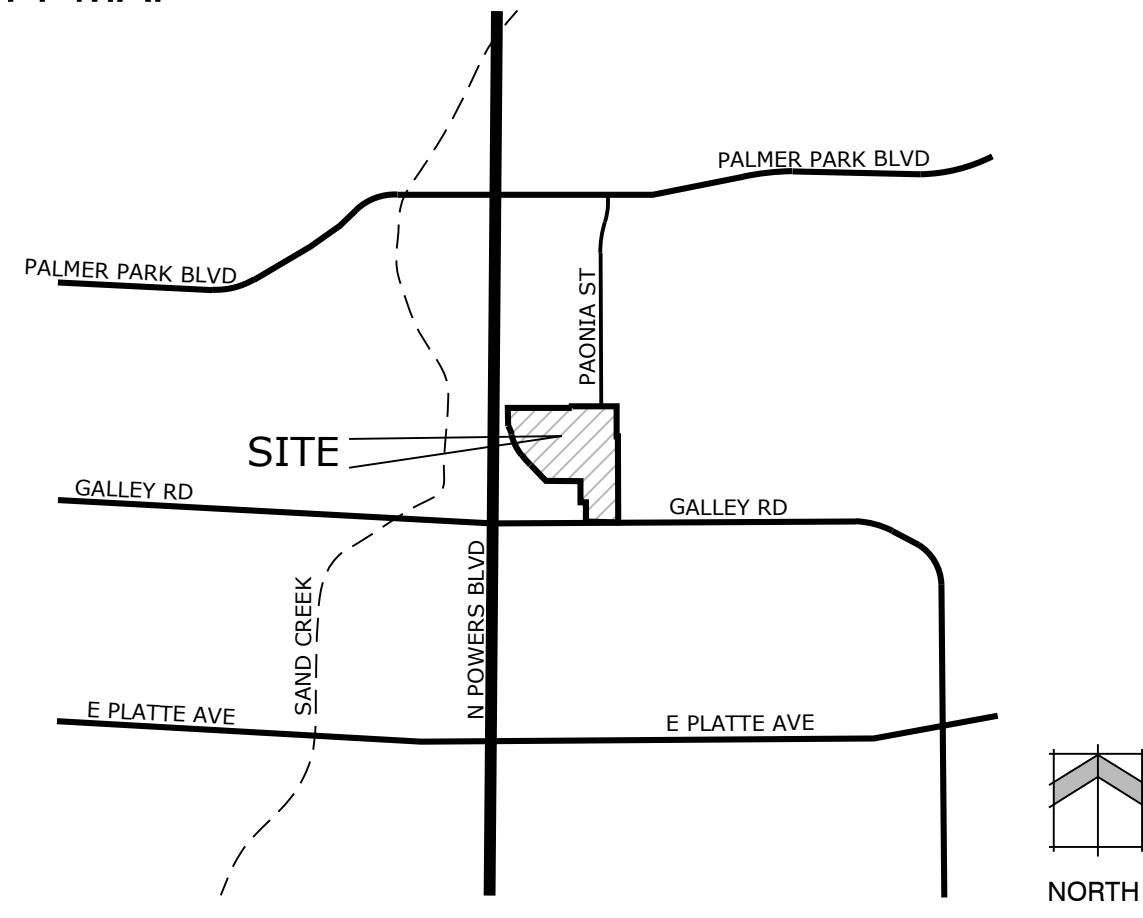


VICINITY MAP



NOTES

- SIGNAGE IS NOT APPROVED WITH THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT AT 2880 INTERNATIONAL CIRCLE FOR A SIGN PLAN APPLICATION.
- RETAINING WALLS EXCEEDING 4- FEET NEED TO BE STRUCTURALLY ENGINEERED.
- PRIOR TO BUILDING PERMIT APPROVAL, A FINAL SUBDIVISION PLAT SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT, AND THE PLAT MUST BE RECORDED.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
- ALL STREETS SHALL BE CONSTRUCTED TO EL PASO COUNTY STANDARDS AND ANY APPROVED DEVIATIONS. UPON ACCEPTANCE BY EL PASO COUNTY, PUBLIC STREETS SHALL BE MAINTAINED BY THE COUNTY.
- NOTWITHSTANDING ANYTHING DEPICTED IN THIS PLAN IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE (LDC), THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL (DCM), AND DCM VOLUME 2. ANY DEVIATIONS FROM THESE STANDARDS MUST BE SPECIFICALLY REQUESTED AND APPROVED IN WRITING TO BE ACCEPTABLE. THE APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT IMPLICITLY ALLOW ANY DEVIATIONS OR WAIVERS THAT HAVE NOT BEEN OTHERWISE APPROVED THROUGH THE DEVIATION APPROVAL PROCESS.
- DEVELOPMENT OF THE PROPERTY WILL BE IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE EL PASO COUNTY LAND DEVELOPMENT CODE FOR RM-12 ZONING.
- THIS PARCEL IS PARTIALLY WITHIN THE LIMITS OF THE 100 YEAR FLOOD PLAIN AS IDENTIFIED ON FEMA MAPPING PANEL NO. 08041C0752 G, DATED DECEMBER 7, 2016. THE LIMITS OF WHICH ARE SHOWN ON THE SURVEY. AREAS WITHIN THE FLOODPLAIN ARE ZONE AE, AREAS OUTSIDE THE FLOODPLAIN ARE ZONE X.
- THE FOLLOWING REPORTS HAVE BEEN SUBMITTED IN ASSOCIATION WITH THE SITE DEVELOPMENT PLAN AND ARE ON FILE AT THE COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT: TRANSPORTATION IMPACT STUDY; DRAINAGE REPORT; WATER RESOURCES REPORT; WASTEWATER DISPOSAL REPORT; GEOLOGY AND SOILS REPORT; FIRE PROTECTION REPORT; WILDFIRE HAZARD REPORT; NATURAL FEATURES AND HAZARD REPORT; NOISE STUDY; SAND CREEK CENTER TRIBUTARY CHANNEL ANALYSIS REPORT.
- THE PROPERTY IS LOCATED IN THE AIRPORT OVERLAY ZONE. THIS SERVES AS NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACTS ON THIS PROPERTY DUE TO ITS CLOSE PROXIMITY TO AN AIRPORT, WHICH IS BEING DISCLOSED TO ALL PROSPECTIVE PURCHASERS CONSIDERING THE USE OF THIS PROPERTY FOR RESIDENTIAL AND OTHER PURPOSES. THIS PROPERTY IS SUBJECT TO THE OVERFLIGHT AND ASSOCIATED NOISE OF ARRIVING AND DEPARTING AIRCRAFT DURING THE COURSE OF NORMAL AIRPORT OPERATIONS. ALL PROPERTY WITHIN THIS SUBDIVISION IS SUBJECT TO AN AVIGATION EASEMENT AS RECORDED IN BOOK 2478 AT PAGE 304, OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER.
- WATER AND WASTEWATER SERVICES FOR THIS SUBDIVISION ARE PROVIDED BY THE CHEROKEE METROPOLITAN DISTRICT (CHEROKEE) SUBJECT TO THE DISTRICT'S RULES, REGULATIONS AND SPECIFICATIONS. THE OFFICE OF THE STATE ENGINEER HAS ISSUED AN OPINION OF WATER INADEQUACY BASED ON ITS ANALYSIS AND INTERPRETATION OF A STIPULATED AGREEMENT CONCERNING THE AVAILABILITY OF CERTAIN WATER RIGHTS FOR USE OUTSIDE OF THE UPPER BLACK SQUIRREL CREEK DESIGNATED BASIN, AND THUS FOUND INSUFFICIENCY OF WATER RESOURCES FOR THIS SUBDIVISION BASED ON THAT AGREEMENT. THIS INTERPRETATION DIFFERS FROM CERTAIN OPINIONS ISSUED BY THE OFFICE IN THE PAST, BASED ON ITS OWN REVIEW OF THE STIPULATED AGREEMENT AND ITS HISTORY (AND NOT THE AMOUNT OF WATER ACTUALLY AVAILABLE) THE BOARD OF COUNTY COMMISSIONERS IN AN OPEN AND PUBLIC HEARING DID NOT ACCEPT THE INTERPRETATION OF THE STATE ENGINEER'S OFFICE. THE BOARD OF COUNTY COMMISSIONERS FOUND THAT CHEROKEE HAS COMMITTED TO PROVIDE WATER SERVICE TO THE SUBDIVISION AND ASSERTED THAT ITS LONG TERM WATER SERVICE CAPABILITIES ARE SUFFICIENT. THE BOARD OF COUNTY COMMISSIONERS MADE THIS DETERMINATION IN RELIANCE UPON THE TESTIMONY AND EXPERTISE PROVIDED BY CHEROKEE AT THE PUBLIC HEARING THEREON. AT THE HEARING, CHEROKEE ASSERTED THAT ITS PLANS AND CONTINUED FINANCIAL INVESTMENT IN INFRASTRUCTURE ARE DESIGNED TO ALLOW CHEROKEE TO CONTINUE TO PROVIDE THIS SUBDIVISION AND ITS EXISTING CUSTOMERS WITH WATER AND WASTEWATER SERVICES FOR 300 YEARS OR MORE.
- A 30 DB(A) INDOOR NOISE REDUCTION SHALL BE ACHIEVED BY APPROVED CONSTRUCTION TECHNIQUES AS EVIDENCED BY A NOISE REDUCTION CERTIFICATE PRIOR TO SITE DEVELOPMENT PLAN APPROVAL.
- ALL PROPERTY WITHIN THIS SUBDIVISION IS SUBJECT TO A RECIPROCAL ACCESS/PARKING AGREEMENT AS RECORDED AT RECEPTION NO. \_\_\_\_\_ OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER.
- A TITLE 32 SPECIAL DISTRICT ANNUAL REPORT AND DISCLOSURE FORM SATISFACTORY TO THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE RECORDED WITH EACH PLAT.
- STORMWATER DRAINAGE: ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNER UNLESS OTHERWISE INDICATED. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OF RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.
- EASEMENTS: UNLESS OTHERWISE INDICATED, ALL SIDE, FRONT, AND REAR LOT LINES ARE HEREBY PLATTED ON EITHER SIDE WITH A 10 FOOT (USE 5 FEET FOR LOTS SMALLER THAN 2.5 ACRES) PUBLIC UTILITY AND DRAINAGE EASEMENT UNLESS OTHERWISE INDICATED. ALL EXTERIOR SUBDIVISION BOUNDARIES ARE HEREBY PLATTED WITH A 20 FOOT (USE 7 FEET FOR LOTS SMALLER THAN 2.5 ACRES) PUBLIC UTILITY AND DRAINAGE EASEMENT. THE SOLE RESPONSIBILITY FOR MAINTENANCE OF THESE EASEMENTS IS HEREBY VESTED WITH THE INDIVIDUAL PROPERTY OWNERS.
- MAILBOXES: MAILBOXES SHALL BE INSTALLED IN ACCORDANCE WITH ALL EL PASO COUNTY AND UNITED STATES POSTAL SERVICE REGULATIONS.
- THIS PROPERTY MAY BE ADVERSELY IMPACTED BY NOISE, DUST, FUMES, AND LIGHT POLLUTION CAUSED BY ADJACENT INDUSTRIAL PROPERTIES AND ACTIVITIES. THE BUYER SHOULD RESEARCH AND BE AWARE OF THIS POTENTIALITY AND THE RAMIFICATION THEREOF.
- THE APPLICANT IS PROPOSING FEES IN LIEU OF SCHOOL AND PARK LAND DEDICATION. THE ANTICIPATED FEES FOR 342 DWELLING UNITS IS \$159,714 IN REGIONAL PARK FEES, \$100,890 IN URBAN PARK FEES, AND \$34,884 IN SCHOOL DISTRICT 11 FEES.
- A FLOODPLAIN DEVELOPMENT PERMIT AND NO-RISE LETTER FOR WORK IN THE SAND CREEK FLOODWAY CHANNEL IMPROVEMENTS WILL BE PROVIDED AT THE TIME OF THE SITE DEVELOPMENT PLAN, FINAL PLAT AND CONSTRUCTION DRAWINGS FOR LOT 1 (PHASE 1).
- THE APPLICANT REQUESTS THE FOLLOWING:  
 LOT 1 (PHASE 1) CONSISTING OF 234 UNITS: THE FINDING OF SUFFICIENCY FOR WATER QUANTITY, DEPENDABILITY AND QUALITY WITH THE PRELIMINARY PLAN (APPROVED NOVEMBER 5, 2020) SO THAT THE FINAL PLAT FOR LOT 1 (PHASE 1) CAN BE APPROVED ADMINISTRATIVELY.  
 LOT 2 (PHASE 2) CONSISTING OF 108 UNITS: THE FINDING OF SUFFICIENCY FOR WATER QUANTITY, DEPENDABILITY AND QUALITY BE DEFERRED TO THE FINAL PLAT.  
 ADA NOTE: THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

# SOLACE OF COLORADO SPRINGS

## PHASE 1 - SITE DEVELOPMENT PLAN

THAT PORTION OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO.

### LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE SOUTH WEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEASTERLY CORNER OF LOT 2, POWERS & GALLEY PLAZA FILING NO. 1 RECORDED IN PLAT BOOK A-4 AT PAGE 30 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER; THENCE ON THE EASTERLY LINE OF SAID LOT 2, N00°27'47"E A DISTANCE OF 256.76 FEET, TO THE NORTHEASTERLY CORNER; THENCE ON THE NORTHERLY LINE OF SAID LOT 2, N89°32'13"W A DISTANCE OF 414.58 FEET, TO A POINT ON THE EASTERLY LINE OF COOT PARCEL EA-20 PROJECT C R200-142 RECORDED UNDER RECEPTION NO. 218095258, SAID POINT BEING A POINT OF NON-TANGENT CURVE; THENCE ON SAID EASTERLY LINE, THE FOLLOWING COURSES:  
 1. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS S58°24'52"W, HAVING A RADIUS OF 470.00 FEET, A CENTRAL ANGLE OF 17°54'45" AND AN ARC LENGTH OF 148.94 FEET, TO A POINT OF REVERSE CURVE;  
 2. ON THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 1080.00 FEET, A CENTRAL ANGLE OF 21°47'10" AND AN ARC LENGTH OF 410.66 FEET, TO A POINT OF COMPOUND CURVE;  
 3. ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 600.00 FEET, A CENTRAL ANGLE OF 17°38'16" AND AN ARC LENGTH OF 184.70 FEET, TO A POINT OF NON-TANGENT;  
 4. N27°49'47"W A DISTANCE OF 104.02 FEET;  
 5. N03°44'19"E A DISTANCE OF 206.36 FEET, TO A POINT ON THE SOUTHERLY LINE OF POWERS POINT FILING NO. 5 RECORDED UNDER RECEPTION NO. 205094827;  
 THENCE ON SAID SOUTHERLY LINE AND THE SOUTHERLY LINE OF POWERS POINT FILING NO. 1 RECORDED UNDER RECEPTION NO. 97085192 AND O K SUBDIVISION RECORDED IN PLAT BOOK G-3 AT PAGE 42, SAID LINE BEING THE NORTHERLY LINE SHOWN ON THAT LAND SURVEY PLAT PREPARED BY OLIVER E. WATTS RECORDED UNDER RECEPTION NO. 212900123, N89°58'24"E A DISTANCE OF 1311.67 FEET, TO A POINT ON THE WESTERLY LINE OF CIMMARON INDUSTRIAL NO. 2 RECORDED IN PLAT BOOK V-2 AT PAGE 22;  
 THENCE ON SAID WESTERLY LINE AND THE WESTERLY LINE OF CIMMARON INDUSTRIAL NO. 1 RECORDED IN PLAT BOOK N-2 AT PAGE 6, S00°29'25"W A DISTANCE OF 1375.25 FEET, TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF GALLEY ROAD;  
 THENCE ON SAID NORTHERLY RIGHT-OF-WAY LINE, N89°42'00"W A DISTANCE OF 376.01 FEET, TO A POINT ON THE EASTERLY LINE OF THAT PROPERTY RECORDED IN BOOK 5913 AT PAGE 137;  
 THENCE ON SAID EASTERLY LINE AND THE EASTERLY LINE OF THAT PROPERTY RECORDED UNDER RECEPTION NO. 21538406, N00°27'47"E A DISTANCE OF 210.00 FEET;  
 THENCE ON THE NORTHERLY LINE OF SAID PROPERTY RECORDED UNDER RECEPTION NO. 215138406, N89°42'00"W A DISTANCE OF 68.61 FEET, TO THE POINT OF BEGINNING;  
 CONTAINING A CALCULATED AREA OF 1,255,877 SQUARE FEET OR 28.8310 ACRES.

### SITE DATA

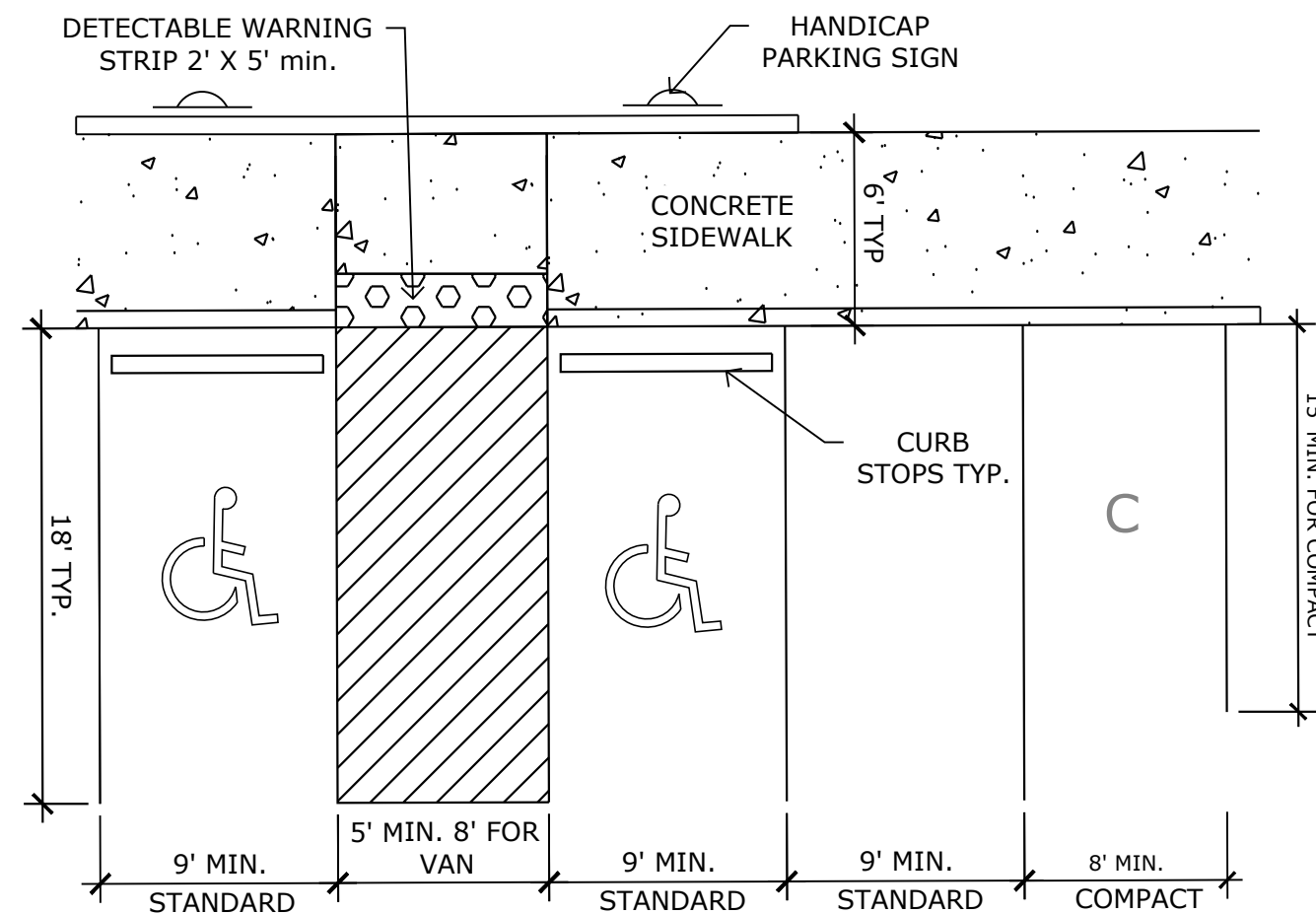
Owner:	Butler & Peetz LLC 6625 Delmonico Dr Colorado Springs, CO 80919
Developer:	Jackson Dearborn Partners 404 S. Wells Street, Suite 400 Chicago, IL 60607
Land Planner:	NES Inc. 619 N. Cascade Avenue, Suite 200 Colorado Springs, CO 80903
Engineer:	JR Engineering 5475 Tech Center Dr, Suite 235 Colorado Springs, CO 80919
Architect:	LCM Architects 619 S. Wabasha Ave, 5th Floor Chicago, IL 60605
Tax ID Number:	540720052
Current Zoning:	RM-12 C4D-O (Resolution No. 17-116)
Site Area:	28.82 Acres
Phase 1 Area:	21.26 Acres
Phase 2 Area:	7.57 Acres (Not part of this Site Development Plan)
Proposed Land Use:	Residential Multi-Dwelling (342 Units)
Phase 1:	234 Dwelling Units
Phase 2:	108 Dwelling Units (Not part of this Site Development Plan)
Proposed Density:	11.87 DU/AC
Minimum Lot Size:	3,500 sf
Lot Setbacks:	Front: 15' Side: 10' Rear: 20'
*There is a 125' setback to any structure from the North and East Zone District Boundaries	
Landscape Setbacks:	Paonia: 10' Setback
Maximum Lot Coverage:	70%
Maximum Building Height:	40'
Proposed Building Heights:	Residential Buildings: 40' Clubhouse: 33' Garages: 16'
Phase 1 Lot Coverage:	Lot 1: 609,772 SF - Building: 59,239 SF (9.8%) - Impervious: 135,937 SF (22.3%) - Landscape: 414,542 SF (67.9%)
Tract A (Future Phase 2):	325,995 SF
Tract B Detention:	206,247 SF
Paonia ROW:	113,863 SF
Utility Providers:	Water/Sewer: Cherokee Metro District Electric/Gas: Colorado Springs Utilities Fire: Cimarron Hills Fire Protection District

### BUILDING UNIT MIX

Building Type	1 Bedroom	2 Bedroom	3 Bedroom	Units Per Type	Total Units
Type 1	12	12	24	24	120
Type 2	12	24	24	24	96
Type 3	12	6	18	18	18
<b>Total Units</b>	<b>60</b>	<b>168</b>	<b>6</b>		<b>234</b>

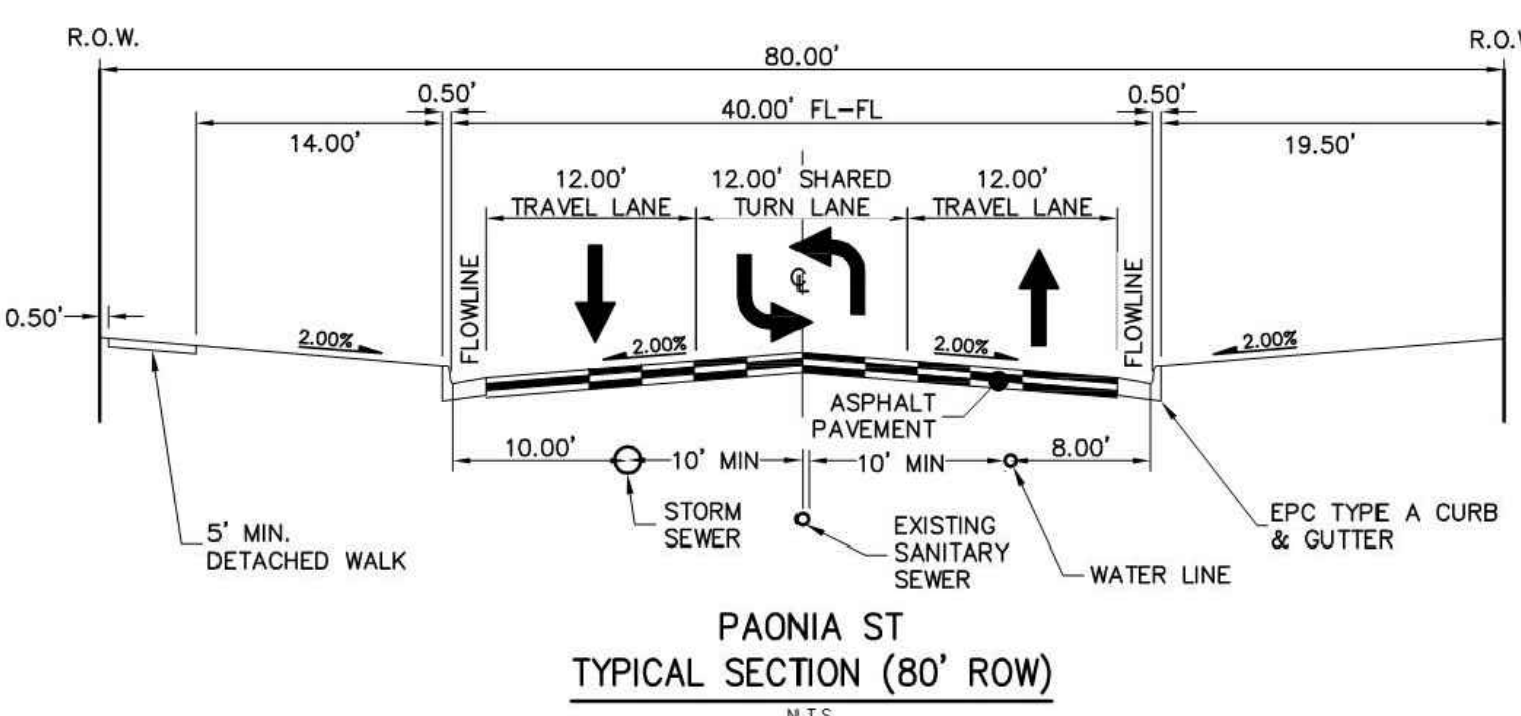
### Parking:

Formula:	6.2.5.D
Required:	466 (9 ADA Spaces)
Provided:	467 (12 ADA Spaces)
Garage Parking:	99 (2 ADA Spaces)
Compact Parking:	57
Standard Parking:	301
Standard ADA Parking:	8
ADA Van Parking:	2
Formula:	6.2.5.F
Required:	5% of 466 Spaces = 23.3
Provided:	48 Spaces (4 spaces per building provided in breezeways + 8 at clubhouse)



### ADA & STANDARD PARKING STALL LAYOUT

SCALE: NOT TO SCALE



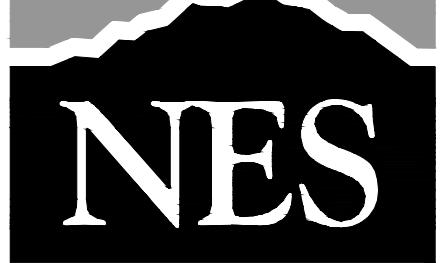
### URBAN NON RESIDENTIAL COLLECTOR

(PER APPROVED DEVIATION REQUEST DATED 6-30-2020 FILED UNDER SP201)

### SHEET INDEX

Sheet 1 of 28:	Cover
Sheet 2 of 28:	Site Development Plan North
Sheet 3 of 28:	Site Development Plan South
Sheet 4 of 28:	Site and Overall Utility Plan North
Sheet 5 of 28:	Site and Overall Utility Plan South
Sheet 6 of 28:	Landscape Plan
Sheet 7 of 28:	Landscape Plan
Sheet 8 of 28:	Landscape Plan
Sheet 9 of 28:	Landscape Details and Notes
Sheet 10 of 28:	Architectural Site Plan
Sheet 11 of 28:	Trash Enclosures
Sheet 12 of 28:	Garage Plans and Elevations
Sheet 13 of 28:	Concept Images
Sheet 14 of 28:	Concept Images
Sheet 15 of 28:	Site Lighting Plan
Sheet 16 of 28:	Photometric Plan
Sheet 17 of 28:	Type 1 Level 1 Floor Plan
Sheet 18 of 28:	Type 1 Level 2 & 3 Floor Plan
Sheet 19 of 28:	Type 2 Level 1 Floor Plan
Sheet 20 of 28:	Type 2 Level 2 & 3 Floor Plan
Sheet 21 of 28:	Type 3 Level 1 Floor Plan
Sheet 22 of 28:	Type 3 Level 2 & 3 Floor Plan
Sheet 23 of 28:	Type 1 Building Exterior Finishes
Sheet 24 of 28:	Type 2 Building Exterior Finishes
Sheet 25 of 28:	Type 3 Building Exterior Finishes
Sheet 26 of 28:	Clubhouse Floor Plan
Sheet 27 of 28:	Clubhouse Overall Elevations
Sheet 28 of 28:	Clubhouse Overall Elevations

Land Planning  
Landscape  
Architecture  
Urban Design



N.E.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903

Tel. 719.471.0073  
Fax 719.471.0267

www.nescolorado.com

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PLANNING / LANDSCAPE ARCHITECT

AN ASSOCIATION WITH:

PROJECT INFO:

SHEET

SHEET INFO

SHEET NUMBER

SHEET TITLE

PLANTING

PLANTING

PLANTING

### SOLACE OF COLORADO SPRINGS

### SITE DEVELOPMENT PLAN

EL PASO COUNTY, CO

DATE: 12-15-2020  
PROJECT MGR: T. BAXTER  
PREPARED BY: B. SWENSON

### ENTITLEMENT

DATE:	BY:	DESCRIPTION:

### COVER

# 1

1 OF 28

P:\Jackson Dearborn Partners\12115\2020\_4-19-18 PH - brownson

The Letter of Intent indicates that no floodplain development permit will be requested for this project. Please revise.

