

SITE DEVELOPMENT PLAN
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SITE DATA:

OWNER:	SHREE SUMUKH HOSPITALITY 1381 W FAIRWAY DR GULF SHORES, AL 36542
LEGAL DESCRIPTION:	LOT 1, BARNES CENTER FILING NO. 2
SITE ADDRESS:	4442 INTEGRITY CENTER POINT
PARCEL NUMBER:	63251-06-039
TOTAL SITE ACREAGE:	2.42 ACRES
PROJECT SITE AREA:	2.42 ACRES
LAND USE:	HOTEL
SITE ZONING:	PBC
SCHEDULE FOR CONSTRUCTION:	2022 - 2023
DRAINAGE BASIN:	SAND CREEK
BUILDING COVERAGE:	0.4 AC (18%)
MAX. BUILDING PARAPET HEIGHT ALLOWED:	50'
PROPOSED BUILDING PARAPET HEIGHT:	50'-6"

PARKING DATA:

PARKING RATIOS:	
TOTAL NUMBER OF HOTEL ROOMS	105
SPACES REQUIRED (1 SPACE / ROOM)	105
TOTAL SPACES PROVIDED:	105
HANDICAP SPACES:	
REQUIRED:	5
PROVIDED:	5
VAN ACCESSIBLE:	1
TOTAL COMPACT SPACES ALLOWED	40% MAX.
TOTAL COMPACT SPACES PROVIDED	0 (0%)

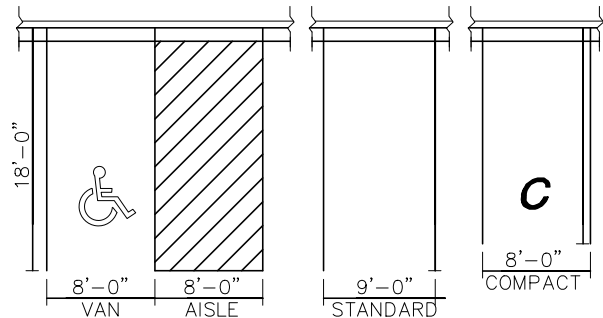
ADA NOTE:

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

BENCHMARK:

2.5" ALUMINUM CAP MARKED
DB&CO CONTROL POINT
ELEVATION=6632.48' (NGVD 1929)
NAIL & WASHER SET IN STORM
INLET LOCATED ON THE WEST SIDE
OF INTEGRITY CENTER POINT.
ELEVATION = 6651.72' (NGVD 1929)

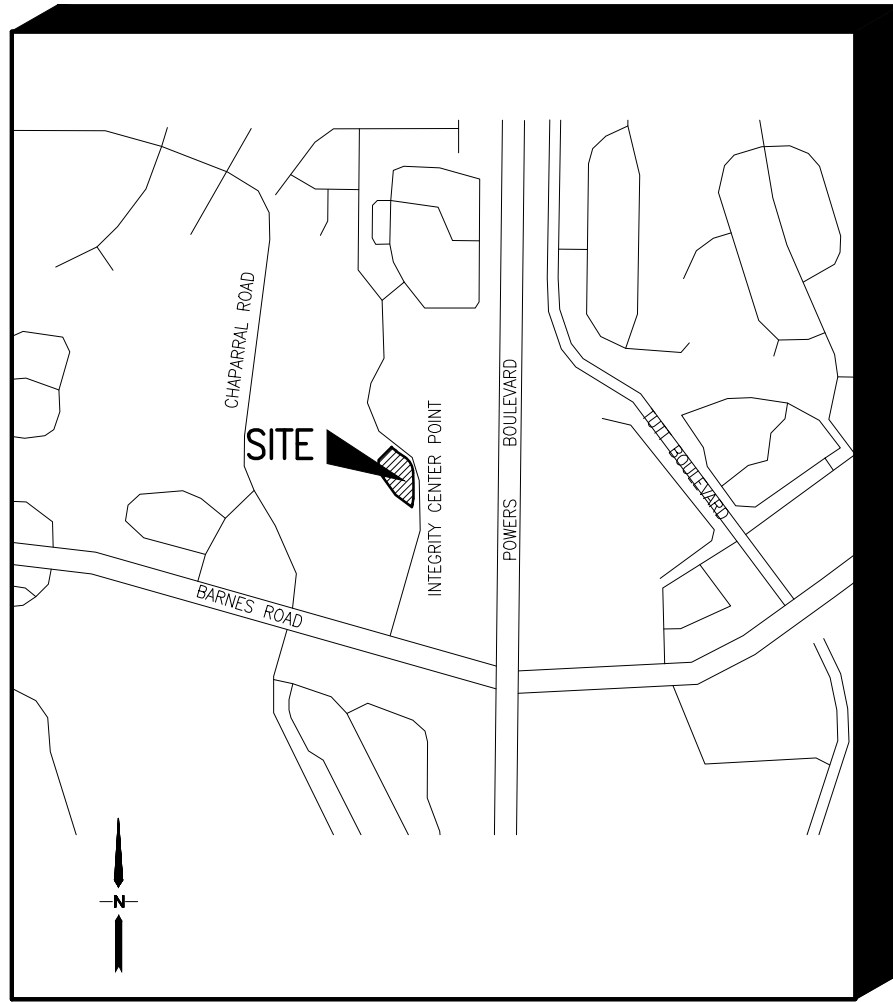
BEARINGS ARE BASED ON THE WEST LINE OF TRACT C, BARNES CENTER APARTMENTS FILING NO. 2, RECORDED AT RECEPTION NO. 217714788 OF THE RECORDS OF EL PASO COUNTY COLORADO, SAID LINE BEARS N00°44'25"W FROM THE SOUTHWEST CORNER OF SAID TRACT C. BOTH ENDS OF SAID LINE ARE MONUMENTED WITH A 1.5" ALUMINUM CAP STAMPED "CCES LLC PLS 30118".



ADA/STANDARD
PARKING DETAIL

SCALE: NTS

HOME2 SUITES-INTEGRITY CENTER POINT LOT 1, BARNES CENTER FILING NO. 2 SITE DEVELOPMENT PLANS COLORADO SPRINGS, COLORADO



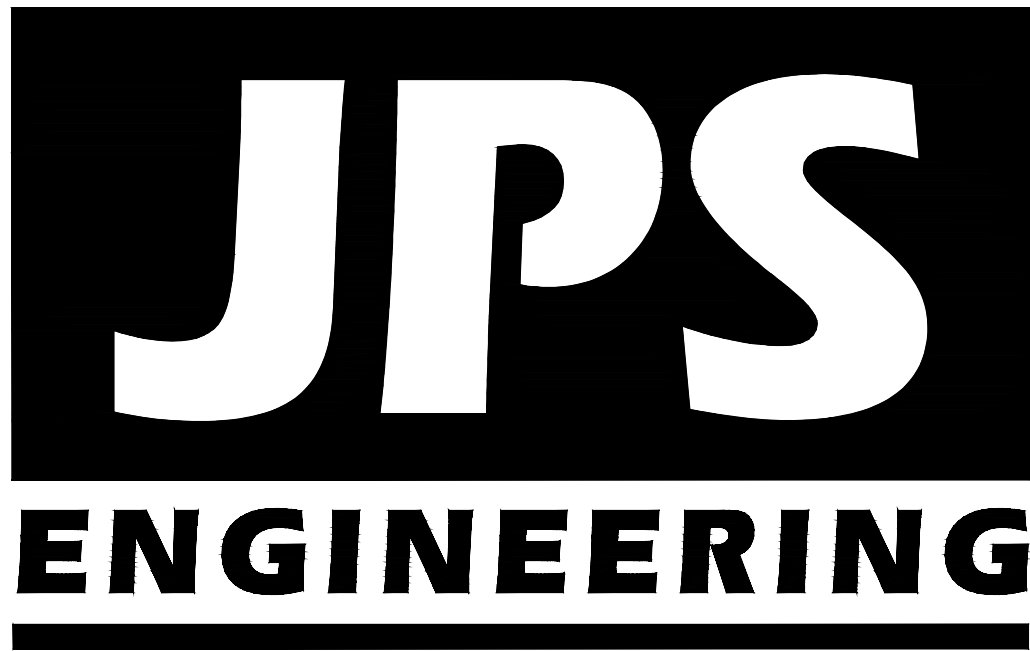
VICINITY MAP

SCALE: NTS

PREPARED FOR:

Shree Sumukh Hospitality
1381 W. Fairway Drive
Gulf Shores, AL 36542

PREPARED BY:



19 East Willamette Avenue
Colorado Springs, Colorado 80903
www.jpsengr.com
April, 2022

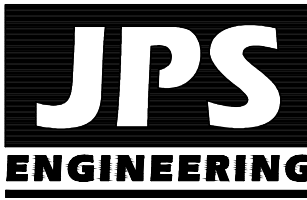
GENERAL NOTES:

- AR NV XX-XX APPROVED TO ALLOW RETAINING WALLS IN EXCESS OF 6- FEET WITHIN BUILDING SETBACK AREA
- AR NV XX-XX APPROVED TO ALLOW A 3.9 FOOT SETBACK ALONG THE NW PROPERTY LINE FOR THE TRASH ENCLOSURE, AND A 19.3 FOOT SETBACK ALONG THE WEST PROPERTY LINE FOR THE PATIO CANOPY.
- AR R 22-XXXX HAS BEEN APPROVED TO ALLOW A 55'-5" TOWER ELEMENT FOR THE STRUCTURE, A 50'-6" PARAPET HEIGHT AND A 47'-0" ROOF DECK HEIGHT WHERE 50' IS THE MAXIMUM HEIGHT ALLOWED.
- AN AVIGATION EASEMENT EFFECTING THE SUBJECT PROPERTY AND DEVELOPMENT IS THEREIN ESTABLISHED BY THE "XXXXX" SUBDIVISION PLAT. THIS EASEMENT IS SUBJECT TO THE TERMS AND CONDITIONS AS SPECIFIED IN THE INSTRUMENT RECORDED UNDER RECEPTION NO. XXXXXXXXXX OF THE RECORDS OF EL PASO COUNTY, COLORADO.
- SITE DOES NOT LIE WITHIN THE 100-YEAR FLOODPLAIN ACCORDING TO THE FEMA FLOODPLAIN MAP FIRM PANEL NO. 08041C0538G DATED DECEMBER 7, 2018.
- SITE LIGHTING SHALL BE DOWNCAST LIGHTS.
- SIGNAGE WILL REQUIRE APPROVAL OF A SEPARATE SIGN PERMIT.

LEGEND

---	PROPERTY LINE
---	EASEMENT LINE
---	PROPOSED CONTOUR
---	EXISTING CONTOUR
X 99.0	PROPOSED SPOT ELEVATION (FLOWLINE)
X 99.0	EXIST. SPOT ELEVATION
TW	TOP OF RETAINING WALL
BW	BOTTOM FACE OF RETAINING WALL
---	FIRE LANES (CURB PAINTED RED & SIGNED PER CITY F.D. STDS)
#	# PARKING SPACES

HOME2 SUITES
LOT 1, BARNES CENTER FILING NO. 2



19 E. Willamette Ave.
Colorado Springs, CO
80903

PH: 719-477-9429
FAX: 719-471-0766
www.jpsengr.com



CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL BEFORE YOU DIG
BEFORE YOU DIG GRADE OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

No.	REVISION	DATE	BY
1	CITY SUBMITTAL	04/20/22	JPS
2			
3			
4			

SITE DEVELOPMENT PLAN
COVER SHEET

HORZ. SCALE:	N/A	DRAWN:	PV
VERT. SCALE:	N/A	DESIGNED:	JPS
SURVEYED:	RIDGELINE	CHECKED:	JPS
CREATED:	9/01/21	LAST MODIFIED:	04/20/22
PROJECT NO:	072102	MODIFIED BY:	PV

SHEET:
SD1.0
1 OF 14

EROSION CONTROL
LEGEND:

- (SF) SILT FENCE
(VTC) VEHICLE TRACKING PAD
(IP) INLET PROTECTION
(SM) SEED & MULCH
(CWA) CONCRETE WASHOUT AREA

NOTE:
ALL EROSION CONTROL MEASURES
SHALL CONFORM TO CITY OF
COLORADO SPRINGS DRAINAGE
CRITERIA MANUAL, VOLUME 2
REQUIREMENTS

LEGEND

- PROPERTY LINE
--- EASEMENT LINE
--- 6520 PROPOSED CONTOUR
--- EXISTING CONTOUR
X 99.0 PROPOSED SPOT
ELEVATION (FLOWLINE)
X 99.0 EXIST. SPOT ELEVATION
TW TOP OF RETAINING WALL
BW BOTTOM FACE OF RETAINING WALL
(AT FINISHED GRADE)
--- LIMIT OF DISTURBANCE
--- CUT/FILL DEMARCATION LINE
--- CUT
--- FILL
DS DOWNSPOUT CONNECTION TO STORM
SEWER; INSTALL TRANSITION
COUPLINGS & EXTEND MIN. 6" PVC
AS NOTED ON PLAN (SDR35) AT
1.0% MIN. SLOPE TO SD

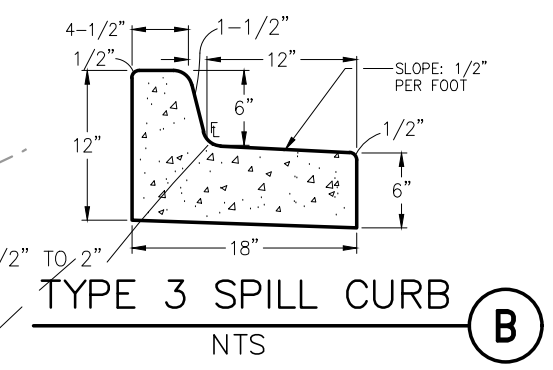
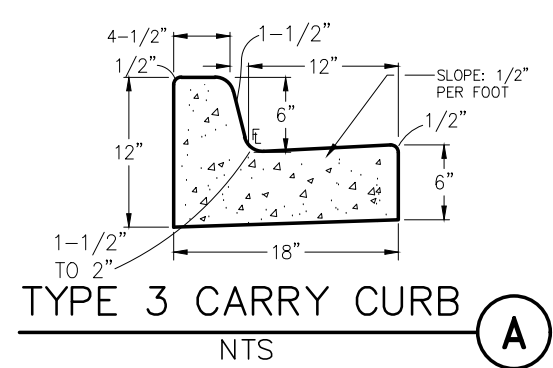
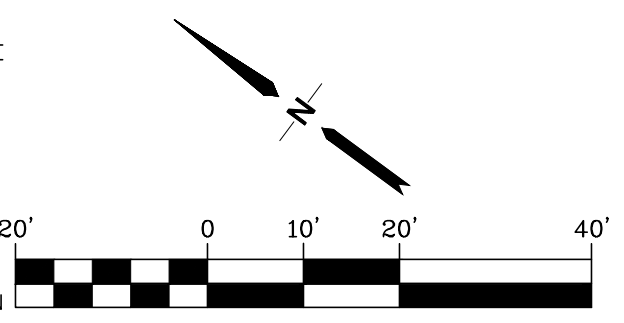
ESTIMATED EARTHWORK QUANTITY:

UNCLASSIFIED EXCAVATION (TOTAL CUT) = 12,773 CY
*TOTAL FILL = 5,598 CY
NET (CUT) = 7,175 CY
(ASSUMES 15% COMPACTION FACTOR)

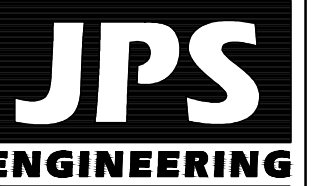
NOTE: THIS ESTIMATE IS PROVIDED FOR INFORMATION
ONLY, REPRESENTING THE CALCULATED BULK
EARTHWORK VOLUME TO FINISHED GRADE, EXCLUDING
ANY ADJUSTMENT FOR PAVEMENT DEPTHS, ETC.
CONTRACTOR SHALL MAKE HIS OWN DETERMINATION
OF EARTHWORK QUANTITIES AS BASIS FOR BID
PRICING AND NOTIFY ENGINEER OF ANY
DISCREPANCIES.

