

# SPACE VILLAGE FILING NO. 4

## A PORTION OF THE NW 1/4 OF SEC. 17, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO

### ROADWAY PLAN

#### CITY OF COLORADO SPRINGS STANDARD NOTES

1. NO CLEARING, GRADING, EXCAVATION, OR OTHER LAND DISTURBING ACTIVITIES SHALL BE ALLOWED (EXCEPT FOR WORK DIRECTLY RELATED TO THE INSTALLATION OF INITIAL CONTROL MEASURES) UNTIL A CITY GEC PERMIT HAS BEEN ISSUED.
2. ALL LAND DISTURBING ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH AND THE APPROVED GEC PLAN AND CSWMP.
3. INITIAL CONTROL MEASURES SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY LAND DISTURBANCE ACTIVITIES TAKING PLACE. AN INITIAL SITE INSPECTION WILL NOT BE SCHEDULED UNTIL A CITY GEC PERMIT HAS BEEN "CONDITIONALLY APPROVED." CALL CITY STORMWATER INSPECTIONS, 385-5980, AT LEAST 48 HOURS PRIOR TO CONSTRUCTION TO SCHEDULE AN INITIAL INSPECTION AND OBTAIN FULL PERMIT APPROVAL.
4. INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS) AND THE "CLEAN WATER ACT" (33 USC 1344), INCLUDING REGULATIONS PROMULGATED AND CERTIFICATIONS OR PERMITS ISSUED, IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE CITY'S MS4 PERMIT, STORMWATER CONSTRUCTION MANUAL. IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND WATER QUALITY CONTROL LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL OR STATE AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
5. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OR STATE WATERS.
6. ALL CONSTRUCTION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION MEASURES ARE IMPLEMENTED. TEMPORARY CONSTRUCTION CONTROL MEASURES MUST BE REMOVED PRIOR TO PERMIT CLOSEOUT.
7. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO ALLOW OR ALLOWED TO RUNOFF TO STATE WATERS OR ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
8. BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONSTRUCTION CONTROL MEASURES MAY BE REQUIRED BY THE GEC INSPECTOR IF DEEMED NECESSARY BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES (E.G., ESTIMATED TIME OF EXPOSURE, SEASON OF YEAR, ETC.)
9. ALL WASTE COMPOSED OF BUILDING MATERIALS MUST BE REMOVED FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
10. THE PERMITTEE SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AS A RESULT OF CONSTRUCTION ACTIVITIES.
11. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS. MATERIALS SHALL NOT BE STORED IN A LOCATION WHERE THEY MAY BE CARRIED BY STORMWATER RUNOFF INTO THE STORM SEWER SYSTEM AT ANY TIME.
12. SPILL PREVENTION AND CONTAINMENT MEASURES SHALL BE USED AT ALL STORAGE, EQUIPMENT FUELING, AND EQUIPMENT SERVICING AREAS SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING THE MS4, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITY. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE SECONDARY CONTAINMENT OR EQUIVALENT ADEQUATE PROTECTION. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY, OR CONTAINED UNTIL APPROPRIATE CLEANUP METHODS CAN BE EMPLOYED. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE FOLLOWED, ALONG WITH PROPER DISPOSAL METHODS.
13. SEDIMENT (MUD AND DIRT) TRANSPORTED ONTO TO A PUBLIC ROAD, REGARDLESS OF THE SIZE OF THE SITE, SHALL BE CLEANED AS SOON AS POSSIBLE AFTER DISCOVERY.
14. NO CHEMICALS ARE TO BE ADDED TO THE DISCHARGE UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED BY THE STATE. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
15. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN FOURTEEN (14) CALENDAR DAYS AFTER FINAL GRADING OR FINAL LAND DISTURBANCE HAS BEEN COMPLETED. DISTURBED AREAS WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN FOURTEEN (14) DAYS SHALL BE ROUGHENED, MULCHED, TACKIFIED, OR STABILIZED WITH TARPS WITHIN FOURTEEN (14) DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN SIXTY (60) DAYS SHALL ALSO BE SEEDED, UNLESS AN ALTERNATIVE STABILIZATION MEASURE IS ACCEPTED AT THE INSPECTOR'S DISCRETION. ALL TEMPORARY CONSTRUCTION CONTROL MEASURES SHALL BE MAINTAINED UNTIL FINAL STABILIZATION IS ACHIEVED.
16. THE GEC PLAN WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY THE STORMWATER ENTERPRISE SHOULD ANY OF THE FOLLOWING OCCUR: GRADING DOES NOT COMMENCE WITHIN TWELVE (12) MONTHS OF THE CITY'S ACCEPTANCE OF THE PLAN, THE CONSTRUCTION SITE IS IDLE FOR TWELVE (12) CONSECUTIVE MONTHS, A CHANGE IN PROPERTY OWNERSHIP OCCURS, THE PLANNED DEVELOPMENT CHANGES, OR ANY OTHER MAJOR MODIFICATIONS ARE PROPOSED AS DEFINED IN THE STORMWATER CONSTRUCTION MANUAL.
17. IT IS NOT PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH ON ANY UTILITY EASEMENT OR UTILITY RIGHT-OF-WAY WITHOUT WRITTEN APPROVAL FROM THE UTILITY OWNER. CITY ACCEPTANCE OF THE GEC PLAN AND CSWMP DOES NOT SATISFY THIS REQUIREMENT. THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO EXISTING UTILITY FACILITIES TO ACCOMMODATE THE PLAN MUST BE APPROVED BY THE AFFECTED UTILITY OWNER PRIOR TO IMPLEMENTING THE PLAN. THE COST TO RELOCATED OR PROTECT EXISTING UTILITIES OR TO PROVIDE INTERIM ACCESS SHALL BE AT THE APPLICANT'S EXPENSE.
18. APPLICANT REPRESENTS AND WARRANTS THAT THEY HAVE THE LEGAL AUTHORITY TO GRADE AND/OR CONSTRUCT IMPROVEMENTS ON ADJACENT PROPERTY. THE CITY HAS NOT REVIEWED THE DEVELOPER'S AUTHORITY TO MODIFY ADJACENT PROPERTY. AN APPROVED GEC PERMIT DOES NOT PROVIDE APPROVAL FOR THE APPLICANT TO PERFORM WORK ON ADJACENT PROPERTY.
19. ALL UTILITY INSTALLATIONS WITHIN THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN ARE COVERED UNDER THIS PLAN. LOCATIONS OF UTILITIES WITHIN THE LIMITS OF DISTURBANCE MAY BE MODIFIED AFTER PLAN APPROVAL AS A FIELD CHANGE. UTILITY INSTALLATIONS RELATED TO THE PRIVATE DEVELOPMENT THAT EXTEND BEYOND THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN ARE CONSIDERED TO BE A PART OF THE LARGER DEVELOPMENT, AND THEREFORE REQUIRE A PLAN MODIFICATION OR SEPARATE PLAN FOR THE ADDITIONAL DISTURBANCE AREA.

#### FINANCIAL ASSURANCE

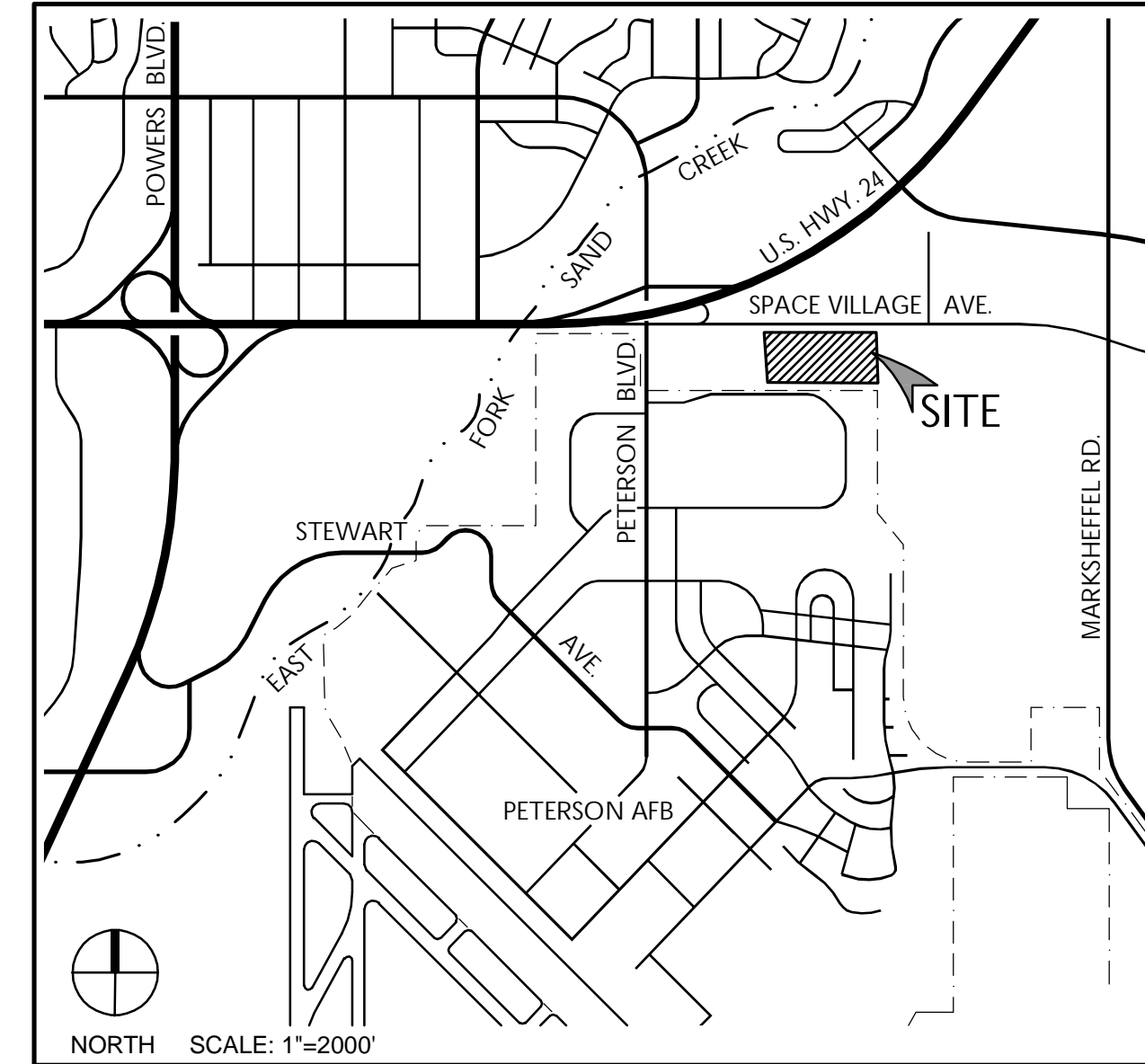
DESCRIPTION	QUANTITY	UNITS	UNIT COST	TOTAL
CURB / GUTTER, TYPE 2	1,285	LF	\$ 29	\$ 37,265
PEDESTRIAN RAMP	563	SF	\$ 38	\$ 21,394
SIDEWALK / TRAIL, 10'	860	SY	\$ 79	\$ 67,940
CONCRETE CROSSSPAN & SQUARED RETURN / COMMERCIAL DRIVEWAY APRON	155	SY	\$ 134	\$ 20,770
CURB CHASE	375	SF	\$ 318	\$ 119,250
SUB-TOTAL				\$ 266,619
INCIDENTALS (20%)				\$ 53,324
TOTAL				\$ 319,943

#### CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

#### VICINITY MAP



#### SHEET INDEX

- 1 C800 COVER SHEET
- 2 C803 ROADWAY PLAN
- 3 C805 EROSION CONTROL PLAN (SWMP - SITE MAP)
- 4 C810 DETAILS
- 5 C811 DETAILS
- 6 C815 EROSION CONTROL DETAILS (SWMP - SITE MAP)
- 7 C816 EROSION CONTROL DETAILS (SWMP - SITE MAP)

#### STATEMENT

THE CITY OF COLORADO SPRINGS RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN. THE CITY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY. RESUBMITTAL REQUIRED IF CONSTRUCTION HAS NOT COMMENCED WITHIN 180 DAYS AFTER REVIEW DATE.

#### DESIGN DATA

SIDEWALKS: WIDTH 10 FT.  
 LOCATION: ATTACHED  
 DESIGN SPEED: 45 MPH  
 CURB TYPE: TYPE 2  
 ROW WIDTH: 100 FT. / EOA-EOA ±50 FT.  
 STREET TYPE: MINOR ARTERIAL  
 PAVEMENT: HMA  
 THICKNESS: \_\_\_\_\_  
 COMPOSITE SECTION: \_\_\_\_\_  
 HMA BASE \_\_\_\_\_  
 SUBGRADE STABILIZATION: \_\_\_\_\_  
 CHEMICAL  MECHANICAL   
 TYPE: \_\_\_\_\_ THICKNESS: \_\_\_\_\_

#### FLOODPLAIN

ZONE X, "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN." AS SHOWN ON FEMA FIRM MAP NO. 08041C0754G, EFFECTIVE DATE, DECEMBER 7, 2018.

#### REVIEW

STREET DESIGN FOR CITY ENGINEERING:

UTILITY GRADE REVIEW \_\_\_\_\_ DATE \_\_\_\_\_  
 CURB & GUTTER REVIEW \_\_\_\_\_ DATE \_\_\_\_\_  
 FINAL REVIEW \_\_\_\_\_ DATE \_\_\_\_\_

#### SIGNAGE AND STRIPING REVIEW

\_\_\_\_\_ DATE \_\_\_\_\_

TRAFFIC ENGINEERING

#### ENGINEER'S STATEMENT

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. IF SUCH WORK IS PERFORMED IN ACCORDANCE WITH THE GRADING AND EROSION CONTROL PLAN, THE WORK SHOULD NOT BECOME A HAZARD TO LIFE AND LIMB, ENDANGER PROPERTY, OR ADVERSELY AFFECT THE SAFETY, USE, OR STABILITY OF A PUBLIC WAY, DRAINAGE CHANNEL, OR OTHER PROPERTY.

JAY M. NEWELL, PE  
 FOR AND ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC  
 303-794-4727

#### CONTRACTOR'S STATEMENT

I WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN INCLUDING CONSTRUCTION CONTROL MEASURE INSPECTION REQUIREMENTS AND FINAL STABILIZATION REQUIREMENTS. I ACKNOWLEDGE THE RESPONSIBILITY TO DETERMINE WHETHER THE CONSTRUCTION ACTIVITIES ON THESE PLANS REQUIRE COLORADO DISCHARGE PERMIT SYSTEM (CDPS) PERMITTING FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

NAME OF CONTRACTOR: \_\_\_\_\_

AUTHORIZED SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

TITLE: \_\_\_\_\_

PHONE NUMBER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

EMAIL ADDRESS: \_\_\_\_\_

#### OWNER'S STATEMENT

THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN INCLUDING CONSTRUCTION CONTROL MEASURE INSPECTION REQUIREMENTS AND FINAL STABILIZATION REQUIREMENTS ACCORDING TO THE CITY OF COLORADO SPRINGS STORMWATER CONSTRUCTION MANUAL. I ACKNOWLEDGE THE RESPONSIBILITY TO DETERMINE WHETHER THE CONSTRUCTION ACTIVITIES ON THESE PLANS REQUIRE COLORADO DISCHARGE PERMIT SYSTEM (CDPS) PERMITTING FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

OWNER SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

NAME OF OWNER: \_\_\_\_\_ PHONE: \_\_\_\_\_

TITLE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

#### CITY OF COLORADO SPRINGS GRADING & EROSION CONTROL REVIEW

THIS GRADING AND EROSION CONTROL PLAN IS FILED IN ACCORDANCE WITH CITY CODE. THIS PLAN IS REVIEWED IN ACCORDANCE WITH THE STORMWATER CONSTRUCTION MANUAL; LATEST REVISIONS.

