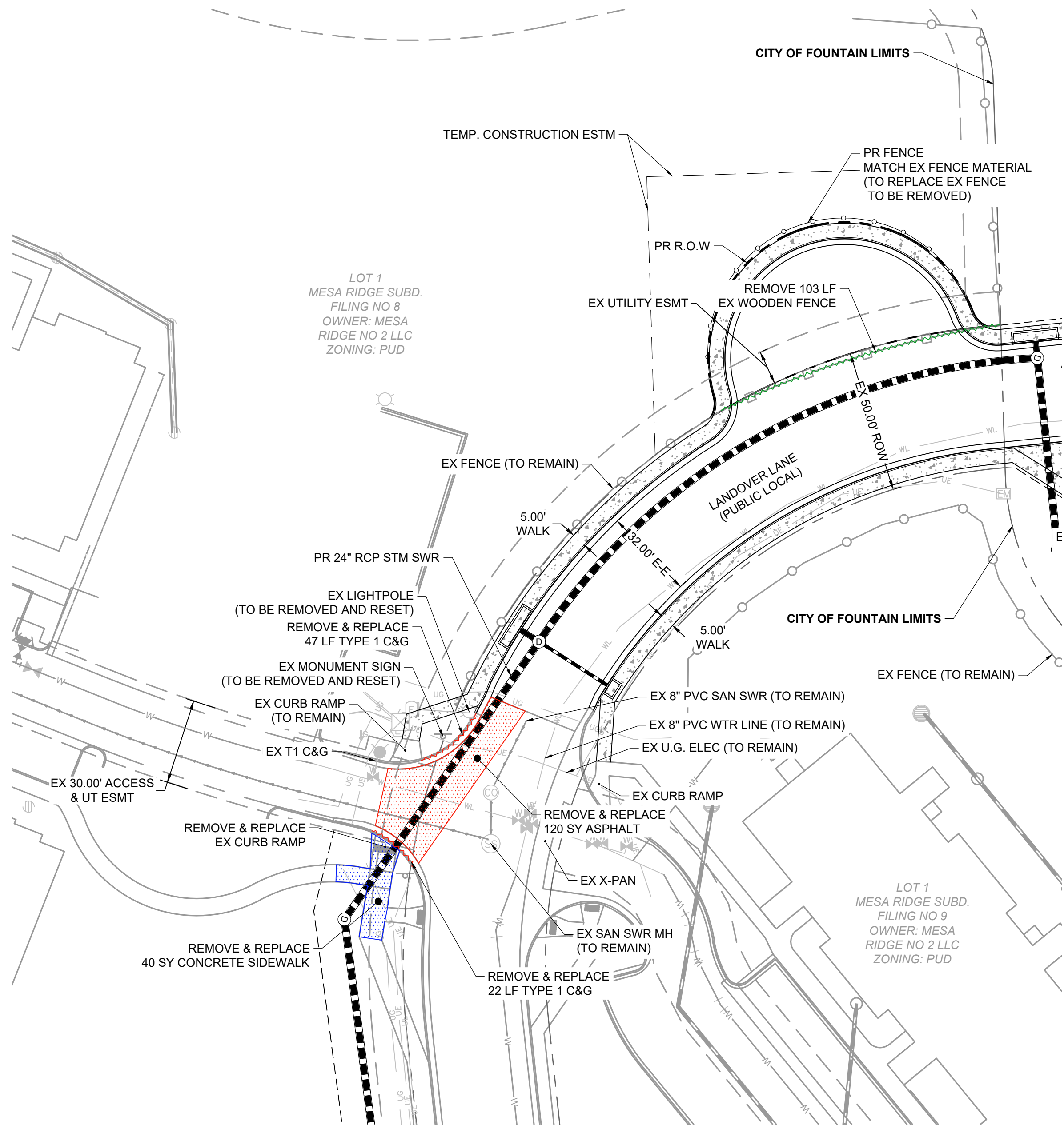
CITY OF FOUNTAIN CONSTRUCTION DOCUMENTS
COVER

SHEET
CV

1

NOT FOR CONSTRUCTION

FSD SANITARY SEWER CONSTRUCTION NOTES:



DEMOLITION LEGEND:

- ASPHALT REMOVAL
CONCRETE REMOVAL
CURB & GUTTER REMOVAL
FENCE REMOVAL

ENGINEER'S STATEMENT:

SIGNATURE (AFFIX SEAL): _____ DATE: _____
COLORADO PROFESSIONAL ENGINEER NO.: _____

ACCEPTANCE:

THESE PLANS SUBMITTED APPEAR TO BE IN CONFORMANCE WITH THE CITY OF FOUNTAIN SUBMITTAL REQUIREMENTS AND STANDARD ENGINEERING PRINCIPLES AND PRACTICES APPEAR TO HAVE BEEN FOLLOWED. THE PROFESSIONAL ENGINEER SUBMITTED AND SEALING THE PLANS IS SOLELY RESPONSIBLE FOR THEIR ACCURACY AND VALIDITY. THE REVIEW IS ONLY VALID FOR ONE (1) YEAR FROM THE DATE BELOW.

BRANDY R WILLIAMS, P.E., CITY ENGINEER

DATE: _____

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APPROVED: KMH JOB NUMBER: 200541
CAD DATE: 4/5/2022
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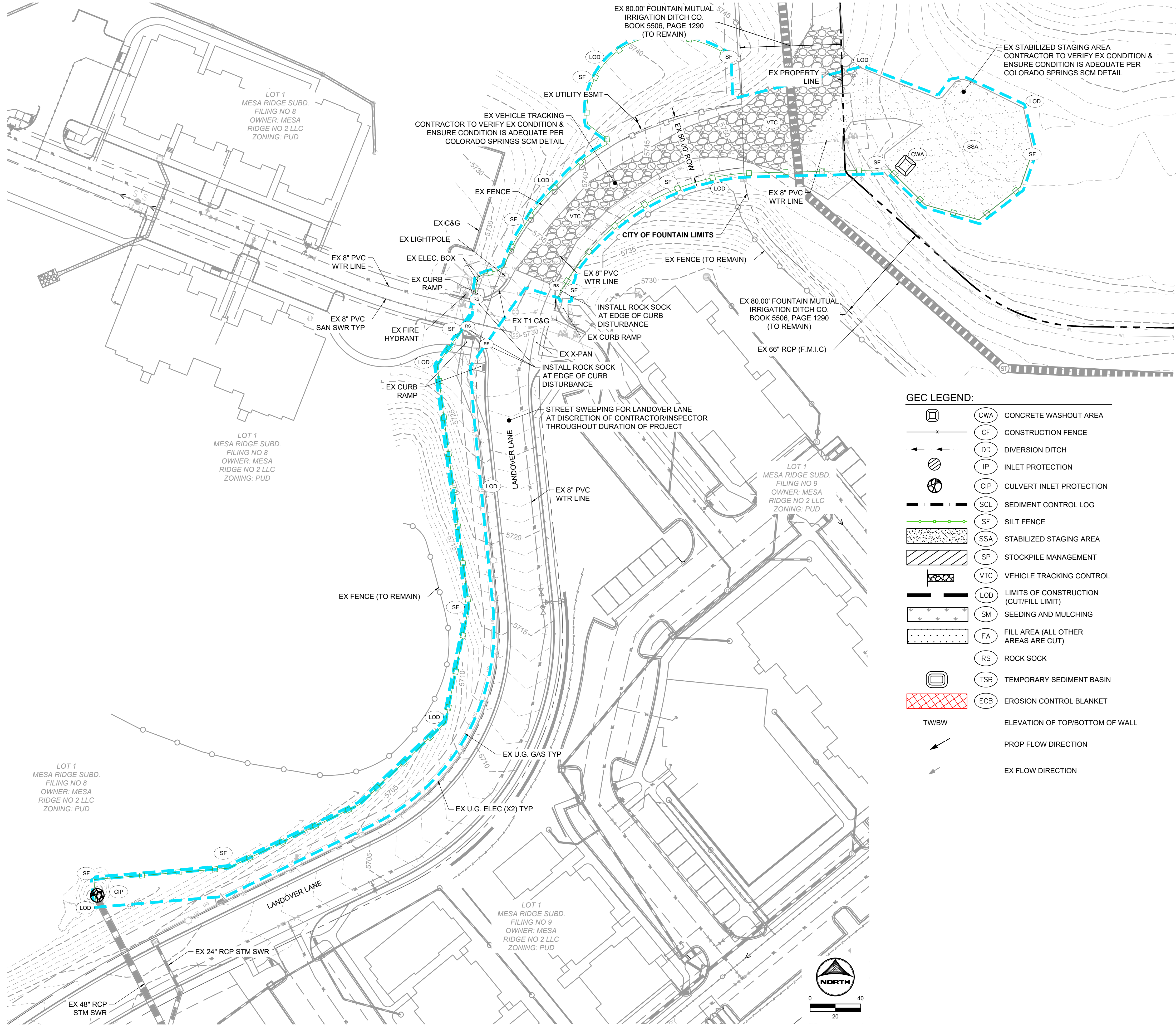
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CITY OF FOUNTAIN CONSTRUCTION DOCUMENTS
DEMOLITION PLAN

SHEET
DP

3



GRADING & EROSION CONTROL PLAN NOTES:

- SEE SHEETS 11-13 FOR CITY OF COLORADO SPRINGS GRADING AND EROSION CONTROL DETAILS.
- ALL STORMWATER MANAGEMENT MEASURES SHOWN ON THIS PLAN MUST BE INSTALLED AND MAINTAINED PER THE COLORADO SPRINGS STORMWATER CONSTRUCTION MANUAL; LATEST REVISIONS.
- AREA WITHIN LIMITS OF DISTURBANCE TO BE CLEARED, GRUBBED AND STOCKPILED PRIOR TO IMPORT OF ANY FILL.
- ALL 3:1 SLOPES MUST BE RECEIVE SLOPE TRACKING TREATMENT AND EROSION CONTROL BLANKET.
- STOCKPILES REQUIRED DURING ONSITE CONSTRUCTION ACTIVITIES WILL BE PLACED AT THE DISCRETION OF THE CONTRACTOR. STOCKPILING OF MATERIAL MUST NOT OCCUR OUTSIDE THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN.
- NON-STRUCTURAL CONTROLS (I.E. STREET SWEEPING) WILL BE AT THE DISCRETION OF THE PROJECT'S CERTIFIED GEC ADMINISTRATOR THROUGHOUT THE DURATION OF LAND DISTURBING ACTIVITIES.
- THERE ARE NO ANTICIPATED ASPHALT AND/OR CONCRETE BATCH PLANTS, OR MASONRY MIX STATIONS ASSOCIATED WITH THIS PROJECT. IF THE CONTRACTOR REQUIRES A ASPHALT/CONCRETE BATCH PLANTS OR MASONRY MIX STATIONS, THESE PLANS WILL BE AMENDED AS REQUIRED.
- THERE ARE NO EXISTING PRESERVATION EASEMENTS LOCATED ON SITE.

PROJECT INFO:

TOTAL DISTURBANCE AREA = 1.31 AC

RECEIVING WATERS: JIMMY CAMP CREEK

ANTICIPATED START OF CONSTRUCTION: SPRING 2022

ANTICIPATED END OF LAND DISTURBANCE: FALL 2022

ANTICIPATED FINAL STABILIZATION: WINTER 2022

GEC LEGEND:

	CWA	CONCRETE WASHOUT AREA
	CF	CONSTRUCTION FENCE
	DD	DIVERSION DITCH
	IP	INLET PROTECTION
	CIP	CULVERT INLET PROTECTION
	SCL	SEDIMENT CONTROL LOG
	SF	SILT FENCE
	SSA	STABILIZED STAGING AREA
	SP	STOCKPILE MANAGEMENT
	VTC	VEHICLE TRACKING CONTROL
	LOD	LIMITS OF CONSTRUCTION (CUT/FILL LIMIT)
	SM	SEEDING AND MULCHING
	FA	FILL AREA (ALL OTHER AREAS ARE CUT)
	RS	ROCK SOCK
	TSB	TEMPORARY SEDIMENT BASIN
	ECB	EROSION CONTROL BLANKET
	TW/BW	ELEVATION OF TOP/BOTTOM OF WALL
		PROP FLOW DIRECTION
		EX FLOW DIRECTION

ENGINEER'S STATEMENT

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. IF SUCH WORK IS PERFORMED IN ACCORDANCE WITH THE GRADING AND EROSION CONTROL PLAN, THE WORK WILL NOT BECOME A HAZARD TO LIFE AND LIMB, ENDANGER PROPERTY, OR ADVERSELY AFFECT THE SAFETY, USE OR STABILITY OF A PUBLIC WAY, DRAINAGE CHANNEL, OR OTHER PROPERTY.

SIGNATURE (AFFIX SEAL)

DATE

OWNER'S STATEMENT

THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN INCLUDING TEMPORARY CONTROL MEASURE INSPECTION REQUIREMENTS AND FINAL STABILIZATION REQUIREMENTS, ACCORDING TO THE CITY OF COLORADO SPRINGS STORMWATER CONSTRUCTION MANUAL. I ACKNOWLEDGE THE RESPONSIBILITY TO DETERMINE WHETHER THE CONSTRUCTION ACTIVITIES ON THESE PLANS REQUIRE COLORADO DISCHARGE PERMIT SYSTEM (CDPS) PERMITTING FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

DEVELOPER/OWNER SIGNATURE: _____ DATE: _____

NAME OF DEVELOPER/OWNER: _____

DBA: _____ PHONE: _____

TITLE: _____ EMAIL: _____

ADDRESS: _____

FAX: _____

CITY OF FOUNTAIN GRADING AND EROSION CONTROL REVIEW:

THIS GRADING PLAN AND EROSION CONTROL PLAN IS FILED IN ACCORDANCE WITH SECTION 12.04.160 OF THE CODE OF THE CITY OF FOUNTAIN, THIS PLAN IS REVIEWED WITH THE DRAINAGE CRITERIA MANUAL, VOL. I (JANUARY 2024) AND VOL. II (DECEMBER 2020); STORMWATER CONSTRUCTION MANUAL; LATEST REVISIONS.

BRANDY R WILLIAMS, P.E., CITY ENGINEER

NOTES: _____

DRAWN BY: NQJ
APPROVED: KMH
CAD DATE: 4/5/2022
CAD FILE: J:\2020\200541\CAD\dwgs\CD\CDIC.O.F\GEC_initial

JOB DATE: 4/5/2022
JOB NUMBER: 200541

BAR IS ONE INCH ON OFFICIAL DRAWINGS.
IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

NO. DATE BY REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
7222 COMMERCE CENTER DR SUITE 220
COLORADO SPRINGS CO 80919
PHONE: 719.300.4140 TOLL FREE: 800.728.7805
FAX: 844.273.1057 | HRGreen.com

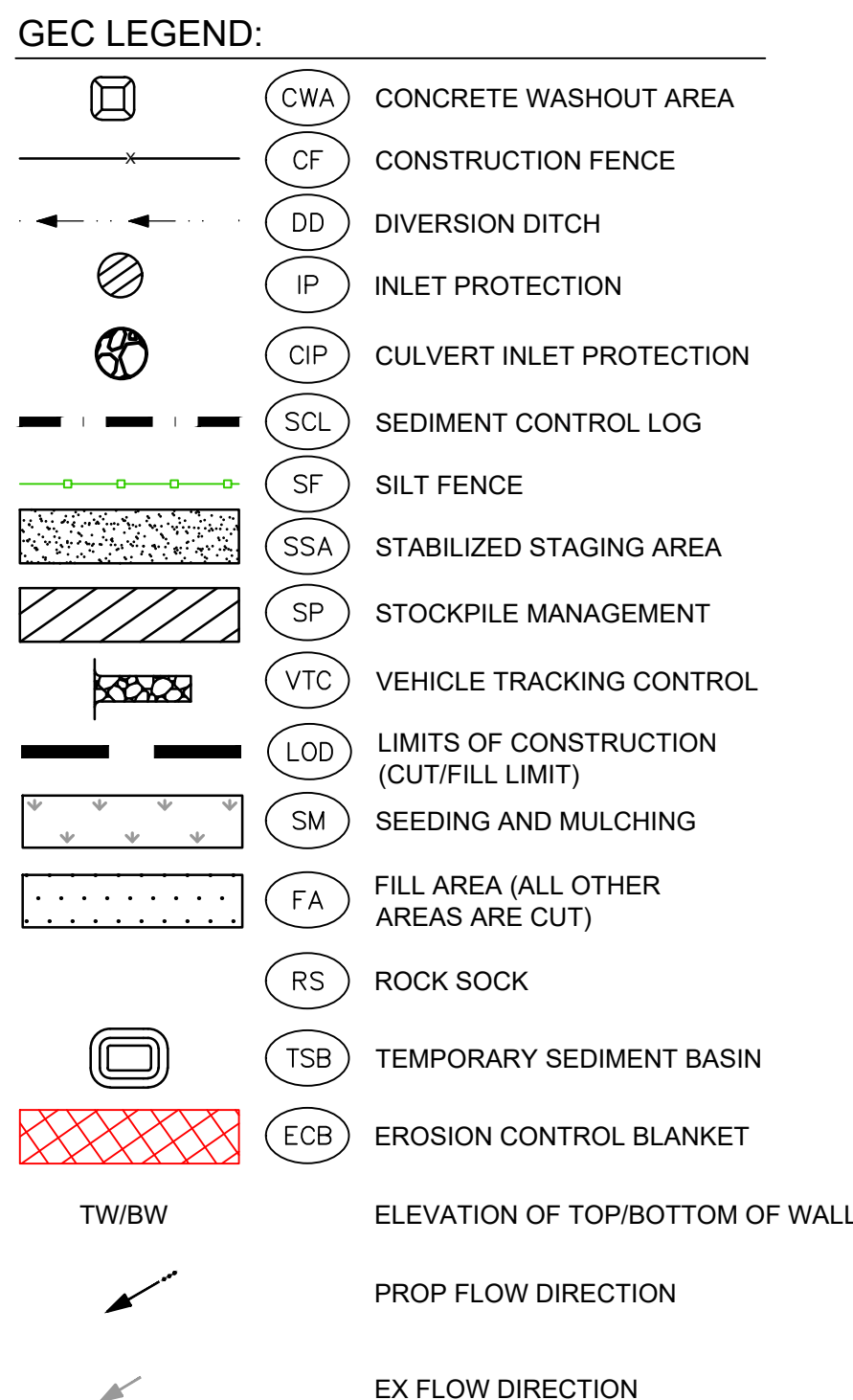
THE COTTAGES AT MESA RIDGE
GOODWIN KNIGHT
FOUNTAIN, COLORADO



CITY OF FOUNTAIN CONSTRUCTION DOCUMENTS
GEC - INITIAL PLAN

SHEET
GEC

4



1. SEE SHEETS 11-13 FOR CITY OF COLORADO SPRINGS GRADING AND EROSION CONTROL DETAILS.
2. ALL STORMWATER MANAGEMENT MEASURES SHOWN ON THIS PLAN MUST BE INSTALLED AND MAINTAINED PER THE COLORADO SPRINGS STORMWATER CONSTRUCTION MANUAL; LATEST REVISIONS.
3. AREA WITHIN LIMITS OF DISTURBANCE TO BE CLEARED, GRUBBED AND STOCKPILED PRIOR TO THE START OF ANY FILL.
4. ALL 3:1 SLOPES MUST BE RECEIVE SLOPE TRACKING TREATMENT AND EROSION CONTROL BLANKET.
5. STOCKPILES REQUIRED DURING ONSITE CONSTRUCTION ACTIVITIES WILL BE PLACED AT THE DISCRETION OF THE CONTRACTOR. STOCKPILING OF MATERIAL MUST NOT OCCUR OUTSIDE THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN.
6. NON-STRUCTURAL CONTROLS (I.E. STREET SWEEPING) WILL BE AT THE DISCRETION OF THE PROJECT'S CERTIFIED GEC ADMINISTRATOR THROUGHOUT THE DURATION OF LAND DISTURBING ACTIVITIES.
7. THERE ARE NO ANTICIPATED ASPHALT AND/OR CONCRETE BATCH PLANTS, OR MASONRY MIX STATIONS ASSOCIATED WITH THIS PROJECT. IF THE CONTRACTOR REQUIRES A ASPHALT/CONCRETE BATCH PLANTS OR MASONRY MIX STATIONS, THESE PLANS WILL BE AMENDED AS REQUIRED.
8. THERE ARE NO EXISTING PRESERVATION EASEMENTS LOCATED ON SITE.