KEYED NOTES:

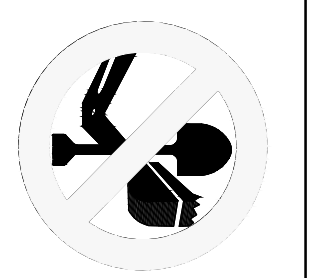
- 1 TOPSOIL & STRIPPINGS STOCKPILE AREA
- 2 CONTRACTOR MAY WASTE EXCESS CUT MATERIAL OR BORROW SUITABLE FILL MATERIAL FROM THIS AREA. MAINTAIN POSITIVE DRAINAGE & MATCH INTO EXISTING GRADES WITH 3:1 MAX. SLOPE.
- 3 PREPARE AND COMPACT BUILDING FOUNDATION & SLAB PER PROJECT GEOTECHNICAL REPORT
- 4 PARKING LOT PAVING PER GEOTECHNICAL REPORT (4" ASPHALT OVER 20" 6" AGGREGATE BASE UNLESS NOTED OTHERWISE)
- 5 STORAGE AREA FOR BUILDING MATERIALS, EQUIPMENT & CONSTRUCTION WASTE (CONTRACTOR MAY ADJUST AS NEEDED)
- 6 4"x4" CONCRETE LANDING AT DOOR W/2.0% SLOPE AWAY FROM BUILDING
- 7 PROPOSED 8" PVC SD @ 1.0% MIN. SLOPE W/18" MIN. COVER



HOME2 SUITES
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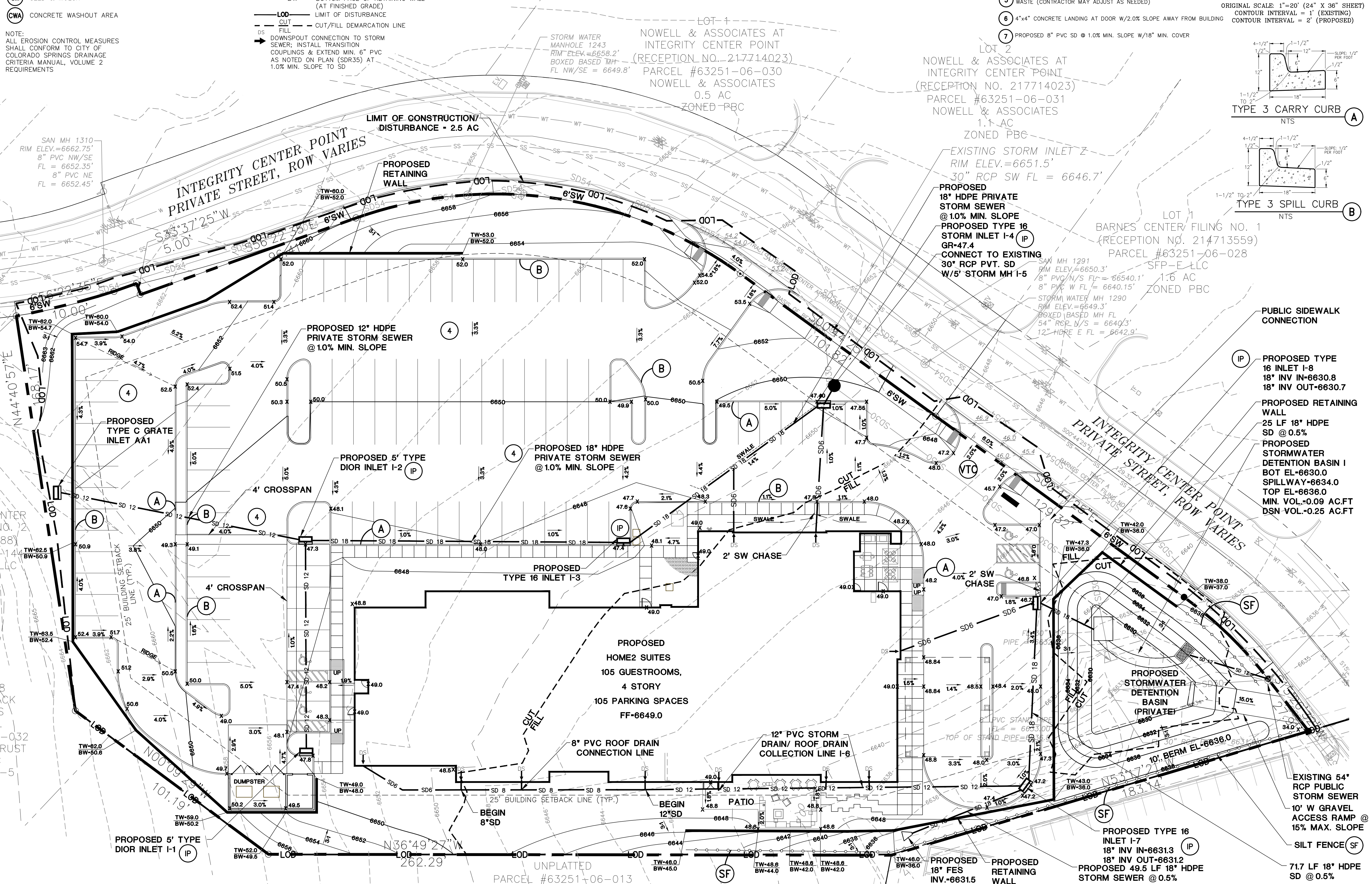
CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG. GRADE, OR EXCAVATE
FOR THE MEMBER UTILITIES.

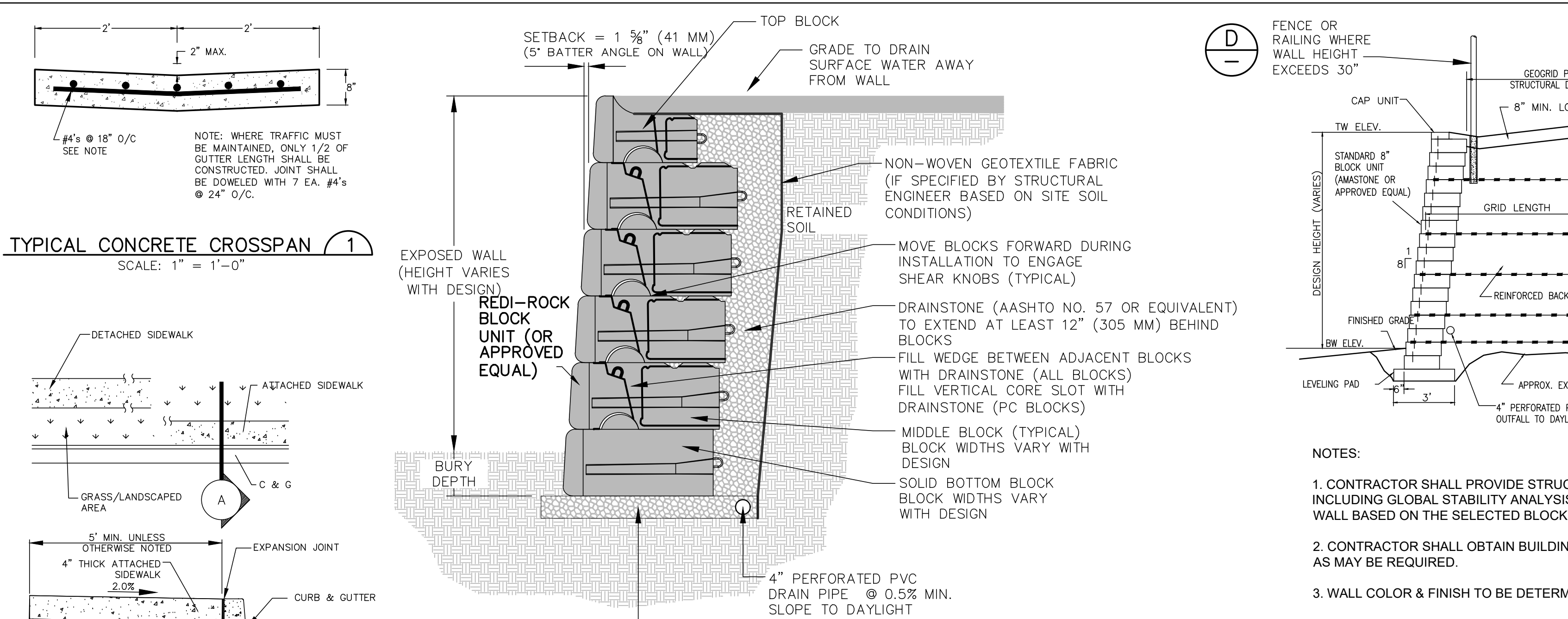
NO.	REVISION	DATE
1	CITY SUBMITTAL	04/19/22
2		
3		
4		

SITE GRADING AND
EROSION CONTROL PLAN

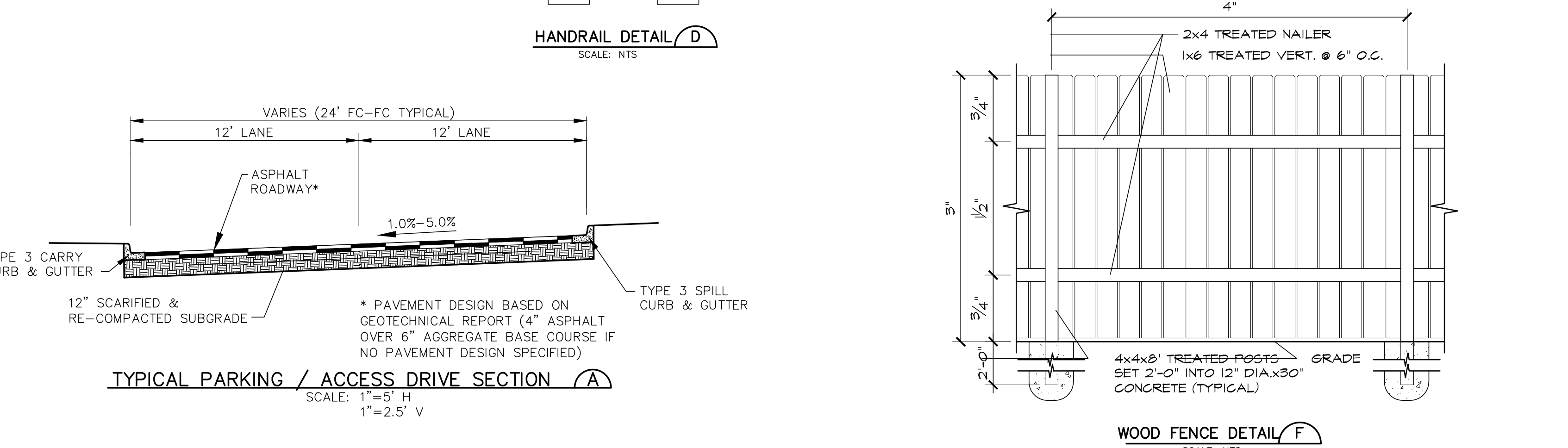
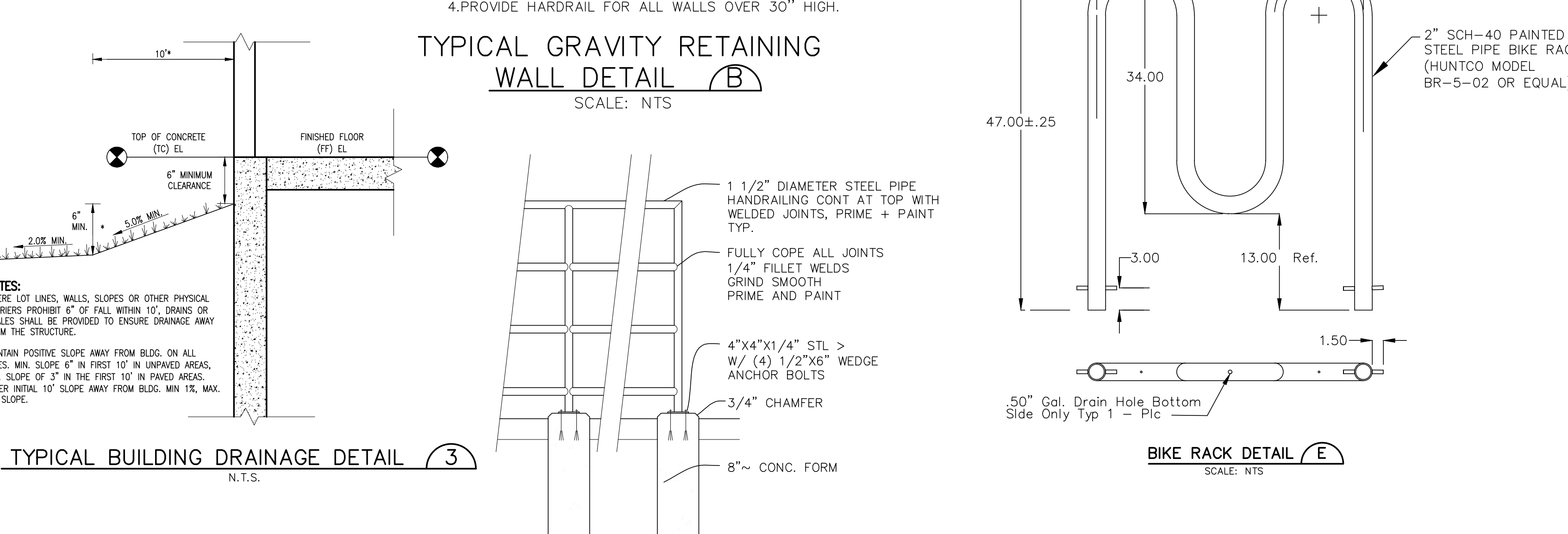
HORIZ. SCALE: 1"=20'	DRAWN: PV
VERT. SCALE: N/A	DESIGNED: JPS
SURVEYED: RIDGELINE	CHECKED: JPS
CREATED: 9/01/21	LAST MODIFIED: 04/20/22
PROJECT NO: 072102	MODIFIED BY: PV
SHEET:	

C1.1
3 OF 14





- NOTES:**
1. CONTRACTOR SHALL PROVIDE STRUCTURAL DESIGN INCLUDING GLOBAL STABILITY ANALYSIS FOR EACH RETAINING WALL BASED ON THE SELECTED BLOCK WALL SYSTEM.
 2. CONTRACTOR SHALL OBTAIN BUILDING PERMIT FOR WALL AS MAY BE REQUIRED.
 3. WALL COLOR & FINISH TO BE DETERMINED BY OWNER.
 4. PROVIDE HARDRAIL FOR ALL WALLS OVER 30" HIGH.



- GENERAL CIVIL NOTES:**
1. ALL CONSTRUCTION SHALL MEET THE FOLLOWING STANDARDS & SPECIFICATIONS:
 - * 2009 INTERNATIONAL BUILDING CODE, OR LATEST EDITION ADOPTED BY LOCAL JURISDICTION
 - * PIKES PEAK REGIONAL BUILDING CODE, LATEST EDITION.
 - * COLORADO SPRINGS ENGINEERING CRITERIA MANUAL (ECM), LATEST EDITION.
 - * PROJECT GEOTECHNICAL REPORT.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION.
 3. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THESE APPROVED PLANS AND ACCESS TO THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES:
 - A. COLORADO SPRINGS ENGINEERING CRITERIA MANUAL
 - B. COLORADO SPRINGS UTILITIES STANDARD SPECIFICATIONS
 4. STORM DRAIN PIPE SHALL BE RCP CLASS III WITH CLASS C BEDDING UNLESS OTHERWISE NOTED.
 5. STATIONING IS AT CENTERLINE UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED. LENGTHS SHOWN FOR STORM SEWER PIPES ARE TO CENTER OF MANHOLE.
 6. CONTRACTOR SHALL COORDINATE WITH GAS, ELECTRIC, TELEPHONE AND CABLE T.V. UTILITY SUPPLIERS FOR INSTALLATION OF ALL UTILITIES. MINIMUM COVER FOR ALL DRY UTILITIES SHALL BE 36".
 7. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, DEBRIS, WASTE AND OTHER UNSUITABLE FILL MATERIAL FOUND WITHIN THE LIMITS OF EXCAVATION.
 8. MATCH INTO EXISTING GRADES AT 3:1 MAX CUT AND FILL SLOPES.
 9. REVEGETATION OF ALL DISTURBED AREAS SHALL BE DONE WITH 4" TOPSOIL AND DRY LAND GRASS SEED AFTER FINE GRADING IS COMPLETE ("FOOTHILLS SEED MIX").
 10. EROSION CONTROL SHALL CONSIST OF SILT FENCE AND HAY BALES AS SHOWN ON THE DRAWING, AND TOPSOIL WITH GRASS SEED, WHICH WILL BE WATERED UNTIL VEGETATION HAS BEEN RE-ESTABLISHED.
 11. THE EROSION CONTROL MEASURES OUTLINED ON THIS PLAN ARE THE RESPONSIBILITY OF THE CONTRACTOR TO MONITOR AND REPLACE, REGRADE, AND REBUILD AS NECESSARY UNTIL VEGETATION IS RE-ESTABLISHED.
 12. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES IN A MANNER THAT WILL PROTECT ADJACENT PROPERTIES AND PUBLIC FACILITIES FROM THE ADVERSE EFFECTS OF EROSION AND SEDIMENTATION AS A RESULT OF CONSTRUCTION AND EARTHWORK ACTIVITIES WITHIN THE PROJECT SITE.
 13. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DETERMINED BY SITE CONDITIONS.
 14. THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
 15. ALL BACKFILL, SUB-BASE, AND/OR BASE COURSE MATERIAL SHALL BE COMPACTED PER THE PROJECT GEOTECHNICAL REPORT AND CITY SPECIFICATIONS.
 16. CONCRETE USED IN CURB AND GUTTER, SIDEWALK, AND CROSSSPAN CONSTRUCTION SHALL MEET CITY CRITERIA.
 17. ALL FINISHED GRADES SHALL HAVE A MINIMUM 1.0% SLOPE TO PROVIDE POSITIVE DRAINAGE.
 18. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO BEGINNING WORK.

