

PCD File # PPR 1916

CODE ANALYSIS

2015 IBC, IFC, IPC, IECC IFGC, IEBC, 2014 NEC, ANSI A117.1-09, AND FRR

REMODELLING PLANS:
TENANT: CLEAR MAX COLLISION
ADDRESS: 2425 WAYSIDE COURT
COLORADO SPRINGS, CO

SF: 10,397
OCC CODE: MIXED
CONST TYPE: III-B
OCCPANCY QTY: SF TYPE SF/OCC TOTAL

9,174 F-1 100 92
1,223 B 100 12

TOTAL OCCUPANTS: 104

PLUMBING FIXTURE ANALYSIS
EXISTING NO CHANGE

REQUIRED EXITS (TABLE 1006.3.1)
2 EXIT REQUIRED OCC LOAD GREATER THAN 50
9 EXIT PROVIDED

ALLOWABLE BLDG HT & AREA (TABLE 506.2)
TYPE III-B CONST, SPRINKLED, "F-1" OCC
1 STORY - 48,000 SF

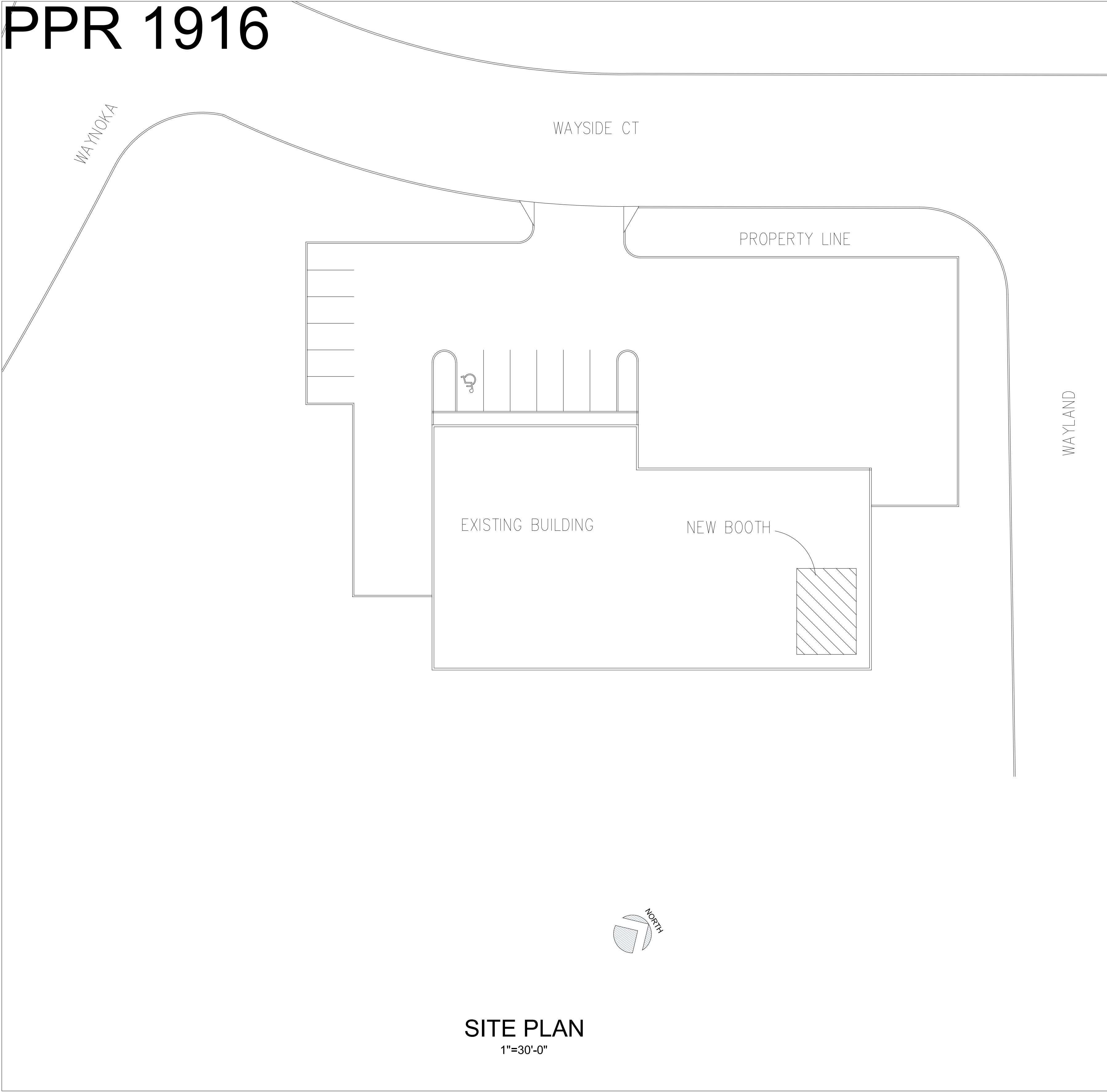
ACTUAL BUILDING
1 STORY - 10,397 SF

STATEMENT OF WORK:

NO CHANGE TO EXISTING BUILDING,
INSTALLATION OF PAINT BOOTH AND
REQUIRED MECHANICAL AND
ELECTRICAL SYSTEMS ONLY

NO CHANGE OF USE OR OCCUPANCY

CLEAR MAX COLLISION
2425 WAYSIDE COURT
COLORADO SPRINGS, CO
NEW PAINT BOOTH



GENERAL NOTES

- EXISTING WALLS --TO BE DEMOLISHED
- ===== EXISTING WALLS -- TO REMAIN
- ////// NEW WALLS -- SEE SECTIONS AND FLOOR PLAN

1. NEW CONSTRUCTION SHALL ALIGN AND MATCH EXISTING WORK UNLESS OTHERWISE NOTED
2. ALL EXISTING EQUIPMENT TO BE REMOVED SHALL HAVE ALL RELATED PADS, PIPING, CONTROLS, GAGES, ELECTRICAL SERVICE HANGERS, SUPPORTS, AND ANY MISCELLANEOUS RELATED SERVICE OR, PARTS REMOVED COMPLETELY.
3. AS A MINIMUM STANDARD, ALL WORK AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES HAVING JURISDICTION.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.
5. INSTALL ALL MANUFACTURED ITEMS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS
6. ANY MISCELLANEOUS ITEMS OR MATERIALS NOT SPECIFICALLY NOTED, BUT REQUIRED FOR PROPER INSTALLATION SHALL BE FURNISHED BY THE CONTRACTOR

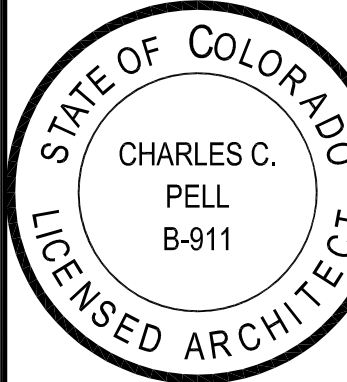


VICINITY MAP

DRAWING SCHEDULE	CONTENTS
SHEET	
ARCHITECTURAL	
1	CODE ANALYSIS, SITE PLAN, GENERAL NOTES
2	PLANS
3	ELEVATIONS
4	PIT PLAN AND DETAILS

