

# Site Data Table

## Property Owner:

Tracy and Sandra Ackerman

2407 Warwick Lane

Colorado Springs, CO 80909

## Applicant:

Bryan Dorman

8569 Valley Ranch Point

Fountain, CO 80817

Parcel ID #: 5406204026

Site Address: 2425 Wayside Court

Zoning District: I-2 CAD-O

Total Acreage: 1.42 AC

Existing Building SF: 10,538 SF

Proposed Use: Vehicle Repair Garage

**Required Parking:** Land Development Code Requires 1 space/employee on max shift, plus 3 spaces per bay or stall.

3 Employees + (4 Bays x 3 Spaces) = 15 parking Spaces

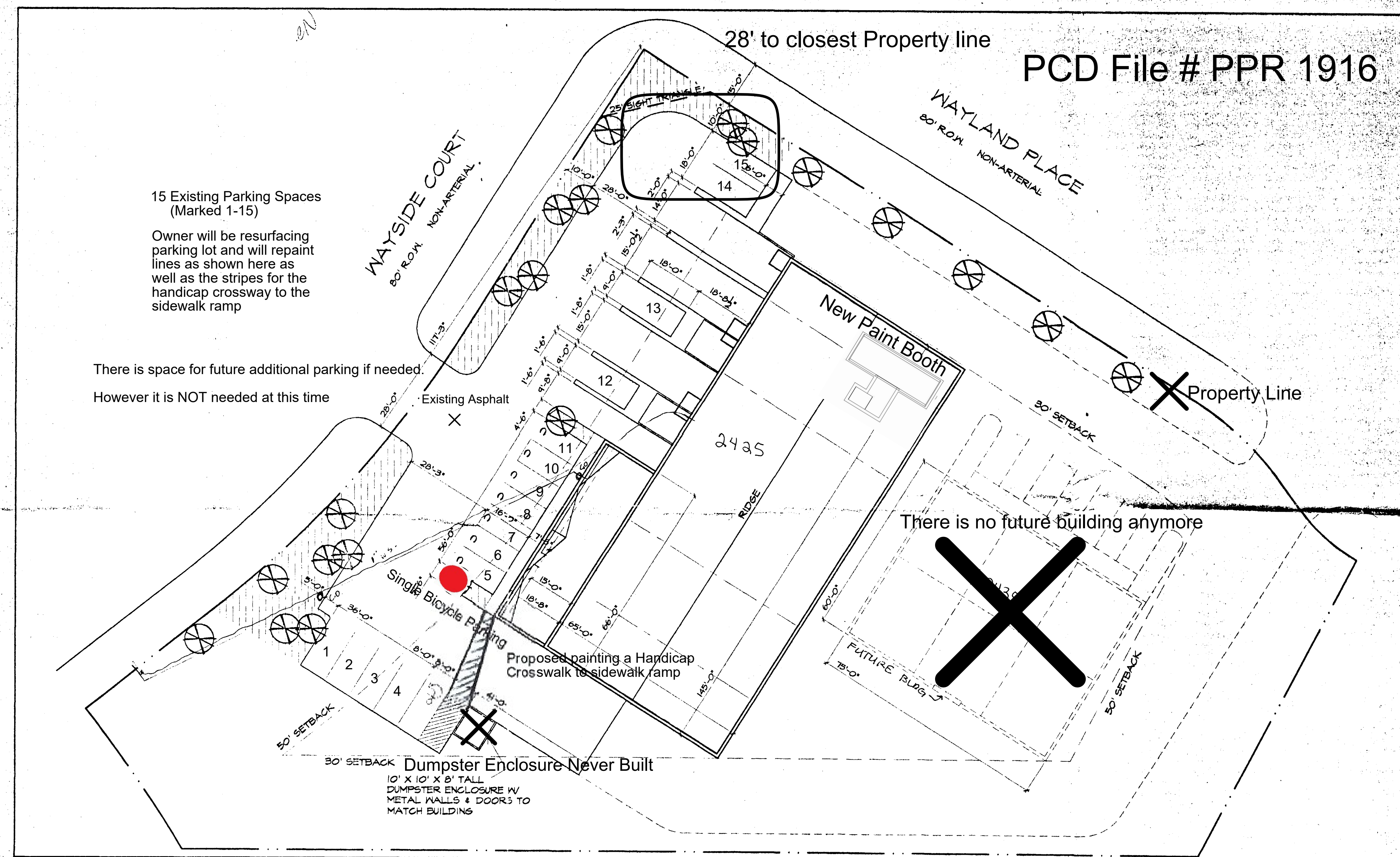
**Provided Parking:** 15 spaces shown on previously approved site plan but room for up to 26 parking spaces on the lot.

**Provided Disabled parking spaces:** 1 space

**Required Bicycle Parking:** Land Development Code requires 5% of the number of the required vehicle parking spaces.

**Provided Bicycle Parking:** One Space

The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.



**A** SITE PLAN / ROOF PLAN  
SCALE: 1" = 20'-0"

## CODE ANALYSIS

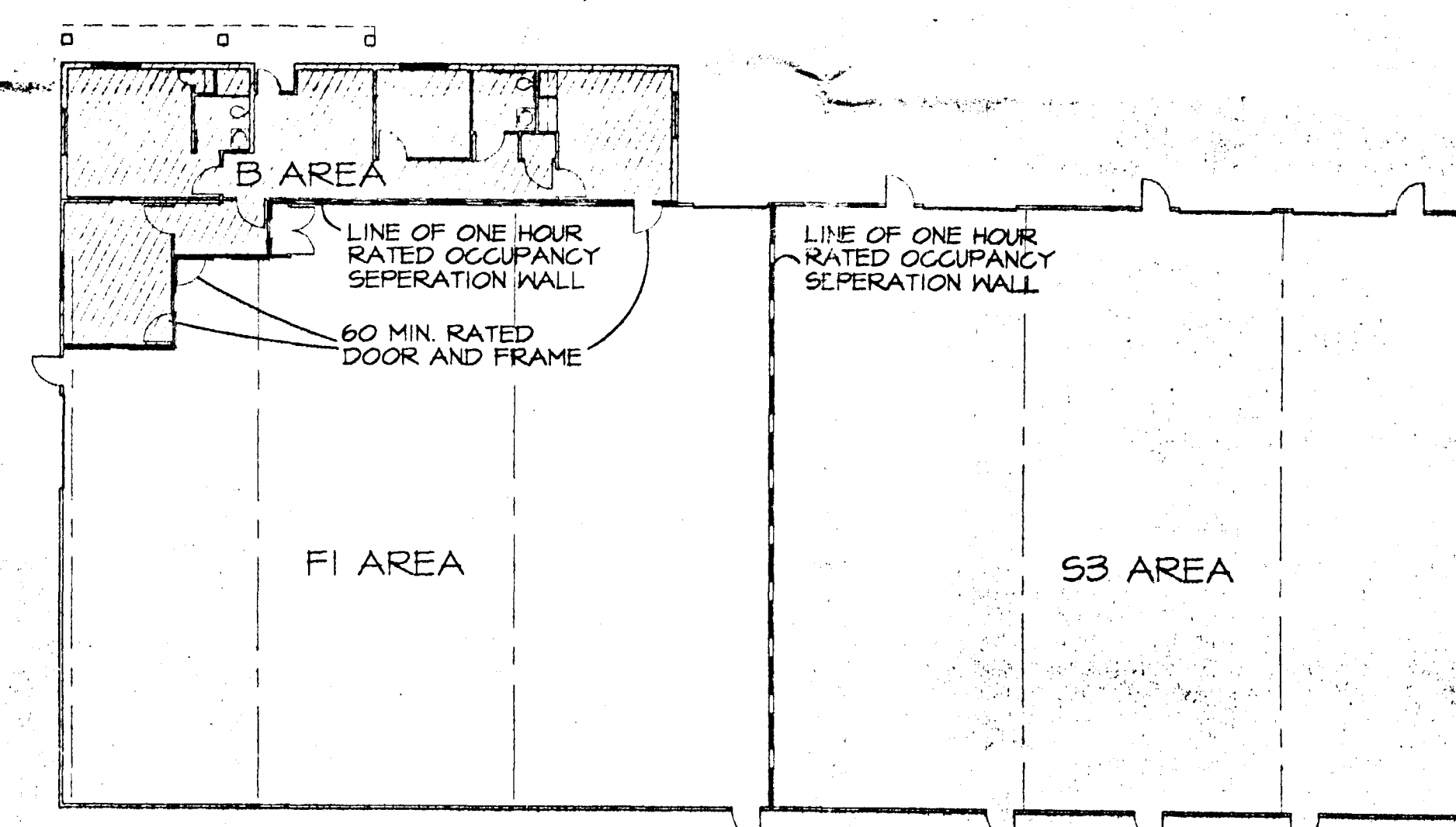
1997 UBC  
OCCUPANCY: B, FI, S3  
TOTAL BUILDING AREA = 10,538 SF.  
B OFFICE AREA = 1261 SF. CONSTRUCTION TYPE V N 2 STORY MAX. 8,000 SF. MAX.  
OCCUPANT LOAD FACTOR: 13 OCCUPANTS (1/100), 1 EXIT REQUIRED.  
FI = 4,687 SF. CONSTRUCTION TYPE V N 2 STORY MAX. 8,000 SF. MAX.  
OCCUPANT LOAD FACTOR: 24 OCCUPANTS (1/200), 1 EXIT REQUIRED.  
S3 = 4,530 SF. CONSTRUCTION TYPE V N 2 STORY MAX. 8,000 SF. MAX.  
OCCUPANT LOAD FACTOR: 10 OCCUPANTS (1/500), 1 EXIT REQUIRED.  
EXIT WIDTH = 0.2' / PERSON = 13.5' MIN. REQ'D, 36' PROVIDED  
ONE HOUR OCCUPANCY SEPERATION WALL REQ'D. BETWEEN B AND FI SPACES  
ONE HOUR OCCUPANCY SEPERATION WALL REQ'D. BETWEEN S3 AND FI SPACES  
AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED PER 904.2.5.1 N THE FI AREA OF THE BLDG.

15 PARKING SPACES REQ'D.  
8 FULL SIZE SPACES PROVIDED  
1 COMPACT SPACES PROVIDED  
1 FULL SIZE HANDICAPPED SPACE PROVIDED

BUILDING HEIGHTS NOT TO EXCEED 35'  
ZONE: ~~PD~~ (ADJ. PROPERTIES ZONED PD)  
1.42 ACRES TAX SCHED. NO. 54062-04-026  
LEGAL: LOT 2 INDIAN SPRINGS INDUSTRIAL CENTER

ALL LANDSCAPING TO BE DRIP IRRIGATED  
3,314 SF. SODDED FINE FESCUE TURFGRASS ON PREPARED TRI-MIX SOILBED = 5.3% SITE AREA