HANDICAP ACCESS NOTES:

1. RAMPS ARE NOT TO BE PLACED IN HANDICAP ACCESS AISLES.
2. ACCESS AISLES MAY NOT EXCEED A 2% (1:48) SLOPE IN ANY DIRECTION.
3. HANDICAP RAMPS MAY NOT EXCEED A SLOPE OF 8% (1:12).
4. THE MINIMUM WIDTH FOR HANDICAPPED RAMPS IS 36 INCHES. THE SIDES OF RAMPS MAY NOT EXCEED A SLOPE OF 10% UNLESS PROTECTED WITH A HANDRAIL.
5. HANDICAPPED PARKING SHALL MEET ALL OTHER APPLICABLE CITY AND ADA CODE REQUIREMENTS.

General Notes

1. All work shall be done in accordance with the current City of Colorado Springs Engineering Division (the City) Standard Specifications.
2. The Contractor shall obtain all required permits and notify City Engineering by 1500 hours the business day before inspection is required.
3. Concrete shall have a minimum compressive strength of 4,000 psi and use a City-approved concrete mix.
4. A broom finish, with sweeps perpendicular to the direction of pedestrian traffic, shall be applied to all ramp surfaces.
5. The Contractor shall stamp their company name and construction date at the top right corner of the ramp as viewed from the street.
6. Detectable warnings shall be installed at sidewalk to street transitions and shall consist of prefabricated truncated dome panels approved by the City. The detectable warning panels shall be set into the wet concrete. The domes shall be in a square grid pattern and aligned with pedestrian traffic.
7. At detectable warning surfaces at the base of ramps shall start a minimum of 6 inches from the flowline of the curb and not be more than 8 inches from any point on the flowline of the curb, with the exception for ramps that are constructed within the curved portion of the return as approved by the City.
8. Ramp and detectable warning running slope shall be 8.3% or flatter except on long ramps as specified by Note 14.
9. Drainage structures, traffic signal equipment, or other obstructions shall not be installed in the ramp or turning space areas.
10. If a traffic signal/pedestrian push button cannot be mounted within 10 inches horizontally of the pedestrian path or is obstructed from reach then a separate pedestrian push button assembly shall be installed. Push buttons shall meet the requirements of MUTCD Chapter 4 for pedestrian detectors.
11. Diagonal ramps on the apex are not allowed in new construction. A single diagonal ramp on the apex may be permitted during reconstruction or alteration where physical or site constraints prevent two ramps from being installed and shall require approval from the City on a case-by-case basis.
12. Ramps, excluding flared sides or blended transitions, shall be wholly contained within the width of the crosswalk and/or the pedestrian street crossing that they serve.
13. Air ramp joints and grade breaks shall be flush (0"±/6"). The joint between the roadway surface and gutter pan shall be flush.
14. In retrofit applications, to avoid chasing grade indefinitely on steep streets, ramp length is not required to exceed 15 feet.
15. The counter slope of the gutter or road at the foot of a ramp, turning space, or blended transition shall not exceed 5.0%.
16. Flared side slopes may exceed 10% only where they abut a non-walkable surface (landscaping or domed surface) or the adjacent circulation path is blocked such that it is unlikely for a pedestrian to walk across the flared side slope.
17. The minimum turning space for new construction is 5 feet by 5 feet. The minimum turning space allowed for retrofit applications is 4 feet by 4 feet. In all types of construction where the turning space is constrained by an element taller than 2 inches such as curb, the turning space shall be 5 feet by 5 feet.
18. Contact the City Forestry Division if it is necessary to disturb trees or roots.
19. All curb ramps shall have a minimum concrete thickness of 6 inches.
20. All sidewalks and turning spaces shall have a cross slope between 0.5% and 2.0%.
21. Ramps shall align with each other across the street.

Slope Table

The table below is intended to be used to convert between the percent (rise/run) and ratio (run/rise) methods of expressing the magnitude of a slope:

PERCENT SLOPE	0.5%	1.0%	2.0%	5.0%	7.1%	8.3%	10.0%
RATIO SLOPE	200:1	100:1	50:1	20:1	14:1	12:1	10:1

Ramp Cross Slope Transition To Match Roadway Profile

Ramp cross slopes and turning spaces shall be:
A. 2% max when a yield or stop control is present.
B. Permitted to equal the street grade when there is no yield or stop control, when a traffic signal is present, at a mid block crossing location, or in retrofit applications.

SIDEWALK CURB RAMPS GENERAL NOTES AND DETAILS

APPROVED: [Signature]
DATE: 3/28/2019
DESIGNED BY: [Signature]
CHECKED BY: [Signature]
DRAWN BY: [Signature]
SCALE: D-8A

HOME2 SUITES
LOT 1, BARNES CENTER FILING NO. 2

CIVIL NOTES & DETAILS

JPS ENGINEERING

19 E. Willamette Ave.
Colorado Springs, CO 80903

PH: 719-477-9429
FAX: 719-471-0766
www.jpsengr.com

CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987
BUSINESS HOURS ADVANCE BEFORE 7:00 AM OR AFTER 5:00 PM FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

No.	REVISION	BY	DATE
A			
A			
A			
A			

HORZ. SCALE: N/A
VERT. SCALE: N/A
SURVEYED: RIDGELINE
CREATED: 9/01/21
PROJECT NO: 072102

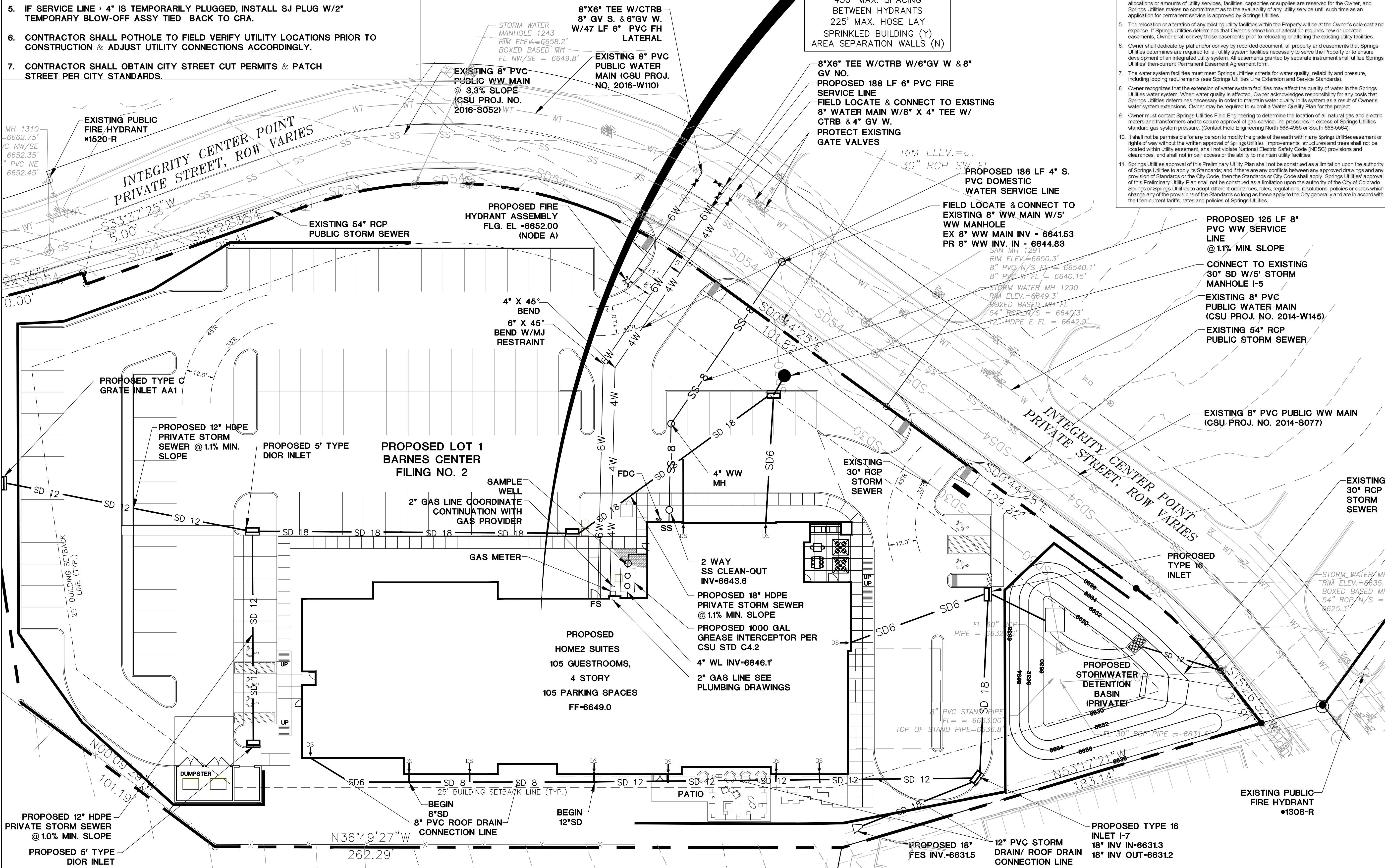
DRAWN: PV
DESIGNED: JPS
CHECKED: JPS
LAST MODIFIED: 04/15/22
MODIFIED BY: PV

SHEET: C1.2
4 OF 14

1. ALL WORK SHALL CONFORM TO COLORADO SPRINGS UTILITIES WATER & WASTEWATER STANDARD SPECIFICATIONS.
2. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO BEGINNING WORK.
3. WATER METER TO BE LOCATED INSIDE BUILDING.
4. FIRE LINES SHOULD ENTER THE BUILDING PERPENDICULAR TO THE OUTSIDE WALL WHENEVER POSSIBLE, AND SHOULD NEVER BE UNDERGROUND FOR MORE THAN 3 FEET INSIDE BUILDING
5. IF SERVICE LINE - 4" IS TEMPORARILY PLUGGED, INSTALL SJ PLUG W/2" TEMPORARY BLOW-OFF ASSY TIED BACK TO CRA.
6. CONTRACTOR SHALL POTHOLE TO FIELD VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION & ADJUST UTILITY CONNECTIONS ACCORDINGLY.
7. CONTRACTOR SHALL OBTAIN CITY STREET CUT PERMITS & PATCH STREET PER CITY STANDARDS.

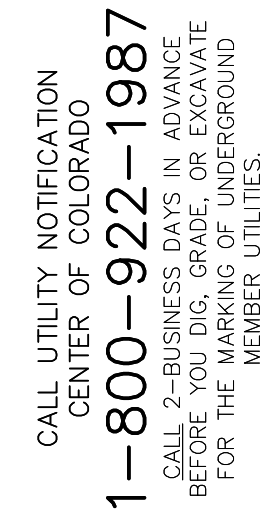
- Ⓐ CONNECT TO EXISTING UNDERGROUND GAS SERVICE LINE (COORDINATE WITH CSU)
- Ⓑ COORDINATE WITH CSU FOR ELECTRIC SERVICE CONNECTIONS
- Ⓒ COORDINATE W/ CENTURY LINK FOR TELEPHONE SERVICE

HOME2 SUITES HOTEL
4442 INTEGRITY CENTER POINT
LOT 1, BARNES CENTER
FILLING NO. 2
68,151 SQ. FT.
TYPE V-A
4,750 GPM REQUIRED
REDUCED 50% FOR
SPRINKLER SYSTEM
2,500 GPM REQUIRED
3 HYDRANTS REQUIRED
450' MAX. SPACING
BETWEEN HYDRANTS
225' MAX. HOSE LAY
SPRINKLED BUILDING (Y)
AREA SEPARATION WALLS (N)



Property Owner(s) acknowledge and agree to the following upon approval of Preliminary Utility Plan:

1. Colorado Springs Utilities (Springs Utilities) shall make the final determination of the location of all water, wastewater, electric and gas facilities, which may not be the same location as shown on this Preliminary Utility Plan.
2. Property Owner(s) ("Owner") acknowledges that the connection and alteration of utility services to the property identified in this Preliminary Utility Plan ("Property") shall be in accord with all applicable codes and regulations of Springs Utilities, Colorado Springs City Code, and Colorado Springs City Ordinance, including but not limited to Colorado Springs City Code, resolutions, and policies, and Pikes Peak Regional Building Department codes, in effect at the time of utility service connection and alter and extension.
3. Owner acknowledges responsibility for the costs of extensions or utility system improvements that Springs Utilities deems necessary to provide service to the Property or to ensure future compliance with applicable integrated utility systems serving the Property and areas outside the Property (including the costs to design and install water systems, wastewater collection systems, and any gas or electric lines to and within the Property). Owner may be eligible for a cost Recovery Agreement as provided in Springs Utilities' Rules and Regulations.
4. Springs Utilities utility services are available on a "first-come, first-served" basis, and therefore no specific amount of time or amount of service is guaranteed. Springs Utilities reserves the right to suspend service. Springs Utilities make no commitment as to the availability of any utility service until such time as an application for permanent service is approved by Springs Utilities.
5. The relocation or alteration of any existing utility facilities within the Property will be at the Owner's sole cost and responsibility. Springs Utilities reserves the right to require the Owner to obtain all necessary permits, easements, Owner shall convey those easements prior to relocating or altering the existing utility facilities.
6. Owner shall dedicate by plat and/or convey by recorded document, all property and easements that Springs Utilities determines are required for all utility system facilities necessary to serve the Property or to ensure development of an integrated utility system. All easements granted by separate instrument shall utilize Springs Utilities' current Permanent Easement Agreement.
7. The water system facilities must meet Springs Utilities criteria for water quality, reliability and pressure, including loading requirements (see Springs Utilities Line Extension and Service Standards).
8. Owner recognizes that the extension of water system facilities may affect the quality of water in the Springs Utilities water system. When water quality is affected, Owner acknowledges responsibility for any costs that Springs Utilities may determine are necessary to protect the quality of water in the Springs Utilities water system extensions. Owner must be required to submit a Water Quality Plan for the project.
9. Owner must contact Springs Utilities Field Engineering to determine the location of all natural gas and electric meters and transformers and to secure approval of gas-service-line in excess of Springs Utilities standard gas system pressure. (Contact Field Engineering North 688-4985 or South 688-5564).
10. It shall not be permissible for any person to modify the grade of the earth within any Springs Utilities easement or to install any structure that may affect the operation of any utility facility within the Springs Utilities easement without written utility easement, shall not violate National Electric Safety Code (NESC) provisions and clearances, and shall not impair access or the ability to maintain utility facilities.
11. Springs Utilities approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of Springs Utilities to apply its Standards, and if there are any conflicts between any approved drawings and any applicable Standards or Colorado Springs City Code, the Standards or Colorado Springs City Code shall apply. Springs Utilities approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of the City of Colorado Springs or Springs Utilities to adopt different ordinances, rules, regulations, resolutions, policies or codes which are any of the provisions of the Standards so long as these apply to the City generally and are in accordance with the then-current statutes, facts and policies of Springs Utilities.



HOME2 SUITES
LOT 1, BARNES CENTER FILING NO.