TOTAL DISTURBANCE AREA = 1.31 AC
RECEIVING WATERS: JIMMY CAMP CREEK
ANTICIPATED START OF CONSTRUCTION: SPRING 2022
ANTICIPATED END OF LAND DISTURBANCE: FALL 2022
ANTICIPATED FINAL STABILIZATION: WINTER 2022

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. IF SUCH WORK IS PERFORMED IN ACCORDANCE WITH THE GRADING AND EROSION CONTROL PLAN, THE WORK WILL NOT BECOME A HAZARD TO LIFE AND LIMB, ENDANGER PROPERTY, OR ADVERSELY AFFECT THE SAFETY, USE OR STABILITY OF A PUBLIC WAY, DRAINAGE CHANNEL, OR OTHER PROPERTY.

OWNER'S STATEMENT

THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN INCLUDING TEMPORARY CONTROL MEASURE INSPECTION REQUIREMENTS AND FINAL STABILIZATION REQUIREMENTS, ACCORDING TO THE CITY OF COLORADO SPRINGS STORMWATER CONSTRUCTION MANUAL. I ACKNOWLEDGE THE RESPONSIBILITY TO DETERMINE WHETHER THE CONSTRUCTION ACTIVITIES ON THESE PLANS REQUIRE COLORADO DISCHARGE PERMIT SYSTEM (COPS) PERMITTING FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

NAME OF DEVELOPER/OWNER:

DBA: _____ PHONE: _____

TITLE: _____ EMAIL: _____

ADDRESS: _____

FAX: _____

THIS GRADING PLAN AND EROSION CONTROL PLAN IS FILED IN ACCORDANCE WITH SECTION 12.04.160 OF THE CODE OF THE CITY OF FOUNTAIN. THIS PLAN IS REVIEWED WITH THE DRAINAGE CRITERIA MANUAL, VOL. I (JANUARY 2024) AND VOL. II (DECEMBER 2020); STORMWATER CONSTRUCTION MANUAL; LATEST REVISIONS.

BRANDY B WILLIAMS, P.E., CITY ENGINEER

NOTES:

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APPROVED: KEN JOB NUMBER: 200541 OFFICIAL DRAWINGS.
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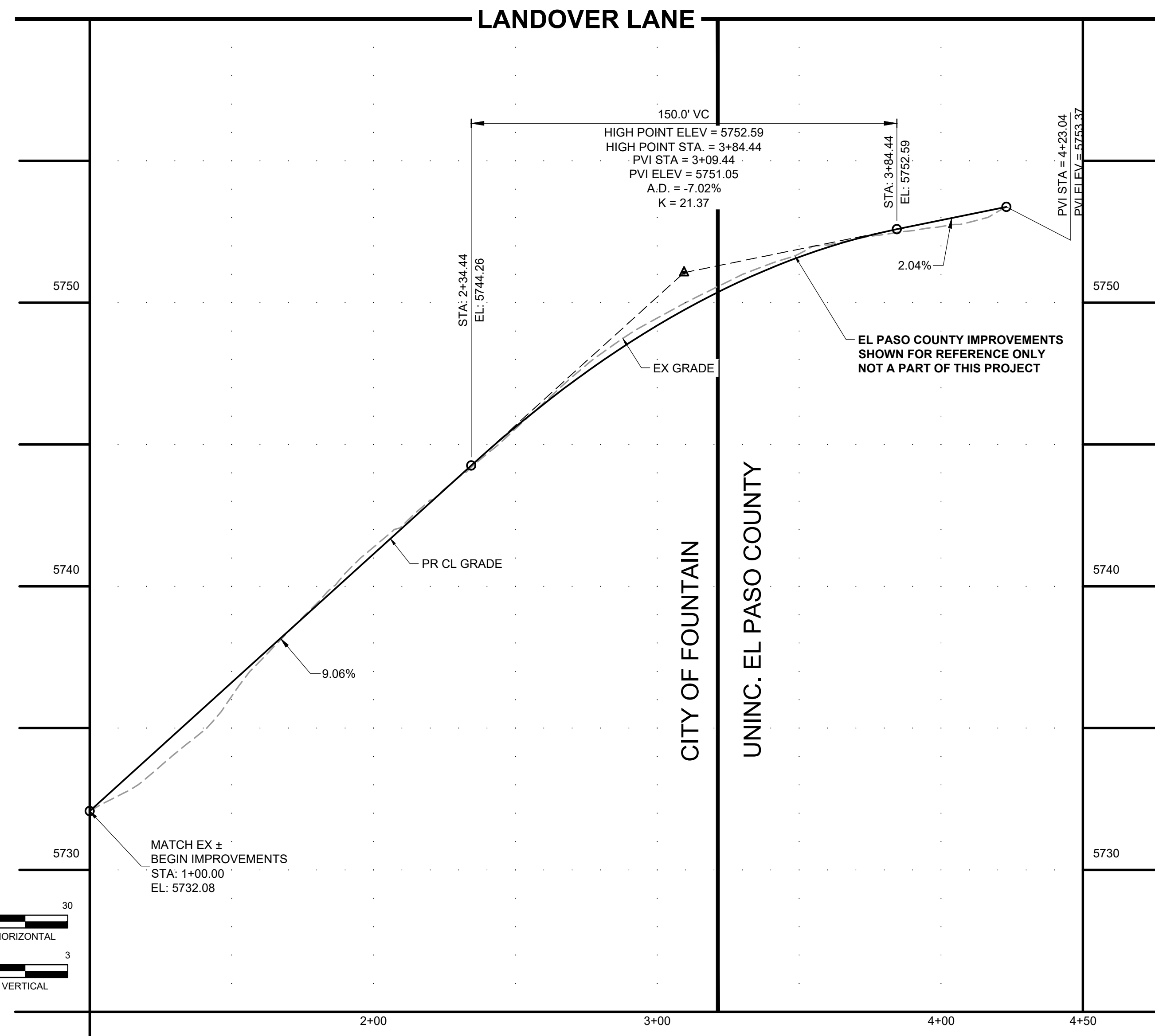
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THE COTTAGES AT MESA RIDGE
GOODWIN KNIGHT
FOUNTAIN, COLORADO



SHEET
GEC



LANDOVER LANE - EYEBROW FLOWLINE

PR FL GRADE

EX GRADE

4.40%

PVI STA = 1+00.00
PVI ELEV = 5742.51

PVI STA = 2+68.27
PVI ELEV = 5749.92

5750

5740

0+00

3+00

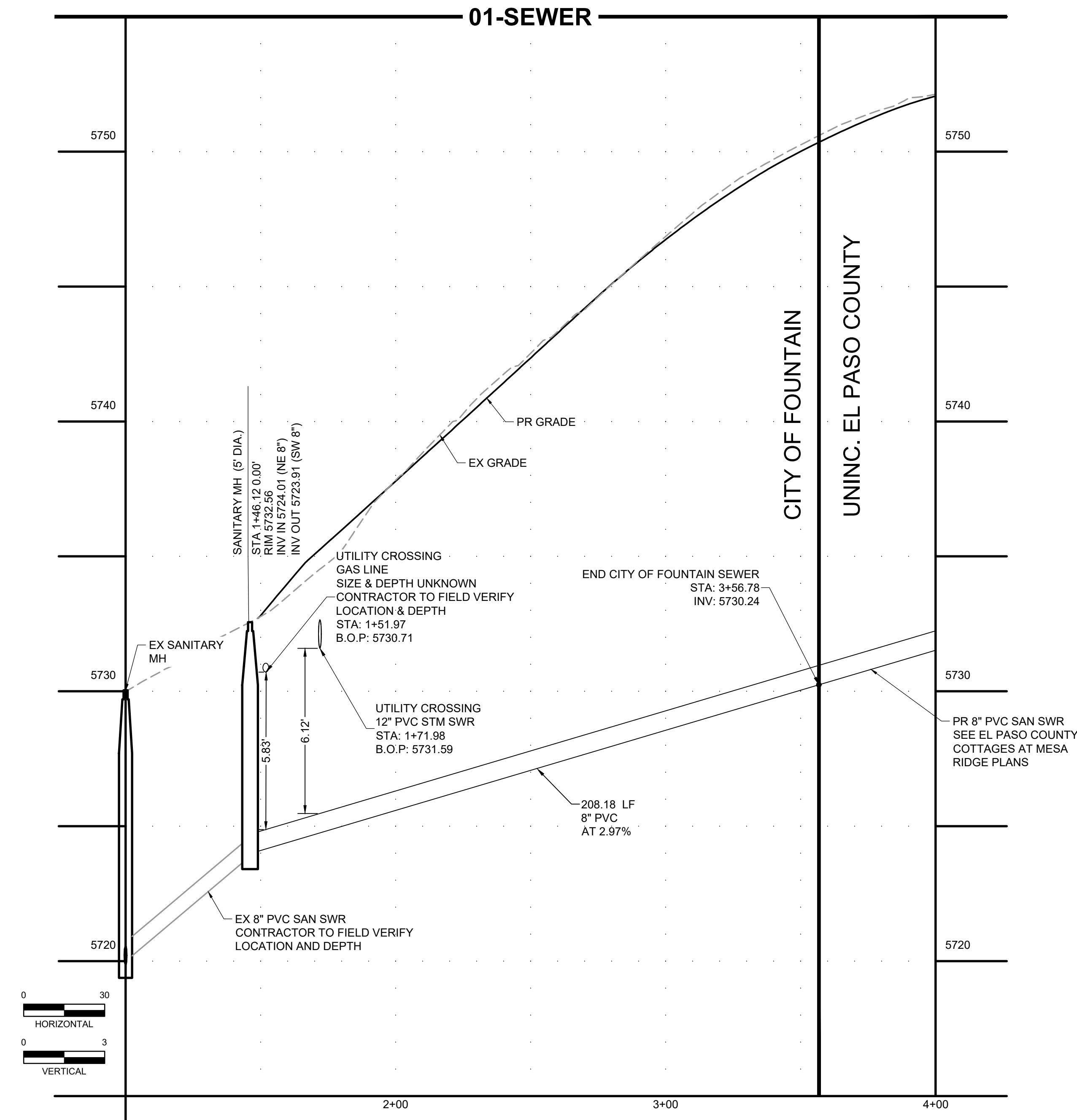
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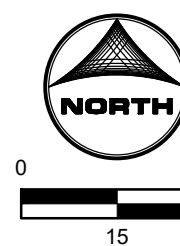
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ENGINEER'S STATEMENT:	
SIGNATURE (AFFIX SEAL): _____	DATE: _____
COLORADO PROFESSIONAL ENGINEER NO: _____	
ACCEPTANCE:	
THESE PLANS SUBMITTED APPEAR TO BE IN CONFORMANCE WITH THE CITY OF FOUNTAIN SUBMITTAL REQUIREMENTS AND STANDARD ENGINEERING PRINCIPLES AND PRACTICES APPEAR TO HAVE BEEN FOLLOWED. THE PROFESSIONAL ENGINEER SUBMITTED AND SEALING THE PLANS IS SOLELY RESPONSIBLE FOR THEIR ACCURACY AND VALIDITY. THE REVIEW IS ONLY VALID FOR ONE (1) YEAR FROM THE DATE BELOW.	
BRANDY R WILLIAMS, P.E., CITY ENGINEER _____	DATE: _____



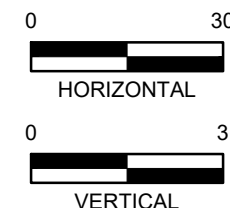
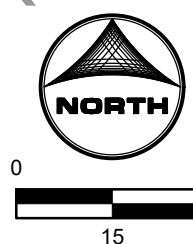
NOT FOR CONSTRUCTION



**GOODWIN
KNIGHT**


ENGINEER'S STATEMENT:	
SIGNATURE (AFFIX SEAL): _____	DATE: _____
COLORADO PROFESSIONAL ENGINEER NO: _____	
ACCEPTANCE: THESE PLAN SUBMITTED APPEAR TO BE IN CONFORMANCE WITH THE CITY OF FOUNTAIN SUBMITTAL REQUIREMENTS AND STANDARD ENGINEERING PRINCIPLES AND PRACTICES APPEAR TO HAVE BEEN FOLLOWED. THE PROFESSIONAL ENGINEER SUBMITTED AND SEALING THE PLANS IS SOLELY RESPONSIBLY FOR THEIR ACCURACY AND VALIDITY. THE REVIEW IS ONLY VALID FOR ONE (1) YEAR FROM THE DATE BELOW.	
BRANDY R WILLIAMS, P.E., CITY ENGINEER	DATE: _____

NOT FOR CONSTRUCTION

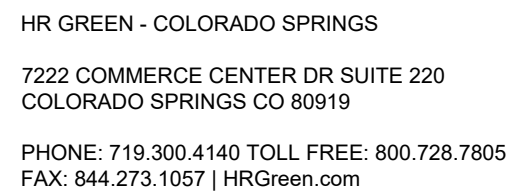


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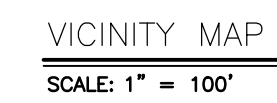
NOT FOR CONSTRUCTION

BAR IS ONE INCH ON
OFFICIAL DRAWINGS.
0  1"
IF NOT ONE INCH,
JUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION



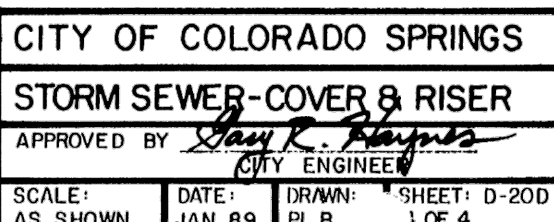
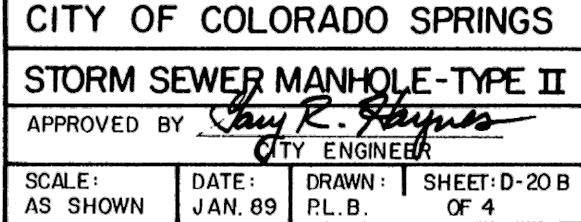
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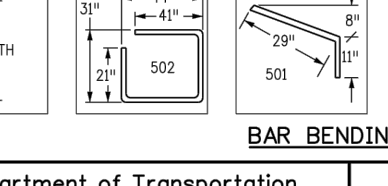
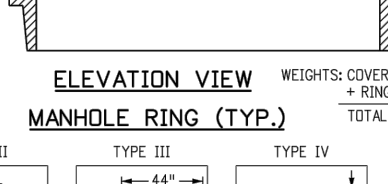
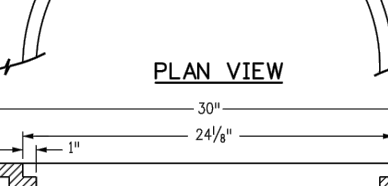
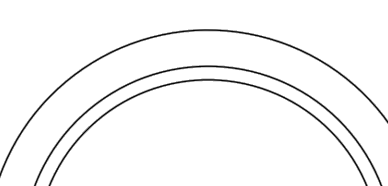
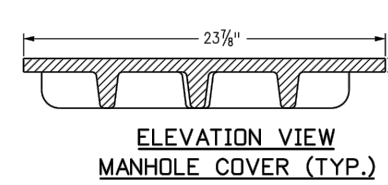
NOT FOR CONSTRUCTION

SCALE:

 $\frac{3}{4}'' = 1'$



A circular diagram representing the plan view of a fish trap. The outer boundary is a solid circle. Inside this is a dashed circle. Between the two circles, the text "NO DUMPING" is written along the top arc and "DRAINS TO STREAM" is written along the bottom arc. In the center of the diagram is a fish, oriented horizontally with its head to the left. The fish has a simple outline with a dorsal fin, pectoral fins, and a tail. The text "PLAN VIEW" is written below the circle.