4' HIGH PINON PINE BALLED AND BURLAPPED



**B** CODE CHECK FLOOR PLAN  
SCALE: 1/16" = 1'-0"

Approved

By: Craig Dossey, Executive Director

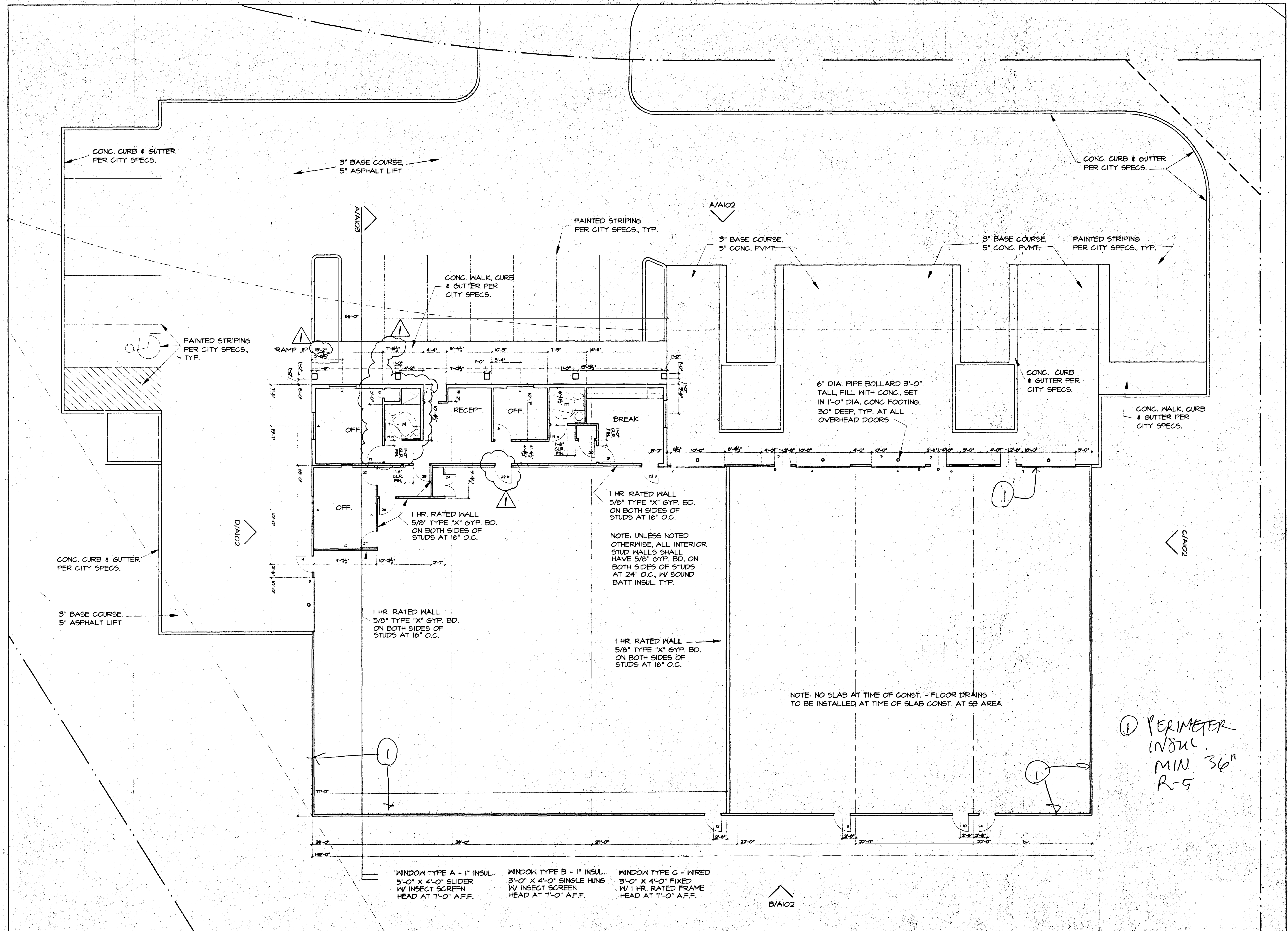
Date: 05/22/2019

El Paso County Planning & Community Development



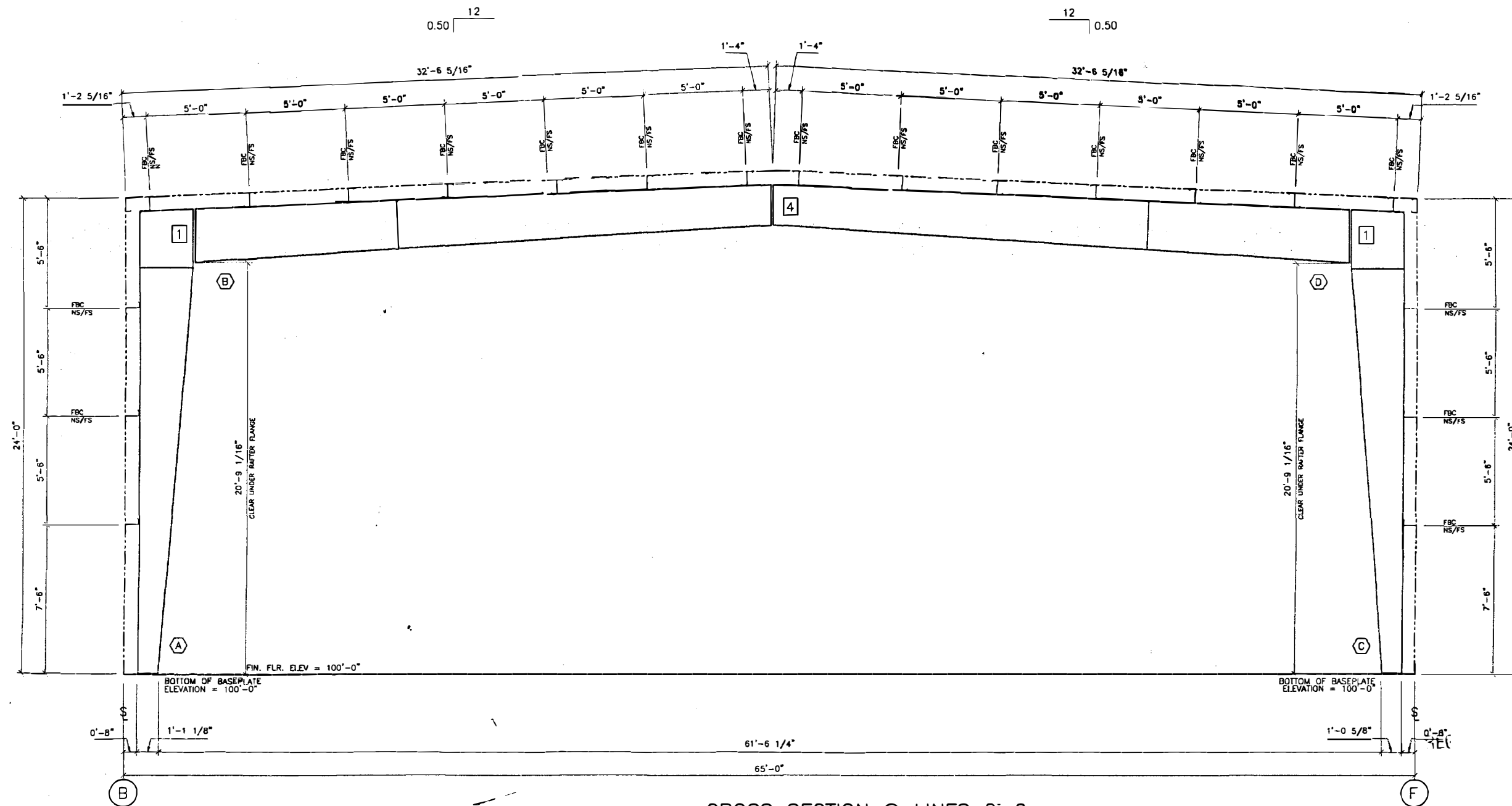
Zone: I-2 CAD-O





A  
A101

FLOOR PLAN  
SCALE: 1/8" = 1'-0"



CROSS SECTION @ LINES 2-6

**NOTES:**

- 1) FOR COLUMN AND RAFTER MARK NUMBERS, SEE EITHER SHEET E1 (ROOF FRAMING PLAN).
- 2) FBC\_\_\_ INDICATES FLANGE BRACING LOCATIONS ON PURLIN ROOFS.  
FBD\_\_\_ INDICATES FLANGE BRACING LOCATIONS ON JOIST ROOFS.
- 3) NS/FS INDICATES THAT FLANGE BRACING IS REQUIRED ON BOTH SIDES OF THE FRAME LINE. NOTE FOR EXPANDABLE ENDWALL RIGID FRAMES: IF FLANGE BRACING IS REQUIRED ON BOTH SIDES OF AN EXPANDABLE ENDFRAME, THE OPPOSITE SIDE FLANGE BRACE WILL HAVE TO BE INSTALLED AT THE TIME OF EXPANSION. THESE FLANGE BRACES HAVE BEEN PROVIDED, AS REQUIRED, FOR THIS FUTURE CONDITION.
- 4) IF NS/FS FLANGE BRACING IS NOT INDICATED, ONLY ONE FLANGE BRACE IS REQUIRED AND CAN BE LOCATED ON EITHER SIDE OF THE FRAME.
- 5) "\*" INDICATES THE LONG SIDE OF INTERIOR COLUMNS. IF INTERIOR COLUMNS ARE REQUIRED, ORIENT AND ERECT THOSE COLUMNS ACCORDINGLY. NOTE: COLUMNS LOCATED AT THE RIDGE ARE TYPICALLY "FLAT-TOP" COLUMNS, UNLESS INDICATED BY THE "\*" SYMBOL.
- 6) RIGID FRAMES SHALL HAVE 50% OF THEIR BOLTS INSTALLED AND TIGHTENED ON BOTH SIDES OF THE WEB ADJACENT TO EACH FLANGE BEFORE THE HOISTING EQUIPMENT IS RELEASED.

**BOLT SCHEDULE**

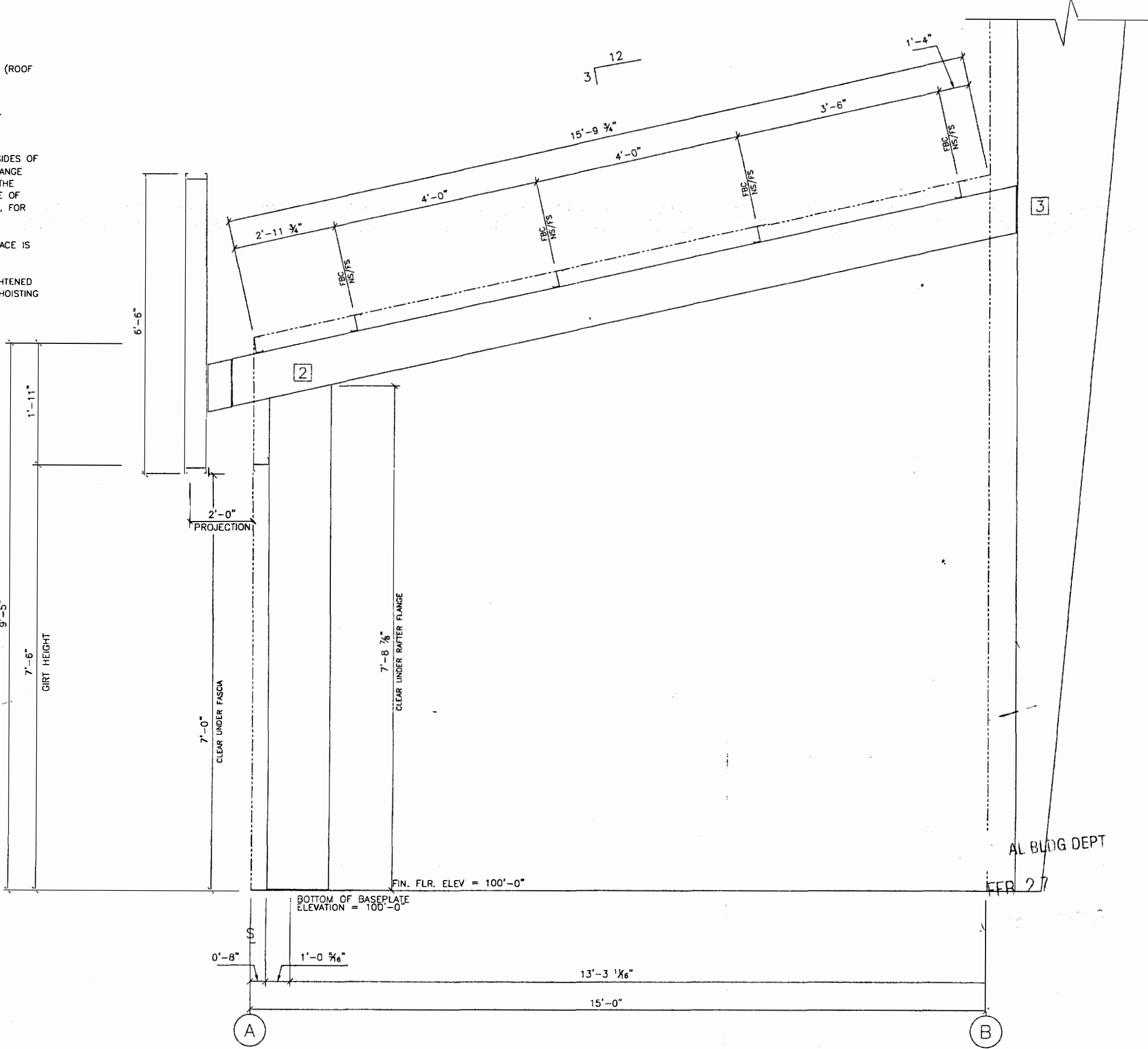
| MBR ID | LOW PLATE WIDTH THICK | HIGH PLATE WIDTH THICK | OUTSIDE FLANGE WIDTH THICK LENGTH    | INSIDE FLANGE WIDTH THICK LENGTH | MEMBER WEB DEPTH THICK LENGTH | CON ID | BOLT QTY | BOLT DESCRIPTION              | BOLT PART# | NUT PART# |
|--------|-----------------------|------------------------|--------------------------------------|----------------------------------|-------------------------------|--------|----------|-------------------------------|------------|-----------|
| A      | 8.00 0.50             | 6.00 0.63              | 6.00 0.50 279.56                     | 6.00 0.63 246.13                 | 13.13 0.175 245.33            | 1      | 8        | BOLT/NUT 3/4" X 2 3/4" A325   | H0630      | H0320     |
|        |                       |                        |                                      |                                  | 33.13 0.275 34.23             | 2      | 8        | BOLT/NUT 1/2" X 2" A325       | H0603      | H0300     |
|        |                       |                        |                                      |                                  | 33.13                         | 3      | 8        | BOLT/NUT 5/8" X 2 1/4" A325   | H0610      | H0310     |
| B      | 6.00 0.63             | 6.00 0.63              | 6.00 0.25 121.69<br>6.00 0.31 226.19 | 6.00 0.31 348.31                 | 32.56 0.225 121.69            | 4      | 8        | BOLT/NUT 1" X 3 1/4" A325     | H0640      | H0330     |
|        |                       |                        |                                      |                                  | 29.81 0.200 226.22            | 5      | 8        | BOLT/NUT 1 1/4" X 3 1/2" A325 | H0660      | H0340     |
|        |                       |                        |                                      |                                  | 24.63                         |        |          |                               |            |           |
| C      | 8.00 0.50             | 6.00 0.63              | 6.00 0.25 279.56                     | 6.00 0.38 246.13                 | 12.63 0.175 245.33            |        |          |                               |            |           |
|        |                       |                        |                                      |                                  | 32.63 0.275 34.23             |        |          |                               |            |           |
|        |                       |                        |                                      |                                  | 32.63                         |        |          |                               |            |           |
| D      | 6.00 0.63             | 6.00 0.63              | 6.00 0.25 121.06<br>6.00 0.31 227.06 | 6.00 0.31 348.56                 | 32.56 0.225 121.06            |        |          |                               |            |           |
|        |                       |                        |                                      |                                  | 29.81 0.200 227.09            |        |          |                               |            |           |
|        |                       |                        |                                      |                                  | 24.63                         |        |          |                               |            |           |