No.	REVISION	BY	DATE
A	CITY SUBMITTAL	JPS	04/15/22
A			
A			
A			

PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN

HORIZ. SCALE:	1"=20'	DRAWN:	PV
VERT. SCALE:	N/A	DESIGNED:	JPS
SURVEYED:	RIDGELINE	CHECKED:	JPS
CREATED:	9/01/21	LAST MODIFIED:	04/20/22
PROJECT NO:	072102	MODIFIED BY:	PV
SHEET:			



PLANT SCHEDULE			
TREES	CODE	QTY	BOTANICAL / COMMON NAME
	AH	3	ACER TATARICUM 'HOT WINGS' / HOT WINGS TATARIAN MAPLE
	CO	5	CELTIS OCCIDENTALIS / COMMON HACKBERRY
	CA	5	CRATAEGUS AMBIGUA / RUSSIAN HAWTHORN
	GTS	10	GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER'™ / SHADEMASTER LOCUST
	PE	4	PINUS EDULIS / PINON PINE
	PP	2	PINUS PONDEROSA / PONDEROSA PINE
	QM	4	QUERCUS MUEHLENBERGII / CHINKAPIN OAK
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	AC	25	ARCTOSTAPHYLOS X COLORADOENSIS 'CHIEFTAIN' / MANZANITA
	AMI	3	ARONIA MELANOCARPA 'IROQUIS BEAUTY' / DWARF CHOKEBERRY
	CIT-PS	17	CERCOCARPUS INTRICATUS / LITTLE LEAF MOUNTAIN MAHOGONY PARKING SCREENING PLANT
	CMF	13	CHAMAEBATIARIA MILLEFOLIUM 'FERNBUSH' / FERNBUSH
	EN	37	ERICAMERIA NAUSEOSA / RUBBER RABBITBRUSH
	JMSR	15	JUNIPERUS SCOPULORUM 'MOONGLOW' / UPRIGHT JUNIPER
	MC	28	MAHONIA AQUIFOLIUM / OREGON GRAPE
	MR	51	MAHONIA REPENS / CREEPING MAHONIA
	PAL	50	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' / DWARF RUSSIAN SAGE
	POD	48	PHYSOCARPUS OPULIFOLIUS 'DIABLO' / DIABLO NINEBARK
	POL	71	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' / DWARF PURPLE NINEBARK
	PF	30	POTENTILLA FRUTICOSA 'GOLDFINGER' / GOLDFINGER POTENTILLA
	PBP	63	PRUNUS BESSEYI 'PAWNEE BUTTES' / SAND CHERRY
	RG	23	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC
	VR	3	VIBURNUM X RHYTIDOPHYLLOIDES 'ALLEGHANY' / ALLEGHANY VIBURNUM
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME
	BB	134	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLUE GRAMA
	PVD	16	PANICUM VIRGATUM 'DALLAS BLUES' / DALLAS BLUES SWITCH GRASS
	PVS	30	PANICUM VIRGATUM 'SHENENDOAH' / BURGUNDY SWITCH GRASS
	SW	81	SPOROBOLUS WRIGHTII / BIG SACATON
PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME
	AQ	47	AQUILEGIA CHRYSANTHA / GOLDEN COLUMBINE
	CB	87	CERATOSTIGMA PLUMBAGINOIDES 'BLUE PLUMBAGO' / BLUE PLUMBAGO
	HCR	29	HEUCHERA X 'CHOCOLATE RUFFLES'™ / HYBRID CORAL BELLS
	PPP	110	PENSTEMON PINIFOLIUS / THREADLEAF BEARDTONGUE
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	LGS	4,620 SF	DETENTION MIX / EPCCD ALL PURPOSE MIX 19.3 LBS/ACRE. IRRIGATED LOW GROW MIX.
	TURF	3,586 SF	TURF / TURF TYPE TALL FESCUE AMEND WITH 5 CY CLASS 1 OR 2 COMPOST / 1000 SF
MULCHES	CODE	QTY	BOTANICAL / COMMON NAME
	RM	21,292 SF	ROCK MULCH / RIVER ROCK 1"-2" PER OWNER APPROVAL. PLACE TO A UNIFORM DEPTH OF 3"
	WM	4,335 SF	SHREDDED CEDAR MULCH / WOOD MULCH GORRILA HAIR OR SHREDDED REDWOOD MULCH. NO WEED BARRIER UNDER WOOD MULCH AREAS

REFERENCE NOTES SCHEDULE		
<u>SYMBOL</u>	<u>DESCRIPTION</u>	<u>QTY</u>
[1]	PLACE SHREDDED CEDAR MULCH AROUND BASE OF ALL PERENNIALS AND GRASSES IN LARGE COBBLE AREAS. MASSED PERENNIALS TO RECEIVE LARGE RING AROUND ENTIRE GROUP (TYP). WOOD MULCH NOT REQUIRED AROUND BASE OF PLANTS LOCATED IN PEA GRAVEL.	
[2]	MINIMUM 3" ROOTBALL OFFSET FROM BUILDING, TYP.	
[3]	PLACE PLANTS TO PROVIDE MIN. 2' CLEARANCE FROM BACK OF CURB AT MATURE SPREAD.	
<u>SYMBOL</u>	<u>DESCRIPTION</u>	<u>QTY</u>
[01-04]	SEED ALL DISTURBED AREAS WITH EL PASO COUNTY LOW GROW MIX UNLESS OTHERWISE NOTED.	
<u>SYMBOL</u>	<u>32 LANDSCAPE IMPROVEMENTS</u> <u>DESCRIPTION</u>	<u>QTY</u>
[32-01]	14 G ROLL TOP STEEL EDGING, STAKED 30" OC MAX.	644 LF
<u>SYMBOL</u>	<u>ROCK</u> <u>DESCRIPTION</u>	<u>QTY</u>
[K-101]	GRANITE/MOSS ROCK BOULDER--DECORATIVE. 1/2 TON AVG SIZE	
<u>SYMBOL</u>	<u>DESCRIPTION</u>	<u>QTY</u>
[SM-101]	ALL SEEDED AREAS TO BE AMENDED AND HYDROSEEDDED.	

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GENERAL NOTES

(Note: All references to "Contractor" are specific to "Landscape Contractor" unless notified as "General or other type of Contractor")

- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF PLANT MATERIAL ARE NOT ALLOWED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT GIVEN PRIOR TO INSTALLATION. GRAPHIC QTY'S. PREVAIL OVER WRITTEN QTY'S. PRIOR TO COMMENCEMENT OF WORK THE LANDSCAPE CONTRACTOR SHALL CONTACT OWNERS REPRESENTATIVE FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING AND SCOPE OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE CITY OR COUNTY PLANNING DEPARTMENTS.
- LANDSCAPE CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO FURNISH SCOPE OF WORK AS SHOWN PER PLAN.
- EXISTING TOPSOIL IS TO BE STOCKPILED AND USED TO ESTABLISH FINAL GRADES WITHIN LANDSCAPE AREAS. ALL STOCKPILED SOIL MUST BE CLEAR OF WEEDS, ROCKS AND DEBRIS BEFORE REUSE. ALL BERMED PLANTING BEDS TO BE CREATED WITH IMPORTED TOPSOIL.
- GENERAL CONTRACTOR TO RE-SPREAD STOCKPILED SOIL AND ESTABLISH ROUGH GRADE CONDITIONS TO THE FOLLOWING SPECIFICATIONS:
A. 1" BELOW CURB FOR ALL SEEDED AREAS.
B. 2.5" BELOW CURB FOR ALL SODDED AREAS.
C. 4" BELOW CURB FOR ALL PLANTING, ROCK AND MULCH BEDS.
CONTRACTOR TO TILL PARKING LOT ISLANDS TO A DEPTH OF 30".
- AMEND ALL PLANTING BEDS WITH CLASS 1 COMPOST. PROVIDE 4 CY PER 1000 SF FOR TURF AREAS; 2 CYDS PER 1000 SF FOR SEEDED NATIVE AREAS; AND PROVIDE 2:1 MIXTURE OF AMENDMENT FOR FILL DIRT IN TREE/SHRUB HOLES. MINIMUM TILL DEPTH OF 6".
- FINE GRADE TO BE ESTABLISHED BY LANDSCAPE CONTRACTOR. FINE GRADE SHALL BE FREE OF ROCKS AND DEBRIS ½" AND GREATER. FINE GRADE IN SODDED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS ½"AND GREATER. CONTRACTOR TO REPORT ANY POOR DRAINAGE CONDITIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR IS TO PROVIDE VERIFICATION THAT ALL SOD IS OF THE SPECIES SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE ALLOWED. SOD TO BE LAID WITH TIGHT STAGGERED EDGES AND BE ROLLED AFTER INSTALLATION. SEEDED AREAS CANNOT BE SUBSTITUTED WITH SOD.
- MULCHS: ALL PLANTING BEDS THAT CALL FOR WOOD/ORGANIC MULCH TO RECEIVE 4" ORGANIC SHREDDED BARK MULCH. SHREDDED MULCH IS TO BE OF FIBROUS MATERIAL, NOT CHIPS OR CHUNKS. NO FABRIC IS TO BE PLACED UNDER WOOD/ORGANIC MULCH. TREES IN TURF AND NATIVE GRASS AREAS TO RECEIVE 4" DIAMETER OF WOOD MULCH, 3" DEPTH. SHRUBS AND GROUNDCOVERS IN NATIVE GRASS AREAS TO RECEIVE 3" DIAMETER OF WOOD MULCH, 3" DEEP. ALL MULCHED BEDS ARE TO BE SPRAYED WITH WATER AFTER INSTALLATION TO HELP MULCH TO MAT DOWN. ALL BEDS MUST BE MULCHED.

TREES IN COBBLE/ROCK MULCH TO RECEIVE 4" DIAMETER OF WOOD MULCH, 3" DEEP. SHRUBS AND GROUNDCOVERS IN COBBLE/ROCK MULCH AREAS TO RECEIVE 3" DIAMETER OF WOOD MULCH, 3" DEEP. NO FABRIC UNDERLAYMENT IN WOOD MULCH AREAS.

ALL PLANTING BEDS THAT CALL FOR COBBLE/ROCK MULCH TO RECEIVE MIN. 3" DEPTH OF MULCH USE QUICK RELEASE ORGANIC PRE-EMERGENT HERBICIDE FOR ALL MULCHED AND PERENNIAL/PLANTING BEDS (AND FOR COBBLE/AGGREGATE AREAS WITH SLOPES EXCEEDING 3:1 GRADE.

- SEED MIX INSTALLATION: CONTRACTOR TO DRILL SEED WITH BRILLION TYPE APPLICATOR AND APPLY 'SOIL GUARD' BONDED FIBER MATRIX (BFM), WHERE INDICATED PER PLAN AND SCHEDULES. APPLY SEED IN TWO DIRECTIONS (PERPENDICULAR OF THE OTHER) ADD SOIL GUARD BFM FOR DRILL SEEDING WHERE NOTED PER PLAN AND ON ALL SLOPES 5:1 TO 3:1. FOR AREAS WITH 3:1 SLOPES OR GREATER CONTRACTOR TO USE SOIL GUARD APPLICATION ONLY (IN LIEU OF HANDMULCH) CONTRACTOR TO SPOT SEED NON-GERMINATING AREAS (3) MONTHS AFTER INITIAL SEED APPLICATION. CONTRACTOR TO RE-SEED ALL BARE AREAS (6"x6") AND GREATER AFTER (6) MONTHS FROM SEED GERMINATION OR AT THE BEGINNING OF THE FOLLOWING GROWING SEASON. PRIOR TO THE 11-MONTH WARRANTY INSPECTION RE-APPLY SOIL GUARD AND SEED MIX TO ALL BARE AREAS (6"x6" OR GREATER) AND TO ALL BARE AREAS (4"x4" OR GREATER) ON ALL SLOPES 3:1 AND GREATER.
- REMOVED DEAD TWIGS AND BRANCHES FROM ALL NEW AND EXISTING PLANT MATERIAL IN A MANNER THAT DOES NOT CHANGE THE NATURAL HABIT OF THE PLANT MATERIAL. SCARES OF 1" OR MORE SHALL BE PAINTED WITH ORGANIC TREE PAINT. CENTRAL LEADERS SHALL NOT BE REMOVED AT ANY TIME. NEWLY PLANTED TREES WITHOUT CENTRAL LEADERS WILL BE REJECTED.
- CONTRACTOR TO APPLY FERTILIZER IN SPRING & LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.
- ALL SEEDED AND SODDED AREAS TO HAVE RECOMMEND FERTILIZER APPLICATIONS ADDED 2 TO 3 WEEKS AFTER SEEDLING EMERGENCE. AND ONCE IN MID TO LATE JUNE, IN EARLY TO MID AUGUST, AND ONCE IN LATE SEPTEMBER. SEEDED AND SODDED AREAS ARE ALSO TO RECEIVE .5 LB. OF ELEMENTAL SULFUR (OR EQUIVALENT MATERIAL) PER 1,000 S.F. APPLIED IN LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.
- ALL PLANT MATERIALS AND UTILITIES ARE SHOWN AT AN APPROXIMATE LOCATIONS. THE CONTRACTOR MAY NEED TO ADJUST LOCATIONS OF PLANT MATERIAL TO ADHERE TO SPECIFIC ON-SITE CONDITIONS AND CODE REQUIREMENTS. ALL TREES AND SHRUBS TO BE PLACES AT 2" MINIMUM BACK OF CURB. CONTRACTOR TO CALL FOR UTILITY LOCATES BEFORE PLANTING (TYP.) 1-800-922-1987, OR CALL 811 BEFORE YOU DIG!
- ALL CONTRASTING GROUND COVER MATERIALS SHALL UTILIZE PROFESSIONAL GRADE STEEL (WITH ROLLED OR SAFETY CAP TOP EDGE), BRICK, STONE, DECORATIVE CONCRETE OR OTHER EDGING APPROVED BY THE MRC TO DEFINE THE AREAS AND PROVIDE A CLEAN MAINTENANCE EDGE. USE PERFORATED EDGING SEGMENTS TO OBTAIN POSITIVE DRAINAGE FOR ALL DRAINAGE SWALES OR AREAS OF STANDING WATER.
- CONTRACTOR TO PROVIDE COBBLE & UNDERLAYMENT FOR BUILDING DRAINS AND SWALES THROUGH LANDSCAPED AREAS.
- ALL REQUIRED LANDSCAPING TO BE INSTALLED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- ALL NURSERY STOCK TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI z60.1) AND THE COLORADO NURSERY ACT.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT FOR ALL REQUIRED INSPECTIONS. PROVIDE AT LEAST 48 HOURS NOTICE TO SCHEDULE AN INSPECTION. REQUIRED INSPECTIONS INCLUDE A LANDSCAPE LAYOUT AND PLANT MATERIAL VERIFICATION AND PLACEMENT INSPECTION, IRRIGATION MAIN LINE INSPECTION, LANDSCAPE AND IRRIGATION PUNCH LIST INSPECTION, AND A LANDSCAPE AND IRRIGATION FINAL INSPECTION.

- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIAL, TURF, IRRIGATION COMPONENTS, AND WORKMANSHIP. REPLACEMENT PLANT MATERIALS SHALL BE OF THE SAME SPECIES AND SIZE AS THE DECAYED OR DEAD PLANT MATERIAL. WARRANTY IS VOID IF PLANT MATERIAL ARE UNDER OR OVER-WATERED/FERTILIZED, DAMAGED BY VANDALISM OR NEGLECTED BY OWNER AFTER FINAL MAINTENANCE PERIOD AND FINAL ACCEPTANCE IS PROVIDED.

REMOVE ALL TREE STAKING MATERIALS AT END OF WARRANTY, PRIOR TO FINAL ACCEPTANCE
- MAINTENANCE: THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE AND ANY RIGHT OF WAY AREAS BETWEEN THE CURB AND PROPERTY LINES OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, WOOD MULCH AND ROCK COVER REPLACEMENT, PRUNING, AND PLANT MATERIAL REPLACEMENT (INCLUDING ANNUAL BEDS). ALL MAINTENANCE SHOULD BE IN ACCORDANCE WITH STANDARDS SPECIFIED WITHIN THE "ALCC SPECIFICATIONS HANDBOOK" REVISED EDITION- 1996. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION MAINTENANCE OF THIS SITE.

STREET TREES, STREETSCAPE IMPROVEMENTS AND VEGETATION WITHIN THE CITY ROW SHALL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER

IRRIGATION NOTES
ALL TURF AREAS TO BE IRRIGATED WITH AN AUTOMATIC POP-UP SPRINKLER SYSTEM. ALL SHRUBS BEDS TO BE IRRIGATED WITH AUTOMATIC DRIP IRRIGATION SYSTEM. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE NEEDS OF INDIVIDUAL PLANT MATERIAL.