\_\_\_\_\_ DATE: \_\_\_\_\_

FOR THE SWENT MANAGER

NOTES: \_\_\_\_\_

\_\_\_\_\_



STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS	
NO. 1	DATE: _____ BY: _____
DESCRIPTION: _____	
NO. 2	DATE: - - BY: - -
DESCRIPTION: - -	
NO. 3	DATE: - - BY: - -
DESCRIPTION: - -	
NO. 4	DATE: - - BY: - -
DESCRIPTION: - -	
NO. 5	DATE: - - BY: - -
DESCRIPTION: - -	
NO. 6	DATE: - - BY: - -
DESCRIPTION: - -	

DATE: 6/2023 SCALE: N/A

PROJECT MANAGER: JS PROJECT NO. \_\_\_\_\_

DRAWN BY: JN DRAWING FILE: \_\_\_\_\_

PROJECT: \_\_\_\_\_

#### SPACE VILLAGE FILING NO. 4 EL PASO COUNTY, CO

CLIENT:  
 COMMERCIAL BUILDING SERVICES  
 7561 S. GRANT STR., SUITE A-4  
 LITTLETON, COLORADO 80122

TEL: (303) 730-3001

SHEET TITLE:

**COVER SHEET**

SHEET NUMBER:

**1 C800**

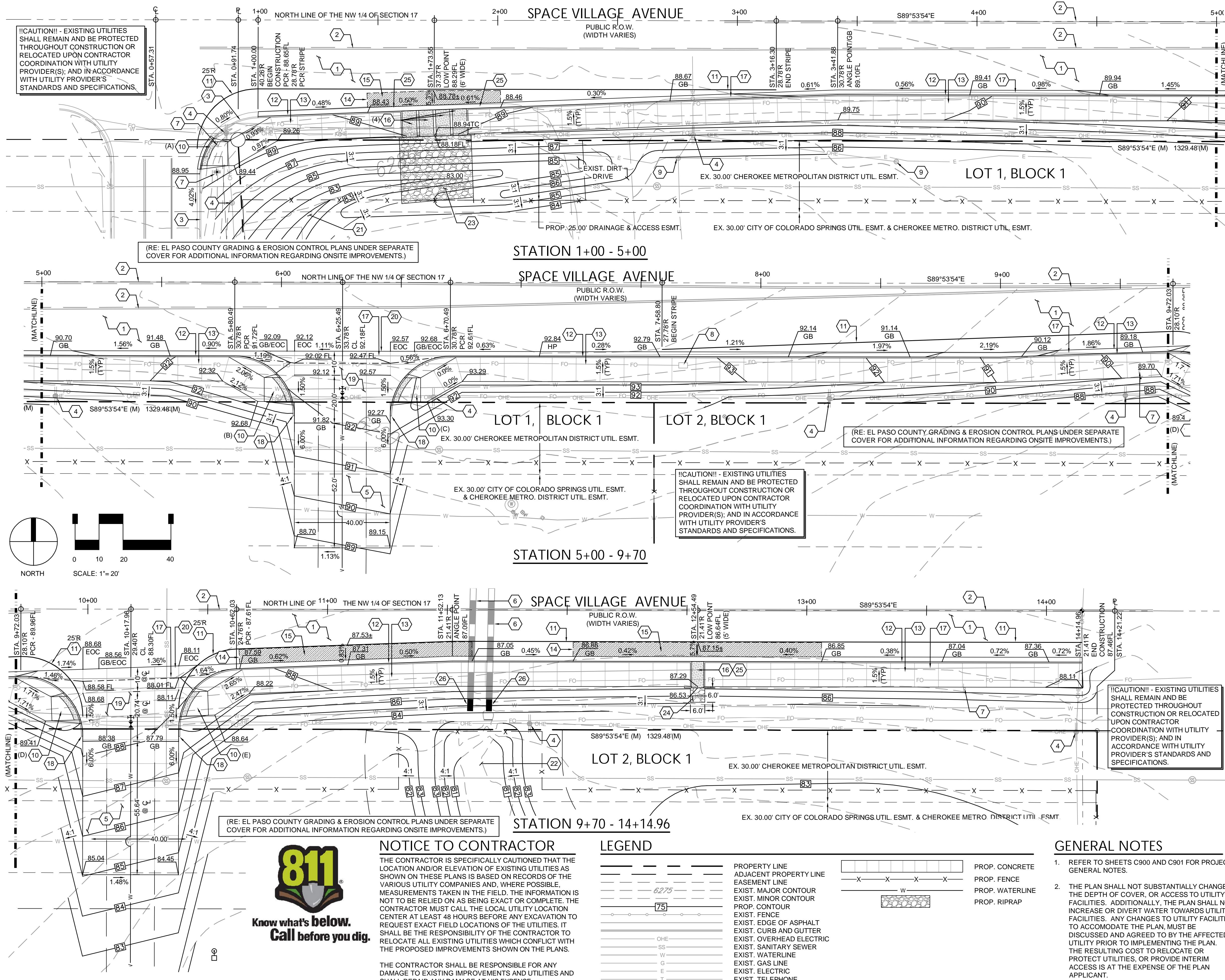




# SPACE VILLAGE FILING NO. 4

## A PORTION OF THE NW 1/4 OF SEC. 17, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO

### ROADWAY PLAN



!!CAUTION!! - EXISTING UTILITIES SHALL REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION OR RELOCATED UPON CONTRACTOR COORDINATION WITH UTILITY PROVIDER(S); AND IN ACCORDANCE WITH UTILITY PROVIDER'S STANDARDS AND SPECIFICATIONS.

(RE: EL PASO COUNTY GRADING & EROSION CONTROL PLANS UNDER SEPARATE COVER FOR ADDITIONAL INFORMATION REGARDING ONSITE IMPROVEMENTS.)

(RE: EL PASO COUNTY GRADING & EROSION CONTROL PLANS UNDER SEPARATE COVER FOR ADDITIONAL INFORMATION REGARDING ONSITE IMPROVEMENTS.)

!!CAUTION!! - EXISTING UTILITIES SHALL REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION OR RELOCATED UPON CONTRACTOR COORDINATION WITH UTILITY PROVIDER(S); AND IN ACCORDANCE WITH UTILITY PROVIDER'S STANDARDS AND SPECIFICATIONS.

!!CAUTION!! - EXISTING UTILITIES SHALL REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION OR RELOCATED UPON CONTRACTOR COORDINATION WITH UTILITY PROVIDER(S); AND IN ACCORDANCE WITH UTILITY PROVIDER'S STANDARDS AND SPECIFICATIONS.

(RE: EL PASO COUNTY GRADING & EROSION CONTROL PLANS UNDER SEPARATE COVER FOR ADDITIONAL INFORMATION REGARDING ONSITE IMPROVEMENTS.)



**NOTICE TO CONTRACTOR**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	EASEMENT LINE
	EXIST. MAJOR CONTOUR
	EXIST. MINOR CONTOUR
	PROP. CONTOUR
	EXIST. FENCE
	EXIST. EDGE OF ASPHALT
	EXIST. CURB AND GUTTER
	EXIST. OVERHEAD ELECTRIC
	EXIST. SANITARY SEWER
	EXIST. WATERLINE
	EXIST. GAS LINE
	EXIST. ELECTRIC
	EXIST. TELEPHONE
	EXIST. FIBER OPTIC
	PROP. CONCRETE
	PROP. FENCE
	PROP. WATERLINE
	PROP. RIPRAP

**GENERAL NOTES**

- REFER TO SHEETS C900 AND C901 FOR PROJECT GENERAL NOTES.
- THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS TO UTILITY FACILITIES. ADDITIONALLY, THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO UTILITY FACILITIES TO ACCOMMODATE THE PLAN, MUST BE DISCUSSED AND AGREED TO BY THE AFFECTED UTILITY PRIOR TO IMPLEMENTING THE PLAN. THE RESULTING COST TO RELOCATE OR PROTECT UTILITIES, OR PROVIDE INTERIM ACCESS IS AT THE EXPENSE OF THE PLAN APPLICANT.

**BENCHMARK**

AS PROVIDED ON ALTA/NRPS LAND TITLE SURVEY PREPARED BY ALTURA LAND CONSULTANTS, DATED APRIL 28, 2022 FOR THIS PROJECT.

\*NGS BENCHMARK "R 76" - LOCATED 0.2 MILE EAST ALONG HIGHWAY 94, FROM PETERSON ROAD, 22 FEET SOUTH-SOUTHEAST OF THE SOUTHEAST CORNER OF AN ADDITION TO THE BUILDING (SANDY'S RESTAURANT), 48 FEET NORTH OF THE CENTERLINE OF THE HIGHWAY, 3.5 FEET SOUTH OF A POWER POLE AND 3 FEET SOUTH OF A FIBERGLASS WITNESS POST. ELEVATION = 6289.86 FEET (NAVD 1988)

**CONSTRUCTION NOTES**

- EXISTING ASPHALT TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- EXISTING STRIPING TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- EXISTING CURB & GUTTER TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- EXISTING UTILITY POLE & OVERHEAD UTILITY TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- CONSTRUCT HEAVY DUTY CONCRETE PAVEMENT WITH #4 REINFORCING AT 18" O.C.E.W. RE: GRADING & EROSION CONTROL PLANS UNDER SEPARATE COVER FOR ADDITIONAL INFORMATION.
- EXISTING CULVERT TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- EXISTING SIGN TO BE RELOCATED OR REPLACED IN KIND TO MATCH EXISTING INSTALLATION AS SHOWN.
- EXISTING UTILITY VAULT & LID TO BE ADJUSTED AS NECESSARY TO MATCH PROPOSED IMPROVEMENTS.
- REMOVE, RELOCATE, OR PROTECT EXISTING UTILITY AND/OR UTILITY APPURTENANCE TO REMAIN. CONTRACTOR SHALL COORDINATE SAID WORK WITH OWNER/DEVELOPER AND UTILITY PROVIDER PRIOR TO COMMENCEMENT OF WORK.
- CONSTRUCT PUBLIC CURB RAMP. TYPE AS SHOWN. RE: SHEET C810, DETAIL B, AND CITY OF COLORADO SPRINGS DETAILS D8-A, D8-B, AND D8-L.
- PAINT 4-INCH WIDE WHITE STRIPE AS SHOWN IN ACCORDANCE WITH CITY OF COLORADO SPRINGS, CDOT AND MUTCD STANDARDS AND SPECIFICATIONS.
- CONSTRUCT TYPE 2, 6-INCH CONCRETE VERTICAL CURB & GUTTER. RE: SHEET C811, CITY OF COLORADO SPRINGS DETAIL 6B.
- CONSTRUCT 10-FOOT WIDE, 4-INCH THICK CONCRETE SIDEWALK IN ACCORDANCE WITH CITY OF COLORADO SPRINGS STANDARDS AND REGULATIONS INCLUDING, BUT NOT LIMITED TO MATERIALS, SUB-GRADE, COMPACTION, AND JOINTING.
- SAWCUT AND REMOVE EXISTING PAVEMENT AS SHOWN.
- CONSTRUCT ASPHALT PAVEMENT IN SHOULDER AS SHOWN IN ACCORDANCE WITH THE CITY OF COLORADO SPRINGS PAVEMENT DESIGN CRITERIA MANUAL, CITY OF COLORADO SPRINGS STANDARD SPECIFICATIONS, AND PIKES PEAK REGION ASPHALT PAVING SPECIFICATIONS WHICH STATES THAT THE CONTRACTOR SHALL SUBMIT A MIX DESIGN TO THE CITY A MINIMUM OF 7 DAYS PRIOR TO THE BEGINNING OF PAVING OPERATIONS. THE SUBMITTAL SHALL INCLUDE, BUT NOT BE LIMITED TO THE PAVEMENT SECTION, MATERIALS, SUB-GRADE, AND COMPACTION.
- CONSTRUCT CURB OPENING WITH DRAINAGE CHASE TO WIDTH SHOWN. RE: SHEET C811, CITY OF COLORADO SPRINGS DETAILS D-21A AND D-21B.
- SAWCUT AND REMOVE EXISTING EDGE OF ASPHALT (TYP.)
- TAPER END OF VERTICAL CURB TO FLUSH WITH ADJACENT PAVEMENT OVER 3' HORIZONTAL.
- CONSTRUCT HEAVY DUTY CONCRETE PAVEMENT WITH #4 REINFORCING AT 18" O.C.E.W., SEE PAVING NOTE (THIS SHEET).
- CONSTRUCT CONCRETE CROSS PAN. RE: SHEET C811, CITY OF COLORADO SPRINGS DETAILS D7A AND D7B.
- CONSTRUCT DRAINAGE SWALE. RE: GRADING & EROSION CONTROL PLANS UNDER SEPARATE COVER.
- CONSTRUCT DRAINAGE CHANNEL. RE: GRADING & EROSION CONTROL PLANS UNDER SEPARATE COVER.
- CONSTRUCT RIPRAP APRON. RE: GRADING & EROSION CONTROL PLANS UNDER SEPARATE COVER.
- CONSTRUCT 6.0' X 6.0' TYPE L RIPRAP APRON. RE: SHEET C810, DETAIL A.
- DEPRESS GUTTER 2" TO ACCOMPLISH 8" VERTICAL CURB AT CURB OPENING. TRANSITION OVER 2' HORIZONTAL PAST OUTSIDE EDGE OF CURB OPENING, EITHER SIDE OF TOTAL OPENING(S).
- EXTEND CULVERT, INSTALL END SECTION, AND CONSTRUCT TOE WALL. RE: GRADING & EROSION CONTROL PLANS UNDER SEPARATE COVER.