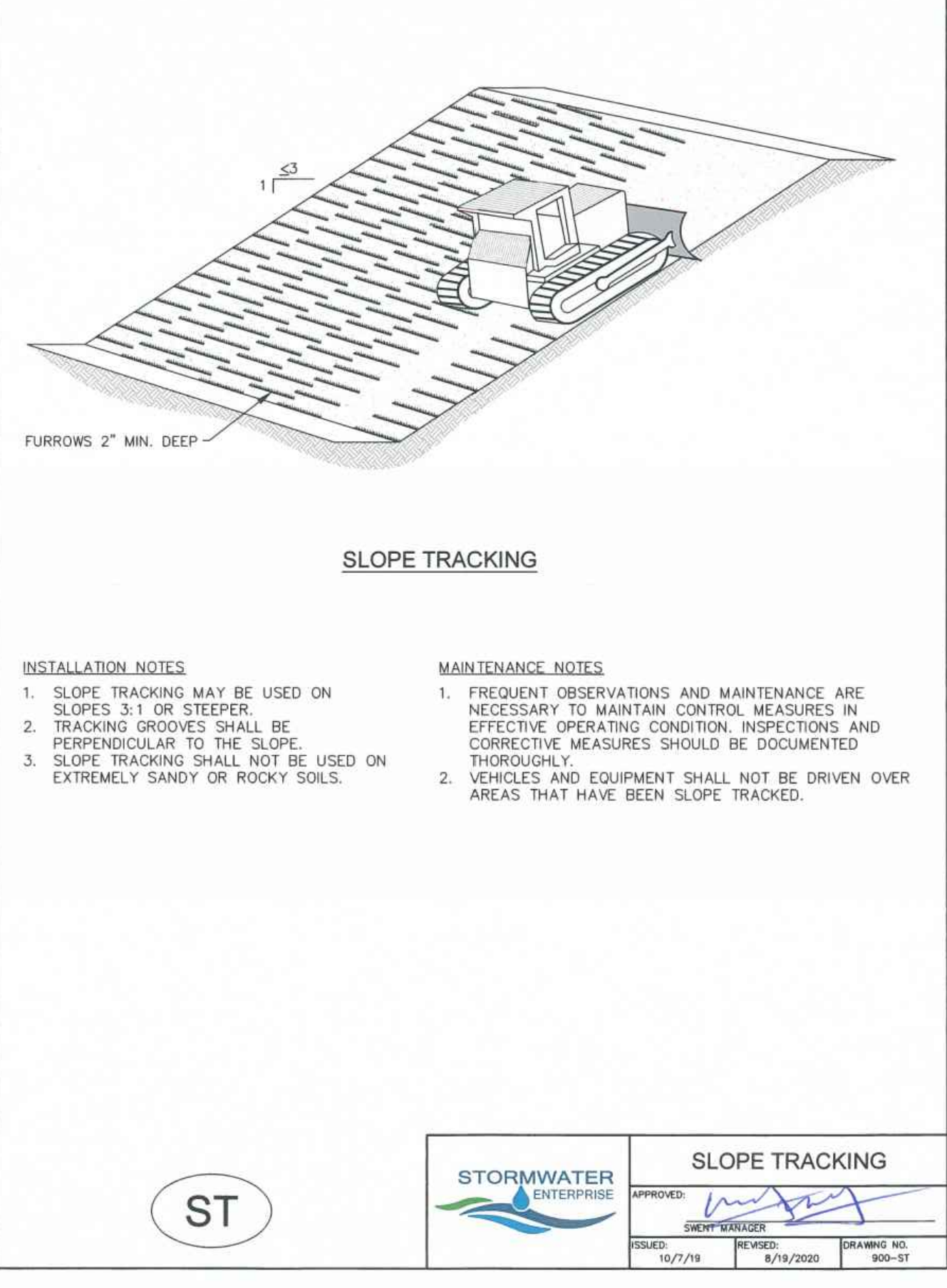
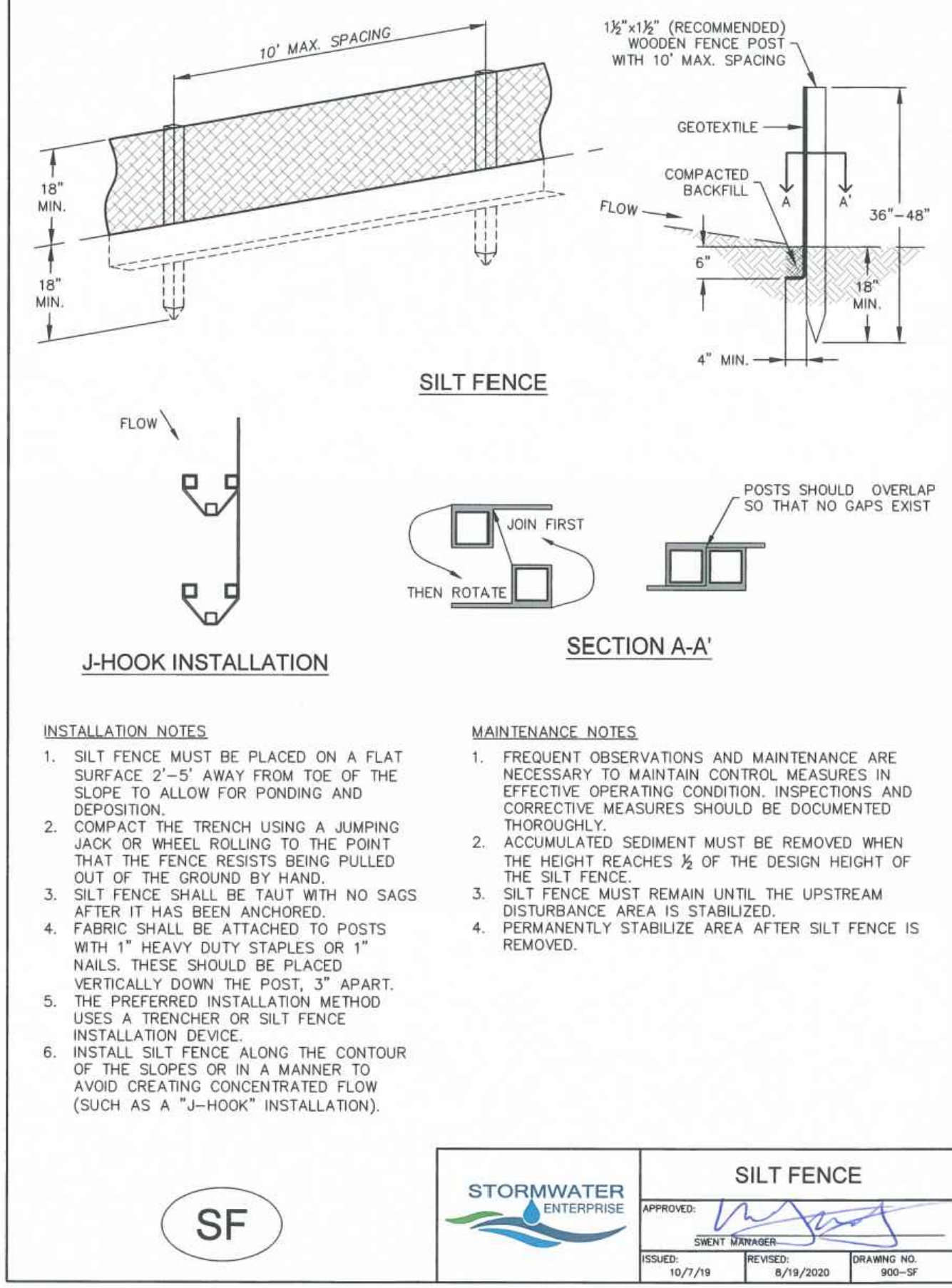
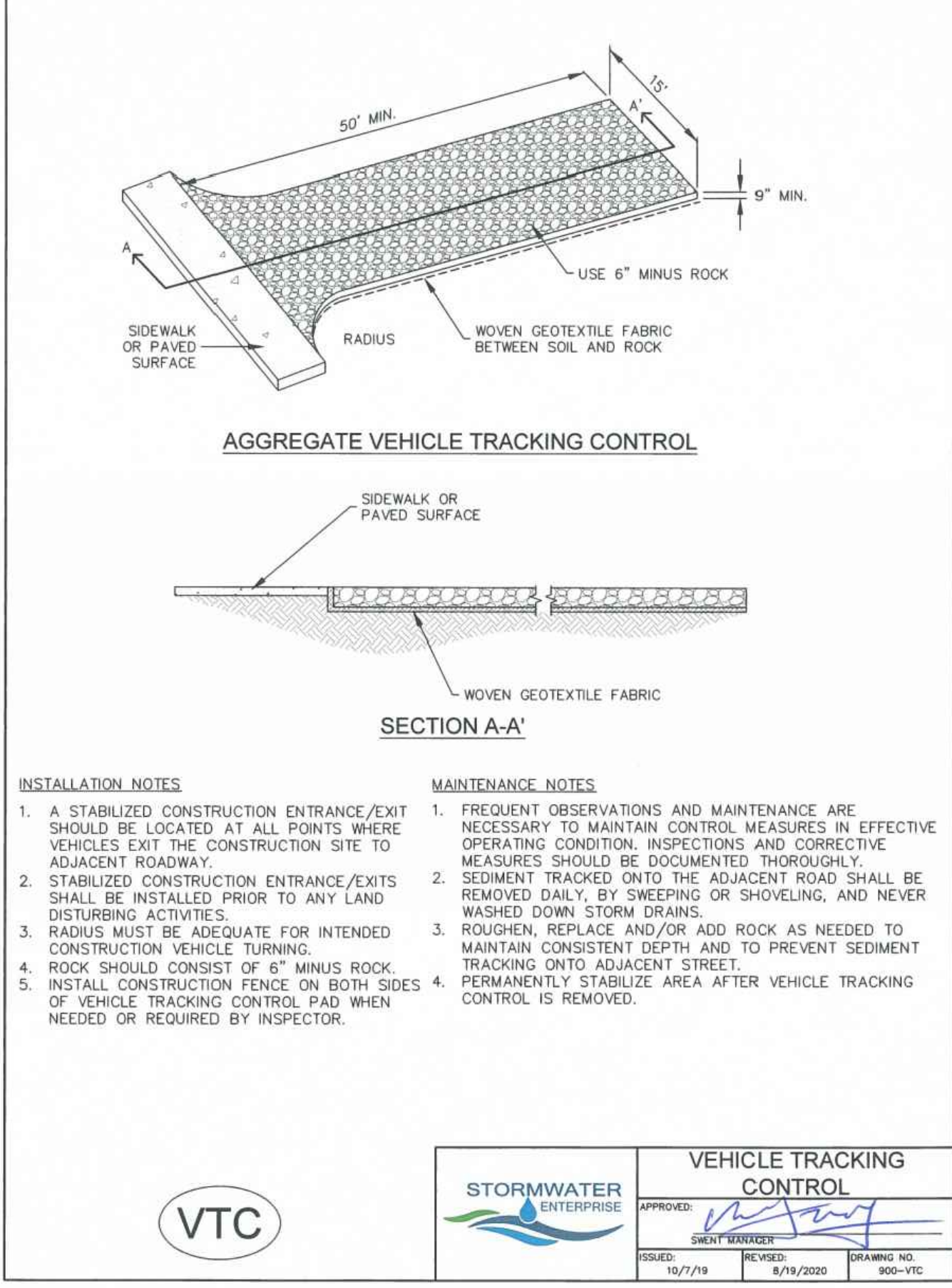
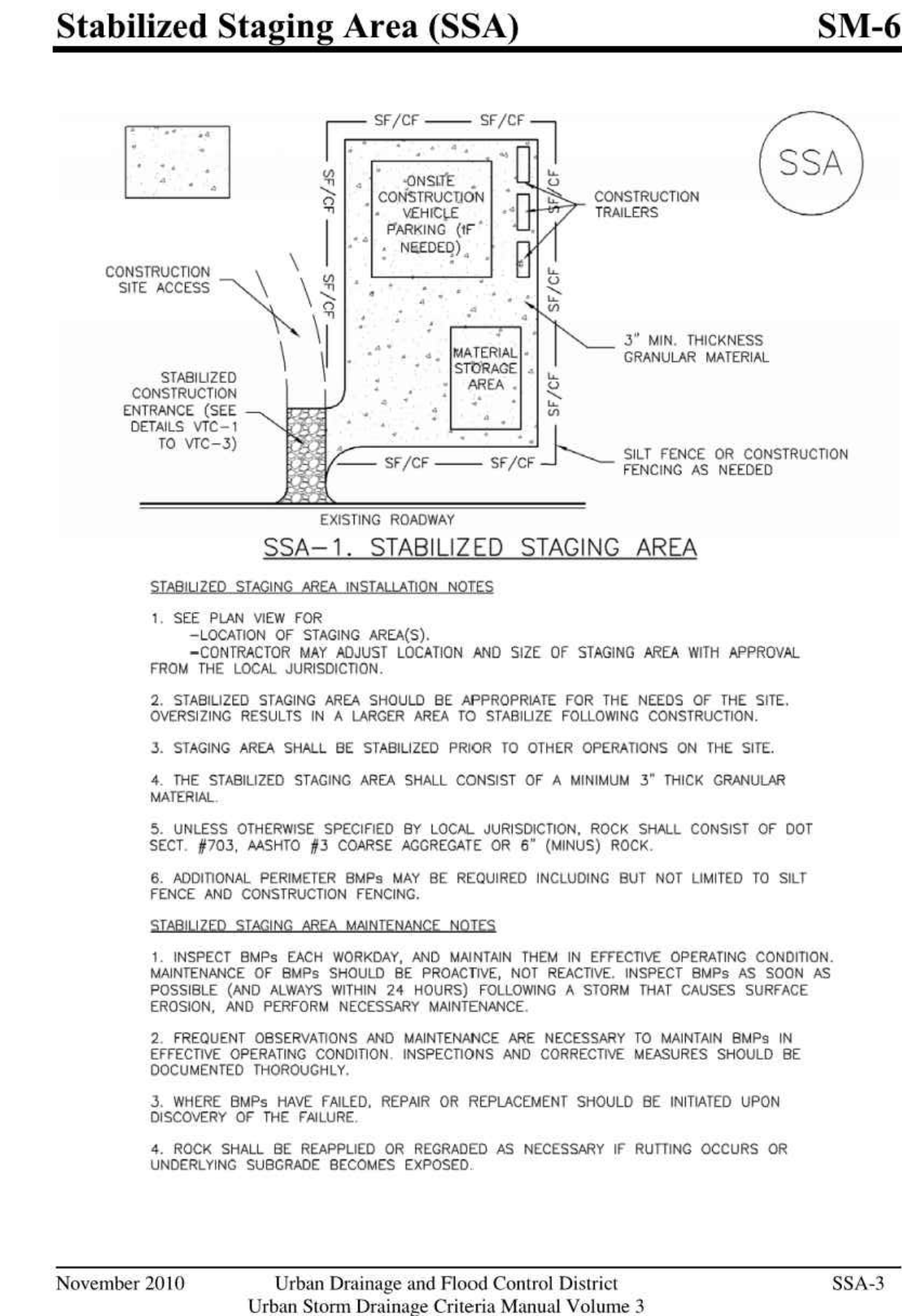