IRRIGATION SYSTEM TO BE ADJUSTED AS NEEDED FOR PLANT ESTABLISHMENT FOR A PERIOD OF AT LEAST ONE (1) YEAR.

ADJUSTMENTS TO BE MADE AFTER ESTABLISHMENT BASED ON SPECIFIC PLANT REQUIREMENTS. SEE SUGGESTED RUN TIMES PROVIDED WITHIN THESE PLANS.

DESIGN OF IRRIGATION SYSTEMS TO MEET OR EXCEED LOCAL REQUIREMENTS AND INDUSTRY STANDARDS. CONSTRUCTION DOCUMENTS SUITABLE FOR DEVELOPMENT COORDINATION TO BE PROVIDED.

IRRIGATION SYSTEM TO BE DESIGNED USING APPROPRIATE COMPONENTS FOR PLANT MATERIAL, AND WILL INCLUDE A SMART ET CONTROLLER AND RAIN SENSOR.

ALL NATIVE SEED AREAS TO BE PERMANENTLY IRRIGATED.

SOIL AMENDMENTS:		Test No. - H3041 PH = 6.9		SOIL TYPE = Sandy Clay Loam Organic Material = 1.4%	
GROUND PLANE TREATMENT	PLANT OM AMENDMENT	NITROGEN	PHOSPHORUS	POTASSIUM	OTHER
SODDED TURF/GRASS	2 cu yds / 1000sf	1.5 lbs / 1000 sf	1 lb / 1000 sf	200.0 ppm	2 cu 2in. 2 oz Flt / 1000 sf
SEEDED AREAS-NATIVE	2 cu yds / 1000sf	N/A	none needed	none needed	none needed
TREES	3 cu yds / 1000sf	1.5 lbs / 1000 sf	1 lb / 1000 sf	200.0 ppm	2 cu 2in. 2 oz Flt / 1000 sf
SHRUBS	2 cu yds / 1000sf	1.5 lbs / 1000 sf	1 lb / 1000 sf	200.0 ppm	2 cu 2in. 2 oz Flt / 1000 sf

* USE CLASS 1 COMPOST AMENDMENTS AND ORGANIC AMENDMENTS AS SPECIFIED BELOW

ACCEPTABLE FERTILIZERS: For each 0.1 lb of Nitrogen needed, apply about 1 1/4 lb urea, or 1/2 lb ammonium sulfate, or 3/4 lb bloodmeal, or 1 lb corn gluten meal, or 5 lb alfalfa meal pellets per 100 sq ft. For Phosphorus bone meal can be added at 3.5 lbs/100 sq ft. or triplesuperphosphate can be added at 1 lb/100 sq ft. Potassium can be added as potassium chloride at 0.6 lbs/100 sq ft. as composted manure @ 0.1 - 0.3 cubic yards/100 sq ft.

* USE CLASS 1 COMPOST

* 2" ADDITIONAL FERTILIZER ONLY IF SALT LEVELS ARE LOW.

* USE SLOW RELEASE FERTILIZERS FOR SANDY SOILS.

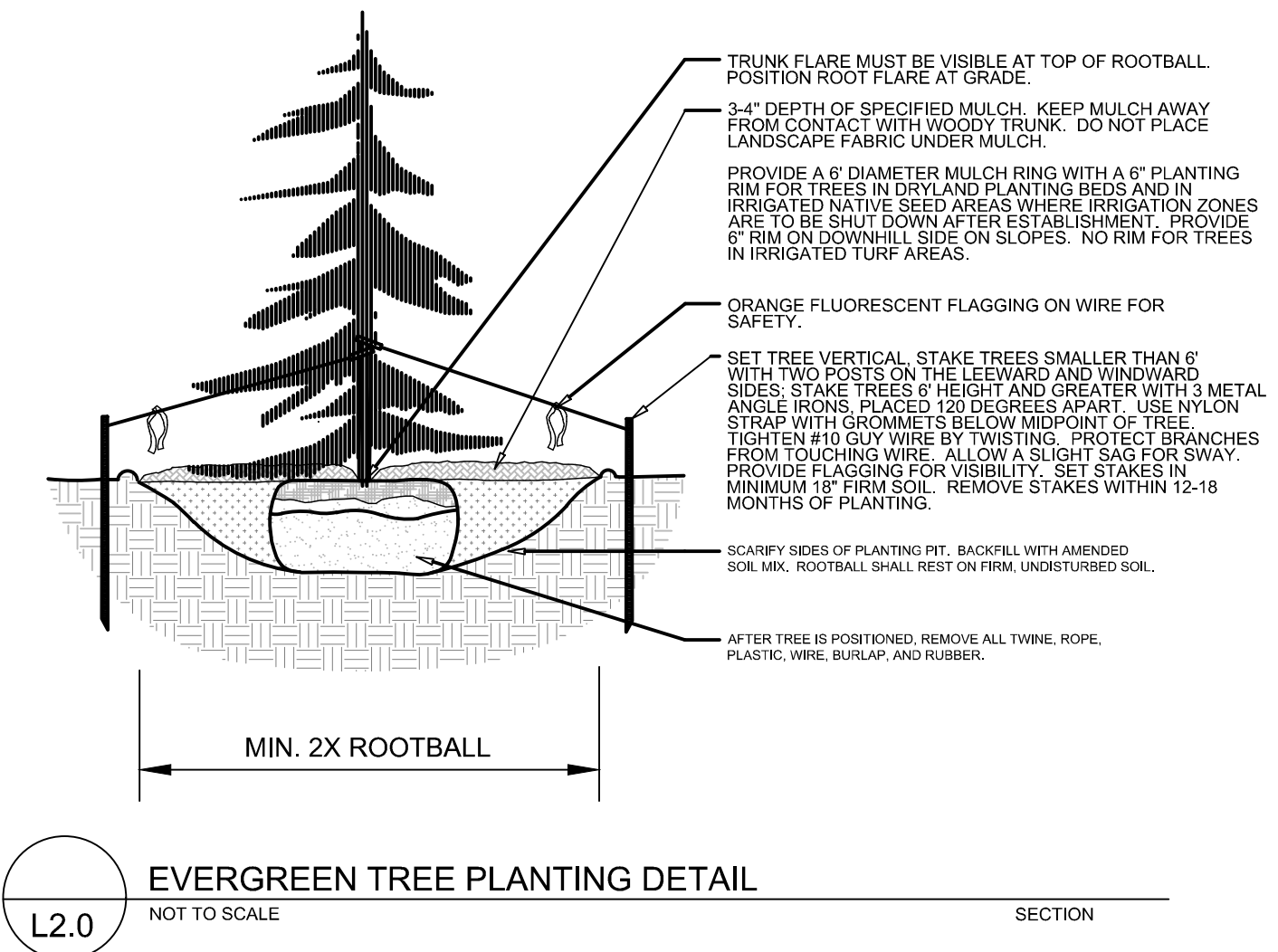
IF THE RECOMMENDATIONS NOTED ABOVE ARE NOT FOLLOWED BY THE RESPECTIVE PARTIES, THE CERTIFICATE OF OCCUPANCY MAY BE POSTPONED OR DENIED

PROVIDE A COPY OF RECEIPT FOR ORGANIC AMENDMENT INSTALLED PRIOR TO FINAL INSPECTION.

PENDING

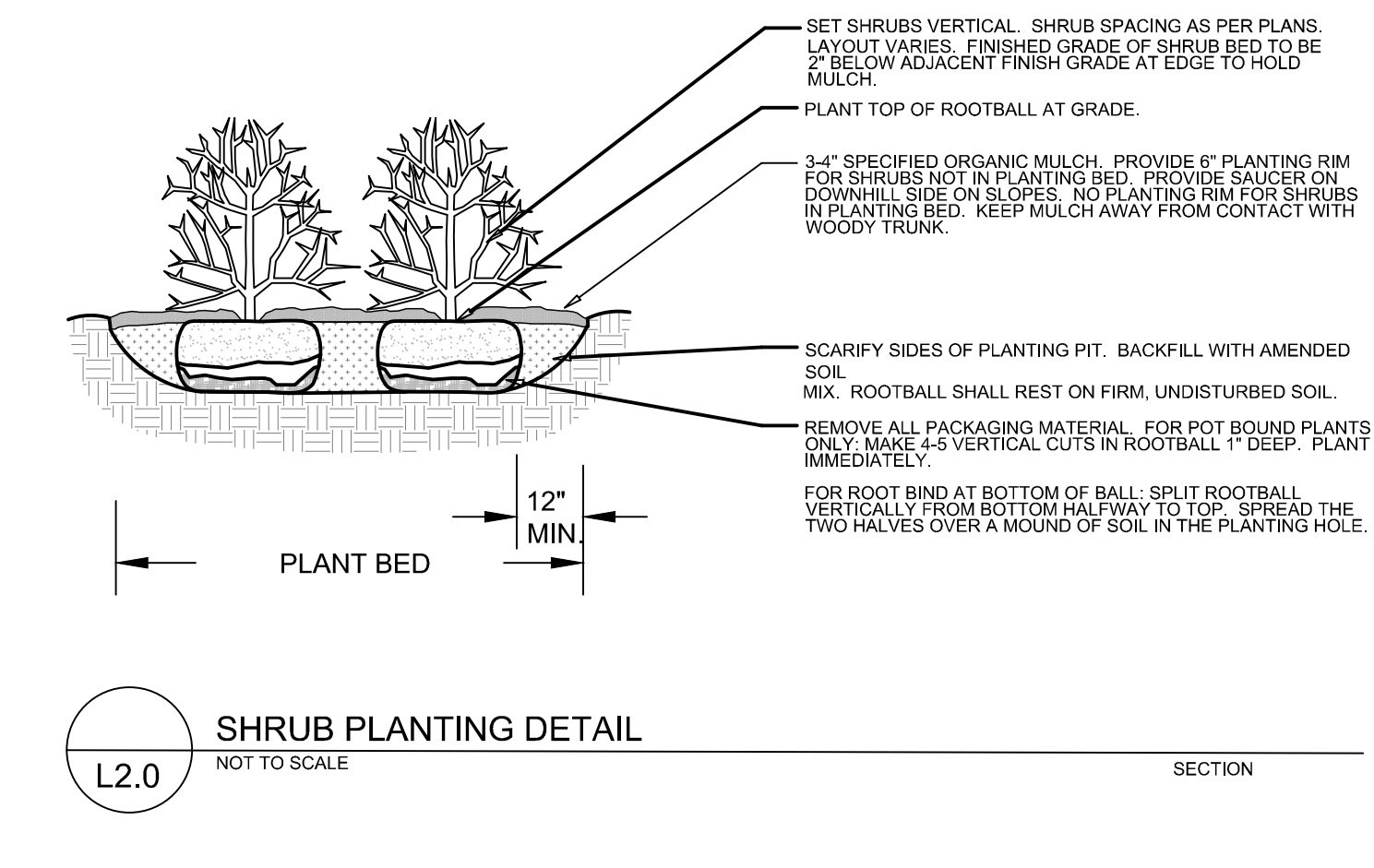
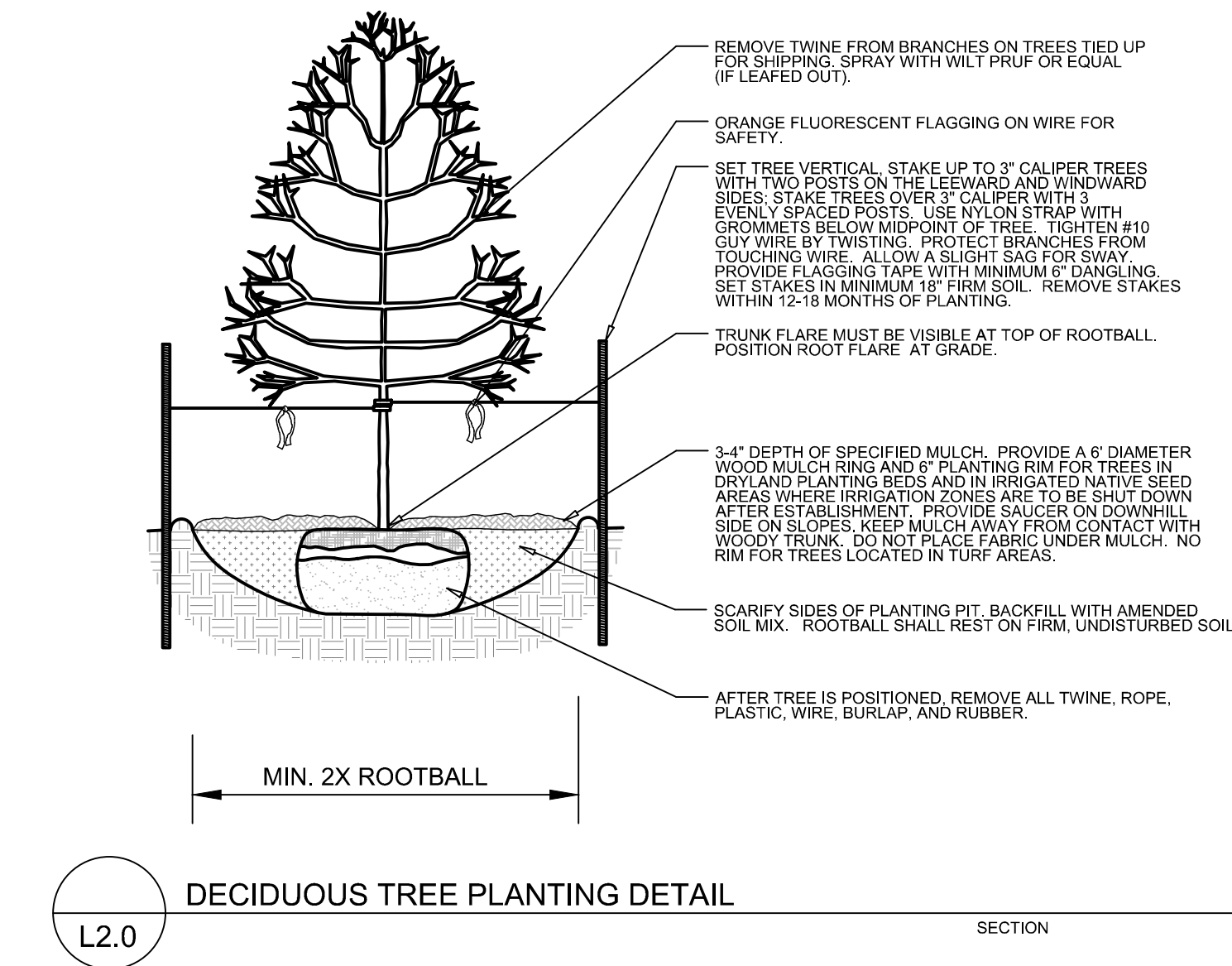
NOTES:

- DO NOT REMOVE OR CUT LEADER.
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
- DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- AMENDED BACKFILL SHALL BE AS STATED ON THIS SHEET.
- MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
- PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING. COORDINATE WITH CITY FORESTRY
- FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
- ALL TREES TO BE DEEP WATERED AT TIME OF PLANTING.



NOTES:

- MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
- AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS OVER BRANCHES, AND WEAK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS.
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
- AMENDED BACKFILL SHALL BE AS STATED ON THIS SHEET.
- WRAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK. USE ELECTRICAL OR DUCT TAPE, NOT TWINE.
- COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
- DEEP WATER ALL PLANTS AT TIME OF PLANTING.