**PAVING NOTE**

ALL PAVING, INCLUDING CURB, GUTTER, AND SIDEWALK, TO BE INSTALLED OUTSIDE OF THE RIGHT OF WAY SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION PAVEMENT RECOMMENDATIONS INCLUDING, BUT NOT LIMITED TO, THE PAVEMENT SECTION, MATERIAL, AND SUBGRADE PREPARATION. THE CONTRACTOR SHALL COORDINATE APPROVAL FOR INSTALLATION OF ANY ALTERNATE RECOMMENDATIONS INCLUDED IN THE INVESTIGATION OR DESIRED MODIFICATIONS TO THE RECOMMENDATIONS WITH THE OWNER/DEVELOPER AND/OR THEIR CONSTRUCTION MANAGER PRIOR TO BID AND PRIOR TO CONSTRUCTION. FOR GEOTECHNICAL INVESTIGATIONS WHICH DO NOT SPECIFICALLY ADDRESS CURB, GUTTER, SIDEWALK AND SIMILAR IMPROVEMENTS NOT SUBJECT TO VEHICULAR LOADS, CONCRETE SHALL BE CDOT CLASS B, IN ACCORDANCE WITH CDOT STANDARDS AND SPECIFICATIONS.



PREPARED UNDER THE DIRECT SUPERVISION OF JAY M. NEWELL, PE  
COLORADO REGISTRATION 35219  
FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS	NO. 1 DATE:	BY:
	NO. 2 DATE:	BY:
	NO. 3 DATE:	BY:
	NO. 4 DATE:	BY:
	NO. 5 DATE:	BY:
	NO. 6 DATE:	BY:
	NO. 7 DATE:	BY:

DATE: 6/2023 SCALE: 1" = 20'-0"

PROJECT MANAGER: JS PROJECT NO.:

DRAWN BY: JN DRAWING FILE:

PROJECT:

**SPACE VILLAGE FILING NO. 4  
EL PASO COUNTY, CO**

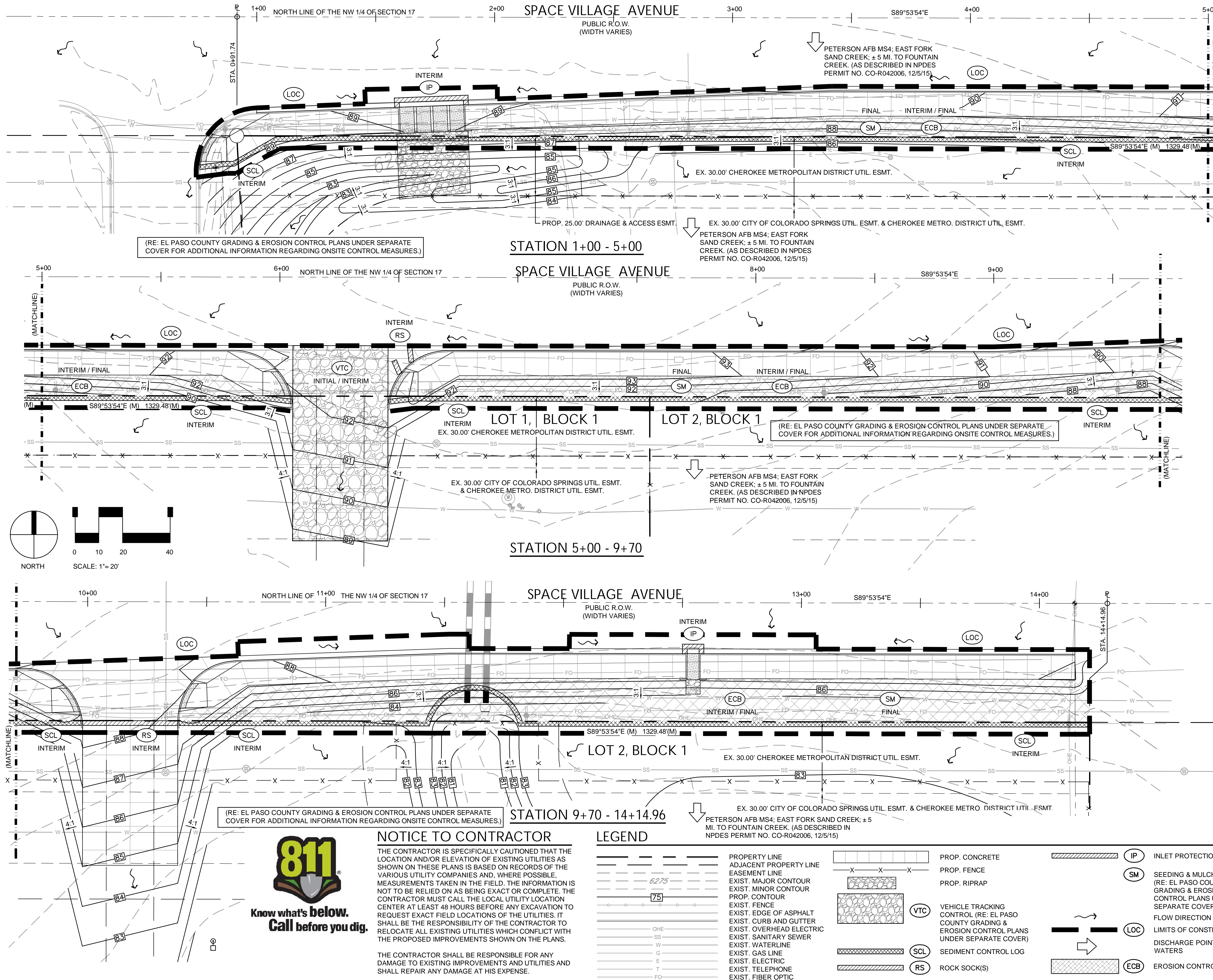
CLIENT:  
COMMERCIAL BUILDING SERVICES  
7561 S. GRANT STR., SUITE A-4  
LITTLETON, COLORADO 80122  
TEL: (303) 730-3001

**ROADWAY PLAN**

SHEET NUMBER:  
**2 C803**



**SPACE VILLAGE FILING NO. 4**  
 A PORTION OF THE NW 1/4 OF SEC. 17, T14S,  
 R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO  
 ROADWAY PLAN



(RE: EL PASO COUNTY GRADING & EROSION CONTROL PLANS UNDER SEPARATE COVER FOR ADDITIONAL INFORMATION REGARDING ONSITE CONTROL MEASURES.)

(RE: EL PASO COUNTY GRADING & EROSION CONTROL PLANS UNDER SEPARATE COVER FOR ADDITIONAL INFORMATION REGARDING ONSITE CONTROL MEASURES.)

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 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

**LEGEND**

---	PROPERTY LINE	---	PROP. CONCRETE	IP	INLET PROTECTION
- - -	ADJACENT PROPERTY LINE	- - -	PROP. FENCE	SM	SEEDING & MULCHING (RE: EL PASO COUNTY GRADING & EROSION CONTROL PLANS UNDER SEPARATE COVER)
---	EASEMENT LINE	- - -	PROP. RIPRAP	LOC	FLOW DIRECTION
- - -	EXIST. MAJOR CONTOUR	---		LOC	LIMITS OF CONSTRUCTION
- - -	EXIST. MINOR CONTOUR	---		LOC	DISCHARGE POINT / RECEIVING WATERS
- - -	PROP. CONTOUR	---		ECB	EROSION CONTROL BLANKET
- - -	EXIST. FENCE	---			
- - -	EXIST. EDGE OF ASPHALT	---			
- - -	EXIST. CURB AND GUTTER	---			
- - -	EXIST. OVERHEAD ELECTRIC	---			
- - -	EXIST. SANITARY SEWER	---			
- - -	EXIST. WATERLINE	---			
- - -	EXIST. GAS LINE	---			
- - -	EXIST. ELECTRIC	---			
- - -	EXIST. TELEPHONE	---			
- - -	EXIST. FIBER OPTIC	---			

**STERLING DESIGN ASSOCIATES**  
 Civil Engineers | Landscape Architects  
 2099 W. Littleton Blvd. #300 Littleton, CO 80120  
 303.794.4727 | www.SterlingDesignAssociates.com

PREPARED UNDER THE DIRECT SUPERVISION OF  
 JAY M. NEWELL, PE  
 COLORADO REGISTRATION 35219  
 FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC

**BENCHMARK**

AS PROVIDED ON ALTA/NPS LAND TITLE SURVEY PREPARED BY ALTURA LAND CONSULTANTS, DATED APRIL 28, 2022 FOR THIS PROJECT:  
 \*NGS BENCHMARK "R 76" - LOCATED 0.2 MILE EAST ALONG HIGHWAY 94, FROM PETERSON ROAD, 22 FEET SOUTH-SOUTHWEST OF THE SOUTHWEST CORNER OF AN ADDITION TO THE BUILDING (SANDY'S RESTAURANT), 48 FEET NORTH OF THE CENTERLINE OF THE HIGHWAY, 3.5 FEET SOUTH OF A POWER POLE AND 3 FEET SOUTH OF A FIBERGLASS WITNESS POST. ELEVATION = 6289.86 FEET (NAVD 1988)\*

**GENERAL NOTES**

- REFER TO SHEET C800 AND EL PASO COUNTY GRADING & EROSION CONTROL PLAN UNDER SEPARATE COVER FOR ADDITIONAL PROJECT GENERAL NOTES.
- THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS TO UTILITY FACILITIES. ADDITIONALLY, THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO UTILITY FACILITIES TO ACCOMMODATE THE PLAN, MUST BE DISCUSSED AND AGREED TO BY THE AFFECTED UTILITY PRIOR TO IMPLEMENTING THE PLAN. THE RESULTING COST TO RELOCATE OR PROTECT UTILITIES, OR PROVIDE INTERIM ACCESS IS AT THE EXPENSE OF THE PLAN APPLICANT.
- REFER TO EL PASO COUNTY GRADING & EROSION CONTROL PLANS FOR LOCATION(S) OF SOIL STOCKPILE(S), CONCRETE WASHOUT AREA(S), STAGING AREA(S), ADDITIONAL CONTROL MEASURES SUCH AS STREET SWEEPING, SEEDING & MULCHING AND VEHICLE TRACKING CONTROL; AND ADDITIONAL ON SITE CONTROL MEASURES.
- AREA OF LAND DISTURBANCE: ±0.75 AC (WIN R.O.W.) REFER TO EL PASO COUNTY GRADING & EROSION CONTROL PLANS FOR ON SITE AREA OF LAND DISTURBANCE.
- ANTICIPATED START: SUMMER 2023  
 ANTICIPATED COMPLETION: SPRING 2024  
 ANTICIPATED FINAL STABILIZATION: SPRING 2024