Please provide a detail for the bicycle racks.

The letter of intent also indicates that it is subject to the FEMA CLOMR/LOMR process. Revise the note and/or the letter of intent accordingly so that they are consistent and correct.

Please add number of buildings per unit type.

Please label Ainsworth Street as shown on plat

ZONE: CC CAD-O  
USE: WAREHOUSE/STORAGE

ZONE: I-2 CAD-O  
USE: WAREHOUSE/STORAGE

GENERAL COMMENT:  
Please add ADA route throughout site - from ADA spaces to each building.

Please specify El Paso County SD 2-40. Alternatively a note may be added to the plans that the indicated details are per El Paso County standard details.

If ADA space, please add striped ped. pathway.

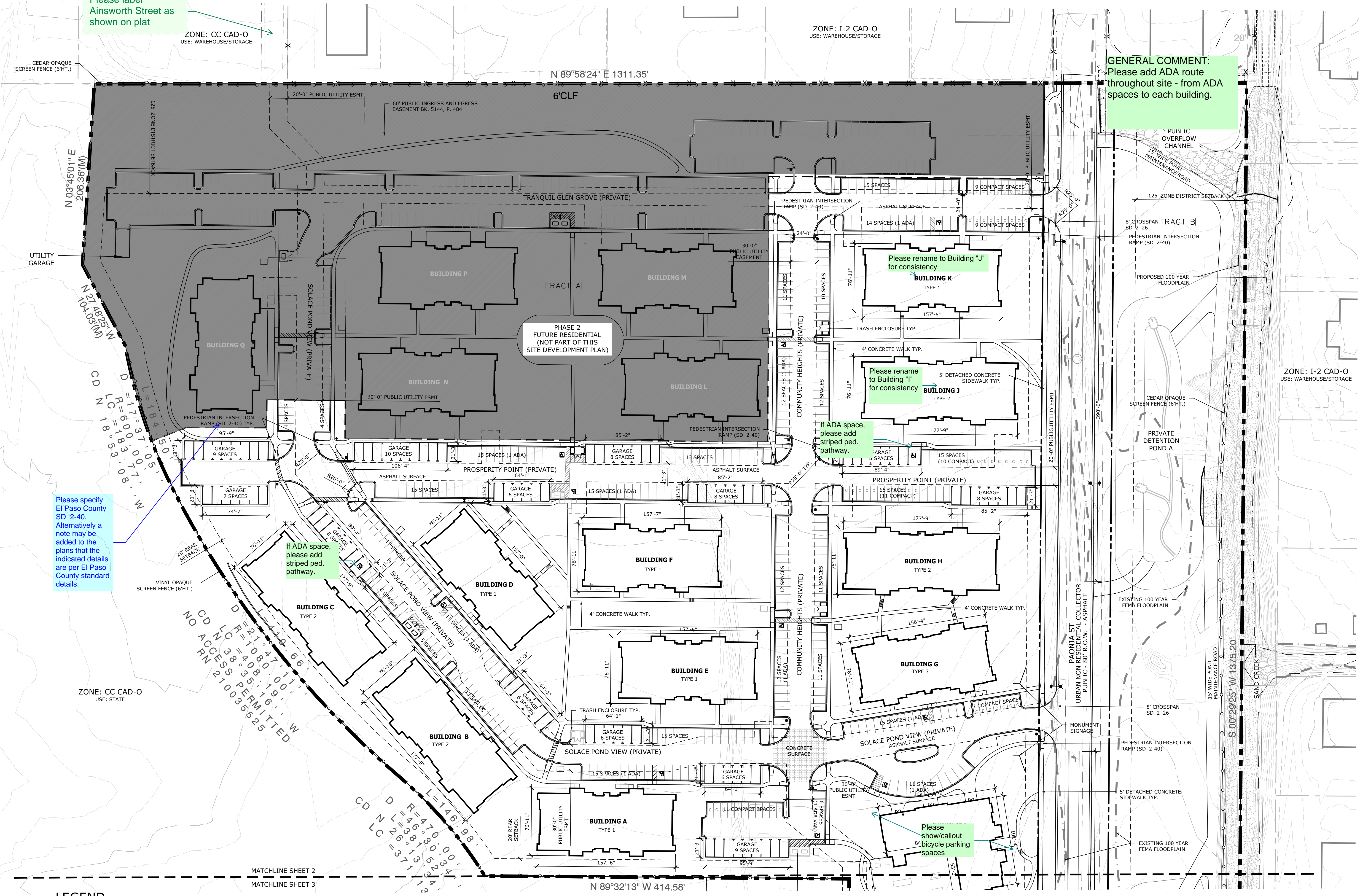
If ADA space, please add striped ped. pathway.

Please rename to Building "J" for consistency

Please rename to Building "I" for consistency

Please show/callout bicycle parking spaces

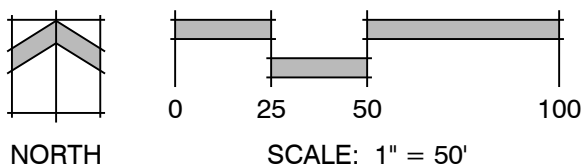
PHASE 2  
FUTURE RESIDENTIAL  
(NOT PART OF THIS  
SITE DEVELOPMENT PLAN)



LEGEND

- 100 YEAR FLOODPLAIN FRINGE AREA
- - - PHASE LINE
- PROPERTY BOUNDARY
- SETBACKS
- ADJACENT PROPERTY LINES

MATCHLINE SHEET 2  
MATCHLINE SHEET 3



Land Planning  
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SOLACE OF  
COLORADO SPRINGS

SITE DEVELOPMENT  
PLAN  
EL PASO COUNTY, CO

DATE: 12-15-2020  
PROJECT MGR: T. BAXTER  
PREPARED BY: B. SWENSON

ENTITLEMENT

DATE	BY	DESCRIPTION

LOT 1 SITE PLAN  
NORTH

2  
2 OF 28

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PLANNING / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

SOLACE OF COLORADO SPRINGS  
SITE DEVELOPMENT PLAN  
EL PASO COUNTY, CO

PROJECT INFO  
DATE: 12-15-2020  
PROJECT MGR: T. BAXTER  
PREPARED BY: B. SWENSON

SEAL

ENTITLEMENT

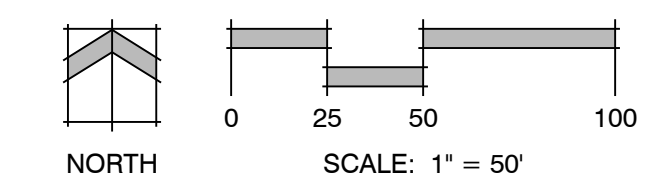
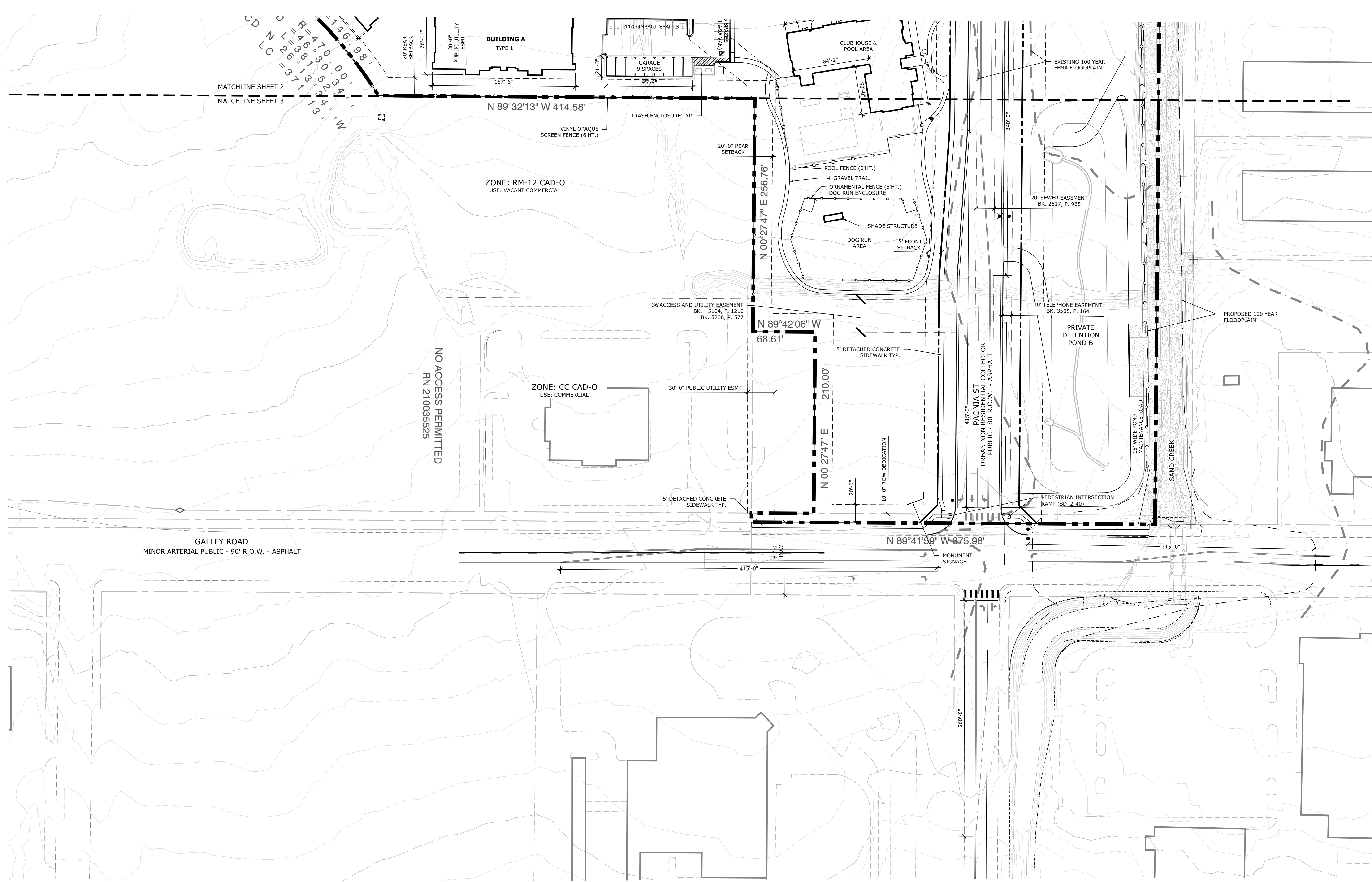
DATE	BY	DESCRIPTION

LOT 1 SITE PLAN SOUTH

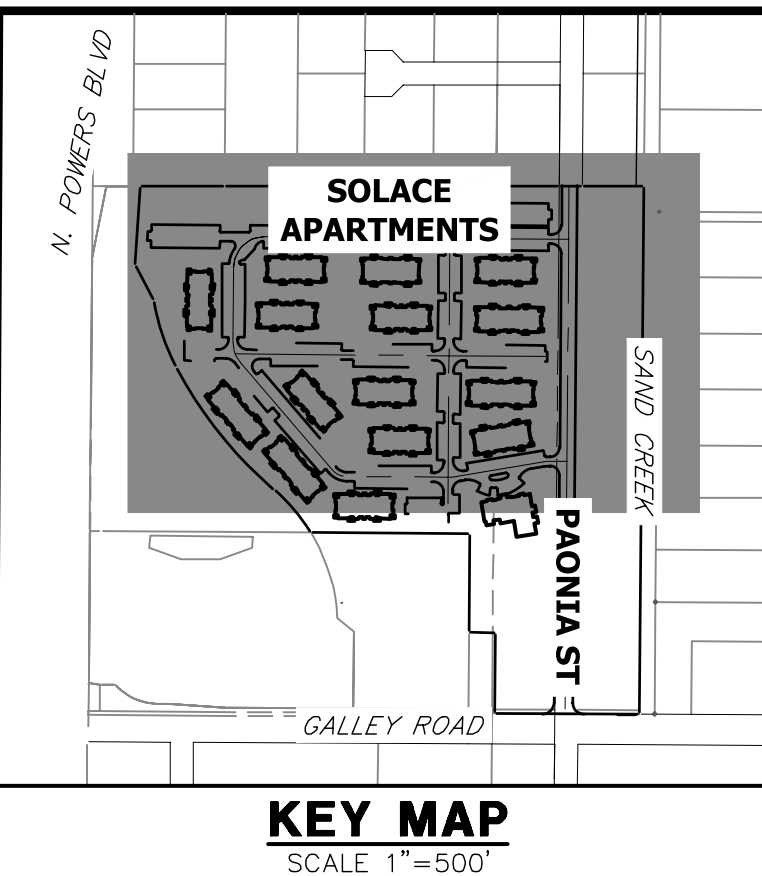
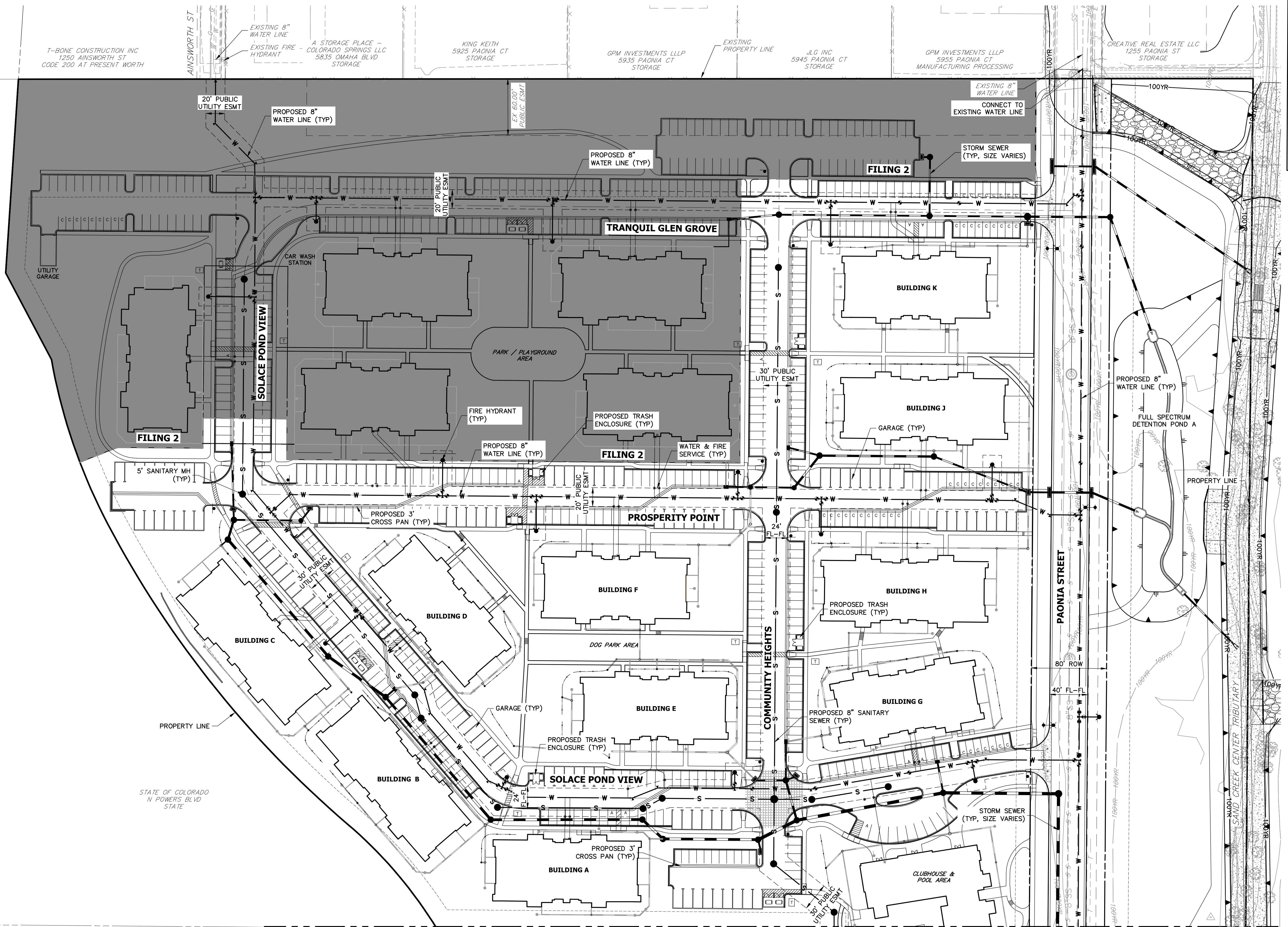
3

3 OF 28

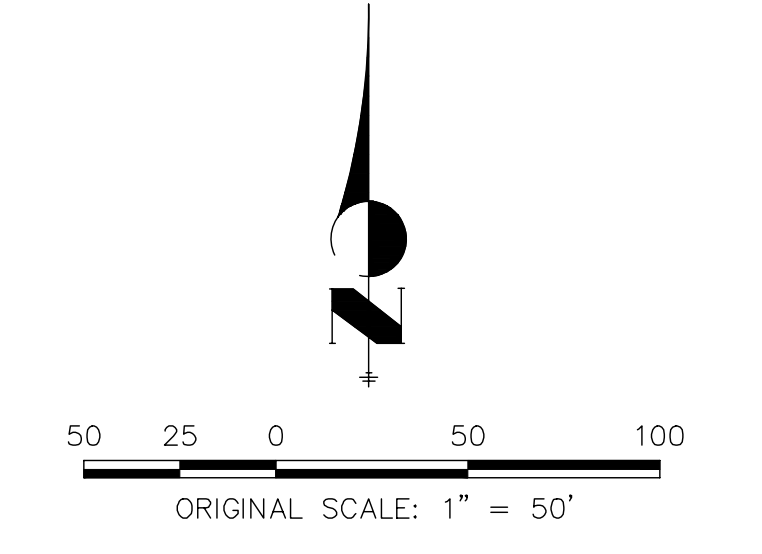
SHEET NUMBER



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**KEY MAP**  
SCALE 1"=500'



NO.	REVISION	BY	DATE

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1"=50'	N/A	11/20/20	JRM	JRM	

PREPARED FOR	APPROVED BY
JACKSON DEARBORN PARTNERS 404 S. WELLS ST. SUITE 400 CHICAGO, ILL. 60607 OFFICE PHONE (734) 216-2577	

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE AS DESIGNATED BY WRITTEN AUTHORIZATION.

**J.R. ENGINEERING**  
A Westlin Company  
Central 303-740-9383 • Colorado Springs 719-583-2593  
Fort Collins 970-491-9888 • www.jrengineering.com

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1"=50'	N/A	11/20/20	JRM	JRM	

**SOLACE APARTMENTS - FILING NO. 1**  
**SITE AND OVERALL UTILITY PLAN**

SHEET 4 OF 28  
JOB NO. 25174.00

**ENGINEER'S STATEMENT**  
PREPARED UNDER MY SUPERVISION  
32314  
MIKE A. BRAMLETT, P.E.  
COLORADO P.E. 32314  
FOR AND ON BEHALF OF JR ENGINEERING



SEE SHEET 4

T-BONE CONSTRUCTION INC  
1250 AINSWORTH ST  
CODE 200 AT PRESENT WORTH

EXISTING 8" WATER LINE  
EXISTING FIRE HYDRANT  
A STORAGE PLACE - COLORADO SPRINGS LLC  
5835 OMAHA BLVD  
STORAGE

KING KEITH  
5925 PAONIA CT  
STORAGE

GPM INVESTMENTS LLLP  
5935 PAONIA CT  
STORAGE

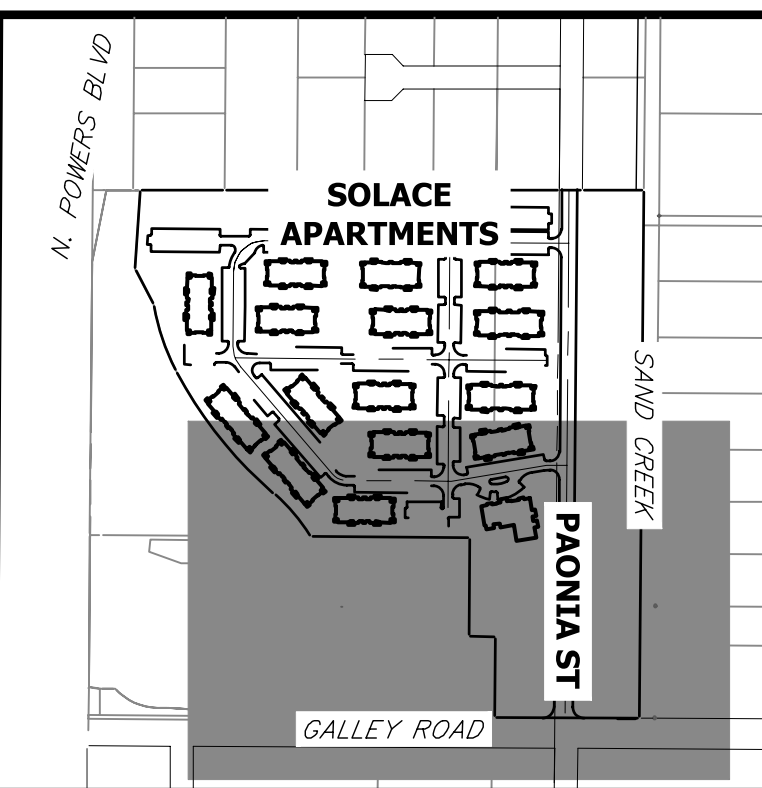
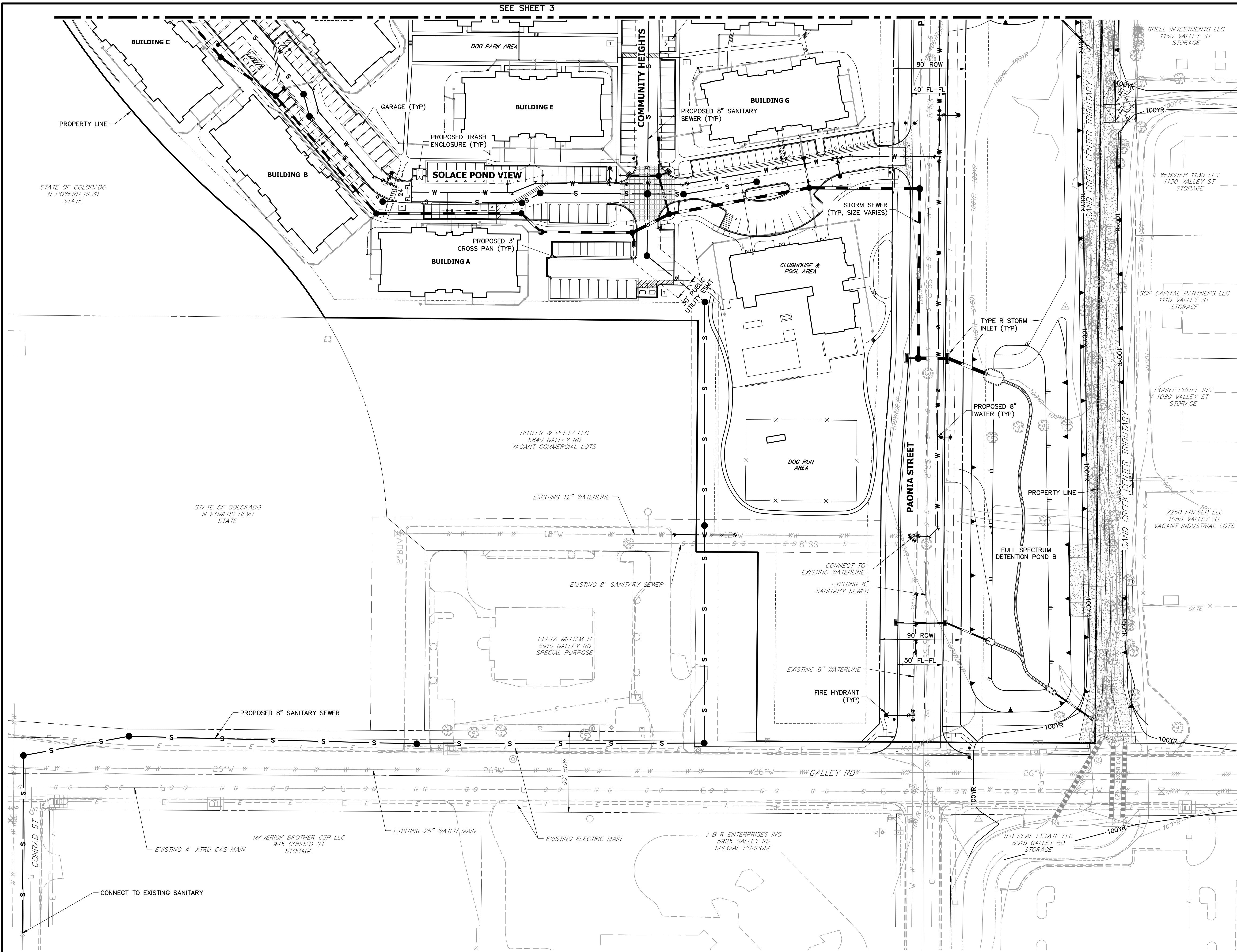
JLG INC  
5945 PAONIA CT  
STORAGE

GPM INVESTMENTS LLLP  
5955 PAONIA CT  
MANUFACTURING PROCESSING

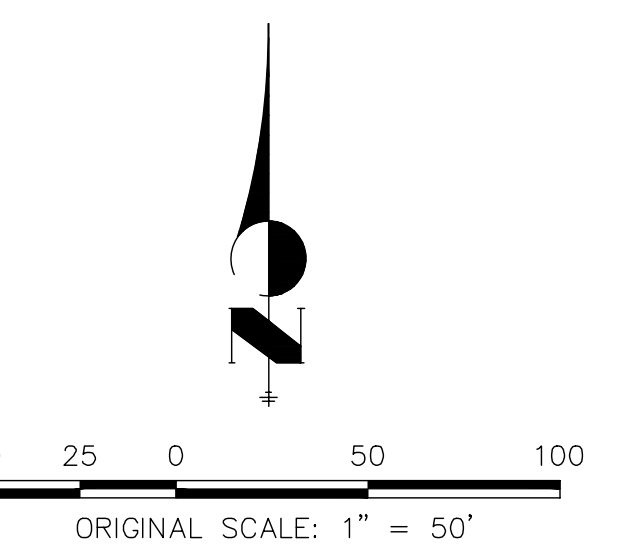
CREATIVE REAL ESTATE LLC  
1255 PAONIA ST  
STORAGE

STATE OF COLORADO  
N POWERS BLVD  
STATE

SEE SHEET 3



KEY MAP  
SCALE 1"=500'

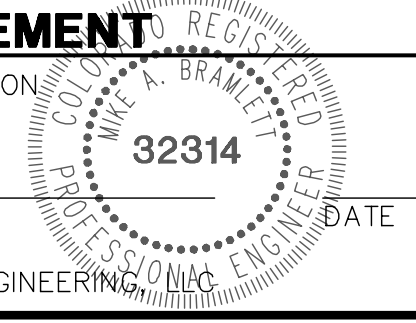


Know what's below.  
Call before you dig.

