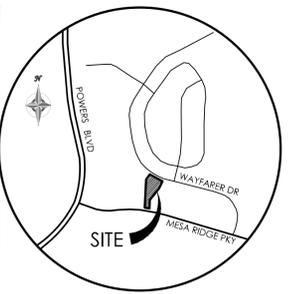


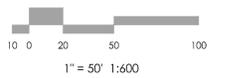
# SITE DEVELOPMENT PLAN FOR SECURITY FIRE STATION 4

LOCATED IN THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
EL PASO COUNTY, COLORADO



VICINITY MAP  
NOT TO SCALE

BENCHMARK  
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE COLORADO SPRINGS UTILITIES CONTROL NETWORK (FIMS DATUM/NAVD29).



## LEGEND

-----	PROPERTY LINE	-----	INDEX CONTOUR
-----	EASEMENT LINE	-----	INTERMEDIATE CONTOUR
-----	LOT LINE	-----	CONCRETE AREA
-----	BUILDING SETBACK LINE	-----	ASPHALT AREA
-----	ADJACENT PROPERTY LINE	-----	CURB AND GUTTER
-----		-----	BUILDING/ BUILDING OVERHANG
-----		-----	DECK
-----		-----	RETAINING WALL - SOLID/ ROCK
-----		-----	SIGN
-----		-----	BOLLARD
-----		-----	WOOD FENCE
-----		-----	CHAIN LINK FENCE
-----		-----	BARBED WIRE FENCE
-----		-----	TREE (EVERGREEN/DECIDUOUS)
-----		-----	SHRUB
-----		-----	ROCK

-----	EXISTING	-----	PROPOSED
-----	INDEX CONTOUR	-----	INDEX CONTOUR
-----	INTERMEDIATE CONTOUR	-----	INTERMEDIATE CONTOUR
-----	CONCRETE AREA	-----	CONCRETE AREA
-----	ASPHALT AREA	-----	ASPHALT AREA
-----	CURB AND GUTTER	-----	CURB AND GUTTER
-----	BUILDING/ BUILDING OVERHANG	-----	BUILDING/ BUILDING OVERHANG
-----	DECK	-----	DECK
-----	RETAINING WALL - SOLID/ ROCK	-----	RETAINING WALL - SOLID ROCK
-----	SIGN	-----	SIGN
-----	BOLLARD	-----	BOLLARD
-----	WOOD FENCE	-----	WOOD FENCE
-----	CHAIN LINK FENCE	-----	CHAIN LINK FENCE
-----	BARBED WIRE FENCE	-----	BARBED WIRE FENCE
-----	TREE (EVERGREEN/DECIDUOUS)	-----	TREE (EVERGREEN/DECIDUOUS)
-----	SHRUB	-----	SHRUB
-----	ROCK	-----	ROCK

## ABBREVIATION LEGEND

ASPH	ASPHALT
CONC	CONCRETE
C & G	CURB & GUTTER
DET.	DETAIL
ESMT	EASEMENT
ME	MATCH EXISTING
P.B., PG.	PLAT BOOK, PAGE
PVMT	PAVEMENT
RET. WALL	RETAINING WALL
REC. NO.	RECEPTION NUMBER
R.O.W.	RIGHT-OF-WAY
SF	SQUARE FOOT
STBK	SETBACK
SW	SIDEWALK
UTIL	UTILITY
⊙	CATCH CURB
⊙	SPILL CURB

## ADA NOTE

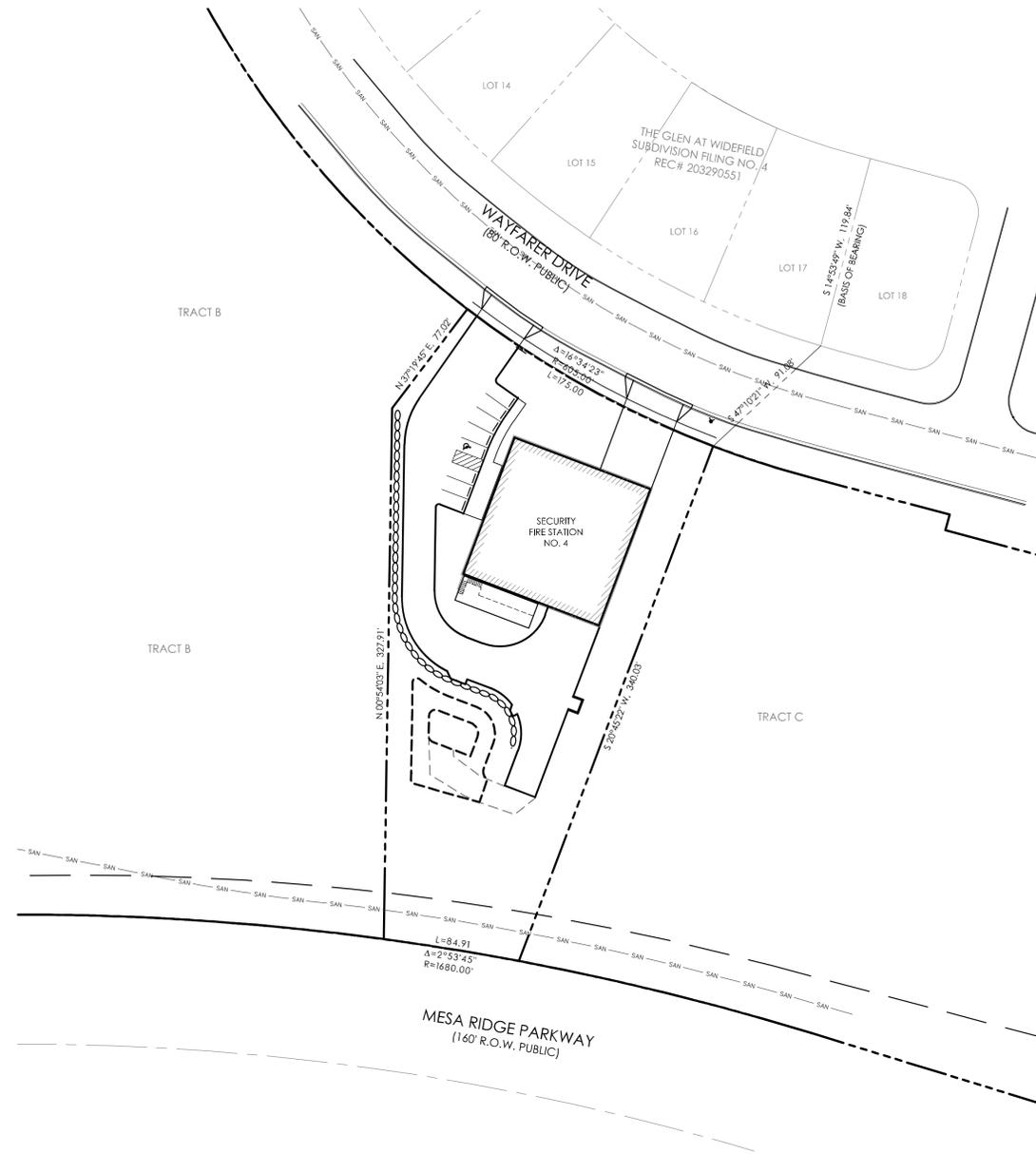
THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

## FLOODPLAIN STATEMENT

NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0956G, EFFECTIVE DECEMBER 7, 2018.

## MAP NOTES

- BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LOT LINE OF LOT 18, THE GLEN AT WIDEFIELD SUBDIVISION FILING NO. 4, OF THE PUBLIC RECORDS OF EL PASO COUNTY, COLORADO.
- THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE CITY OF COLORADO SPRINGS CONTROL NETWORK (FIMS DATUM).
- ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.



## SITE DATA

<b>OWNER</b> GLEN INVESTMENT GROUP NO. II, LLC 3 WIDEFIELD BLVD COLORADO SPRINGS, CO 80911	<b>COVERAGE DATA</b> BUILDING (FIRE STATION): 8,100 SF 16.1% PAVEMENT (PARKING/WALK): 17,401 SF 32.3% LANDSCAPING / POND: 27,229 SF 51.6%
<b>DEVELOPER</b> SECURITY FIRE PROTECTION DISTRICT 400 SECURITY BLVD SECURITY, CO 80911	<b>TOTAL AREA:</b> 52,730 SF 100.0% = 1.211± ACRES
<b>CONSULTANT/ENGINEER</b> M.V.E. INC. 1903 LELARAY STREET, SUITE 200 COLORADO SPRINGS, CO 80909 (719) 635-5736	<b>PARKING SCHEDULE</b> REQUIRED: 4 SPACES PER SHIP W/ 1 SHIFT OVERLAP: = 8 PROVIDED: NORMAL SPACE: = 7 VAN ACCESSIBLE ADA SPACE: = 1 TOTAL SPACES PROVIDED: = 8 SPACES
<b>SURVEYOR</b> POLARIS SURVEYING, INC. 1903 LELARAY STREET, SUITE 102 COLORADO SPRINGS, CO 80909 (719) 448-0844	<b>BUILDING TYPE</b> BUILDING AREA - 12,420 SF TWO STORY - TYPE II-B NOT FIRE SPRINKLED / NO FIRE WALLS
<b>ZONING</b> COMMERCIAL SERVICE (CS CAD-O)	<b>BUILDING HEIGHT</b> 45 FT MAX. (TWO STORY)
<b>BUILDING USE</b> FIRE STATION	<b>SETBACKS</b> 25' FRONT 25' SIDE 25' REAR
<b>CONSTRUCTION SCHEDULE</b> START: SPRING 2021 FINISH: FALL 2021	<b>LIGHTING</b> LIGHTING WILL BE PROVIDED FROM WALL MOUNTED FIXTURES.
<b>TAX SCHEDULE NO.</b> 552820005	<b>DEVELOPMENT NOTES</b> 1. WATER SERVICE PROVIDED BY WIDEFIELD WATER DISTRICT. 2. SEWER SERVICE PROVIDED BY WIDEFIELD SANITATION DISTRICT. 3. NATURAL GAS SERVICE PROVIDED BY BLACK HILLS ENERGY GROUP. 4. ELECTRIC SERVICE PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION DISTRICT. 5. FIRE SERVICE PROVIDED BY SECURITY FIRE PROTECTION DISTRICT.
<b>PROPERTY ADDRESS</b> 0 MESA RIDGE PARKWAY	

## LEGAL DESCRIPTION

THAT GLEN INVESTMENT GROUP NO. II, LLC, IS THE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND, TO WIT:  
A TRACT OF LAND LOCATED IN THE NORTHWEST QUARTER ONE-QUARTER (NW 1/4) OF SECTION 28, TOWNSHIP 15 SOUTH (T15S), RANGE 65 WEST (R65W) OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTHWEST CORNER OF LOT 18, THE GLEN AT WIDEFIELD SUBDIVISION FILING NO. 4 AS RECORDED IN RECEPTION NO. 203290551 OF THE RECORDS OF EL PASO COUNTY, COLORADO, WHOSE NORTHWEST BEARS N14°53'47"E, 119.83 FEET (BASIS OF BEARING), THENCE S47°10'21"W, 91.08 FEET TO A POINT ON THE SOUTHERLY LINE OF WAYFARER DRIVE AND THE TRUE POINT OF BEGINNING;  
THENCE S20°45'22"W, 340.03 FEET TO A POINT ON THE NORTHERLY LINE OF MESA RIDGE PARKWAY;  
THENCE 84.91 FEET ALONG THE NORTHERLY LINE OF SAID MESA RIDGE PARKWAY ALONG THE ARC OF A CURVE CONCAVE TO THE SOUTH, HAVING A RADIUS OF 1680.00 FEET, A CENTRAL ANGLE OF 02°53'45" AND BEING SUBTENDED BY A CHORD WHICH BEARS N80°50'41"W, 84.90 FEET;  
THENCE N00°54'03"E, 327.91 FEET;  
THENCE N37°19'45"E, 77.02 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID WAYFARER DRIVE;  
THENCE 175.00 FEET ALONG THE SOUTHERLY LINE OF SAID WAYFARER DRIVE ALONG THE ARC OF A CURVE CONCAVE TO THE NORTH, HAVING A RADIUS OF 405.00 FEET, A CENTRAL ANGLE OF 16°34'23" AND BEING SUBTENDED BY A CHORD WHICH BEARS S60°57'28"E, 174.39 FEET TO THE TRUE POINT OF BEGINNING.  
CONTAINING 52,730 SF, (1.211 ±) ACRES MORE OR LESS.

## SHEET INDEX

SITE DEVELOPMENT PLAN	
DP-1	COVER SHEET
DP-2	SITE PLAN
GRADING & EROSION CONTROL PLAN	
C1.1	COVER SHEET
C1.2	GRADING PLAN
C1.3	POND PLAN / DETAILS
C1.4	STORM PLAN / DETAILS
C1.5	STREET PLAN & PROFILE / DETAILS
C1.6	EROSION CONTROL PLAN
C1.7	EROSION CONTROL DETAILS
C1.8	EROSION CONTROL DETAILS
UTILITY PLAN	
C2.1	UTILITY SERVICE PLAN
LIGHTING PLAN	
E-1	LIGHTING PLAN
LANDSCAPE PLAN	
L1	LANDSCAPE PLAN
L2	LANDSCAPE PLAN
BUILDING FLOOR PLAN	
A1.01	FLOOR PLANS
BUILDING ELEVATIONS	
A2.01	EXTERIOR ELEVATIONS

**Approved**  
By: Craig Dossey, Executive Director  
Date: 05/17/2021  
El Paso County Planning & Community Development

The approval includes approval of an alternative landscape plan pursuant to Section 6.2.2.A.4 of the Land Development Code.