CROSS SECTION @ LINES 2-3

NOTES:

- 1) FOR COLUMN AND RAFTER MARK NUMBERS, SEE EITHER SHEET E1 (ROOF FRAMING PLAN).
- 2) FBC\_\_\_ INDICATES FLANGE BRACING LOCATIONS ON PURLIN ROOFS.  
FBD\_\_\_ INDICATES FLANGE BRACING LOCATIONS ON JOIST ROOFS.
- 3) NS/FS INDICATES THAT FLANGE BRACING IS REQUIRED ON BOTH SIDES OF THE FRAME LINE. NOTE FOR EXPANDABLE ENDWALL RIGID FRAMES: IF FLANGE BRACING IS REQUIRED ON BOTH SIDES OF AN EXPANDABLE ENDFRAME, THE OPPOSITE SIDE FLANGE BRACE WILL HAVE TO BE INSTALLED AT THE TIME OF EXPANSION. THESE FLANGE BRACES HAVE BEEN PROVIDED, AS REQUIRED, FOR THIS FUTURE CONDITION.
- 4) IF NS/FS FLANGE BRACING IS NOT INDICATED, ONLY ONE FLANGE BRACE IS REQUIRED AND CAN BE LOCATED ON EITHER SIDE OF THE FRAME.
- 5) RIGID FRAMES SHALL HAVE 50% OF THEIR BOLTS INSTALLED AND TIGHTENED ON BOTH SIDES OF THE WEB ADJACENT TO EACH FLANGE BEFORE THE HOISTING EQUIPMENT IS RELEASED.

| BOLT SCHEDULE |          |                               |            |           |  |
|---------------|----------|-------------------------------|------------|-----------|--|
| CON ID        | BOLT QTY | BOLT DESCRIPTION              | BOLT PART# | NUT PART# |  |
| 1             | 8        | BOLT/NUT 3/4" X 2 3/4" A325   | H0630      | H0320     |  |
| 2             | 4        | BOLT/NUT 1/2" X 2" A325       | H0603      | H0300     |  |
| 3             | 2        | BOLT/NUT 5/8" X 2 1/4" A325   | H0610      | H0310     |  |
| 4             | 8        | BOLT/NUT 1" X 3 1/4" A325     | H0640      | H0330     |  |
| 5             | 8        | BOLT/NUT 1 1/4" X 3 1/2" A325 | H0660      | H0340     |  |





**X** = Proposed Trees (8)  
 "Trembling Aspen"  
 (Populus tremuloides)

< 2" diameter, ~6' High Planting Size

**Orange Circle** = Existing Deciduous  
 20' High Trees (13)

**Blue Square** = Existing Juniper "Blue Rug"  
 3' High Shrubs (8)

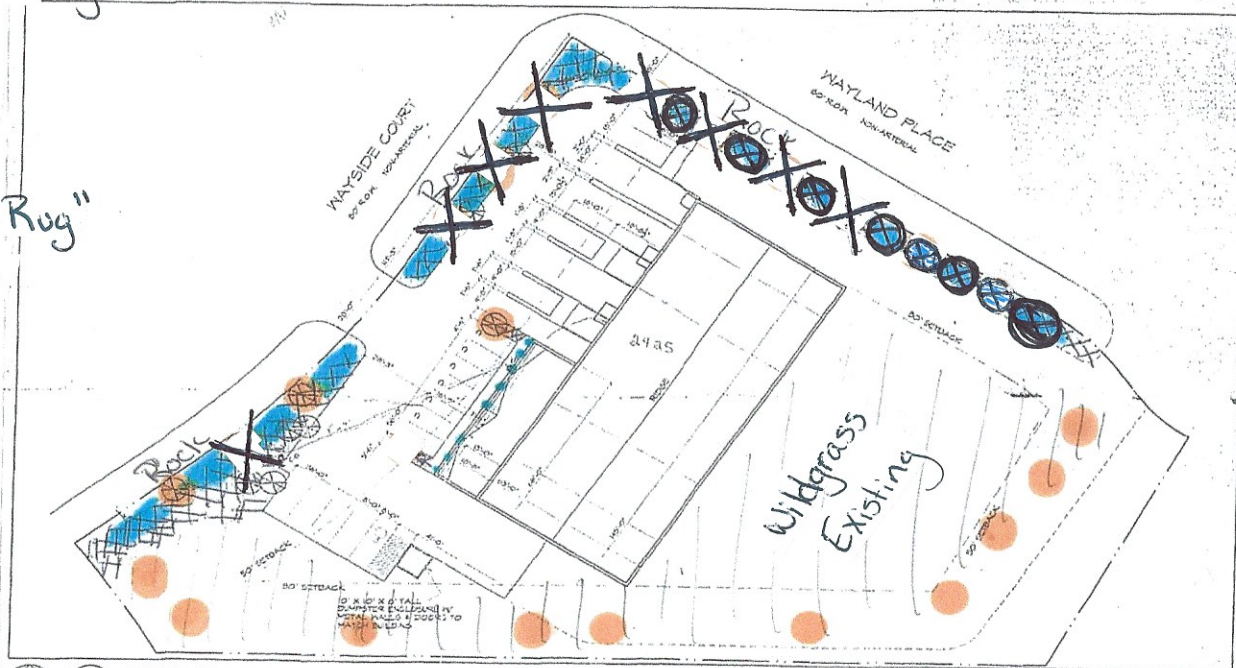
**Blue Circle** = Existing  
 Barberry Shrubs (8)  
 2' High

**Diagonal Lines** = Wildgrass Existing

**Rock Pattern** = Rock Ground Cover  
 Existing

**Blue Circle with X** = Proposed Juniper "Blue Rug" (Juniperus horizontalis 'Wiltonii')  
 3' high Shrubs (8)

PCD File # PPR 1916



**A SITE PLAN / ROOF PLAN**  
 SCALE: 1" = 20'-0"

**Landscape Calculations**

**Roadway Landscaping:** 1 tree/30 linear feet of road frontage along Wayside Court and Wayland Place excluding driveway widths.

Required: 17 Trees

Provided: 23 Existing Trees

**Internal Landscaping:** 5% of the lot shall be landscaped. Please calculate the SF of required landscaping and show the location and SF on the site plan.

Required SF of Internal Landscaping: 3092 SF

Provided SF of Internal Landscaping: 5720 SF

**Parking Lot Landscape Requirements:** For parking areas with 15 or more spaces, one tree is required for every 15 spaces.

Required Parking Lot Trees: 1 Tree

Provided Parking Lot Trees: 2 Existing Trees

**Parking Lot Screening Requirements:** Parking lots shall be screened from view from adjacent roads.

Minimum height of screening to be 3' and can be accomplished with berms or shrub plantings. A minimum of 2/3 of the road frontage along the parking area shall have screening.

Required length of parking lot screening: 341 LF

Provided length of parking lot screening: 476 LF

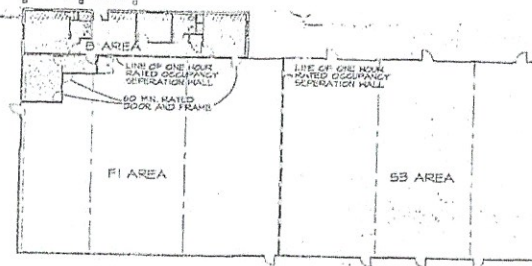
**CODE ANALYSIS**

1997 UBC  
 OCCUPANCY: B, F1, S3 TOTAL BUILDING AREA = 10,518 SF.  
 B OFFICE AREA = 1,661 SF. CONSTRUCTION TYPE V-N 2 STORY MAX. 8,200 SF MAX.  
 OCCUPANT LOAD FACTOR: 15 OCCUPANTS (41/100), 1 EXIT REQUIRED.  
 F1 = 4,687 SF. CONSTRUCTION TYPE V-N 2 STORY MAX. 8,200 SF MAX.  
 OCCUPANT LOAD FACTOR: 14 OCCUPANTS (41/200), 1 EXIT REQUIRED.  
 S3 = 4,550 SF. CONSTRUCTION TYPE V-N 2 STORY MAX. 11,200 SF MAX.  
 OCCUPANT LOAD FACTOR: 10 OCCUPANTS (41/800), 1 EXIT REQUIRED.  
 EXIT WIDTH = 0.21/PERSON = 135' MIN. REQ'D, 36' PROVIDED  
 ONE HOUR OCCUPANCY SEPARATION WALL REQ'D. BETWEEN B AND F1 SPACES  
 ONE HOUR OCCUPANCY SEPARATION WALL REQ'D. BETWEEN S3 AND F1 SPACES  
 AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED PER 90423.1  
 IN THE F1 AREA OF THE BLDG.

15 PARKING SPACES REQ'D.  
 8 FULL SIZE SPACES PROVIDED  
 7 CONTACT SPACES PROVIDED  
 1 FULL SIZE HAND-CARRED SPACE PROVIDED

BUILDING HEIGHTS NOT TO EXCEED 35'  
 ZONE: FID (AD). PROPERTIES ZONED FID  
 1.42 ACRES TAX SCHED. NO. 54262-04-026  
 LEGAL: LOT 2 INDIAN SPRINGS INDUSTRIAL CENTER

ALL LANDSCAPING TO BE  
 DRIP IRRIGATED  
 3.0" GR. BODDED  
 FINE FIBRE  
 TURFGRASS ON  
 PREPARED TRI-  
 MIX SOILBED =  
 5.3% SITE AREA



**B CODE CHECK FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"

All Landscaping is Drip Irrigated

PCD File # PPR 1916

| CODE ANALYSIS  |                      |      |  |       |
|--|----------------------|------|--|-------|
| 2015 IBC, IFC, IPC, IECC IFGC, IEBC, 2014 NEC, ANSI A117.1-09, AND FRR |                      |      |  |       |
| REMODELLING PLANS:   |                      |      |  |       |
| TENANT:  | CLEAR MAX COLLISION  |      | REQUIRED EXITS (TABLE 1006.3.1)          |       |
| ADDRESS:   | 2425 WAYSIDE COURT   |      | 2 EXIT REQUIRED OCC LOAD GREATER THAN 50 |       |
|  | COLORADO SPRINGS, CO |      | 9 EXIT PROVIDED                          |       |
| SF:  | 10,397               |      | ALLOWABLE BLDG HT & AREA (TABLE 506.2)   |       |
| OCC CODE:  | MIXED                |      | TYPE III-B CONST, SPRINKLED, "F-1" OCC   |       |
| CONST TYPE:  | III-B                |      | 1 STORY - 48,000 SF                      |       |
| OCCPANCY QTY:  | SF                   | TYPE | SF/OCC                                   | TOTAL |
|  | 9,174                | F-1  | 100                                      | 92    |
|  | 1,223                | B    | 100                                      | 12    |
|  | TOTAL OCCUPANTS:     |      |  | 104   |
| PLUMBING FIXTURE ANALYSIS  |                      |      |  |       |
| EXISTING NO CHANGE   |                      |      |  |       |

STATEMENT OF WORK:

NO CHANGE TO EXISTING BUILDING,  
INSTALLATION OF PAINT BOOTH AND  
REQUIRED MECHANICAL AND  
ELECTRICAL SYSTEMS ONLY

NO CHANGE OF USE OR OCCUPANCY

CLEAR MAX COLLISION  
2425 WAYSIDE COURT  
COLORADO SPRINGS, CO  
NEW PAINT BOOTH

GENERAL NOTES

- EXISTING WALLS --TO BE DEMOLISHED
- EXISTING WALLS -- TO REMAIN
- ////

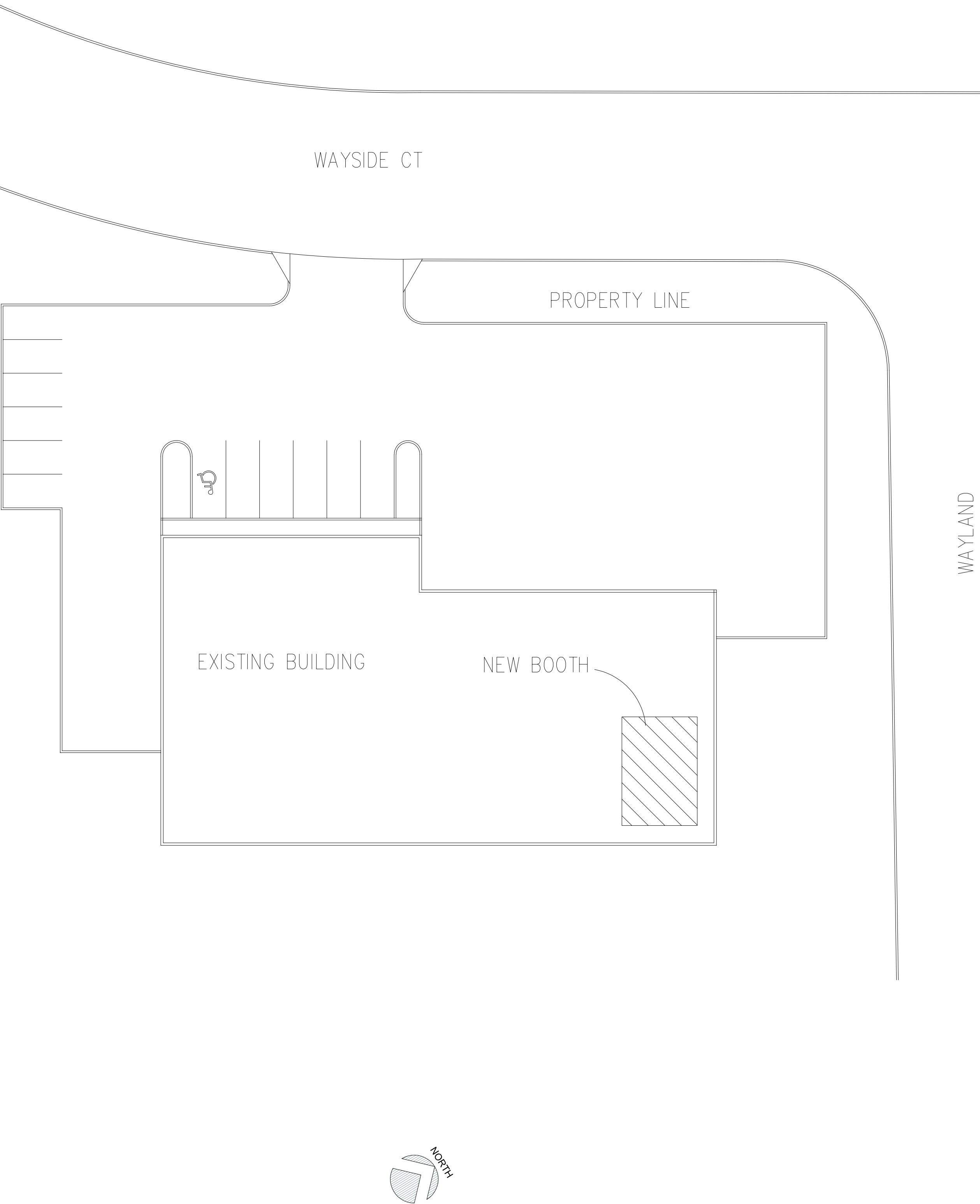
NEW WALLS -- SEE SECTIONS AND FLOOR PLAN

1. NEW CONSTRUCTION SHALL ALIGN AND MATCH EXISTING WORK UNLESS OTHERWISE NOTED
2. ALL EXISTING EQUIPMENT TO BE REMOVED SHALL HAVE ALL RELATED PADS, PIPING, CONTROLS, GAGES, ELECTRICAL SERVICE HANGERS, SUPPORTS, AND ANY MISCELLANEOUS RELATED SERVICE OR, PARTS REMOVED COMPLETELY.
3. AS A MINIMUM STANDARD, ALL WORK AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES HAVING JURISDICTION.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.
5. INSTALL ALL MANUFACTURED ITEMS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS
6. ANY MISCELLANEOUS ITEMS OR MATERIALS NOT SPECIFICALLY NOTED, BUT REQUIRED FOR PROPER INSTALLATION SHALL BE FURNISHED BY THE CONTRACTOR



VICINITY MAP

| DRAWING SCHEDULE |   | CONTENTS |
|------------------|---|----------|
| SHEET            | ARCHITECTURAL                           |          |
| 1                | CODE ANALYSIS, SITE PLAN, GENERAL NOTES |          |
| 2                | PLANS                                   |          |
| 3                | ELEVATIONS                              |          |
| 4                | PIT PLAN AND DETAILS                    |          |



SITE PLAN  
1"=30'-0"

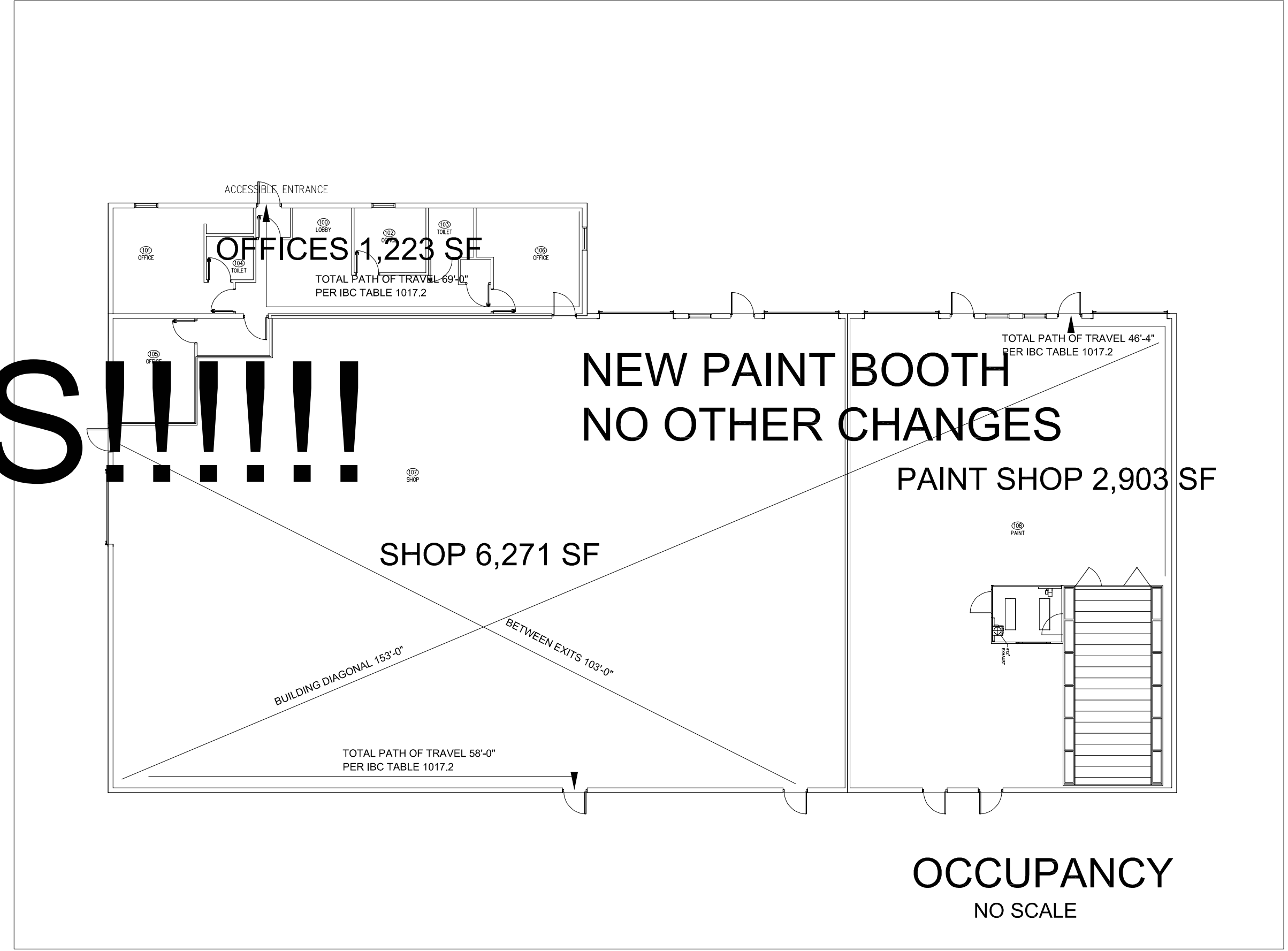
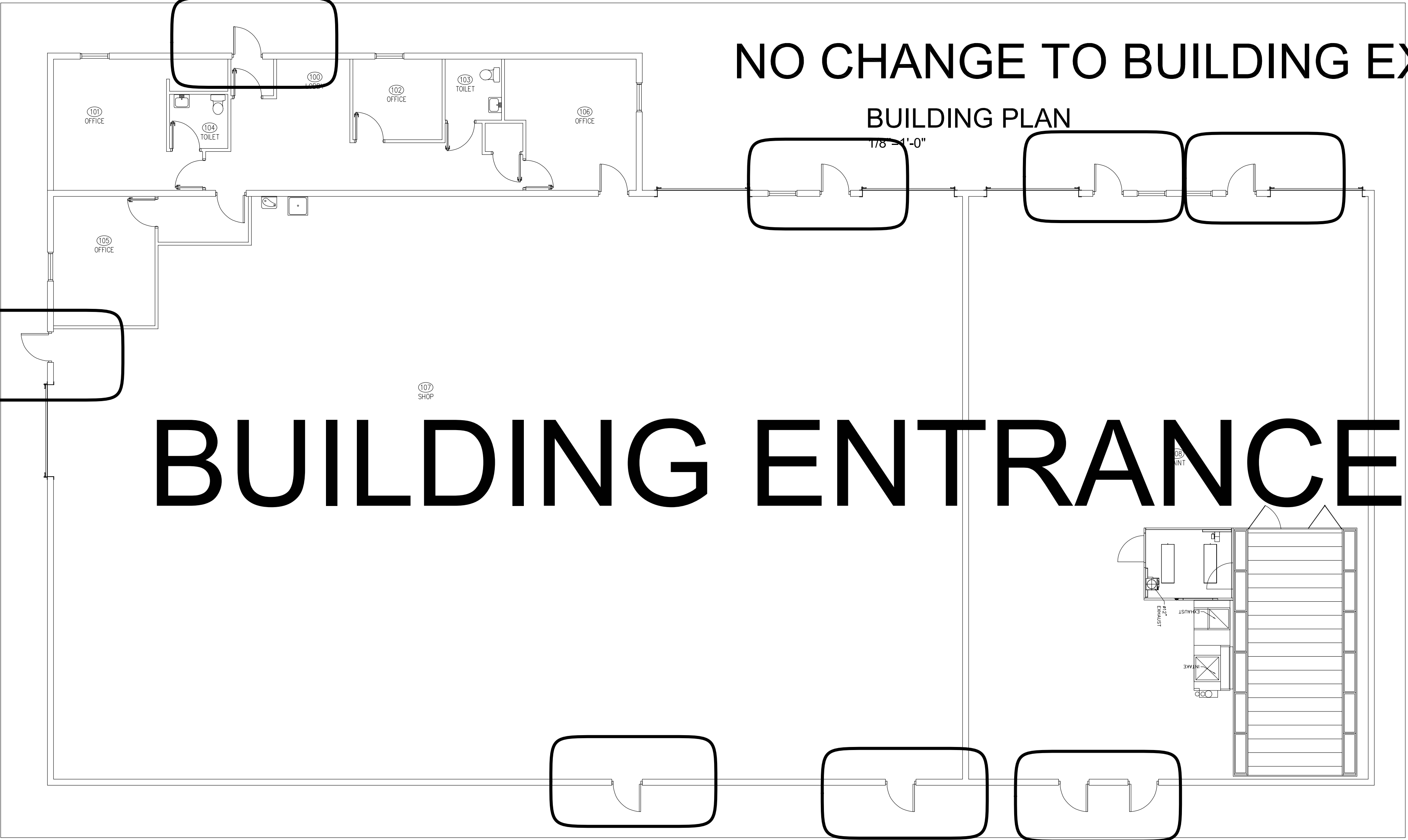
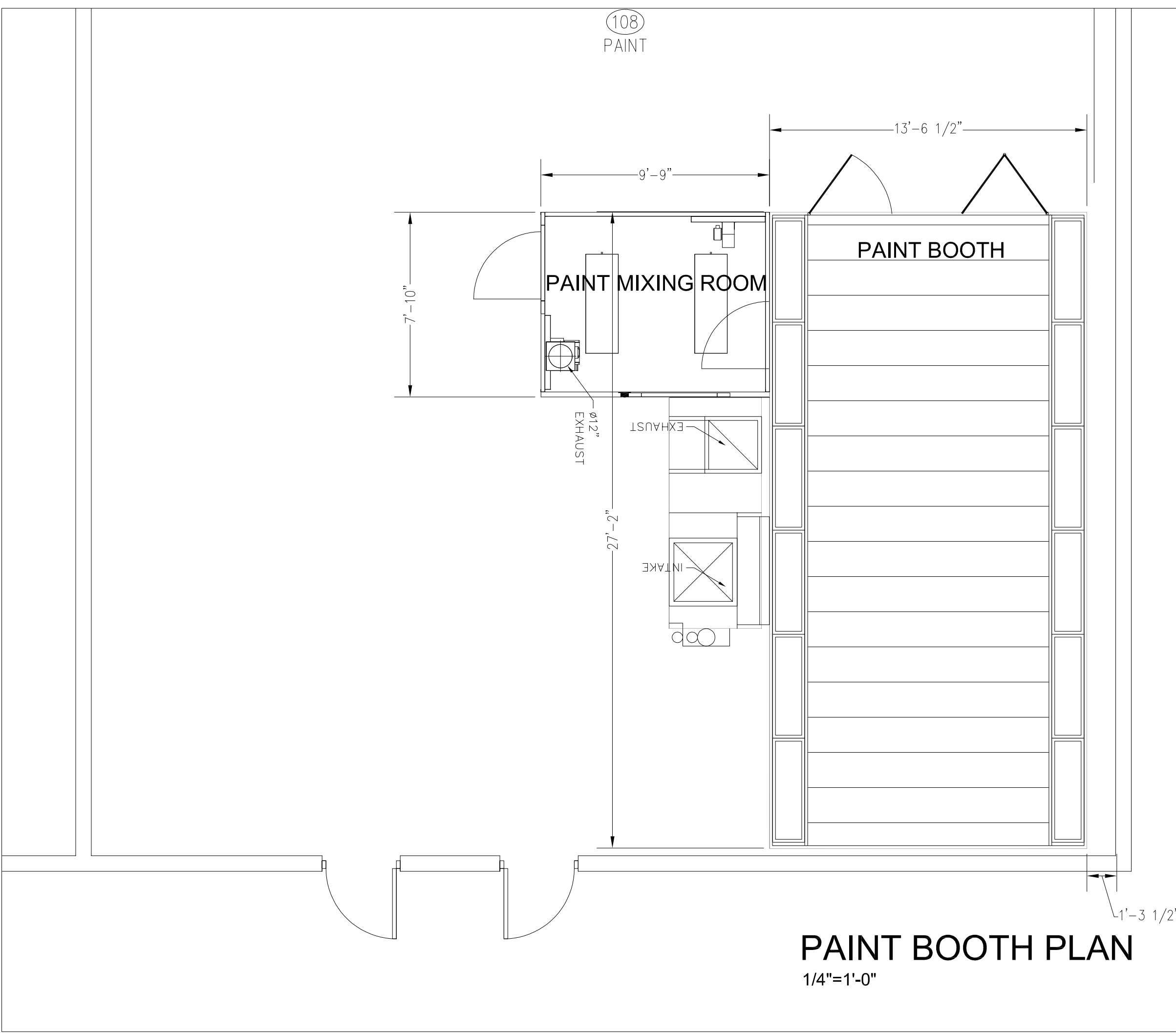
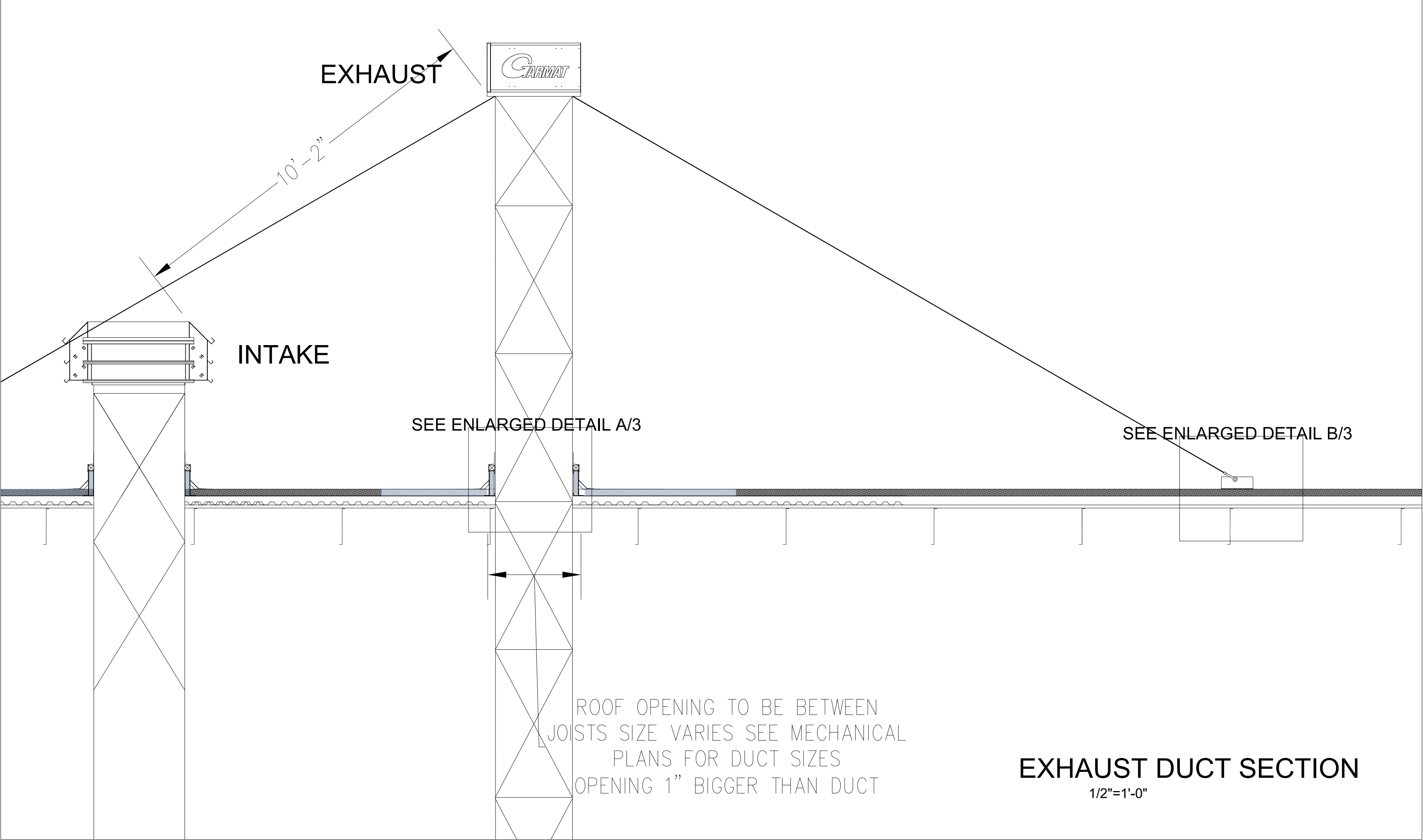
C. PELL, ARCHITECT, LLC  
cpell\_arch@yahoo.com  
6354 S. BLACKHAWK WAY, 303-718-1343