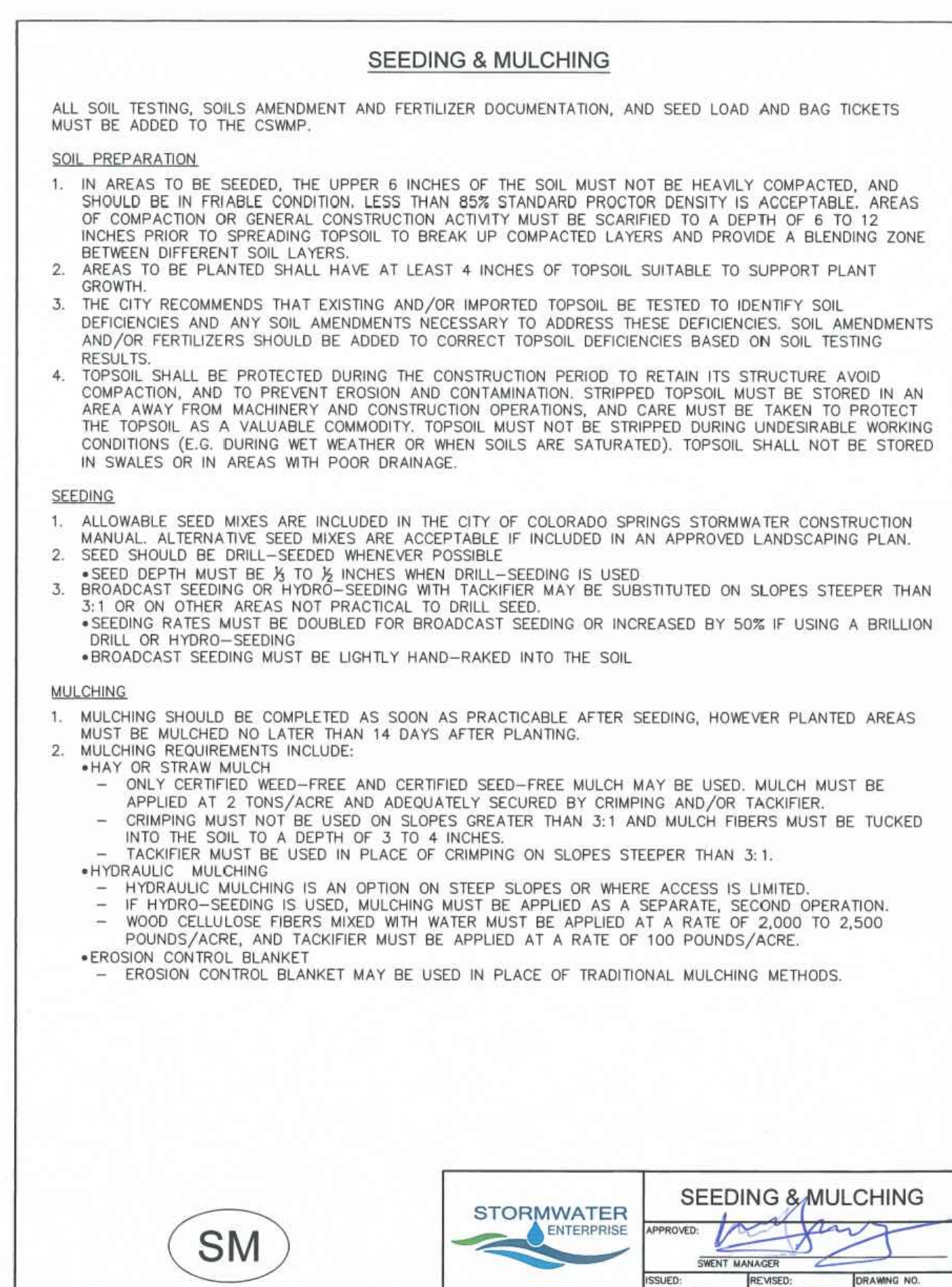
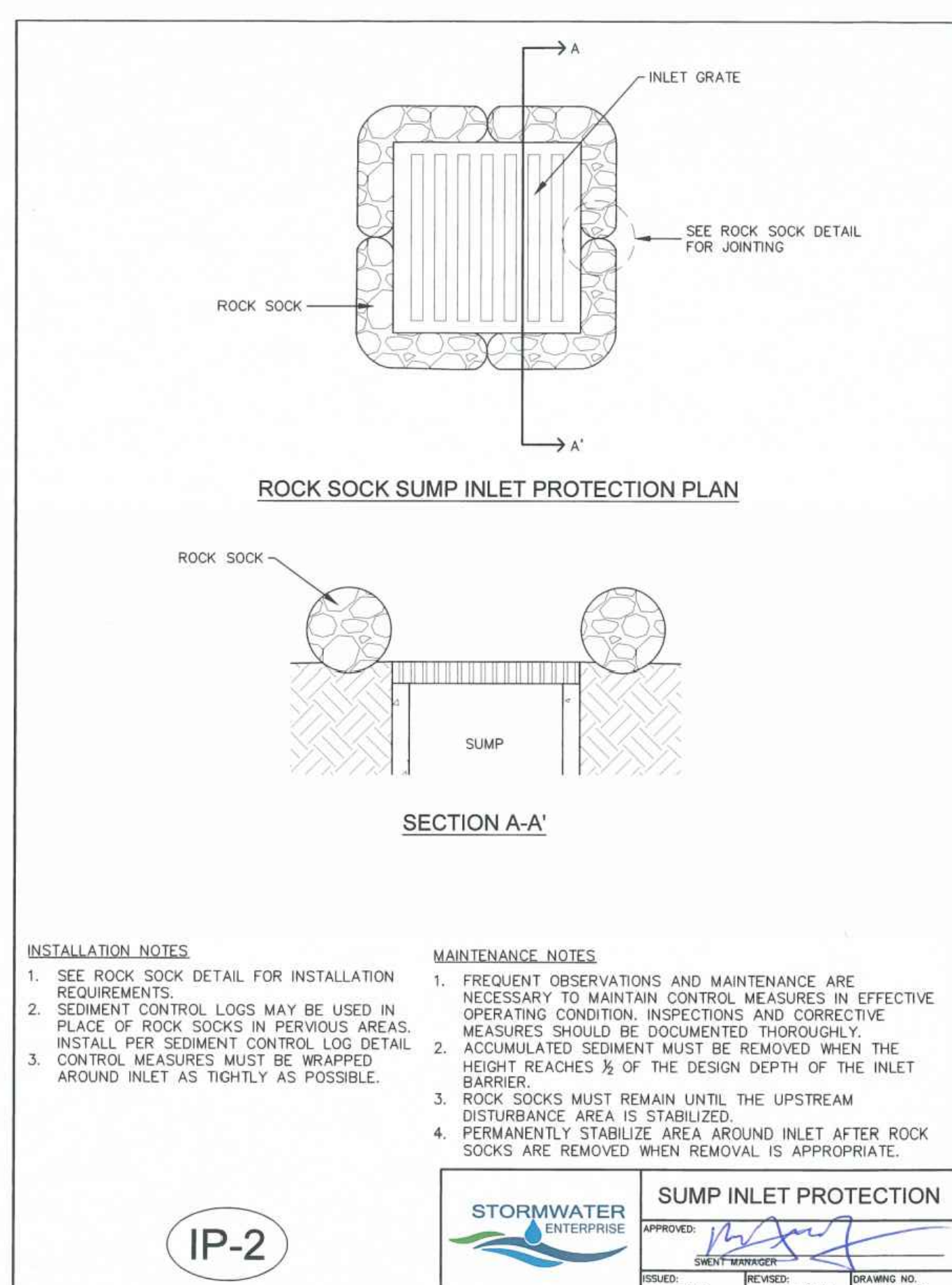
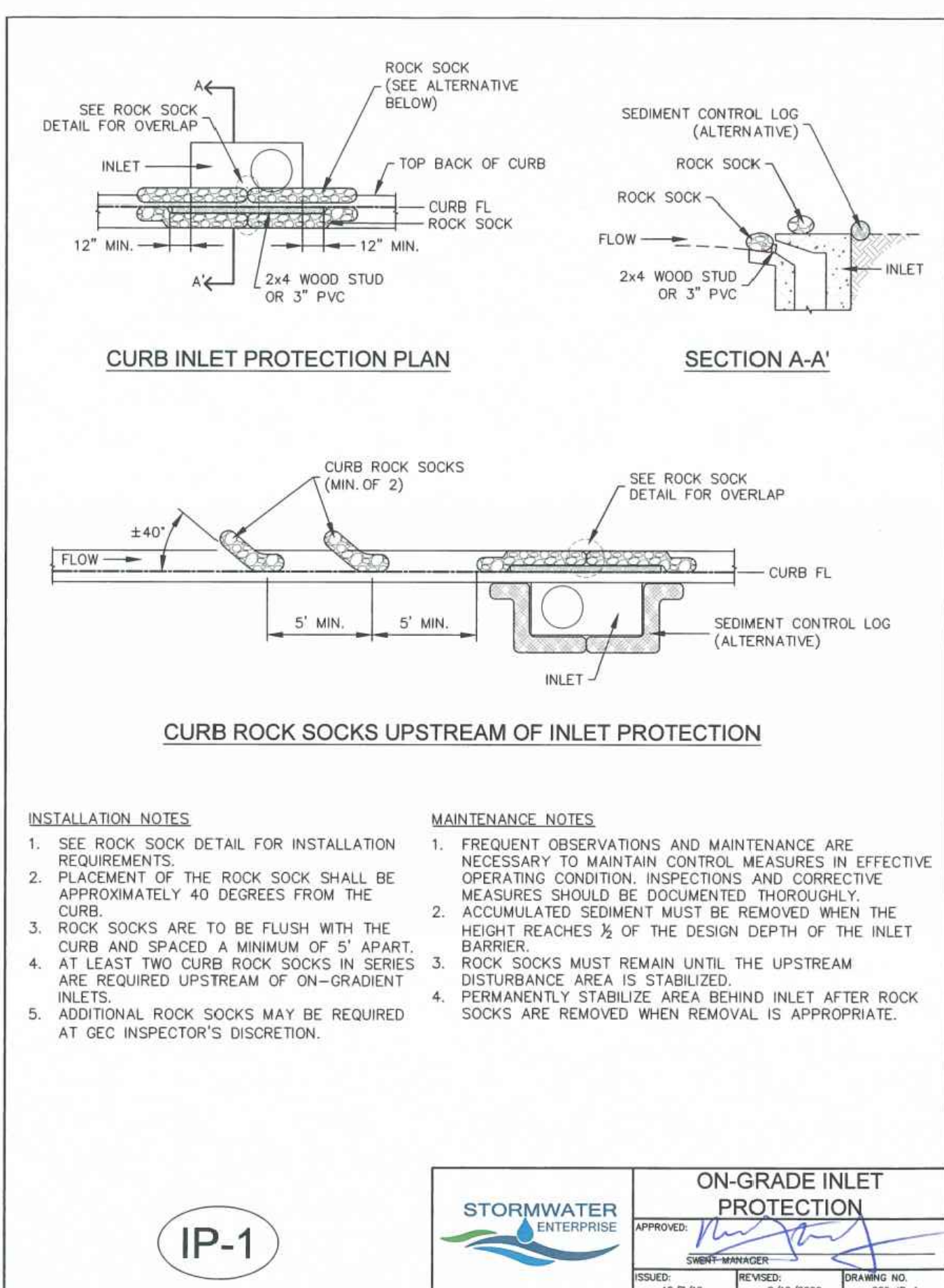
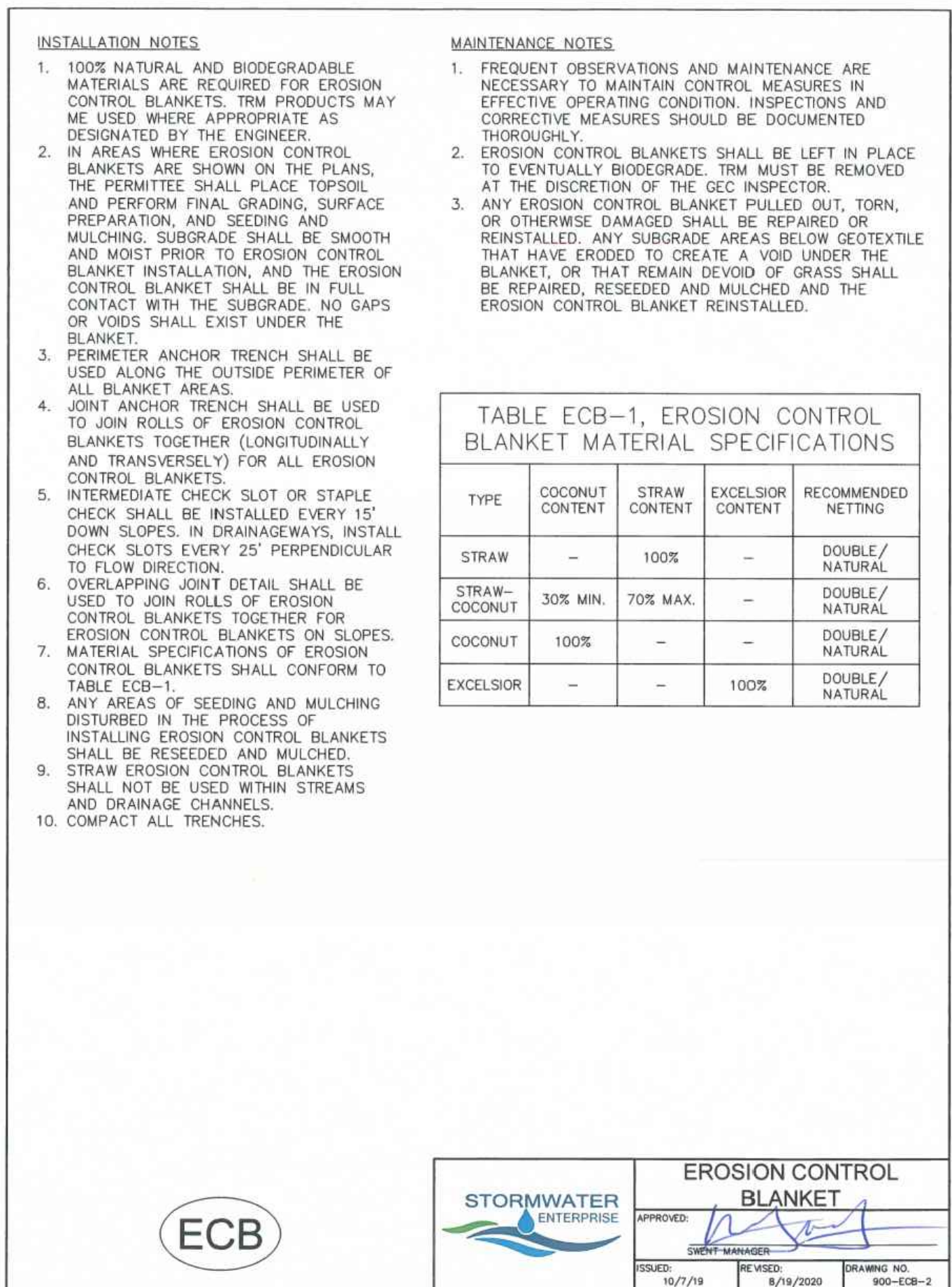
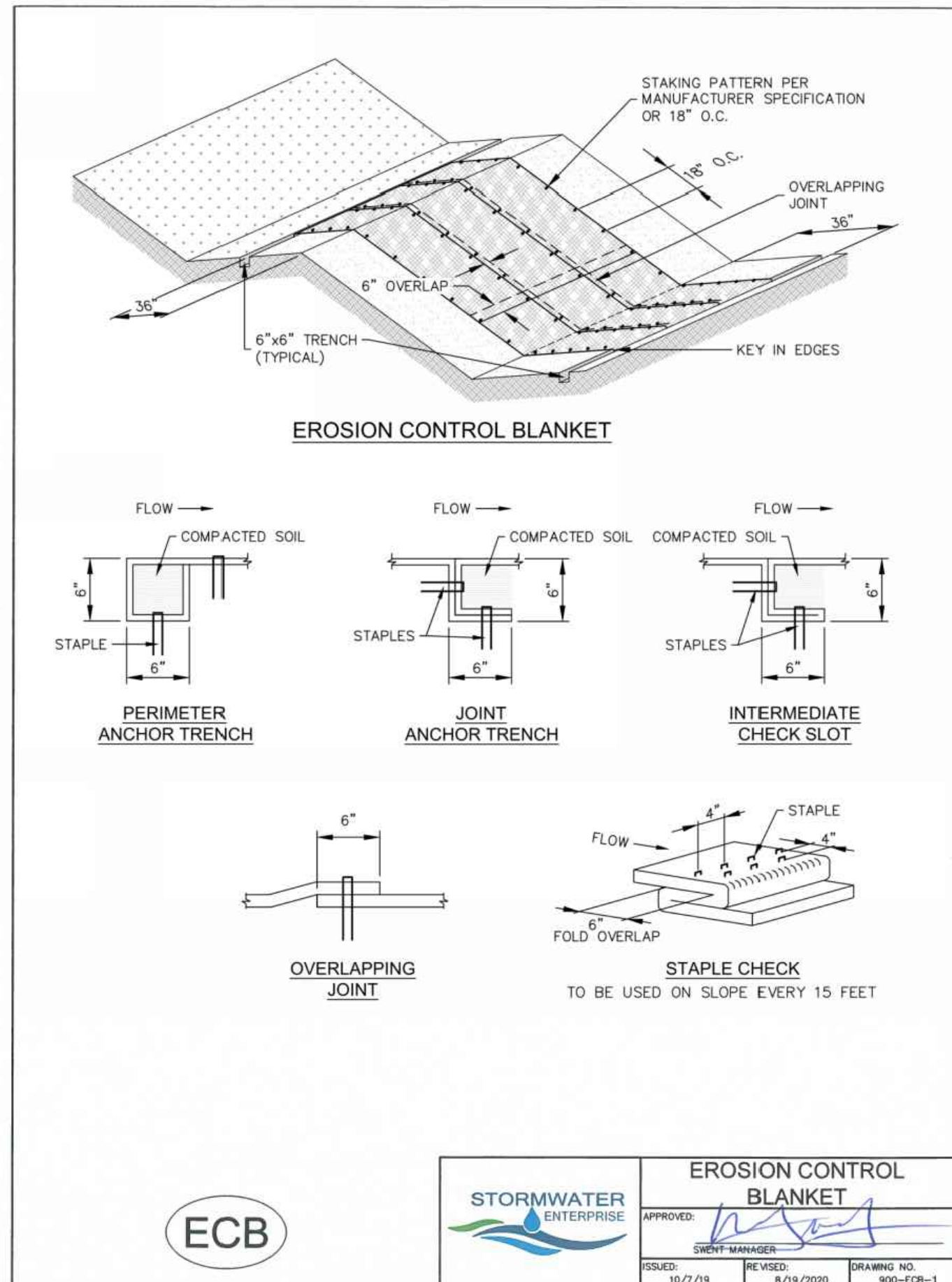
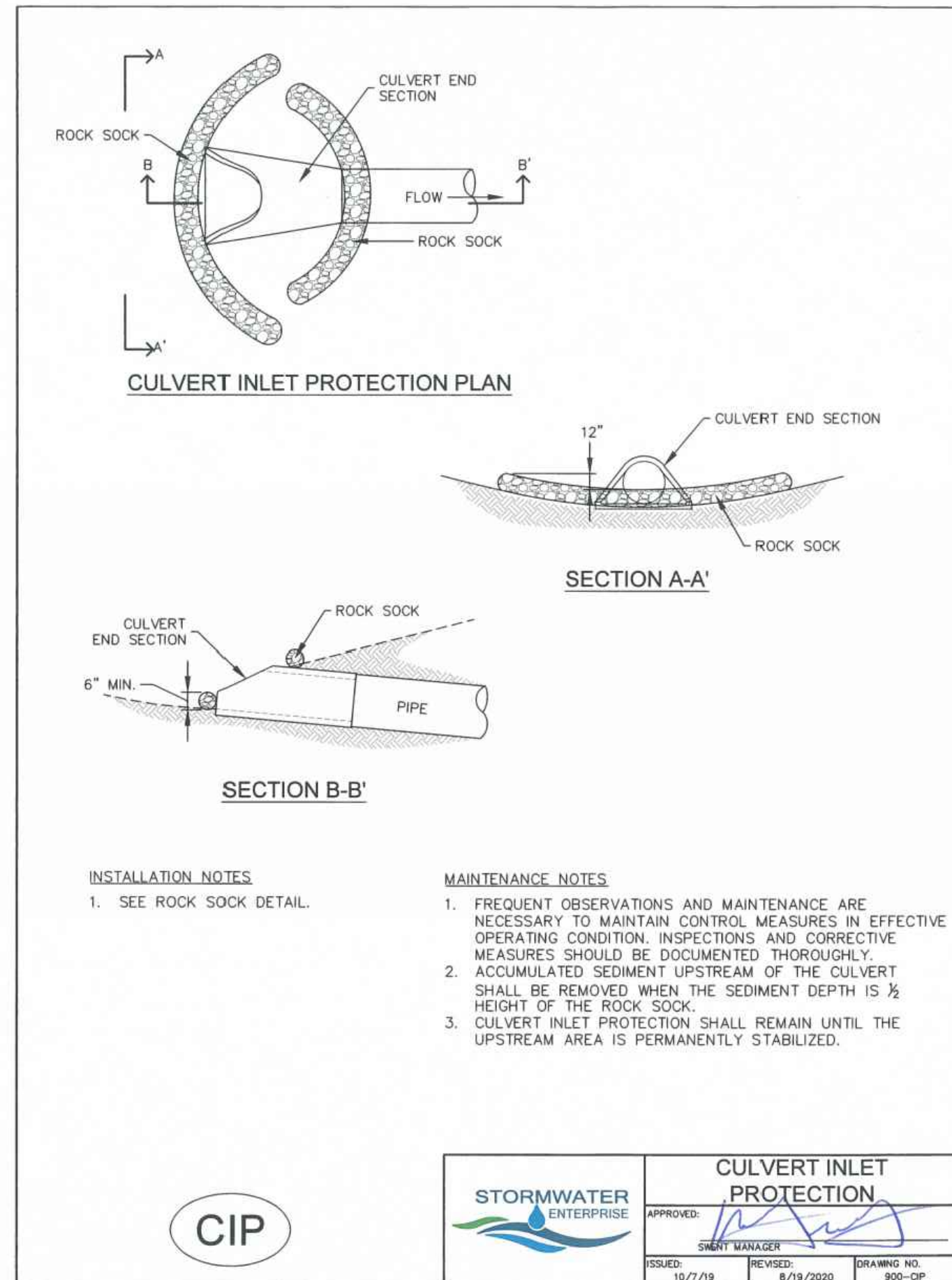
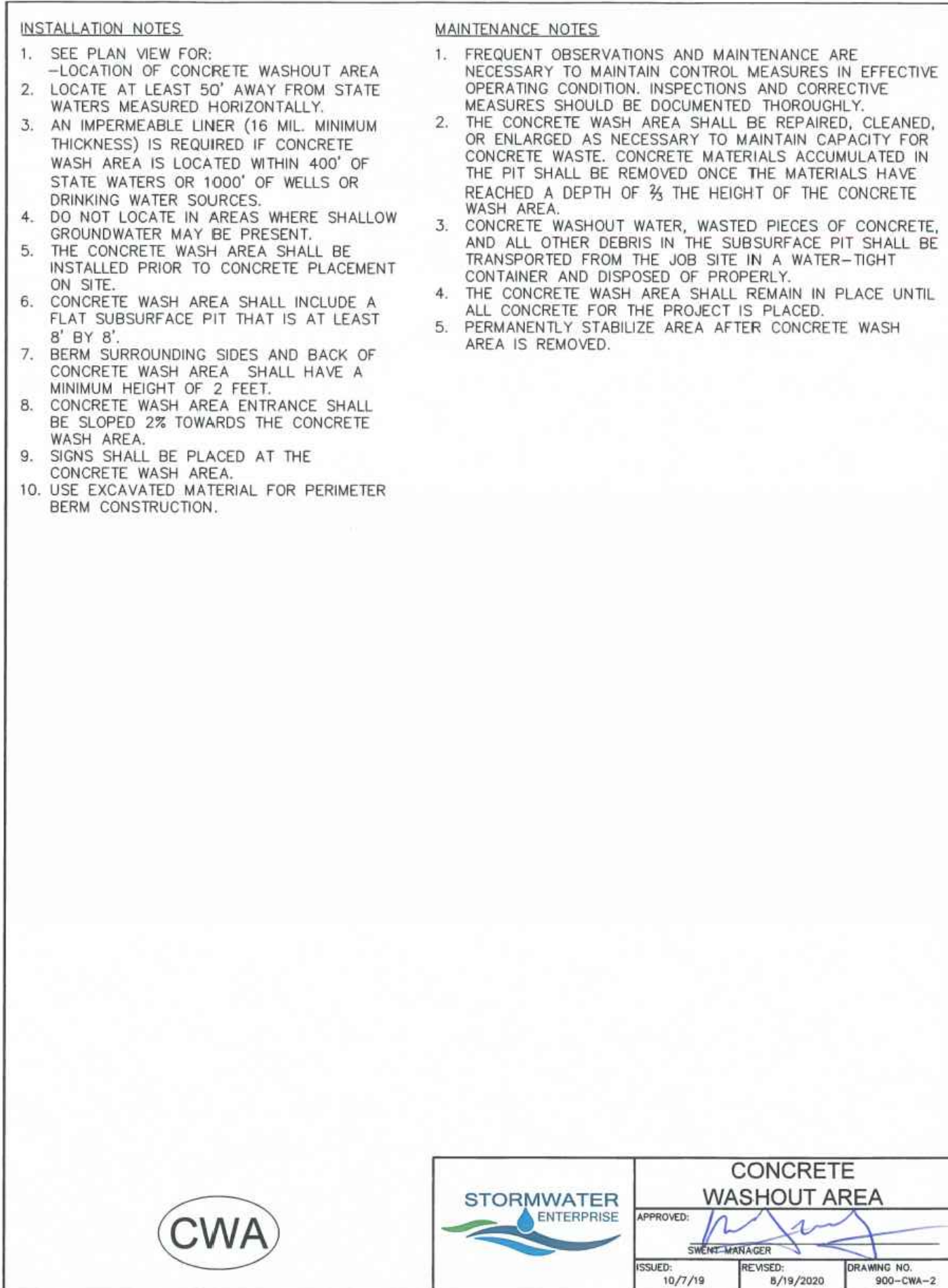
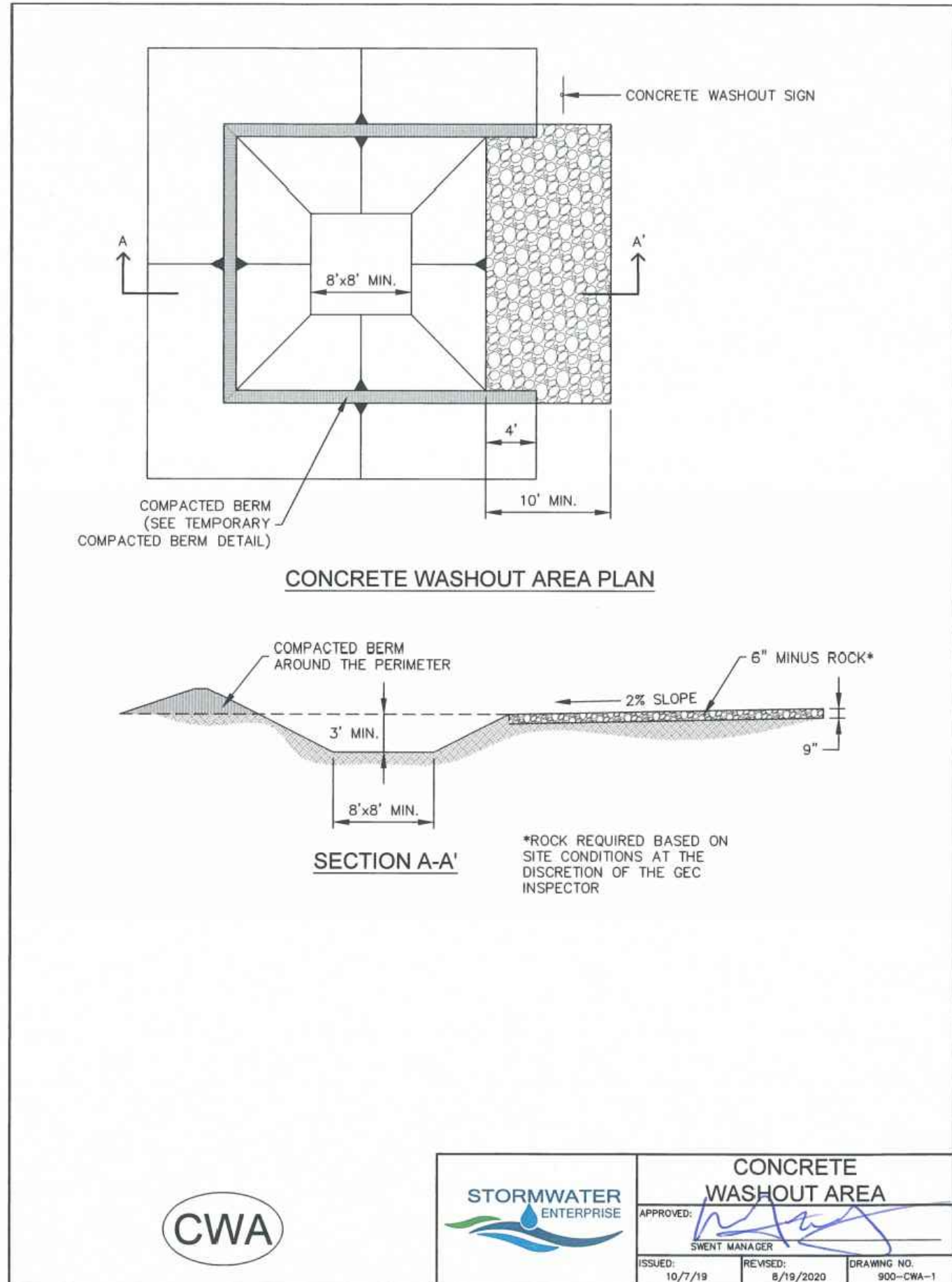
NO.	DATE	BY	REVISION DESCRIPTION