PCD FILE # PPR-20-029

REVISIONS

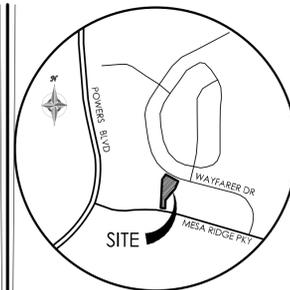
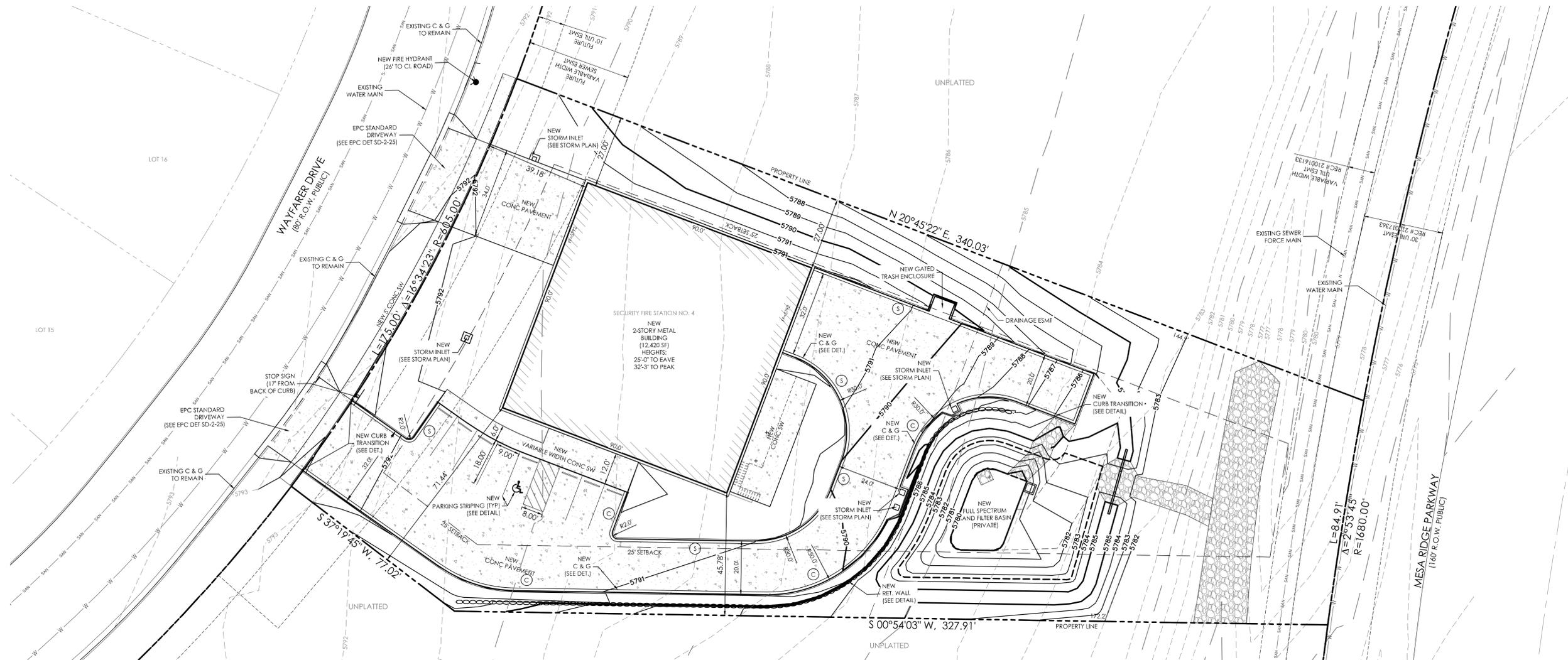
DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

SECURITY FIRE  
STATION NO. 4

SITE DEVELOPMENT  
PLAN  
COVER SHEET

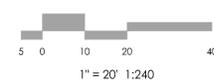
DP-1 MVE PROJECT 61134  
MVE DRAWING DEV-CS

JANUARY 5, 2021  
SHEET 1 OF 2



VICINITY MAP  
NOT TO SCALE

BENCHMARK  
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE COLORADO SPRINGS UTILITIES CONTROL NETWORK (FIMS DATUM/NAVD82).



**MVE, INC.**  
ENGINEERS, SURVEYORS

1903 Library Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

REVISIONS

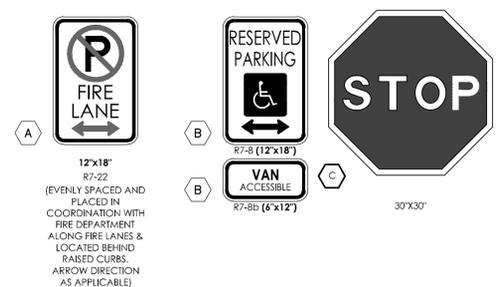
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AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

**SECURITY FIRE STATION NO. 4**

**SITE DEVELOPMENT PLAN SITE PLAN**

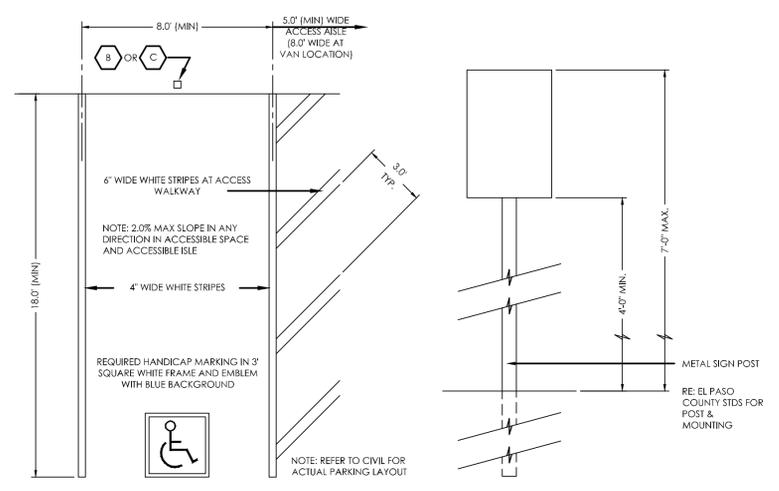
DP-2 MVE PROJECT 61134  
MVE DRAWING DEV-SP

JANUARY 5, 2021  
SHEET 2 OF 2

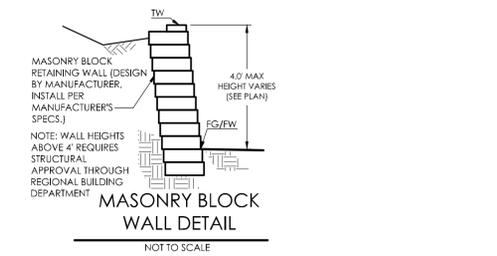


1. TYPOGRAPHY TO BE HELVETICA MEDIUM
2. ALL PRIMARY SIGNS TO BE MOUNTED ON METAL SIGN POST; 7'-0" ABOVE FINISH GRADE TO BOTTOM OF SIGN-TYP. ADDITIONAL PLACARD SIGNS SHALL BE MOUNTED AT LEAST 6'-0" ABOVE FINISH GRADE TO BOTTOM OF SIGN-TYP.
3. MOUNT HANDICAP SIGNAGE ON BUILDING.
4. FIRE LANE MARKING SHALL BE PROVIDED AS SHOWN. EITHER SIGNAGE OR STRIPING WILL BE PROVIDED IN LOCATIONS SHOWN ON PLAN. FIRE LANE MARKING REQUIREMENTS BY COLORADO SPRINGS FIRE DEPARTMENT DIVISION OF THE FIRE MARSHALL AS REVISED JULY 2016 WILL BE A FOLLOWED FOR MATERIALS AND INSTALLATION OF MARKINGS.

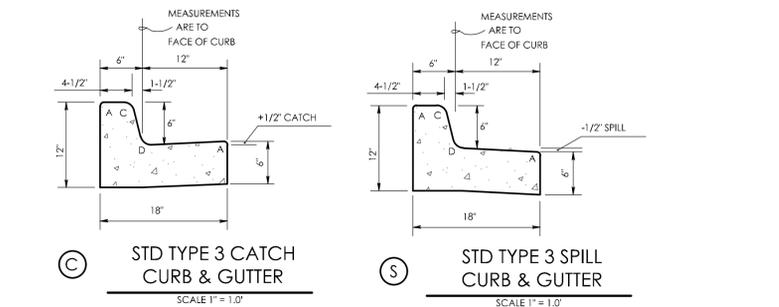
SITE SIGNAGE LEGEND  
SCALE: 1" = 1'-0"



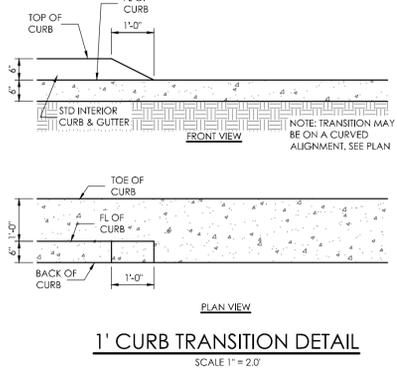
TYPICAL HANDICAP PARKING SPACE SCALE 1" = 4'-0"  
TYPICAL SIGN POST  
SCALE 1" = 4'-0"



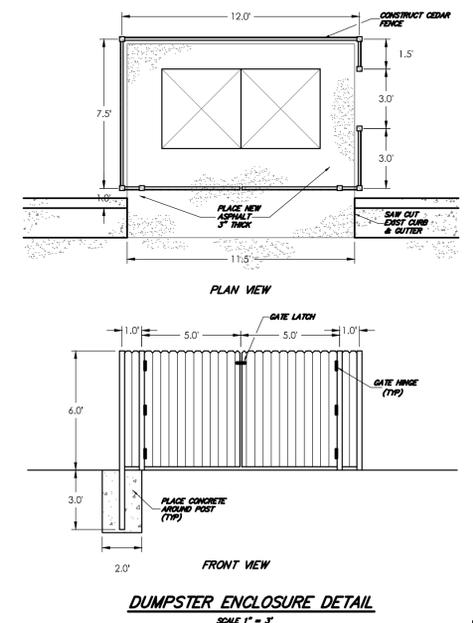
MASONRY BLOCK WALL DETAIL  
NOT TO SCALE



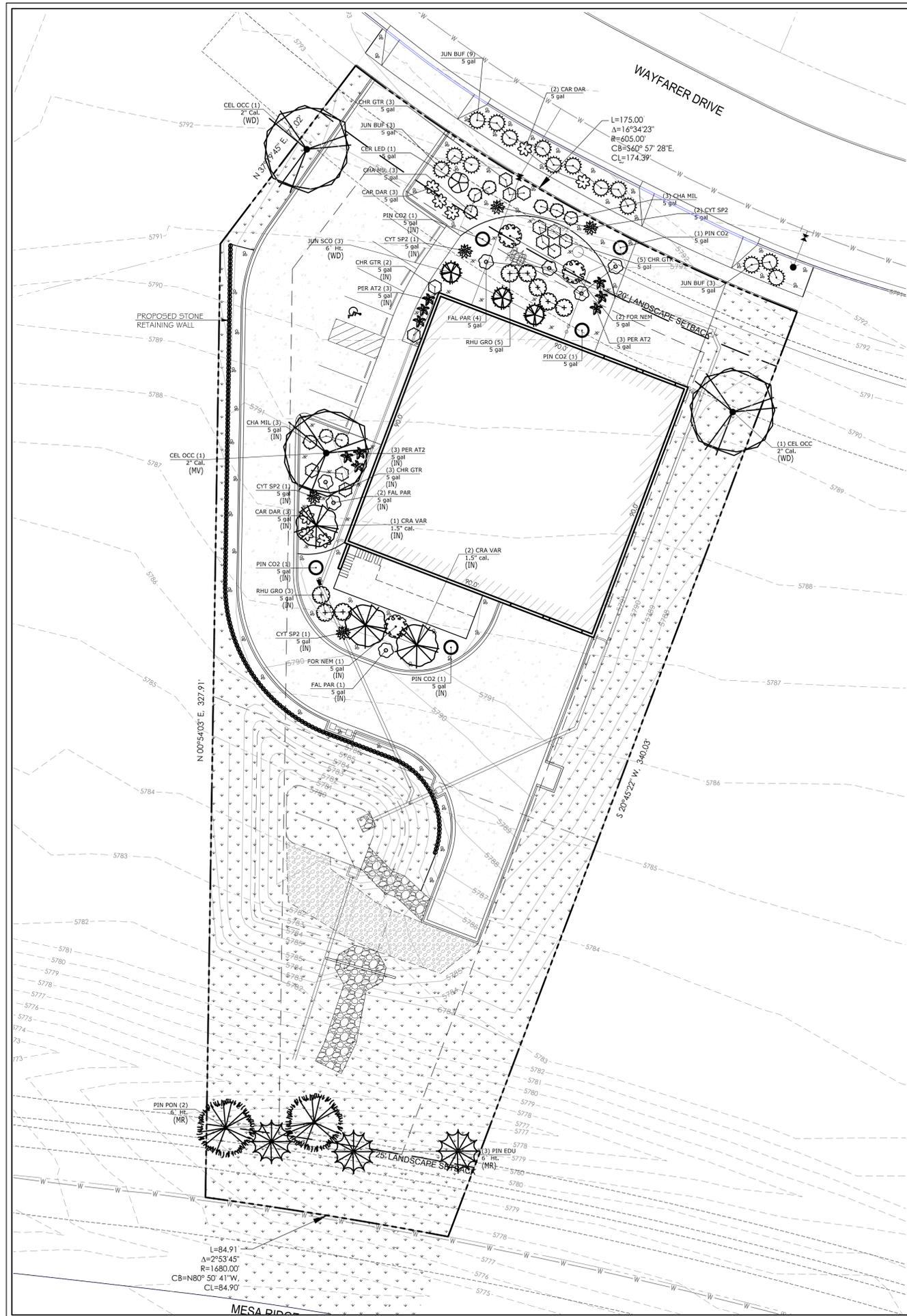
STD TYPE 3 CATCH CURB & GUTTER SCALE 1" = 1'-0"  
STD TYPE 3 SPILL CURB & GUTTER SCALE 1" = 1'-0"