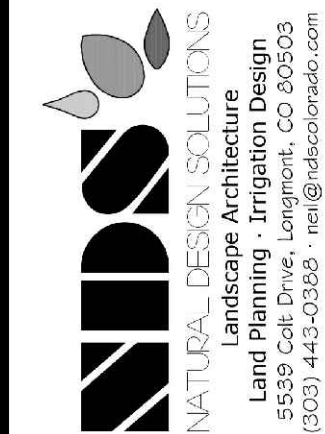
SITE CATEGORY REQUIREMENTS

LANDSCAPE SETBACKS (or Double Frontage Lot Streetscapes)				
Street Name or Zone Boundary (elev.)	Street Classification	Width (in ft.)	Linear Footage	No. of Trees Required / Provided
Integrity Center Point	Collector	10' / 10	548	1 / 30
Shrub Substitutes Required / Provided	Ornamental Grass Substitutes Required / Provided	Setback Plant Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Provided	
40 / 40	0 / 0	-	82%	
MOTOR VEHICLE LOTS				
No. of Vehicle Spaces Provided	Shade Trees (1/15) Required / Provided	Vehicle Lot Frontage (s)	Length of Frontage (ft.) (excluding driveways)	2/3 Length of Frontage (ft.)
105	7 / 7	Integrity Center Point	340	228
Frontage Screening Provided (LF)	Evergreen LF Req.(50%) / Prov.	Length of Screening Wall or Berm Provided	Percent Ground Plane Veg. Req. / Provided	
260	130 / 130	Full Length - grade change	75 / 80	
INTERNAL LANDSCAPING				
Net Site Area (SF) (less public R.O.W.)	Percent Min. Internal Area (%)	Internal Area (SF) Required / Provided	Internal Trees (1/500 SF) Required / Provided	Internal Trees (1/500 SF) Shrub Sub Req/Prov
105,391	5%	5,270 / 32,649 (on-site)	11 / 11	0 / 0
Internal Plant Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Provided			
IN	75% / 86 %			

Table 5-2. El Paso County All-Purpose Low Grow Mix for Upland and Transition Areas

Common Name	Scientific Name	Growth Season / Form	% of Mix	Pounds PLS		
				• mixed broadcast • irrigated hydroseeded	• Non-irrigated broadcast • irrigated hydroseeded • irrigated drip	• Non-irrigated drip
Buffalograss	<i>Bouteloua curtipendula</i>	Warm, cool	25	9.5	4.8	2.4
Grass, Blue	<i>Bouteloua curtipendula</i>	Warm, cool	20	10.9	5.4	2.7
Grass, Side-leaf	<i>Bouteloua curtipendula</i>	Warm, cool	20	5.5	2.8	1.4
Green needlegrass	<i>Stipa capensis</i>	Cool, cool	5	3.2	1.6	0.8
Wheatgrass, western	<i>Panicum capense</i>	Cool, cool	20	12	6	3
Drosera, sand	<i>Trifolium repens</i>	Warm, cool	1	0.8	0.4	0.2
Seed rate (lbs PLS/acre)				42	21	10.3

REVISIONS:



THIS PLAN SHALL NOT BE COPIED WITHOUT THE PERMISSION OF NIDUS, INC.

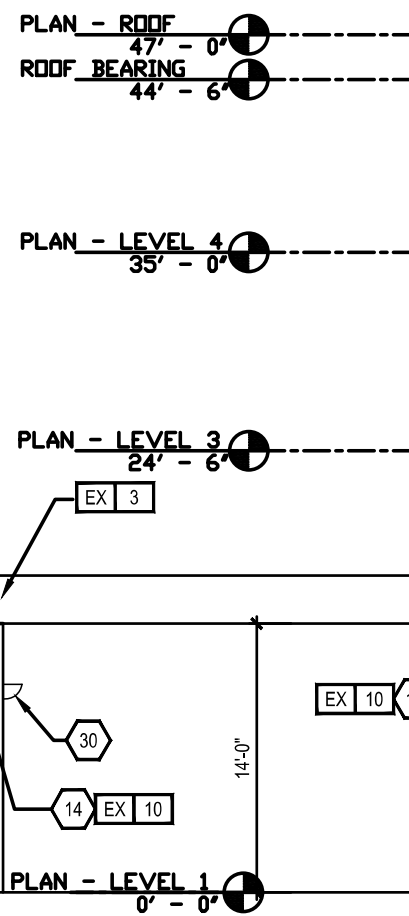
HOME 2 SUITES INTEGRITY CENTER POINT, COLORADO SPRINGS

LANDSCAPE CONSTRUCTION DETAILS & NOTES

PROJ. NO.:
DATE: 12.29.21
SCALE: See Sheet
DRAWN: JRO
CHKD BY: NAM
SHEET L20

KEY NOTES:

- APPROXIMATE LINE OF GRADE
- ABOVE GRADE EXPOSED FOUNDATION WALL
- MASONRY OR TILE - BASE
- MASONRY OR TILE - FIELD - ASH-LAR PATTERN
- CONCRETE FOOTING AND FOUNDATION WALL AS REQUIRED PER LOCAL FROST DEPTHS
- COLLUS
- NOT USED
- ALUMINUM FIXED WINDOW W/ THERMAL BROKEN FRAME INSULATED GLAZING WITH INTERNAL ALUMINUM COVER AT PTAC UNITS
- ALUMINUM STOREFRONT SYSTEM W/ THERMAL BROKEN FRAME AND INSULATED GLAZING
- NOT USED
- EXHAUST - REFER TO MECHANICAL DRAWINGS
- ALUMINUM SLIDING ENTRY DOOR W/ INSULATED GLAZING
- BEACON - BEAM - REFER TO STYLE GUIDE
- PAINTED TUBE STEEL CANOPY W/ STAINED WOOD TRELLIS
- TONGUE N GROOVE WOOD PLANK CEILING, STAINED
- ENVELOPE - CORE FINISH-REFER TO STYLE GUIDE
- ENVELOPE - WRAP FINISH-REFER TO STYLE GUIDE
- FINISH CONTROL JOINT
- OVERFLOW SLOPPER BASES OF DESIGN NESCO MFG INC. - MODEL # 8-1075-48 - REFER ALSO TO DETAIL 5.16.12
- TAMPER RESISTANT, RECESSED HOSE BIB - MOUNT TOP AT +12" A.F.F.
- ENVELOPE - ACCENT FINISH-REFER TO STYLE GUIDE
- ENVELOPE - ACCENT FINISH-REFER TO STYLE GUIDE
- SIGNAGE - REFER TO EXTERIOR SIGNAGE SPECIFICATIONS
- KYNAR FINISH ALUMINUM CORING SYSTEM - COLOR TO MATCH ADJACENT MATERIAL
- NOT USED
- REVIEW ALL VIEWS AROUND PROPERTY BEFORE LOCATING ALL ROOF TOP MECHANICAL UNITS. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
- BEACON - REFER TO SECTIONS FOR MORE INFORMATION
- PAINTED ALUMINUM OUTSIDE CORNER BY FRY REGLET, COLOR TO MATCH ADJACENT ENVELOPE - CORE FINISH
- EXHAUST VENT - COLOR TO MATCH ADJACENT MATERIAL
- LIGHT FIXTURE - REFER TO DETAILS
- EXPANSION JOINT @ FLOOR LINE W/ BACKER ROD AND SEALANT
- ALUMINUM LOUVER - COLOR TO MATCH ADJACENT MATERIAL MATCHING ADJACENT WALL
- BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION.
- CONCRETE PAD - REFER TO AREA DEVELOPMENT PLAN
- ACCESS OPENING INTO BEACON
- ALUMINUM GUTTER AND DS. COLOR TO MATCH ADJ. MATERIAL
- ACCESSIBLE KEY CARD READER WIRED TO ELECTRIC STRIKE IN DOOR. TOP OF READER AT 48" MAX. HEIGHT
- POOL PERIMETER FENCE AS REQUIRED BY CODE W/ 3'-0" GATE
- PRECAST CORNING



2 EAST ELEVATION
A5.01 SCALE: 1/8" = 1'-0"

BUILDING SIGNAGE:

- ALL SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.
- MINIMUM 3/4" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.
- ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY. TYPICAL 120V REQUIREMENT.
- RACEWAYS/ WIREWAYS ARE NOT ALLOWED.
- PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.
- GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

Notice:

HATCHED INDICATES AREA OF FACADE WHICH EXTENDS MINIMUM 12" PROUD OF ADJACENT FINISH

FINISH KEY:

- | | |
|-------|--|
| EX 1 | ENVELOPE - ACCENT METAL - REFER TO STYLE GUIDE |
| EX 2 | ENVELOPE - BEACON - EPS STUCCO - BENJAMIN MOORE 338 FLOWER POWER |
| EX 3 | ENVELOPE - WRAP - EPS STUCCO - BENJAMIN MOORE OC-32 TAPESTRY BEIGE |
| EX 4 | ENVELOPE - LINK & KEEP - EPS STUCCO BENJAMIN MOORE CSP-60 CITY SHADOW |
| EX 5 | ENVELOPE - ACCENT OPTION - EPS STUCCO BENJAMIN MOORE HC-41 ROMANO GOLD |
| EX 6 | ENVELOPE - CORE - EPS STUCCO BENJAMIN MOORE 2110-30 SADDLE SOAP |
| EX 7 | NOT USED |
| EX 8 | ENVELOPE - SUPPORT - BRICK TILE - DARK GREY COLOR |
| EX 9 | BEACON - BEAM - REFER TO STYLE GUIDE |
| EX 10 | ENVELOPE - CANOPY - STEEL - BENJAMIN MOORE OC-17 WHITE EDGE |

GENERAL NOTES THIS SHEET:

- REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL AND STYLE GUIDE FOR ADDITIONAL INFORMATION REGARDING EXTERIOR MATERIALS, CONSTRUCTION REQUIREMENTS AND SIGNAGE REQUIREMENTS.
- GROUT COLOR TO MATCH EXTERIOR TILE OR MASONRY.
- BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION. THESE DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION. INTERIOR CEILING HEIGHTS ARE CRITICAL TO MAINTAIN AS MINIMUM.
- EPS TO BE FINE SWIRL STUCCO FINISH.

1 WEST ELEVATION
A5.01 SCALE: 1/8" = 1'-0"

NOT FOR
REGULATORY
APPROVAL
PERMITTING OR
CONSTRUCTION

PROJECT INFO:
PROJECT NUMBER: 2107
DRAWN BY: SP

REVISION:

△	DATE
△	DATE
△	DATE
△	DATE

LEED AP BD-C

SIDDHARTH PAREKH
18218 E MORGAN BEND DRIVE CYPRESS, TX 77433
PH: (832) 878-1262 / E-Mail: sid@parekharch.com

HOME2 SUITES

INTEGRITY CENTER POINT DRIVE, COLORADO SPRINGS, CO

PREPARED FOR:

Prepared for: ANR Group

SHEET TITLE:
BUILDING
ELEVATIONS

SCALE: AS SHOWN
DATE: 02-22-2022

SHEET NUMBER:

A5.01

KEY NOTES:

- APPROXIMATE LINE OF GRADE
- ABOVE GRADE EXPOSED FOUNDATION WALL
- MASONRY OR TILE - BASE
- MASONRY OR TILE - FIELD - ASH-LAR PATTERN
- CONCRETE FOOTING AND FOUNDATION WALL AS REQUIRED PER LOCAL FROST DEPTHS
- OCULUS
- NOT USED
- ALUMINUM FIXED WINDOW W/ THERMAL BROKEN FRAME, INSULATED GLAZING WITH INTEGRAL ALUMINUM LOUVER AT PTAC UNITS
- ALUMINUM STOREFRONT SYSTEM W/ THERMAL BROKEN FRAME AND INSULATED GLAZING
- NOT USED
- EXHAUST - REFER TO MECHANICAL DRAWINGS
- ALUMINUM SLIDING ENTRY DOOR W/ INSULATED GLAZING
- BEACON - BEAM - REFER TO STYLE GUIDE
- PAINTED TUBE STEEL CANOPY W/ STAINED WOOD TRELLIS
- TONGUE N GROOVE WOOD PLANK CEILING, STAINED
- ENVELOPE - CORE FINISH-REFER TO STYLE GUIDE
- ENVELOPE - WRAP FINISH-REFER TO STYLE GUIDE
- FINISH CONTROL JOINT
- OVERFLOW SCUPPER-BASIS OF DESIGN NESCO MFG INC. - MODEL # SCOT14R - REFER ALSO TO DETAIL 6J/A6.12
- TAMPER RESISTANT - RECESSED HOSE BB - MOUNT TOP AT +12' A.F.F.
- ENVELOPE - ACCENT FINISH-REFER TO STYLE GUIDE
- ENVELOPE - ACCENT FINISH-REFER TO STYLE GUIDE
- SIGNAGE -REFER TO EXTERIOR SIGNAGE SPECIFICATIONS
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- NOT USED
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- PRECAST COPING

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ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY. TYPICAL 120V REQUIREMENT

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PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO TURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.

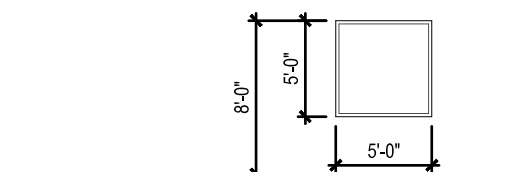
QUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

FINISH KEY:

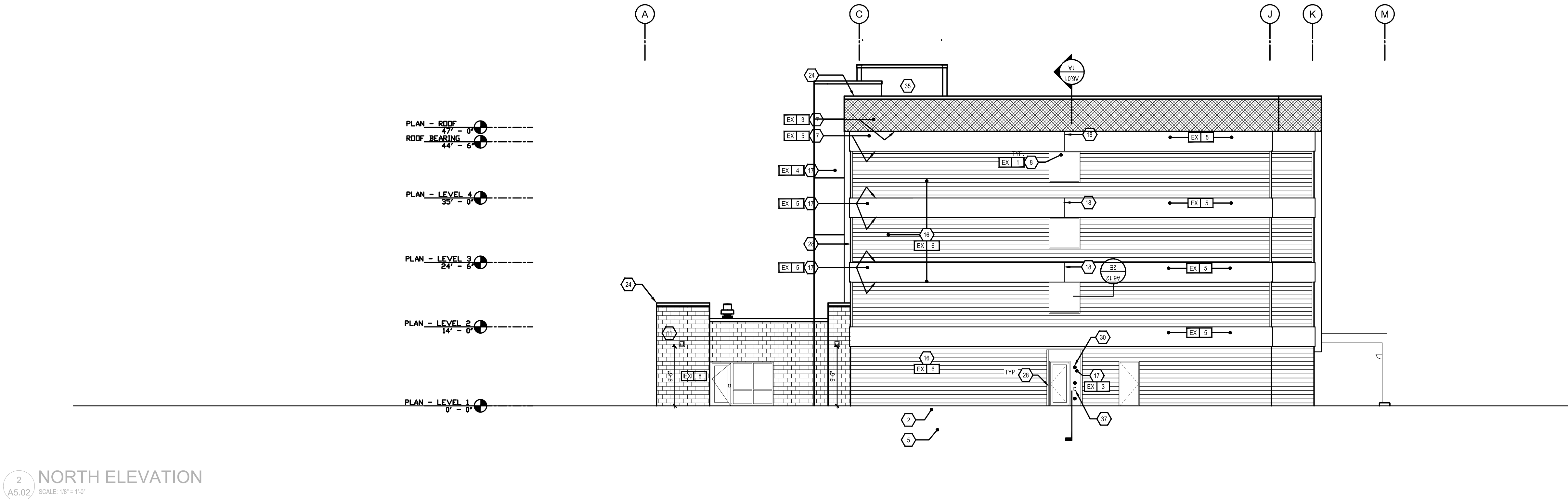
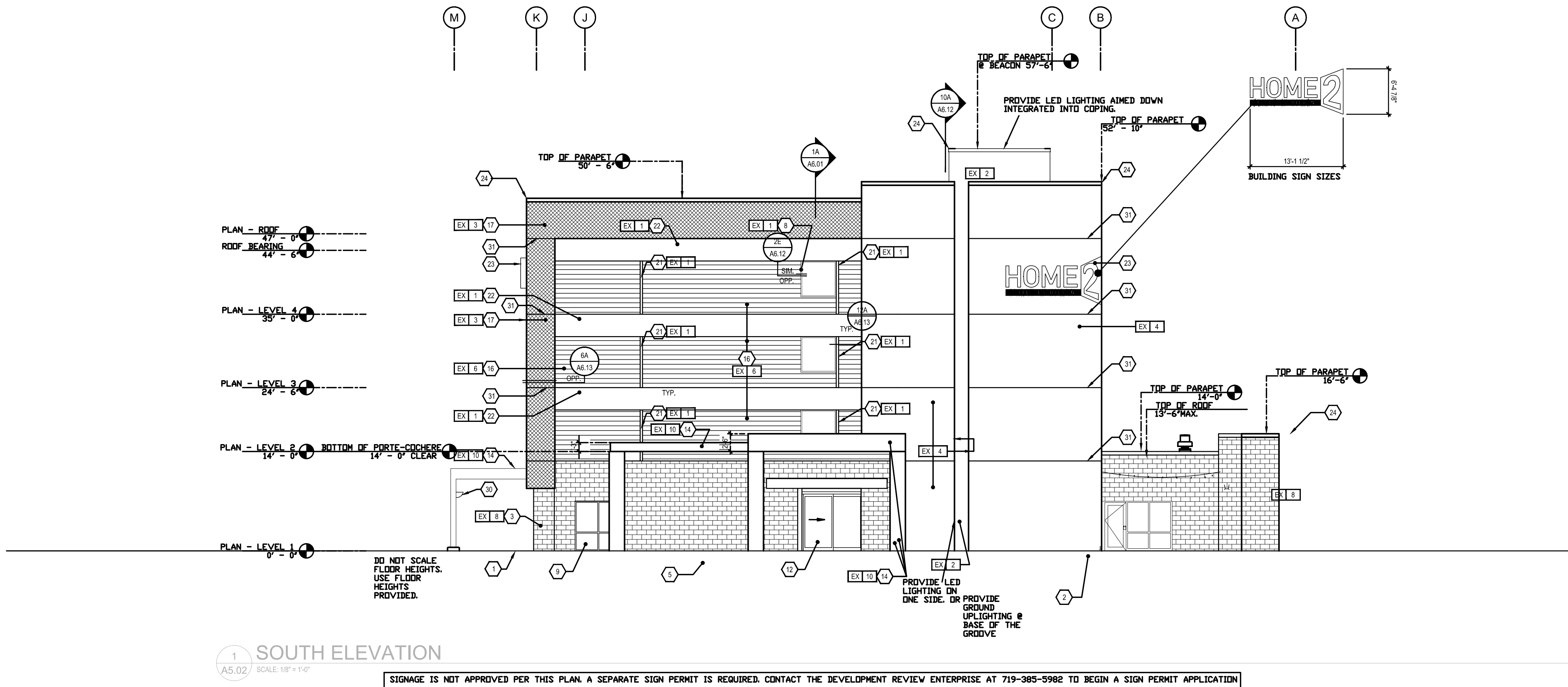
EX 1	ENVELOPE - ACCENT METAL -REFER TO STYLE GUIDE
EX 2	ENVELOPE - BEACON -EPS STUCCO - BENJAMIN MOORE 998 FLOWER POWER
EX 3	ENVELOPE - WRAP -EPS STUCCO - BENJAMIN MOORE OC-32 TARESTRY BEGE
EX 4	ENVELOPE - LINK & KEEP -EPS STUCCO BENJAMIN MOORE CSP-60 CITY SHADOW
EX 5	ENVELOPE - ACCENT OPTION -EPS STUCCO BENJAMIN MOORE HC-41 RICHMOND GOLD
EX 6	ENVELOPE - CORE -EPS STUCCO BENJAMIN MOORE 2110-30 SADDLE SOAP
EX 7	NOT USED
EX 8	ENVELOPE - SUPPORT - BRICK TILE - DARK GREY COLOR
EX 9	BEACON - BEAM -REFER TO STYLE GUIDE
EX 10	ENVELOPE - CANOPY -STEEL - BENJAMIN MOORE OC-17 WHITE DOVE