C. PELL, ARCHITECT, LLC

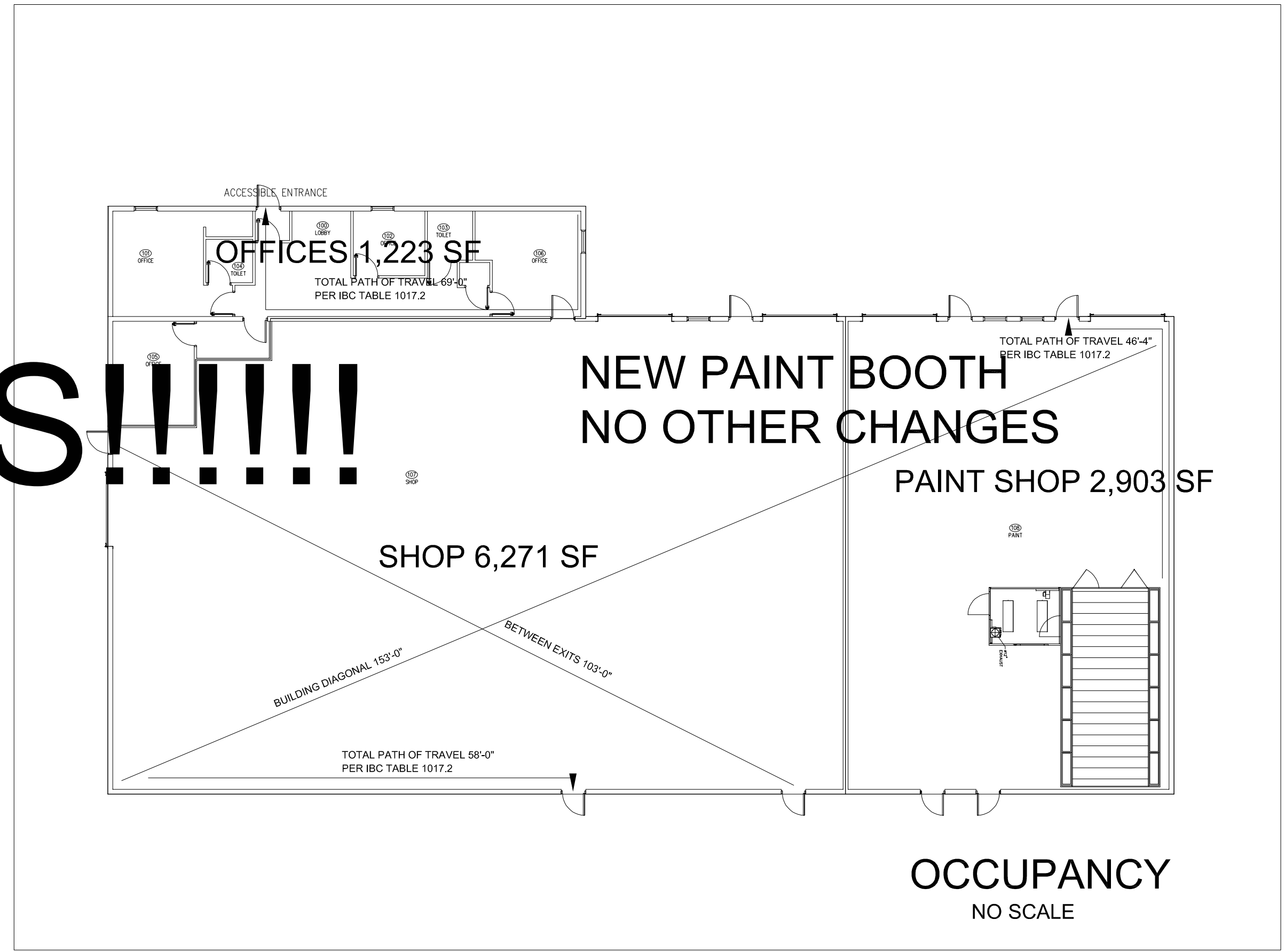
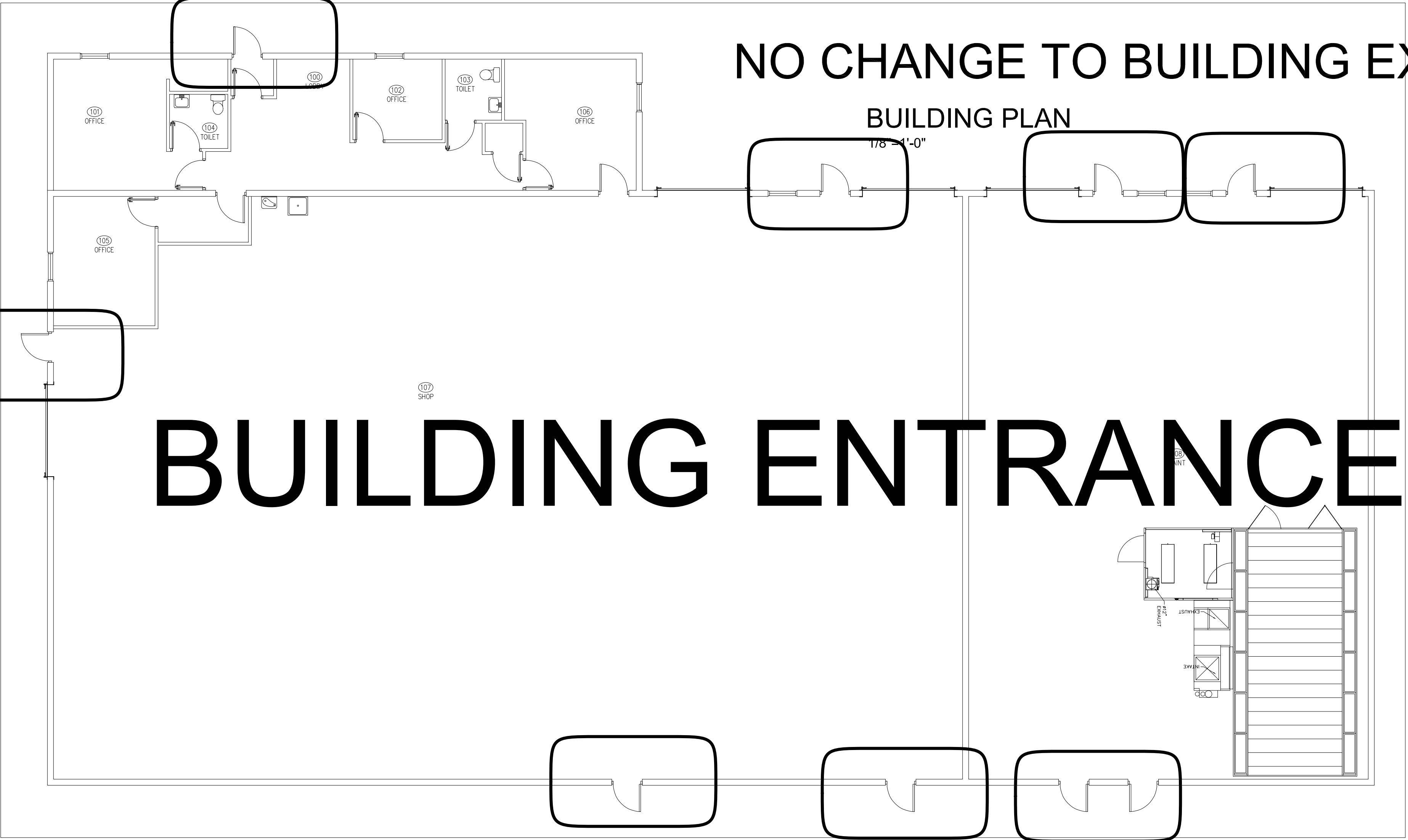