1' CURB TRANSITION DETAIL SCALE 1" = 2'-0"



DUMPSTER ENCLOSURE DETAIL SCALE 1" = 3"



### SITE CATEGORY CALCULATIONS:

#### Landscape Setbacks

Street Name or Boundary	Street Classification	Width (in Ft.)	Linear Footage	Tree/Foot Required	No. of Trees Req./Prov.	Setback Plant Abbr. Denoted on Plan
Mesa Ridge Parkway	Principle Arterial	25' / 25'	85'	1 / 20'	5 / 5	(MR)
Wayfarer Drive	Minor Arterial	20' / 20'	175'	1 / 25'	7 / 5*	(WD)

\* REQUEST ALTERNATIVE COMPLIANCE- Cannot put trees in R.O.W. or in sanitary sewer easement. Have placed 5 trees along back edge sanitary sewer easement and cannot fit anymore. Have placed additional shrubs in R.O.W. and in easement to compensate for the 2 missing trees.

#### Parking

No. of Vehicles Spaces Provided	Shade Trees Required/Provided	Abbr. on Plan	Vehicle Lot Frontages	Length of Frontage (excluding driveways)	2/3 Length of Frontage (ft.)
8	1 / 1	(PK)	Wayfarer Drive	20'	

Min. 3' Screening Plants Req. / Prov.	Evergreen Plants Req. (50%) / Prov.	Length of Screening Wall or Berm Provided	Vehicle Lot Plant Abbr. on Plan	Percent Ground Plane Veg. Req. / Prov.
3 / 3	2 / 2	-	(PS)	75% / 75%

#### Internal Landscaping

Net Site Area (SF) (less public ROW)	Percent Minimum Internal Area (%)	Internal Area (SF) Required / Provided	Internal Trees (1/500 SF) Required / Provided
52,730 s.f.	5%	2,637 s.f. / 9,500 s.f.	6 / 3*

#### Shrub Substitutes

Required / Provided	Internal Plant Abbr. Denoted on Plan
30 / 30	(IN)

\* REQUEST ALTERNATIVE COMPLIANCE- Landscape design has utilized more shrubs than required to fill large sanitary sewer easement area where trees are not allowed. Substitution of half the required internal trees for shrubs is requested.

#### Landscape Buffer & Screens

Street Name or Property Line	Width (in Ft.)	Linear Footage	Buffer Trees (1/15') Required / Provided	Evergreen Trees Req. (1/3) / Provided
None	- / -	- / -	- / -	- / -

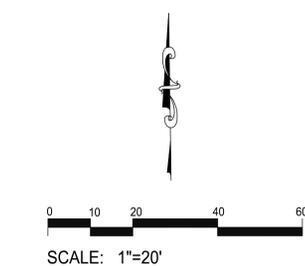
Length of 6 Ft. Opaque Structure Req. / Prov.	Buffer Tree Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
- / -	-	- / -

#### PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
	CEL OCC	3	Celtis occidentalis	Common Hackberry	2" Cal.	B & B
	CRA VAR	3	Crataegus crus-galli inermis TM	Thornless Cockspur Hawthorn	1.5" cal.	B & B
	JUN SCO	3	Juniperus scopulorum	Rocky Mountain Juniper	6' Ht.	
	PIN EDU	3	Pinus cembroides edulis	Pinyon Pine	6' Ht.	B & B
	PIN PON	2	Pinus ponderosa	Ponderosa Pine	6' Ht.	B & B
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
	CAR DAR	8	Caryopteris x clandonensis 'Dark Knight'	Dark Knight Blue Mist Shrub	5 gal	
	CER LED	1	Cercocarpus ledifolius	Curf-Leaf Mountain Mahogany	5 gal	
	CHA MIL	9	Chamaebatiaria millefolium	Fernbush	5 gal	
	CHR GTR	13	Chrysothamnus nauseosus graveolens	Tall Green Rabbitbrush	5 gal	
	CYT SP2	5	Cytisus purgans 'Spanish Gold'	Spanish Gold Broom	5 gal	
	FAL PAR	7	Fallugia paradoxa	Apache Plume	5 gal	
	FOR NEM	3	Forestiera neomexicana	New Mexico Privet	5 gal	
	JUN BUF	15	Juniperus sabinna 'Buffalo'	Buffalo Juniper	5 gal	
	PER AT2	9	Perovskia atriplicifolia	Russian Sage	5 gal	
	PIN CO2	5	Pinus mugo 'Compacta'	Dwarf Mugo Pine	5 gal	
	RHU GRO	8	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	5 gal	

#### PROPOSED GROUND PLANE TREATMENT

- PROPOSED 1.5" 'ROYAL GRANITE' CRUSHED ROCK, 3" DEPTH, OVER DEWITT LANDSCAPE FABRIC
- PROPOSED 'CASCADE CEDAR' WOOD MULCH, 3" DEPTH (NO FABRIC BENEATH)
- PROPOSED NON-IRRIGATED NATIVE SEED WITH EROSION CONTROL BLANKET (ALL DISTURBED AREAS)
- PROPOSED RIP-RAP (REFER TO CIVIL PLANS)
- PROPOSED COMPACTED CLASS 6 ROAD BASE, 4" DEPTH



NOT FOR CONSTRUCTION

**JWLA**  
**Jon Walsh,**  
**LANDSCAPE ARCHITECT**  
 LLC  
 P.O. Box 354  
 Palmer Lake, CO 80133  
 (719) 640-9428  
 (719) 358-2559 fax  
 jwlandarch@gmail.com

PROJECT FILE: Security FS4-LS.dwg

DEVELOPMENT PLAN FOR  
**SECURITY FIRE STATION NO. 4**  
 0 Mesa Ridge Parkway  
 Security, CO

PROJECT NAME:

FINAL LANDSCAPE PLAN

SHEET TITLE:

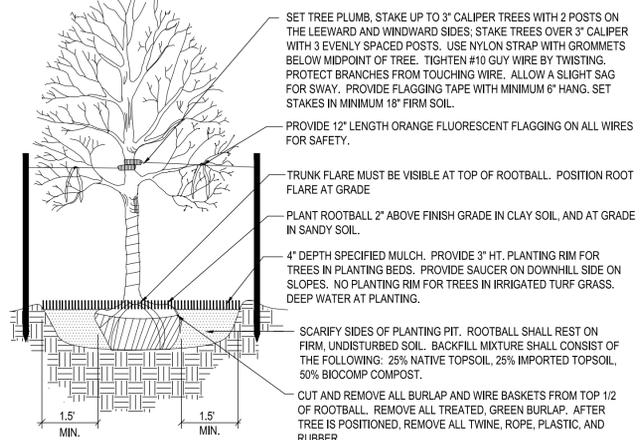
REVISION DATE: September 11, 2020

REVISION DATE: December 7, 2020

SHEET NO. **LS-1**  
 Sheet 1 of 2

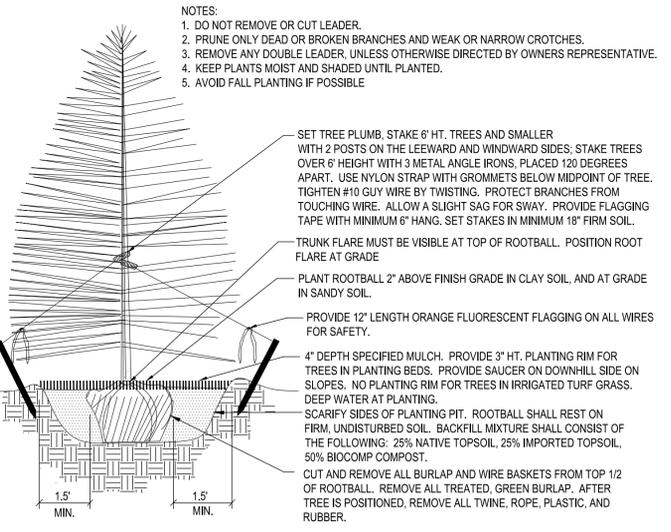
# PLANTING DETAILS

- NOTES:  
 1. DO NOT REMOVE OR CUT LEADER.  
 2. PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.  
 3. DO NOT REMOVE LOWER LIMBS AND SPROUTS FOR AT LEAST TWO GROWING SEASONS.  
 4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTED.  
 5. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.  
 6. WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK. USE ELECTRICAL TAPE NOT TWINE.  
 WRAP OCTOBER 15 AND REMOVE BY MARCH 31.



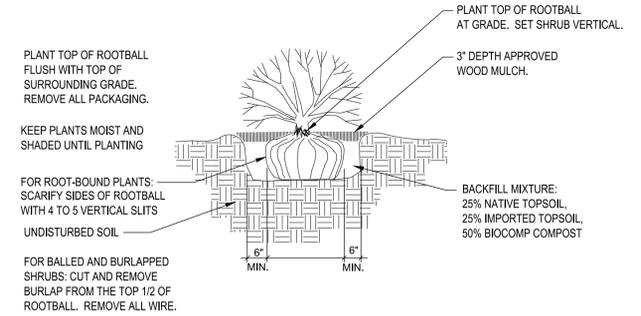
**1** Deciduous Tree Planting Detail

NOT TO SCALE



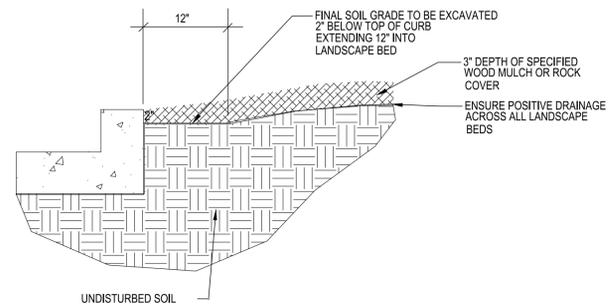
**2** Coniferous Tree Planting Detail

NOT TO SCALE



**3** Shrub Planting Detail

SCALE: NOT TO SCALE



**4** Rock Cover / Mulch Bed Excavation

SCALE: NOT TO SCALE

## NATIVE SEED ESTABLISHMENT

**INITIAL PLANTING**  
 STOCKPILED TOPSOIL SHOULD BE SPREAD EVENLY OVER ALL AREAS TO RECEIVE NATIVE SEED. SEED BED IS TO BE WEED-FREE. SPECIFIED SOIL AMENDMENTS SHOULD BE SPREAD AND INCORPORATED INTO TOP 6" OF SOIL. SEED BED IS TO BE RAKED SMOOTH AND FREE OF DEBRIS LARGER THAN 1" IN DIAMETER. ANY AREAS THAT THE CONTRACTOR BELIEVES TO BE SUSCEPTIBLE TO EROSION ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND/OR GENERAL CONTRACTOR PRIOR TO SEEDING. THE SPECIFIED SEED MIX IS TO BE APPLIED BY HYDRO-MULCH SEEDING AT THE RATE SPECIFIED. SEED IS TO BE APPLIED BETWEEN APRIL 15 AND SEPTEMBER 15. SEED SHALL NOT BE SOWN IF GROUND IS IN A FROZEN STATE. SPECIFIED EROSION CONTROL BLANKET IS TO BE INSTALLED IMMEDIATELY AFTER SEEDING. BLANKET SHALL BE LAID AND SECURED WITH 6" METAL STAPLES AS PER MANUFACTURER'S INSTRUCTIONS. CONTRACTOR IS TO PROVIDE INCIDENTAL WATERING OF ALL SEEDED AREAS THREE TIMES A WEEK DURING GROWING SEASON FOR A MINIMUM OF 8 WEEKS, OR UNTIL ESTABLISHED AND MEETING COVERAGE REQUIREMENTS. MOWING MAY BE NECESSARY DURING THE FIRST GROWING SEASON TO KEEP INVASIVE WEEDS FROM SETTING SEEDS. CONTRACTOR IS RESPONSIBLE FOR KEEPING BROADLEAF WEEDS UNDER CONTROL FOR 12 MONTHS AFTER INITIAL SEEDING AND IS ALSO RESPONSIBLE FOR OVER SEEDING BARE AREAS UNTIL SPECIFIED NATIVE GRASSES COVER ALL AREAS AND AREAS WITHOUT SPECIFIED NATIVE GRASS DO NOT EXCEED 6" X 6".