**ENGINEER'S STATEMENT**

PREPARED UNDER MY SUPERVISION

MIKE A. BRAMLETT, P.E.  
COLORADO P.E. 32314  
FOR AND ON BEHALF OF JR ENGINEERING



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE AGENCIES, JR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**JACKSON DEARBORN PARTNERS**  
404 S. WELLS ST.  
SUITE 400  
CHICAGO, ILL 60607  
OFFICE PHONE (734) 216-2577

**J.R. ENGINEERING**  
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Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	No.	REVISION

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1"=50'	N/A	11/20/20	JRM	JRM	

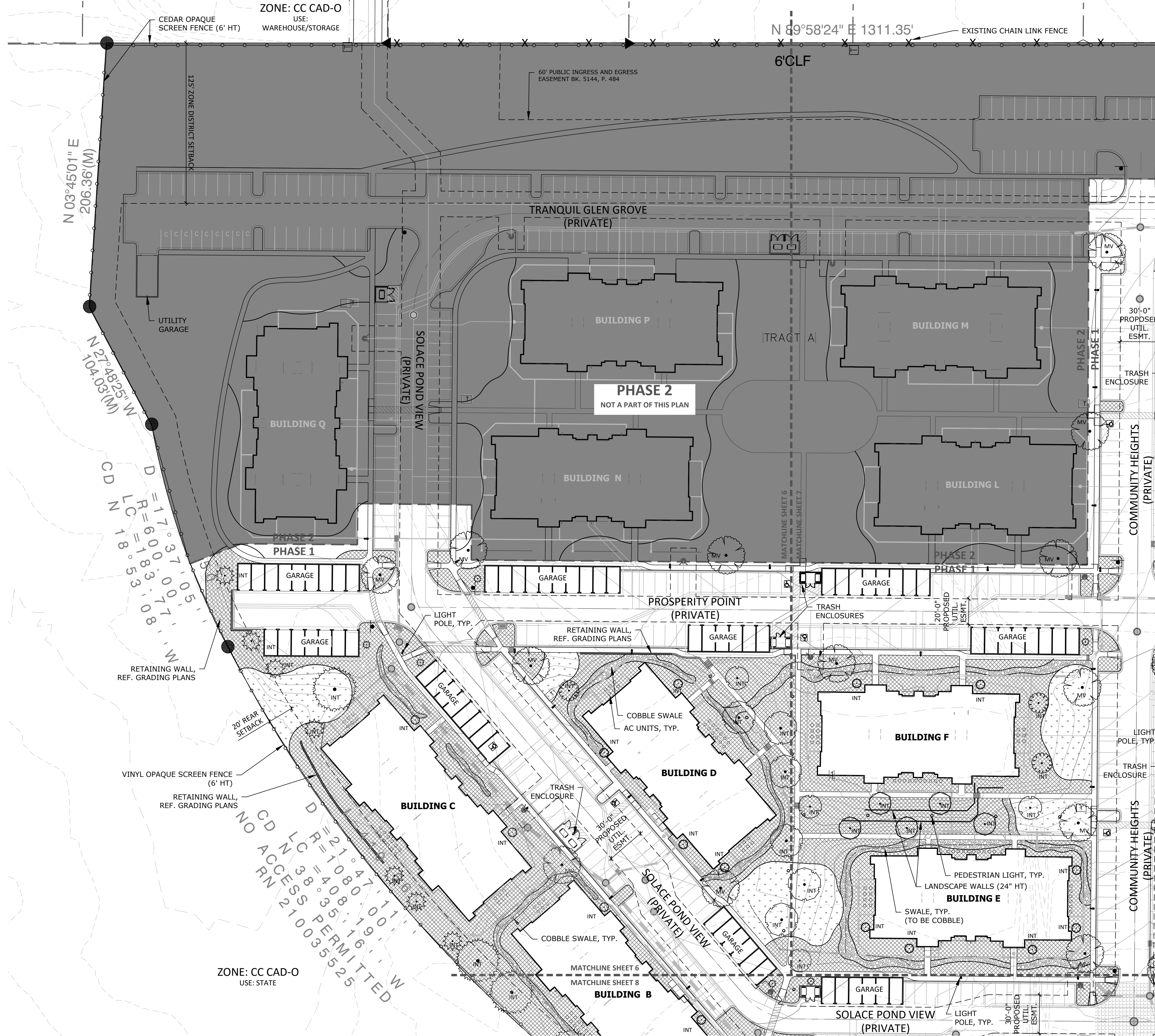
SOLACE APARTMENTS - FILING NO. 1		SHEET 5 OF 28
SITE AND OVERALL UTILITY PLAN		
JOB NO.	25174.00	

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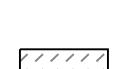



# SOLACE OF COLORADO SPRINGS

## PHASE 1 - SITE DEVELOPMENT PLAN

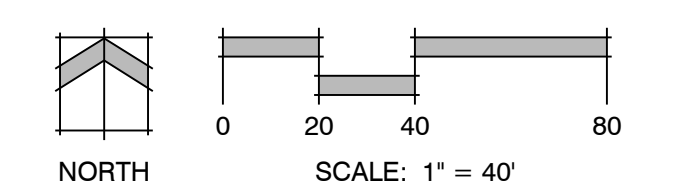
THAT PORTION OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,  
COUNTY OF EL PASO, STATE OF COLORADO.




### GROUND COVER LEGEND

-  **BLUEGRASS SOD**  
Fescue - Buffalo grass Blend
-  **ALTERNATIVE TURF SEED MIX**  
Low Maintenance Tall Fescue Mix
-  **NATIVE SEED MIX**  
Foothills Wheatgrass Mix with Annual Ryegrass
-  **DETENTION SEED MIX**  
Native Wetland species mix
-  **SHRUB BED**  
3/4 - 1/2" Rock Mulch or Wood Mulch  
25% Live Plant Coverage
-  **ROCK COBBLE**  
2-6" River Rock Cobble
-  **DOC BASE**  
Road base/Breeze on Pea Gravel substrate

SEE SHEET 9 FOR PLANT SCHEDULE AND LANDSCAPE NOTES



Land Planning  
Landscape Architecture  
Urban Design



N.E.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903  
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Fax 719.471.0267  
www.nescolorado.com  
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### SOLACE OF COLORADO SPRINGS

#### SITE DEVELOPMENT PLAN

EL PASO COUNTY, CO

DATE: 12-15-2020  
PROJECT MGR: T. BAXTER  
PREPARED BY: K. MARSHALL

### ENTITLEMENT

DATE	BY	DESCRIPTION

### LANDSCAPE PLAN

6

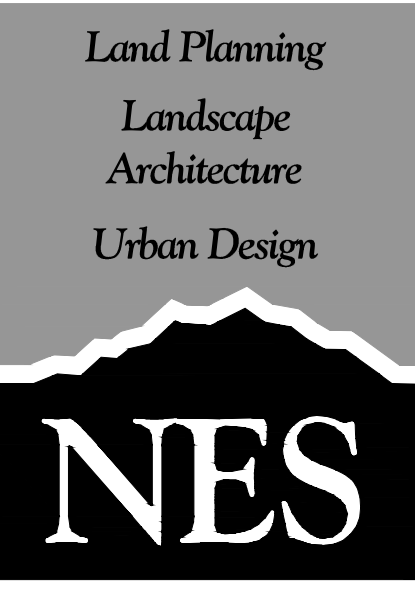
6 OF 28

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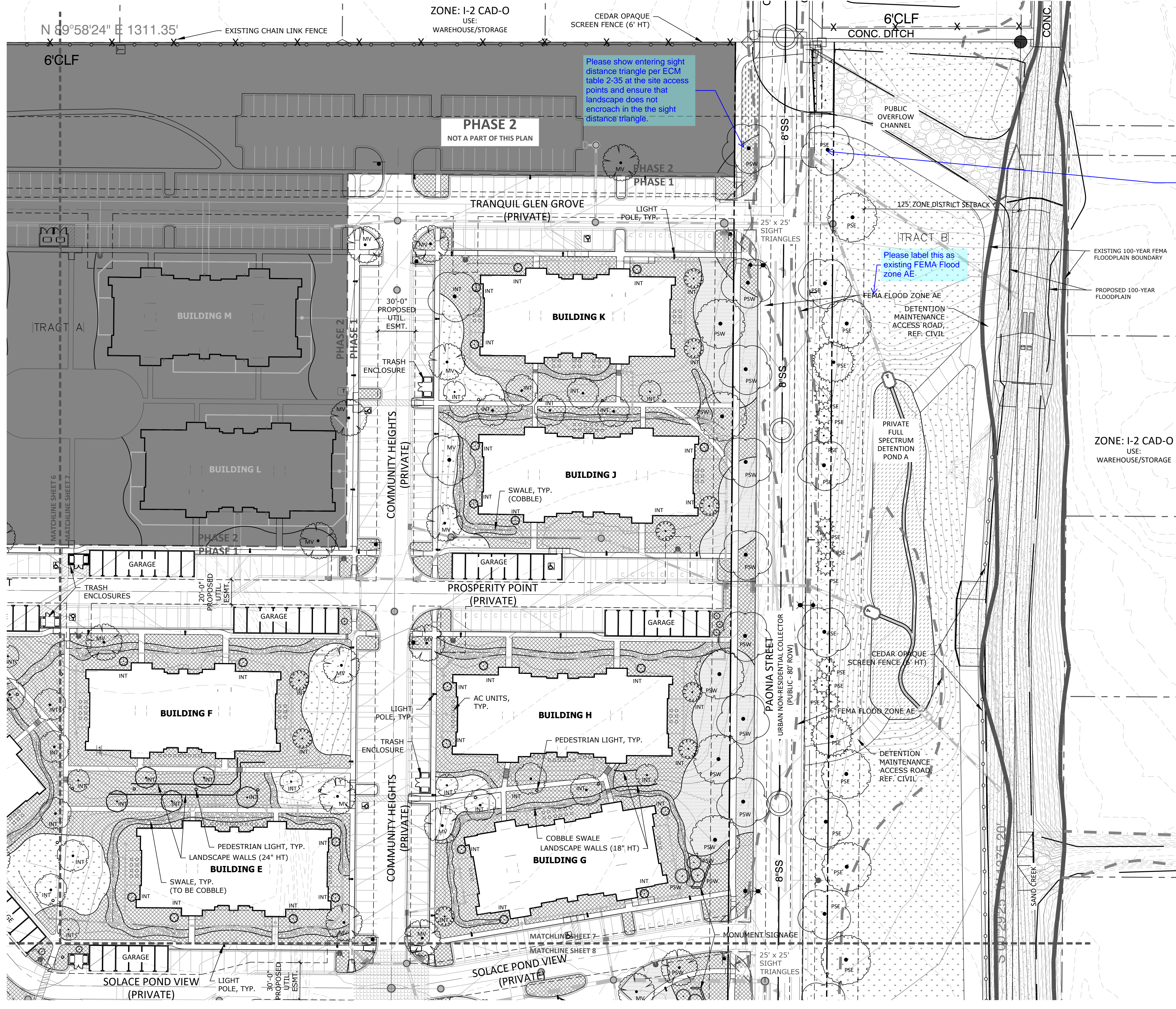
# SOLACE OF COLORADO SPRINGS

## PHASE 1 - SITE DEVELOPMENT PLAN

THAT PORTION OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,  
COUNTY OF EL PASO, STATE OF COLORADO.



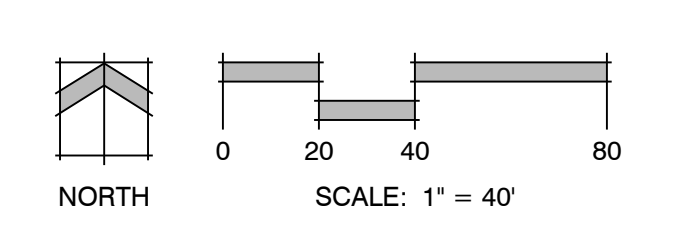
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Colorado Springs, CO 80903  
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SOLACE OF COLORADO SPRINGS  
SITE DEVELOPMENT PLAN  
EL PASO COUNTY, CO

DATE: 12-15-2020  
PROJECT MGR: T. BAXTER  
PREPARED BY: K. MARSHALL

### ENTITLEMENT

DATE	BY	DESCRIPTION

### LANDSCAPE PLAN

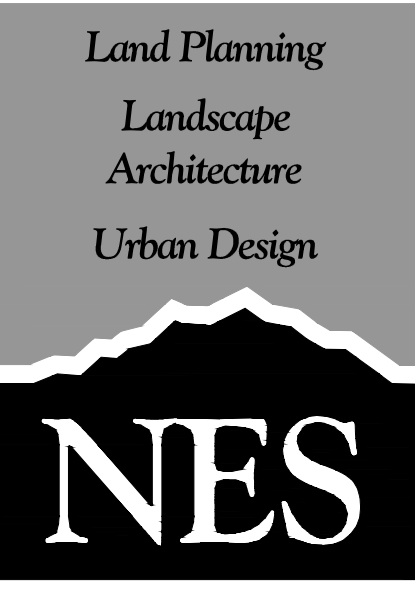
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7 OF 28  
SP-20-001

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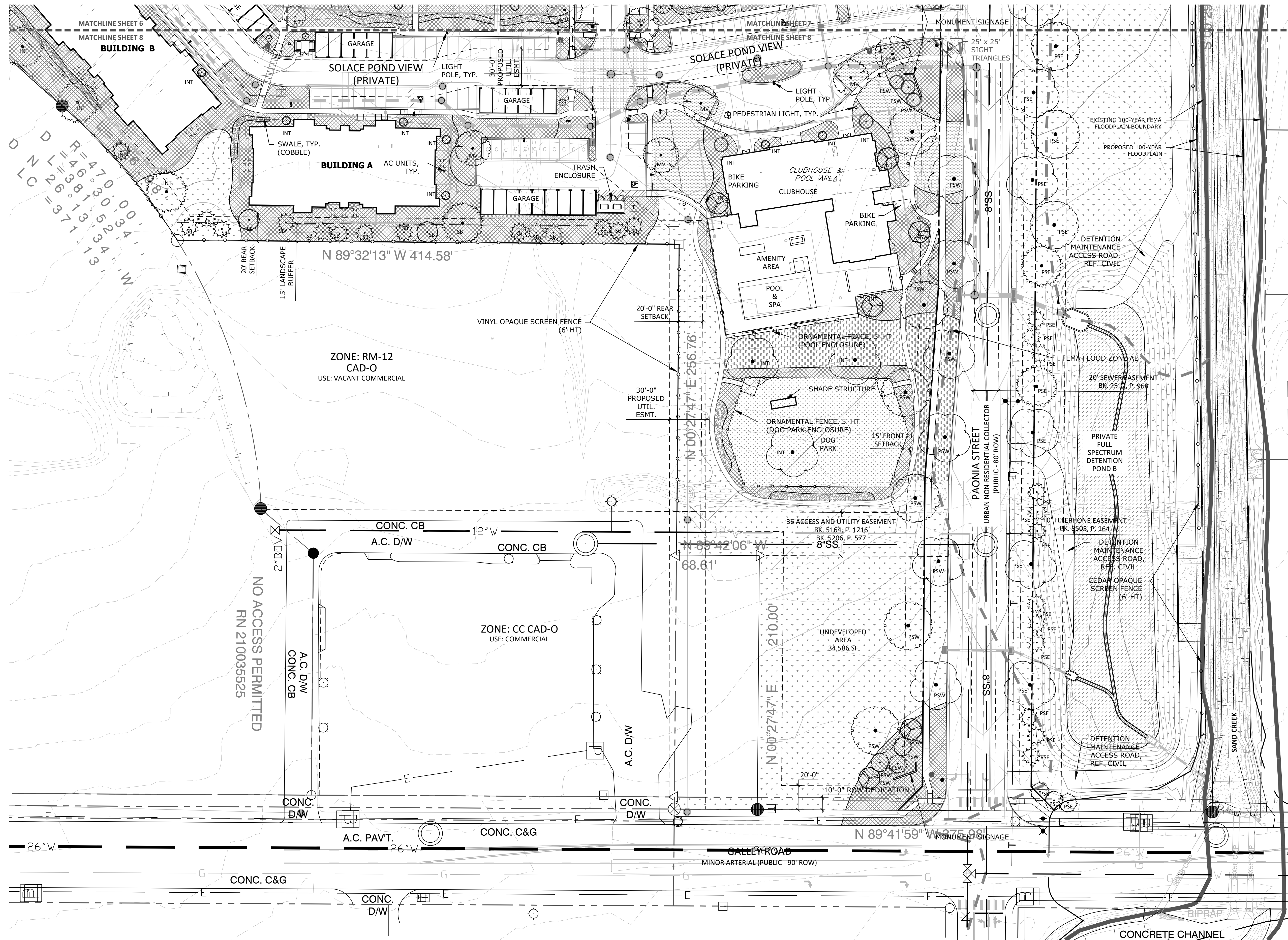
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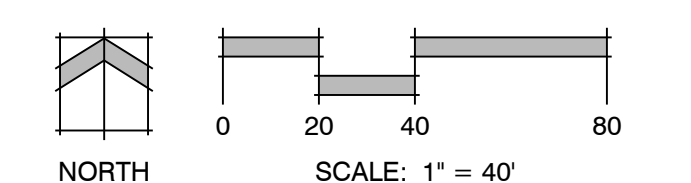
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SITE DEVELOPMENT PLAN  
EL PASO COUNTY, CO

DATE: 12-15-2020  
PROJECT MGR: T. BAXTER  
PREPARED BY: K. MARSHALL

### ENTITLEMENT

DATE	BY	DESCRIPTION

### LANDSCAPE PLAN

8 OF 28

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# SOLACE OF COLORADO SPRINGS

## PHASE 1 - SITE DEVELOPMENT PLAN

THAT PORTION OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,  
COUNTY OF EL PASO, STATE OF COLORADO.

### LANDSCAPE NOTES

- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 6" OF SOIL.
- FOR BERMING AND GRADES REFER TO GRADING PLAN SHEETS. RETAINING WALLS OVER 32" HEIGHTS TO BE SPECIFIED BY CIVIL ENGINEER.
- SOIL AMENDMENT - INCORPORATE 3 CUBIC YARDS/1000 SF AREA OF "PREMIUM 3 ORGANIC COMPOST", OR APPROVED EQUAL, ON BLUEGRASS TURF AREAS. INCORPORATE 2 CUBIC YARDS/1000 SF AREA OF ORGANIC COMPOST (DECOMPOSED MANURE) TO ALL NATIVE SEED AREAS. TILL INTO TOP 8" OF SOIL. FOR PLANTING PIT AMENDMENTS, SEE LANDSCAPE DETAILS. FERTILIZER REQUIREMENTS ARE TO BE BASED ON SOIL ANALYSIS.
 

NITROGEN	0 LBS/1000SF
PHOSPHORUS (P2O5)	0 LBS/1000SF
POTASSIUM (K2O)	0 LBS/1000SF
SULFUR (SO4-S)	0 LBS/1000SF
LIME	0 LBS/1000SF

-OR-  
RECOMMENDED SOIL AMENDMENT:  
TRI-MIX III as supplied by C&C Sand  
-To be applied as backfill in planting pits
- CONTRACTOR TO APPLY EROSION CONTROL BLANKET TO ALL SEED AREAS WITH GREATER THAN 3:1 SLOPES.
- FOR ALL SEED AREAS REFER TO SEED MIXES SHOWN IN GROUND COVER LEGEND. FINAL MIX SELECTIONS TO BE APPROVED BY LANDSCAPE ARCHITECT.
- ALL NATIVE SEED AREAS SHALL HAVE A TEMPORARY ABOVE-GROUND SPRAY IRRIGATION SYSTEM UTILIZED UNTIL SEED IS ESTABLISHED, AND ALL TREES AND SHRUBS WITHIN NATIVE SEED AREAS SHALL HAVE A PERMANENT DRIP IRRIGATION SYSTEM.
- A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTINGS, AND SPRAY ALL TALL FESCUE SOD AND LOW ALTERNATIVE TURF AREAS. AN IRRIGATION PLAN WILL BE PREPARED AT A LATER DATE AND WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, RATES FOR NEWLY INSTALLED PLANTS VS. ESTABLISHED PLANTS, AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS.
- SOD TO BE TALL FESCUE/BUFFALO GRASS BLEND.
- NO SOD SHALL BE PLANTED ON SLOPES IN EXCESS OF 5:1 GRADIENT.
- NO TREES AND NO PLANTS OVER 2 FEET TALL SHALL BE INSTALLED WITHIN 5 FEET OF ANY FIRE HYDRANTS.
- ALL PLANTS TO RECEIVE 3 INCH DEPTH OF GORILLA HAIR SHREDDED CEDAR WOOD MULCH UNLESS OTHERWISE SPECIFIED. FOLLOW PLANTING DETAILS FOR MULCH RING DIMENSIONS WITHIN ROCK, SOD, OR SEED AREAS.
- COBBLE: 2-4" ARKANSAS TAN, AT 3-4" DEPTH. INSTALL GEOTEXTILE FABRIC UNDER ALL COBBLE AREAS. COBBLE TO BE INSTALLED AT THE BOTTOM OF ALL SWALES AS INDICATED ON THE PLAN.
- ROCK: 3/4" CIMARRON GRANITE, AT 3-4" DEPTH. INSTALL GEOTEXTILE FABRIC UNDER ALL ROCK AREAS.
- A MINIMUM 24" WIDE BAND OF INORGANIC MATERIAL (NOT TO BE WOOD MULCH) TO BE MAINTAINED AROUND BASE OF ALL BUILDING FOUNDATIONS.
- ALL SHRUB BEDS TO BE ENCLOSED BY SOLID STEEL EDGING, AS A SEPARATOR FROM SOD, SEED, AND ALTERNATIVE TURF. SEPARATION BETWEEN SOD AND SEED, AND BETWEEN ALTERNATIVE TURF AND SEED SHALL BE A MOWED STRIP, WITHOUT STEEL EDGING.
- ALL TREES TO BE STAKED FOR A MINIMUM OF 18 MONTHS. REMOVE STAKING MATERIALS ONCE TREE IS ESTABLISHED, WHICH MAY DEPEND ON TREE SPECIES, MATURITY AND SITE CONDITIONS.
- EVERGREEN SHRUBS WILL BE PROVIDED AS SCREENING OF AC UNITS INSTALLED AT THE FOUNDATIONS OF BUILDINGS.
- ALL PLANTS NOT LABELED AS FULFILLING A COUNTY LANDSCAPE REQUIREMENT ARE "EXTRA" PER COUNTY STANDARDS, AND WILL BE INSTALLED AT THE OWNER'S DISCRETION.
- INTERNAL TREE REQUIREMENTS WILL BE SATISFIED WITH SHRUB SUBSTITUTES AS INDICATED IN THE LANDSCAPE REQUIREMENT TABLE. SHRUBS AND GRASSES COUNTING TOWARD REQUIREMENTS ARE TO BE SPECIES FROM APPENDIX B OF THE EL PASO COUNTY LANDSCAPE AND WATER CONSERVATION MANUAL. INSTALLED SHRUBS ARE TO BE A MINIMUM SIZE OF #5 CONTAINER.
- INSTALLATION OF PLANT MATERIAL SHALL BE PHASED IN UP TO 4 PHASES AS DETERMINED BY A LANDSCAPE FINANCIAL ASSURANCE PHASING PLAN TO BE APPROVED PRIOR TO RELEASE OF THE FIRST CERTIFICATE OF OCCUPANCY.
- ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR COUNTY APPROVAL OF AN AMENDED SITE DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THESE PLANS ARE FOR COUNTY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.

### LANDSCAPE REQUIREMENTS

#### Roadway Setbacks

See Code Section 6.2.2.B.1

Street Name or Zone Boundary	Street Classification	Width (in Ft.) Reg./Prov.	Linear Footage	Tree/Feet Required
Paonia Street - West	NON-ARTERIAL	10' / 20'	1354'	1 / 30'
Paonia Street - East	NON-ARTERIAL	10' / 10'	1354'	1 / 30'

No. of Trees Reg./Prov.	Shrub Substitutes Required / Provided	Setback Plant Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Provided
46 / 38	80 / TBD	PSE	75% / 75%
46 / 46	x / x	PSW	75% / 75%

#### Internal Landscaping

See Code Section 6.2.2.E

Net Site Area (SF)	Percent Minimum Internal Area (%)	Internal Area (SF) Required / Provided
565,154 S.F. *	15%	84,773 / 286,736 (West of Paonia Street)

Internal Trees (1/500 SF) Required / Provided	Shrub Substitutes Required / Provided	Internal Plant Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
169 / 96	730 / (548 TBD)**	INT	75% / (50% TBD**)

#### Motor Vehicle Lots

See Code Section 6.2.2.C.1

No. of Vehicles Spaces Provided	Shade Trees (1/15 spaces) Required / Provided	Plant Abbr. on Plan
368	25 / 25	MV

#### Landscape Buffer & Screens

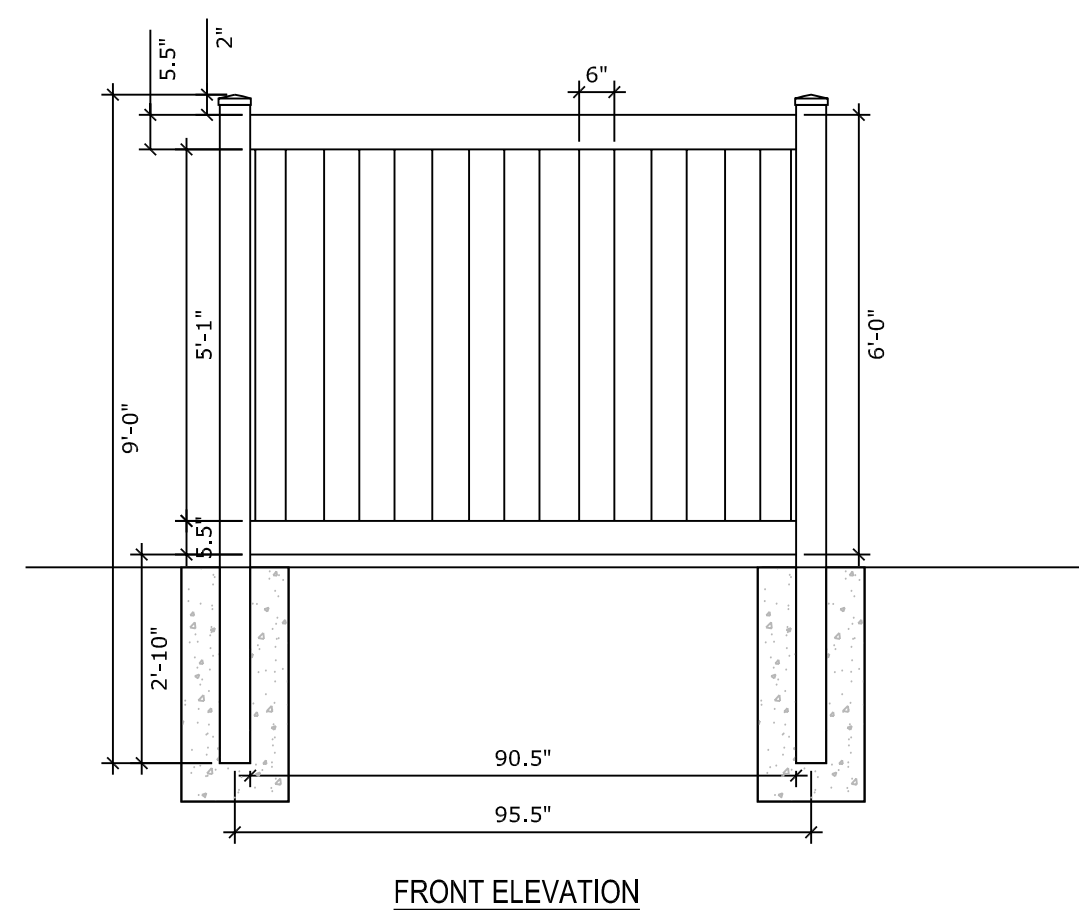
See Code Section 6.2.2.D.1

Street Name or Property Line	Width (in Ft.) Reg. / Prov.	Linear Footage	Buffer Trees (1/25') Required / Provided	Evergreen Trees Reg. (33%) / Prov.
Southwest (Commercial)	15' / 15'	414'	17 / 17	6 / 15