CLEAR MAX COLLISION  
2425 WAYSIDE COURT

SHEET 1  
OF 4

DATE: 28FEB19  
PROJECT: 2018-BAKER-CLEARMAX





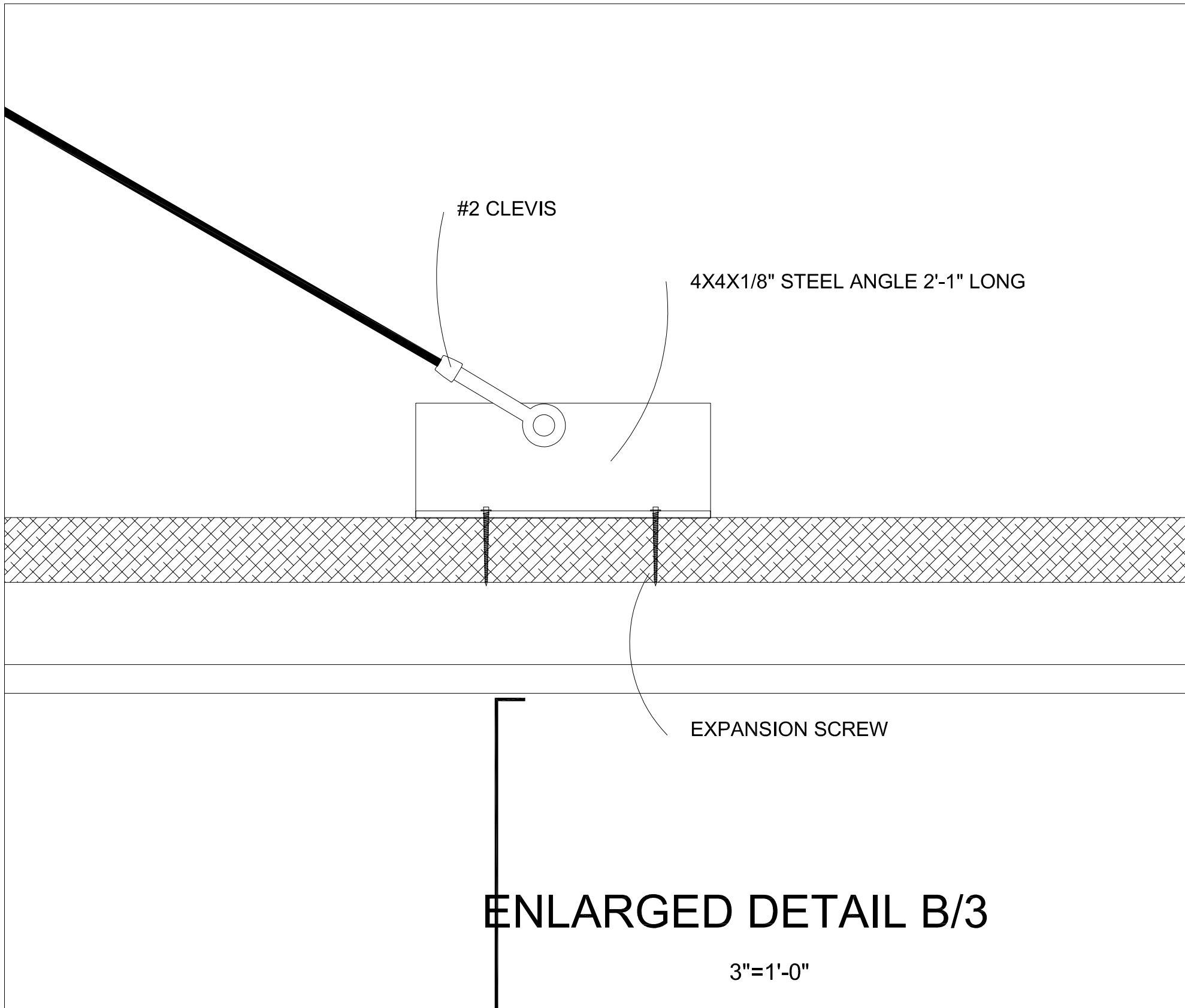
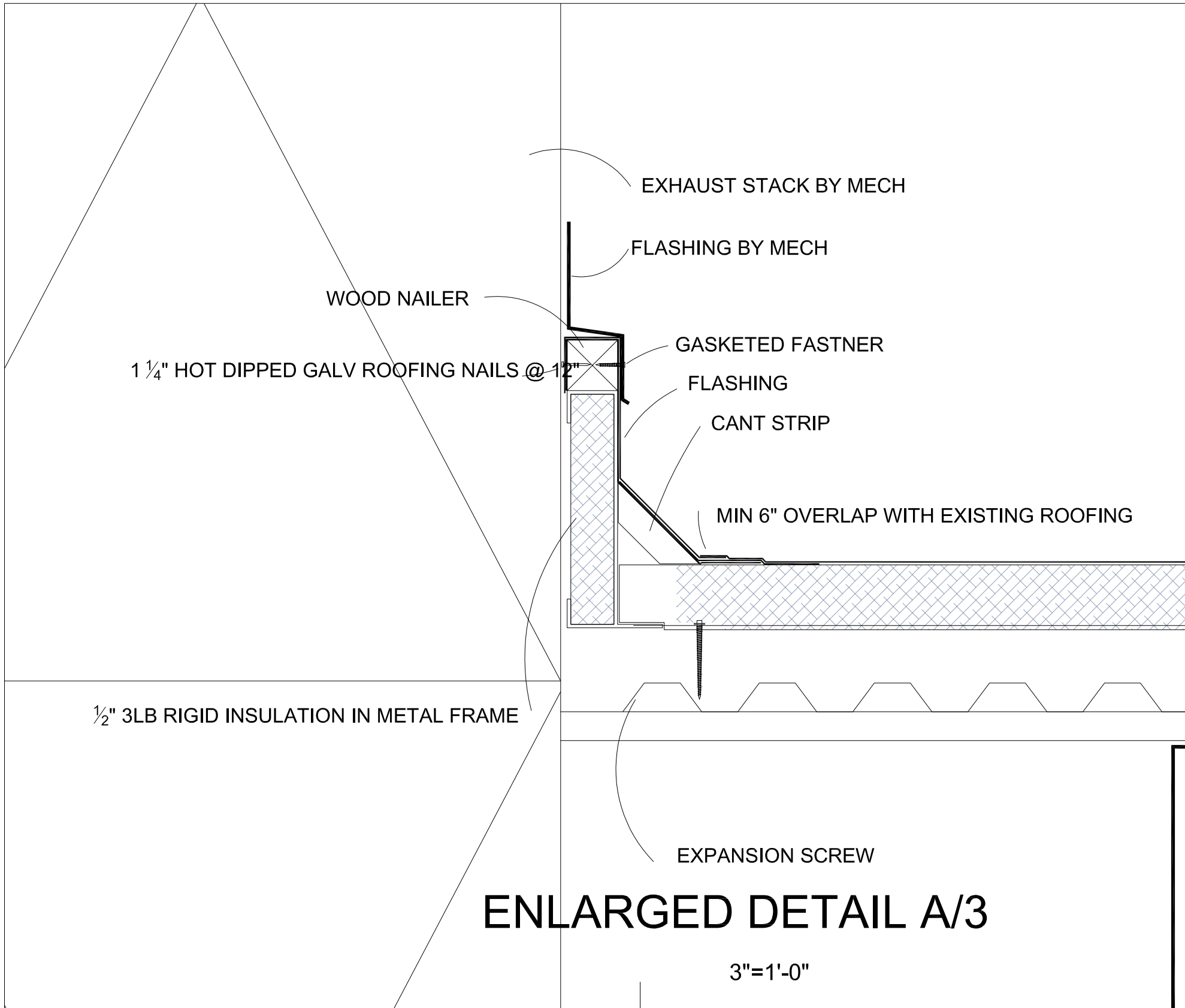
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cpell\_arch@yahoo.com  
6354 S. BLACKHAWK WAY, 303-718-1343