**OVER SEEDING**  
 SIX WEEKS AFTER THE INITIAL SEEDING DURING THE FIRST GROWING SEASON AND/OR DURING THE SPRING OF THE SECOND GROWING SEASON CONTRACTOR IS TO REPAIR ANY ERODED AREAS AND OVER SEED ALL BARE NATIVE GRASS AREAS. CONTRACTOR IS TO USE SPECIFIED SEED MIX BY BROADCAST AND RAKING INTO TOP 1/2" TO 3/4" OF SOIL. INCIDENTAL WATERING IS TO BE PROVIDED TO ESTABLISH OVER-SEEDED AREAS. BROADLEAF WEEDS ARE TO BE KEPT UNDER CONTROL BY MANUALLY PULLING OR CUTTING WEEDS OR SPRAYING OF BROADLEAF WEED HERBICIDE. HERBICIDE AND APPLICATION SHALL CONFORM TO ALL APPLICABLE LAWS OF THE STATE OF COLORADO AND MANUFACTURER'S INSTRUCTIONS.

## PROJECT DATA

PROPERTY SIZE:	52,730 s.f. total
BUILDING AREA:	8,464 s.f.
PAVEMENT AREA:	17,037 s.f.
LANDSCAPE AREA:	27,229 s.f.
TOTAL PARKING SPACES:	8 spaces

## GENERAL NOTES

- ALL REFERENCES TO 'CONTRACTOR' REFER TO LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR GETTING ALL UTILITY LOCATES PRIOR TO STARTING ANY WORK ON SITE AND ALSO HAVING UTILITIES RELOCATED AS NECESSARY FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE EL PASO COUNTY PLANNING DEPARTMENT AND MAY DELAY COMPLETION OF PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY OWNER'S REPRESENTATIVE OF DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF LANDSCAPE MATERIALS ARE NOT ALLOWED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT GIVEN PRIOR TO INSTALLATION. NOTIFY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION IF LANDSCAPE MATERIAL LOCATIONS NEED TO BE ALTERED DUE TO ON-SITE CONDITIONS.
- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS, IRRIGATION COMPONENTS, NATIVE GRASS, AND WORKMANSHIP. CONTRACTOR IS TO PROVIDE OWNER WITH WARRANTY CONDITIONS AND COMMENCE WARRANTY PERIOD UPON FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION.
- THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, WOOD MULCH AND ROCK COVER REPLACEMENT, PRUNING, AND PLANT MATERIAL REPLACEMENT. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION MAINTENANCE OF THIS SITE.

## PROJECT NOTES

- FINE GRADING TO BE PERFORMED BY LANDSCAPE CONTRACTOR TO REFLECT FINISHED GRADES SHOWN ON THE PROJECT GRADING PLANS. ALL FINISHED GRADES ARE TO HAVE A MINIMUM 2% SLOPE. CONTRACTOR IS TO REPORT POOR DRAINAGE CONDITIONS OR ANY GRADES IN LANDSCAPE AREAS LESS THAN 2% TO GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT PRIOR TO LANDSCAPE CONSTRUCTION WORK. FINISHED GRADES SHALL BE FREE OF WEEDS AND FREE OF DEBRIS AND ROCKS GREATER THAN ONE INCH.
- CONTRACTOR IS TO PROVIDE FINAL GRADES ADJACENT TO HARDSCAPE SURFACES AT THE FOLLOWING SPECIFICATIONS:  
 2' BELOW TOP OF CONCRETE OR RETAINING WALLS FOR ALL MULCH AND ROCK COVER BEDS.  
 1' BELOW TOP OF CONCRETE OR RETAINING WALLS FOR NATIVE SEED AREAS.  
 CONTRACTOR IS TO COORDINATE THESE GRADING SPECIFICATIONS WITH GENERAL CONTRACTOR AND/OR WHOEVER IS PROVIDING ROUGH GRADING. FINAL GRADES IN ALL LANDSCAPE AREAS ARE TO BE ESTABLISHED USING ON-SITE STOCKPILED TOPSOIL.
- ALL AREAS SHOWN AS 'NON-IRRIGATED NATIVE SEED' TO BE SEEDED WITH 'NATIVE PRAIRIE MIX' (PAWNEE BUTTE SEED, INC.) BY DRILL SEEDING AND HYDRO-MULCH SEEDING AT A RATE OF 1 LB. PER 1,000 SQ. FT. REFER TO NATIVE SEED ESTABLISHMENT SPECIFICATION FOR MORE DETAILED INSTRUCTIONS. ALL SEEDED AREAS TO RECEIVE EROSION CONTROL BLANKET- 'R1 EXCEL' WESTERN EXCELSIOR PHOTO-DEGRADABLE EROSION CONTROL BLANKET. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- ROCK COVER AREAS TO CONSIST OF 1.5" DIAMETER 'ROYAL GRANITE' CRUSHED ROCK (C&C SAND), SPREAD 3" DEPTH OVER LANDSCAPE FABRIC. LANDSCAPE FABRIC TO CONSIST OF 'DEWITT' WEED BARRIER PRO, 3 OZ BLACK WOVEN POLYPROPYLENE FABRIC. FABRIC TO OVERLAP 6" MINIMUM AT ALL SEAMS. 6" STEEL ANCHOR PINS TO BE INSTALLED 6" O.C. MAX.
- CASCADE CEDAR WOOD MULCH IS TO BE USED IN SPECIFIED BEDS, 3" DEPTH, AND ALSO PROVIDED AROUND ALL THE BASE OF ALL TREES, 4" DIAMETER, 3" DEPTH. NO LANDSCAPE FABRIC TO BE INSTALLED BENEATH MULCH.
- ALL PROPOSED PLANTING BEDS ARE TO BE ROTO-TILLED TO A 6" DEPTH. PLANTING BEDS ARE TO BE RAKED SMOOTH AND FINISHED GRADES ARE TO BE ESTABLISHED AND VERIFIED TO THE TOLERANCES LISTED ABOVE PRIOR TO PLANTING.
- AFTER PLANTING, BUT BEFORE LANDSCAPE FABRIC IS INSTALLED, ALL PLANTING BEDS ARE TO RECEIVE A GRANULAR PRE-EMERGENT HERBICIDE (PREEN OR SNAPSHOT). APPLY PER MANUFACTURER'S INSTRUCTIONS. CONTRACTOR IS TO SPRAY ALL PLANTING BEDS WITH WATER IMMEDIATELY AFTER MULCH IS INSTALLED TO REMOVE PRE-EMERGENT FROM FOLIAGE AND ACTIVATE HERBICIDE.
- STEEL EDGING IS TO CONSIST OF 16 GAUGE PERFORATED GALVANIZED ROLLED-TOP STEEL EDGING. EDGING IS TO BE USED TO SEPARATE NATIVE GRASS, WOOD MULCH, AND ROCK COVER AREAS, UNLESS OTHERWISE NOTED ON PLAN. EDGING IS TO BE PARTIALLY BURIED SO THAT HALF OF EDGING HEIGHT IS BELOW FINISHED SOIL GRADE. 12" STEEL EDGING PINS TO BE INSTALLED EVERY 4' O.C. MAX.. ENDS OF STEEL EDGING TO OVERLAP 6" MINIMUM WITH AND HAVE TWO PINS SECURING OVERLAPPED ENDS.

## SOIL PREPARATION NOTES

- PROPOSED NATIVE GRASS AREAS:** ALL SEEDED AREAS TO RECEIVE 2 CU. YDS. PER 1,000 SQ. FT. OF 'BIOCOMP' SOIL AMENDMENTS (C&C SAND) INCORPORATED INTO EXISTING SOIL AND ROTO-TILLED TO A 6" DEPTH.
- PROPOSED TREES AND SHRUBS:** ALL PROPOSED TREES ARE TO BE BACKFILLED WITH A MIXTURE OF 'BIOCOMP' SOIL AMENDMENT AND IMPORTED GRADE A TOPSOIL (C&C SAND). REFER TO PLANTING DETAILS.

## IRRIGATION NOTES

- ALL PROPOSED TREES AND SHRUBS ARE TO BE WATERED BY A PROPOSED DRIP IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL INCLUDE AUTOMATIC CONTROLLER, RAIN SENSOR, BACKFLOW PREVENTER (INSTALLED PER LOCAL CODES), AND A QUICK COUPLER ALONG MAINLINE. TREES TO HAVE (4) 1 GPH EMITTERS EACH EVENLY SPACED AT EDGE OF ROOT BALL. SHRUBS / ORNAMENTAL GRASSES TO HAVE (2) 1 GPH EMITTERS EACH EVENLY SPACED AT EDGE OF ROOT BALL. ALL DRIP PIPE SHALL BE SECURED WITH 6" METAL STAKES AND BURIED.
- ALL DISTURBED NATIVE SEED AREAS TO RECEIVE TEMPORARY IRRIGATION UNTIL NATIVE GRASS IS ESTABLISHED. REFER TO NATIVE SEED ESTABLISHMENT NOTES. HOSES ARE TO BE CONNECTED TO BUILDING HOSE BIBS AND IRRIGATION QUICK COUPLERS TO MANUALLY WATER PROPOSED NATIVE SEED AREAS WITH PORTABLE SPRINKLERS UNTIL ESTABLISHED. TEMPORARY SPRAY IRRIGATION ZONES CAN BE CREATED TO IRRIGATE NATIVE SEED AREAS UNTIL ESTABLISHED.

NOT FOR CONSTRUCTION

**JWLA**  
 JON WALSH  
 LANDSCAPE ARCHITECT  
 LLC  
 P.O. Box 354  
 Palmer Lake, CO 80133  
 (719) 640-9428  
 (719) 358-2559 fax  
 jwlandarch@gmail.com

PROJECT FILE: Security FS4-L.S.dwg

DEVELOPMENT PLAN FOR  
**SECURITY FIRE STATION NO. 4**  
 0 Mesa Ridge Parkway  
 Security, CO

PROJECT NAME:

**FINAL LANDSCAPE PLAN**

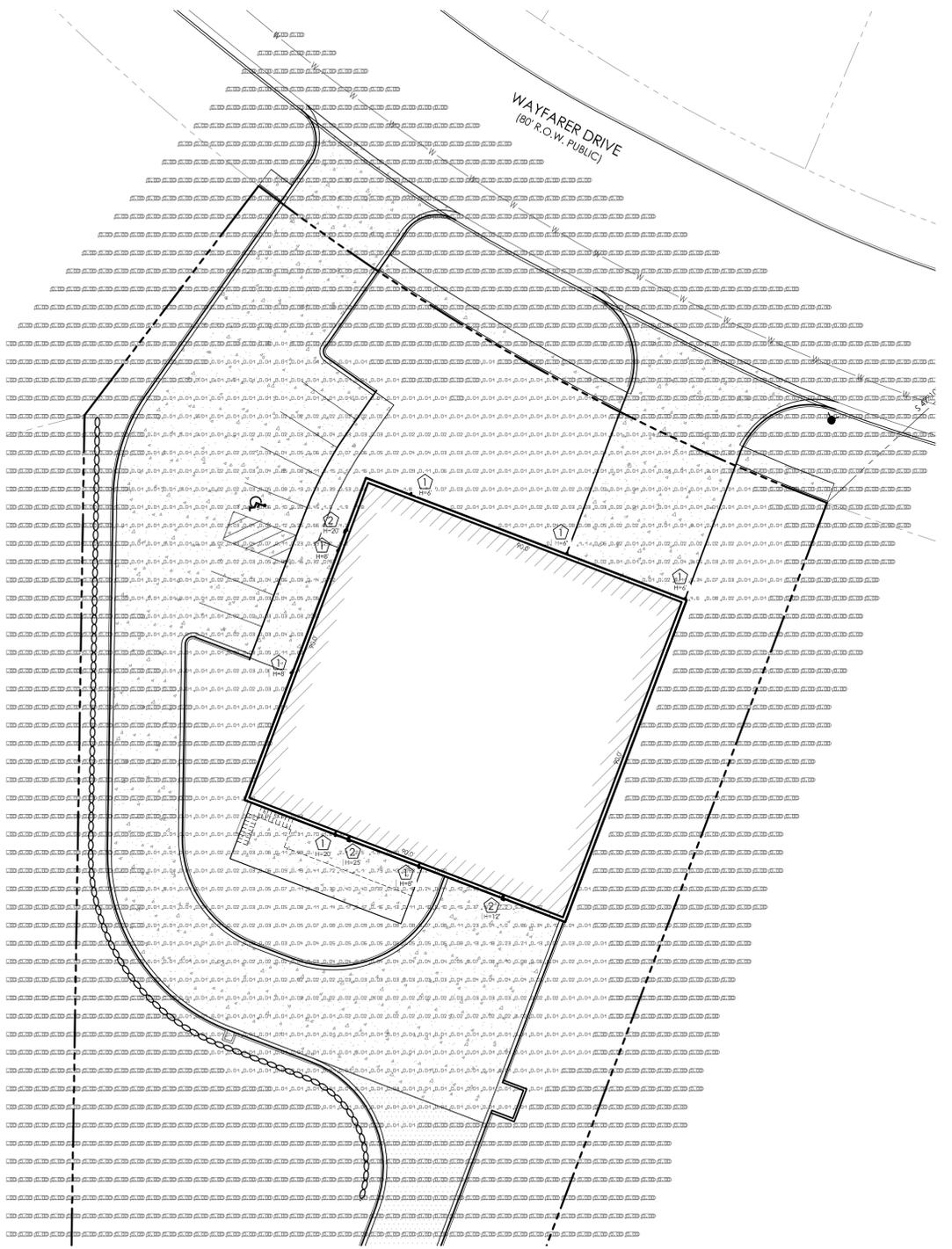
SHEET TITLE:

REVISION DATE: September 11, 2020

December 7, 2020

STAMP:

SHEET NO. **LS-2**  
 Sheet 2 of 2



Luminaire list (Site 1)								
Index	Manufacturer	Article name	Item number	Fitting	Luminous flux	Light loss factor	Connected load	Quantity
1	BEGA	LED 3,8W	33590	1x LED 3,8W	293 lm	0.80	6 W	7
2	WEEF	QLS410 [M] IP66:LED-3/13W/3K	620-2017	3x 3 LED 13W (3000K)	1496 lm	0.80	16 W	3

**Wall luminaire - two-sided light distribution**

BEGA

**Application**  
Wall luminaire with light emission on two sides. Downward directed light distribution is ideal for general illumination of pathways and corridors. Upward directed light is ideal for highlighting various architectural features.

**Materials**  
Luminaire housing constructed of die-cast marine grade, copper free (±0.3% copper content) A380.0 aluminum alloy  
Clear safety glass  
Reflectors made of pure anodized aluminum  
Silicone applied robotically to casting, plasma treated for increased adhesion  
High temperature silicone gasket  
Mechanically captive stainless steel fasteners

**Electrical**  
Operating voltage 120-277V AC  
Minimum start temperature -30° C  
Maximum ambient temperature 40° C  
LED module wattage 3.8W  
System wattage 7.3W  
Controllability 0-10V dimmable  
Color rendering index Ra > 80  
Luminaire lumens 300 lumens (4000K)  
LED service life (L70) 60,000 hours

**LED color temperature**  
 4000K - Product number + **K4 (EXPRESS)**  
 3500K - Product number + **K35**  
 3000K - Product number + **K3 (EXPRESS)**  
 2700K - Product number + **K27**  
 Amber - Product number + **AMS**

**Wildlife friendly amber LED - Optional**  
Luminaire is optionally available with a narrow bandwidth, amber LED source (585-600nm) approved by the FWG. This light output is suggested for use within close proximity to sea turtle nesting and hatching habitats. Electrical and control information may vary from standard luminaire.

**BEGA** can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

**Finish**  
All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.  
Available colors  Black (BLK)  White (WHT)  RAL:  
 Bronze (BRZ)  Silver (SLV)  CUS:



Wall luminaire - two-sided light distribution					
	LED	β	A	B	C
33590	3.8W	22°	3	5 1/4	8 1/4

β = Beam angle  
BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com  
Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com © copyright BEGA 2019 Updated 08/2019

Type:  
BEGA Product:  
Project:  
Modified:

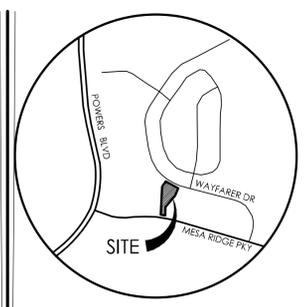
- Available Options**
- FSC Fusing
  - FRO Frosted lens
  - FFRO Factory fixed reduced output
  - UPO Uplight only
- See individual accessory spec sheet for details.



**QLS410 LED 620-2017**

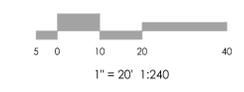


<b>Description</b>	IP66, Class I, IK07. Surface mounted LED wall luminaire. Marine-grade, die-cast aluminum alloy, SCE superior corrosion protection including PCS hardware. Silicone rubber gasket. Safety glass lens. Integral EC electronic converter. CAD-optimised optics for superior illumination and glare control. OLC® One LED Concept. Factory installed LED circuit board. 0-10V on request. Suitable for installation over 4" recessed junction box. ADA (American Disabilities Act) Compliant.
<b>Beam Type</b>	symmetric, medium beam [M]
<b>Light Source</b>	LED-3/13W / 1400 mA - 3000 K
<b>CRI</b>	80
<b>Gear Type</b>	electronic gear
<b>Nominal Luminous Flux (lm)</b>	
LED Lumens	498.7 lm
LEDs	3
Total Lumens	1496 lm
Tj	85 °C
<b>Delivered Lumens Flux (lm)</b>	
LED Lumens	336.1 lm
Total Lumens	1008.4 lm
Ta	25 °C
<b>Rated Input Power</b>	16 W



VICINITY MAP  
NOT TO SCALE

BENCHMARK



**MVE, INC.**  
ENGINEERS / SURVEYORS

1903 Liberty Street, Suite 300 Colorado Springs, CO 80909 719.635.5736

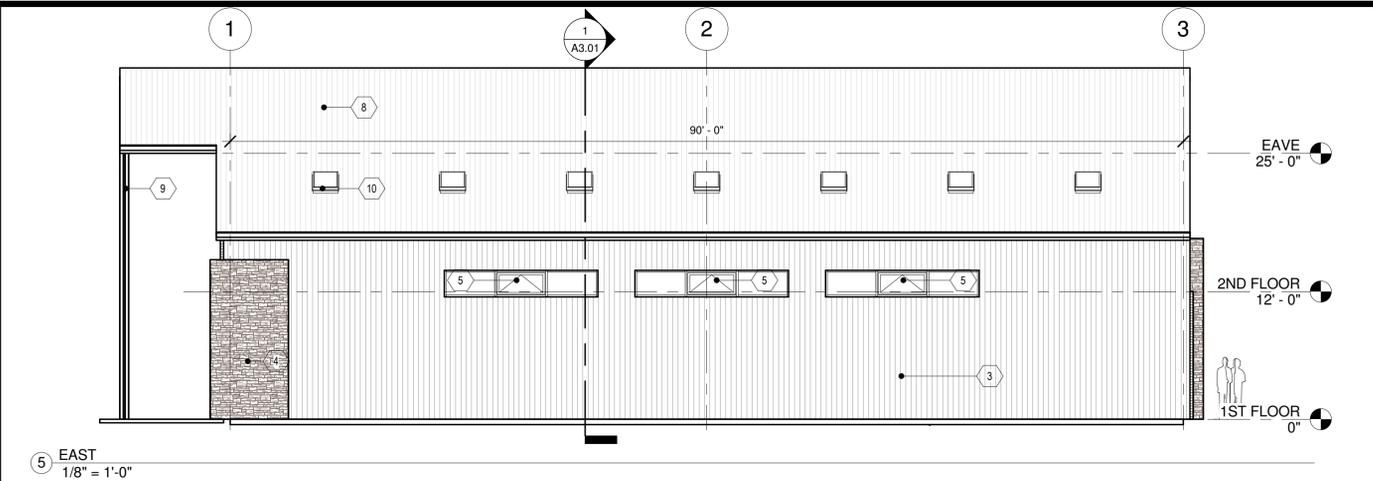
REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILT BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

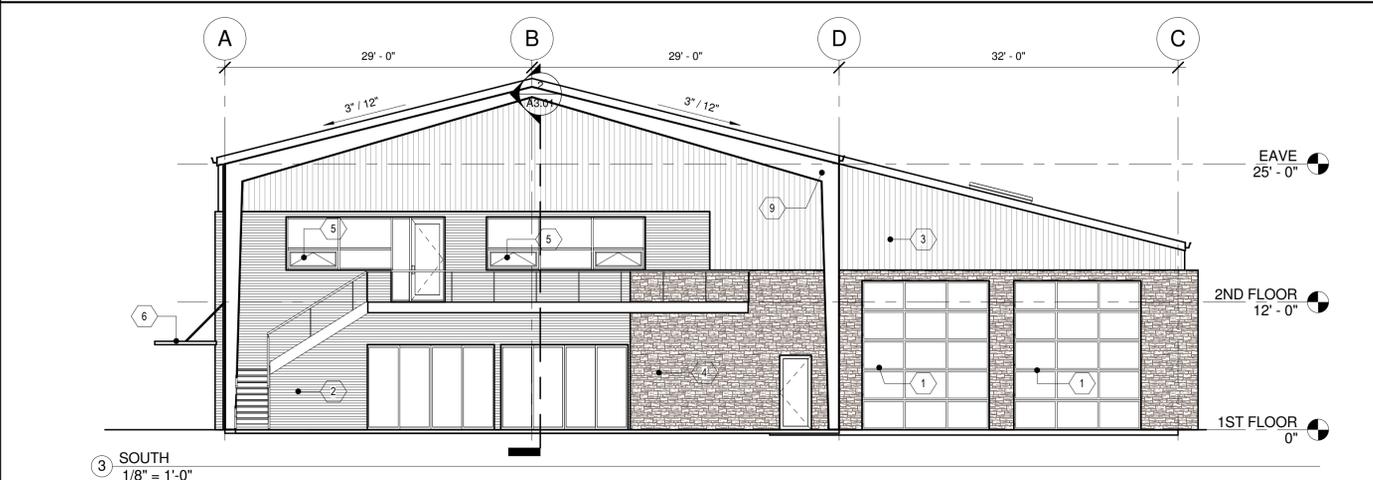
**SECURITY FIRE STATION NO. 4**  
**SITE DEVELOPMENT PLAN LIGHTING PLAN**

E-1 MVE PROJECT 61134  
MVE DRAWING DEV-LP  
SEPTEMBER 10, 2020  
**SHEET 1 OF 1**

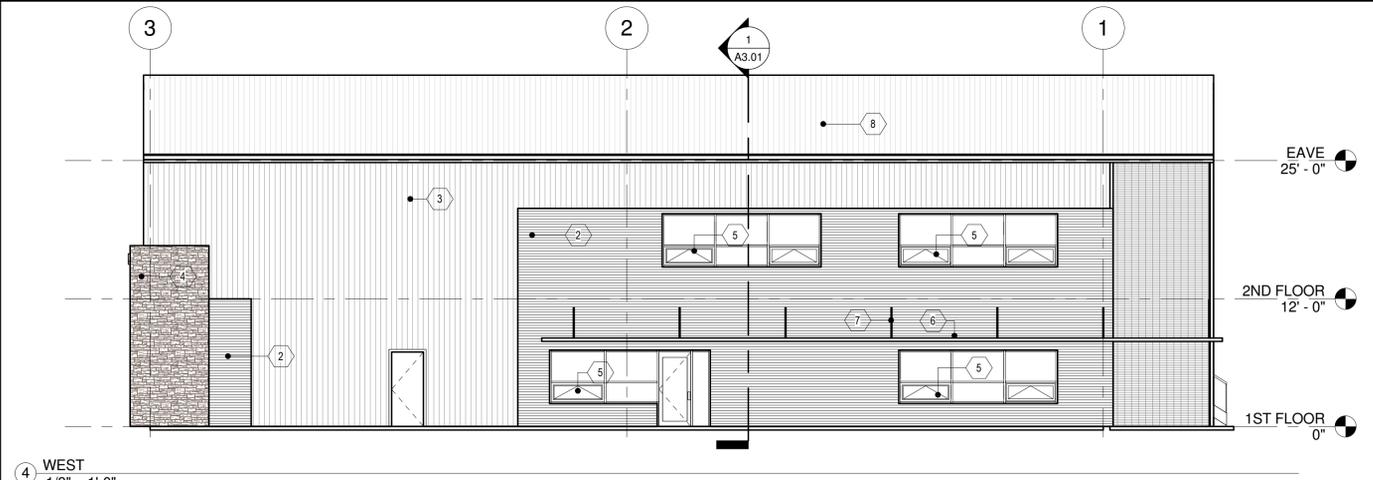
KEYNOTES	
NUMBER	NOTE
1	CLEAR ANOD. ALUM. AND GLASS OVERHEAD DOOR
2	PREFINISHED METAL SIDING - COLOR 2
3	PREFINISHED METAL SIDING - COLOR 1
4	CULTURED STONE VENEER
5	CLEAR ANOD. ALUM. STOREFRONT SYSTEM W/ OPERABLE AWNING WINDOWS
6	OVERHANG PER DETAILS
7	ROD & CLEVIS PER STRUCTURAL
8	METAL ROOF BY METAL BUILDING MFR.
9	STEEL FRAMING PER METAL BUILDING MFR.
10	SKYLIGHT PER METAL BUILDING MFR.