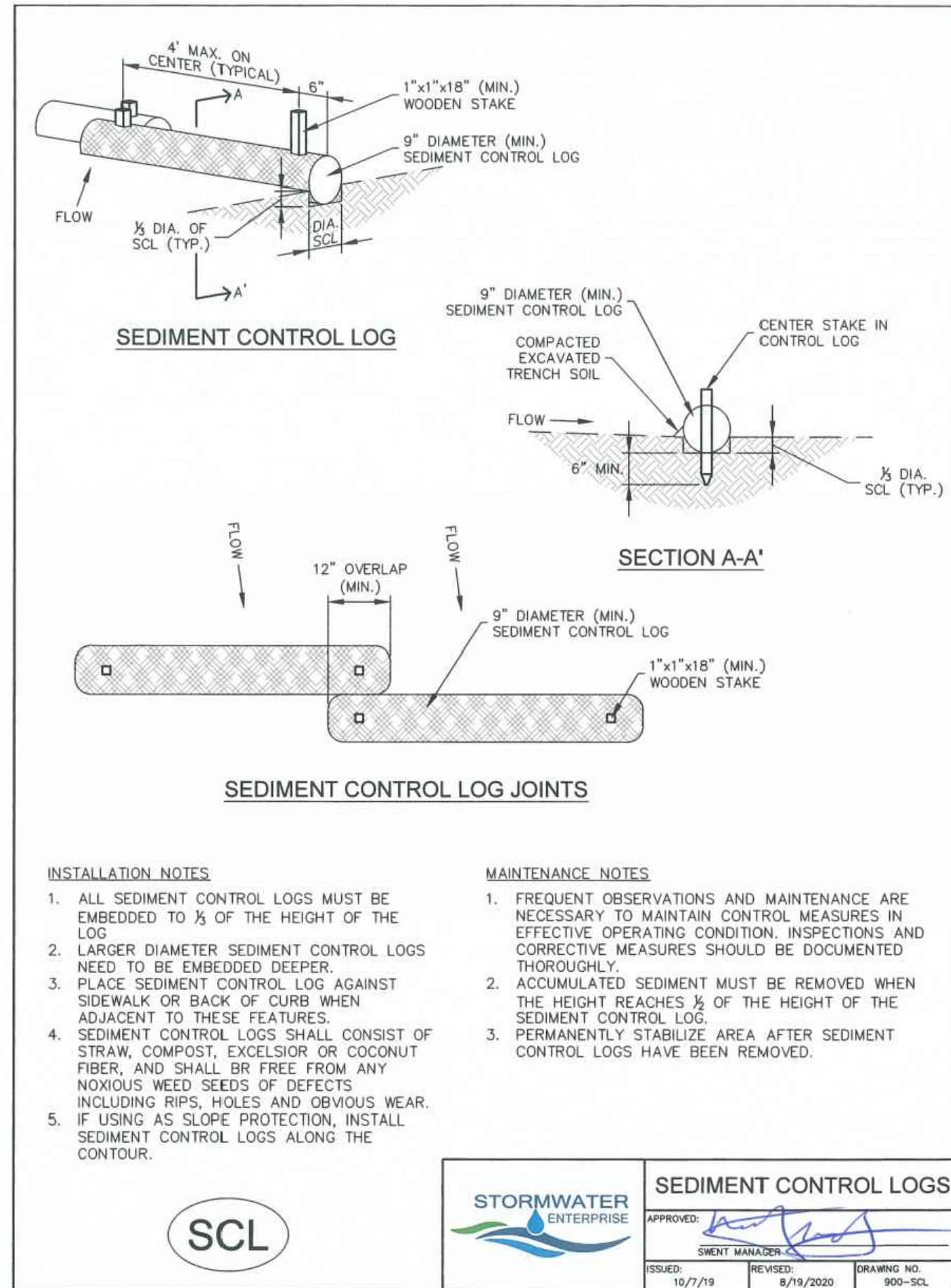
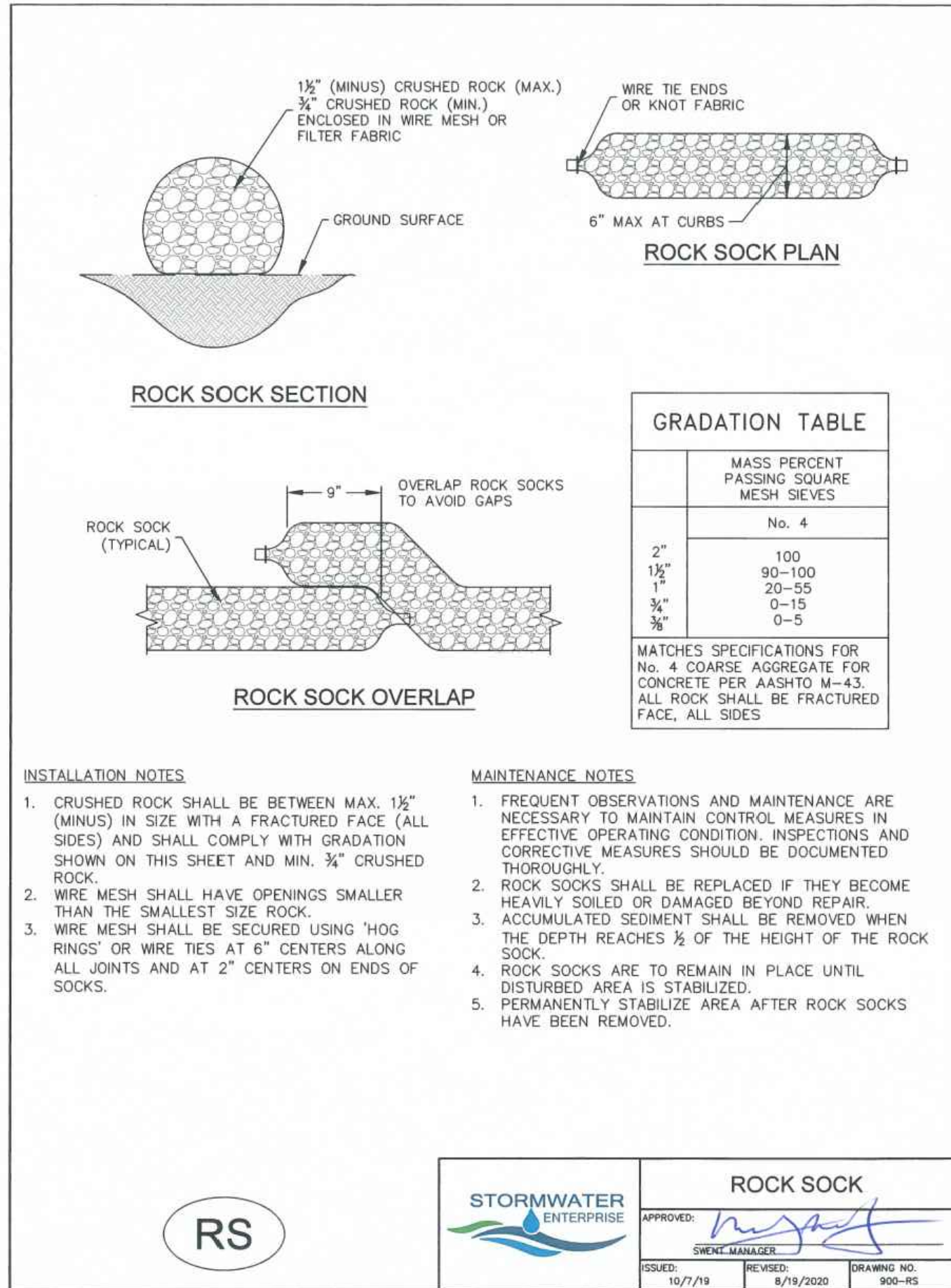
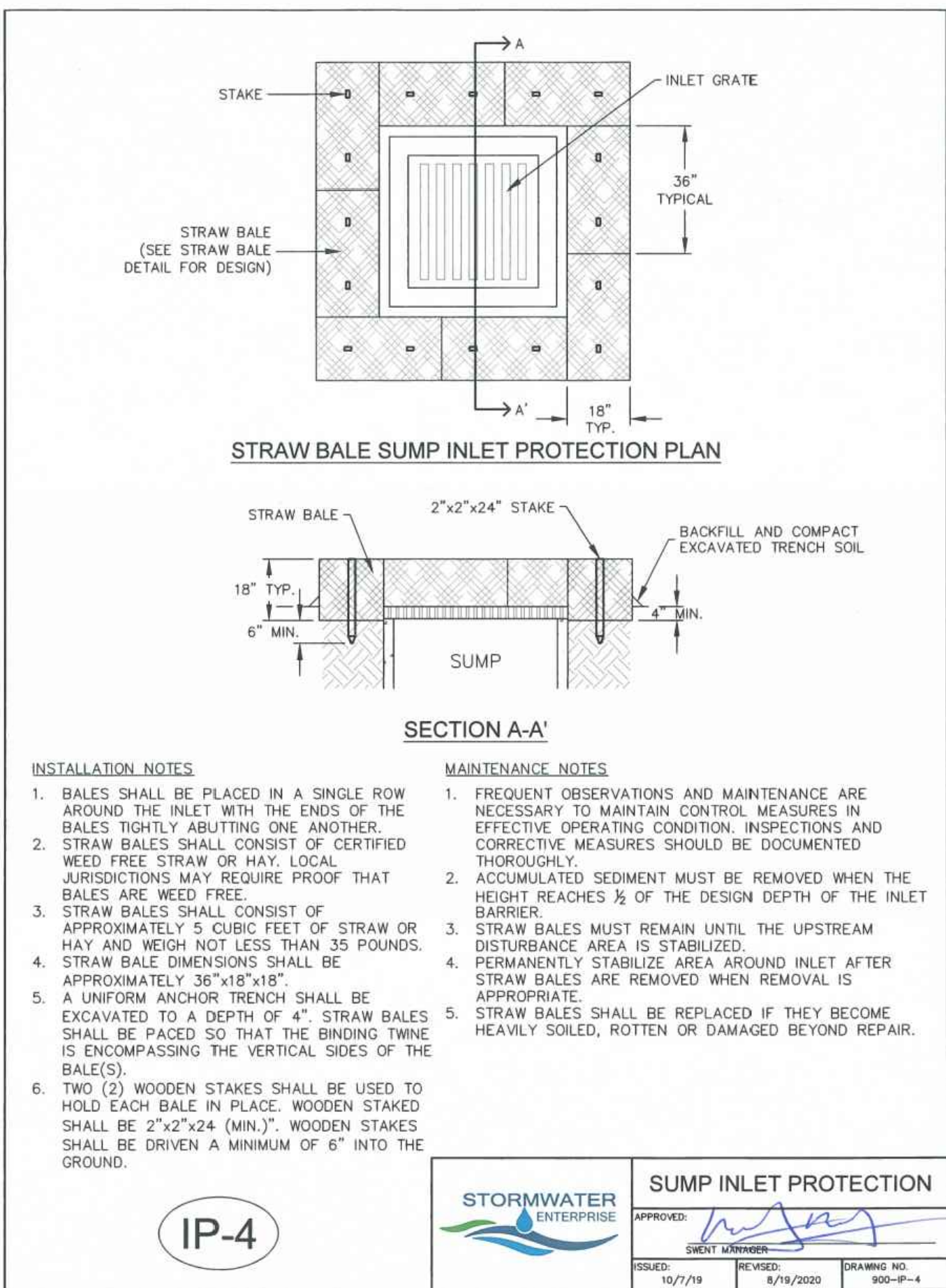
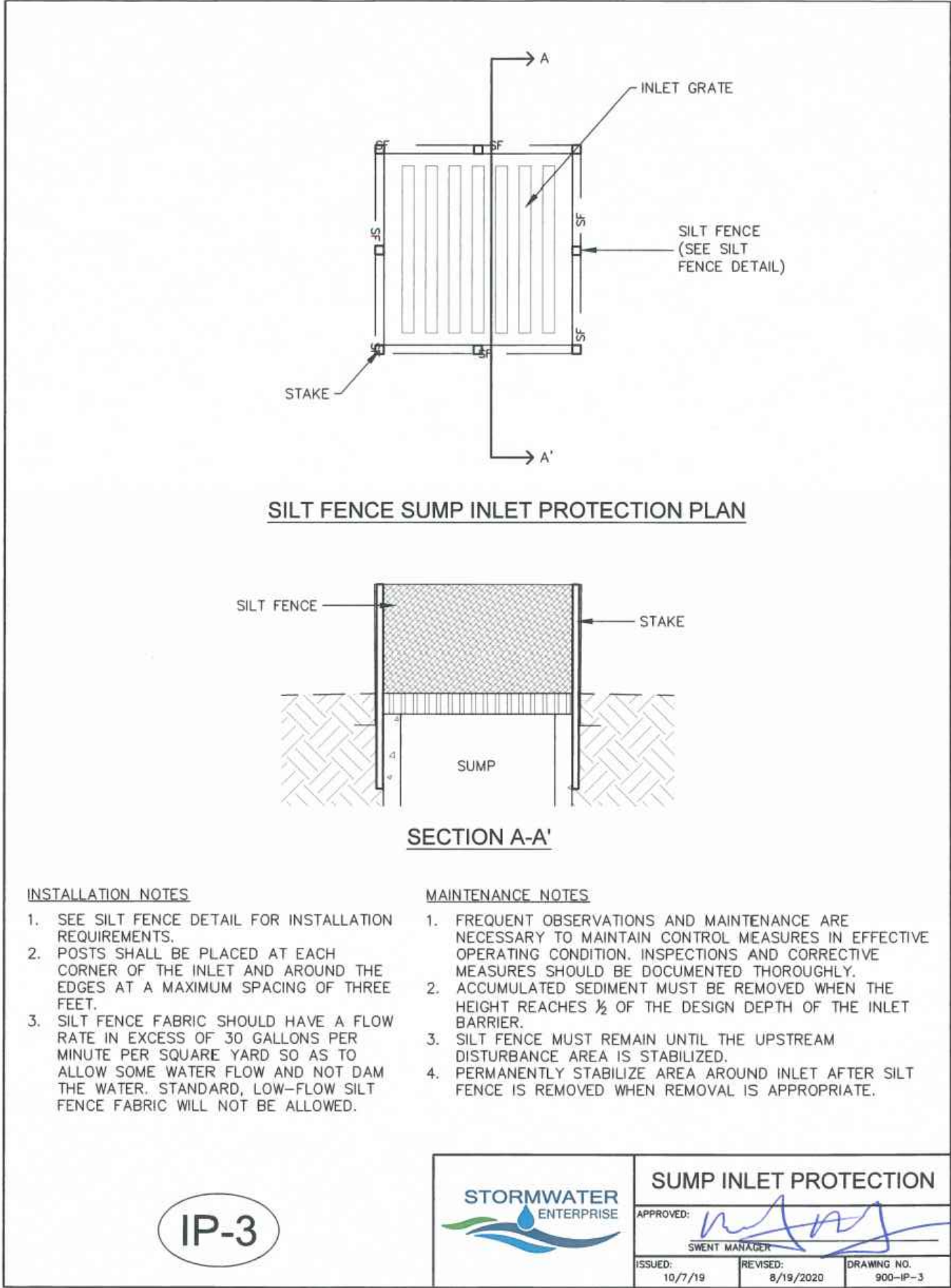
THE COTTAGES AT MESA RIDGE
GOODWIN KNIGHT
FOUNTAIN, COLORADO