STATE OF COLORADO  
CHARLES C. PELL  
B-911  
LICENSED ARCHITECT

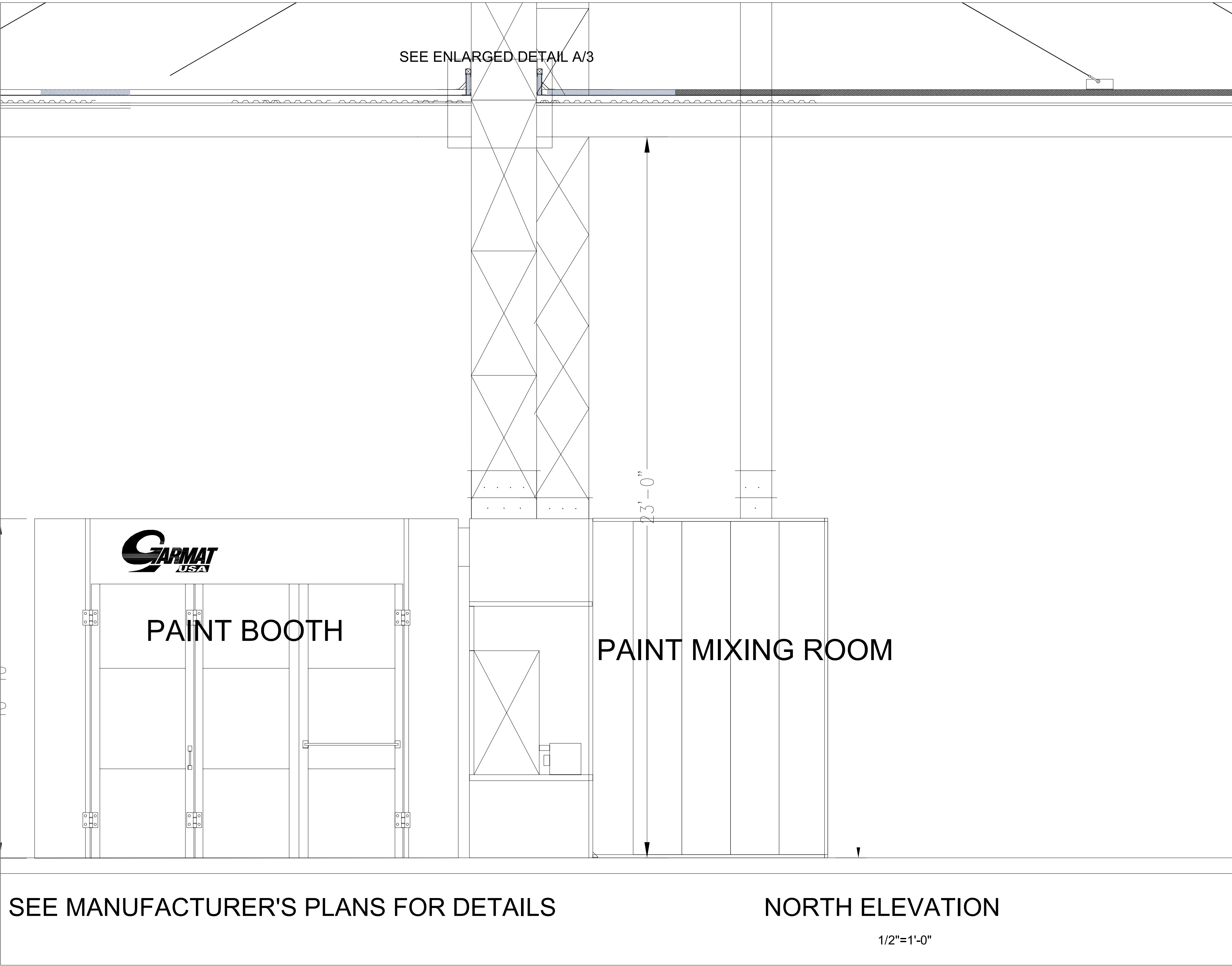
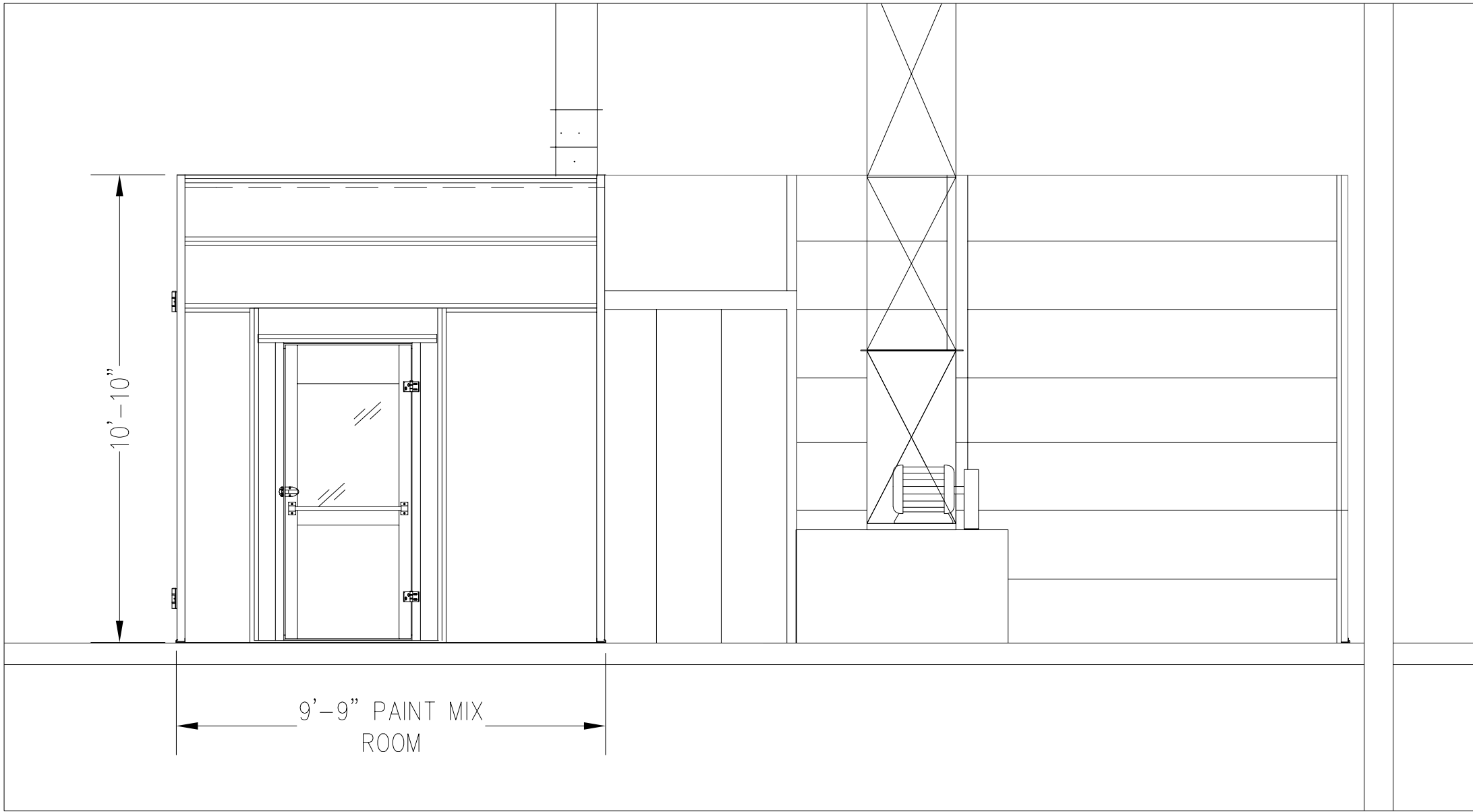
CLEAR MAX COLLISION  
2425 WAYSIDE COURT