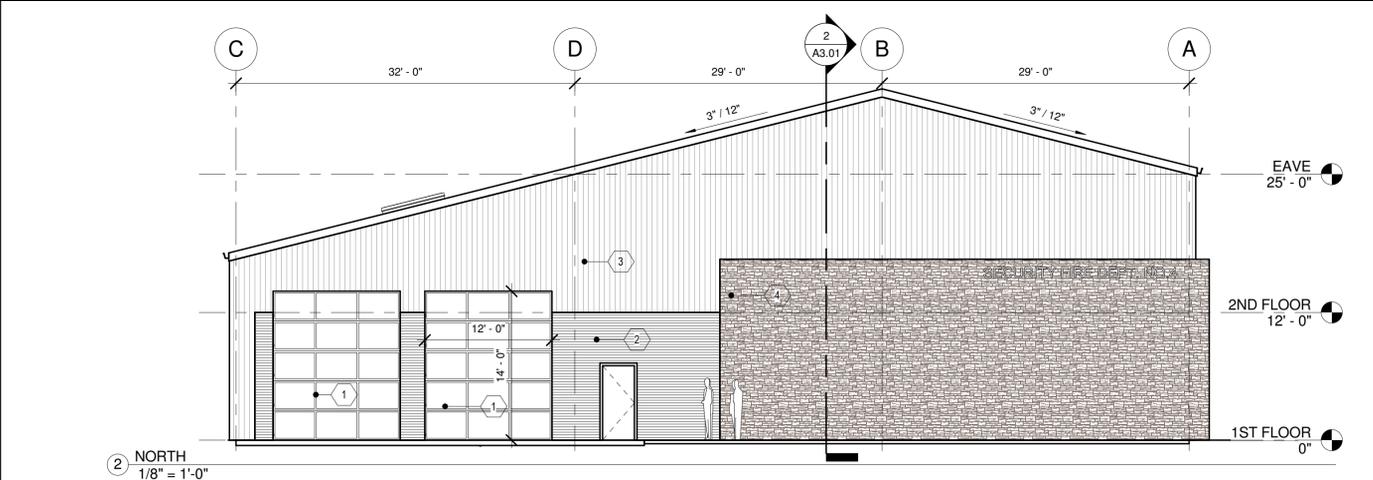
⑤ EAST  
1/8" = 1'-0"



③ SOUTH  
1/8" = 1'-0"



④ WEST  
1/8" = 1'-0"



② NORTH  
1/8" = 1'-0"

No.	Date	Description
<b>SCHEMATIC DESIGN</b>		
<b>ORSI DESIGN</b>		
815 N FOOTE AVE COLORADO SPRINGS, CO 80909 P: 719-650-5938		

SECURITY FIRE DEPARTMENT - STATION NO. 4  
SECURITY, COLORADO

EXTERIOR ELEVATIONS

<b>DRAWN BY</b>	AEO
<b>DATE</b>	06-21-16
<b>SCALE</b>	1/8" = 1'-0"
<b>JOB NO.</b>	14-01
<b>SHEET</b>	

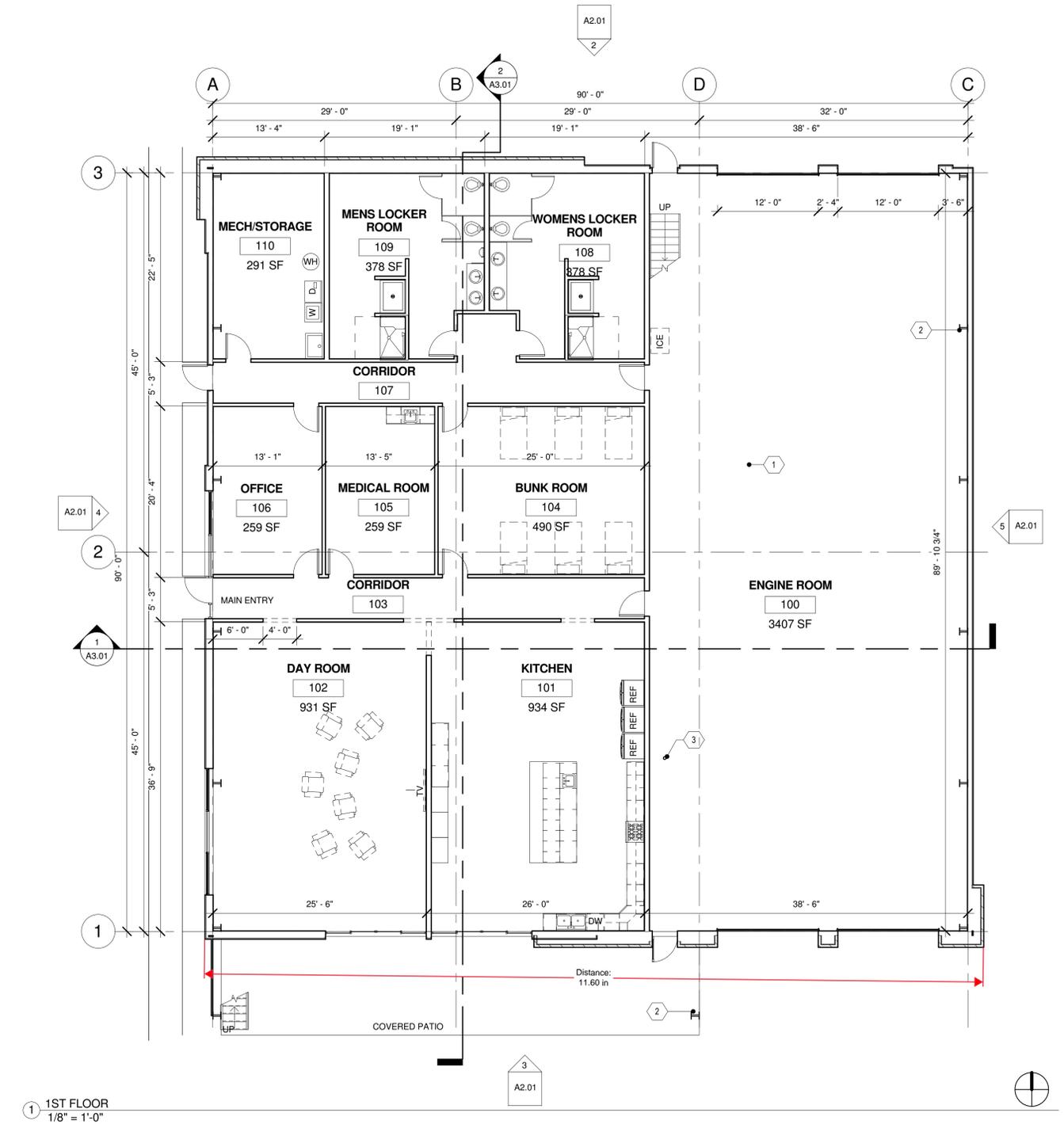
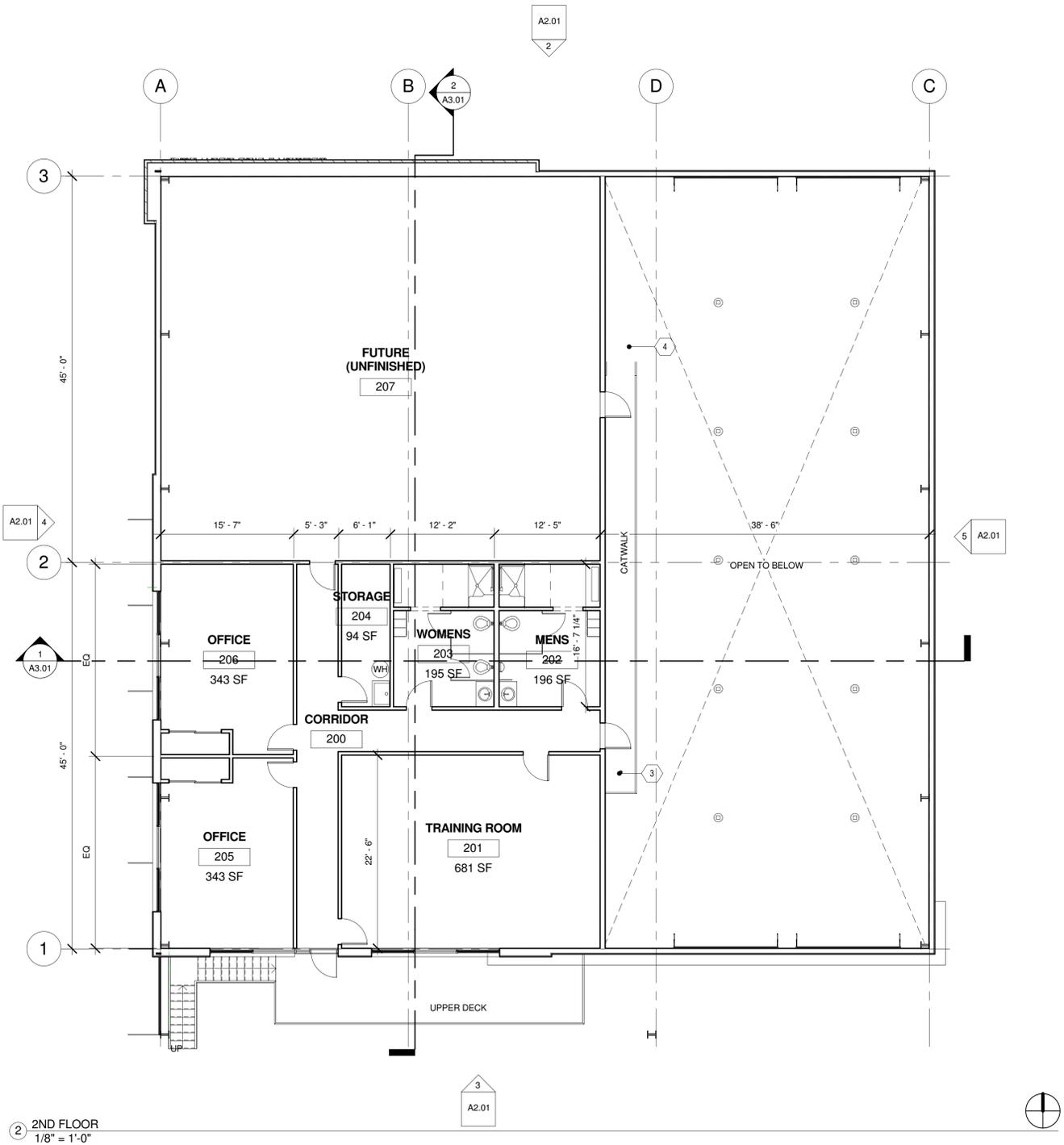
A2.01

KEYNOTES	
NUMBER	NOTE
1	6" CONC. SLAB W/ TURNDOWNS @ STOREFRONT & DOORS PER STRUCT. - PROVIDE 4'-0" HORIZ. RIGID PERIMETER INSUL.
2	STEEL FRAMING PER METAL BUILDING MFR.
3	FIRE POLE - SEE DETAILS
4	STEEL STAIR AND CATWALK PER STRUCT.