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS	
NO. 1 DATE:	BY:
DESCRIPTION:	
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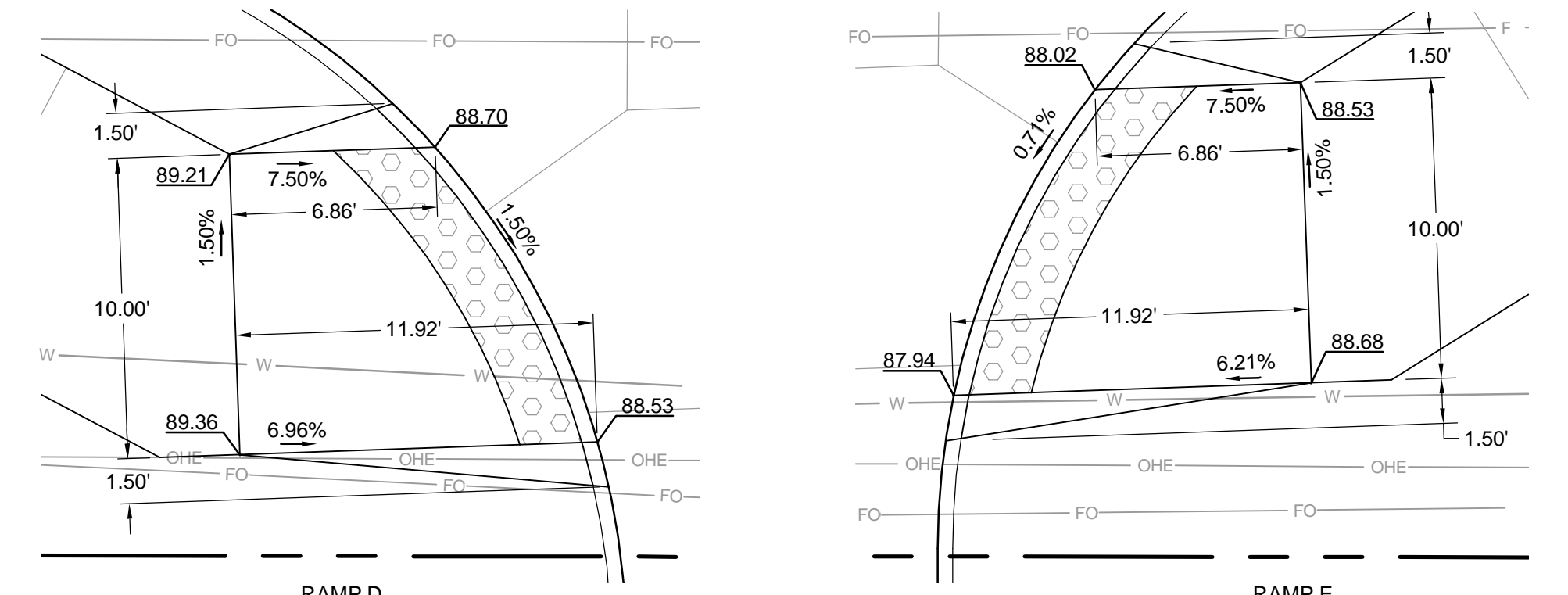
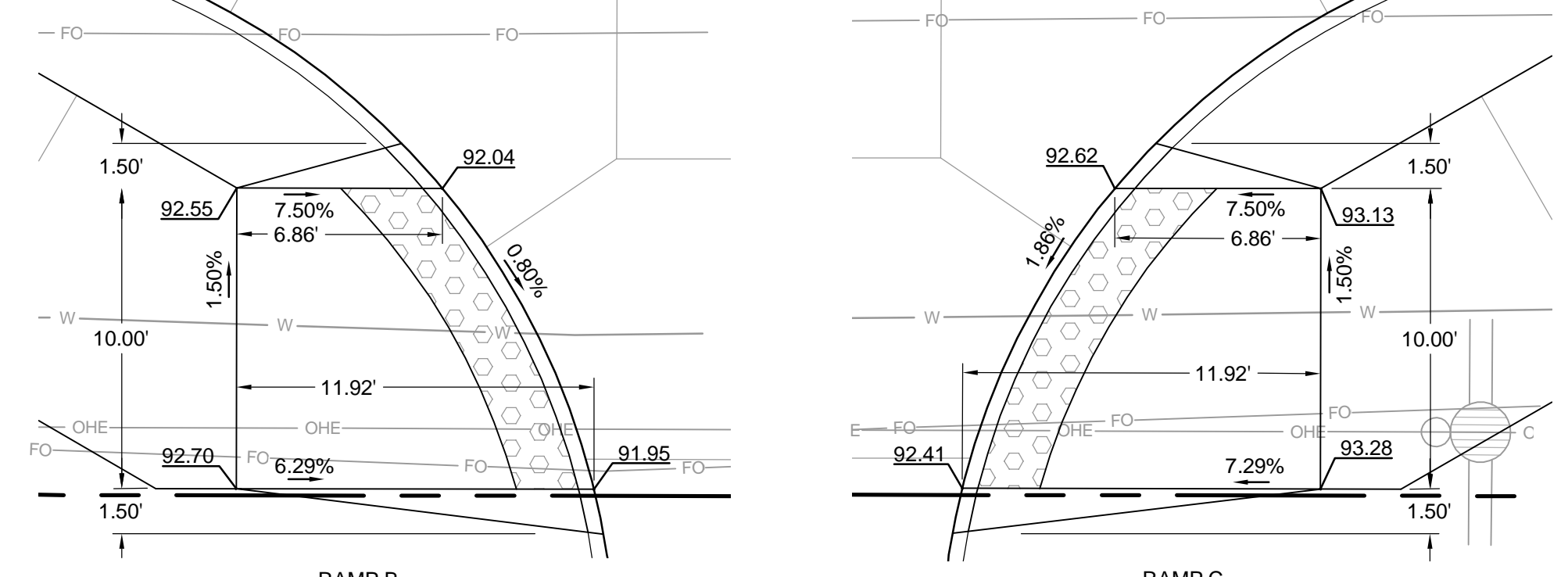
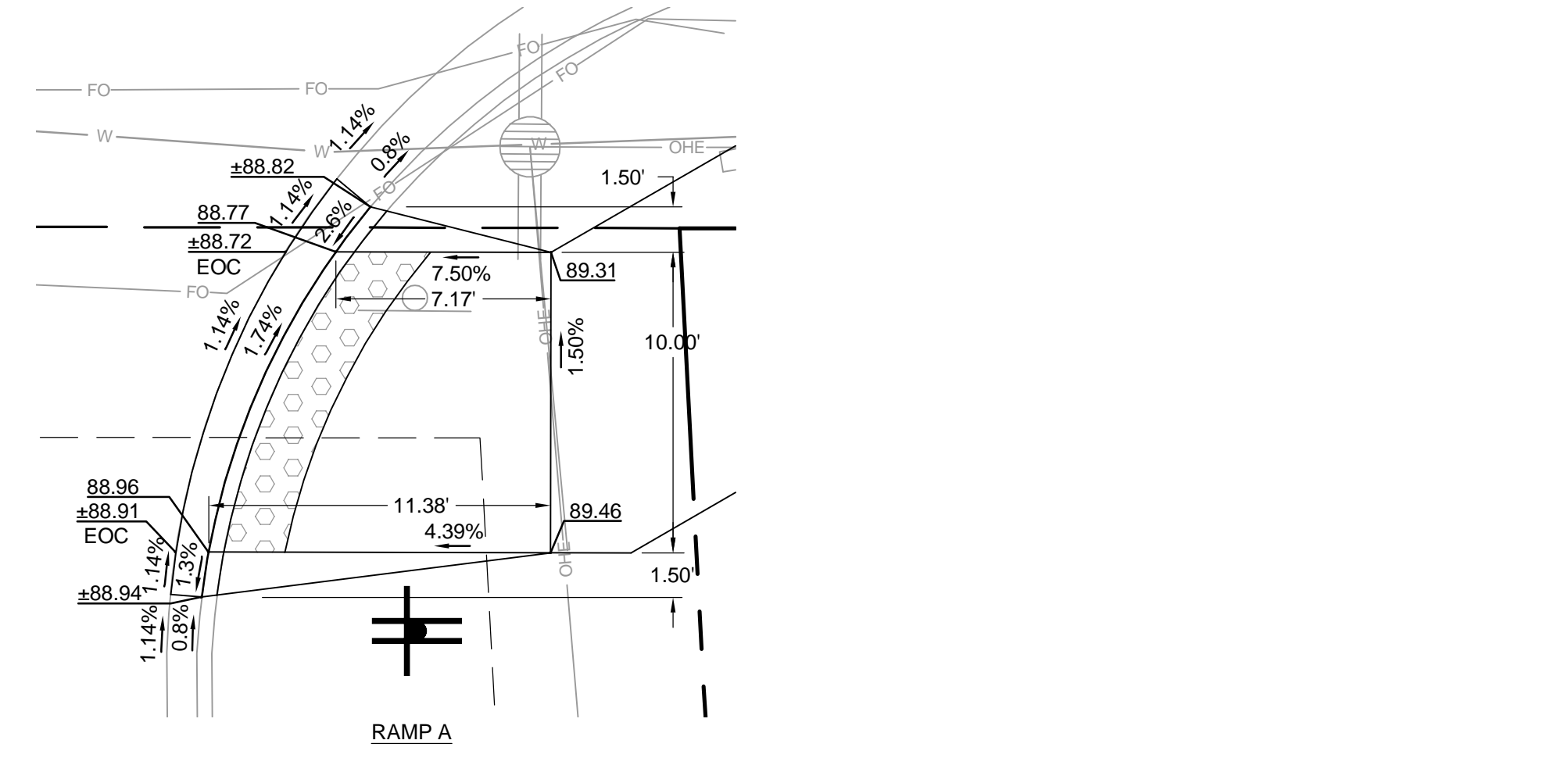
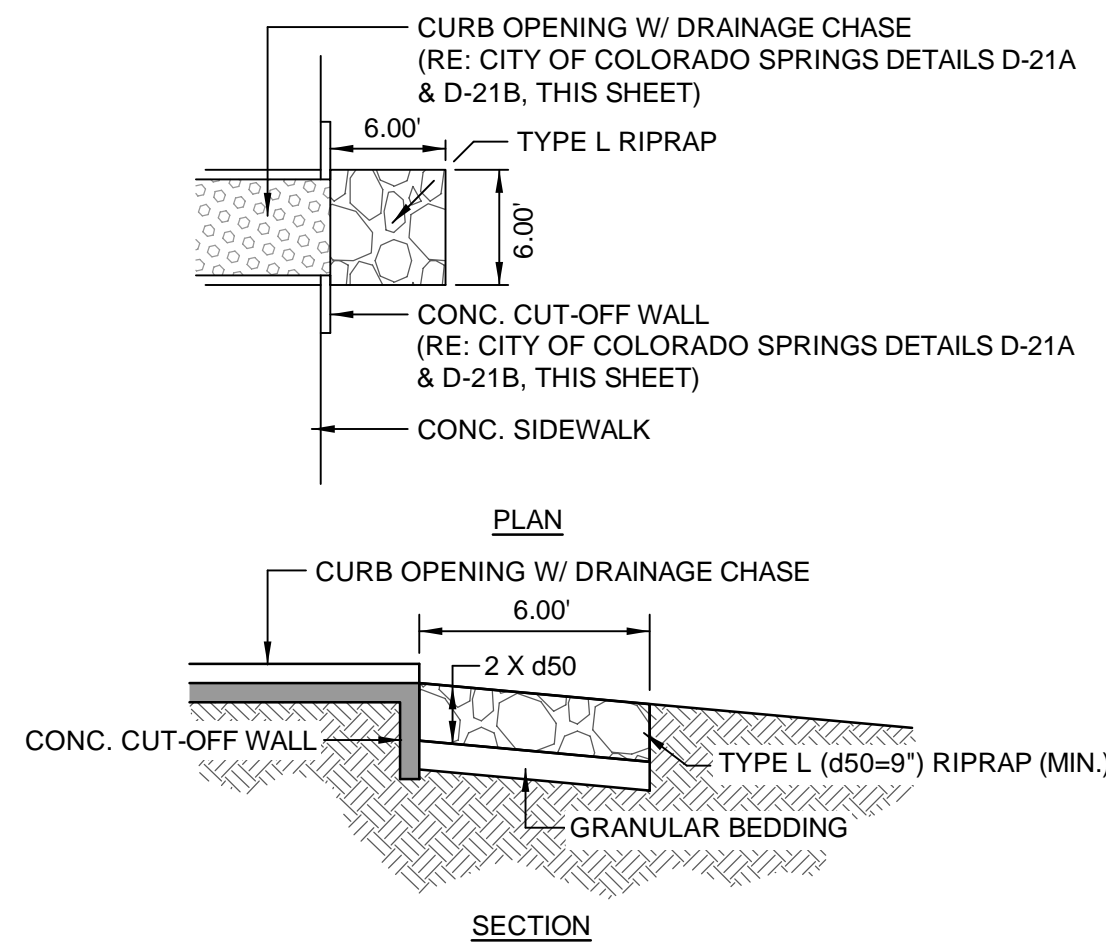
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DRAWN BY:	DRAWING FILE:
JN	
PROJECT:	

**SPACE VILLAGE FILING NO. 4**  
**EL PASO COUNTY, CO**

CLIENT:  
 COMMERCIAL BUILDING SERVICES  
 7561 S. GRANT STR., SUITE A-4  
 LITTLETON, COLORADO 80122

TEL: (303) 730-3001





RIPRAP SIZE	% SMALLER THAN GIVEN SIZE BY WEIGHT	INTERMEDIATE ROCK DIMENSION (INCHES)	d50 (INCHES)
L	70 - 100	15	9
	50 - 70	12	
	35 - 50	9	
	2 - 10	3	

d50 = MEAN ROCK SIZE

RIPRAP DESIGNATION	THICKNESS REQUIREMENTS FOR GRANULAR BEDDING		
	MINIMUM BEDDING THICKNESS (INCHES)		TYPE II
	FINE-GRAINED SOILS <sup>1</sup>	COARSE-GRAINED SOILS <sup>2</sup>	
L	TYPE I (LOWER LAYER)	TYPE II (UPPER LAYER)	TYPE II
L	4	4	6

<sup>1</sup> MAY SUBSTITUTE ONE 12-INCH LAYER OF TYPE II BEDDING.  
<sup>2</sup> FIFTY PERCENT OR MORE BY WEIGHT RETAINED ON THE # 40 SIEVE.

U.S. STANDARD SIEVE SIZE	GRADATION FOR GRANULAR BEDDING	
	% PASSING BY WEIGHT	
	TYPE I CDOT SECT. 703.01	TYPE II CDOT SECT. 703.09 CLASS A
3 INCHES	-	90 - 100
1 1/2 INCHES	-	-
3/4 INCHES	-	20 - 90
3/8 INCHES	100	-
# 4	95 - 100	0 - 20
# 16	45 - 80	-
# 50	10 - 30	-
# 100	2 - 10	-
# 200	0 - 2	0 - 3

**RIPRAP PROTECTION** (A)  
NOT TO SCALE

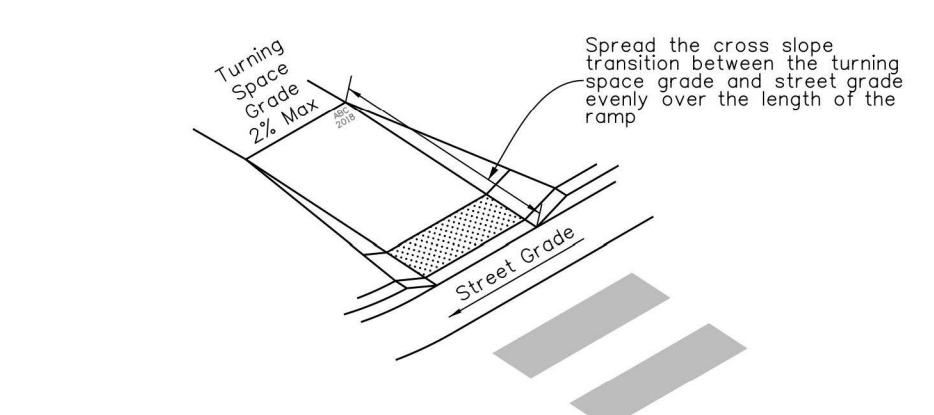
**CURB RAMP (PUBLIC)** (B)  
SCALE: 1" = 5'-0"

- General Notes**
- All work shall be done in accordance with the current City of Colorado Springs Engineering Division (the City) Standard Specifications.
  - The Contractor shall obtain all required permits and notify City Engineering by 1500 hours the business day before inspection is required.
  - Concrete shall have a minimum compressive strength of 4,000 psi and use a City-approved concrete mix.
  - A broom finish, with sweeps perpendicular to the direction of pedestrian traffic, shall be applied to all ramp surfaces.
  - The Contractor shall stamp their company name and construction date at the top right corner of the ramp as viewed from the street.
  - Detectable warnings shall be installed at sidewalk to street transitions and shall consist of prefabricated truncated dome panels approved by the City. The detectable warning panels shall be set into the wet concrete. The domes shall be in a square grid pattern and aligned with pedestrian traffic.
  - All detectable warning surfaces at the base of ramps shall start a minimum of 6 inches from the flowline of the curb and not be more than 8 inches from any point on the flowline of the curb, with the exception for ramps that are constructed within the curved portion of the return as approved by the City.
  - Ramp and detectable warning running slope shall be 8.3% or flatter except on long ramps as specified by Note 14.
  - Drainage structures, traffic signal equipment, or other obstructions shall not be installed in the ramp or turning space areas.
  - If a traffic signal pedestrian push button cannot be mounted within 10 inches horizontally of the pedestrian path or is obstructed from reach then a separate pedestrian push button post assembly shall be installed. Push buttons shall meet the requirements of MUTCD Chapter 4 for pedestrian detectors.
  - Diagonal ramps on the apex are not allowed in new construction. A single diagonal ramp on the apex may be permitted during reconstruction or alteration where physical or site constraints prevent two ramps from being installed and shall require approval from the City on a case-by-case basis.
  - Ramps, excluding flared sides or blended transitions, shall be wholly contained within the width of the crosswalk and/or the pedestrian street crossing that they serve.
  - All ramp joints and grade breaks shall be flush (0"±1/8"). The joint between the roadway surface and gutter pan shall be flush.
  - In retrofit applications, to avoid chasing grade indefinitely on steep streets, ramp length is not required to exceed 15 feet.
  - The counter slope of the gutter or road at the foot of a ramp, turning space, or blended transition shall not exceed 5.0%.
  - Flared side slopes may exceed 10% only where they abut a non-walkable surface (landscaping or domed surface) or the adjacent circulation path is blocked such that it is unlikely for a pedestrian to walk across the flared side slope.

**Slope Table**

The table below is intended to be used to convert between the percent (rise/run) and ratio (run/rise) methods of expressing the magnitude of a slope:

PERCENT SLOPE	0.5%	1.0%	2.0%	5.0%	7.1%	8.3%	10.0%
RATIO SLOPE	20:1	10:1	5:1	2:1	14:1	12:1	10:1



**Ramp Cross Slope Transition To Match Roadway Profile**  
 Ramp cross slopes and turning spaces shall be:  
 A. 2% max when a yield or stop control is present.  
 B. Permitted to equal the street grade when there is no yield or stop control, when a traffic signal is present, at a mid block crossing location, or in retrofit applications.