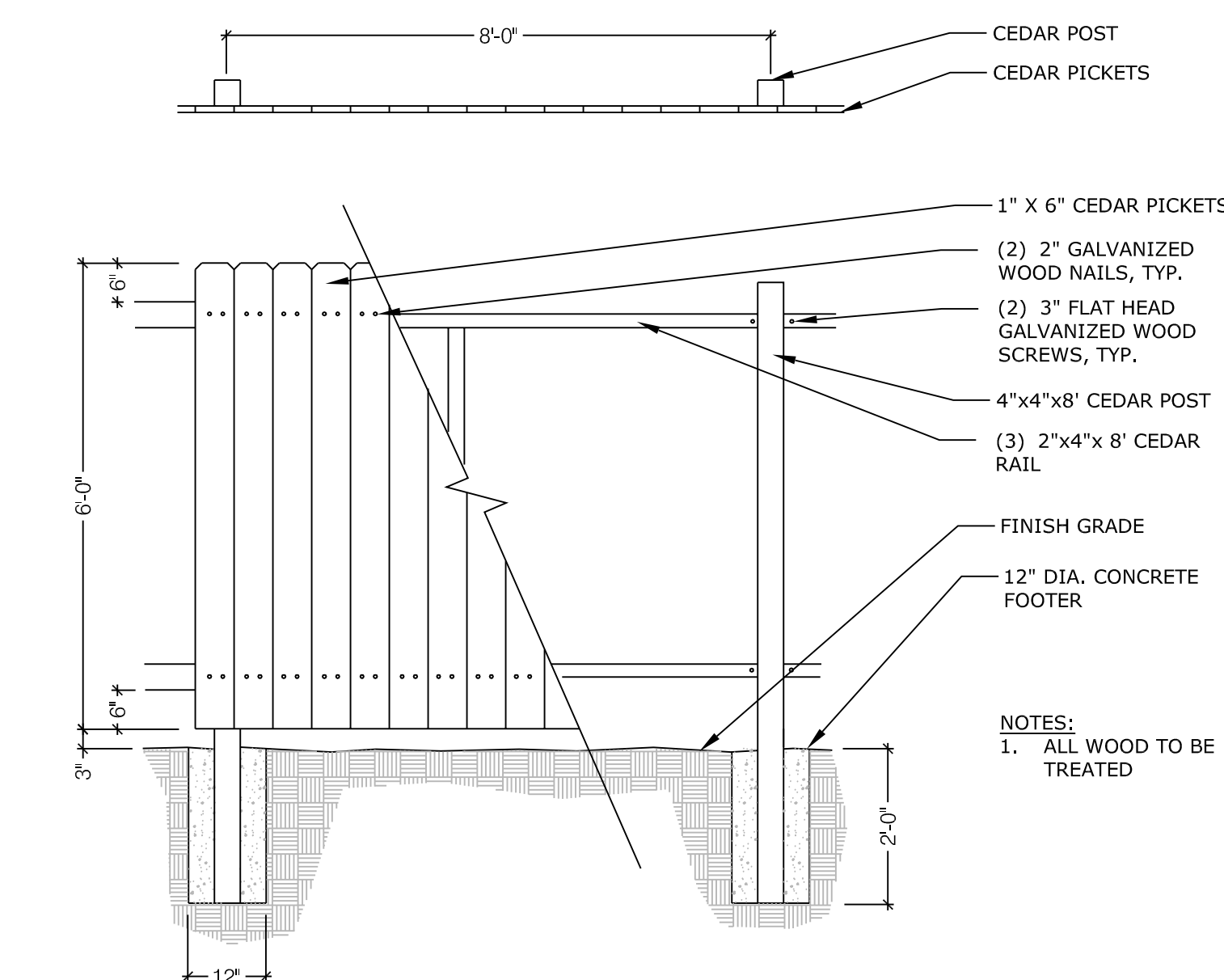
  

6' Opaque Structure exterior boundary	Buffer Tree Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
	SB	75% / 75%

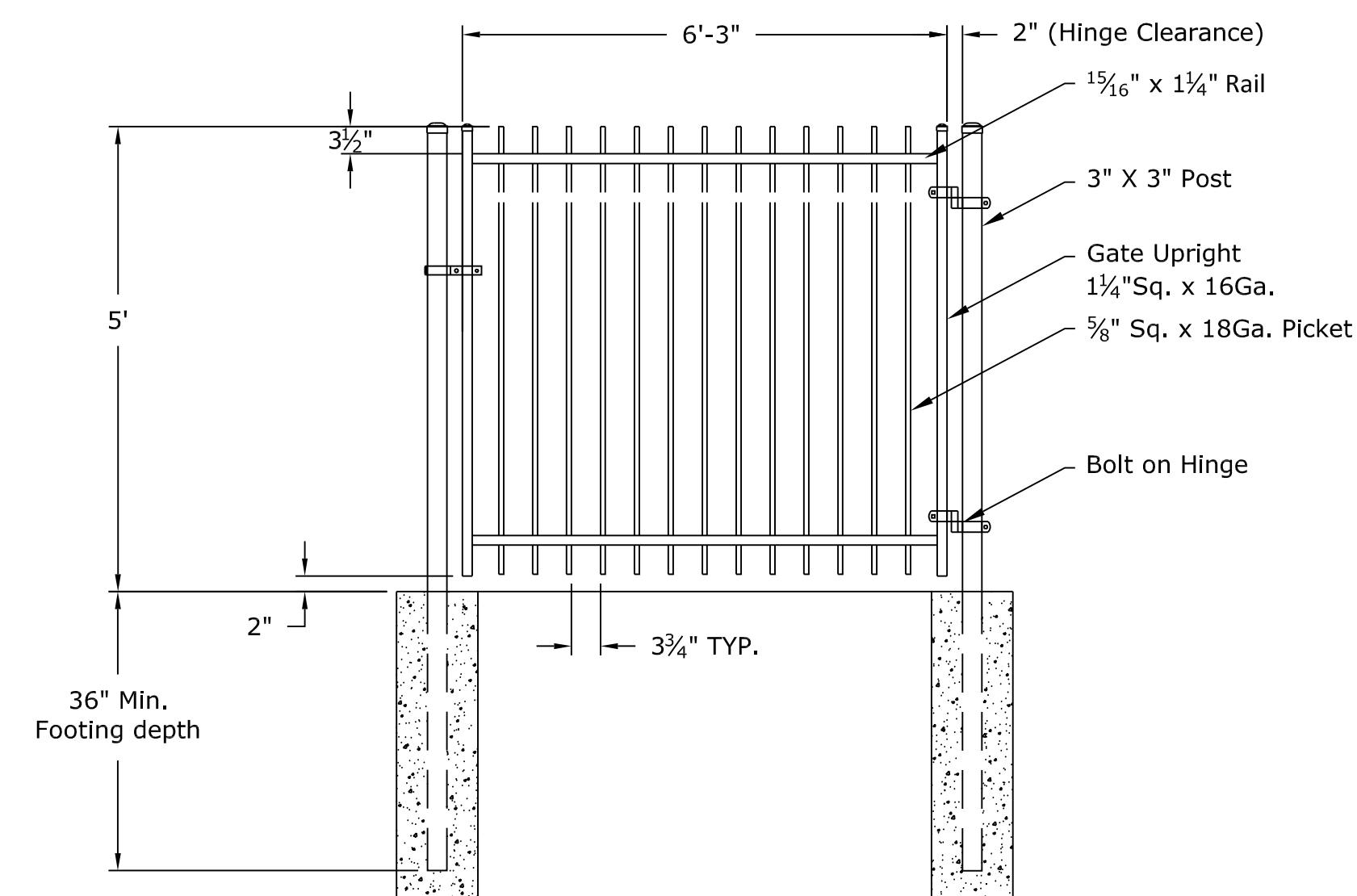
\* Internal Landscaping Requirement only applied to Multifamily component of the development (Property on west side of Paonia - Excludes ROW dedication and area labeled 'UnDeveloped Area')  
\*\* Relief of 25% requested.



1 6' VINYL FENCE  
N.T.S.



2 6' OPAQUE CEDAR FENCE W/ WOOD POSTS  
1/2" = 1'-0"



3 5' HT. ORNAMENTAL METAL FENCE  
NTS

### GROUND COVER LEGEND

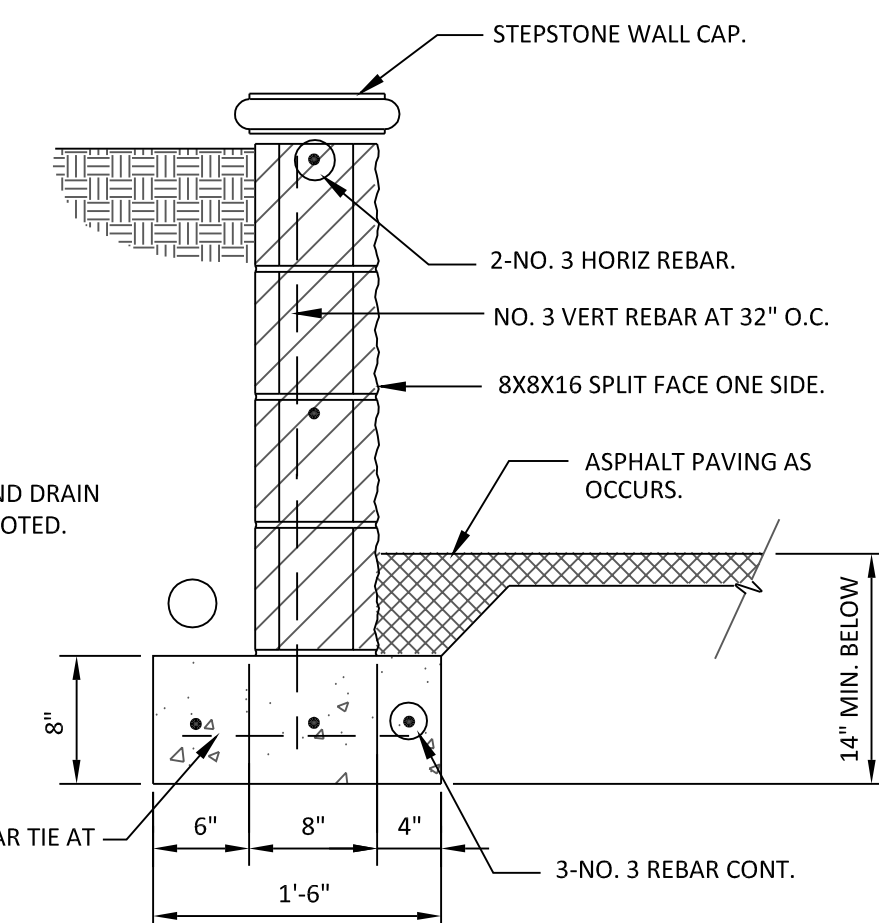
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2-4" River Rock Cobble
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### SITE DATA

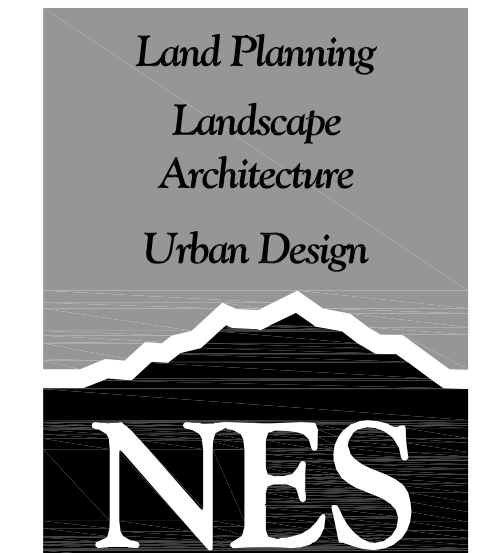
Tax ID Number: 540720052  
Current Zoning: RM-12 CAD-O (Resolution No. 17-118)  
Site Area: Phase 1: 21.17 Acres  
Proposed Land Use: Residential Multi-Dwelling (Phase 1: 234 Dwelling Units)  
Lot Setbacks:  
Front: 15'  
Side: 10'  
Rear: 20'  
\*There is a 125' setback to any structure from the East Zone District Boundary  
Landscape Setbacks:  
Paonia: 10' Setback  
Maximum Lot Coverage: 70%  
Proposed Lot Coverage: Refer to Site Development Plan Cover Sheet 1  
Provided Parking: 368 Uncovered Spaces

### PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	14	Acer grandidentatum / Bigtooth Maple Low Root Damage Potential	35'	30"	2" Cal.	B&B	Xeric
	41	Gleditsia triacanthos 'Impco' / Imperial Seedless Honey Locust	35'	35"	2" Cal.	B&B	Xeric
	30	Gymnocladus dioica 'Espresso' / Kentucky Coffee Tree (Seedless)	60'	50"	2" Cal.	B&B	Xeric
	18	Quercus macrocarpa / Burr Oak	60'	45"	2" Cal.	B&B	Xeric
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	37	Juniperus scopulorum 'Moonglow' / Moonglow Juniper Low Root Damage Potential	15'	8"	6" HT	CONT	Xeric
	10	Juniperus virginiana 'Burkitt' / Burk Red Cedar Low Root Damage Potential	20'	6"	6" HT	B&B	Xeric
	6	Picea pungens / Colorado Spruce	60'	30"	6" HT	B&B	NonX
	8	Picea pungens 'Baby Blueeyes' / Baby Blue Eyes Spruce	30'	15"	6" HT	B&B	NonX
	10	Pinus aristata / Bristlecone Pine Low Root Damage Potential	30'	20"	6" HT	B&B	Xeric
	43	Pinus edulis / Pinon Pine Low Root Damage Potential	25'	15"	6" HT	B&B	Xeric
	10	Pinus nigra / Austrian Black Pine	60'	40"	6" HT	B&B	Xeric
ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	7	Acer tataricum ginnala 'Flame' / Flame Amur Maple Low Root Damage Potential	20'	20"	1.5" Cal.	B&B	Xeric
	8	Crataegus crus-galli inermis / Thornless Cockspur Hawthorn Low Root Damage Potential	25'	20"	1.5" Cal.	B&B	Xeric
	6	Malus x 'Prairifire' / Prairifire Crab Apple	20'	20"	1.5" Cal.	B&B	NonX



4 SPLIT FACE RETAINING WALL, 32" MAX  
1" = 1'-0"



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### SOLACE OF COLORADO SPRINGS

### SITE DEVELOPMENT PLAN EL PASO COUNTY, CO

DATE: 12-15-2020  
PROJECT MGR: T. BAXTER  
PREPARED BY: K. MARSHALL

### ENTITLEMENT

DATE:	BY:	DESCRIPTION:

### LANDSCAPE NOTES & DETAILS

9  
9 OF 28  
SP-20-001

OWNER / DEVELOPER:  
**JACKSON DEARBORN, LLC**  
404 S. WELLS STREET  
SUITE # 400  
CHICAGO, IL 60607  
CONTACT: DANE OLIMSTEAD  
TEL: 734.216.2577

ARCHITECT:  
**LCM ARCHITECTS**  
819 SOUTH WABASH AVE  
FIFTH FLOOR  
CHICAGO, IL 60605  
TEL: 312.913.1717

CIVIL ENGINEER:  
**JR ENGINEERING**  
5475 TECH CENTER DRIVE  
SUITE # 235  
COLORADO SPRINGS, CO 80919  
CONTACT: MIKE BRAMBLETT  
TEL: 303.267.6240

STRUCTURAL ENGINEER:  
**MARTINO & LUTH, INC**  
999 18TH STREET  
SUITE 855 NORTH  
DENVER, CO 80202  
TEL: 303.260.7118

MEP ENGINEER:  
**SALAS O'BRIEN**  
815 SOUTH WABASH AVENUE  
CHICAGO, IL 60605  
TEL: 312.786.4310

**SOLACE APARTMENTS**  
SITE DEVELOPMENT PLAN

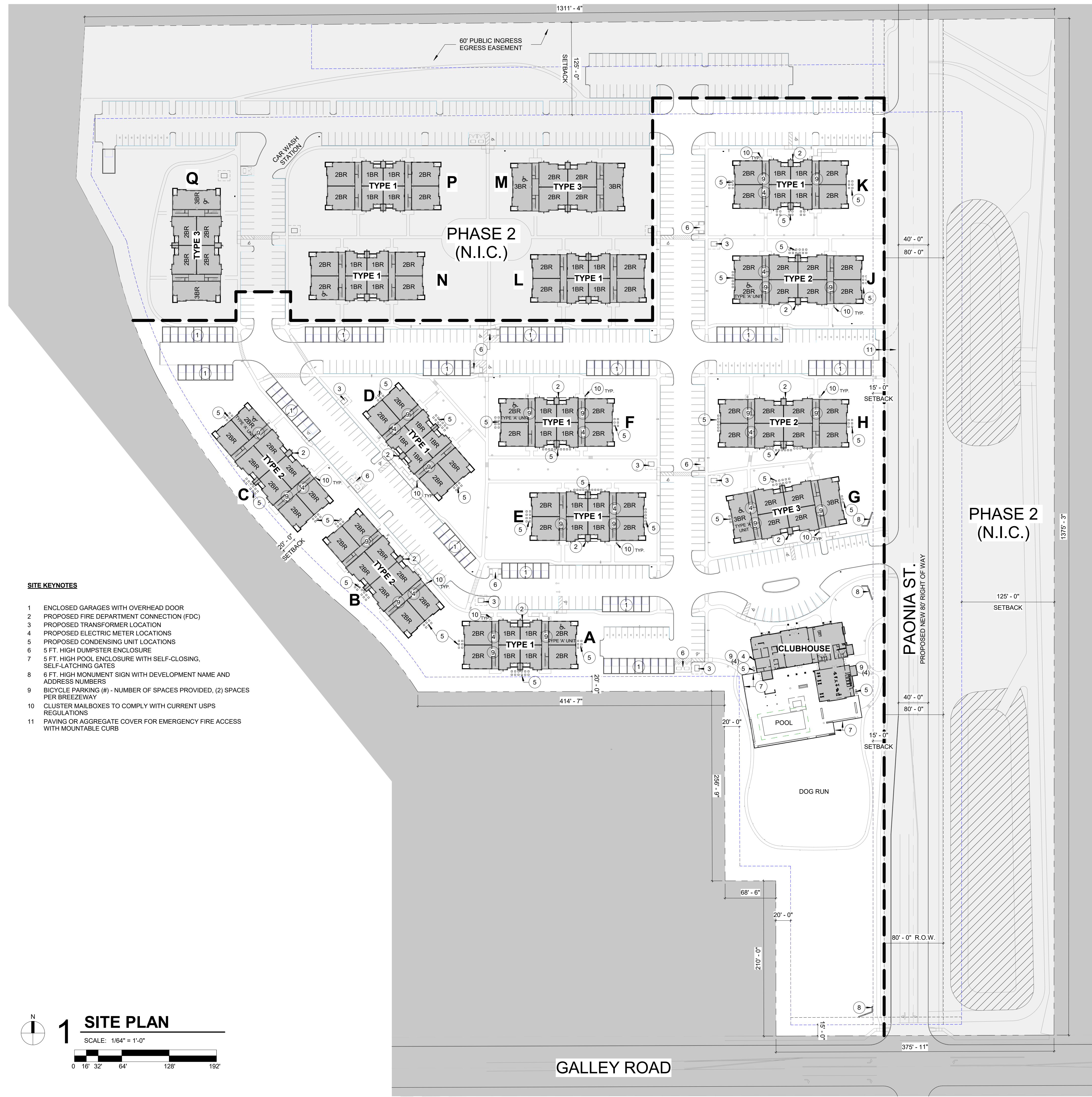
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PREPARED BY: PREPARED BY

**NOT FOR CONSTRUCTION**

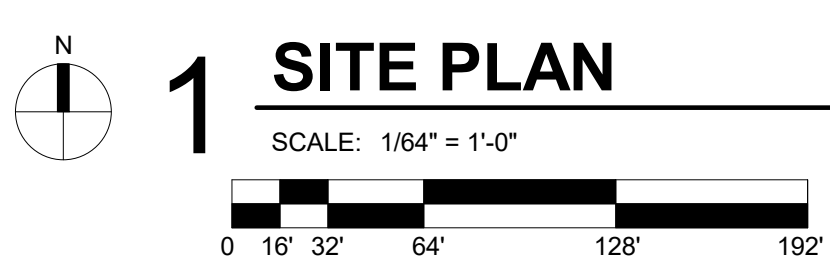
ISSUE TYPE

DATE	BY	DESCRIPTION

**ARCHITECTURAL SITE PLAN**



- SITE KEYNOTES**
- ENCLOSED GARAGES WITH OVERHEAD DOOR
  - PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
  - PROPOSED TRANSFORMER LOCATION
  - PROPOSED ELECTRIC METER LOCATIONS
  - PROPOSED CONDENSING UNIT LOCATIONS
  - 5 FT. HIGH DUMPSTER ENCLOSURE
  - 5 FT. HIGH POOL ENCLOSURE WITH SELF-CLOSING, SELF-LATCHING GATES
  - 6 FT. HIGH MONUMENT SIGN WITH DEVELOPMENT NAME AND ADDRESS NUMBERS
  - BICYCLE PARKING (#) - NUMBER OF SPACES PROVIDED, (2) SPACES PER BREEZEWAY
  - CLUSTER MAILBOXES TO COMPLY WITH CURRENT USPS REGULATIONS
  - PAVING OR AGGREGATE COVER FOR EMERGENCY FIRE ACCESS WITH MOUNTABLE CURB



GALLEY ROAD

PAONIA ST.  
PROPOSED NEW 80' RIGHT OF WAY

PHASE 2  
(N.I.C.)

PHASE 2  
(N.I.C.)

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**SOLACE APARTMENTS**

**SITE DEVELOPMENT PLAN**

DATE: 11/18/2020  
PROJECT MGR: PROJECT MGR  
PREPARED BY: PREPARED BY

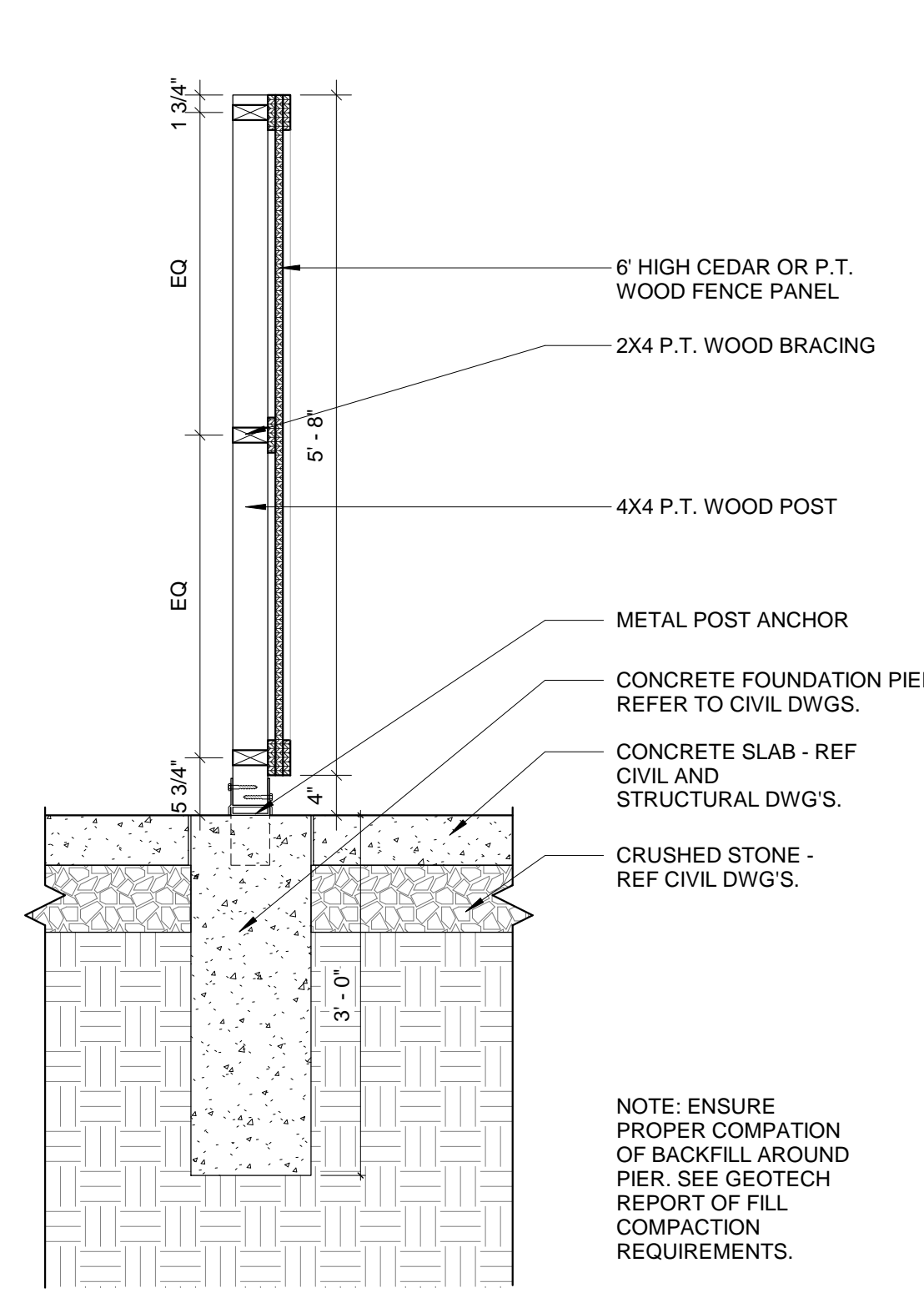
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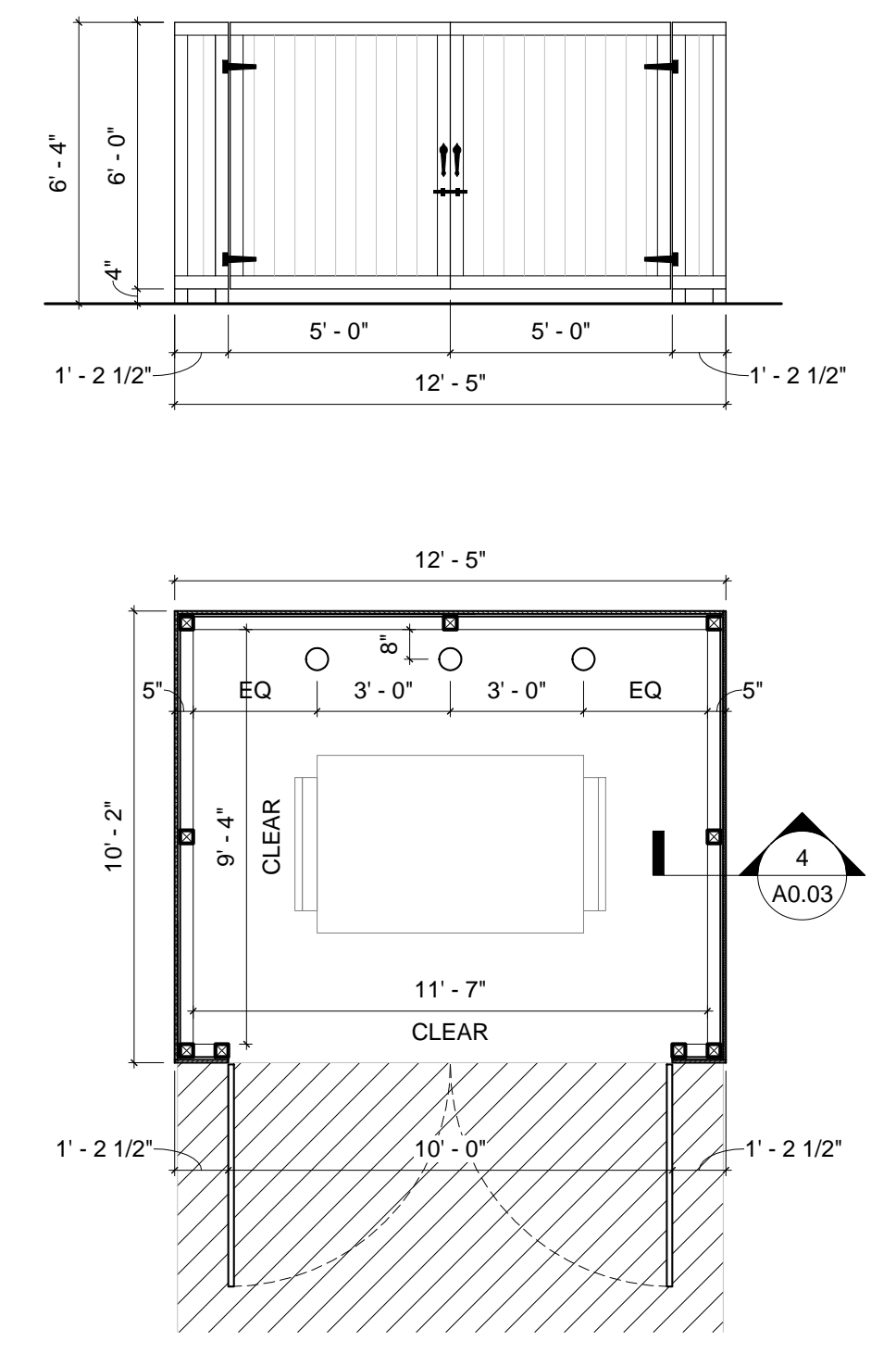
DATE	BY	DESCRIPTION