Room Schedule						
Room Number	Room Name	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Comments
100	ENGINE ROOM	POLISHED/SEALED CONCRETE	6" VINYL COVE	PAINT - SATIN ENAMEL	EXPOSED	
101	KITCHEN	VCT	4" VINYL COVE	PAINT - SATIN ENAMEL, PORCELAIN BACKSPASH	A.C.T.	ALL CASEWORK TO BE P-LAM, ALL COUNTERTOPS TO BE STAINLESS STEEL
102	DAY ROOM	BROADLOOM CARPET	4" VINYL COVE	PAINT - SATIN ENAMEL	A.C.T.	
103	CORRIDOR	VCT	4" VINYL COVE	PAINT - SATIN ENAMEL	A.C.T.	
104	BUNK ROOM	BROADLOOM CARPET	4" VINYL COVE	PAINT - SATIN ENAMEL	PAINTED GYP. BD.	
105	MEDICAL ROOM	VCT	4" VINYL COVE	PAINT - SATIN ENAMEL	A.C.T.	ALL CASEWORK TO BE P-LAM, ALL COUNTERTOPS TO BE STAINLESS STEEL
106	OFFICE	BROADLOOM CARPET	4" VINYL COVE	PAINT - SATIN ENAMEL	A.C.T.	
107	CORRIDOR	VCT	4" VINYL COVE	PAINT - SATIN ENAMEL	A.C.T.	
108	WOMENS LOCKER ROOM	PORCELAIN TILE	PORCELAIN COVE	PORCELAIN TILE WAINSCOT TO +4'-0", PAINT	PAINTED GYP. BD.	ALL TOILET PARTITIONS TO BE STAINLESS STEEL, COUNTERTOPS TO BE SOLID SURFACE, PROVIDE (1) ACCESSIBLE SHOWER STALL
109	MENS LOCKER ROOM	PORCELAIN TILE	PORCELAIN COVE	PORCELAIN TILE WAINSCOT TO +4'-0", PAINT	PAINTED GYP. BD.	ALL TOILET PARTITIONS TO BE STAINLESS STEEL, COUNTERTOPS TO BE SOLID SURFACE, PROVIDE (1) ACCESSIBLE SHOWER STALL
110	MECH/STORAGE	POLISHED/SEALED CONCRETE	4" VINYL COVE	PAINT - SATIN ENAMEL	EXPOSED	
200	CORRIDOR	BROADLOOM CARPET	4" VINYL COVE	PAINT - SATIN ENAMEL	A.C.T.	
201	TRAINING ROOM	BROADLOOM CARPET	4" VINYL COVE	PAINT - SATIN ENAMEL	A.C.T.	
202	MENS	PORCELAIN TILE	PORCELAIN COVE	PORCELAIN TILE WAINSCOT TO +4'-0", PAINT	PAINTED GYP. BD.	ALL TOILET PARTITIONS TO BE STAINLESS STEEL, COUNTERTOPS TO BE SOLID SURFACE, PROVIDE (1) ACCESSIBLE SHOWER STALL
203	WOMENS	PORCELAIN TILE	PORCELAIN COVE	PORCELAIN TILE WAINSCOT TO +4'-0", PAINT	PAINTED GYP. BD.	ALL TOILET PARTITIONS TO BE STAINLESS STEEL, COUNTERTOPS TO BE SOLID SURFACE, PROVIDE (1) ACCESSIBLE SHOWER STALL
204	STORAGE	VCT	4" VINYL COVE	PAINT - SATIN ENAMEL	A.C.T.	
205	OFFICE	BROADLOOM CARPET	4" VINYL COVE	PAINT - SATIN ENAMEL	A.C.T.	
206	OFFICE	BROADLOOM CARPET	4" VINYL COVE	PAINT - SATIN ENAMEL	A.C.T.	
207	FUTURE (UNFINISHED)	SEALED CONCRETE	N/A	N/A	EXPOSED	

**SCHEMATIC DESIGN**

**ORSI DESIGN**  
815 N FOOTE AVE  
COLORADO SPRINGS, CO 80909  
P. 719-650-5938

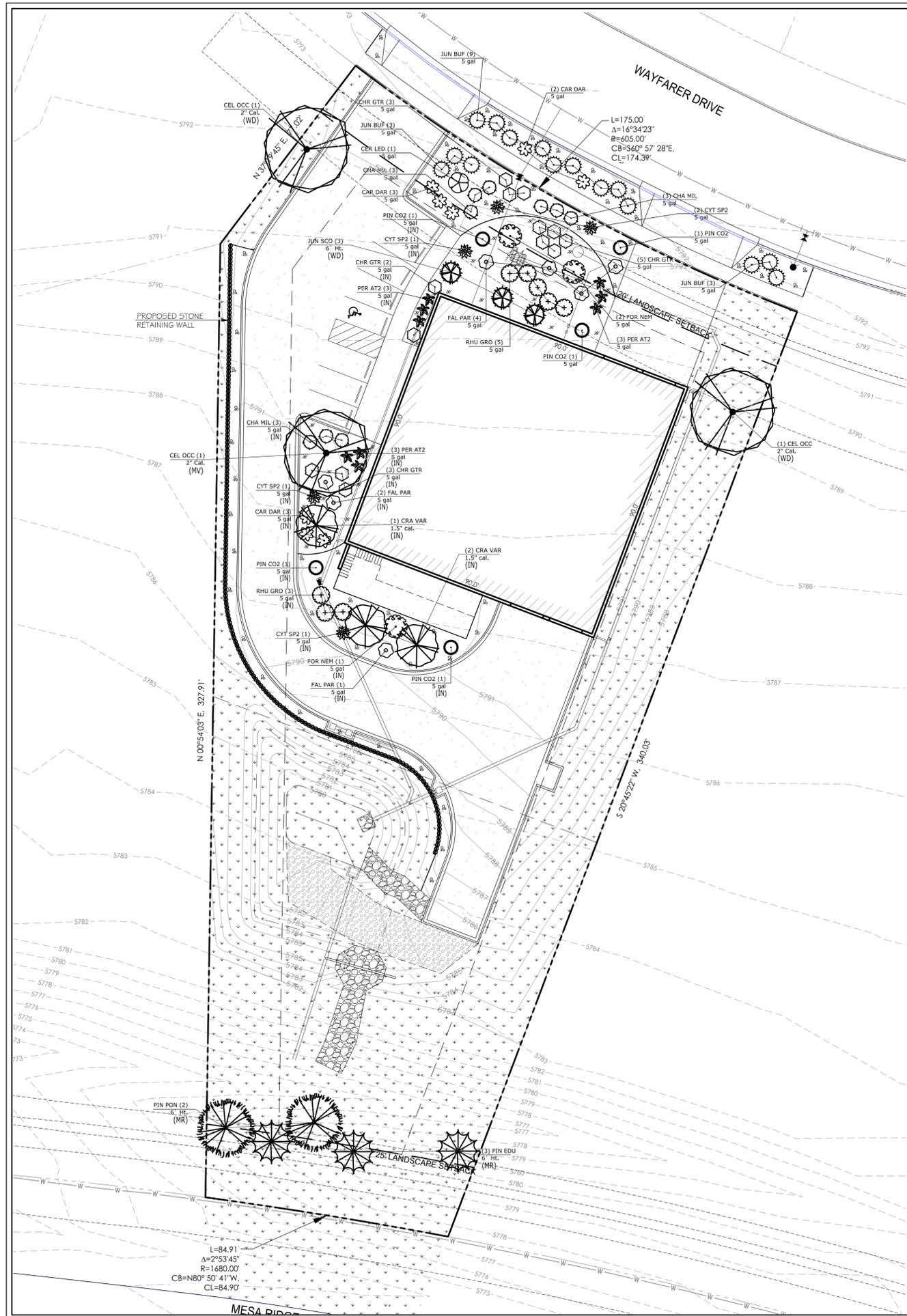


SECURITY FIRE DEPARTMENT - STATION NO. 4  
SECURITY, COLORADO

FLOOR PLANS

DRAWN BY  
AEO  
DATE  
06-21-16  
SCALE  
1/8" = 1'-0"  
JOB NO.  
14-01  
SHEET

**A1.01**



### SITE CATEGORY CALCULATIONS:

#### Landscape Setbacks

Street Name or Boundary	Street Classification	Width (in Ft.)	Linear Footage	Tree/Foot Required	No. of Trees Req./Prov.	Setback Plant Abbr. Denoted on Plan
Mesa Ridge Parkway	Principle Arterial	25' / 25'	85'	1 / 20'	5 / 5	(MR)
Wayfarer Drive	Minor Arterial	20' / 20'	175'	1 / 25'	7 / 5*	(WD)

\* REQUEST ALTERNATIVE COMPLIANCE- Cannot put trees in R.O.W. or in sanitary sewer easement. Have placed 5 trees along back edge sanitary sewer easement and cannot fit anymore. Have placed additional shrubs in R.O.W. and in easement to compensate for the 2 missing trees.

#### Parking

No. of Vehicles Spaces Provided	Shade Trees Required/Provided	Abbr. on Plan	Vehicle Lot Frontages	Length of Frontage (excluding driveways)	2/3 Length of Frontage (ft.)
8	1 / 1	(PK)	Wayfarer Drive	20'	

Min. 3' Screening Plants Req. / Prov.	Evergreen Plants Req. (50%) / Prov.	Length of Screening Wall or Berm Provided	Vehicle Lot Plant Abbr. on Plan	Percent Ground Plane Veg. Req. / Prov.
3 / 3	2 / 2	-	(PS)	75% / 75%

#### Internal Landscaping

Net Site Area (SF) (less public ROW)	Percent Minimum Internal Area (%)	Internal Area (SF) Required / Provided	Internal Trees (1/500 SF) Required / Provided
52,730 s.f.	5%	2,637 s.f. / 9,500 s.f.	6 / 3*

#### Shrub Substitutes

Required / Provided	Internal Plant Abbr. Denoted on Plan
30 / 30	(IN)

\* REQUEST ALTERNATIVE COMPLIANCE- Landscape design has utilized more shrubs than required to fill large sanitary sewer easement area where trees are not allowed. Substitution of half the required internal trees for shrubs is requested.

#### Landscape Buffer & Screens

Street Name or Property Line	Width (in Ft.)	Linear Footage	Buffer Trees (1/15') Required / Provided	Evergreen Trees Req. (1/3) / Provided
None	- / -	- / -	- / -	- / -

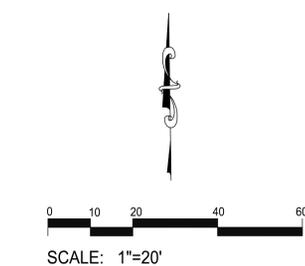
Length of 6 Ft. Opaque Structure Req. / Prov.	Buffer Tree Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
- / -	-	- / -

#### PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE

#### PROPOSED GROUND PLANE TREATMENT

- PROPOSED 1.5" 'ROYAL GRANITE' CRUSHED ROCK, 3" DEPTH, OVER DEWITT LANDSCAPE FABRIC
- PROPOSED 'CASCADE CEDAR' WOOD MULCH, 3" DEPTH (NO FABRIC BENEATH)
- PROPOSED NON-IRRIGATED NATIVE SEED WITH EROSION CONTROL BLANKET (ALL DISTURBED AREAS)
- PROPOSED RIP-RAP (REFER TO CIVIL PLANS)
- PROPOSED COMPACTED CLASS 6 ROAD BASE, 4" DEPTH



NOT FOR CONSTRUCTION

**JWLA**  
**Jon Walsh**  
**LANDSCAPE ARCHITECT**  
 LLC  
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 (719) 358-2559 fax  
 jwlandarch@gmail.com

PROJECT FILE: Security FS4-LS.dwg

DEVELOPMENT PLAN FOR  
**SECURITY FIRE STATION NO. 4**  
 0 Mesa Ridge Parkway  
 Security, CO

PROJECT NAME:

FINAL LANDSCAPE PLAN

SHEET TITLE:

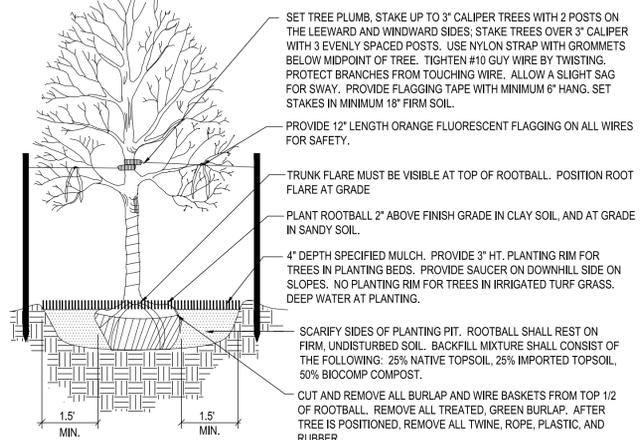
REVISION DATE: September 11, 2020

REVISION DATE: December 7, 2020

SHEET NO. **LS-1**  
 Sheet 1 of 2

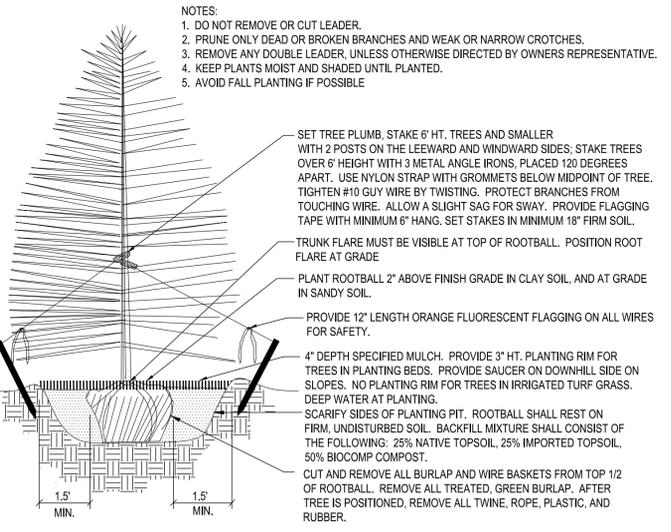
# PLANTING DETAILS

- NOTES:  
 1. DO NOT REMOVE OR CUT LEADER.  
 2. PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.  
 3. DO NOT REMOVE LOWER LIMBS AND SPROUTS FOR AT LEAST TWO GROWING SEASONS.  
 4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTED.  
 5. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.  
 6. WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK. USE ELECTRICAL TAPE NOT TWINE.  
 WRAP OCTOBER 15 AND REMOVE BY MARCH 31.