**SIDEWALK CURB RAMPS GENERAL NOTES AND DETAILS**

APPROVED: [Signature]  
 CITY ENGINEER  
 ISSUED: 3/28/2019 REVISED: DRAWING NO. D-8A

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 COLORADO REGISTRATION 36219  
 FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC

STERLING DESIGN ASSOCIATES, LLC

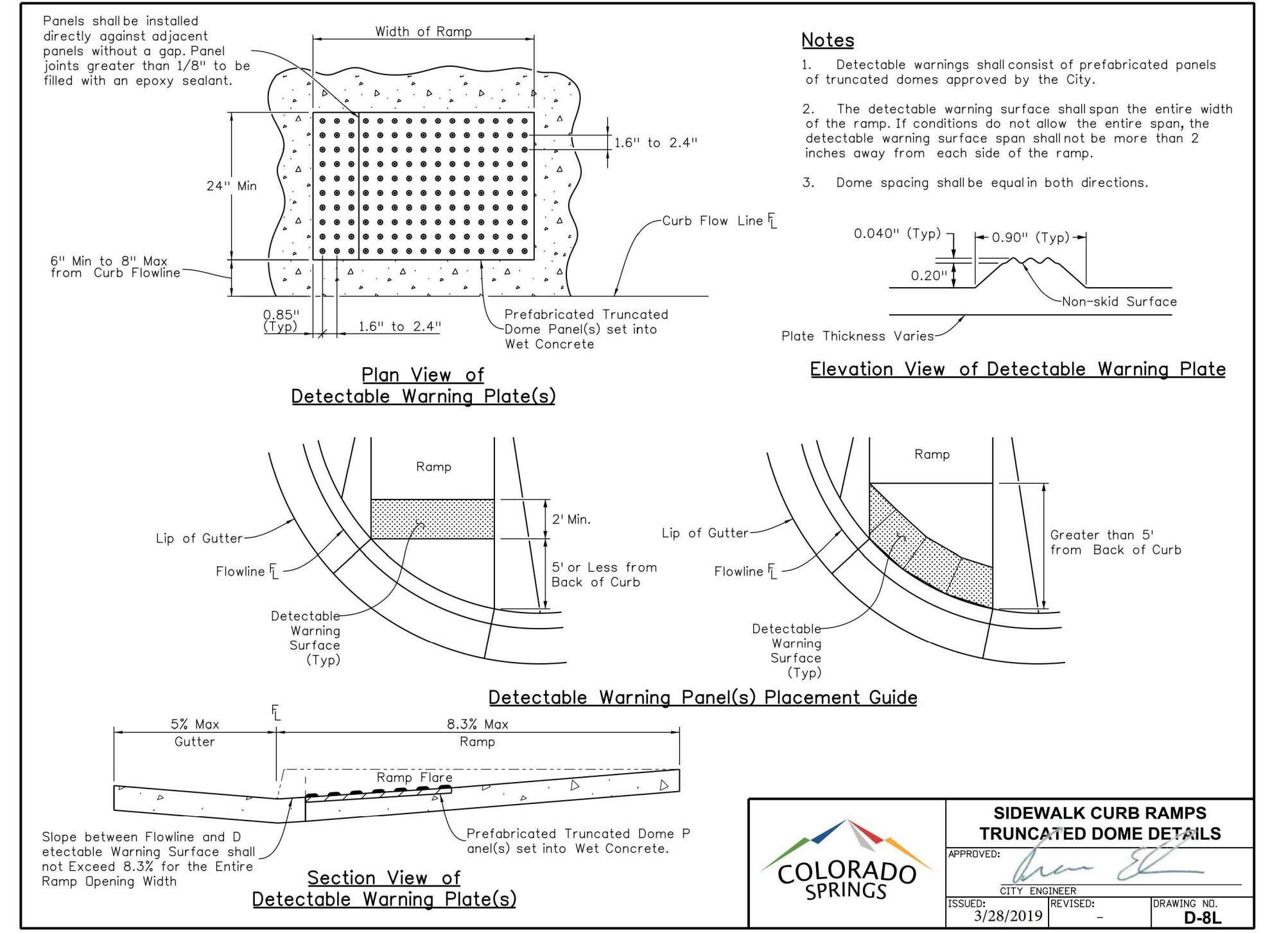
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DATE: 6/2023	SCALE: N/A
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DRAWN BY: JN	DRAWING FILE:
PROJECT:	

**SPACE VILLAGE FILING NO. 4 EL PASO COUNTY, CO**

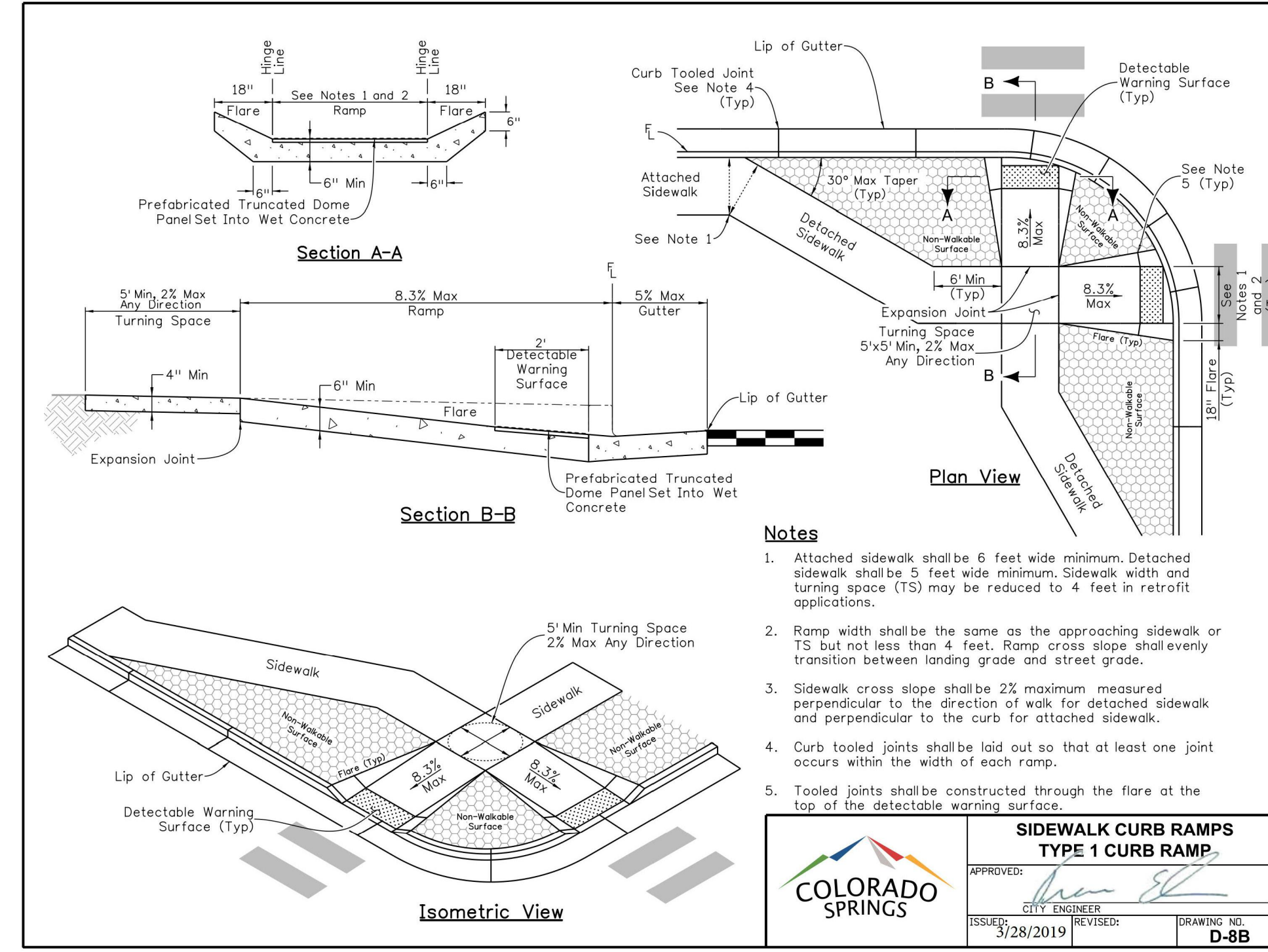
CUSTOMER:  
**COMMERCIAL BUILDING SERVICES**  
 7561 S. GRANT STR., SUITE A-4  
 LITTLETON, COLORADO 80122

TEL: (303) 730-3001



**SIDEWALK CURB RAMPS TRUNCATED DOME DETAILS**

APPROVED: [Signature]  
 CITY ENGINEER  
 ISSUED: 3/28/2019 REVISED: DRAWING NO. D-8L



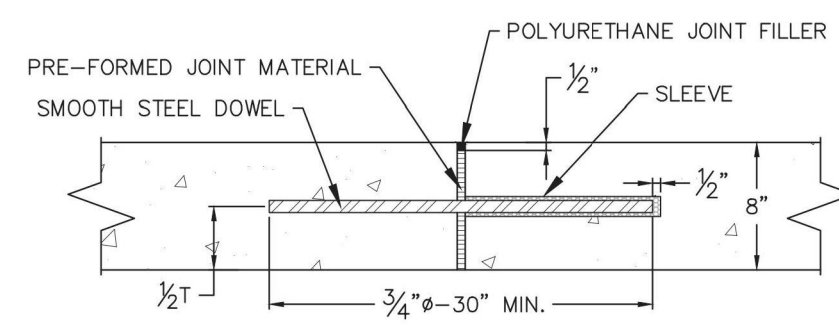
**SIDEWALK CURB RAMPS TYPE 1 CURB RAMP**

APPROVED: [Signature]  
 CITY ENGINEER  
 ISSUED: 3/28/2019 REVISED: DRAWING NO. D-8B



**GENERAL NOTES:**

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT CITY OF COLORADO SPRINGS ENGINEERING DIVISION (THE CITY) STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS. FOR CITY PERMITS CONTRACTORS SHALL USE THE ACELA ON-LINE PERMIT SYSTEM. ONCE CITY PERMITS ARE APPROVED AND PAID, THEN APPROPRIATE SCHEDULING AND NOTIFICATIONS SHALL BE IN ACELA.
- CONTACT CITY PARKS PRIOR TO STARTING WORK IF IT IS NECESSARY TO DISTURB MEDIAN LANDSCAPING OR WORK IS ADJACENT TO AN EXISTING PARK.
- CONTACT THE CITY FORESTRY DIVISION, PRIOR TO STARTING WORK, IF IT IS NECESSARY TO DISTURB TREES OR ROOTS.
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AND BE A CITY APPROVED CONCRETE MIX DESIGN.
- A BROOM FINISH, WITH SWEEPS IN THE DIRECTION OF FLOW, SHALL BE APPLIED TO ALL GUTTER AND CROSS PANS.
- PRIOR TO OPENING TO TRAFFIC, CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,200 PSI AS DEMONSTRATED BY FIELD CURE CYLINDERS.
- NEW ASPHALT SHALL NOT BE PLACED AGAINST FRESHLY POURED CONCRETE. CONCRETE SHALL BE 5-DAYS OLD OR HAVE A COMPRESSIVE STRENGTH OF 3,200 PSI AS DEMONSTRATED BY FIELD CURE CYLINDERS. WHERE PATCHING IN AN EXISTING ROADWAY, PATCHING SHALL BE IN ACCORDANCE WITH ASPHALT REPAIR DRAWINGS.
- THE CONTRACTOR SHALL STAMP THEIR COMPANY NAME AND CONSTRUCTION DATE ON FRONT FACE OF CURB.
- WHITE CURE SHALL BE PLACED WITH 100% COVERAGE, AND MEET THE SPECIFICATION OF SECTION 500.

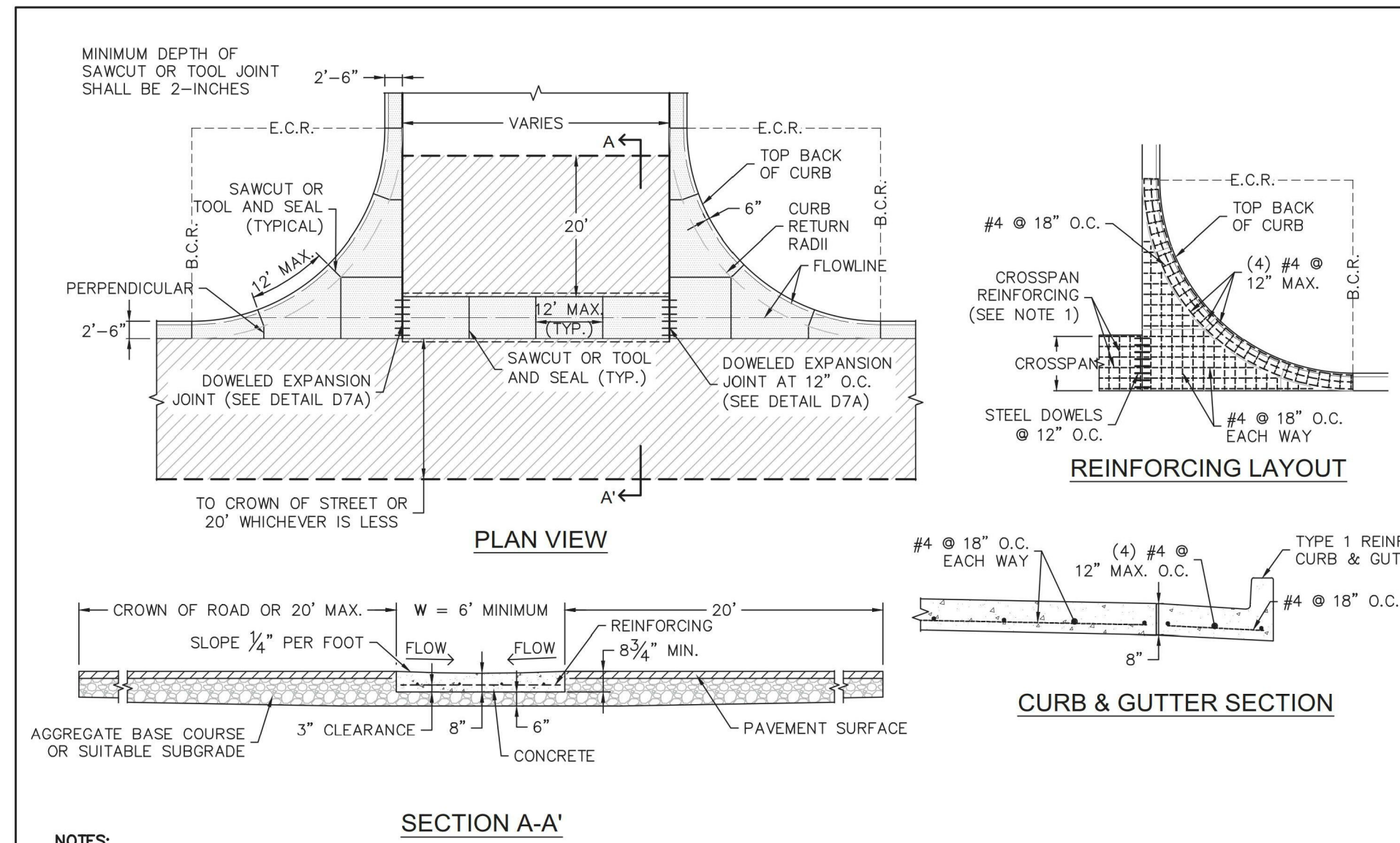


EXPANSION JOINT DETAIL

**CROSS PAN NOTES**

APPROVED: *Gayle Sturdivant*  
CITY ENGINEER

ISSUED: 6/1/21 REVISED: DRAWING NO. D7A



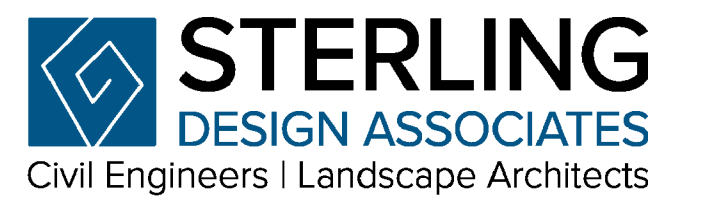
**NOTES:**

- SQUARED-OFF RETURN TO BE POURED MONOLITHIC 8-INCHES P.C.C. MINIMUM WITH #4 AT 18-INCHES EACH WAY.
- ASPHALT PATCH SHALL BE PER 'ASPHALT PAVEMENT REPAIR' DETAIL.
- SQUARED-OFF RETURN AREAS REQUIRE REINFORCING FROM B.C.R. TO E.C.R.
- POLYURETHANE JOINT FILLER REQUIRED OVER EXPANSION JOINTS.
- MINIMUM DEPTH OF SAWCUT OR TOOL JOINT SHALL BE 2-INCHES.
- CURB RAMPS SHALL BE LOCATED OUTSIDE OF CROSSPAN FLOWLINE.
- DOWELED EXPANSION JOINT SHALL BE INSTALLED WHEN POURING HALF PANS.