**TRASH ENCLOSURES**

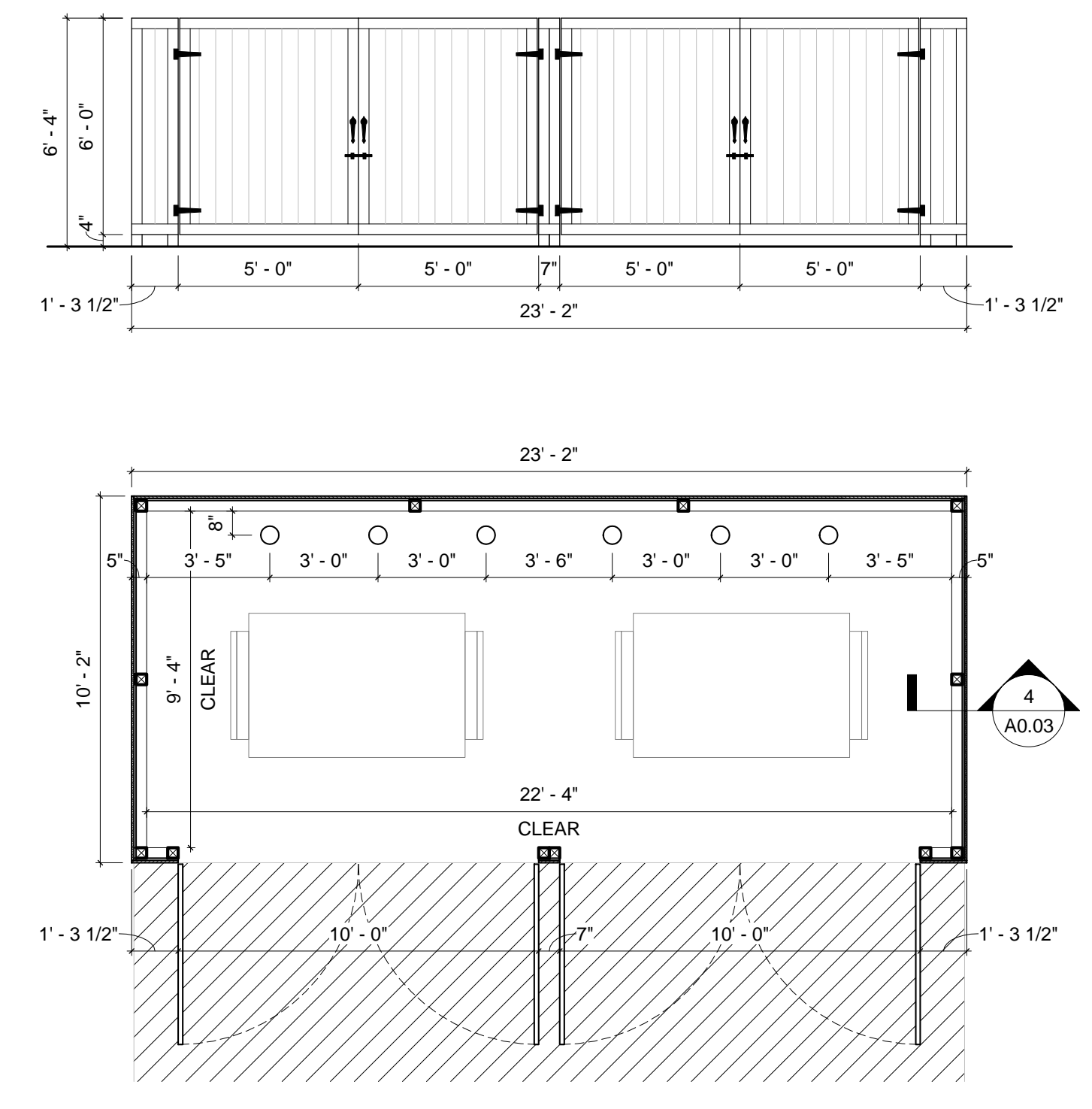
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11 OF 28



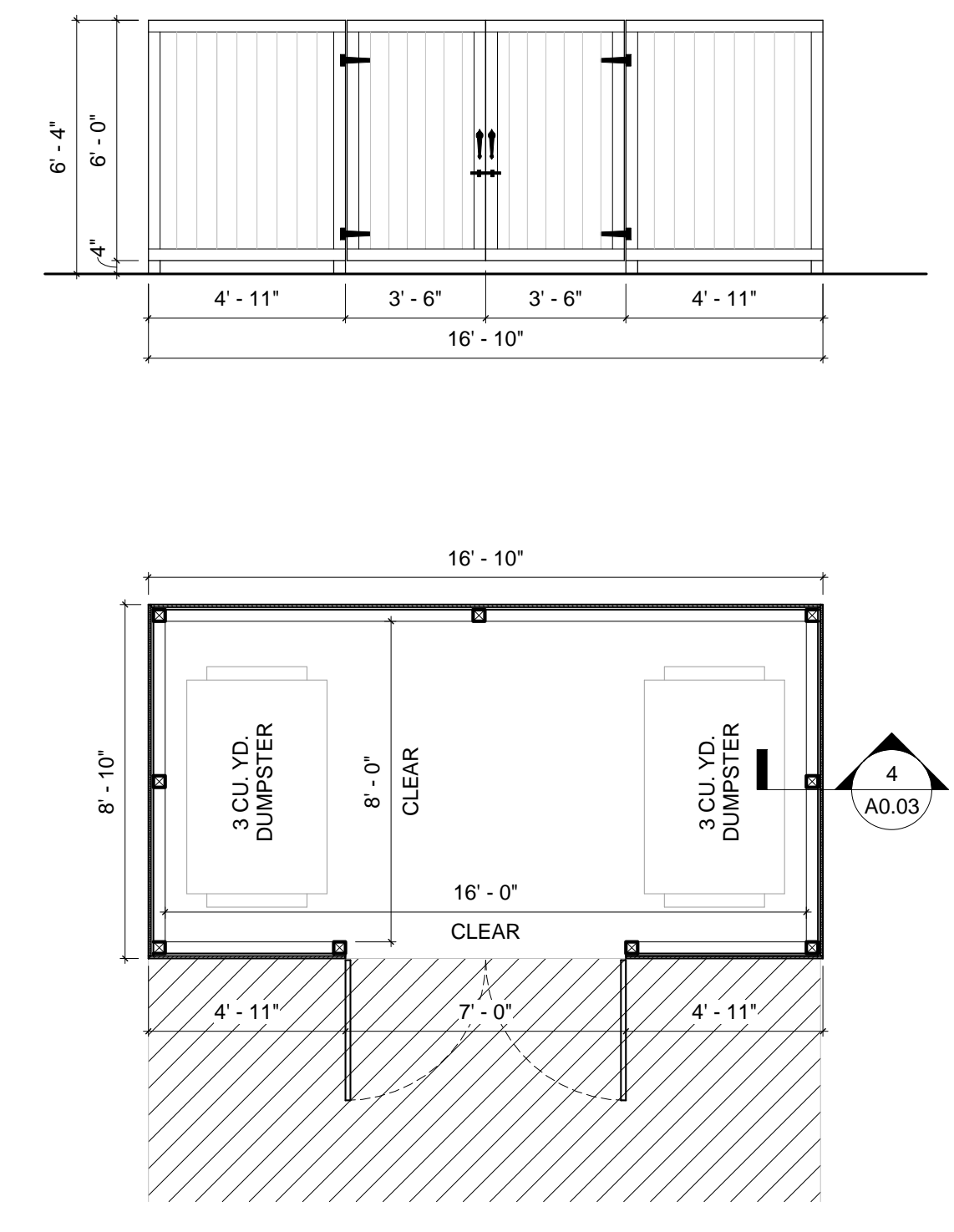
**4 TRASH ENCLOSURE SECTION**  
SCALE: 3/4" = 1'-0"



**3 TRASH ENCLOSURE - TYPE 3 PLAN & ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 TRASH ENCLOSURE - TYPE 2 PLAN & ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 TRASH ENCLOSURE - TYPE 1 PLAN & ELEVATION**  
SCALE: 1/4" = 1'-0"

PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

SEAL

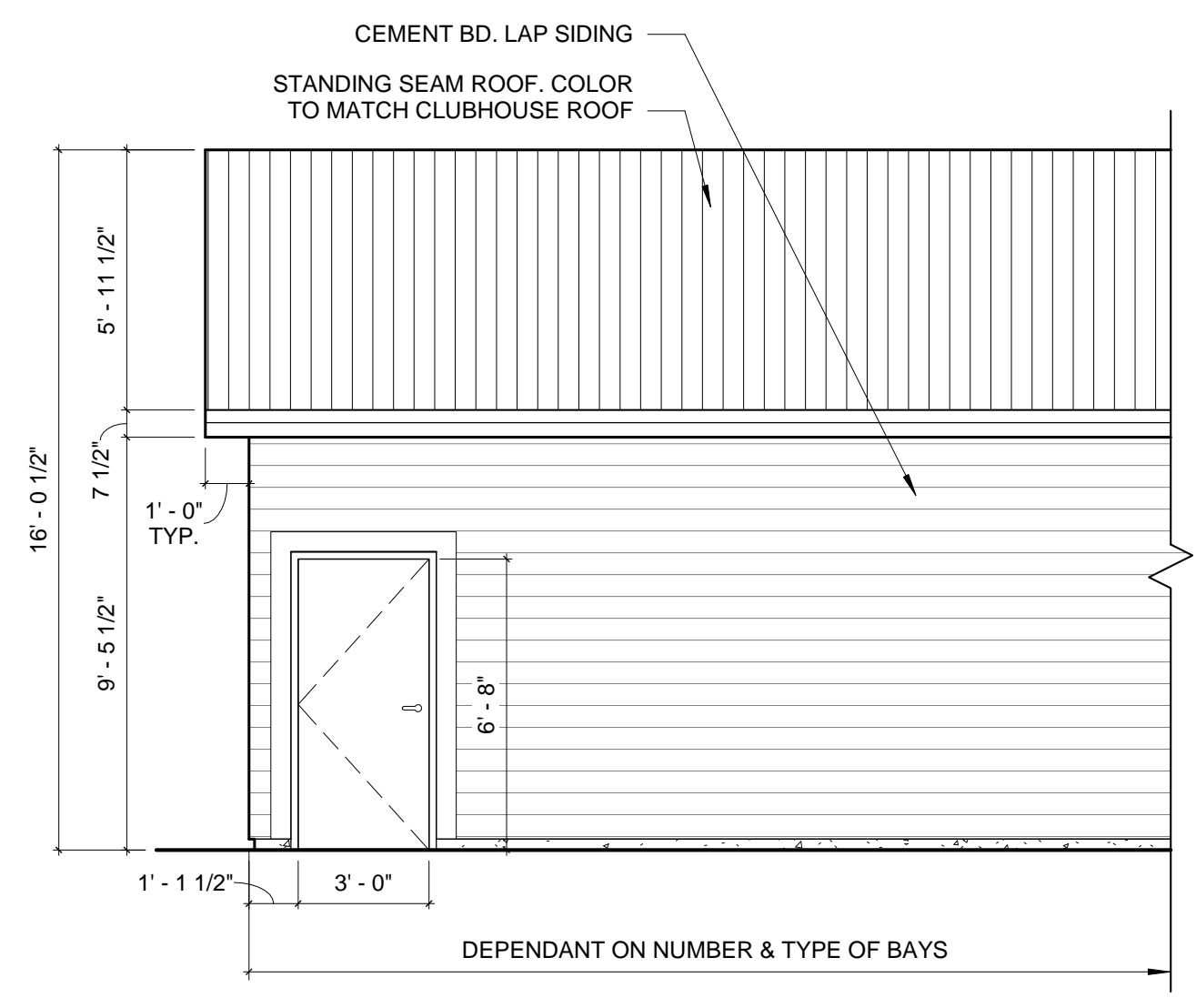
ISSUE INFO

DATE / REVISION

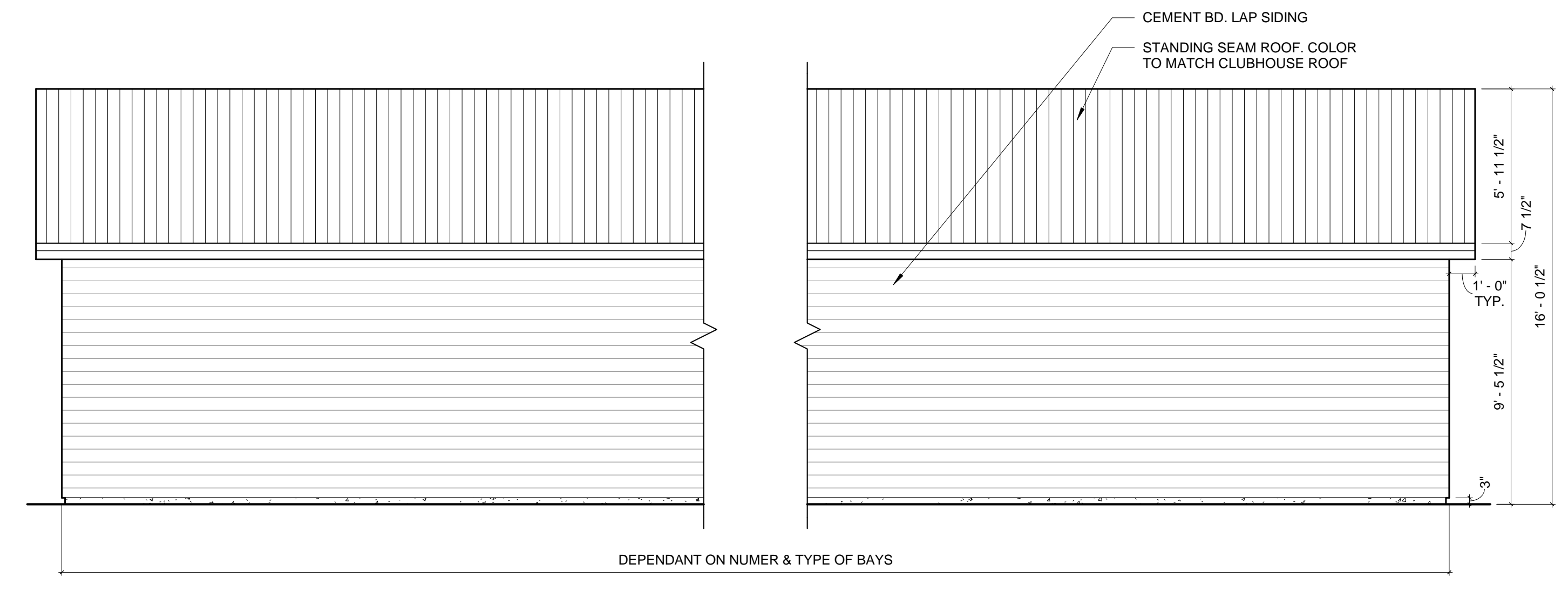
SHEET NUMBER

PLAN FILE

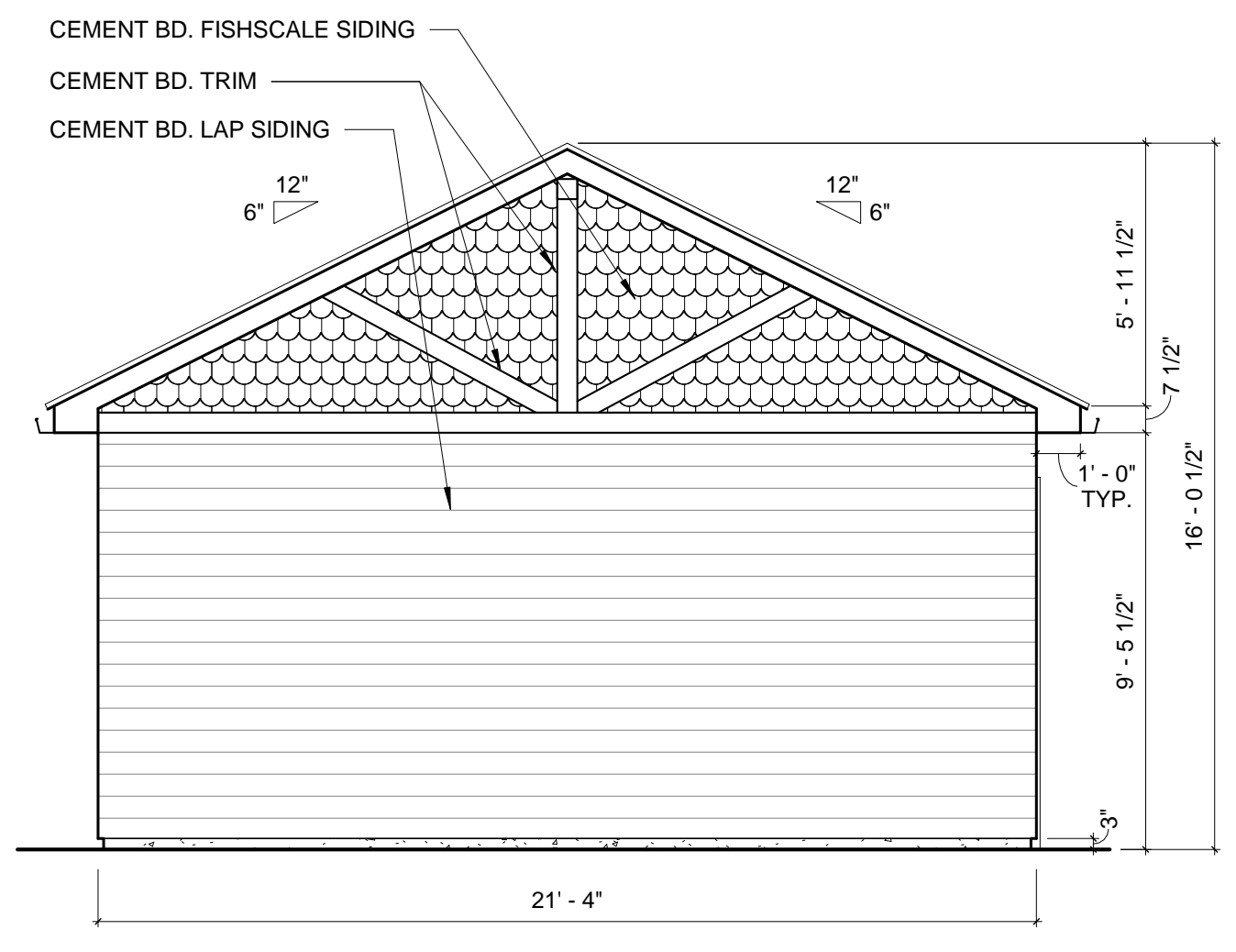
DATE	BY	DESCRIPTION



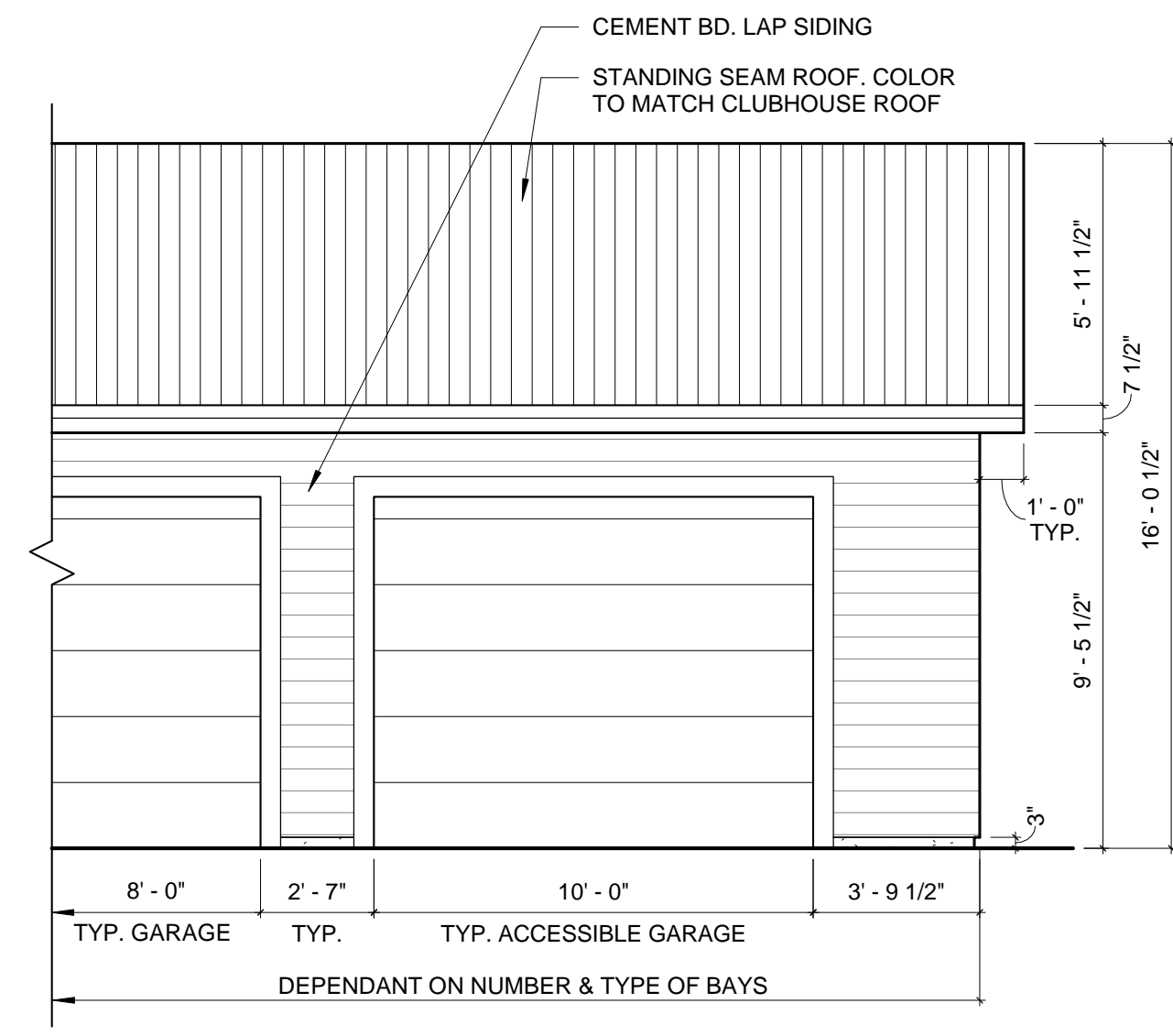
**7 TYP. ELEVATION - BACK (WITH ACCESSIBLE GARAGE)**  
SCALE: 1/4" = 1'-0"



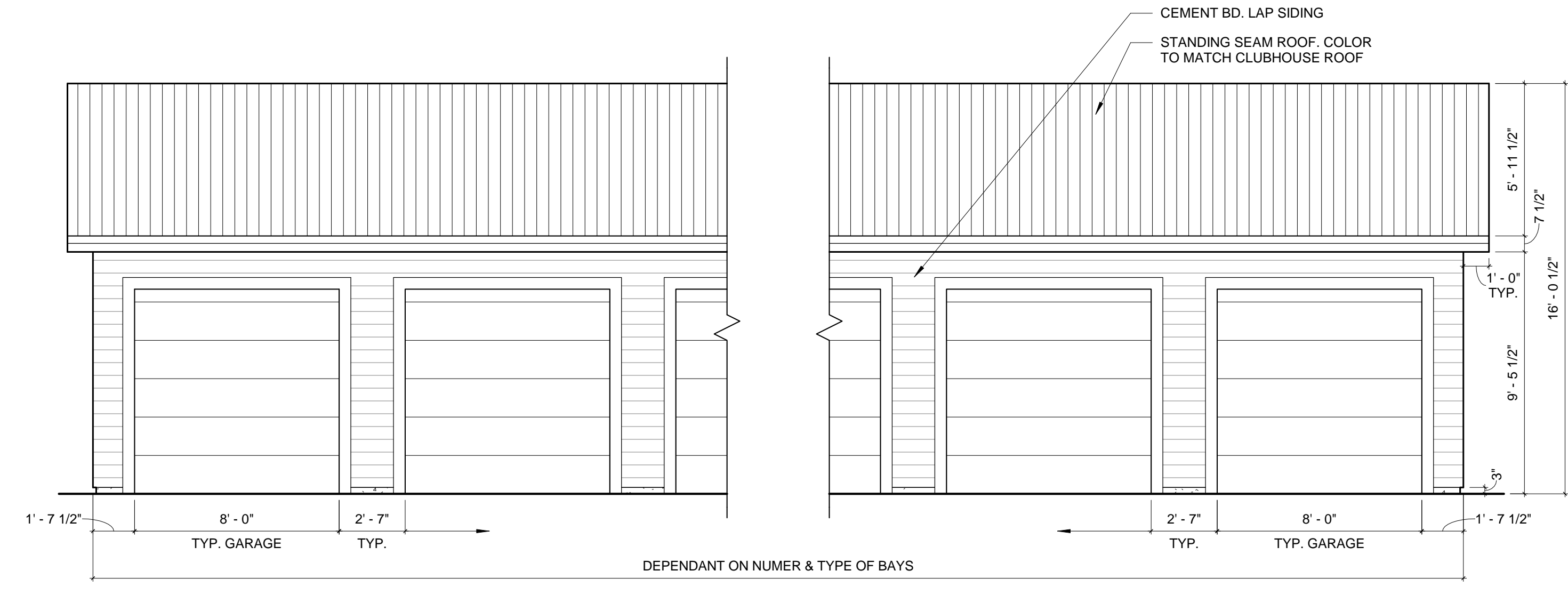
**6 TYP. ELEVATION - BACK**  
SCALE: 1/4" = 1'-0"



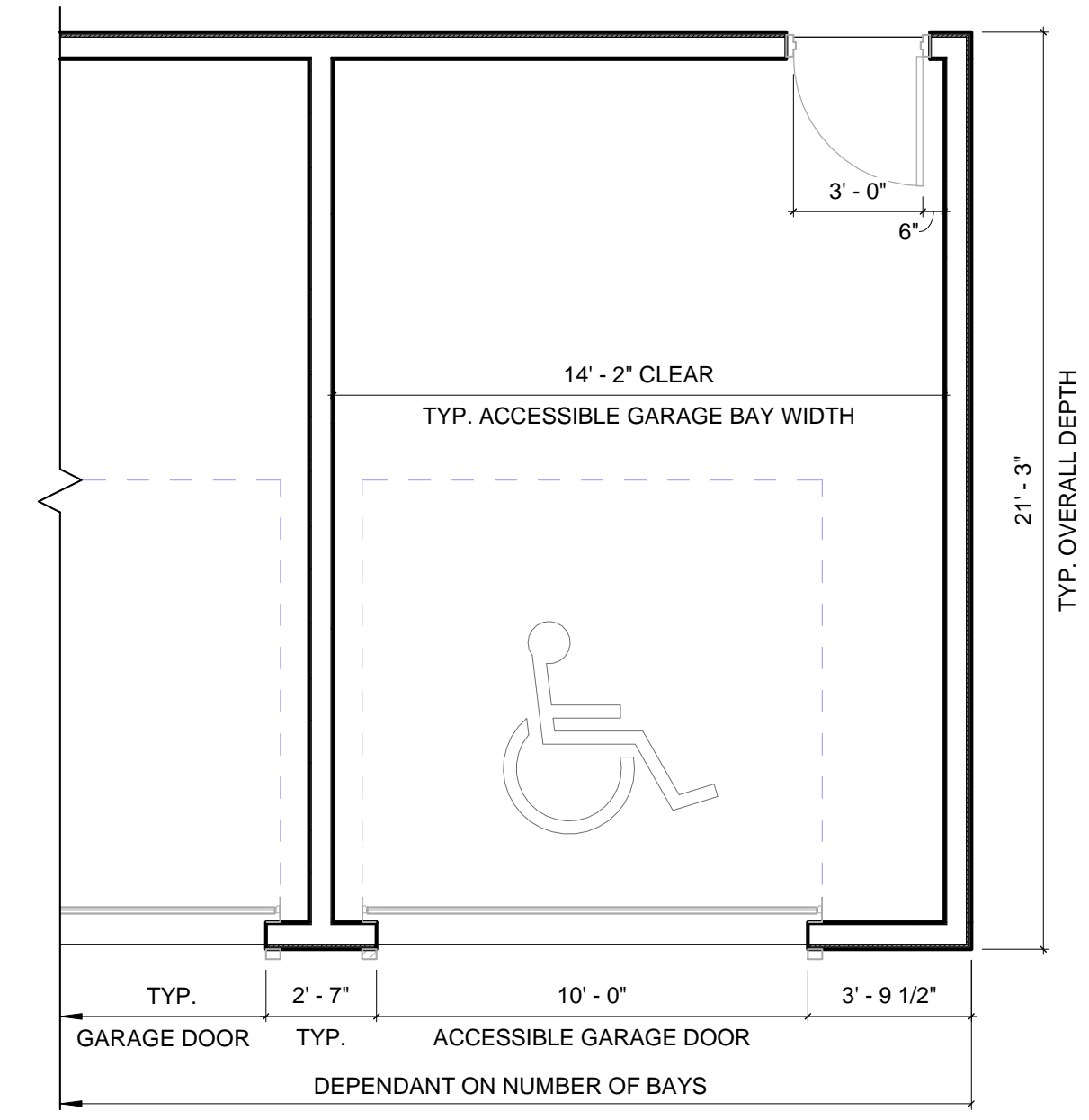
**5 TYP. ELEVATION - SIDE**  
SCALE: 1/4" = 1'-0"