SHEET
DT







THE COTTAGES AT MESA RIDGE

FOUNTAIN MUTUAL IRRIGATION COMPANY

IRRIGATION PIPE CONSTRUCTION DRAWINGS

A PORTION OF THE NORTHEAST QUARTER OF SECTION 29, THE SOUTHEAST QUARTER OF SECTION 20, THE SOUTHWEST QUARTER OF SECTION 21, & THE NORTHWEST QUARTER OF SECTION 28 TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M.
COUNTY OF EL PASO, STATE OF COLORADO

BASIS OF BEARINGS:

BEARINGS ARE BASED UPON THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 29, MONUMENTED AT THE WEST END WITH A 3.25" ALUMINUM CAP IN CONCRETE STAMPED "PLS 4842" AND MONUMENTED AT THE EAST END WITH A #6 REBAR AND 3.25" ALUMINUM CAP STAMPED "PLS 38141" AND ASSUMED TO BEAR S 89°57'13" E A FIELD MEASURED DISTANCE OF 2,652.37 FEET.

BENCHMARK:

ELEVATIONS ARE BASED UPON THE FOUNTAIN SANITATION DISTRICT POINT N-1, BEING A 2" BRASS CAP IN CONCRETE AT THE NORTHEAST CORNER OF MESA RIDGE PARKWAY AND FOUNTAIN MESA ROAD. (ELEVATION=5750.57 NGVD 29).

LEGAL DESCRIPTION:

THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 28 AND THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: BEARINGS ARE BASED UPON THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 29, MONUMENTED AT THE WEST END WITH A 3.25" ALUMINUM CAP IN CONCRETE STAMPED "PLS 4842" AND MONUMENTED AT THE EAST END WITH A #6 REBAR AND 3.25" ALUMINUM CAP STAMPED "PLS 38141" AND ASSUMED TO BEAR S 89°57'13" E A FIELD MEASURED DISTANCE OF 2,652.37 FEET.

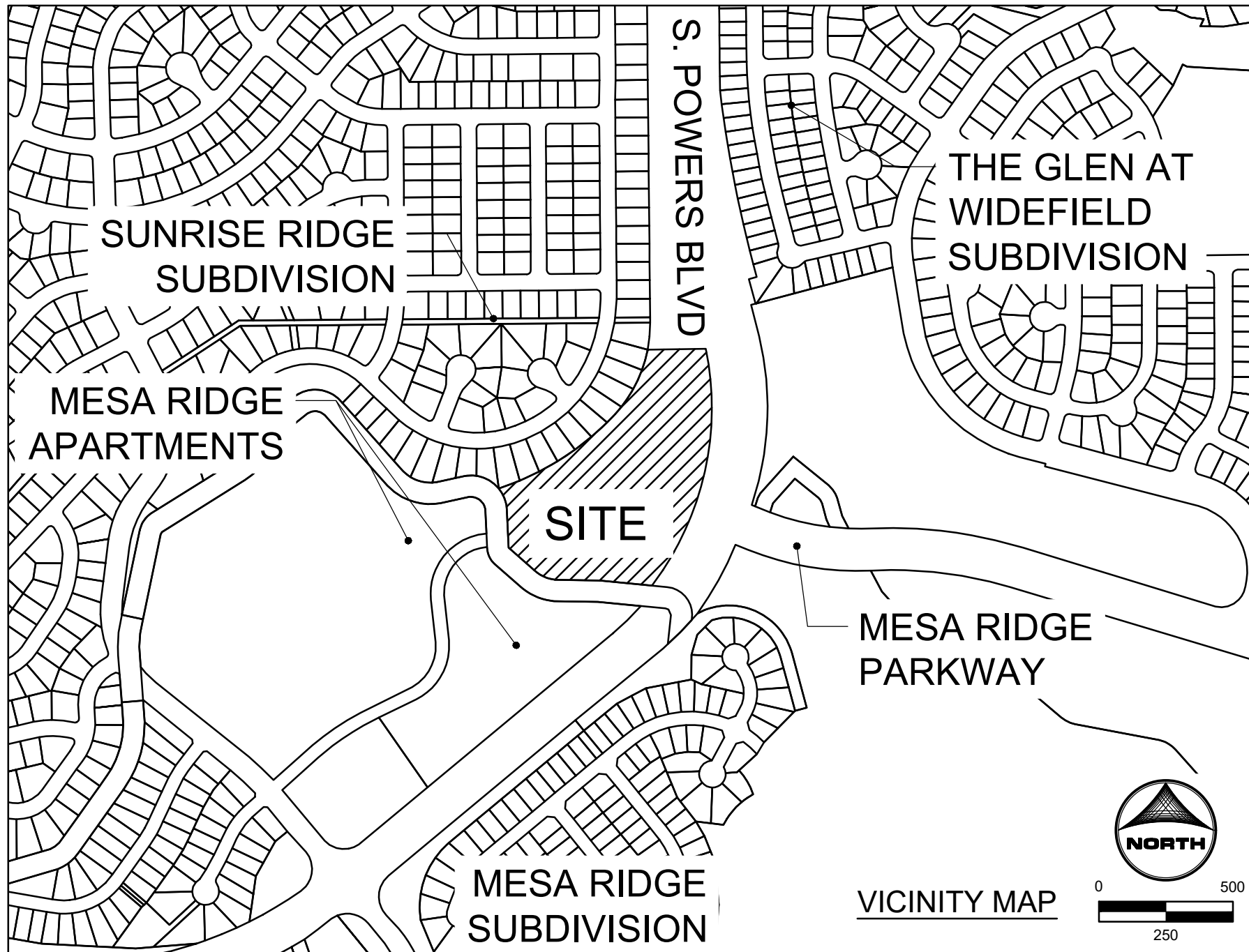
BENCHMARK: ELEVATIONS ARE BASED UPON THE FOUNTAIN SANITATION DISTRICT POINT N-1, BEING A 2" BRASS CAP IN CONCRETE AT THE NORTHEAST CORNER OF MESA RIDGE PARKWAY AND FOUNTAIN MESA ROAD. (ELEVATION=5750.57 NGVD 29).

BEGINNING AT THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 28; THENCE N 89°41'59" E ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 117.30 FEET TO A POINT ON THE WEST LINE OF POWERS BOULEVARD AS RECORDED UNDER BOOK 6788 AT PAGE 531 OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDERS OFFICE; THENCE ALONG THE WEST LINE OF SAID POWERS BOULEVARD, 933.14 FEET ALONG THE ARC OF A 1,096.98 FOOT RADIUS CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 48°44'17" AND A CHORD THAT BEARS S 12°56'23" W, 905.26 FEET TO A POINT ON THE NORTHERLY LINE OF THAT PARCEL OF LAND DESCRIBED UNDER BOOK 5506 AT PAGE 1290 OF SAID RECORDS; THENCE OF THE FOLLOWING EIGHT (8) COURSES ALONG SAID NORTHERLY LINES AND EASTERLY LINES OF SAID PARCEL OF LAND DESCRIBED UNDER BOOK 5506 AT PAGE 1290:

- 1) N 84°16'00" W, A DISTANCE OF 198.99 FEET;
 - 2) 46.11 FEET ALONG THE ARC OF A 540.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 04°53'33" AND A CHORD THAT BEARS N 86°42'46" W, 46.10 FEET;
 - 3) N 89°09'33" W, A DISTANCE OF 124.09 FEET;
 - 4) 100.02 FEET ALONG THE ARC OF A 140.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 40°56'07" AND A CHORD THAT BEARS N 68°41'30" W, 97.91 FEET;
 - 5) N 48°13'27" W, A DISTANCE OF 126.77 FEET;
 - 6) 6.49 FEET ALONG THE ARC OF AN 8.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 46°29'23" AND A CHORD THAT BEARS N 24°58'45" W, 6.31 FEET;
 - 7) N 01°44'04" W, A DISTANCE OF 137.18 FEET;
 - 8) 87.71 FEET ALONG THE ARC OF A 135.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 37°13'35" AND A CHORD THAT BEARS N 20°21'02" W, 86.18 FEET TO THE SOUTHWEST CORNER OF LOT 15, BLOCK 3, SUNRISE RIDGE SUBDIVISION FILING NO. 8 AS RECORDED UNDER RECEPTION NO. 1722613 OF SAID RECORDS;
- THENCE THE FOLLOWING TWO (2) COURSES ALONG THE EASTERLY LINE OF SAID SUNRISE RIDGE SUBDIVISION FILING NO. 8: 1) 511.39 FEET ALONG THE ARC OF A 1,034.60 FOOT RADIUS CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 28°19'14" AND A CHORD THAT BEARS N 58°13'41" E, 506.20 FEET TO A POINT OF COMPOUND CURVATURE;
- 2) 283.12 FEET ALONG THE ARC OF A 500.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 32°26'36" AND A CHORD THAT BEARS N 27°50'47" E, 279.35 FEET TO A POINT ON THE NORTH LINE OF SAID NORTHEAST QUARTER;
- THENCE N 89°57'13" E ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER, A DISTANCE OF 115.21 FEET TO THE POINT OF BEGINNING.

CONTAINING A CALCULATED AREA OF 445,104 SQUARE FEET (10.218 ACRES) OF LAND, MORE OR LESS.

TO BE PLATTED AS "THE COTTAGES AT MESA RIDGE"



SHEET INDEX:

- 1 - COVER SHEET
- 2 - STORM PLAN
- 3 - STORM SEWER - PLAN & PROFILE
- 4 - CONSTRUCTION DETAILS

LEGEND

	EXISTING	PROPOSED
MATCH LINE		
PHASE LINE		
SECTION LINE		
PROPERTY LINE		
EASEMENT LINE		
RIGHT OF WAY		
CENTERLINE		
CHAIN LINK FENCE		
WOODEN FENCE		
ROD IRON FENCE		
GUARDRAIL		
CABLE TV		
U.G. ELECTRIC		
OVERHEAD ELECTRIC		
FIBER OPTIC		
GAS MAIN		
SANITARY SEWER		
STORM DRAIN		
TELEPHONE		
WATER MAIN		
SWALE		
TRAIL		
CURB & GUTTER		
DRAINAGE BASIN		
INDEX CONTOUR		
INTER CONTOUR		
100-YR FLOODPLAIN		
FLOODWAY		
EDGE OF WETLANDS		
DRAINAGE		
DRAINAGE BASIN		
BASIN TAG		
DESIGN POINT		

	EXISTING	PROPOSED
STORM SEWER		
MANHOLE		
STORM INLET		
FLARED END SECTION		
RIPRAP		
SANITARY SEWER		
CLEAN OUT		
MANHOLE PLUG		
WATER		
FIRE HYDRANT		
FIRE DEPT. CONNECTION		
GATE VALVE		
MANHOLE METER		
TEE		
REDUCER		
DRY UTILITIES		
ELECTRIC METER		
ELECTRIC PEDESTAL		
ELECTRICAL CABINET		
ELECTRIC VAULT		
FIBER OPTIC PULL BOX		
FIBER OPTIC MANHOLE		
FIBER OPTIC PEDESTAL		
FIBER OPTIC SIGN		
FIBER OPTIC VAULT		
GAS METER		
GAS SIGN		
GAS VAULT		
TELEPHONE CABINET		
TELEPHONE MANHOLE		
TELEPHONE SIGNALMAST		
TELEPHONE SIGN		
TELEPHONE PEDESTAL		
TRANSFORMER		
LIGHT POLE		
FIBER OPTIC VAULT		
MISCELLANEOUS		
SIGN		
BOLLARD		
ACCESSIBLE PARKING		

STAKEHOLDERS:

OWNER:	CSJ NO.1 LLC 111 S. TEJON STREET, SUITE 222 COLORADO SPRINGS, CO 80903
DEVELOPER:	GOODWIN KNIGHT 8605 EXPLORER DRIVE, SUITE 250 COLORADO SPRINGS, CO 80920 DAVE MORRISON
ATTN:	
APPLICANT:	HR GREEN DEVELOPMENT, LLC 1975 RESEARCH PKWY, SUITE 230 COLORADO SPRINGS, CO 80920 PHIL STUEPFERT, KEN HUHN
ATTN:	
SURVEYOR:	BARRON LAND, LLC 2790 N ACADEMY BLVD #311 COLORADO SPRINGS, CO 80917 ATTN: SPENCER BARRON

OWNER STATEMENT:

THE UNDERSIGNED OWNER/DEVELOPER AGREES TO INSTALL THE PROPOSED FACILITIES AS DEPICTED ON THESE PLANS. ANY CHANGES REQUIRED DUE TO FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF FMIC FOR THEIR REVIEW AND COMMENT.

OWNER/DEVELOPER

TITLE:

ADDRESS:

DATE:

ENGINEER'S STATEMENT

THIS STORM SEWER PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERROR OR OMISSIONS ON MY PART IN PREPARATION OF THIS STORM SEWER PLAN.