**CROSS PAN**

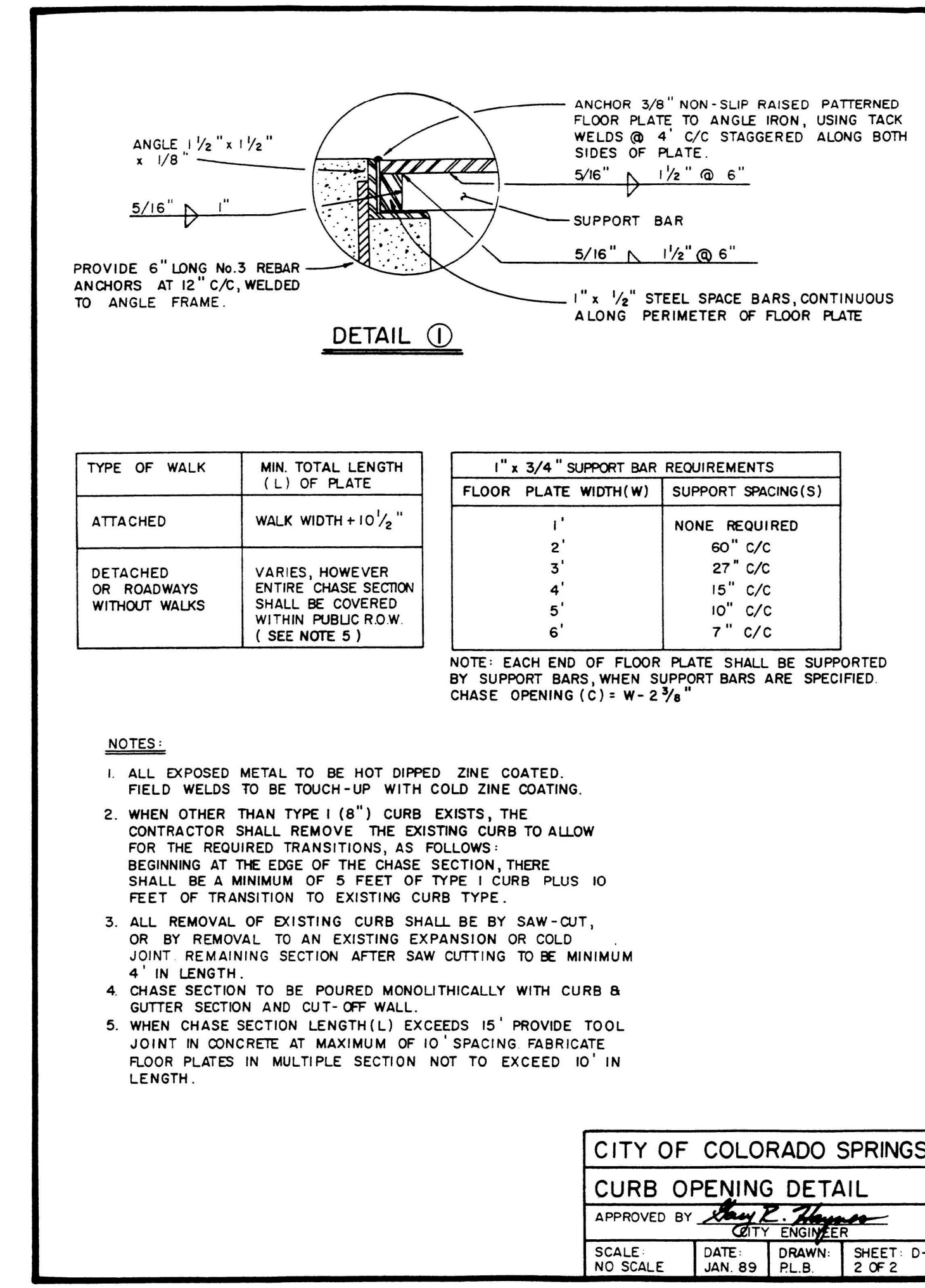
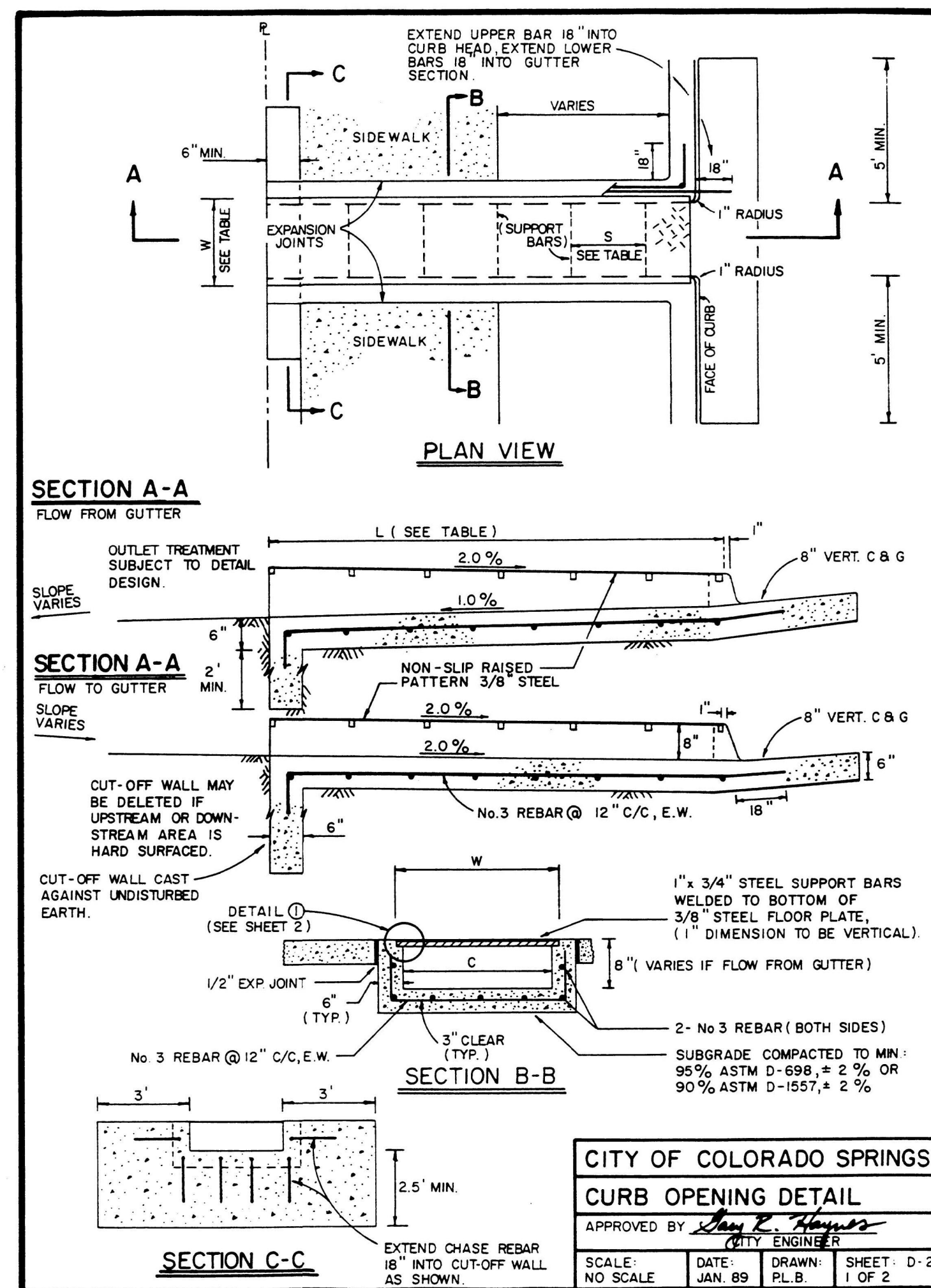
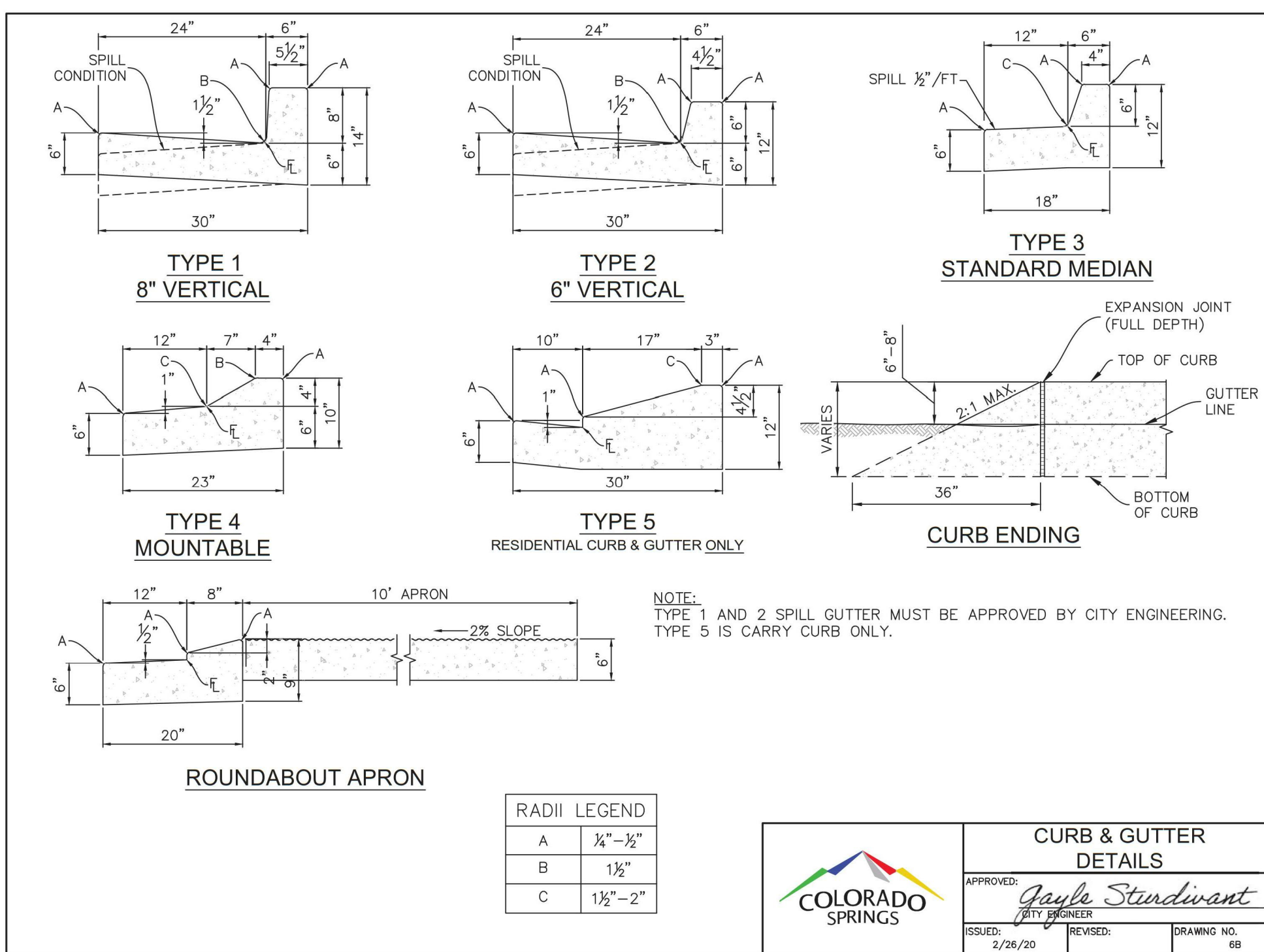
APPROVED: *Gayle Sturdivant*  
CITY ENGINEER

ISSUED: 6/1/21 REVISED: DRAWING NO. D7B



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STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS	
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PROJECT:

**SPACE VILLAGE FILING NO. 4  
EL PASO COUNTY, CO**

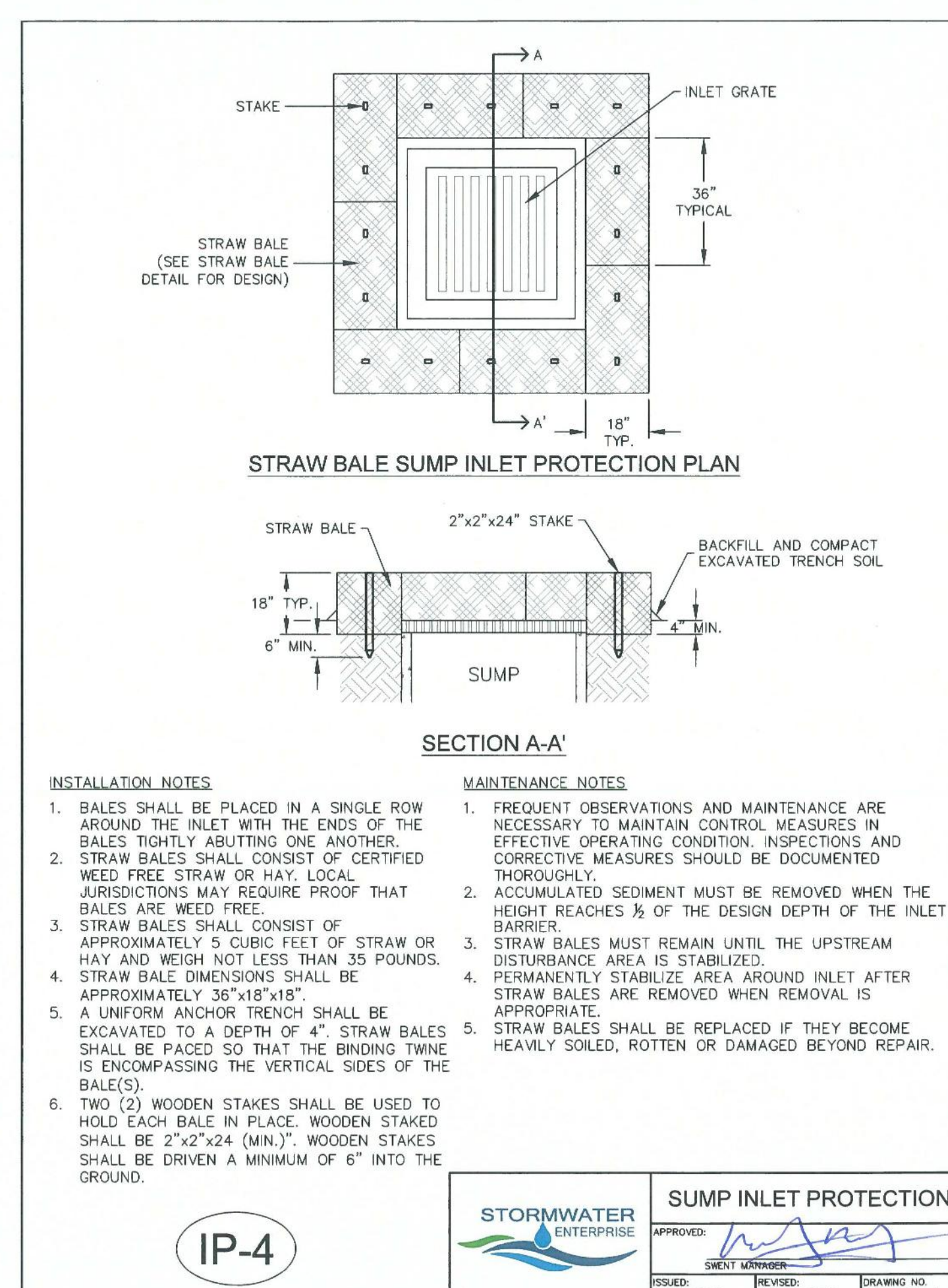
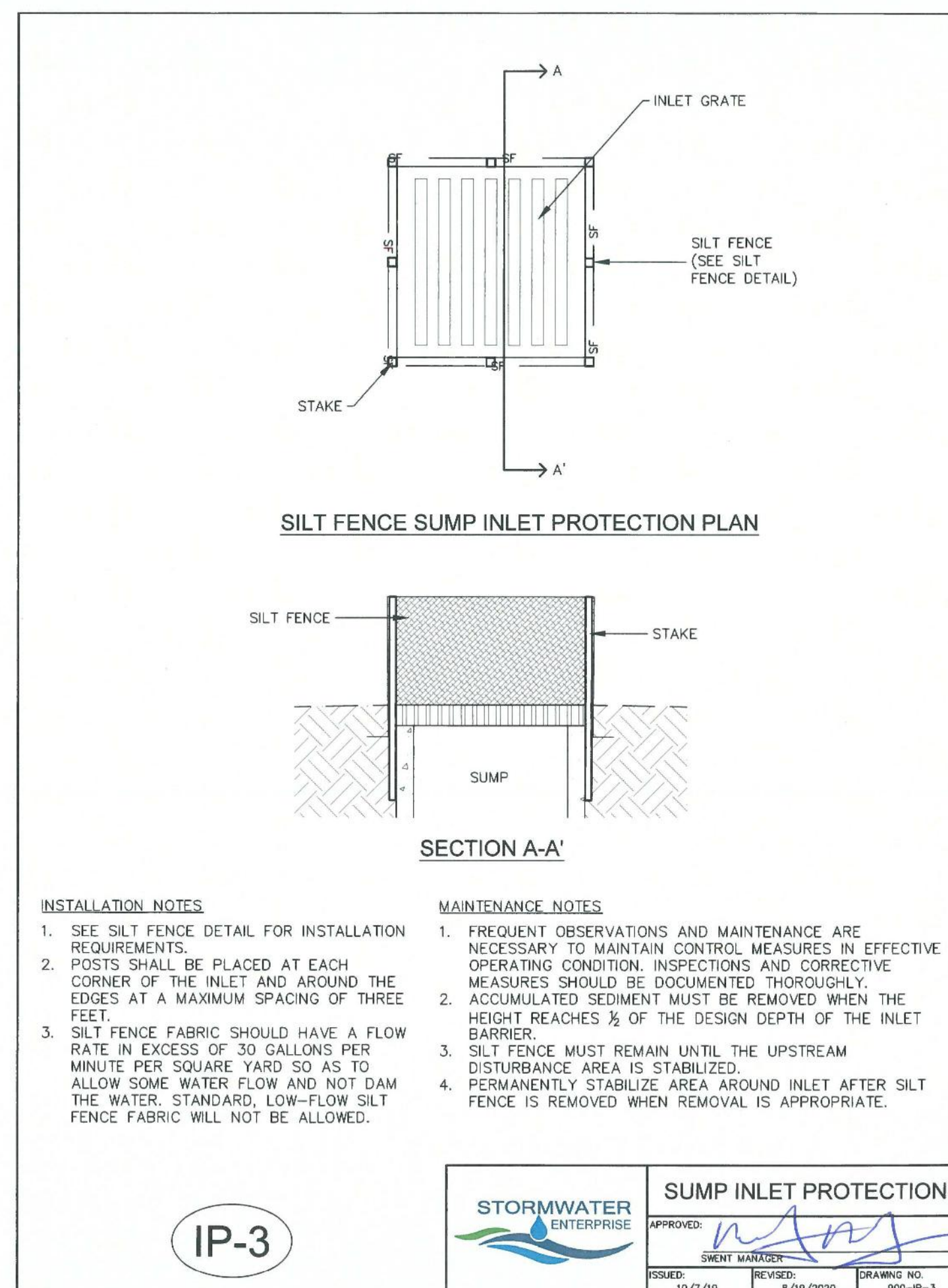
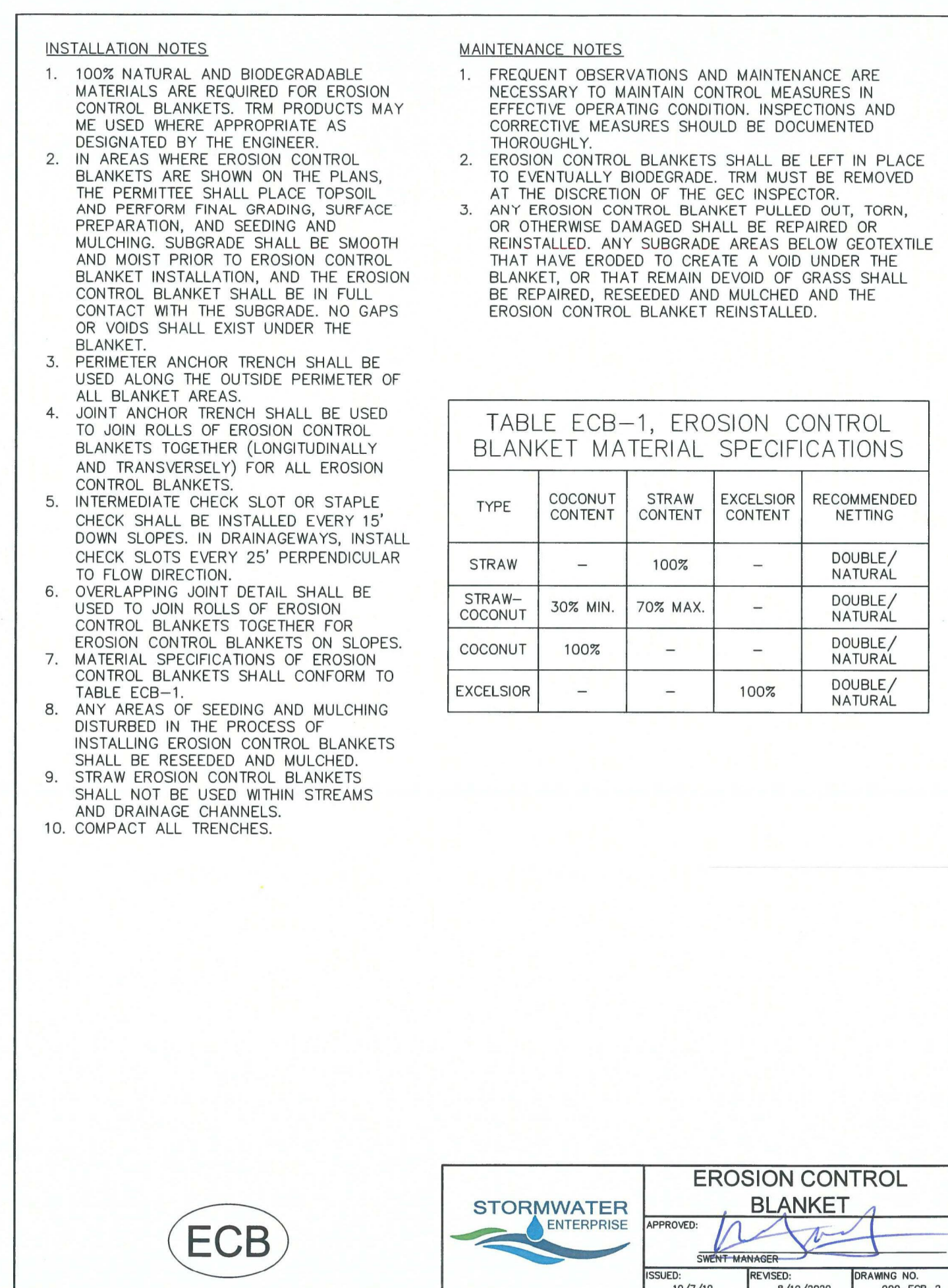
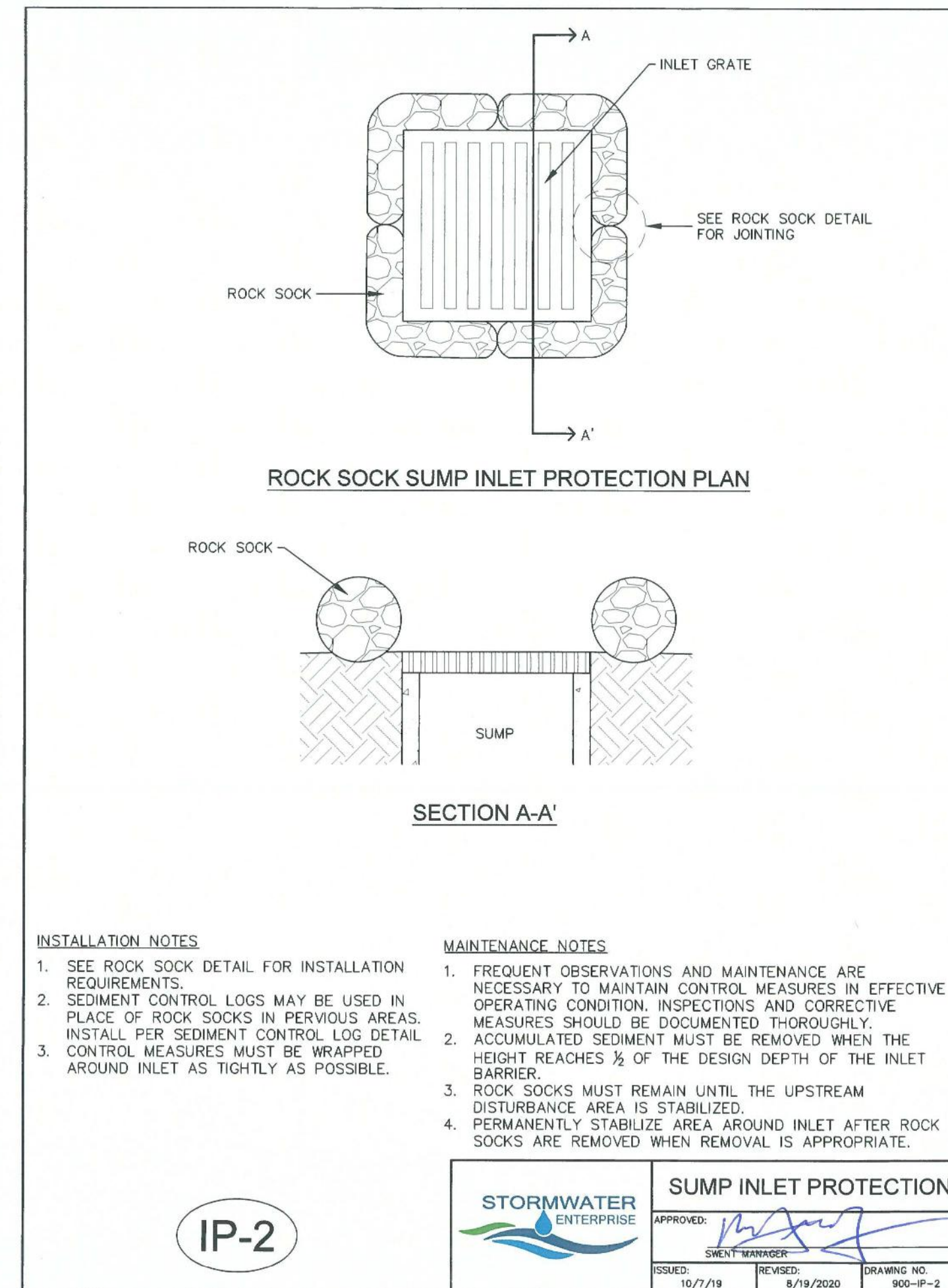
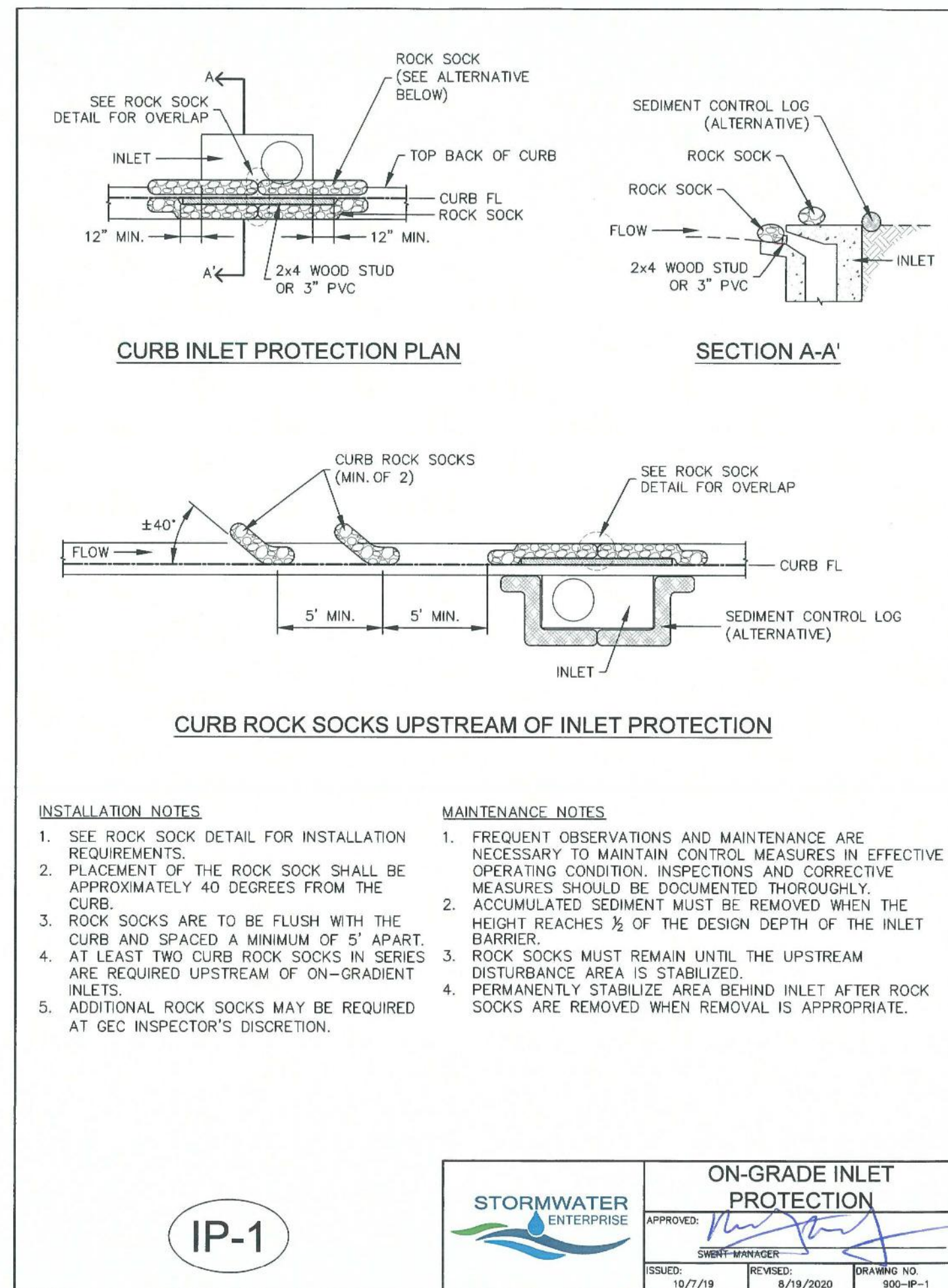
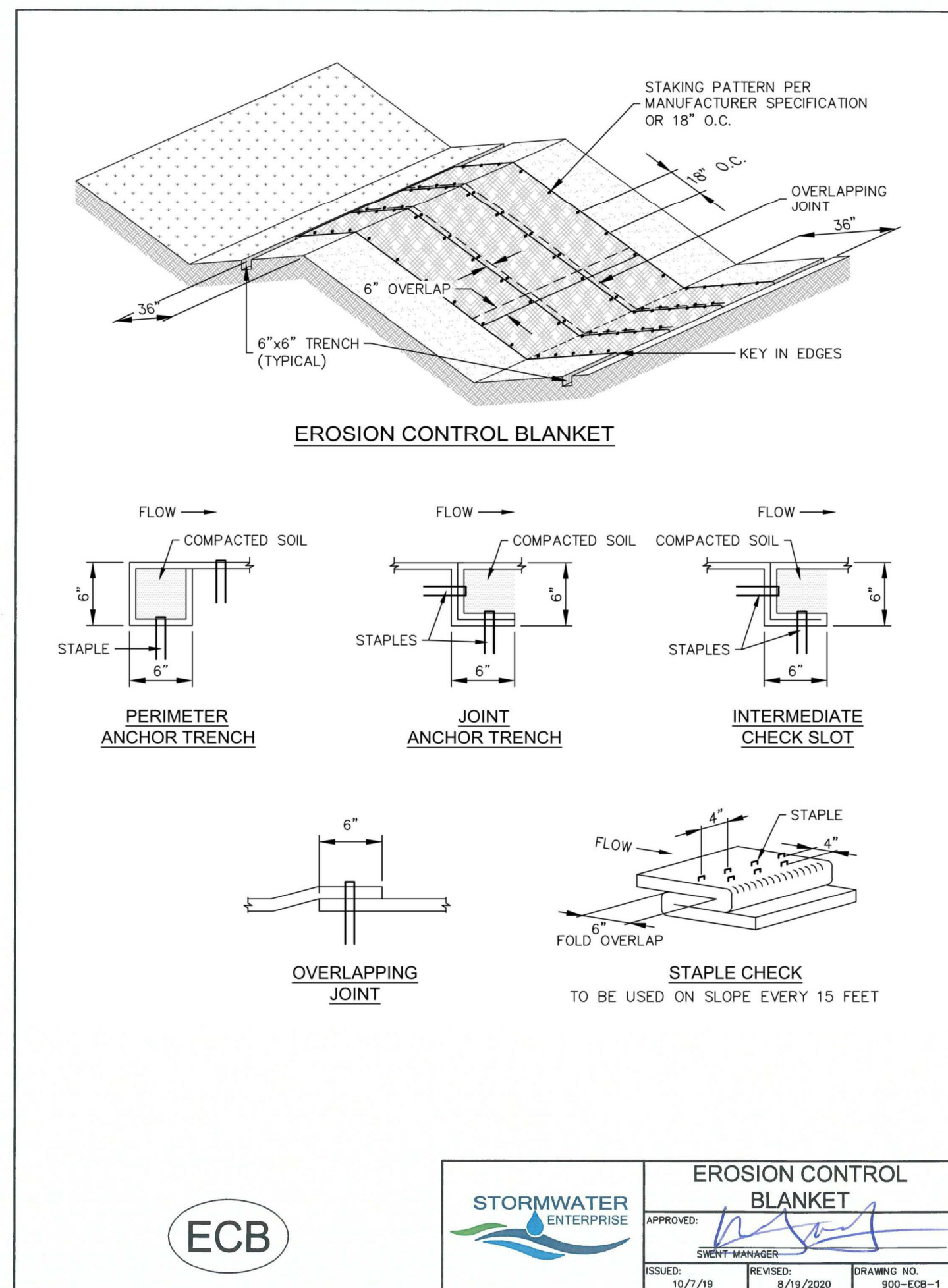
CLIENT:  
COMMERCIAL BUILDING SERVICES  
7561 S. GRANT STR., SUITE A-4  
LITTLETON, COLORADO 80122