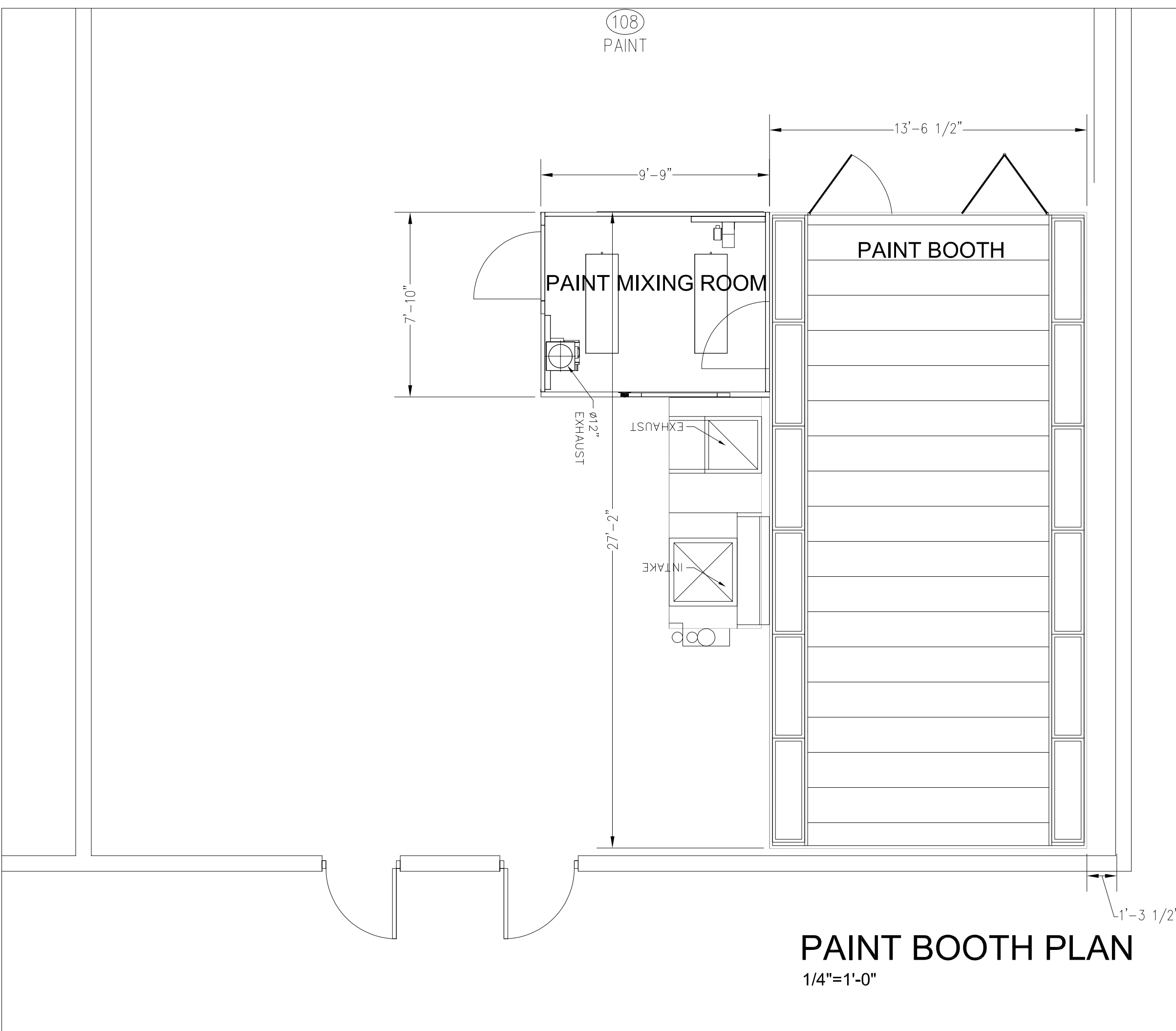
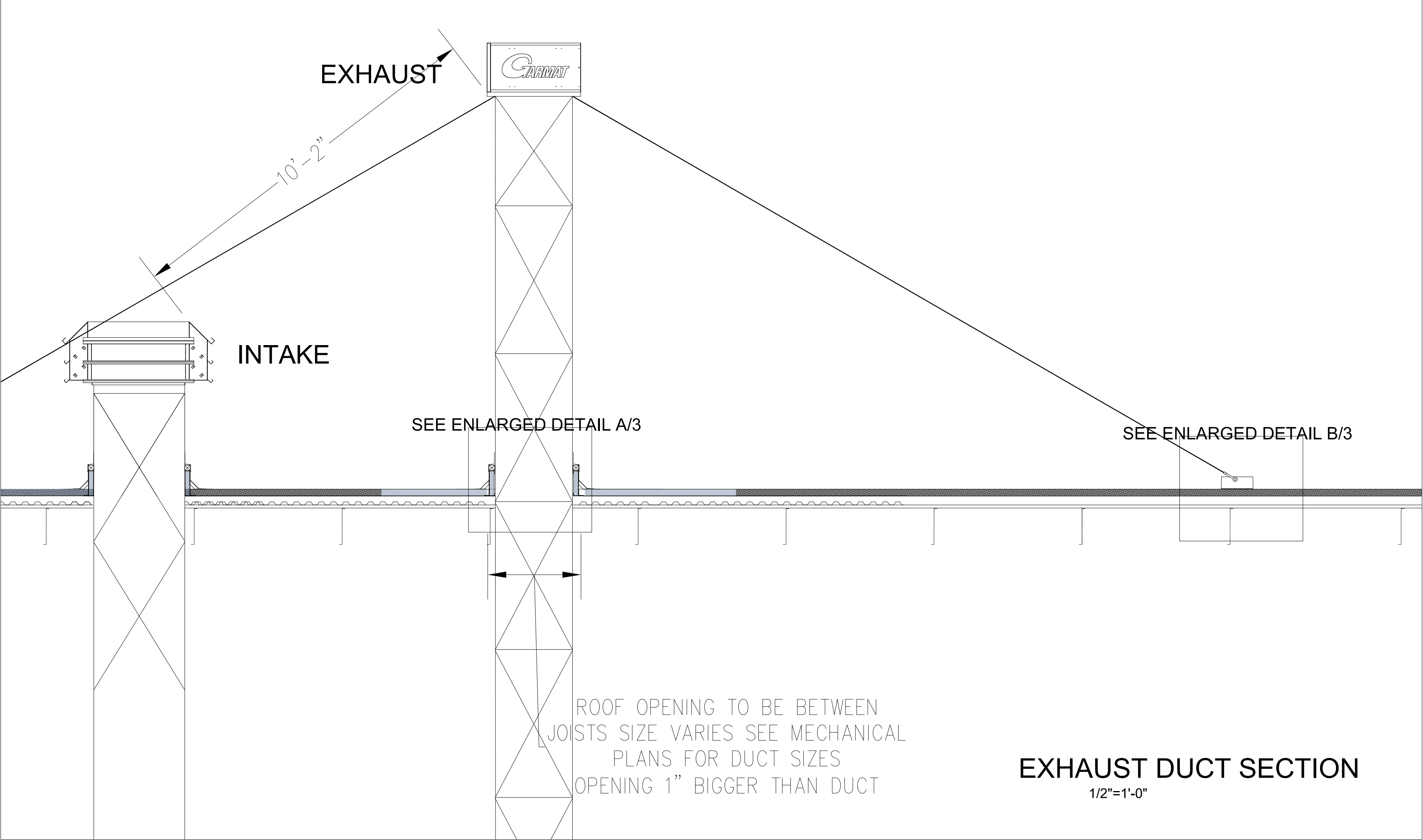
cpell_arch@yahoo.com
6354 S. BLACKHAWK WAY, 303-718-1343