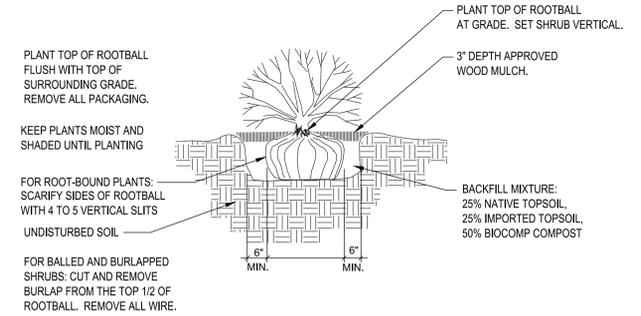
**1 Deciduous Tree Planting Detail**

NOT TO SCALE



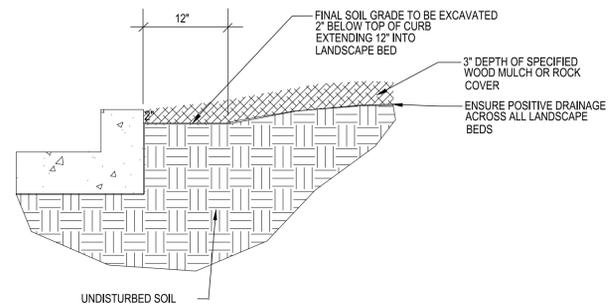
**2 Coniferous Tree Planting Detail**

NOT TO SCALE



**3 Shrub Planting Detail**

SCALE: NOT TO SCALE



**4 Rock Cover / Mulch Bed Excavation**

SCALE: NOT TO SCALE

## NATIVE SEED ESTABLISHMENT

**INITIAL PLANTING**  
 STOCKPILED TOPSOIL SHOULD BE SPREAD EVENLY OVER ALL AREAS TO RECEIVE NATIVE SEED. SEED BED IS TO BE WEED-FREE. SPECIFIED SOIL AMENDMENTS SHOULD BE SPREAD AND INCORPORATED INTO TOP 6" OF SOIL. SEED BED IS TO BE RAKED SMOOTH AND FREE OF DEBRIS LARGER THAN 1" IN DIAMETER. ANY AREAS THAT THE CONTRACTOR BELIEVES TO BE SUSCEPTIBLE TO EROSION ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND/OR GENERAL CONTRACTOR PRIOR TO SEEDING. THE SPECIFIED SEED MIX IS TO BE APPLIED BY HYDRO-MULCH SEEDING AT THE RATE SPECIFIED. SEED IS TO BE APPLIED BETWEEN APRIL 15 AND SEPTEMBER 15. SEED SHALL NOT BE SOWN IF GROUND IS IN A FROZEN STATE. SPECIFIED EROSION CONTROL BLANKET IS TO BE INSTALLED IMMEDIATELY AFTER SEEDING. BLANKET SHALL BE LAID AND SECURED WITH 6" METAL STAPLES AS PER MANUFACTURER'S INSTRUCTIONS. CONTRACTOR IS TO PROVIDE INCIDENTAL WATERING OF ALL SEEDED AREAS THREE TIMES A WEEK DURING GROWING SEASON FOR A MINIMUM OF 8 WEEKS, OR UNTIL ESTABLISHED AND MEETING COVERAGE REQUIREMENTS. MOWING MAY BE NECESSARY DURING THE FIRST GROWING SEASON TO KEEP INVASIVE WEEDS FROM SETTING SEEDS. CONTRACTOR IS RESPONSIBLE FOR KEEPING BROADLEAF WEEDS UNDER CONTROL FOR 12 MONTHS AFTER INITIAL SEEDING AND IS ALSO RESPONSIBLE FOR OVER SEEDING BARE AREAS UNTIL SPECIFIED NATIVE GRASSES COVER ALL AREAS AND AREAS WITHOUT SPECIFIED NATIVE GRASS DO NOT EXCEED 6" X 6".

**OVER SEEDING**  
 SIX WEEKS AFTER THE INITIAL SEEDING DURING THE FIRST GROWING SEASON AND/OR DURING THE SPRING OF THE SECOND GROWING SEASON CONTRACTOR IS TO REPAIR ANY ERODED AREAS AND OVER SEED ALL BARE NATIVE GRASS AREAS. CONTRACTOR IS TO USE SPECIFIED SEED MIX BY BROADCAST AND RAKING INTO TOP 1/4" TO 1/2" OF SOIL. INCIDENTAL WATERING IS TO BE PROVIDED TO ESTABLISH OVER-SEEDED AREAS. BROADLEAF WEEDS ARE TO BE KEPT UNDER CONTROL BY MANUALLY PULLING OR CUTTING WEEDS OR SPRAYING OF BROADLEAF WEED HERBICIDE. HERBICIDE AND APPLICATION SHALL CONFORM TO ALL APPLICABLE LAWS OF THE STATE OF COLORADO AND MANUFACTURER'S INSTRUCTIONS.

## PROJECT DATA

PROPERTY SIZE:	52,730 s.f. total
BUILDING AREA:	8,464 s.f.
PAVEMENT AREA:	17,037 s.f.
LANDSCAPE AREA:	27,229 s.f.
TOTAL PARKING SPACES:	8 spaces

## GENERAL NOTES

- ALL REFERENCES TO 'CONTRACTOR' REFER TO LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR GETTING ALL UTILITY LOCATES PRIOR TO STARTING ANY WORK ON SITE AND ALSO HAVING UTILITIES RELOCATED AS NECESSARY FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE EL PASO COUNTY PLANNING DEPARTMENT AND MAY DELAY COMPLETION OF PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY OWNER'S REPRESENTATIVE OF DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF LANDSCAPE MATERIALS ARE NOT ALLOWED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT GIVEN PRIOR TO INSTALLATION. NOTIFY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION IF LANDSCAPE MATERIAL LOCATIONS NEED TO BE ALTERED DUE TO ON-SITE CONDITIONS.
- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS, IRRIGATION COMPONENTS, NATIVE GRASS, AND WORKMANSHIP. CONTRACTOR IS TO PROVIDE OWNER WITH WARRANTY CONDITIONS AND COMMENCE WARRANTY PERIOD UPON FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION.
- THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, WOOD MULCH AND ROCK COVER REPLACEMENT, PRUNING, AND PLANT MATERIAL REPLACEMENT. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION MAINTENANCE OF THIS SITE.

## PROJECT NOTES

- FINE GRADING TO BE PERFORMED BY LANDSCAPE CONTRACTOR TO REFLECT FINISHED GRADES SHOWN ON THE PROJECT GRADING PLANS. ALL FINISHED GRADES ARE TO HAVE A MINIMUM 2% SLOPE. CONTRACTOR IS TO REPORT POOR DRAINAGE CONDITIONS OR ANY GRADES IN LANDSCAPE AREAS LESS THAN 2% TO GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT PRIOR TO LANDSCAPE CONSTRUCTION WORK. FINISHED GRADES SHALL BE FREE OF WEEDS AND FREE OF DEBRIS AND ROCKS GREATER THAN ONE INCH.
- CONTRACTOR IS TO PROVIDE FINAL GRADES ADJACENT TO HARDSCAPE SURFACES AT THE FOLLOWING SPECIFICATIONS:  
 2' BELOW TOP OF CONCRETE OR RETAINING WALLS FOR ALL MULCH AND ROCK COVER BEDS.  
 1' BELOW TOP OF CONCRETE OR RETAINING WALLS FOR NATIVE SEED AREAS.  
 CONTRACTOR IS TO COORDINATE THESE GRADING SPECIFICATIONS WITH GENERAL CONTRACTOR AND/OR WHOEVER IS PROVIDING ROUGH GRADING. FINAL GRADES IN ALL LANDSCAPE AREAS ARE TO BE ESTABLISHED USING ON-SITE STOCKPILED TOPSOIL.
- ALL AREAS SHOWN AS 'NON-IRRIGATED NATIVE SEED' TO BE SEEDED WITH 'NATIVE PRAIRIE MIX' (PAWNEE BUTTE SEED, INC.) BY DRILL SEEDING AND HYDRO-MULCH SEEDING AT A RATE OF 1 LB. PER 1,000 SQ. FT. REFER TO NATIVE SEED ESTABLISHMENT SPECIFICATION FOR MORE DETAILED INSTRUCTIONS. ALL SEEDED AREAS TO RECEIVE EROSION CONTROL BLANKET- 'R1 EXCEL' WESTERN EXCELSIOR PHOTO-DEGRADABLE EROSION CONTROL BLANKET. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- ROCK COVER AREAS TO CONSIST OF 1.5" DIAMETER 'ROYAL GRANITE' CRUSHED ROCK (C&C SAND), SPREAD 3" DEPTH OVER LANDSCAPE FABRIC. LANDSCAPE FABRIC TO CONSIST OF 'DEWITT' WEED BARRIER PRO, 3 OZ BLACK WOVEN POLYPROPYLENE FABRIC. FABRIC TO OVERLAP 6" MINIMUM AT ALL SEAMS. 6" STEEL ANCHOR PINS TO BE INSTALLED 6" O.C. MAX.
- CASCADE CEDAR WOOD MULCH IS TO BE USED IN SPECIFIED BEDS, 3" DEPTH, AND ALSO PROVIDED AROUND ALL THE BASE OF ALL TREES, 4" DIAMETER, 3" DEPTH. NO LANDSCAPE FABRIC TO BE INSTALLED BENEATH MULCH.
- ALL PROPOSED PLANTING BEDS ARE TO BE ROTO-TILLED TO A 6" DEPTH. PLANTING BEDS ARE TO BE RAKED SMOOTH AND FINISHED GRADES ARE TO BE ESTABLISHED AND VERIFIED TO THE TOLERANCES LISTED ABOVE PRIOR TO PLANTING.
- AFTER PLANTING, BUT BEFORE LANDSCAPE FABRIC IS INSTALLED, ALL PLANTING BEDS ARE TO RECEIVE A GRANULAR PRE-EMERGENT HERBICIDE (PREEN OR SNAPSHOT). APPLY PER MANUFACTURER'S INSTRUCTIONS. CONTRACTOR IS TO SPRAY ALL PLANTING BEDS WITH WATER IMMEDIATELY AFTER MULCH IS INSTALLED TO REMOVE PRE-EMERGENT FROM FOLIAGE AND ACTIVATE HERBICIDE.
- STEEL EDGING IS TO CONSIST OF 16 GAUGE PERFORATED GALVANIZED ROLLED-TOP STEEL EDGING. EDGING IS TO BE USED TO SEPARATE NATIVE GRASS, WOOD MULCH, AND ROCK COVER AREAS, UNLESS OTHERWISE NOTED ON PLAN. EDGING IS TO BE PARTIALLY BURIED SO THAT HALF OF EDGING HEIGHT IS BELOW FINISHED SOIL GRADE. 12" STEEL EDGING PINS TO BE INSTALLED EVERY 4' O.C. MAX.. ENDS OF STEEL EDGING TO OVERLAP 6" MINIMUM WITH AND HAVE TWO PINS SECURING OVERLAPPED ENDS.

## SOIL PREPARATION NOTES

- PROPOSED NATIVE GRASS AREAS:** ALL SEEDED AREAS TO RECEIVE 2 CU. YDS. PER 1,000 SQ. FT. OF 'BIOCOMP' SOIL AMENDMENTS (C&C SAND) INCORPORATED INTO EXISTING SOIL AND ROTO-TILLED TO A 6" DEPTH.
- PROPOSED TREES AND SHRUBS:** ALL PROPOSED TREES ARE TO BE BACKFILLED WITH A MIXTURE OF 'BIOCOMP' SOIL AMENDMENT AND IMPORTED GRADE A TOPSOIL (C&C SAND). REFER TO PLANTING DETAILS.

## IRRIGATION NOTES

- ALL PROPOSED TREES AND SHRUBS ARE TO BE WATERED BY A PROPOSED DRIP IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL INCLUDE AUTOMATIC CONTROLLER, RAIN SENSOR, BACKFLOW PREVENTER (INSTALLED PER LOCAL CODES), AND A QUICK COUPLER ALONG MAINLINE. TREES TO HAVE (4) 1 GPH EMITTERS EACH EVENLY SPACED AT EDGE OF ROOT BALL. SHRUBS / ORNAMENTAL GRASSES TO HAVE (2) 1 GPH EMITTERS EACH EVENLY SPACED AT EDGE OF ROOT BALL. ALL DRIP PIPE SHALL BE SECURED WITH 6" METAL STAKES AND BURIED.
- ALL DISTURBED NATIVE SEED AREAS TO RECEIVE TEMPORARY IRRIGATION UNTIL NATIVE GRASS IS ESTABLISHED. REFER TO NATIVE SEED ESTABLISHMENT NOTES. HOSES ARE TO BE CONNECTED TO BUILDING HOSE BIBS AND IRRIGATION QUICK COUPLERS TO MANUALLY WATER PROPOSED NATIVE SEED AREAS WITH PORTABLE SPRINKLERS UNTIL ESTABLISHED. TEMPORARY SPRAY IRRIGATION ZONES CAN BE CREATED TO IRRIGATE NATIVE SEED AREAS UNTIL ESTABLISHED.

NOT FOR CONSTRUCTION

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PROJECT FILE: Security FS4-L.S.dwg

DEVELOPMENT PLAN FOR  
**SECURITY FIRE STATION NO. 4**  
 0 Mesa Ridge Parkway  
 Security, CO

PROJECT NAME:

**FINAL LANDSCAPE PLAN**

SHEET TITLE:

REVISION DATE: September 11, 2020

December 7, 2020

STAMP:

SHEET NO. **LS-2**  
 Sheet 2 of 2