TEL: (303) 730-3001

CITY OF COLORADO SPRINGS			
CURB OPENING DETAIL			
APPROVED BY: <i>Gayle Sturdivant</i> CITY ENGINEER			
SCALE	DATE	DRAWN	SHEET
NO SCALE	JAN 89	PL.B	D-21B 2 OF 2

SHEET NUMBER:





ISSUES & REVISIONS	
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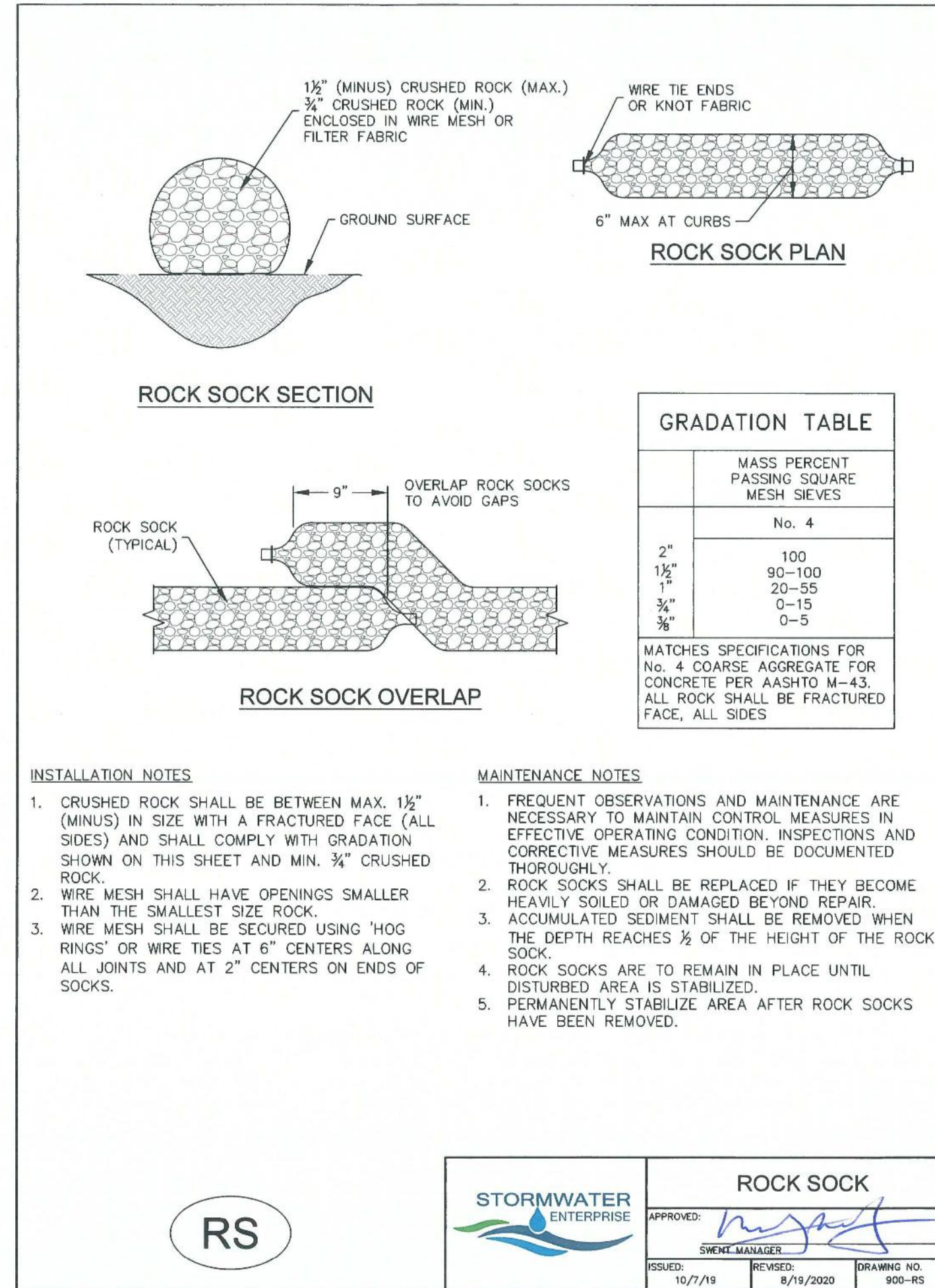
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**SHEET TITLE:  
EROSION CONTROL DETAILS  
(SWMP-SITE MAP)**

SHEET NUMBER:

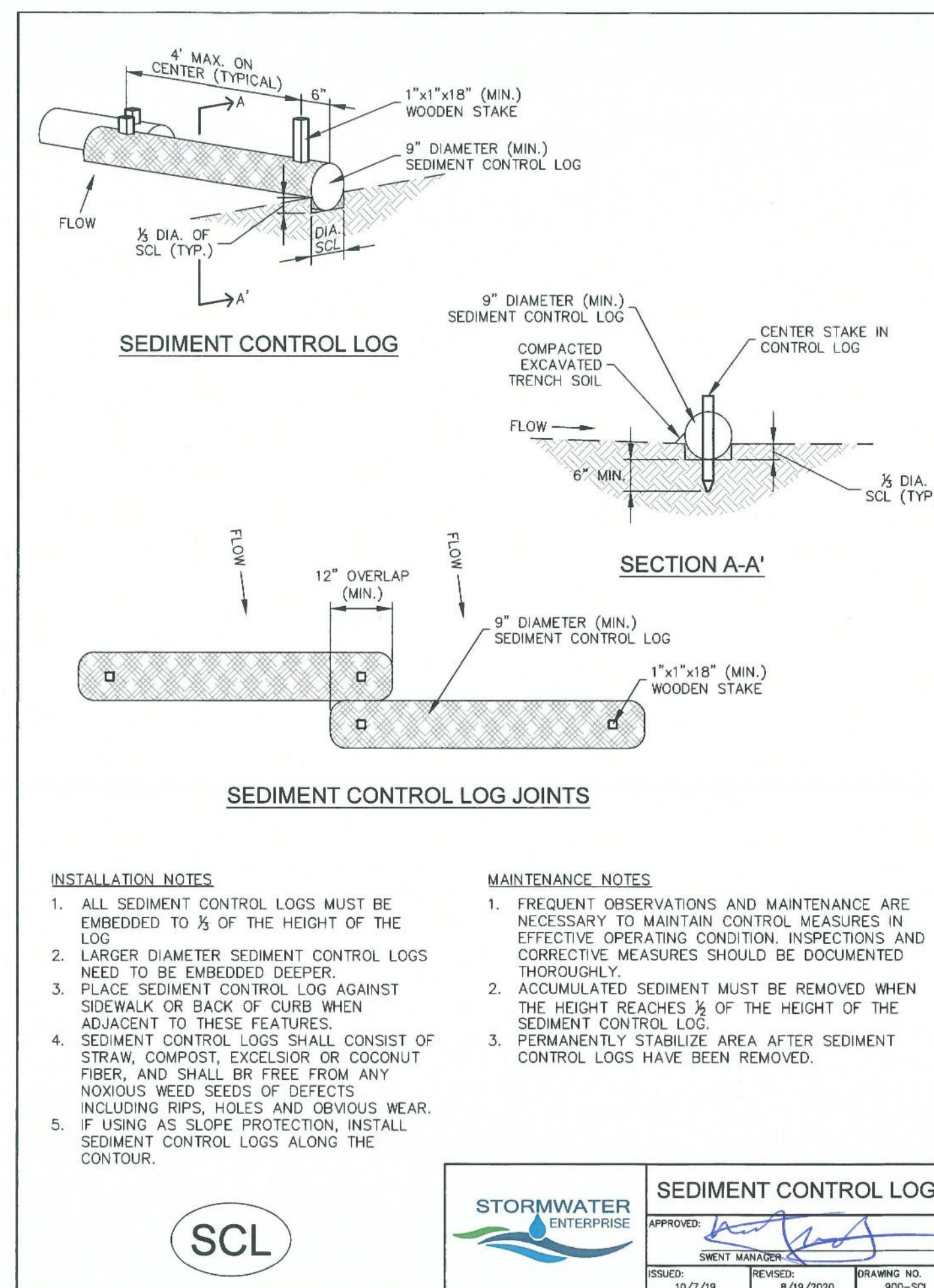




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SHEET TITLE:  
**EROSION CONTROL DETAILS  
(SWMP-SITE MAP)**

SHEET NUMBER:  
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**C816**