CLEAR MAX COLLISION
2425 WAYSIDE COURT

SHEET 1
OF 4

DATE: 28FEB19
PROJECT: 2018-BAKER-CLEARMAX



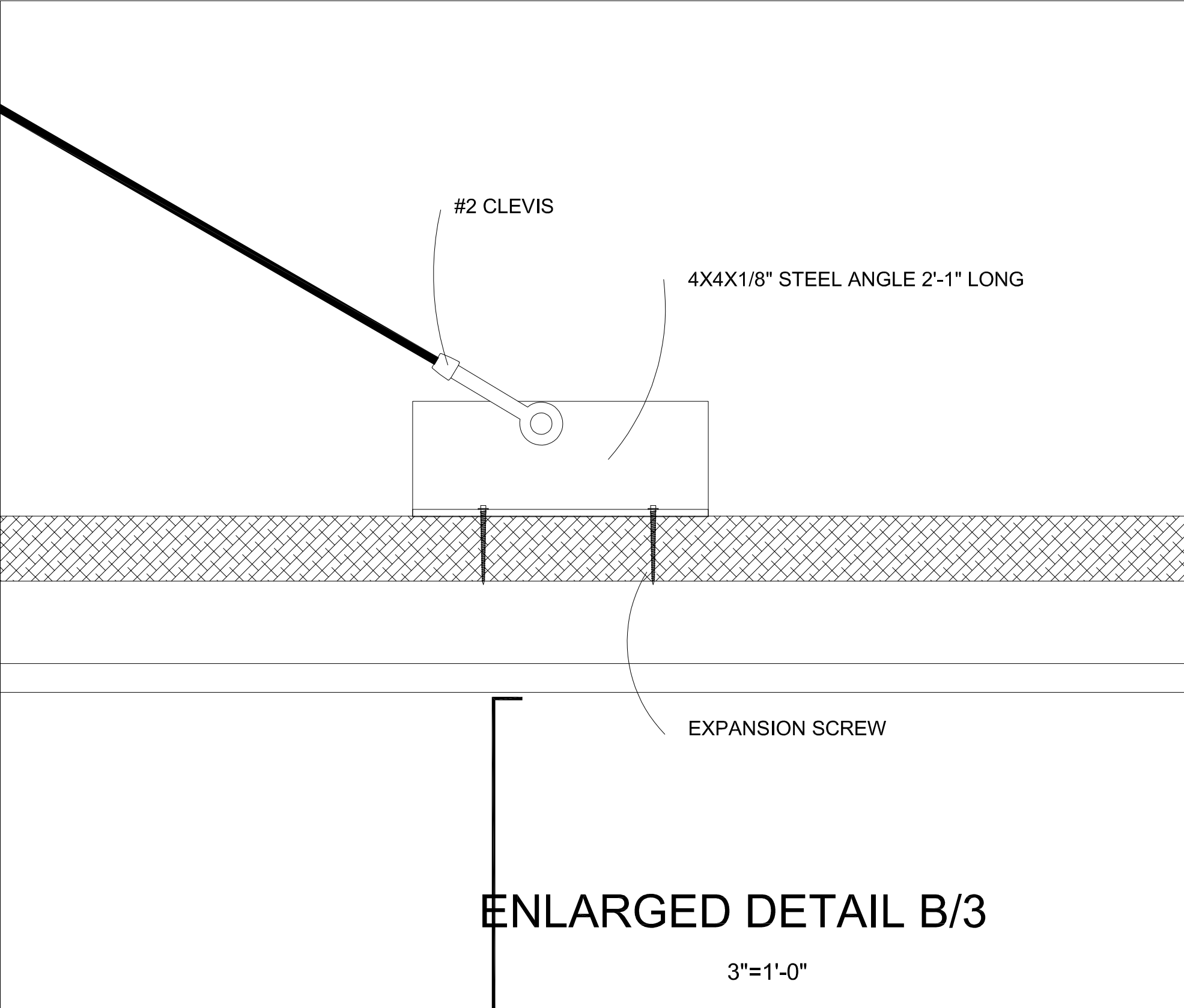
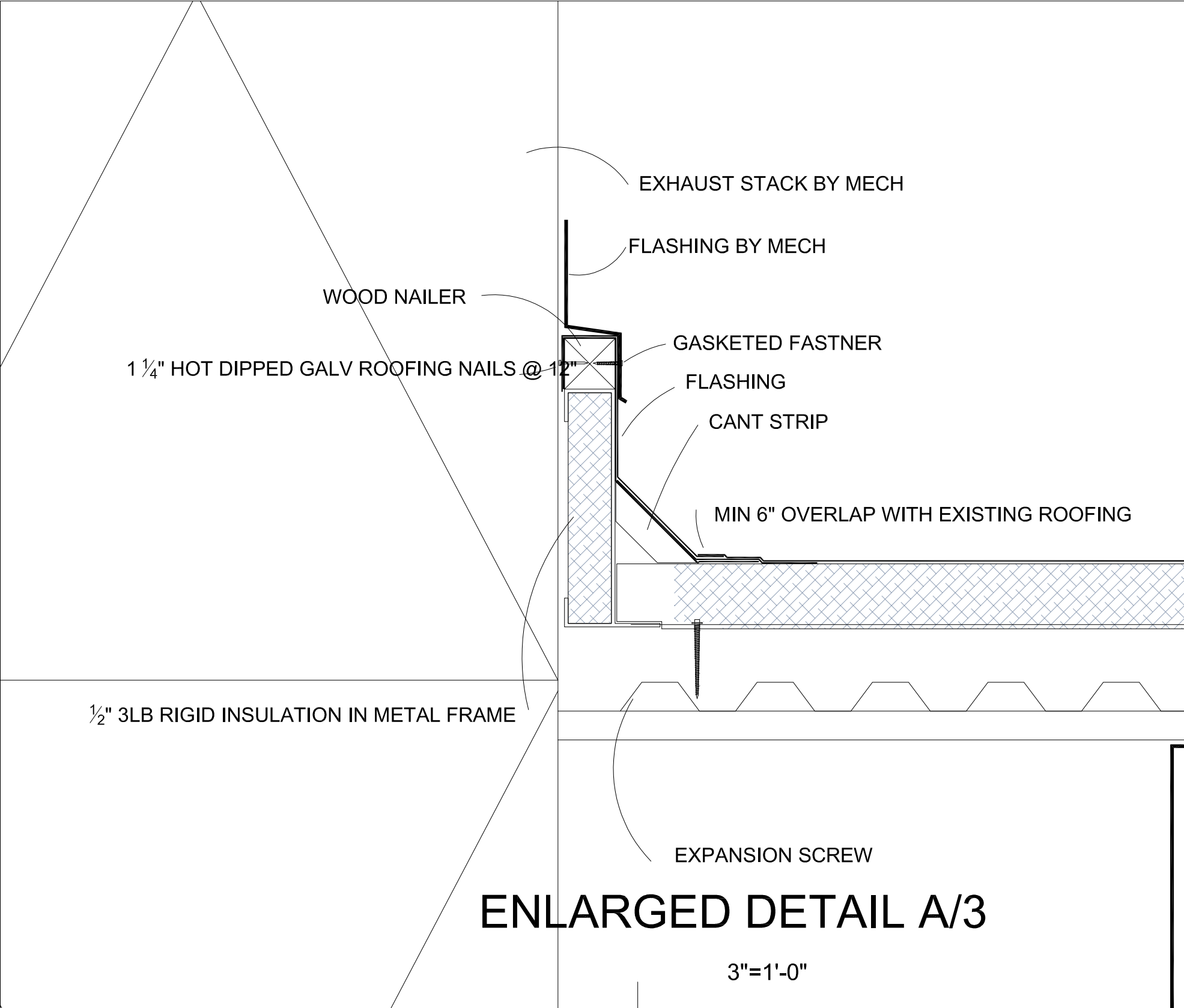
C. PELL, ARCHITECT, LLC
cpell_arch@yahoo.com
6354 S. BLACKHAWK WAY, 303-718-1343