KEN M. HUHN, P.E.
KHUHN@HRGREEN.COM
COLORADO P.E. 0054022

DATE

NOT FOR CONSTRUCTION

DRAWN BY: NQJ	JOB DATE: 4/4/2022	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: KMH	JOB NUMBER: 200541	0" 1"
CAD DATE: 4/4/2022		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2020\200541\CAD\DWG\IC\CD\FM\IC\FMIC_Cover		

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
7222 COMMERCE CENTER DR SUITE 220
COLORADO SPRINGS CO 80919
PHONE: 719.300.4140 TOLL FREE: 800.728.7805
FAX: 844.273.1057 | HRGreen.com

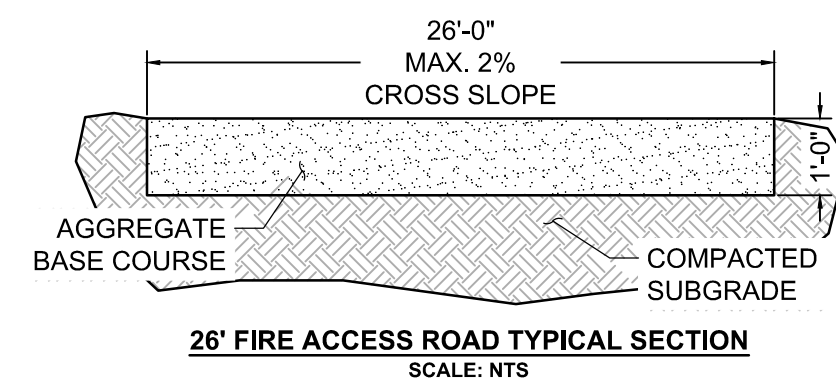
THE COTTAGES AT MESA RIDGE
GOODWIN KNIGHT
EL PASO COUNTY, COLORADO




IRRIGATION PIPE CONSTRUCTION DRAWINGS
COVER SHEET

SHEET
CV

1



BAR IS ONE INCH ON
OFFICIAL DRAWINGS.
0  1"
IF NOT ONE INCH,
ADJUST SCALE ACCORDINGLY

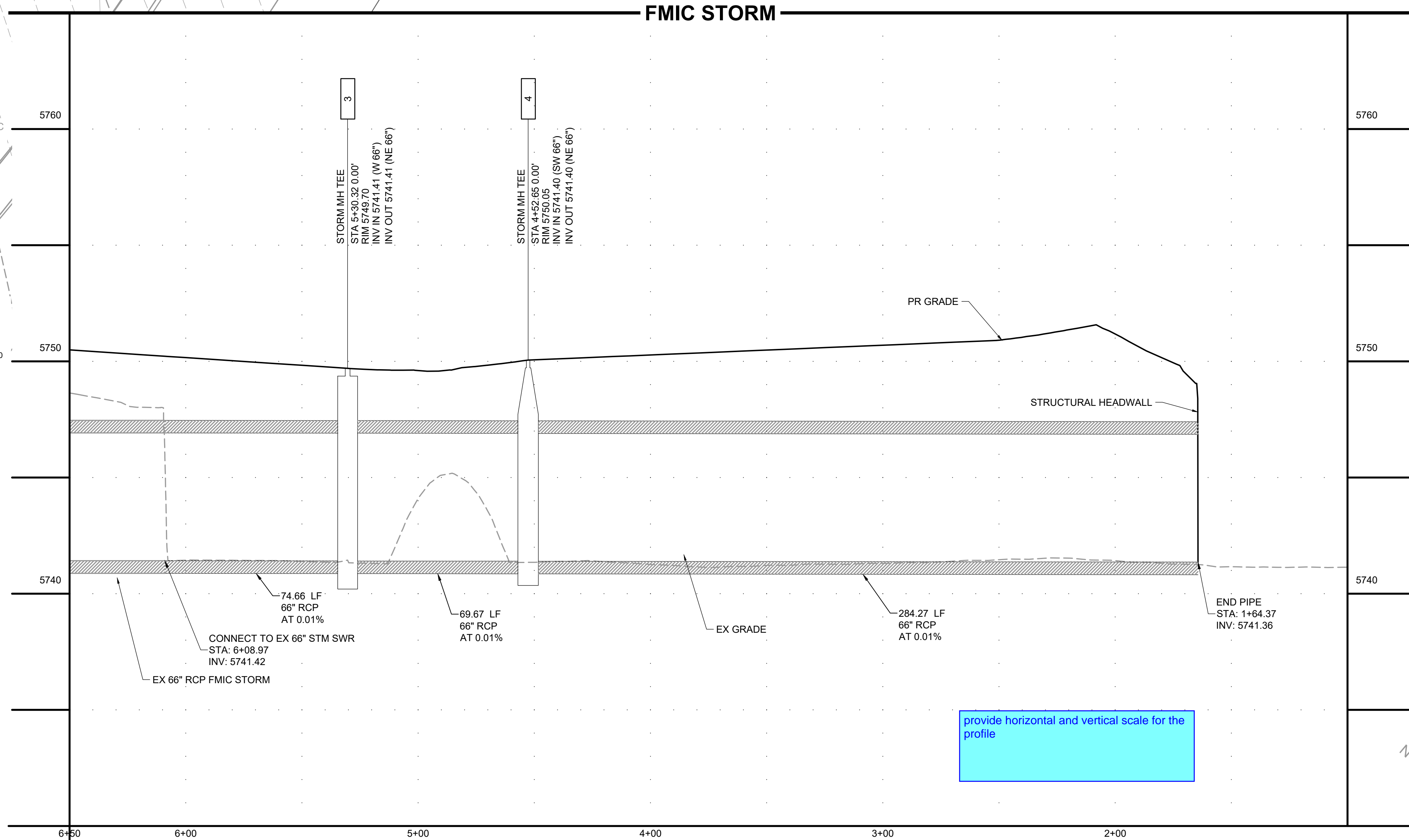
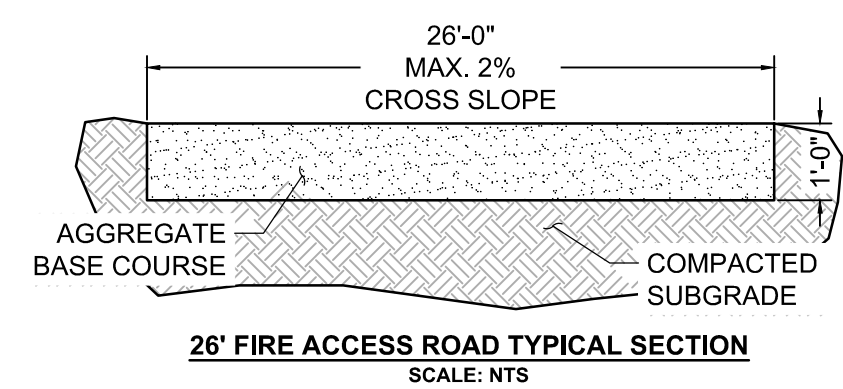
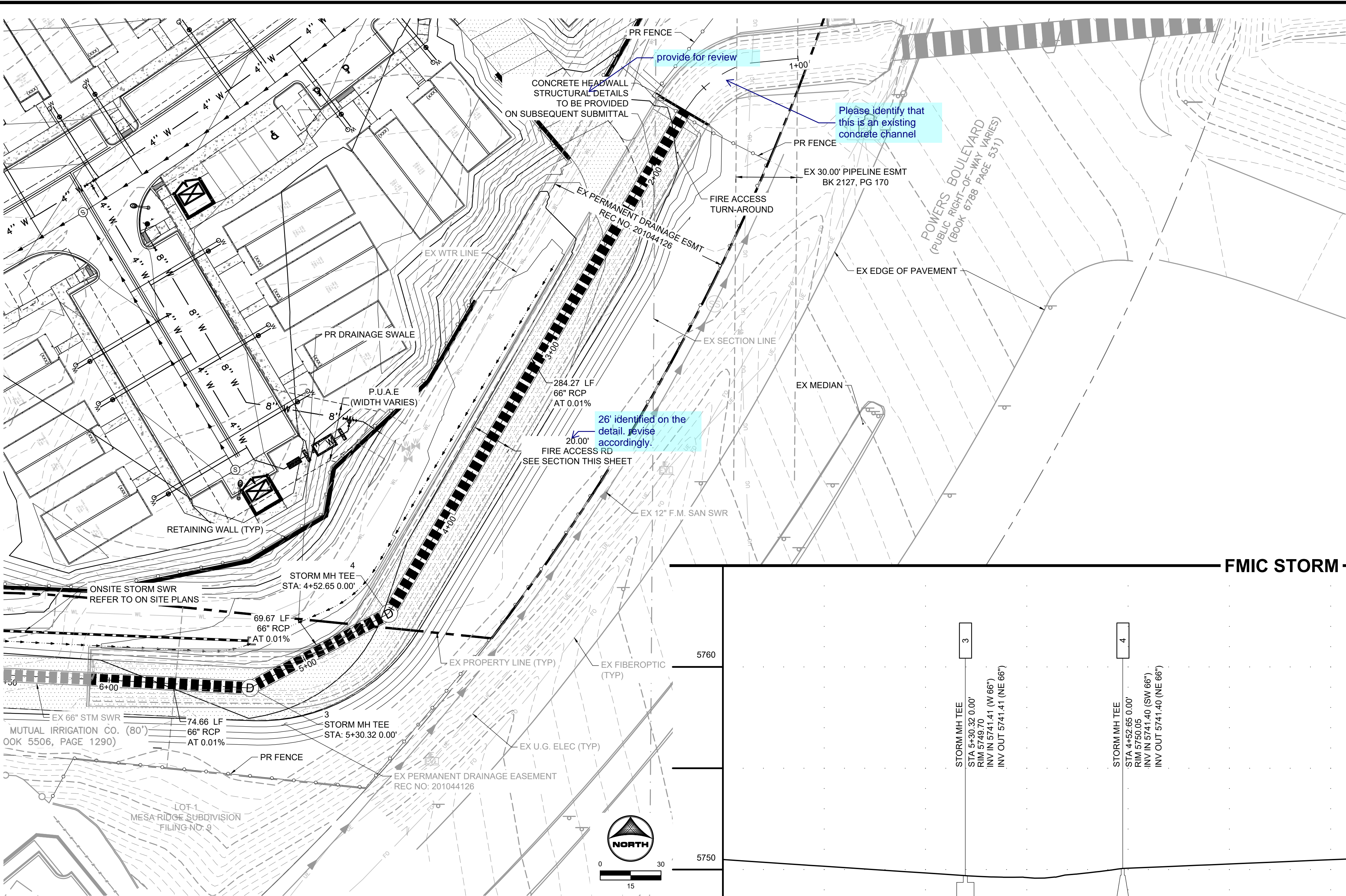


THE COTTAGES AT MESA RIDGE
GOODWIN KNIGHT
EL PASO COUNTY, COLORADO



SHEET
STM

NOT FOR CONSTRUCTION



provide horizontal and vertical scale for the profile

NOT FOR CONSTRUCTION

DRAWN BY: NQJ	JOB DATE: 4/4/2022
APPROVED: KMH	JOB NUMBER: 200541
CAD DATE: 4/4/2022	
CAD FILE: J:\2020\200541\CAD\DWG\CD\IFMIC\FMIC_Storm	

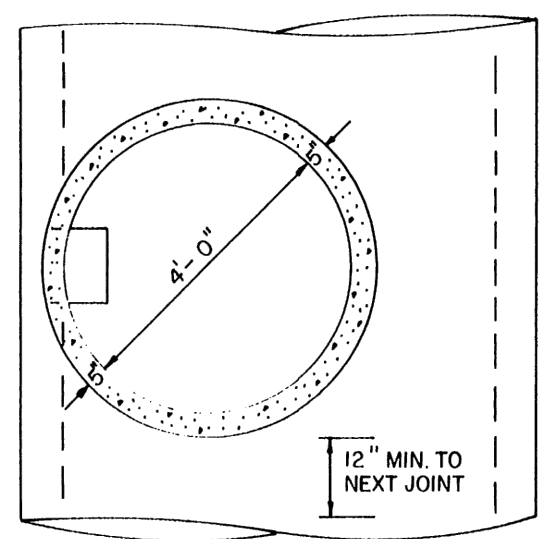
NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS
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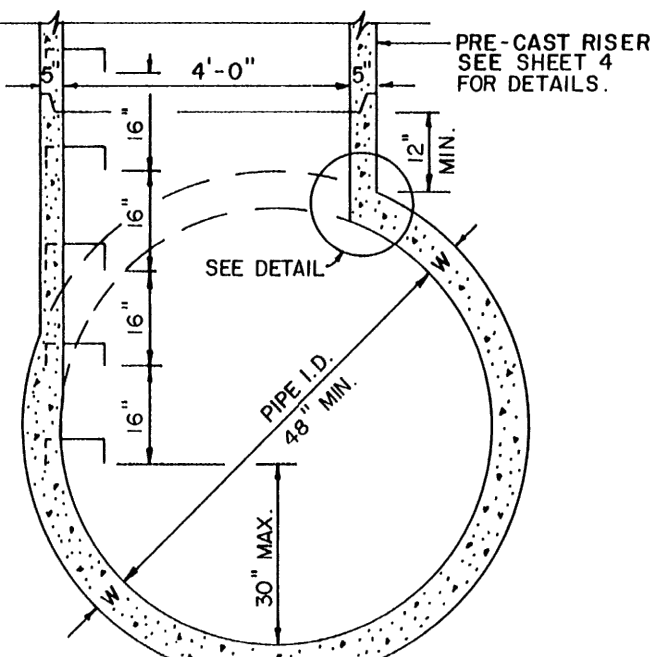
THE COTTAGES AT MESA RIDGE
GOODWIN KNIGHT
EL PASO COUNTY, COLORADO

IRRIGATION PIPE CONSTRUCTION DRAWINGS
STORM SEWER - PLAN & PROFILE

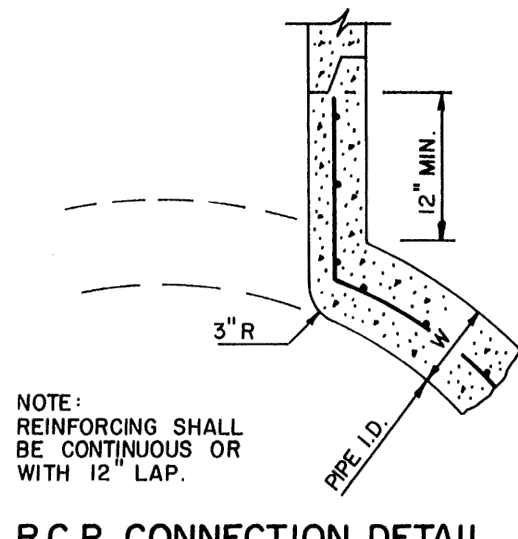
SHEET
STM
3



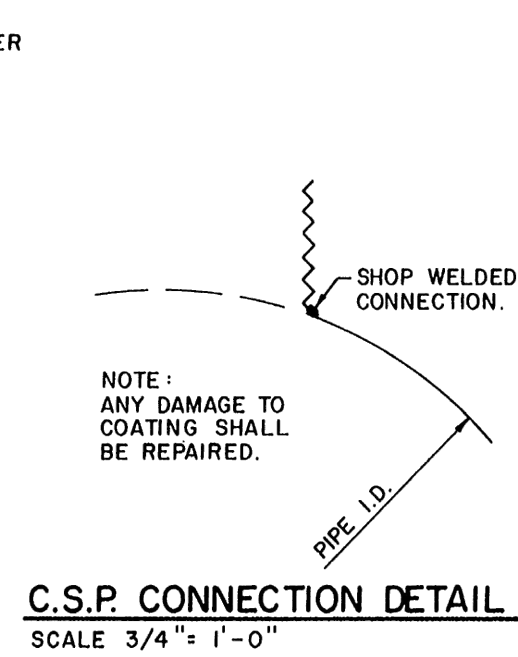
PLAN VIEW
SCALE 3/8" = 1'-0"



SECTION VIEW
SCALE 3/8" = 1'-0"



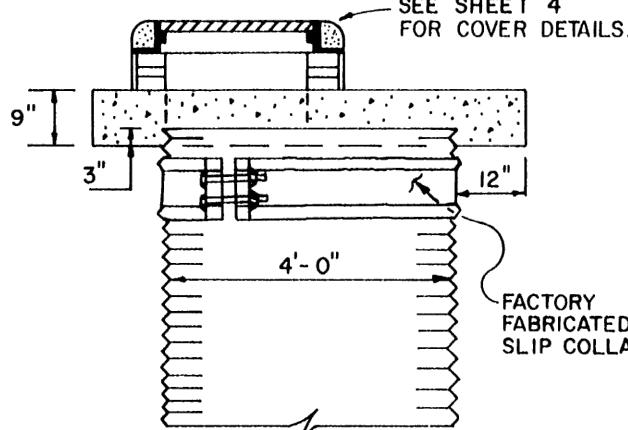
R.C.P. CONNECTION DETAIL
SCALE 3/4" = 1'-0"



C.S.P. CONNECTION DETAIL
SCALE 3/4" = 1'-0"

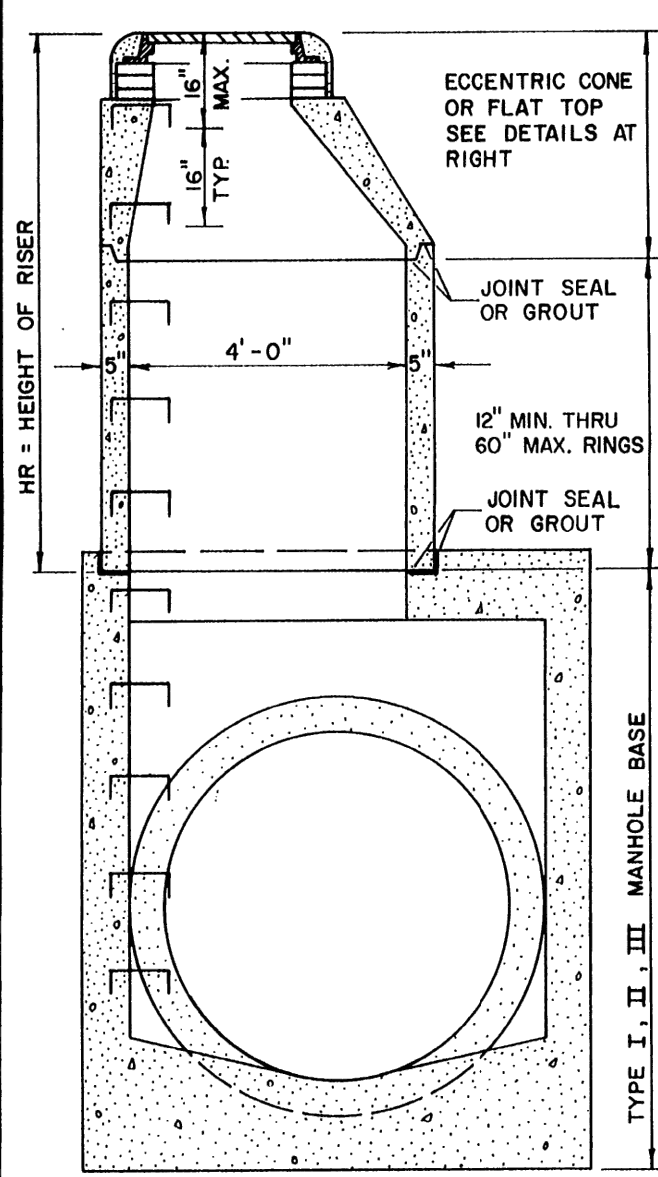
NOTES:

- Type III manholes shall be used only with approval by the City Engineer and only when all of the following conditions are met:
 - Pipe is 48" or larger inside diameter.
 - No change in pipe size.
 - No change in pipe material.
 - No change in horizontal alignment.
 - Slope is flat and continuous.
- Type III manholes shall be fabricated by the manufacturer/supplier and delivered to the site as a single unit. Field fabrication shall not be permitted.
- Either ladder or steps shall be installed. Lowest step shall be a maximum of 30" above the invert of the pipe.