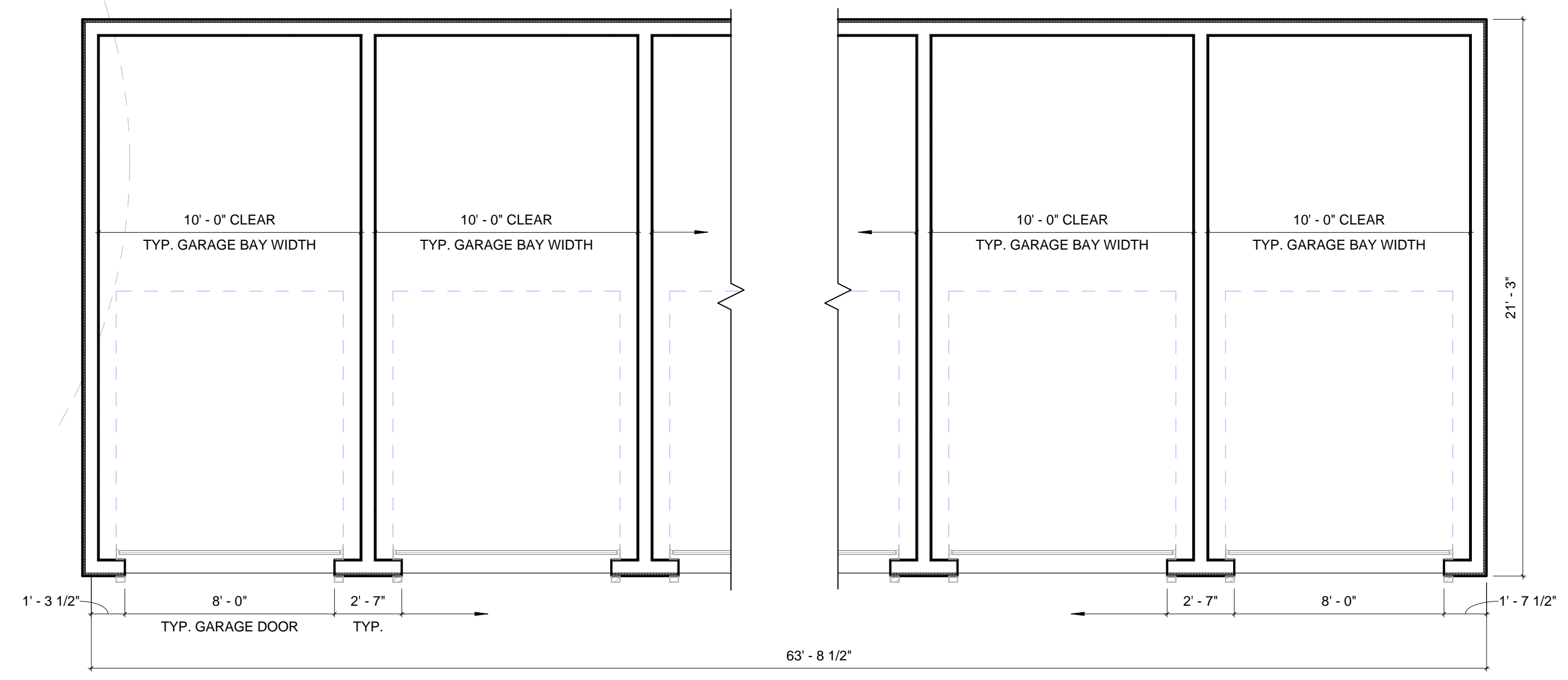
**4 TYP. ELEVATION - FRONT (WITH ACCESSIBLE GARAGE)**  
SCALE: 1/4" = 1'-0"



**3 TYP. ELEVATION - FRONT**  
SCALE: 1/4" = 1'-0"



**2 TYP. ACCESSIBLE GARAGE PLAN**  
SCALE: 1/4" = 1'-0"



**1 TYP. GARAGE PLAN**  
SCALE: 1/4" = 1'-0"



**1 3-STORY WALKUP CONCEPT VIEW**  
SCALE: NOT TO SCALE

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**MEP ENGINEER:**  
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815 SOUTH WABASH AVENUE  
CHICAGO, IL 60605  
TEL: 312.786.4310

**SOLACE APARTMENTS**

**SITE DEVELOPMENT PLAN**

DATE: 11/18/2020  
PROJECT MGR: PROJECT MGR  
PREPARED BY: PREPARED BY

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**ISSUE TYPE**

DATE	BY	DESCRIPTION

**CONCEPT IMAGES**

**A0.08**  
13 OF 28



**1 CLUBHOUSE CONCEPT IMAGE - NORTH FACADE**  
SCALE: NOT TO SCALE



**2 CLUBHOUSE CONCEPT IMAGE - SOUTH FACADE**  
SCALE: NOT TO SCALE

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**SOLACE APARTMENTS**  
SITE DEVELOPMENT PLAN

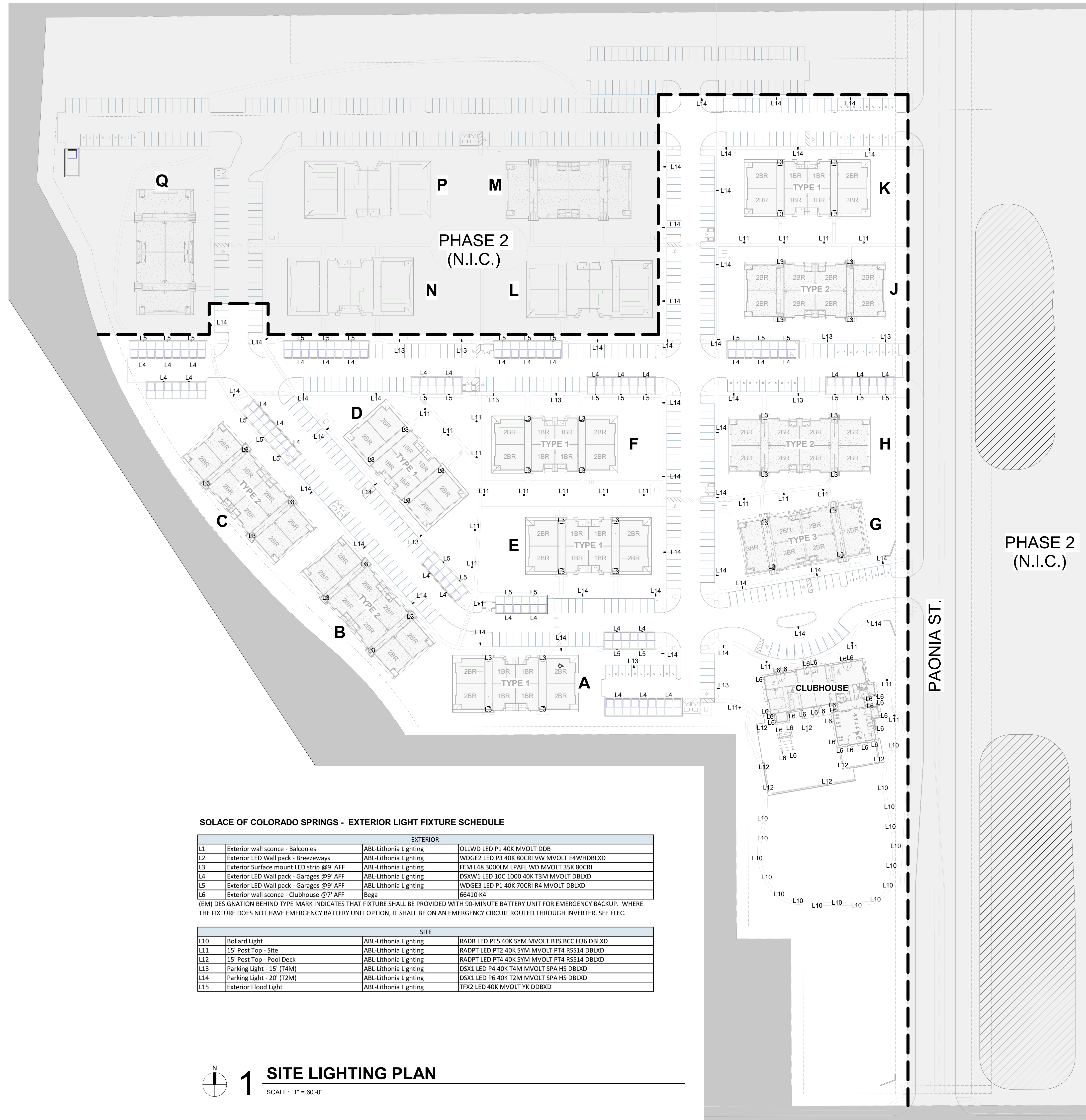
DATE: 11/18/2020  
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ISSUE TYPE

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CONCEPT IMAGES

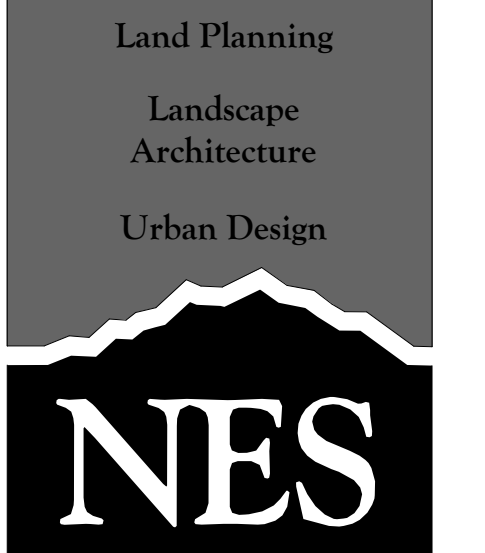


**SOLACE OF COLORADO SPRINGS - EXTERIOR LIGHT FIXTURE SCHEDULE**

EXTERIOR			
L1	Exterior wall sconce - Balconies	ABL-Lithonia Lighting	OLLWD LED P1 40K MVOLT DDB
L2	Exterior LED Wall pack - Breezeways	ABL-Lithonia Lighting	WDGE2 LED P3 40K 80CRI VW MVOLT E4WHDBLXD
L3	Exterior Surface mount LED strip @9' AFF	ABL-Lithonia Lighting	FEM L48 3000LM LPAFL WD MVOLT 35K 80CRI
L4	Exterior LED Wall pack - Garages @9' AFF	ABL-Lithonia Lighting	DSXW1 LED 10C 1000 40K T3M MVOLT DBLXD
L5	Exterior LED Wall pack - Garages @9' AFF	ABL-Lithonia Lighting	WDGE3 LED P1 40K 70CRI R4 MVOLT DBLXD
L6	Exterior wall sconce - Clubhouse @7' AFF	Bega	66410 K4
(EM) DESIGNATION BEHIND TYPE MARK INDICATES THAT FIXTURE SHALL BE PROVIDED WITH 90-MINUTE BATTERY UNIT FOR EMERGENCY BACKUP. WHERE THE FIXTURE DOES NOT HAVE EMERGENCY BATTERY UNIT OPTION, IT SHALL BE ON AN EMERGENCY CIRCUIT ROUTED THROUGH INVERTER. SEE ELEC.			
SITE			
L10	Bollard Light	ABL-Lithonia Lighting	RADB LED P7S 40K SYM MVOLT BTS BCC H36 DBLXD
L11	15' Post Top - Site	ABL-Lithonia Lighting	RADPT LED PT2 40K SYM MVOLT PT4 RSS14 DBLXD
L12	15' Post Top - Pool Deck	ABL-Lithonia Lighting	RADPT LED PT4 40K SYM MVOLT PT4 RSS14 DBLXD
L13	Parking Light - 15' (T4M)	ABL-Lithonia Lighting	DSX1 LED P4 40K T4M MVOLT SPA HS DBLXD
L14	Parking Light - 20' (T2M)	ABL-Lithonia Lighting	DSX1 LED P6 40K T2M MVOLT SPA HS DBLXD
L15	Exterior Flood Light	ABL-Lithonia Lighting	TFX2 LED 40K MVOLT YK DDBXD

**1 SITE LIGHTING PLAN**

SCALE: 1" = 60'-0"



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**SOLACE APARTMENTS**  
SITE DEVELOPMENT PLAN

DATE: 11/18/2020  
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PREPARED BY: PREPARED BY

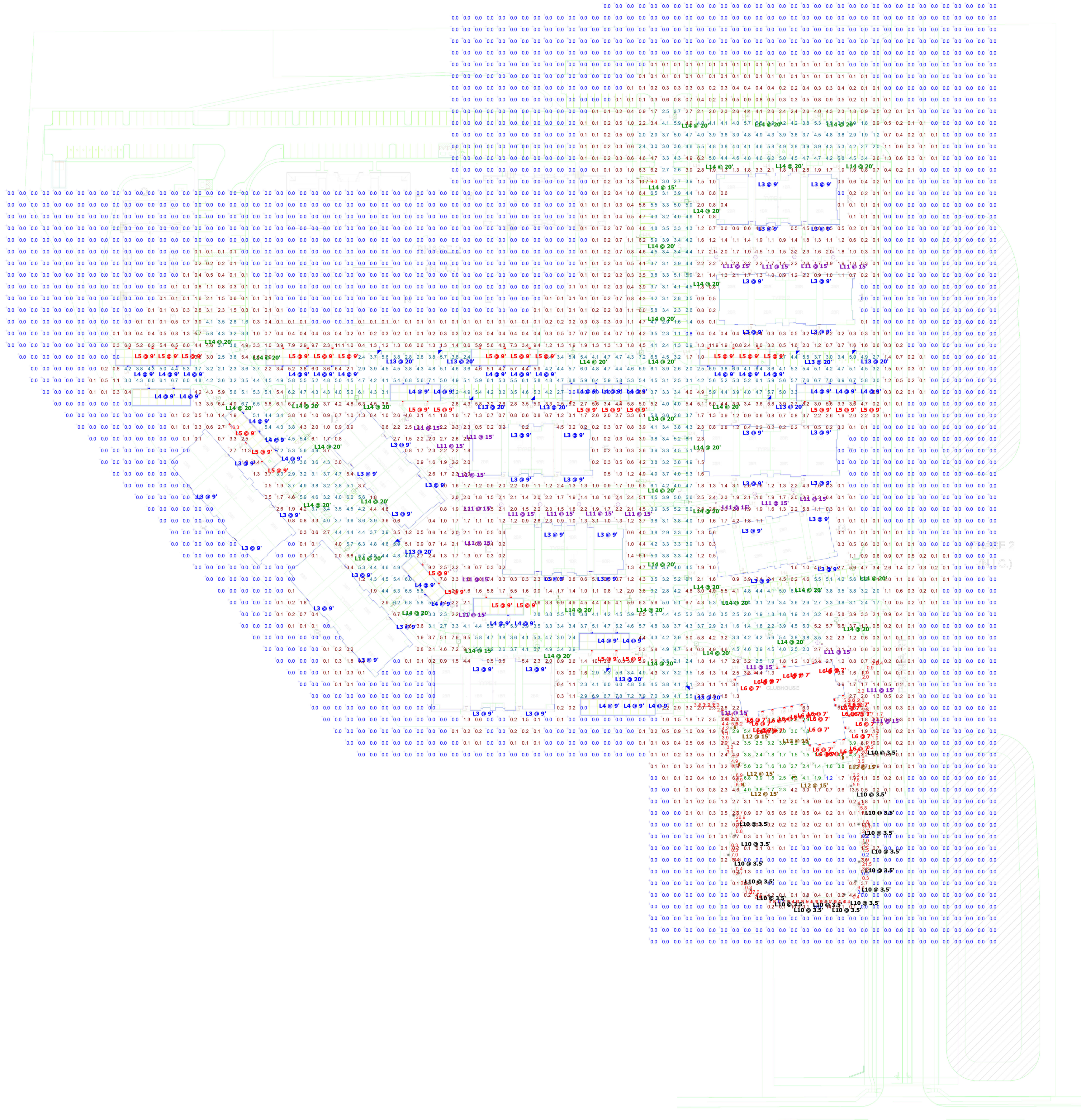
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**ISSUE TYPE**

DATE	BY	DESCRIPTION

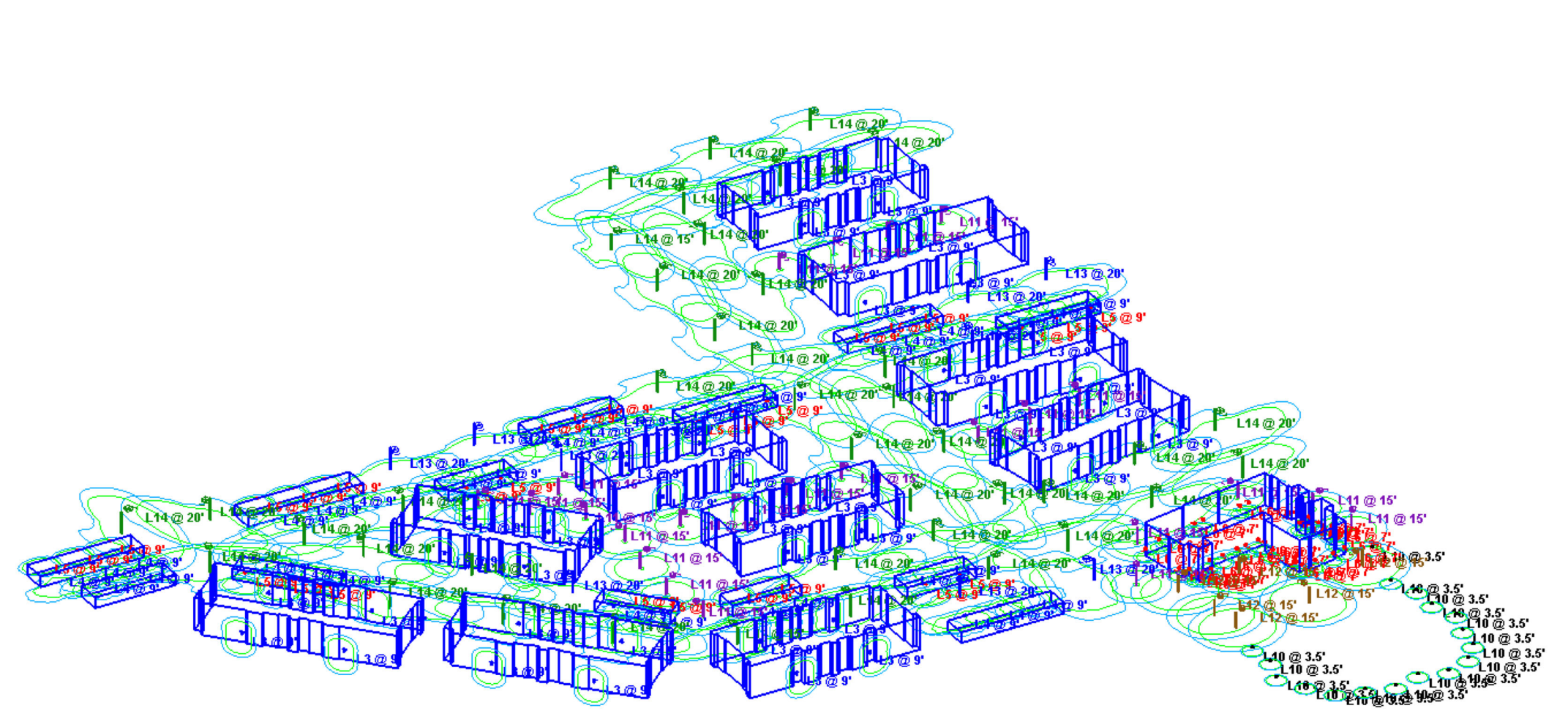
**SITE LIGHTING PLAN**

**A0.20**  
15 OF 28



Plan View  
Scale: 1" = 30'

**Note**  
This architectural lighting submittal is provided only for informational purposes and to help the customer or end-user (as applicable) understand how various sections of linear fixtures connect to each other and how they mount to the ceiling. This lighting submittal is strictly based on the information provided to Acuity Brands, and is provided without warranty as to accuracy, completeness, reliability or otherwise. If the information (including but not limited to floor-plans, reflected ceiling plans, electrical plans and specifications) provided to Acuity Brands is incomplete or not current (i.e., newer versions exist), the accuracy of proposed design may be adversely affected. Once this lighting submittal is received by the customer or end-user (as applicable), it is the obligation of the customer or end-user (as applicable) to consult with a professional engineering advisor to determine whether the proposed design meets the applicable code requirements for lighting system performance, code compliance, safety, suitability and effectiveness for use in a particular application. In no event will Acuity Brands be responsible for any loss resulting from any use of any information contained in this lighting submittal.



View #3

### RADEAN Bollard LED Site Luminaire

**Introduction**  
The RADEAN Bollard is a cast aluminum, energy-saving, long-life site luminaire designed for parking lots and walkways. It provides a beautiful solution by transforming into a decorative architectural feature. The RADEAN Bollard's unique design, double lens and energy saving LED provides years of maintenance free service.

**Specifications**  
Height: 24"  
Width: 10"  
Weight: 15 lbs

**Ordering Information**

Model	Color	Finish	Mounting	Notes
RADEAN	Black	Matte	Standard	Standard
RADEAN	White	Matte	Standard	Standard

### Radean Post Top LED Luminaire

**Introduction**  
The Radean Post Top is a cast aluminum luminaire that is designed to provide a beautiful solution by transforming into a decorative architectural feature. The Radean Post Top's unique design, double lens and energy saving LED provides years of maintenance free service.

**Specifications**  
Height: 24"  
Width: 10"  
Weight: 15 lbs

**Ordering Information**

Model	Color	Finish	Mounting	Notes
RADEAN	Black	Matte	Standard	Standard
RADEAN	White	Matte	Standard	Standard

### D-Series Size 1 LED Wall Luminaire

**Introduction**  
The D-Series Size 1 is a high quality, integrated LED luminaire for building interiors. It features a modern, minimalist design and is available in multiple finishes and mounting options for customized performance.

**Specifications**  
Height: 10"  
Width: 10"  
Weight: 10 lbs

**Ordering Information**

Model	Color	Finish	Mounting	Notes
DSX1	Black	Matte	Standard	Standard
DSX1	White	Matte	Standard	Standard

### D-Series Size 1 LED Area Luminaire

**Introduction**  
The D-Series Size 1 is a high quality, integrated LED luminaire for building interiors. It features a modern, minimalist design and is available in multiple finishes and mounting options for customized performance.

**Specifications**  
Height: 10"  
Width: 10"  
Weight: 10 lbs

**Ordering Information**

Model	Color	Finish	Mounting	Notes
DSX1	Black	Matte	Standard	Standard
DSX1	White	Matte	Standard	Standard

**Note**

- Readings shown are based on a total LLF of as shown at grade. Data references the extrapolated performance projections in a 25c ambient based on 10,000 hrs of LED testing (per IESNA LM-80-08 and projected per IESNA TM-21-11).
- Please refer to the "luminaire locations" for mounting heights.
- Product information can be obtained at [www.lithonia.com](http://www.lithonia.com) or through your local agency.

### Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Bollard Walkway	◇	3.9 fc	27.0 fc	0.2 fc	135.0:1	19.5:1
Parking Summary	□	4.3 fc	9.3 fc	0.8 fc	11.6:1	5.4:1
Pool Area	+	3.1 fc	7.5 fc	1.2 fc	6.3:1	2.6:1
Spill Light Summary	×	1.3 fc	16.3 fc	0.0 fc	N/A	N/A

### Schedule

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lumens	File Name	Lumens per Watt	Wallage	LLF	Distribution
L3	L3	40	Lithonia Lighting	FEM L48 3000LM LFAE, W/ BOCX 35K	FEM LED 48", 3,000 lumens, acrylic, low profile frosted lens, wide distribution, 80 CRI, 2000		3	FEM L48 3000 LM_LAMP_WD_BOCX_20K.dwg	2706	18.05	0.9	DIRECT, SC=0+1.21, SC=90+1.84
L4	L4	34	Lithonia Lighting	DSXW1 LED-DIC 1000 40K TBM MVOLT	DSXW1 LED WITH (1) 10 LED LIGHT ENGINEERS, TYPE TBM OPTIC, 4000K, @ 1000MA	LED	1	DSXW1_LED_1000_40K_TBM_MVOLT.dwg	3879	38.8	0.93	TYPE IV, MEDIUM, BUG RATING: B1 - U0 - G1
L5	L5	29	Lithonia Lighting	WOG2 LED P3 40K BOCX V4	WOG2 LED WITH P3 40K, BOCX, V4, 4000K, VISUAL COMFORT WIDE OPTIC		1	WOG2_LED_P3_40K_BOCX_V4.dwg	3213	22.55	0.95	TYPE III, VERY SHORT, BUG RATING: B1 - U0 - G1
L6	L6	30	BEGA Converted by LITONIA	66410		LED R/W	1	66410_BEGA_1.dwg	722	52	0.9	
L10	L10	17	Lithonia Lighting	RAD2 LED P5 40K 5YM DEXD	RAD2 LED P5 40K 5YM DEXD		1	RAD2_LED_P5_40K_5YM_DEXD.dwg	3231	32.31	0.89	TYPE IV, BUG RATING: B1 - U0 - G1
L11	L11	24	Lithonia Lighting	RAD2 LED P2 40K 5YM	RAD2 Post-Top with P2 4000K Symmetric Distribution		1	RAD2_LED_P2_40K_5YM.dwg	5169	38.0107	0.91	TYPE IV, BUG RATING: B1 - U0 - G1
L12	L12	6	Lithonia Lighting	RAD2 LED P4 40K 5YM	RAD2 Post-Top with P4 4000K Symmetric Distribution		1	RAD2_LED_P4_40K_5YM.dwg	11506	85.8762	0.91	TYPE IV, BUG RATING: B1 - U0 - G1
L13	L13	10	Lithonia Lighting	DSX1 LED P6 40K TBM MVOLT HS	DSX1 LED P6 40K TBM MVOLT with houshold shield	LED	1	DSX1_LED_P6_40K_TBM_MVOLT_HS.dwg	14462	143	0.92	TYPE III, SHORT, BUG RATING: B2 - U0 - G3
L14	L14	41	Lithonia Lighting	DSX1 LED P6 40K TBM MVOLT	DSX1 LED P6 40K TBM MVOLT	LED	1	DSX1_LED_P6_40K_TBM_MVOLT.dwg	18997	143	0.92	TYPE III, MEDIUM, BUG RATING: B1 - U0 - G3

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**SOLACE APARTMENTS**

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DATE: 11/18/2020  
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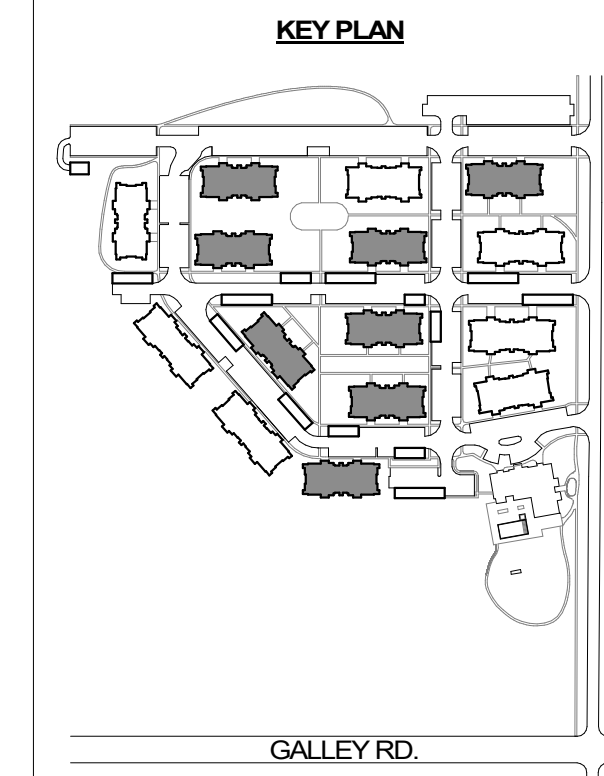
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**SITE PHOTOMETRIC STUDY**

A0.21

16 OF 28





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**GENERAL NOTES**

1. REFER TO KEY PLAN ON THIS SHEET FOR LOCATION OF BUILDING TYPES.
2. EXTERIOR DIMS AND GRID LINES ARE TO EXTERIOR FACE OF WOOD SHEATHING OR CENTERLINE OF DEMISING WALL, U.N.O.
3. ALL FLOOR / WALL PENETRATIONS TO BE FIRE STOPPED W/ AN APPROVED UL LISTED SYSTEM WHICH RATING IS EQUIVALENT OR HIGHER TO THAT OF THE FLOOR/WALL ASSEMBLY IT PASSES THROUGH.
4. SEE A6 SERIES SHEETS FOR UNIT PLANS.
5. SEE A7 SERIES SHEETS FOR DOOR & WINDOW INFORMATION.
6. SEE A5 SERIES FOR ENLARGED BREEZEWAY, STAIR AND BALCONY PLANS.
7. ALL BUILDING ELEMENTS, SECTION CUTS AND DIMENSIONS MIRROR ALONG GRIDS 1-4 & 1-B FOR BUILDING I, 2-4 & 2-B FOR BUILDING II AND 3-4 & 3-B FOR BUILDING III.