STATE OF COLORADO
CHARLES C. PELL
B-911
LICENSED ARCHITECT

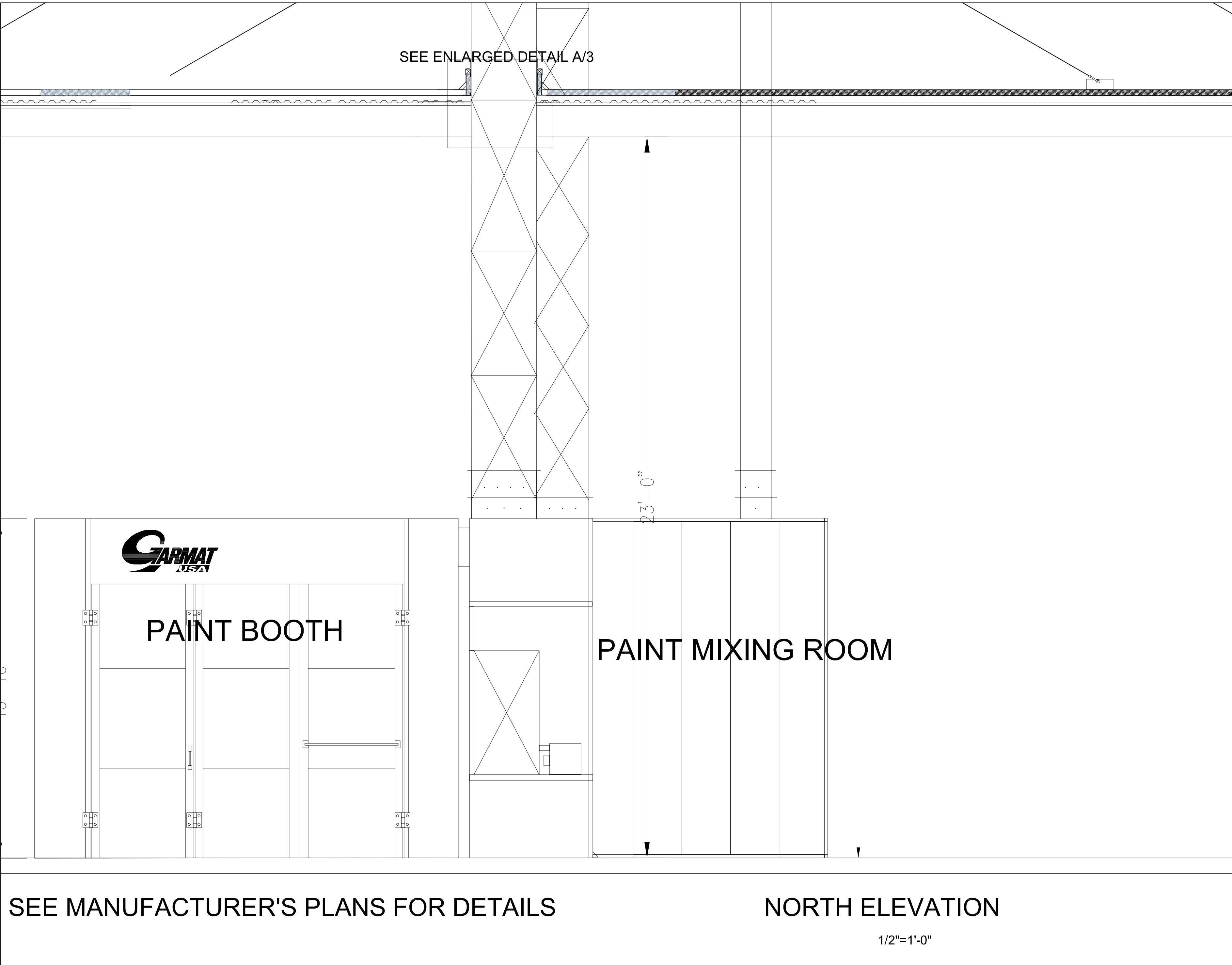
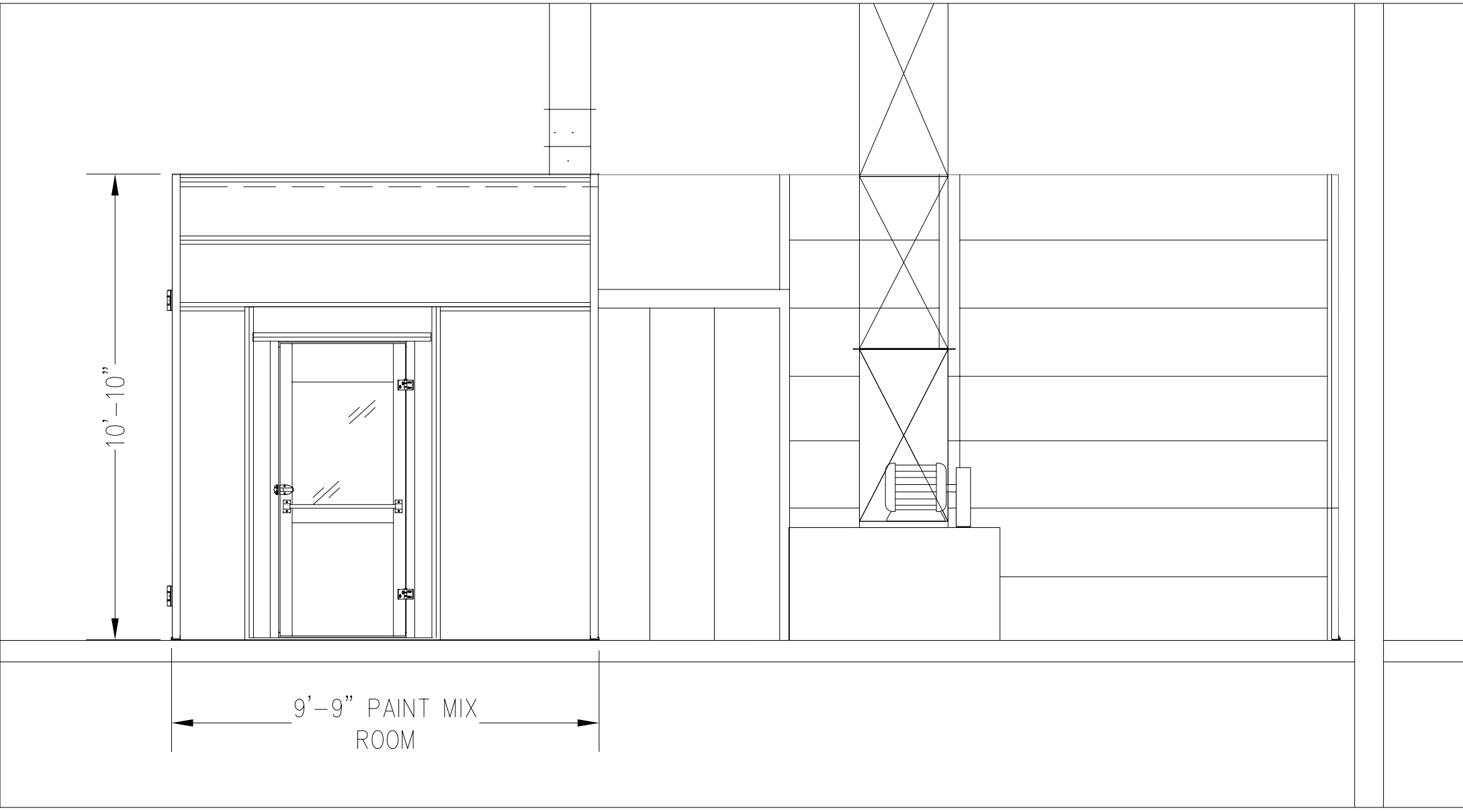
CLEAR MAX COLLISION
2425 WAYSIDE COURT

SHEET 2
OF 4

DATE: 28FEB19
PROJECT: 2018-BAKER-CLEARMAX



WEST ELEVATION
3/8"=1'-0"