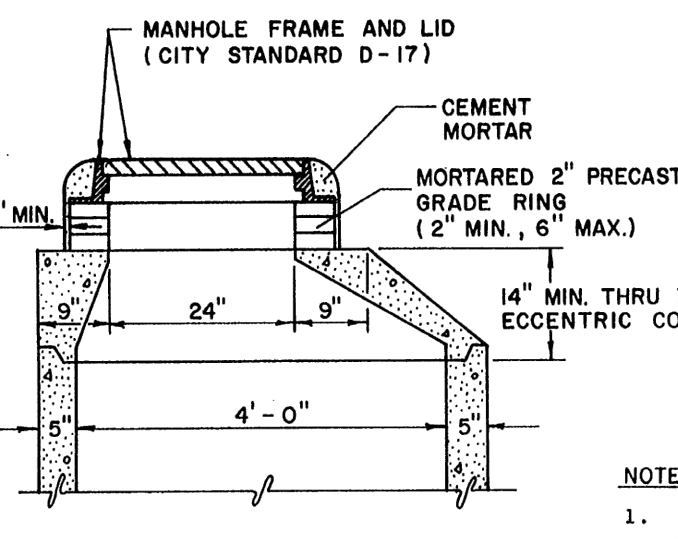
SPECIAL LID FOR USE WITH C.S.P. RISER
SCALE 3/8" = 1'-0"

CITY OF COLORADO SPRINGS
STORM SEWER MANHOLE-TYPE III
APPROVED BY: *Ray R. Haynes*
SCALE: DATE: DRAWN: SHEET D-20C
AS SHOWN JAN. 89 PL. B 3 OF 4

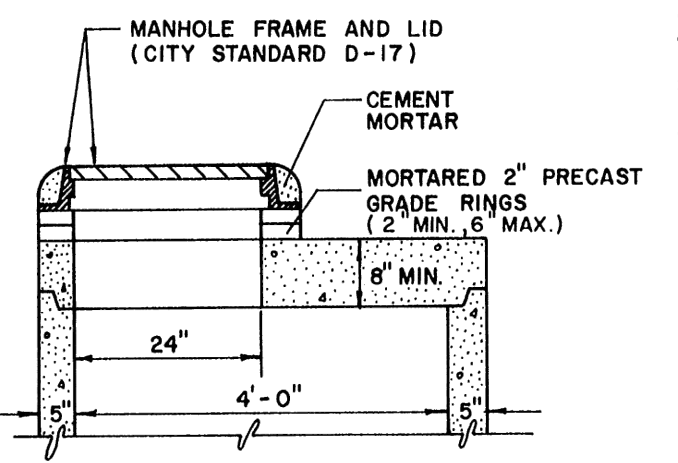


SECTION VIEW
SCALE 3/8" = 1'-0"

STORM SEWER MANHOLE PRECAST RISER



ECCENTRIC CONE TOP
(FOR HR > 3') SCALE: 1/2" = 1'-0"



ECCENTRIC FLAT TOP
(FOR HR < 3') SCALE: 1/2" = 1'-0"

NOTES:

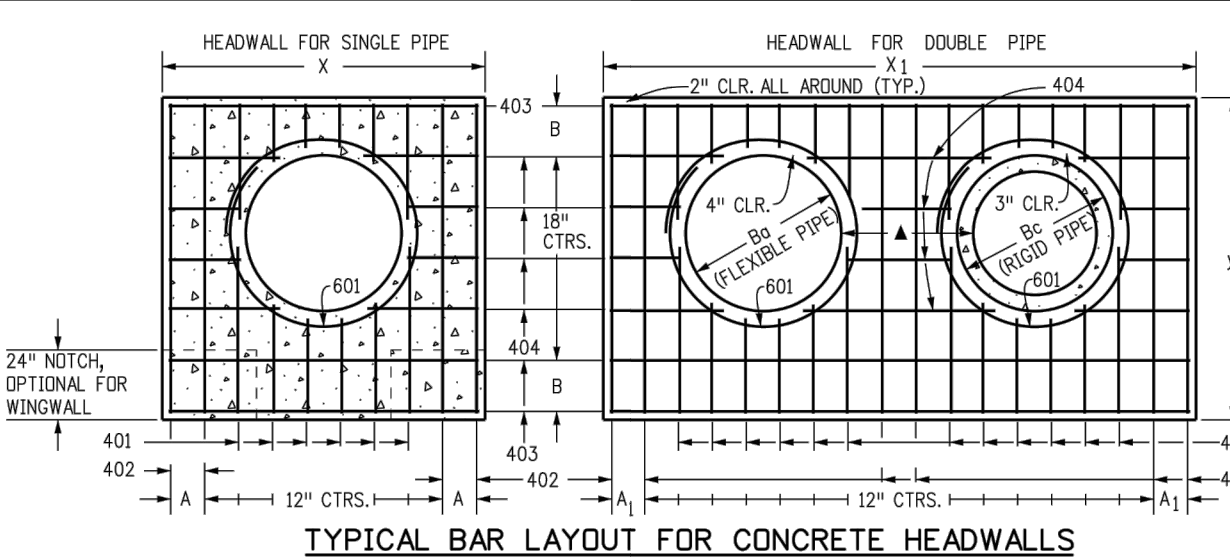
- All work shall be done in accordance with the standard and supplemental specifications applicable to the project.
- Precast risers shall conform to ASTM C-478.
- Steps shall be installed when manhole depth exceeds 30". Steps shall be cast iron or extruded aluminum, 1000 lb. capacity, 12" wide with non-skid grooves and drop front on safety noses, in accordance with approved OSHA requirements.

CITY OF COLORADO SPRINGS

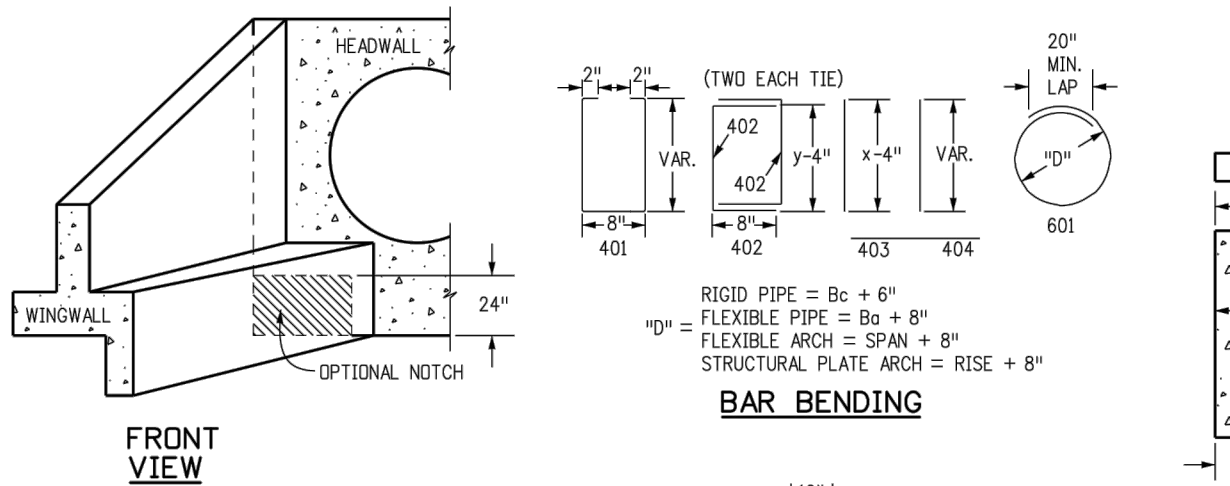
STORM SEWER COVER & RISER

APPROVED BY: *Ray R. Haynes*
CITY ENGINEER

SCALE: DATE: DRAWN: SHEET D-20D
AS SHOWN JAN. 89 PL. B 1 OF 4

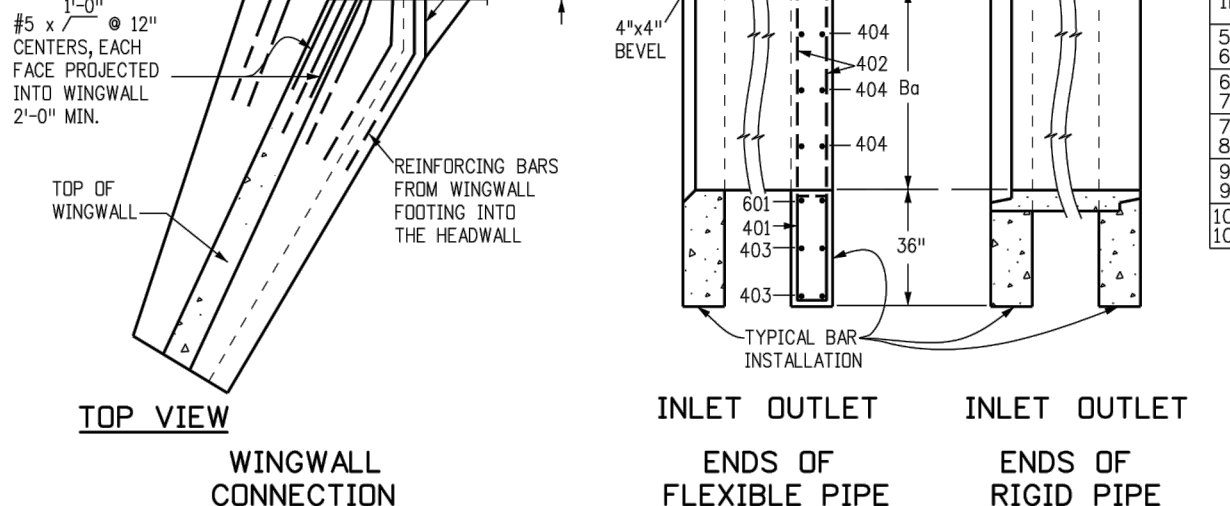


TYPICAL BAR LAYOUT FOR CONCRETE HEADWALLS

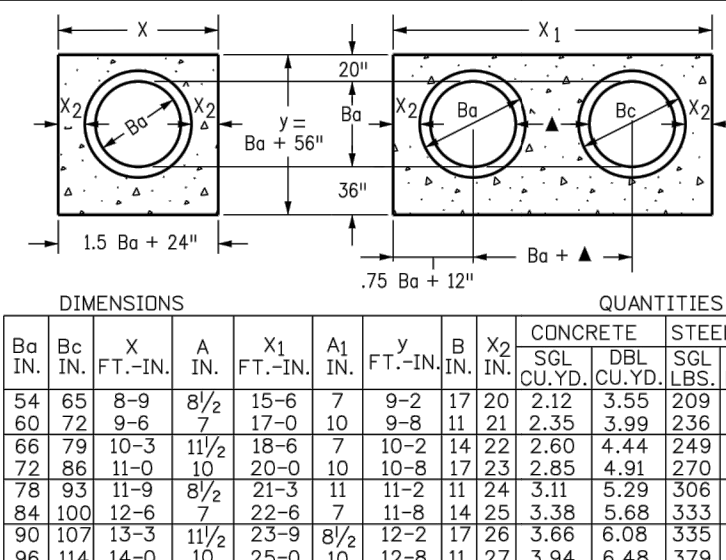


FRONT VIEW

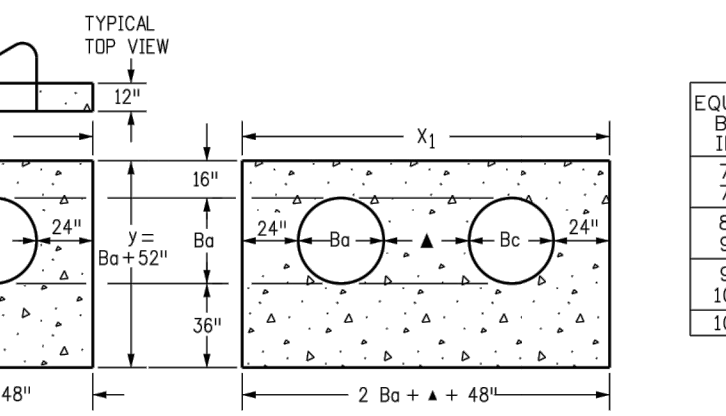
TOP VIEW



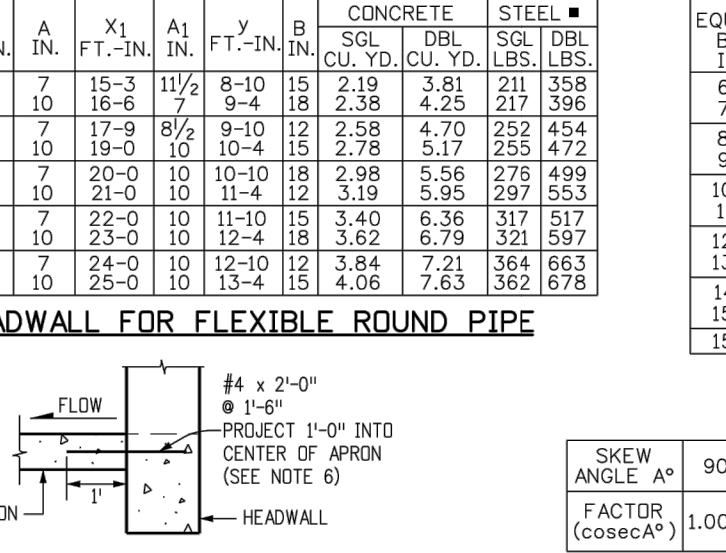
WINGWALL CONNECTION



HEADWALL FOR RIGID ROUND PIPE



HEADWALL FOR FLEXIBLE ROUND PIPE



HEADWALL FOR STRUCTURAL PLATE ARCH

GENERAL NOTES:

- CONCRETE SHALL BE CLASS B.
- HEADWALL SHALL BE PERPENDICULAR TO THE PIPE & UNLESS OTHERWISE SHOWN ON THE PLANS, TABULATED DIMENSIONS AND QUANTITIES MUST BE ADJUSTED FOR SKEWED INSTALLATIONS.
- FOR WINGWALL DETAILS, SEE STANDARD PLAN M-601-20.
- VOLUME OCCUPIED BY PIPE HAS BEEN DEDUCTED FROM STEEL AND CONCRETE QUANTITIES.
- EXPOSED CONCRETE CORNERS SHALL BE CHAMFERED 3/4" IN.
- ALL REINFORCING BARS SHALL HAVE A 2 IN. MINIMUM CLEARANCE.

▲ WHEN TWO OR MORE PIPES ARE LAID SIDE BY SIDE, THEY SHALL BE PLACED SO THAT THE ADJACENT PIPES WILL BE 1/2" INSIDE DIAMETER APART, OR 1/2" INSIDE SPAN APART, OR 3 FT. APART (INCLUDING WALL THICKNESS), WHICHEVER IS LESS.

■ ADD 0.69 x (X OR X1) (LBS.) WHEN APRON IS REQUIRED.

HEADWALL FOR FLEXIBLE PIPE ARCH									
DIMENSIONS					QUANTITIES				
EQUIV. B ₀	SPAN	RISE	X	A	CONCRETE	STEEL	SQL	DBL	SQL
IN.	IN.	IN.	FT.-IN.	FT.-IN.	CU. YD.	LBS.	CU. YD.	LBS.	CU. YD.
72	81	59	10-9	8 1/2	20-6	7	9-3	17 1/2	2.72
78	87	63	11-3	10 1/2	21-6	7	9-7	19 1/2	2.85
84	93	67	11-9	11-0	22-0	9	10-1	21-0	3.08
90	103	71	12-7	11 1/2	24-2	11	10-3	23-0	3.30
96	112	75	13-4	12-0	25-8	8	10-7	24-0	3.52
102	117	79	13-9	12-6	26-6	8	11-1	25-0	3.63
108	128	83	14-8	13-0	28-4	12	11-3	27-0	3.96

HEADWALL FOR STRUCTURAL PLATE ARCH									
DIMENSIONS					QUANTITIES				
EQUIV. B ₀	SPAN	RISE	X	A	CONCRETE	STEEL	SQL	DBL	SQL
IN.	IN.	IN.	FT.-IN.	FT.-IN.	CU. YD.	LBS.	CU. YD.	LBS.	CU. YD.
66	61	4-7	10-1	10 1/2	19-2	11	8-11	15 1/2	2.52
75	7-0	5-1	11-0	11-0	21-0	10	9-5	17 1/2	2.80
84	7-11	5-7	11-11	11 1/2	22-10	9	9-11	18 1/2	3.08
93	8-10	6-1	12-10	12-0	24-8	8	10-5	19 1/2	3.36
102	9-9	6-7	13-9	13-0	26-6	7	10-11	21-0	3.63
111	10-11	7-1	14-11	14-0	28-4	9	11-5	22-0	4.05
120	11-10	7-7	15-10	15-0	30-8	8	11-11	23-0	4.36
132	12-10	8-4	16-10	16-0	32-8	8	12-8	24-0	4.75
141	14-1	8-9	18-1	18 1/2	35-2	11	13-1	25-0	5.17
150	15-4	9-3	19-4	19 1/2	37-8	8	13-7	26-0	5.59
159	15-10	9-10	19-10	19-0	38-8	8	14-2	27-0	5.89

HEADWALL FOR FLEXIBLE ROUND PIPE									
DIMENSIONS					QUANTITIES				
EQUIV. B ₀	SPAN	RISE	X	A	CONCRETE	STEEL	SQL	DBL	SQL
IN.	IN.	IN.	FT.-IN.	FT.-IN.	CU. YD.	LBS.	CU. YD.	LBS.	CU. YD.
54	8-6	7	15-3	11 1/2	8-10	15	2-19	3-81	211
60	9-0	10	16-6	12-0	12-6	18	2-38	4-25	217
66	9-6	7	17-9	12-6	12-6	18	2-38	4-25	217
72	10-0	10	19-0	13-0	14-0	15	2-78	5-17	255
78	10-6	7	20-0	14-0	15-0	18	2-98	5-56	275
84	11-0	10	21-0	14-0	16-0	18	3-19	5-95	297
90	11-6	7	22-0	15-0	17-0	18	3-40	6-36	317
96	12-0	10	23-0	16-0	18-0	18	3-62	6-79	329
102	12-6	7	24-0	17-0	19-0	18	3-84	7-21	364
108	13-0	10	25-0	18-0	20-0	18	4-06	7-63	362

SKIEW FACTOR TABLE

SKIEW ANGLE, A°	90	85	80	75	70	65	60	55	50	45	40	35	30
FACTOR (cosec A°)	1.000	1.004	1.015	1.035	1.064	1.103	1.155	1.221	1.305	1.414	1.556	1.743	2.000

Computer File Information		Sheet Revisions		Colorado Department of Transportation	
Creation Date: 07/31/19		Date:	Comments:	2829 West Howard Place	
Designer Initials: JBK				CDOT HQ, 3rd Floor	
Last Modification Date: 07/31/19				Denver, CO 80204	
Detailer Initials: LTA				Phone: 303-757-9021 FAX: 303-757-9868	
CAD Ver.: MicroStation V8	Scale: Not to Scale	Units: English		Project Development Branch	JBK

HEADWALL FOR PIPES		STANDARD PLAN NO.	
		M-601-10	
		Standard Sheet No. 1 of 1	
		Project Sheet Number:	