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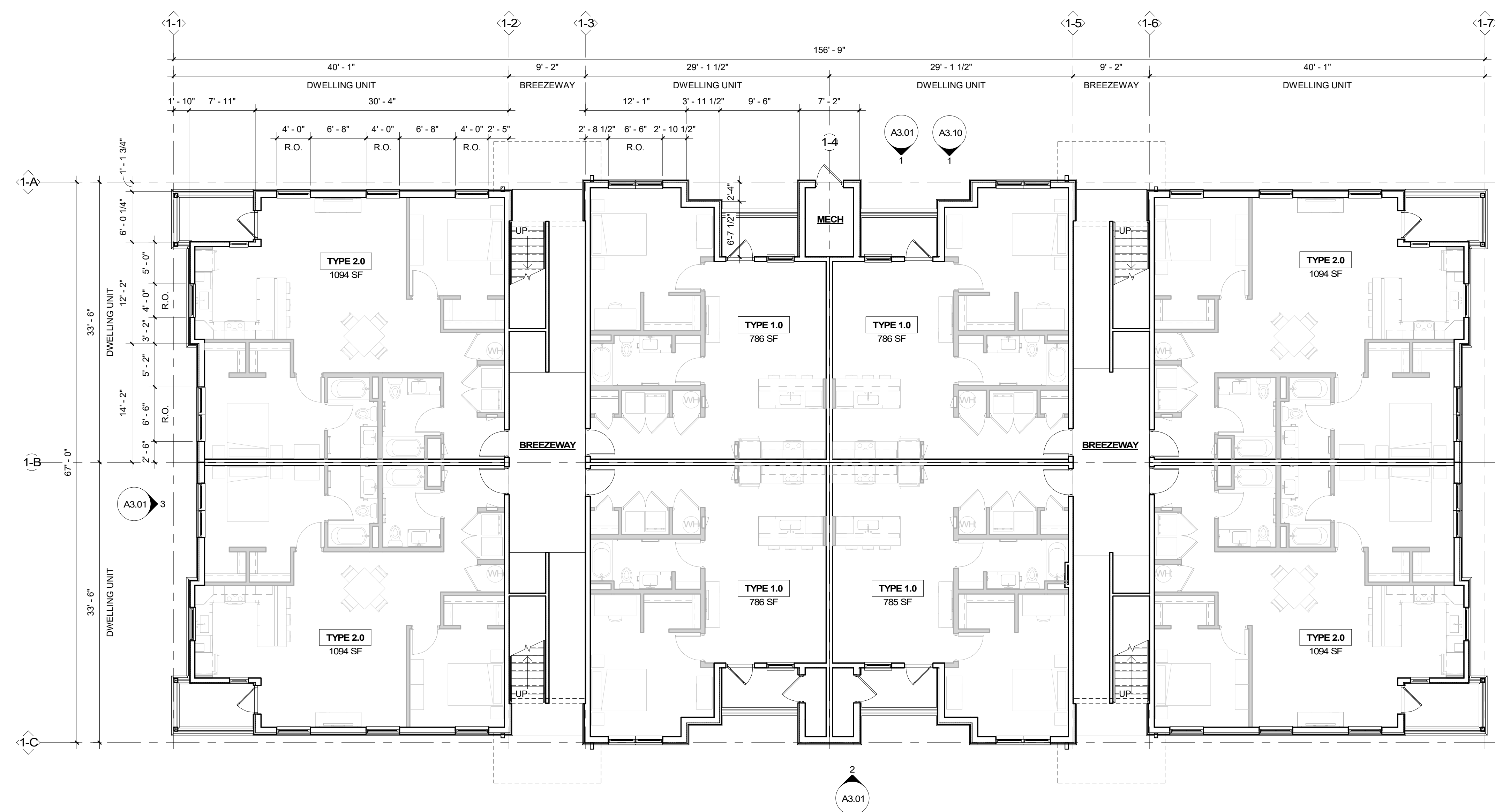
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**FLOOR PLAN KEYNOTES**



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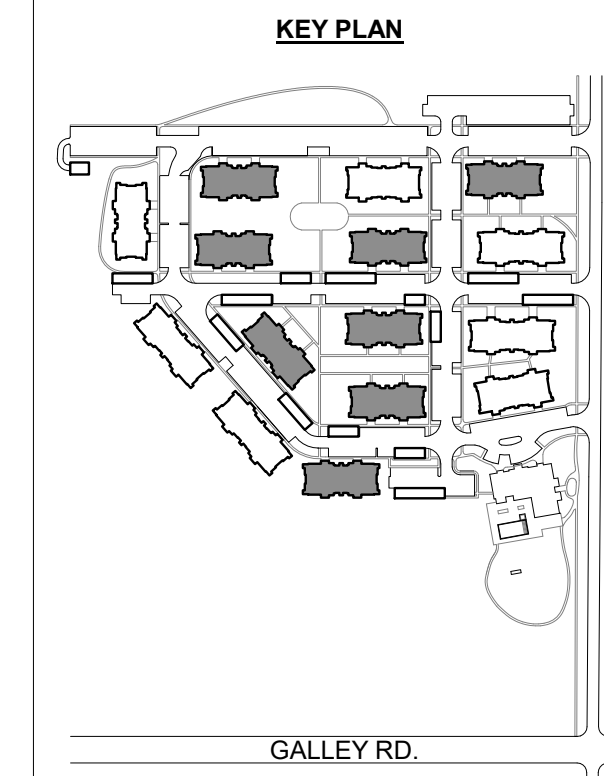
**ISSUE TYPE**

DATE	BY	DESCRIPTION

**TYPE I - LEVEL 1 FLOOR PLAN**

**A1.11**  
17 OF 28

**1 BUILDING TYPE I - LEVEL 1 FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



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- SEE A6 SERIES SHEETS FOR UNIT PLANS.
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- SEE A5 SERIES FOR ENLARGED BREEZEWAY, STAIR AND BALCONY PLANS.
- ALL BUILDING ELEMENTS, SECTION CUTS AND DIMENSIONS MIRROR ALONG GRIDS 1-4 & 1-B FOR BUILDING I, 2-4 & 2-B FOR BUILDING II AND 3-4 & 3-B FOR BUILDING III.

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**FLOOR PLAN KEYNOTES**

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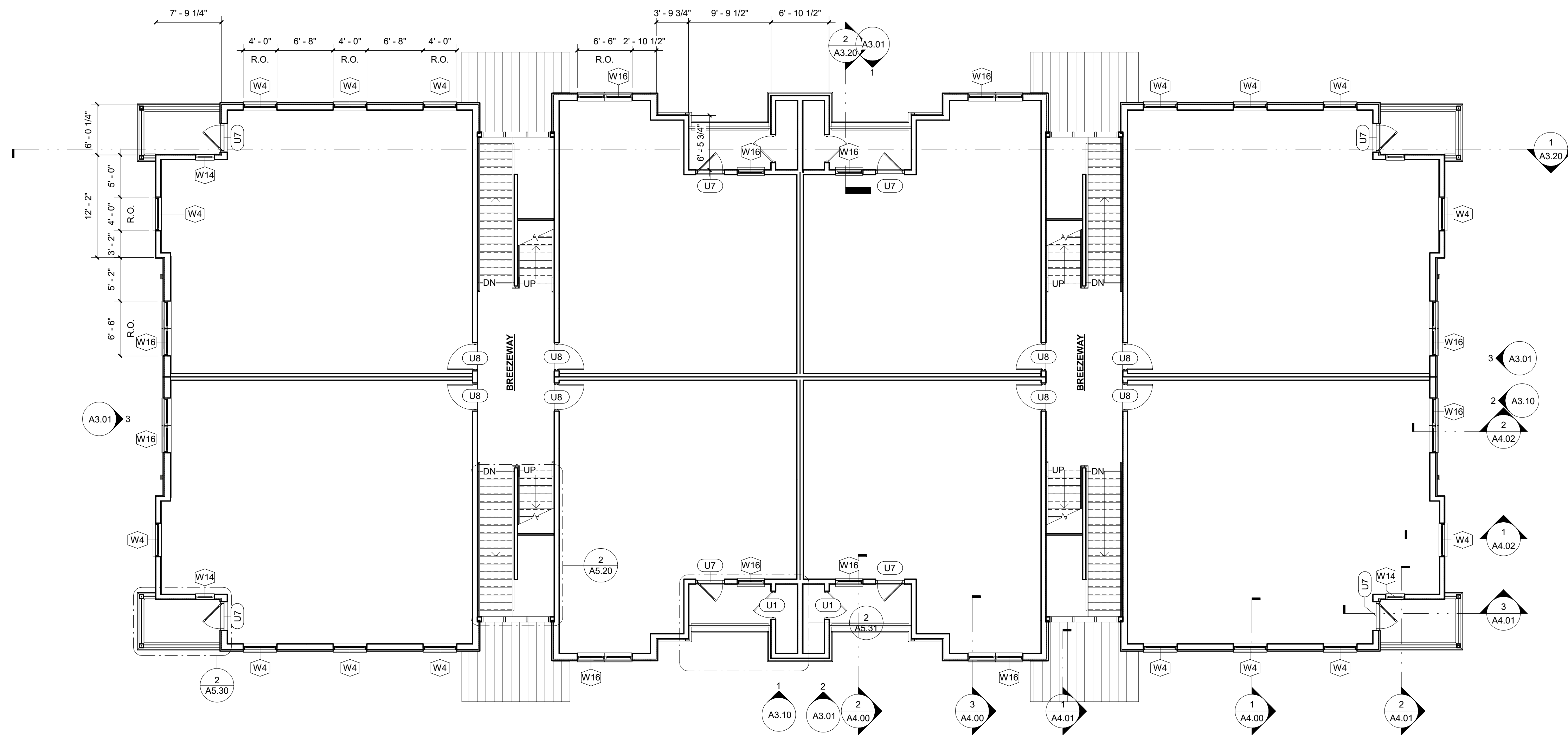
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ISSUE TYPE

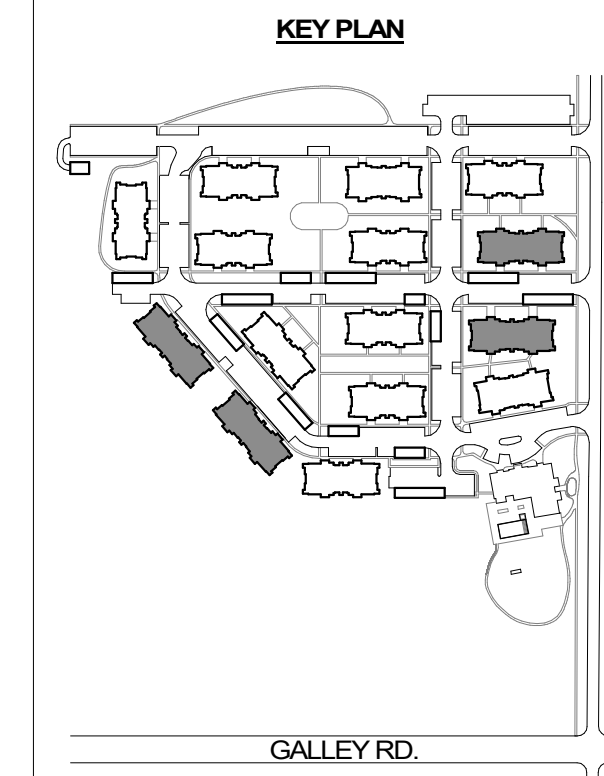
DATE	BY	DESCRIPTION

**TYPE I - LEVEL 2 & 3 FLOOR PLAN**

**A1.12**  
19 OF 28



**1 BUILDING TYPE I - LEVEL 2 FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



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Tel. 719.471.0073  
Fax: 719.471.0267

www.nescolorado.com

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**GENERAL NOTES**

- REFER TO KEY PLAN ON THIS SHEET FOR LOCATION OF BUILDING TYPES.
- EXTERIOR DIMS AND GRID LINES ARE TO EXTERIOR FACE OF WOOD SHEATHING OR CENTERLINE OF DEMISING WALL, U.N.O.
- ALL FLOOR / WALL PENETRATIONS TO BE FIRE STOPPED W/ AN APPROVED UL LISTED SYSTEM WHICH RATING IS EQUIVALENT OR HIGHER TO THAT OF THE FLOOR/WALL ASSEMBLY IT PASSES THROUGH.
- SEE A6 SERIES SHEETS FOR UNIT PLANS.
- SEE A7 SERIES SHEETS FOR DOOR & WINDOW INFORMATION.
- SEE A5 SERIES FOR ENLARGED BREEZEWAY, STAIR AND BALCONY PLANS.
- ALL BUILDING ELEMENTS, SECTION CUTS AND DIMENSIONS MIRROR ALONG GRIDS 1-4 & 1-B FOR BUILDING I, 2-4 & 2-B FOR BUILDING II AND 3-4 & 3-B FOR BUILDING III.

**OWNER / DEVELOPER:**  
**JACKSON DEARBORN, LLC**  
404 S. WELLS STREET  
SUITE # 400  
CHICAGO, IL 60607  
CONTACT: DIANE OLIMSTEAD  
TEL: 734.216.2577

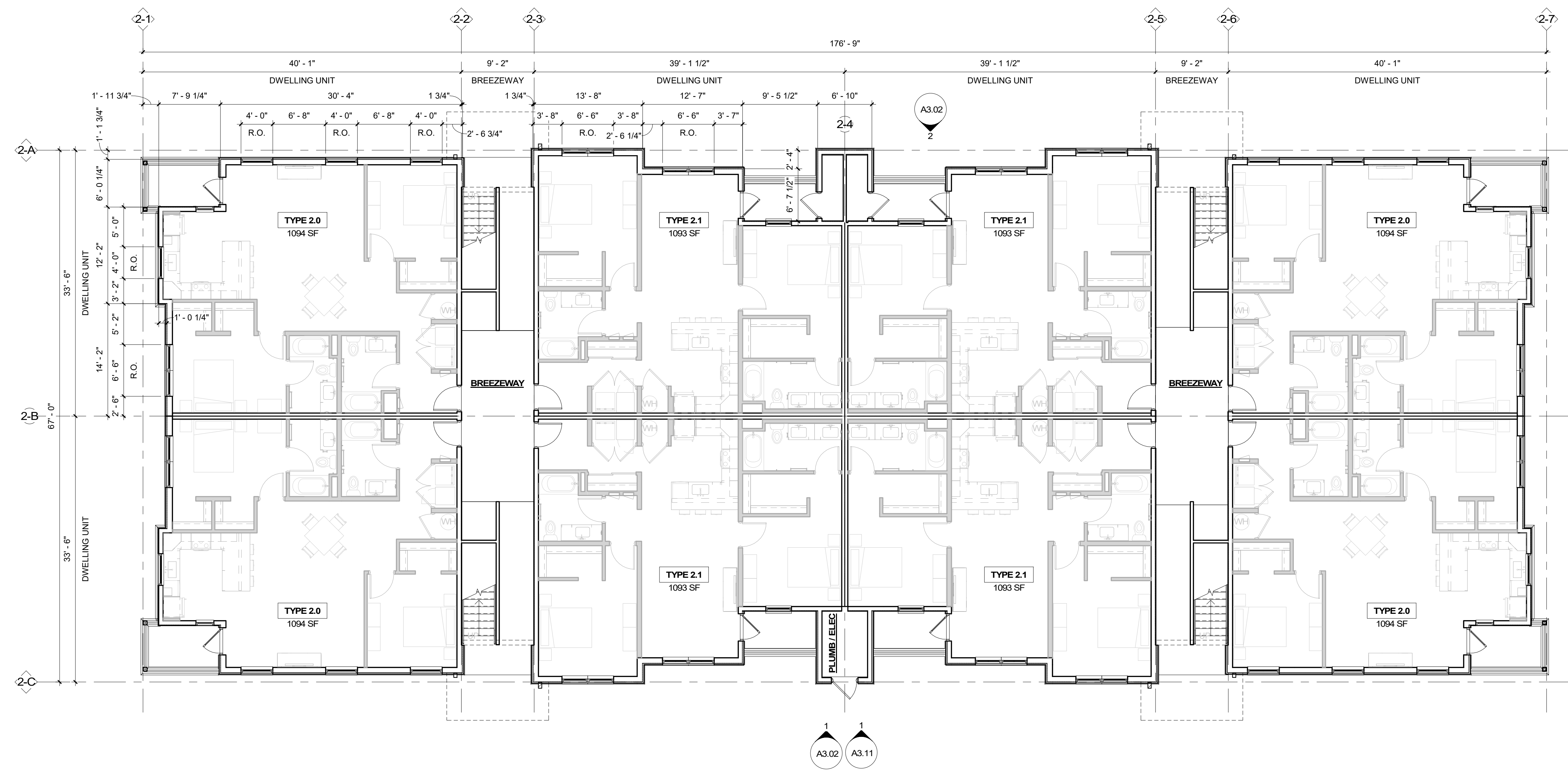
**ARCHITECT:**  
**LCM ARCHITECTS**  
819 SOUTH WABASH AVE  
FIFTH FLOOR  
CHICAGO, IL 60605  
TEL: 312.913.1717

**CIVIL ENGINEER:**  
**JR ENGINEERING**  
5475 TECH CENTER DRIVE  
SUITE # 235  
COLORADO SPRINGS, CO 80919  
CONTACT: MIKE BRAMBLETT  
TEL: 303.267.6240

**STRUCTURAL ENGINEER:**  
**MARTINO & LUTH, INC**  
999 18TH STREET  
SUITE 855 NORTH  
DENVER, CO 80202  
TEL: 303.260.7118

**MEP ENGINEER:**  
**SALAS O'BRIEN**  
815 SOUTH WABASH AVENUE  
CHICAGO, IL 60605  
TEL: 312.786.4310

**FLOOR PLAN KEYNOTES**



**SOLACE APARTMENTS**  
SITE DEVELOPMENT PLAN

DATE: 11/18/2020  
PROJECT MGR: PROJECT MGR  
PREPARED BY: PREPARED BY

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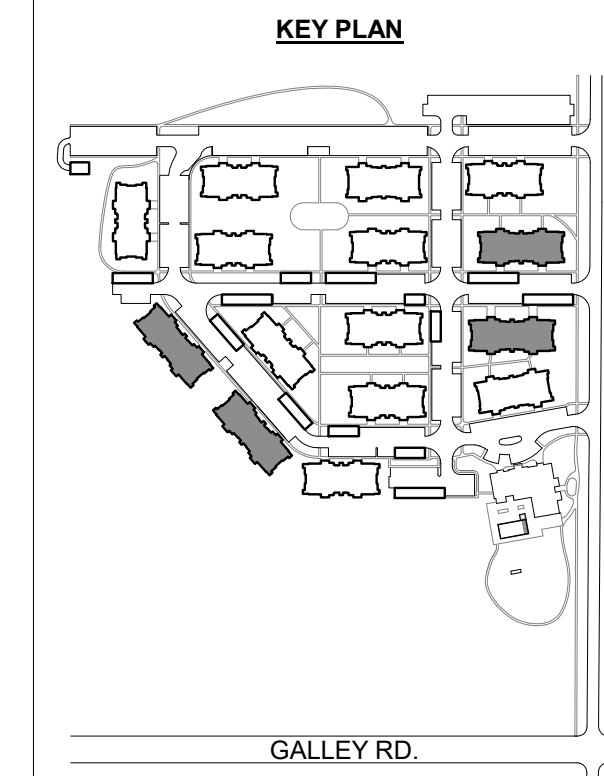
**ISSUE TYPE**

DATE	BY	DESCRIPTION

**TYPE II - LEVEL 1 FLOOR PLAN**

**A1.21**  
19 OF 28

**1 BUILDING TYPE II - LEVEL 1 FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



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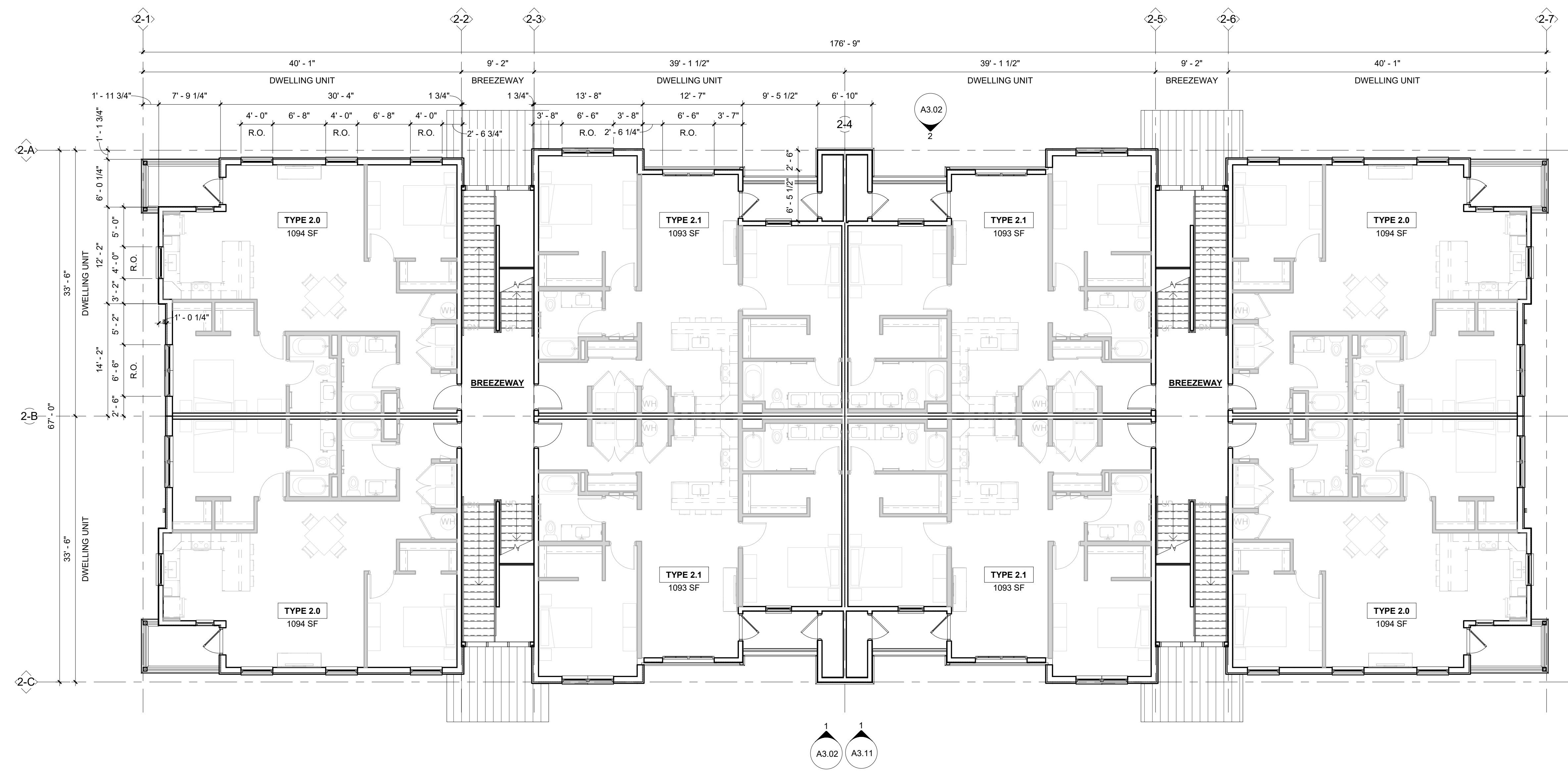
**ARCHITECT:**  
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**FLOOR PLAN KEYNOTES**



**SOLACE APARTMENTS**

SITE DEVELOPMENT PLAN

DATE: 11/18/2020  
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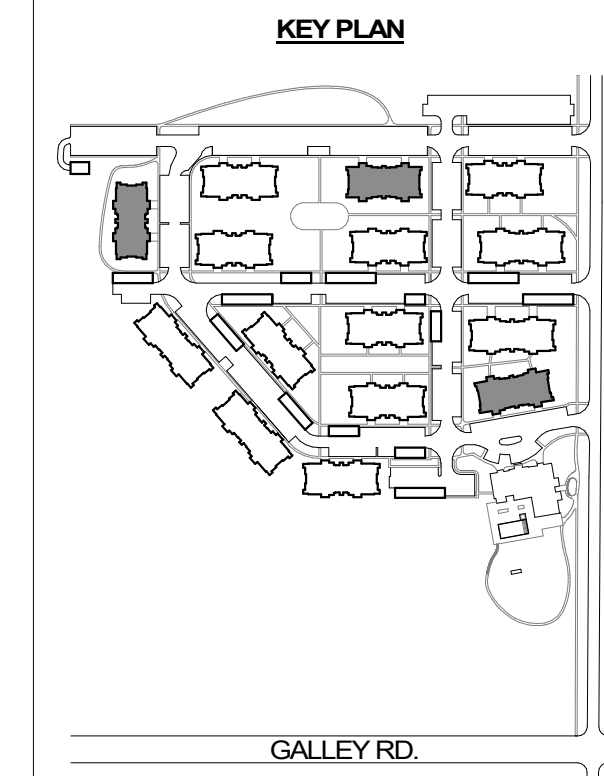
DATE	BY	DESCRIPTION

**TYPE II - LEVEL 2 & 3 FLOOR PLAN**

**A1.22**  
20 OF 28

**1 BUILDING TYPE II - LEVEL 2 FLOOR PLAN**

SCALE: 1/8" = 1'-0"