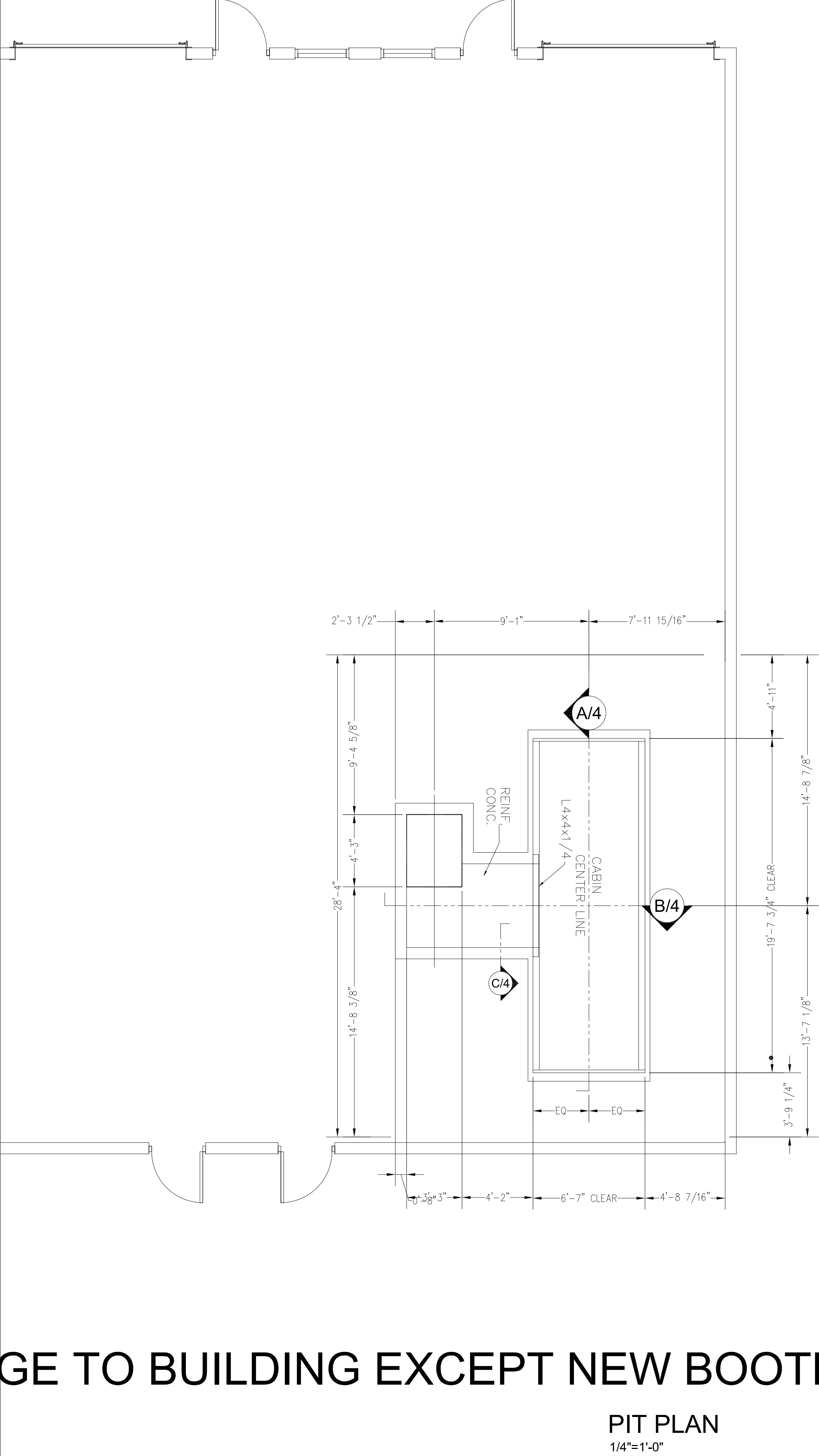
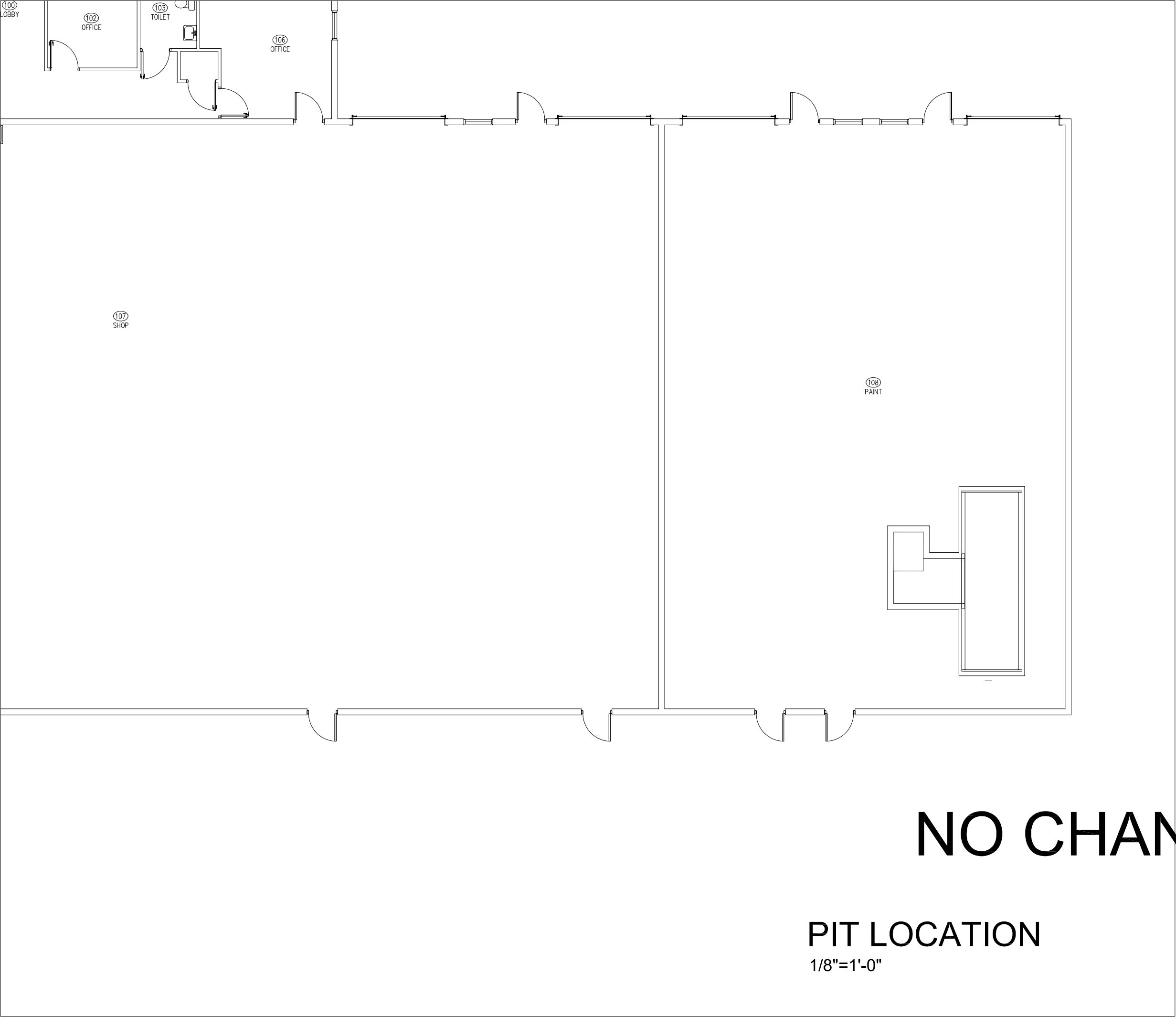
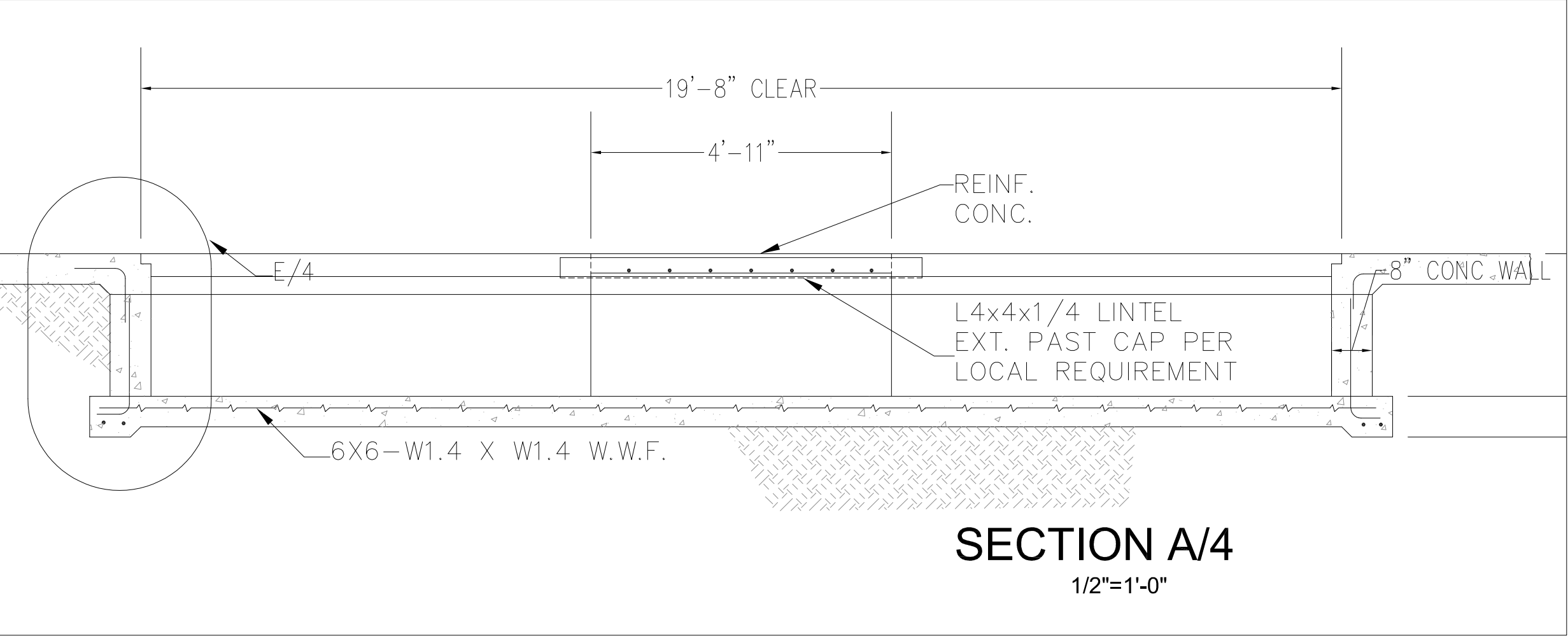
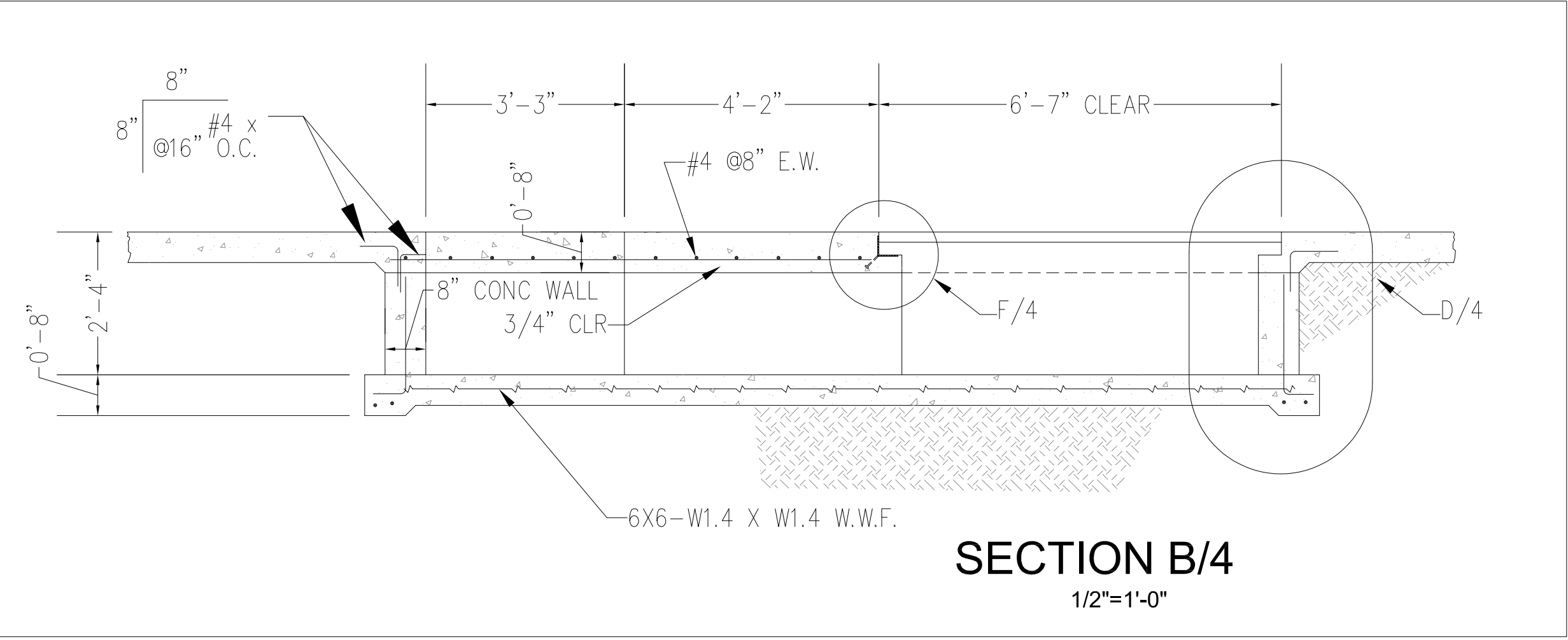
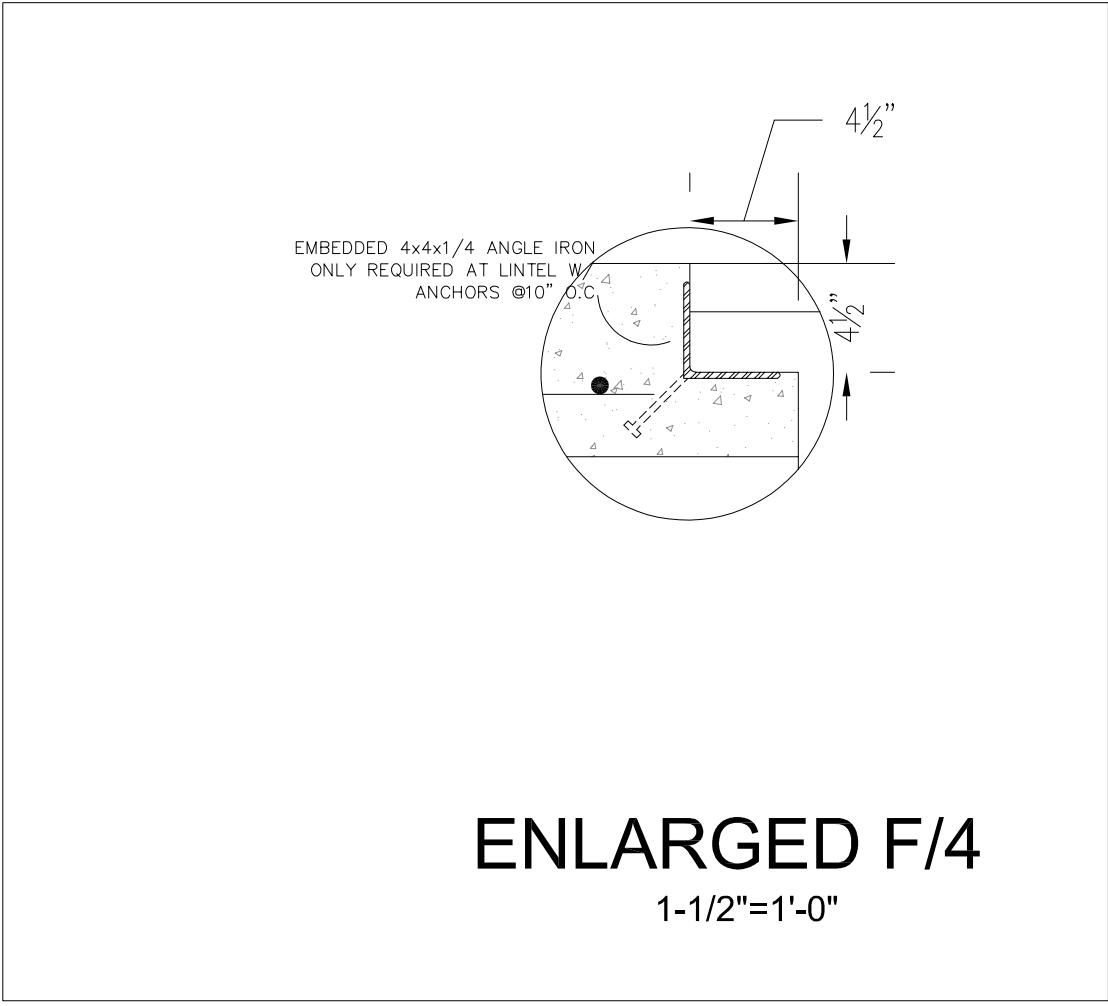
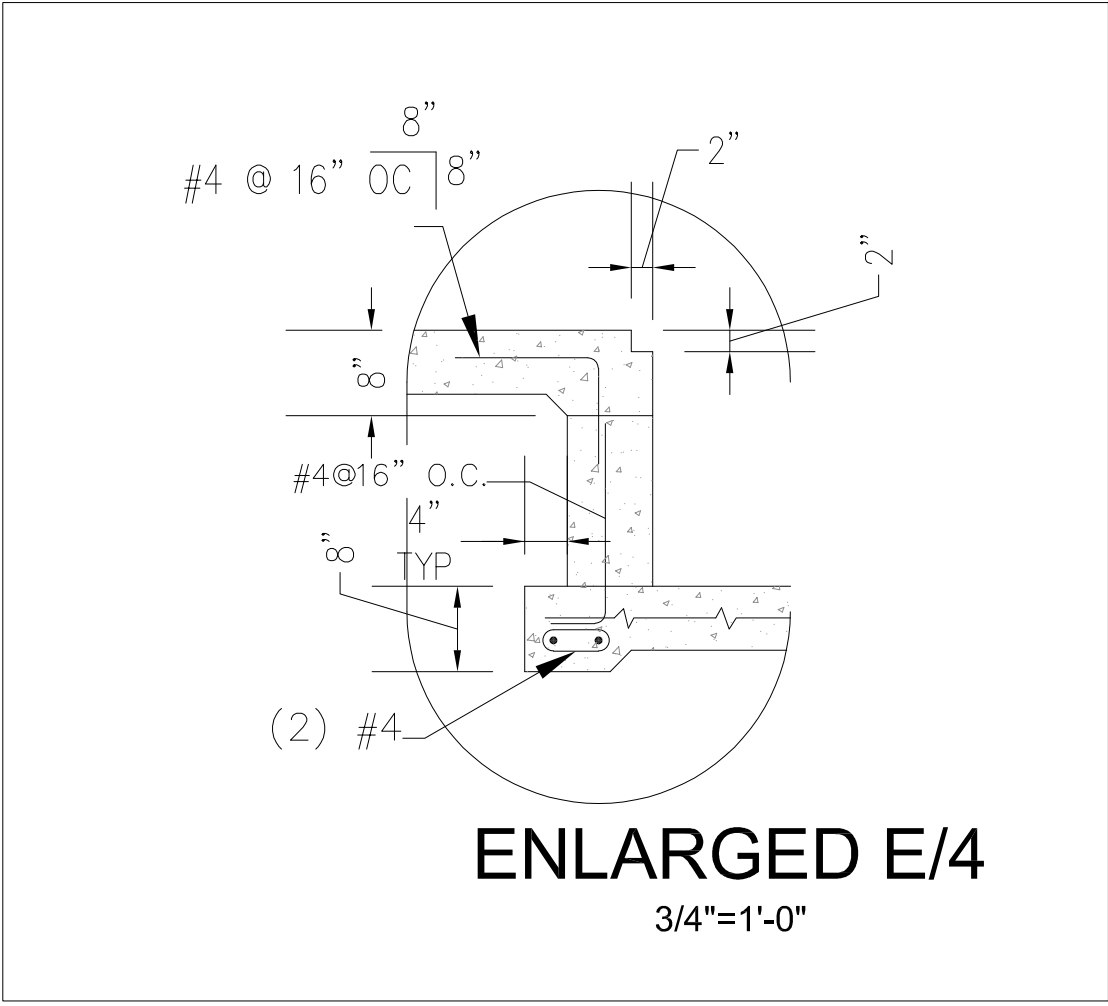
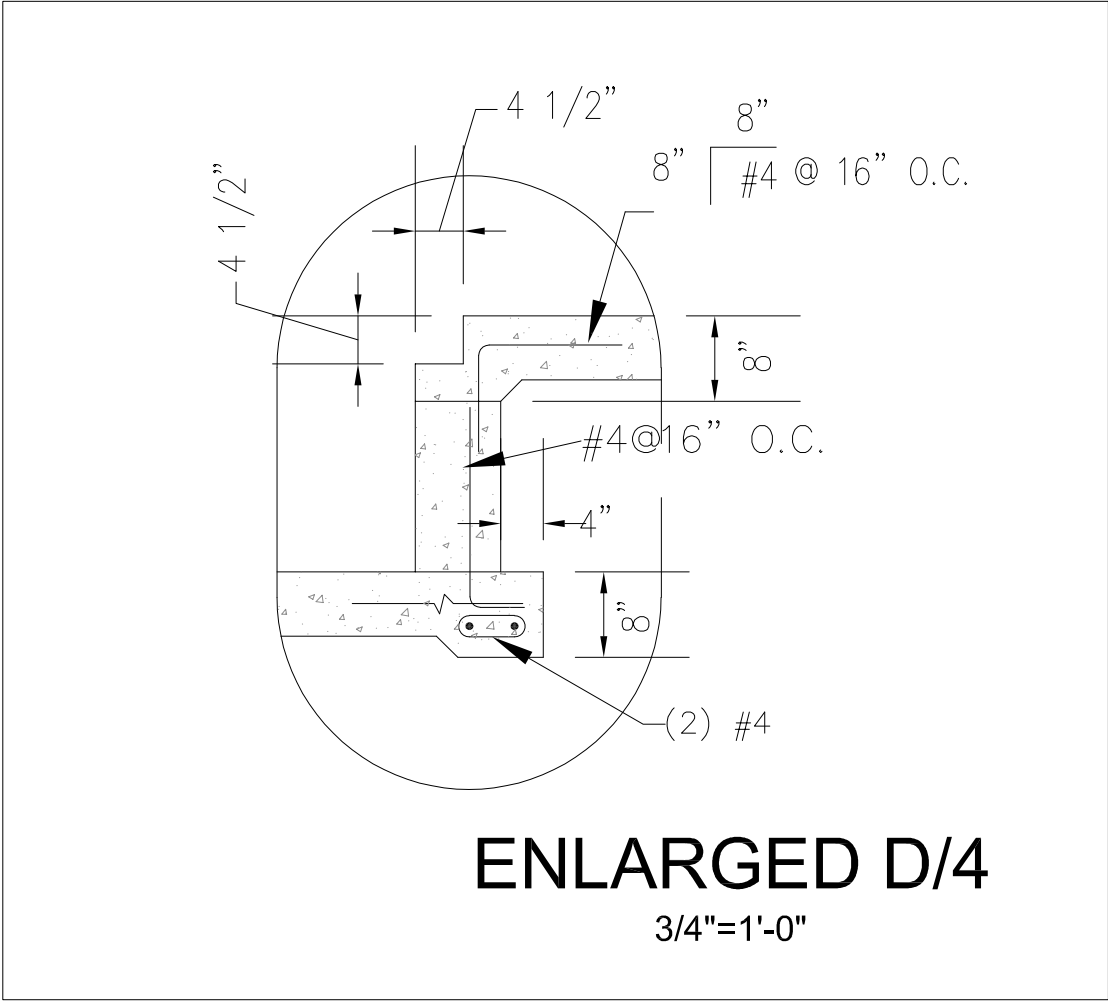