GENERAL NOTES THIS SHEET:

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- GROUT COLOR TO MATCH EXTERIOR TILE OR MASONRY.
- BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION. THESE DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION. INTERIOR CEILING HEIGHTS ARE CRITICAL TO MAINTAIN AS MINIMUMS.
- EPS TO BE FINE SHIM, STUCCO FINISH.



CORRIDOR WINDOWS ELEVATIONS - NORTH AND SOUTH ELEVATIONS

2 NORTH ELEVATION
A5.02 SCALE: 1/8" = 1'-0"1 SOUTH ELEVATION
A5.02 SCALE: 1/8" = 1'-0"

SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE DEVELOPMENT REVIEW ENTERPRISE AT 719-385-5982 TO BEGIN A SIGN PERMIT APPLICATION

NOT FOR
REGULATORY
APPROVAL
PERMITTING OR
CONSTRUCTIONPROJECT INFO:
PROJECT NUMBER: 2107
DRAWN BY: SPREVISION:
DATE
DATE
DATE
DATE

SIDDHARTH PAREKH LEED AP BD+C

18218 E MORGANS BEND DRIVE CYPRESS, TX 77433
PH: (832) 878-7262 / E-Mail: sid@parekharch.com

HOME2 SUITES

INTEGRITY CENTER POINT DRIVE, COLORADO SPRINGS, CO

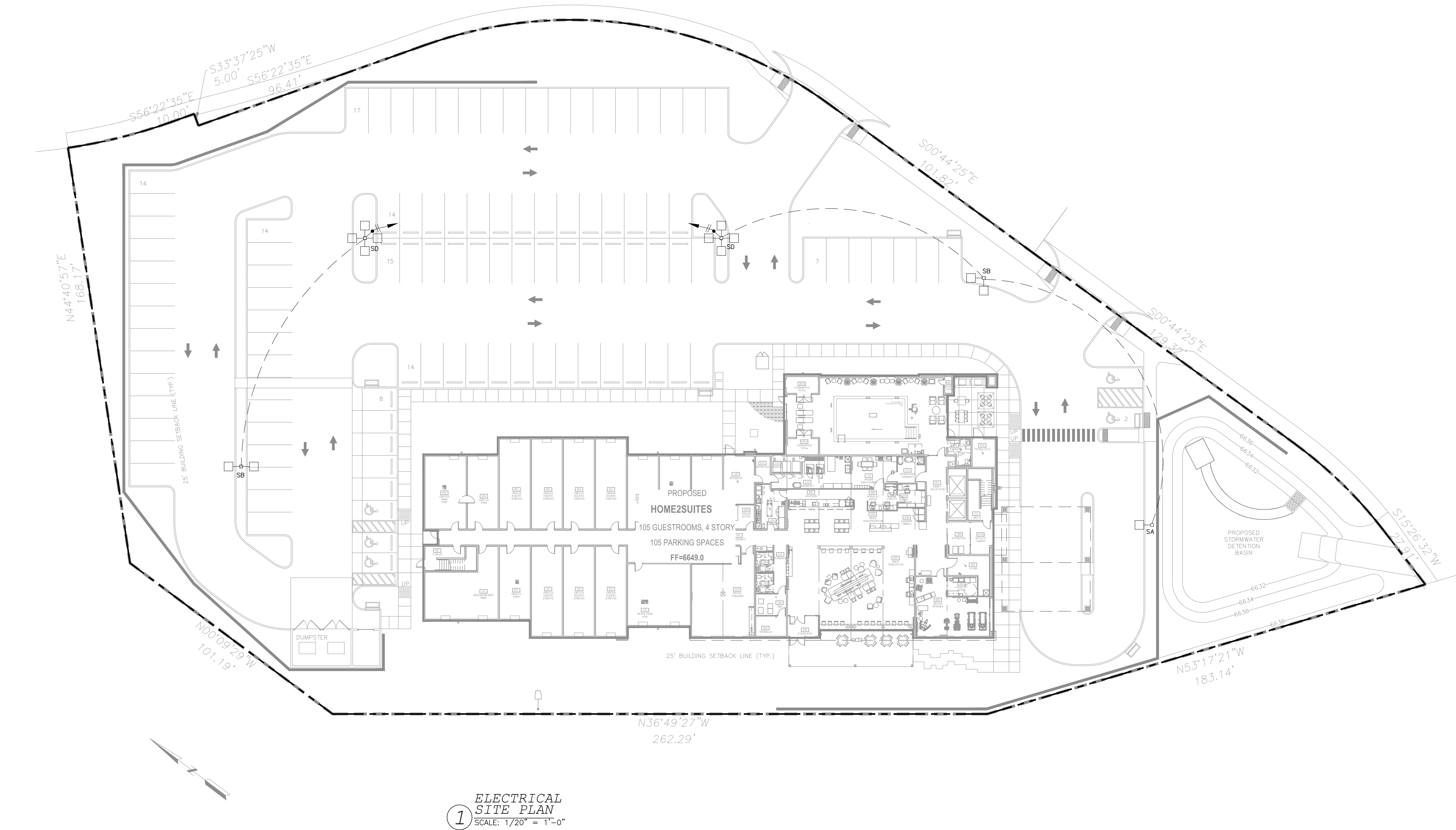
PREPARED FOR:

Prepared for: ANR Group

SHEET TITLE:
BUILDING
ELEVATIONSSCALE: AS SHOWN
DATE: 02-22-2022

SHEET NUMBER:

A5.02



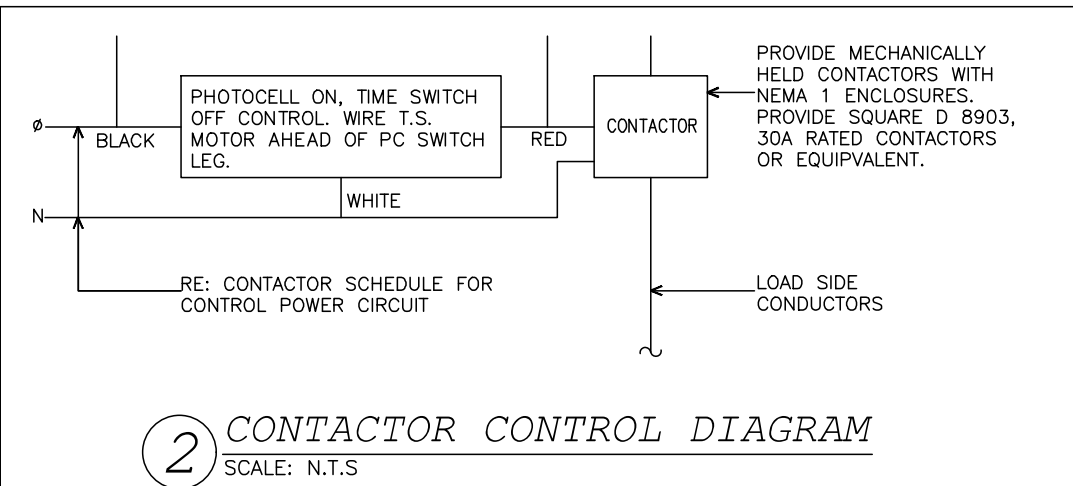
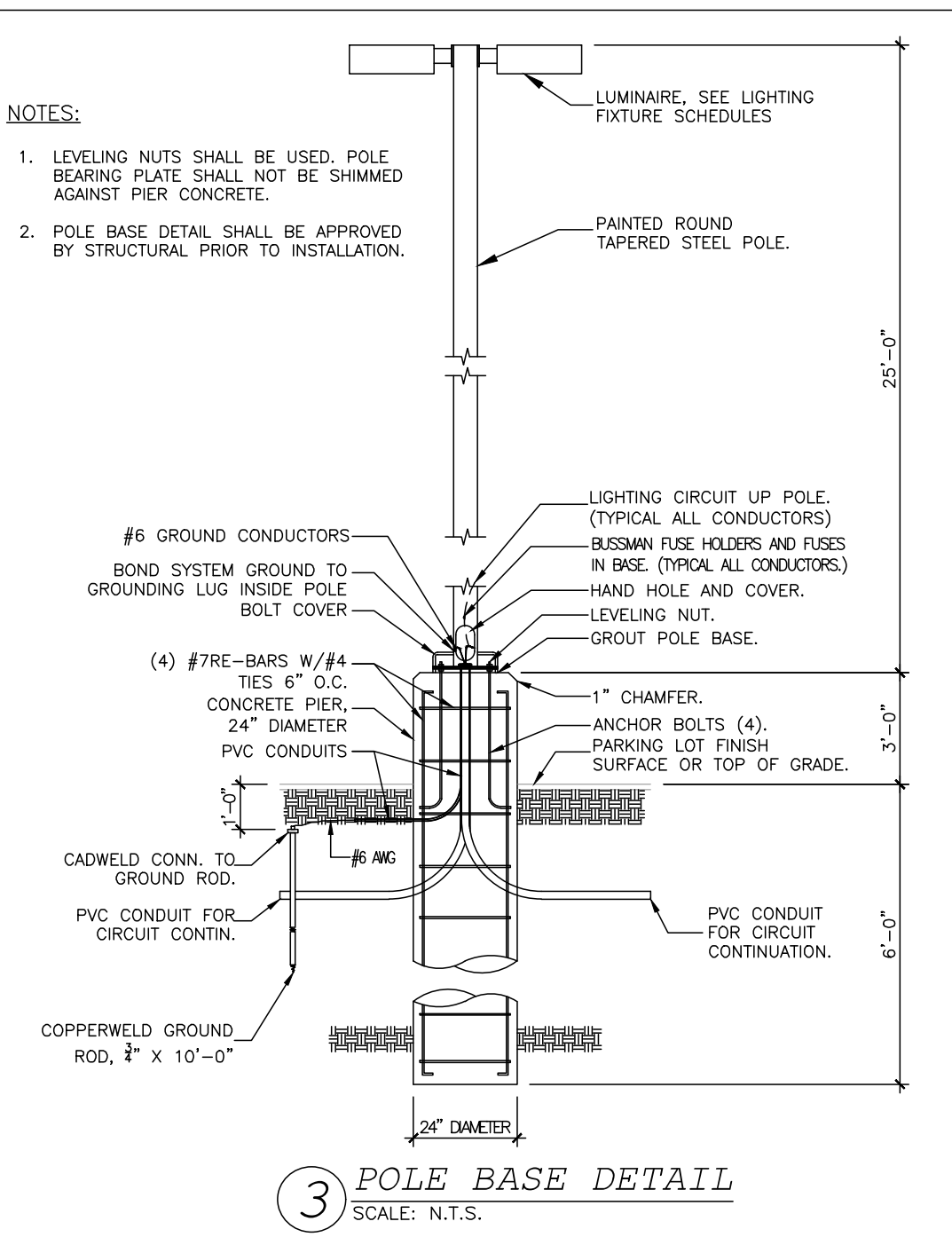
1 ELECTRICAL SITE PLAN
SCALE: 1/20" = 1'-0"

GENERAL SITE NOTES:

- FOR PARKING LOT LIGHTING CONTROL DIAGRAM SEE #2 IN THIS SHEET.
- PROVIDE METER AND CT'S PER UTILITY CO. SPECIFICATIONS.
- INSTALL PAD MOUNTED TRANSFORMER PER UTILITY CO. SPECIFICATIONS. COORDINATE ALL OTHER REQUIREMENTS WITH LOCAL UTILITY CO.
- CONTRACTOR SHALL PROVIDE 5" SCHEDULE 80 PVC CONDUITS WITH PULL ROPE AT A MINIMUM OF 30" BELOW GRADE. TERMINATE CONDUIT AT A LOCATION SPECIFIED BY UTILITY CO. COORDINATE ALL REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL UTILITY SERVICES TO THE BUILDING WITH THEIR RESPECTIVE PROVIDERS. FAILURE TO DO SO WILL NOT RESULT IN ANY EXTRA FINANCIAL COMPENSATION FROM THE OWNER. CONTRACTOR SHALL HAVE ALL UTILITY SERVICE REQUIREMENTS IN THE BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR BACK FILLING, TRENCHING AND SITE RESTORATION. THE SELECT BACKFILL MATERIAL MUST NOT CONTAIN ANY SHARP OR FOREIGN OBJECTS.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE AS NECESSARY ALL UNDERGROUND LOCATIONS WITH OTHER TRADES PRIOR TO DIGGING BEING DONE.
- THE CONTRACTOR SHALL INCLUDE IN THE BID ALL ELECTRIC UTILITY FEES TO PROVIDE ELECTRICAL SERVICE TO THE PROJECT.
- CONTRACTOR SHALL PROVIDE ONE CONDUIT LOCATED IN BETWEEN TWO SPACES SHALL SERVE TWO SPACES. SHOW A MINIMUM OF (1) ONE, 1 INCH CONDUIT IN BETWEEN TWO TYPICAL PARKING SPACES. THE CONDUIT AND RELATED SPACES MAY BE INCLUDED IN THE IDENTIFIED CLEAN AIR/ VANPOOL/EV SPACES COUNT.

NOTES:

- LEVELING NUTS SHALL BE USED. POLE BEARING PLATE SHALL NOT BE SHIMMED AGAINST PIER CONCRETE.
- POLE BASE DETAIL SHALL BE APPROVED BY STRUCTURAL PRIOR TO INSTALLATION.