SHEET 2  
OF 4

DATE: 28FEB19  
PROJECT: 2018-BAKER-CLEARMAX



**WEST ELEVATION**  
3/8"=1'-0"



C. PELL, ARCHITECT, LLC  
c.pell\_arch@chao.com  
6354 S. BLACKHAWK WAY, 303-718-1343

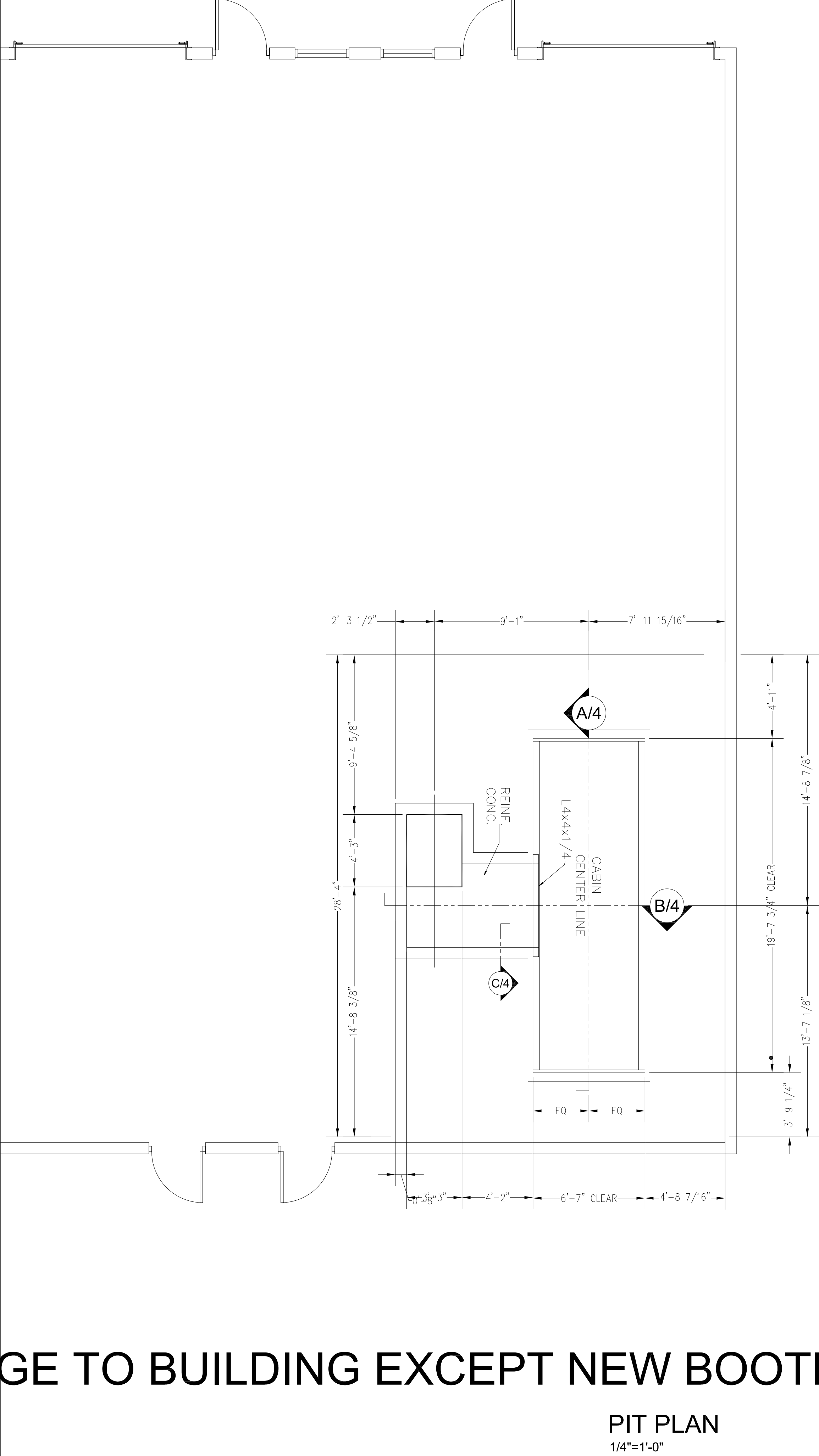
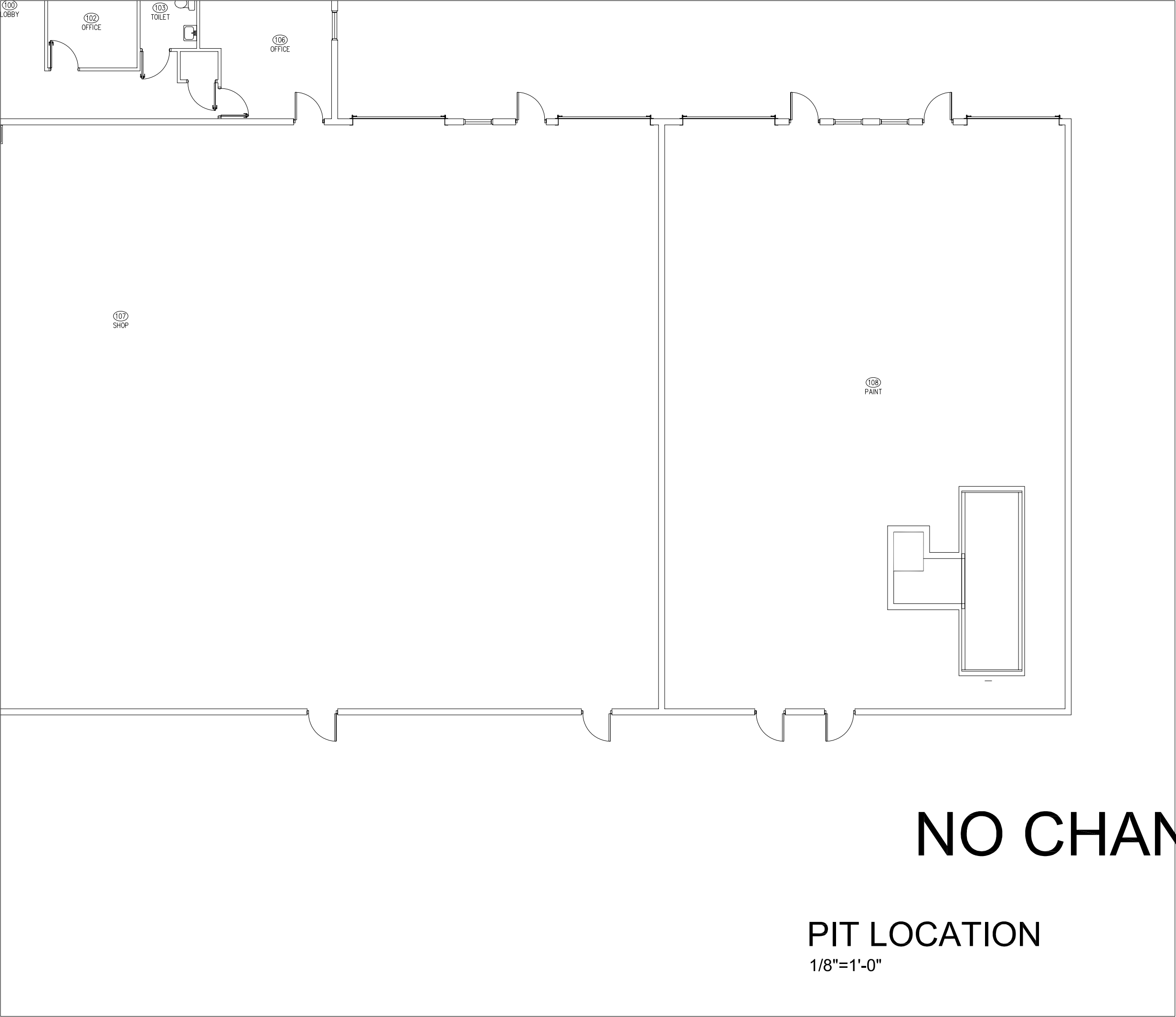
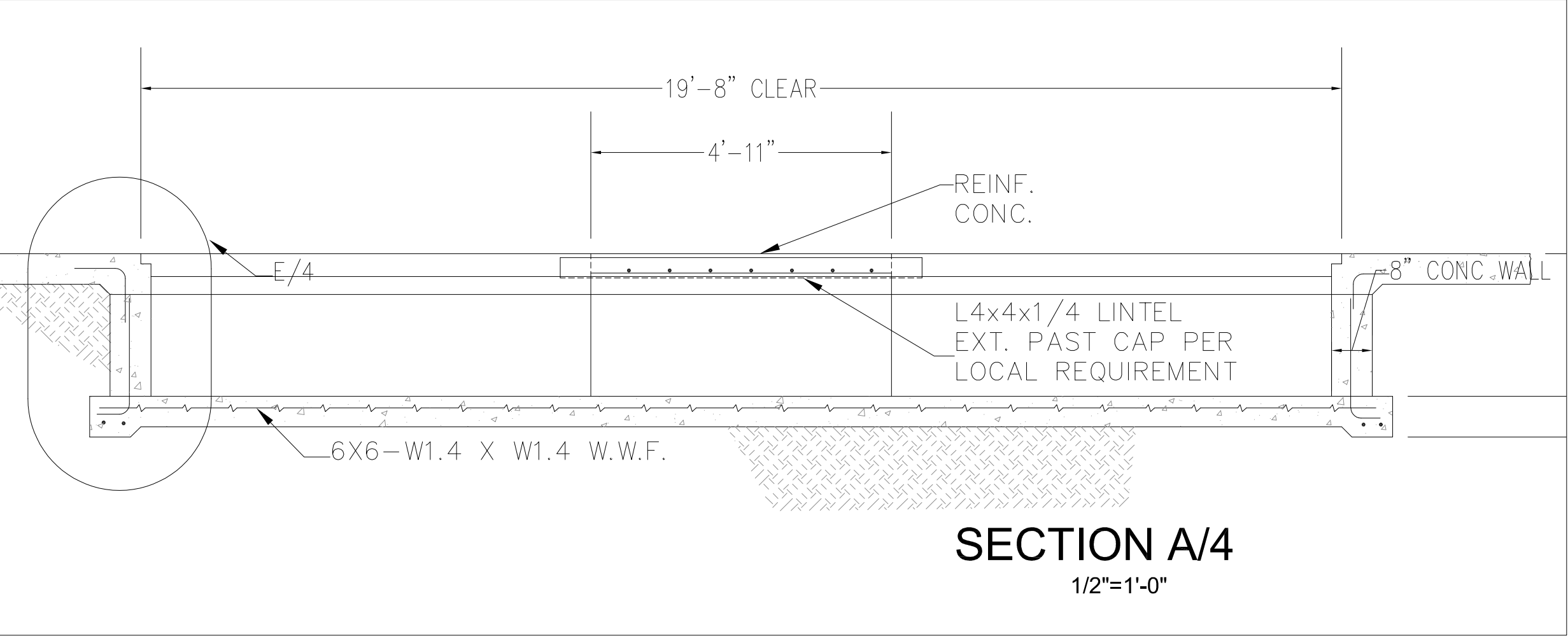
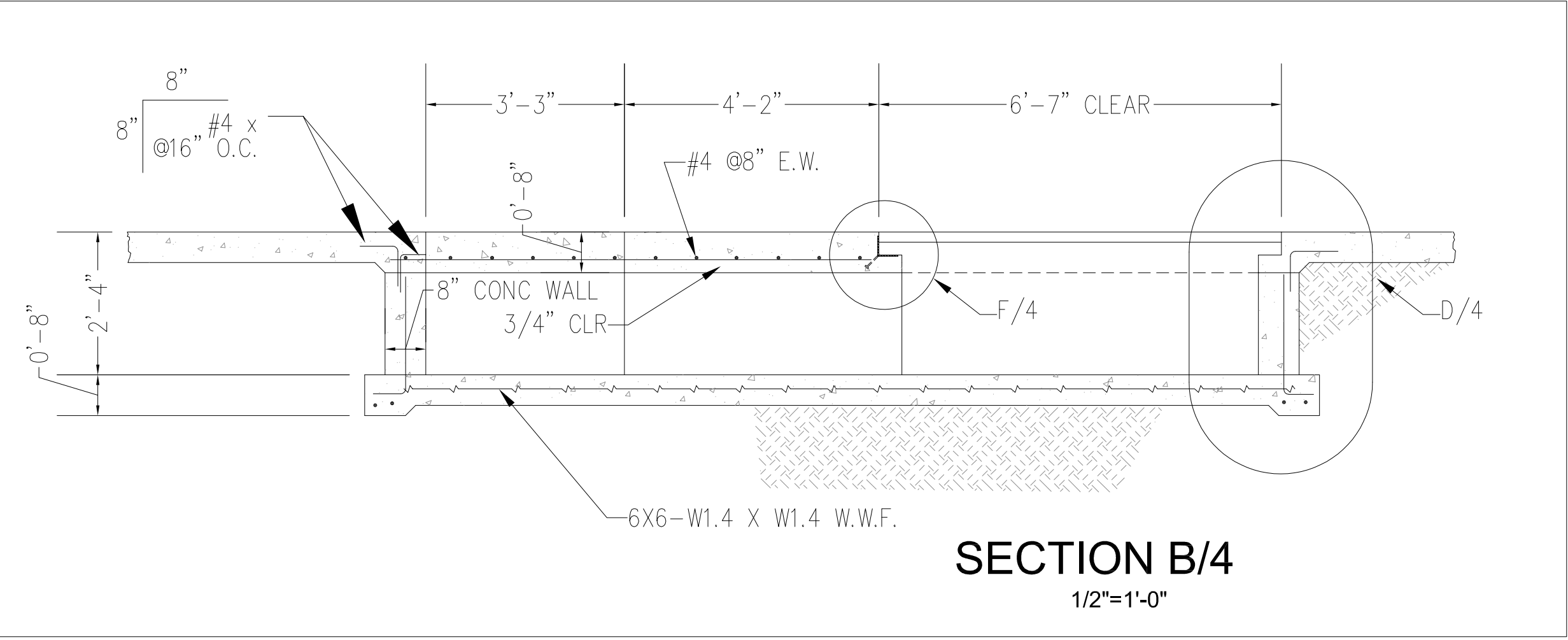
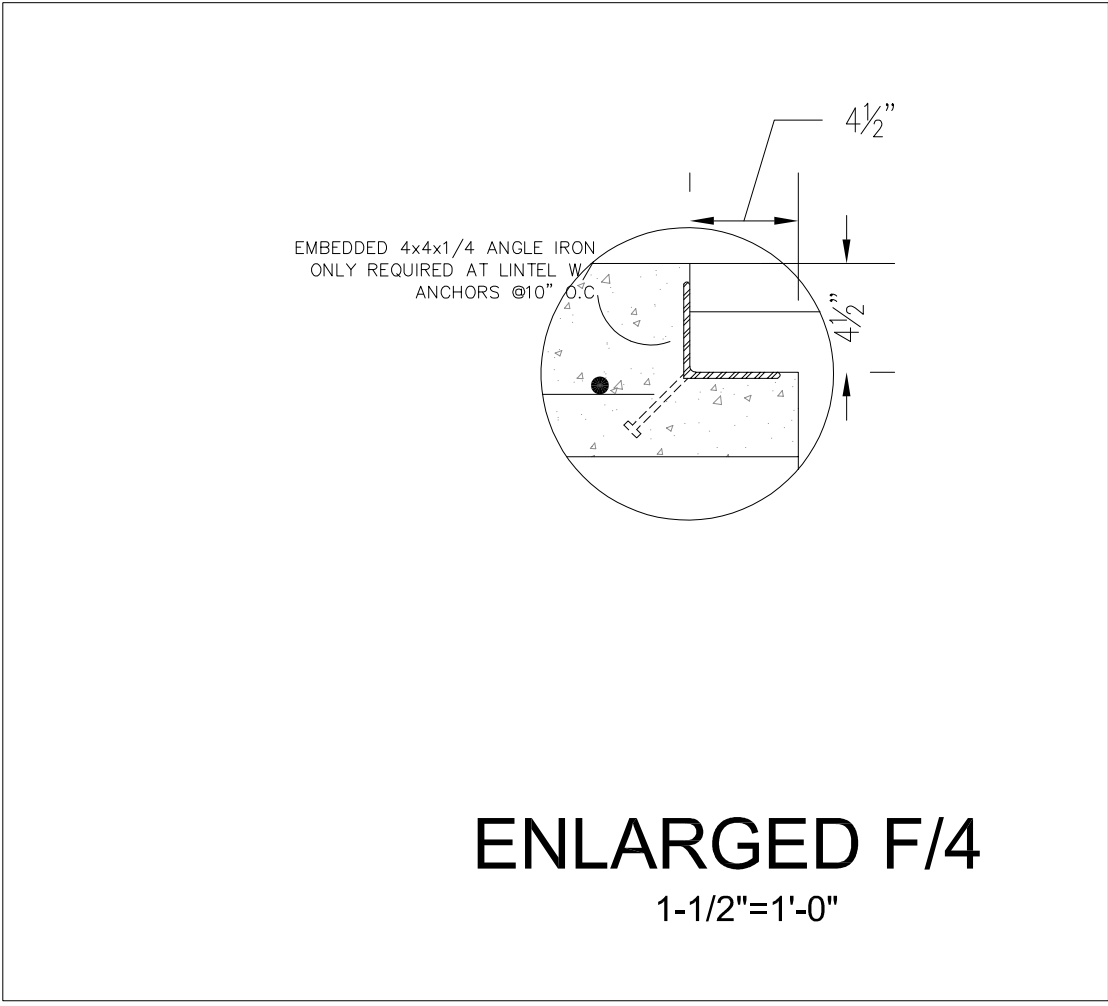
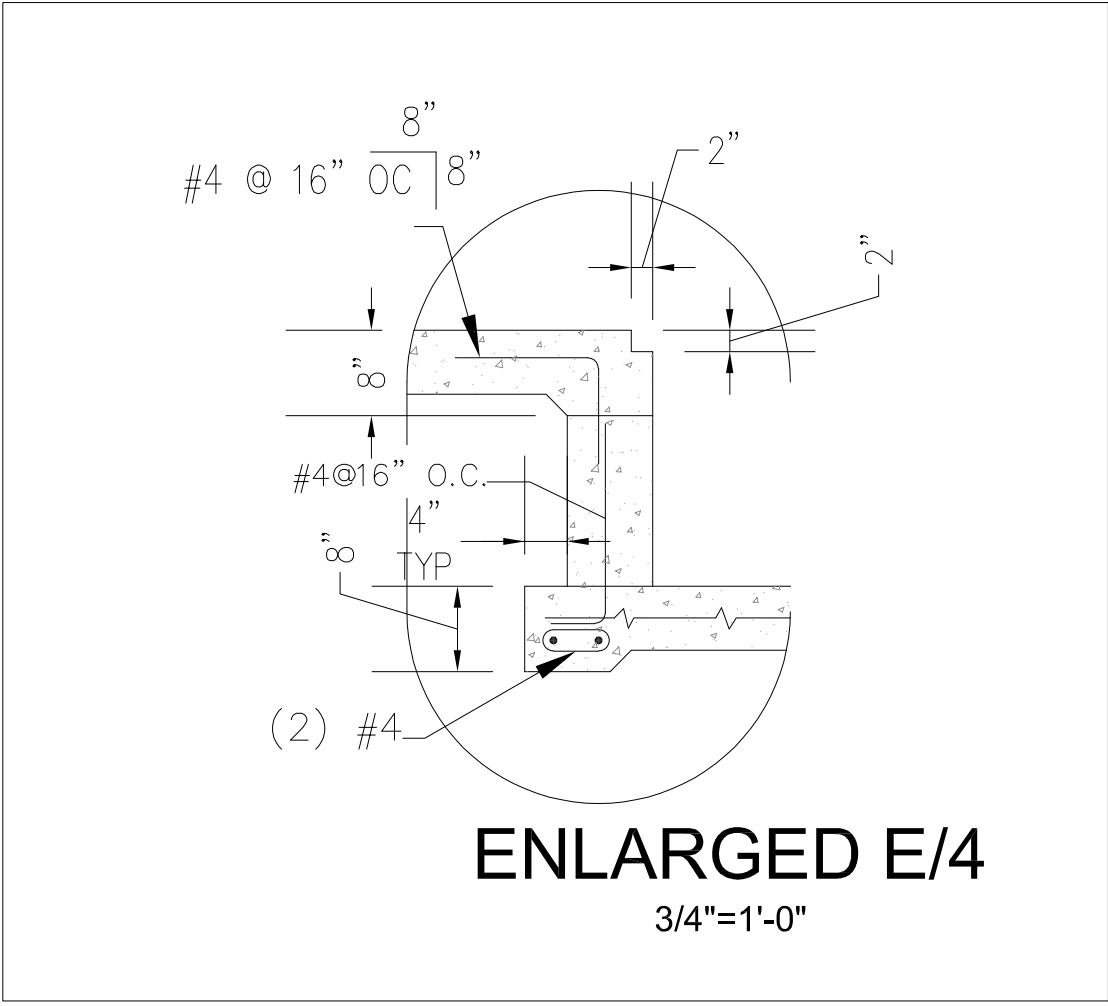
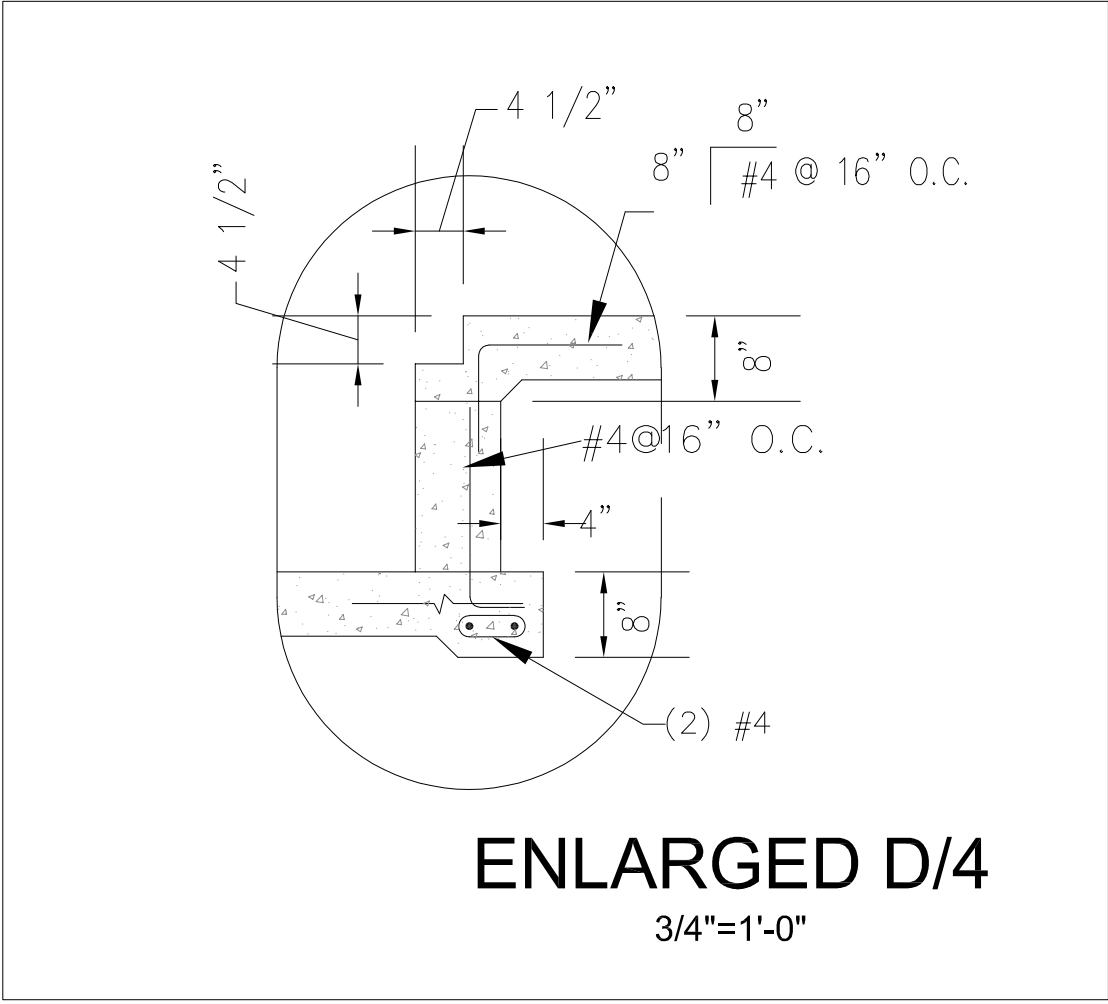
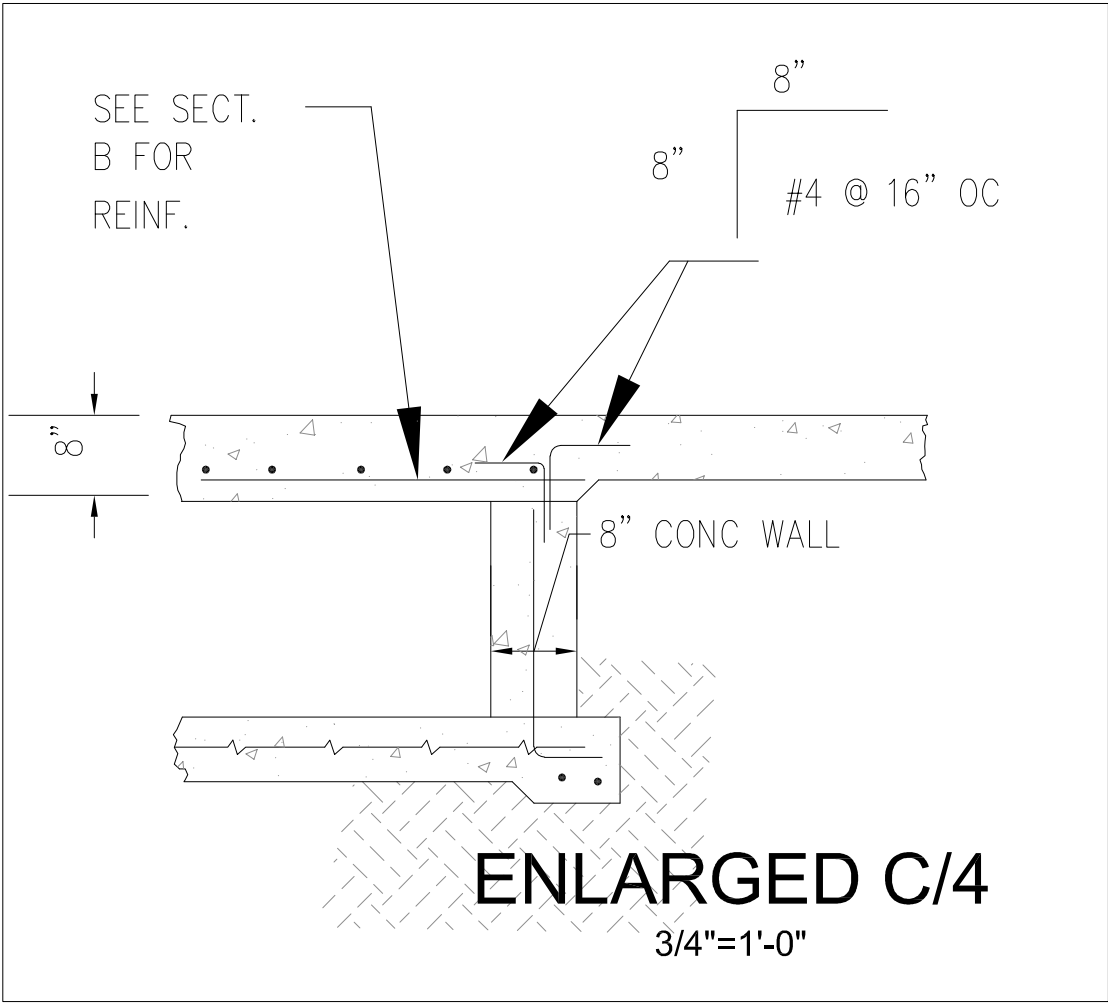
STATE OF COLORADO  
CHARLES C. PELL  
B-911  
LICENSED ARCHITECT

CLEAR MAX COLLISION  
2425 WAYSIDE COURT

SHEET 3  
OF 4

DATE: 28FEB19  
PROJECT: 2018-BAKER-CLEARMAX





NO CHANGE TO BUILDING EXCEPT NEW BOOTH

C. PELL, ARCHITECT, LLC  
cpell\_arch@yahoo.com  
6354 S. BLACKHAWK WAY, 303-718-1343

STATE OF COLORADO  
CHARLES C. PELL  
B-911  
LICENSED ARCHITECT

CLEAR MAX COLLISION  
2425 WAYSIDE COURT

SHEET 4  
OF 4

DATE: 28FEB19  
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