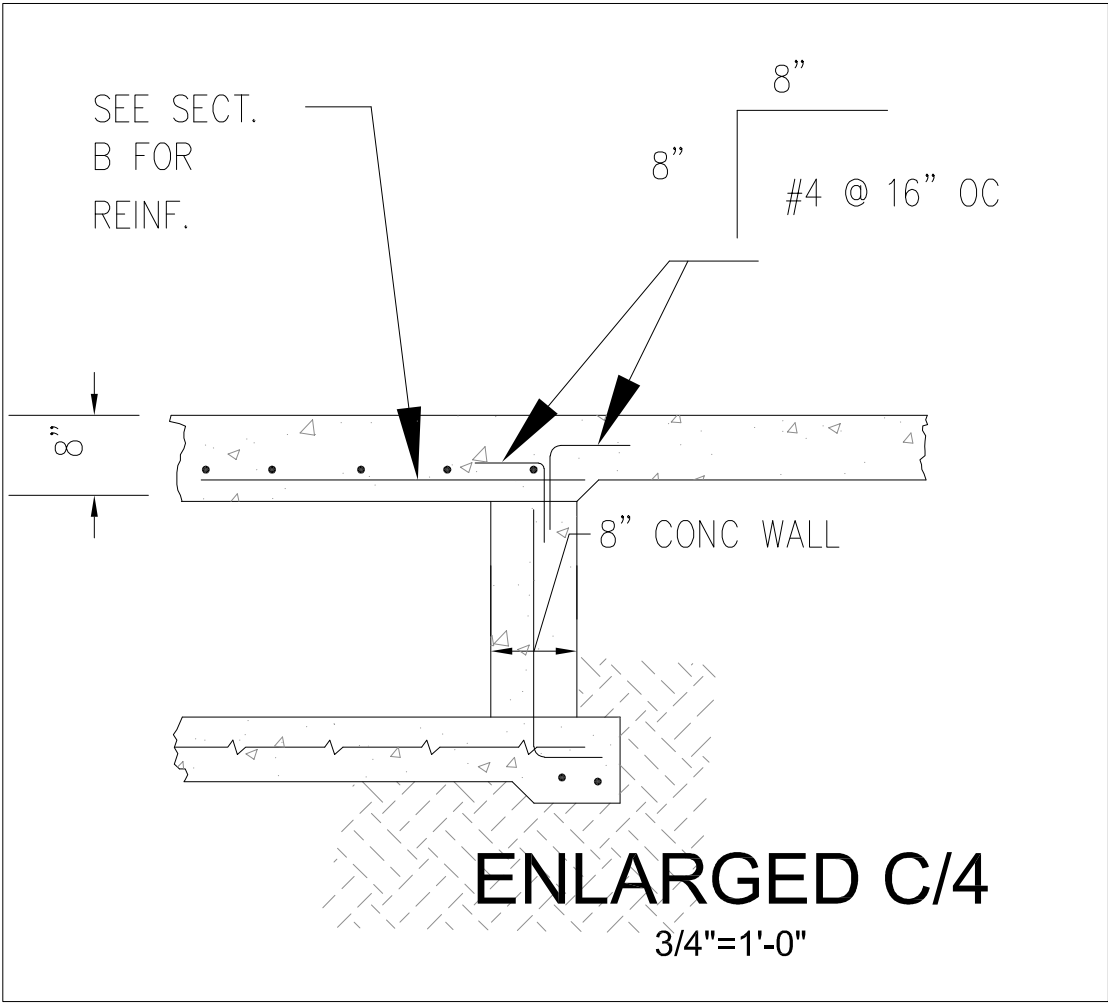
C. PELL, ARCHITECT, LLC
c.pell_arch@chao.com
6354 S. BLACKHAWK WAY, 303-718-1343

STATE OF COLORADO
CHARLES C. PELL
B-911
LICENSED ARCHITECT

CLEAR MAX COLLISION
2425 WAYSIDE COURT

SHEET 3
OF 4

DATE: 28FEB19
PROJECT: 2018-BAKER-CLEARMAX



NO CHANGE TO BUILDING EXCEPT NEW BOOTH

C. PELL, ARCHITECT, LLC
cpell_arch@yahoo.com
6354 S. BLACKHAWK WAY, 303-718-1343

STATE OF COLORADO
CHARLES C. PELL
B-911
LICENSED ARCHITECT

CLEAR MAX COLLISION
2425 WAYSIDE COURT

SHEET 4
OF 4

DATE: 28FEB19
PROJECT: 2018-BAKER-CLEARMAX