HOME2 SUITES
INTEGRITY CENTER POINT DRIVE, COLORADO SPRINGS, CO

SIDDHARTH PAREKH LEED AP BD+C

PROJECT INFO:
PROJECT NUMBER: 2107
DRAWN BY: PL

REVISION:

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18218 E MORGANS BEND DRIVE CYPRESS, TX 77433
PH: (832) 878 1261 | E-Mail: sid@parekharch.com

PREPARED FOR:

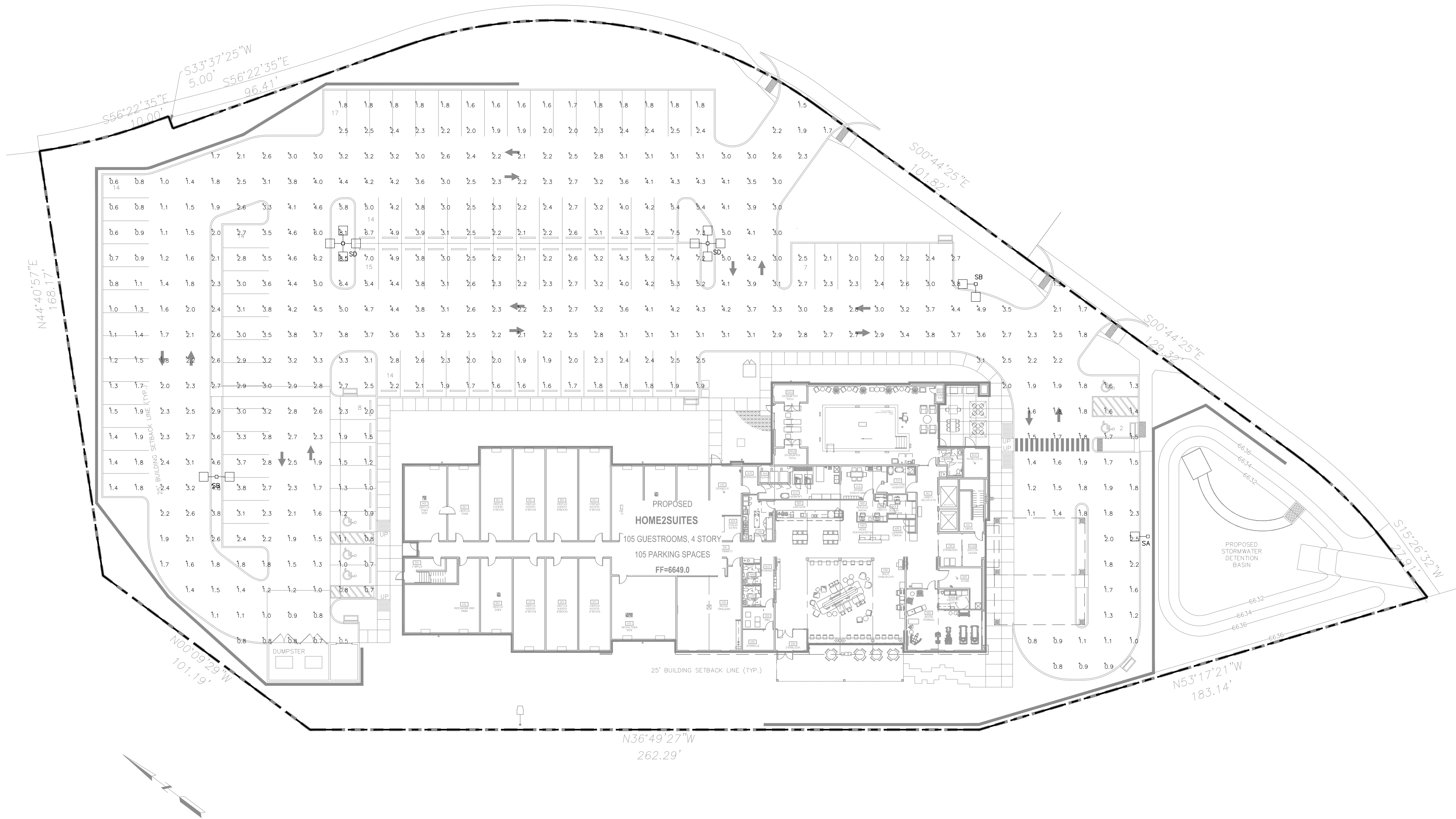
Prepared for: ANR Group

SHEET TITLE:
ELECTRICAL SITE PLAN

SCALE: 1/20"=1'-0"
DATE: 11-08-2021

SHEET NUMBER:

E5.0



1 PHOTOMETRIC PLAN
SCALE: 1/20" = 1'-0"

Calculation Summary							
Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Area	Illuminance	Fc	2.60	8.5	0.5	5.20	17.00
Luminaire Schedule							
Qty	Label	Arrangement	LLF	Description	Lum. Watts	Lum. Lumens	
13	KAD_LED_600_700_30K_R3_MVOLT	SINGLE	1.000	KAD LED 600 700 30K R3 MVOLT	134	14864	

DEC. 31, 2021

PROJECT INFO:
PROJECT NUMBER: 2107
DRAWN BY: PL

REVISION:

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△

SIDDHARTH PAREKH LEED AP BD+C
18218 E MORGANS BEND DRIVE CYPRESS, TX 77433
PH: (832) 878 1262 | E-Mail: sid@parekharch.com

HOME2 SUITES
INTEGRITY CENTER POINT DRIVE, COLORADO SPRINGS, CO

PREPARED FOR:



Prepared for: ANR Group



SHEET TITLE:
PHOTOMETRIC PLAN

SCALE: 1/20"=1'-0"
DATE: 11-08-2021

SHEET NUMBER:

E5.1

10/20/2018	KAD LED 60C 700 30K R3 MVOLT
OUTDOOR PHOTOMETRIC REPORT	
CATALOG: KAD LED 60C 700 30K R3 MVOLT	
TEST #:	LTL26039P223
TEST LAB:	SCALED PHOTOMETRY
TEST NOTES:	SCALED FROM ABSOLUTE TEST: LTL26039P28
TEST DATE:	12/2/2015
CATALOG:	KAD LED 60C 700 30K R3 MVOLT
DESCRIPTION:	KAD LED, 60 LED, 700MA MVOLT DRIVER, 3000K, TYPE 3 OPTICS.
SERIES:	KAD-LED
LAMP CATALOG:	NICHIA 3000K 70 CRI
LAMP:	LED
LAMP OUTPUT:	TOTAL LUMINAIRE LUMENS: 14866.1, ABSOLUTE PHOTOMETRY *
BALLAST / DRIVER:	LEDINTA0700C210DO
INPUT WATTAGE:	134
LUMINOUS OPENING:	RECTANGLE (L: 0.28M, W: 0.3M)
MAX CD:	12.361.0 AT HORIZONTAL: 70°, VERTICAL: 75°
ROADWAY CLASS:	MEDIUM TYPE IV

4/10/2016	KAD LED 80C 700 30K R3 RV10T					
OUTDOOR PHOTOMETRIC REPORT CATALOG: KAD LED 80C 700 30K R3 RV10T						
ZONAL LUMEN SUMMARY		LUMENS PER ZONE				
ZONE LUMENS % LUMINAIRE	ZONE LUMENS % TOTAL ZONE LUMENS % TOTAL	0-10 176.7 1.2% 90-100 0.00% 0%	0-40 494.1 3.3% 100-110 0.00% 0%			
0-30 1,415.9 9.5%	20-30 745.1 5.0% 110-120 0.00% 0%	30-40 1,081.6 7.3% 120-130 0.00% 0%	40-50 1,707.9 11.5% 130-140 0.00% 0%			
0-60 6,879.9 46.3%	50-60 2,674.5 18.0% 140-150 0.00% 0%	60-70 3,995.7 26.9% 150-160 0.00% 0%	70-80 3,521.7 23.7% 160-170 0.00% 0%			
60-90 7,986.2 53.7%	80-90 468.8 3.2% 170-180 0.00% 0%	LCS TABLE	B3 - U0 - G3			
70-100 3,990.5 26.8%	BUG RATING					
90-120 0.00% 0%	FORWARD LIGHT		LUMENS %			
0-50 14,865.1 100%			LOW(0-30): 853.7 5.7%			
90-180 0.00% 0%	BACK LIGHT		MEDIUM(30-60): 4,213.7 28.3%			
0-180 14,866.1 100%			HIGH(60-90): 6,459.3 43.4%			
ROADWAY SUMMARY		UPLIGHT	VERY HIGH(90-50): 167.3 1.1%			
DISTRIBUTION:	TYPE IV, MEDIUM		LOW(90-100): 0.00% 0%			
MAX CD, 90 DEG VERT:	0.000	TRAPPED LIGHT:	HIGH(100-180): 0.00% 0%			
MAX CD, 80 TO <90 DEG:	5,417.3		0.7 0%			
LUMENS	% LAMP	DOWNWARD STREET SIDE: 11,825.7 79.5%				
		DOWNWARD HOUSE SIDE: 3,039.7 20.4%				
DOWNWARD TOTAL: 14,865.3		LUMENS	100%			
UPWARD STREET SIDE: 0.00%						
UPWARD HOUSE SIDE: 0.00%		UPWARD TOTAL: 0.00%				
TOTAL LUMENS: 14,865.3		LUMENS	100%			
 LTL3609P223 VISUAL PHOTOMETRIC TOOL						
http://www.visual-3d.com/tools/shotometerviewer/default.aspx?d=101332						
PUBLISH PAGE 2 OF 4						

14/10/2018

KAD LED 60C 700 30K R3 MVOLT

OUTDOOR PHOTOMETRIC REPORT
 CATALOG: KAD LED 60C 700 30K R3 MVOLT

LCS Graph

Back Light

Forward Light



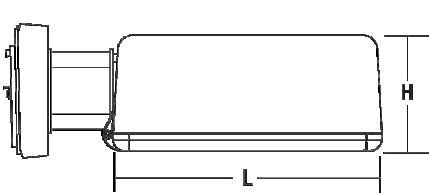
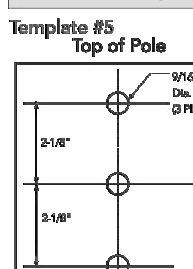

Scale = Max LCS %

⊗ Trapped Light: 0.7lm, 0%

LTL360339.223
 VISUAL PHOTOMETRIC TOOL

PUBLISH
 PAGE 3 OF 4

<http://www.visual-3d.com/tools/photometricviewer/default.aspx?cid=101332>

	<h1>KAD LED</h1> <h2>LED Area Luminaire</h2>		<table> <tr><td>Counting</td></tr> <tr><td>Notes</td></tr> <tr><td>Size</td></tr> <tr><td>Type</td></tr> </table>		Counting	Notes	Size	Type																										
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		<p>Fit the Tab key or choose one from the page to see all interactive elements.</p>																																
<h3>Specifications</h3>				<h3>Introduction</h3> <p>The Contour® Series luminaires offer traditional square skylights with softwired design for a versatile look that complements many applications. The KAD LED combines the latest in LED technology with the familiar aesthetic of the Contour® Series for stylish, high-performance illumination that lasts. It is ideal for replacing LED-KOVI metal halide in new lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.</p>																														
																																		
<h3>Ordering Information</h3>				<h3>EXAMPLE: KAD LED 40C 1000 40K R5 MVOLT PUMBAK4 DBXBD</h3>																														
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KAD LED	30C	20 LEDs	50W	530 mA	28" 3000 K	R2 Type I																												
	39C	30 LEDs	70W	700 mA	40" 4000 K	R3 Type I																												
	40C	40 LEDs	100W	1000 mA	48" 4000 K	R4 Type II																												
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<h3>Shipped installed</h3> <p>FEB7 NEMA tested knockout only (no controls)</p> <p>SF Single face (120, 277, 347V)</p> <p>DF Double face (208, 240, 480V)</p> <p>FIBB Motion sensor, 5-15' mounting height*</p> <p>FIRM Motion sensor, 5-35' mounting height*</p> <p>BL30 Bi-level switched dimming, 100W*</p> <p>BL30 Bi-level switched dimming, 200W*</p>		<h3>Shipped separately*</h3> <p>WVC Wire guard</p>																																
<h3>Accessories</h3> <p>Control and dimming options</p>																																		
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<p>* For mounting on existing (R)H. † For mounting on existing (R)H.</p>																																		
<h3>Drilling</h3> <p>Template #1 Top of Pole</p> 		<h3>NOTES</h3> <ol style="list-style-type: none"> MVOLT device occurs on any the voltage from 120/277/347V only. Single Line (SL) requires 120, 277 or 347 voltage system. Double Line (DL) requires 208, 240 or 480 voltage system. Available as a separate installation accessory: PUMBAK (Delux), SL (Single) or PUMBAK installed luminaires with a 50W dimming controller. (DL) requires additional hardware and features required for an end user. Refer to the PUMBAK (Delux), SL or PUMBAK (Single) installation instructions for more details. For more information on the PUMBAK (Delux), SL or PUMBAK (Single) installation instructions, visit the PUMBAK (Delux), SL or PUMBAK (Single) installation instructions. For more information on the PUMBAK (Delux), SL or PUMBAK (Single) installation instructions, visit the PUMBAK (Delux), SL or PUMBAK (Single) installation instructions. Require an additional universal detail with wire-pipe to make luminaire point. Chiming only for standard MVOLT only. Also available as a separate accessory: an Accessories Information sheet. Require the luminaire to be specified with FIBB option. Ordered and shipped as a separate item. 																																
		<p>One Lithonia Way • Corvallis, Georgia 30012 • Phone 800.279.8041 • Fax 770.916.1209 • www.lithonia.com</p> <p>© 2012-2013 Acuity Services, Inc. All rights reserved.</p>																																

[illegible]

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerance allowed by Lighting Facts. Actual performance may differ as a result of real-world environment and application. Actual settings may vary by $\pm 10\%$ within operating tolerance of 10-20000 lux. Correlated Color Temperature data is for all configurations not shown here.

LUN	Functional Unit	Spec Name	ECC	S4										S6												S8																	
				1000 mA (3000 K)										1500 mA (4000 K)												2000 mA (5000 K)																	
30C	30W	30W	R2	3,875	1	0	1	95	3,945	1	0	1	91	3,960	1	0	1	91	3,960	1	0	1	91	3,960	1	0	1	91	3,960	1	0	1	91	3,960	1	0	1	91	3,960	1	0	1	91
			R3	3,880	1	0	1	91	3,880	1	0	1	91	3,880	1	0	1	91	3,880	1	0	1	91	3,880	1	0	1	91	3,880	1	0	1	91	3,880	1	0	1	91	3,880	1	0	1	91
			R4	3,880	1	0	1	91	3,880	1	0	1	91	3,880	1	0	1	91	3,880	1	0	1	91	3,880	1	0	1	91	3,880	1	0	1	91	3,880	1	0	1	91	3,880	1	0	1	91
			R5	3,875	2	0	1	91	3,875	2	0	1	91	3,875	2	0	1	91	3,875	2	0	1	91	3,875	2	0	1	91	3,875	2	0	1	91	3,875	2	0	1	91	3,875	2	0	1	91
30C	700 mA	40W	R2	4,537	1	0	1	91	4,537	1	0	1	91	4,537	1	0	1	91	4,537	1	0	1	91	4,537	1	0	1	91	4,537	1	0	1	91	4,537	1	0	1	91	4,537	1	0	1	91
			R3	4,539	1	0	2	94	4,587	1	0	2	98	4,602	1	0	2	98	4,602	1	0	2	98	4,602	1	0	2	98	4,602	1	0	2	98	4,602	1	0	2	98	4,602	1	0	2	98
			R4	4,544	1	0	2	94	4,631	1	0	2	98	4,646	1	0	2	98	4,646	1	0	2	98	4,646	1	0	2	98	4,646	1	0	2	98	4,646	1	0	2	98	4,646	1	0	2	98
			R5	4,482	2	0	1	98	4,508	2	0	1	98	4,508	2	0	1	98	4,508	2	0	1	98	4,508	2	0	1	98	4,508	2	0	1	98	4,508	2	0	1	98	4,508	2	0	1	98
30C	1000 mA	75W	R2	5,280	1	0	2	98	5,280	2	0	2	98	5,280	2	0	2	98	5,280	2	0	2	98	5,280	2	0	2	98	5,280	2	0	2	98	5,280	2	0	2	98	5,280	2	0	2	98
			R3	5,277	1	0	2	98	5,277	1	0	2	98	5,277	1	0	2	98	5,277	1	0	2	98	5,277	1	0</																	