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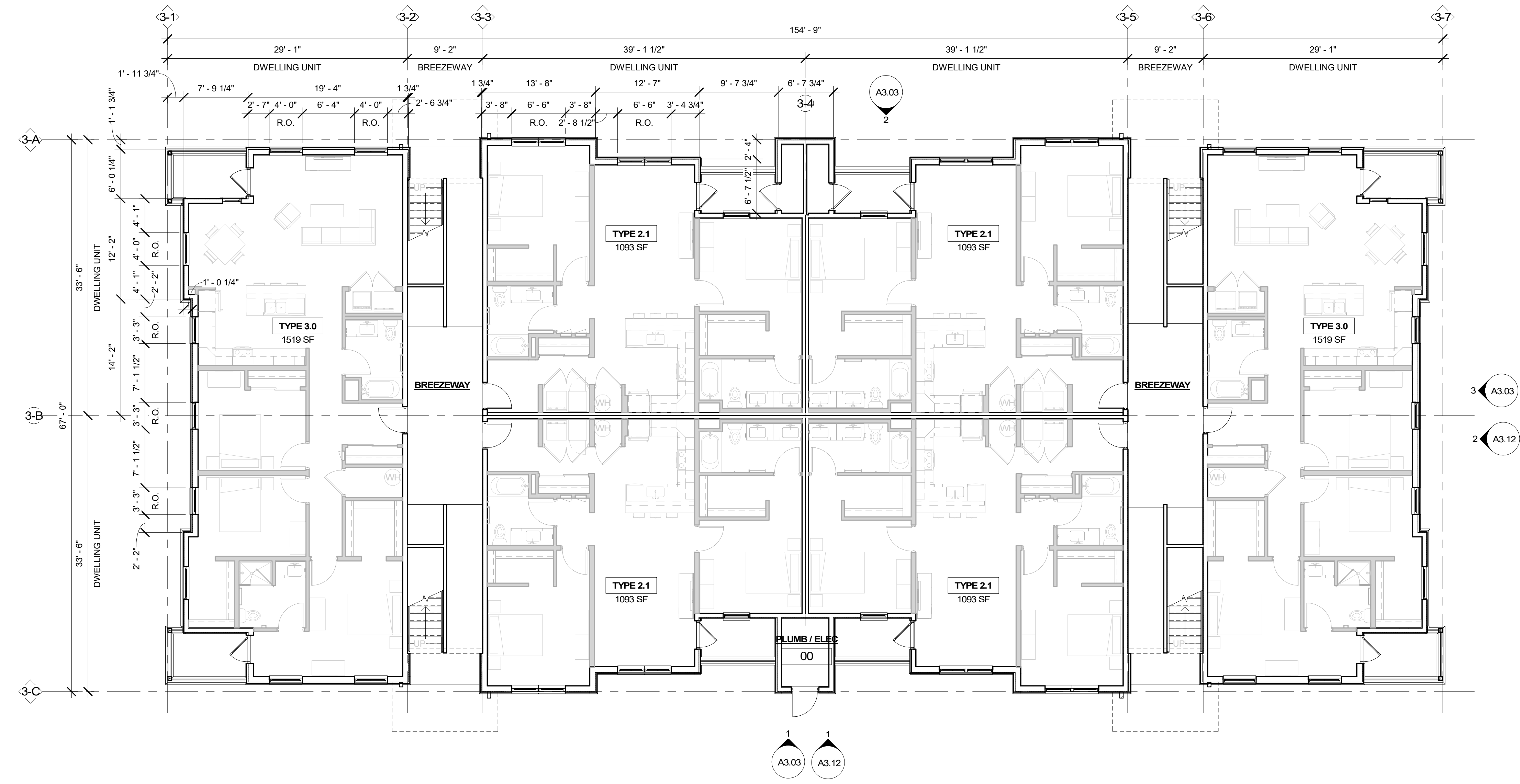
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**FLOOR PLAN KEYNOTES**



**SOLACE APARTMENTS**

SITE DEVELOPMENT PLAN

DATE: 11/18/2020  
PROJECT MGR: PROJECT MGR  
PREPARED BY: PREPARED BY

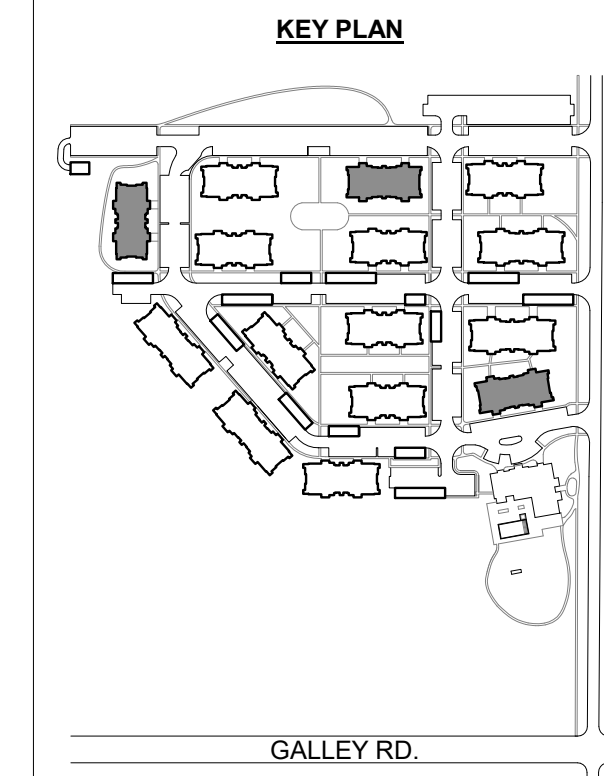
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ISSUE TYPE

DATE	BY	DESCRIPTION

**TYPE III - LEVEL 1 FLOOR PLAN**

**A1.31**  
21 OF 28



**GENERAL NOTES**

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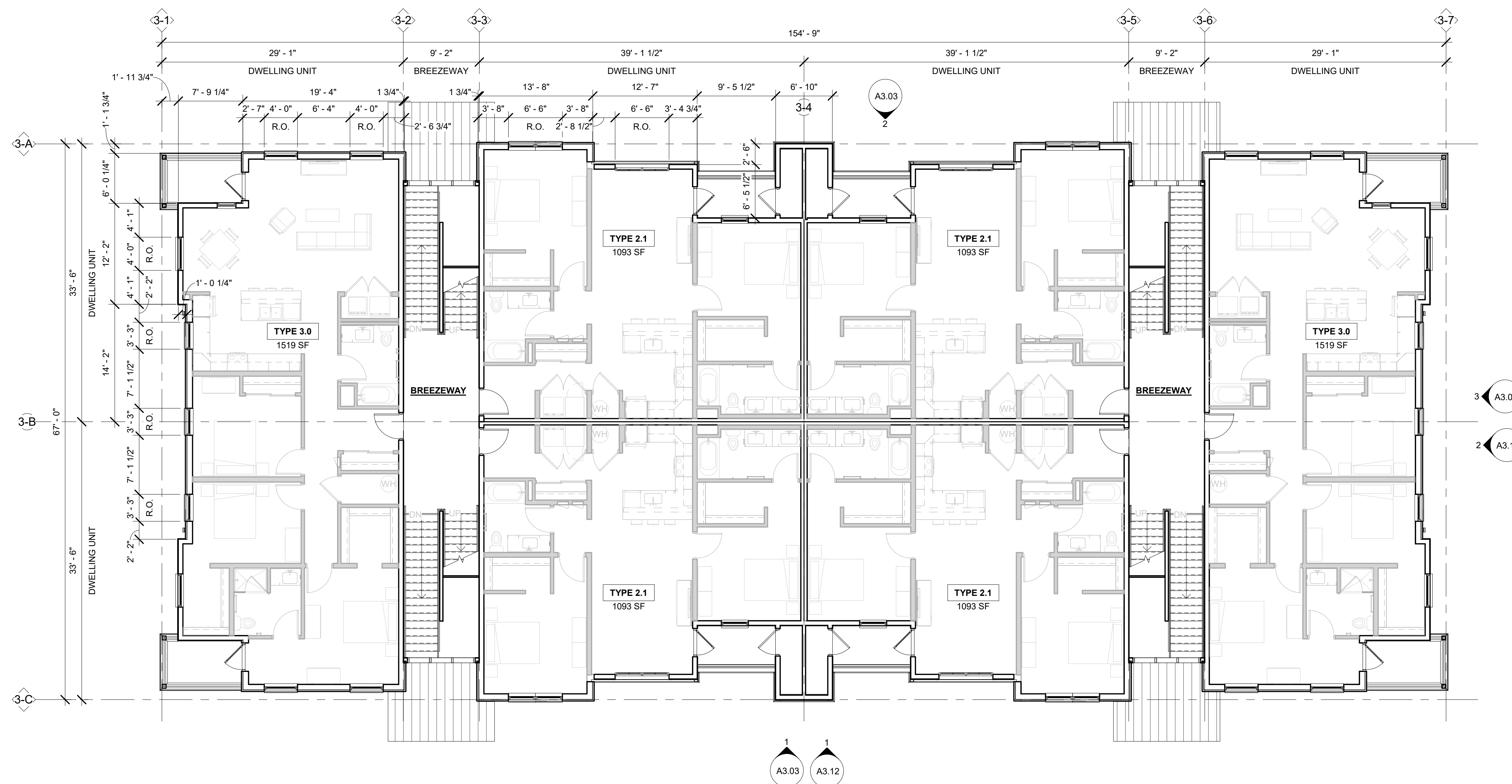
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**FLOOR PLAN KEYNOTES**



**SOLACE APARTMENTS**

SITE DEVELOPMENT PLAN

DATE: 11/18/2020  
PROJECT MGR: PROJECT MGR  
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ISSUE TYPE

DATE	BY	DESCRIPTION

**TYPE III - LEVEL 2 & 3 FLOOR PLAN**

**A1.32**  
22 OF 28

**1 BUILDING TYPE III - LEVEL 2 FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

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**SOLACE APARTMENTS**

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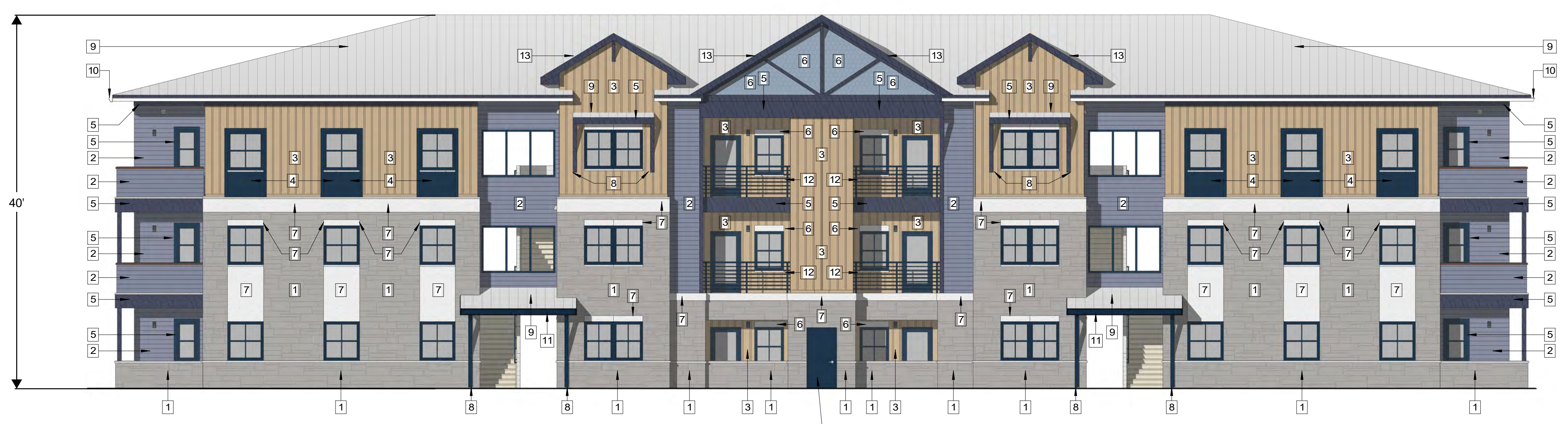
**TYPE I BUILDING - EXTERIOR FINISHES**

**A3.10**  
23 OF 28



**2 BLDG I - SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH KEY									
NO.	MATERIAL	NO.	MATERIAL	NO.	MATERIAL	NO.	MATERIAL	NO.	MATERIAL
1	STONE PANEL SIDING & SILL B.O.D.: VERSETTA STONE COLOR: xxx	4	FIBER CEMENT BD SIDING (B.O.D.: HARDIE REVEAL PANEL SYSTEM COLOR: XX	7	EIFS BAND COLOR: XX	10	MTL GUTTER & DOWNSPOUT COLOR: DARK GREY	13	PVC FASCIA TRIM BOARD COLOR: XX
2	FIBER CEMENT BD (LAP SIDING) B.O.D.: HARDIE PLANK COLOR: XX	5	FIBER CEMENT BD (TRIM) B.O.D.: HARDIE TRIM COLOR: XX	8	ROOF BRACKETS B.O.D.: PRE-FABRICATED COLOR: DARK GREY	11	PRE-FINISHED MTL TRIM @ FLASHING COLOR: XX		
3	FIBER CEMENT BD (VERTICAL SIDING) B.O.D.: HARDIE PANEL COLOR: XX	6	FIBER CEMENT BD (SHINGLE) B.O.D.: HARDIE SHINGLE COLOR: XX	9	STANDING SEAM METAL CANOPY B.O.D.: COLOR: LIGHT GREY	12	BALCONY GUARDRAILS COLOR: DARK GREY		



**1 BLDG I - FRONT & REAR ELEVATION**  
SCALE: 1/8" = 1'-0"

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**SOLACE APARTMENTS**

SITE DEVELOPMENT PLAN

DATE: 11/18/2020  
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ISSUE TYPE

DATE	BY	DESCRIPTION

**TYPE II BUILDING - EXTERIOR FINISHES**

**A3.11**  
24 OF 28



**2 BUILDING II - SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH KEY									
NO.	MATERIAL	NO.	MATERIAL	NO.	MATERIAL	NO.	MATERIAL	NO.	MATERIAL
1	STONE PANEL SIDING & SILL B.O.D.: VERSETTA STONE COLOR: xxx	4	FIBER CEMENT BD SIDING (B.O.D.: HARDIE REVEAL PANEL SYSTEM COLOR: XX	7	EIFS BAND COLOR: XX	10	MTL GUTTER & DOWNSPOUT COLOR: DARK GREY	13	PVC FASCIA TRIM BOARD COLOR: XX
2	FIBER CEMENT BD (LAP SIDING) B.O.D.: HARDIEPLANK COLOR: XX	5	FIBER CEMENT BD (TRIM) B.O.D.: HARDIETRIM COLOR: XX	8	ROOF BRACKETS B.O.D.: PRE-FABRICATED COLOR: DARK GREY	11	PRE-FINISHED MTL TRIM @ FLASHING COLOR: XX		
3	FIBER CEMENT BD (VERTICAL SIDING) B.O.D.: HARDIEPANEL COLOR: XX	6	FIBER CEMENT BD (SHINGLE) B.O.D.: HARDIESHINGLE COLOR: XX	9	STANDING SEAM METAL CANOPY B.O.D.: COLOR: LIGHT GREY	12	BALCONY GUARDRAILS COLOR: DARK GREY		



**1 BUILDING II - FRONT & REAR ELEVATIONS**  
SCALE: 1/8" = 1'-0"

PLANNING/LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

SEAL

ISSUE INFO

ISSUE REVISION

SHEET TITLE

SHEET NUMBER

PLANTING



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SITE DEVELOPMENT PLAN

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**TYPE III BUILDING - EXTERIOR FINISHES**

**A3.12**  
25 OF 28

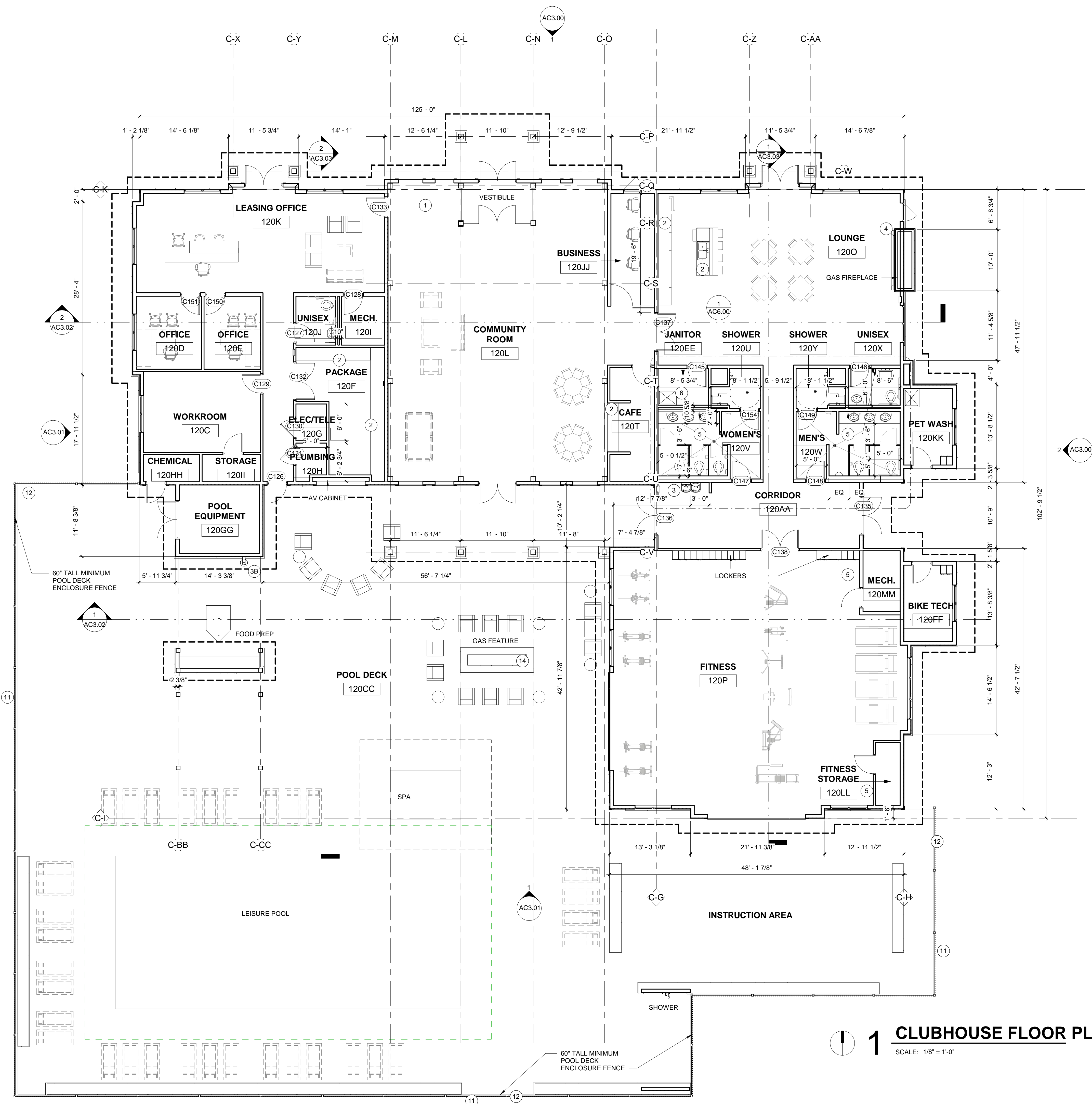


**2 BUILDING III - SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"

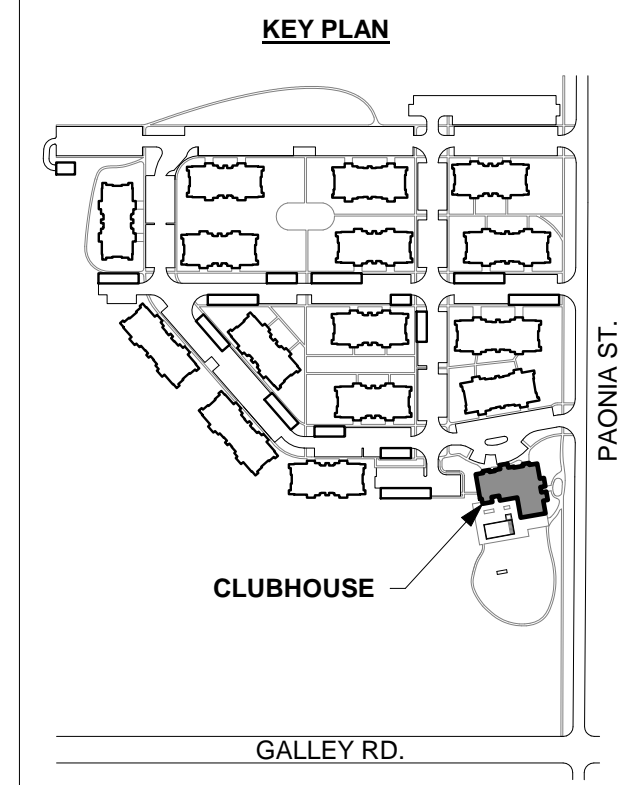
EXTERIOR FINISH KEY					
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				10	MTL GLITTER & DOWNSPOUT COLOR: DARK GREY
				11	PRE-FINISHED MTL TRIM @ FLASHING COLOR: XX
				12	BALCONY GUARDRAILS COLOR: DARK GREY
				13	PVC FASCIA TRIM BOARD COLOR: XX



**1 BUILDING III - FRONT & REAR ELEVATIONS**  
SCALE: 1/8" = 1'-0"



**1 CLUBHOUSE FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**FLOOR PLAN GENERAL NOTES**

- A. EXTERIOR DIMS ARE TO FACE OF WALL OR CENTERLINE OF DEMISING WALL, U.N.O.
- B. SEE A3 SHEETS FOR DOOR & WINDOW INFORMATION.
- C. ALL FLOOR/WALL PENETRATIONS TO BE FIRE STOPPED W/ AN APPROVED UL LISTED SYSTEM WHICH RATING IS EQUIVALENT OR HIGHER TO THAT OF THE FLOOR/WALL ASSEMBLY IT PASSES THROUGH.
- D. SEE A6 SHEETS FOR UNIT INFORMATION INCLUDING WINDOW DIMENSIONS.

**AC1.00 KEYNOTES**

- 1 CONCRETE SLAB-ON-GRADE WITH STAMPED FINISH. REFER TO STRUCTURAL DWGS., TYP.
- 2 SOLID SURFACE COUNTERTOP AT 34" A.F.F.
- 3 HI-LOW DRINKING FOUNTAIN.
- 3B WALL-MOUNTED DRINKING FOUNTAIN.
- 4 LINEAR ELECTRIC FIREPLACE - B.O.D. MODERN FLAMES LANDSCAPE FULLVIEW LFV2-120/12-SH FIREPLACE.
- 5 FRAMELESS, WALL-MOUNTED, FILM-BACKED MIRRORS.
- 6 36 X 48 S.S. WASH BASIN W/ ADJUSTABLE LEGS AND CUTOFF FOR HOT/COLD WATER ATTACHMENT.
- 7 EXTERIOR HOSEBIB / SILLCOCK
- 8 CONDENSING UNITS. SEE MECHANICAL DWGS.
- 9 EMERGENCY TELEPHONE
- 10 SWIMMING POOL AND SPA TRANSFORMER. SEE ELEC. AND POOL DWGS.
- 11 5'-0" HIGH DECORATIVE METAL FENCE
- 12 POOL DECK ENTRANCE GATE - SELF-CLOSING & SELF-LATCHING 5'-0" HIGH METAL GATE
- 13 STORM DRAIN PER CIVIL
- 14 EXTERIOR GAS FEATURE

**POOL DECK LIGHTING LEVEL**

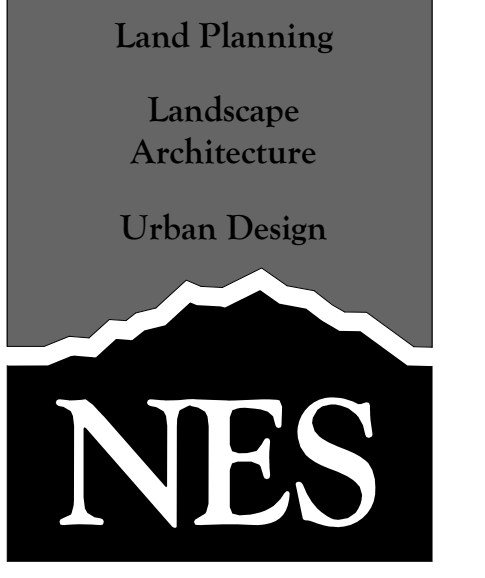
REQUIRED: (X) LUMENS / (Y) WATTS PER SF  
DECK AREA = X,XXX SF

**LM / WATTS REQUIRED =**  
(XX,XXX) LM / (Y,YYY) W

**TYPE L2 (MODEL) : QTY (4)**  
(X,XXX)K: (XX,XXX) LM / (YY) W EACH  
TOTAL = (XX,XXX) LM / (YYY) W

**TYPE L4 (MODEL) : QTY (4)**  
(X,XXX)K: (XX,XXX) LM / (YY) W EACH  
TOTAL = (XX,XXX) LM / (YYY) W

**LM / WATTS PROVIDED =**  
(XX,XXX) LM / (YYY) W



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TEL: 303.267.1717

**CIVIL ENGINEER:**  
**JR ENGINEERING**  
5475 TECH CENTER DRIVE  
SUITE # 235  
COLORADO SPRINGS, CO 80919  
CONTACT: MIKE BRAMBLETT  
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**STRUCTURAL ENGINEER:**  
**MARTINO & LUTH, INC**  
999 18TH STREET  
SUITE 855 NORTH  
DENVER, CO 80202  
TEL: 303.260.7118

**MEP ENGINEER:**  
**SALAS O'BRIEN**  
815 SOUTH WABASH AVENUE  
CHICAGO, IL 60605  
TEL: 312.786.4310

**SOLACE APARTMENTS**

**SITE DEVELOPMENT PLAN**

DATE: 11/18/2020  
PROJECT MGR: PROJECT MGR  
PREPARED BY: PREPARED BY

**NOT FOR CONSTRUCTION**

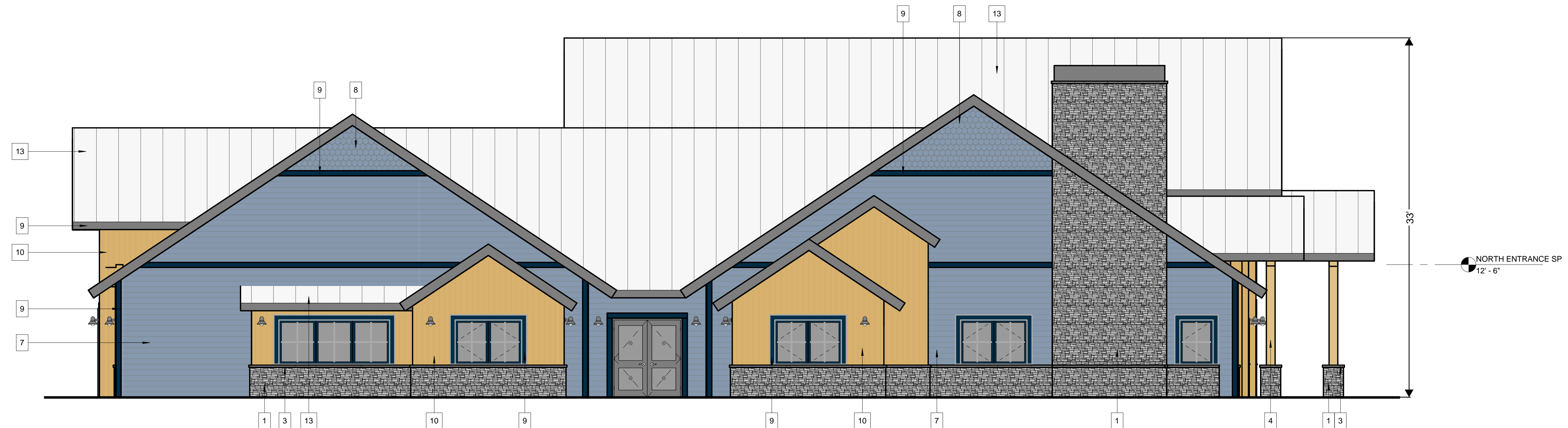
**ISSUE TYPE**

DATE	BY	DESCRIPTION

**CLUBHOUSE - FLOOR PLAN**

**AC1.00**  
26 OF 28

EXTERIOR FINISH KEY											
NO.	MATERIAL	NO.	MATERIAL	NO.	MATERIAL	NO.	MATERIAL	NO.	MATERIAL		
1	STONE SIDING B.O.D.: BORAL VERSETTA STONE COLOR: LEDGESTONE SAND	4	PREFINISHED HEAVY TIMBER/ENGINEERED TIMBER	7	FIBER CEMENT. LAP SIDING COLOR #1: (BLUE)	10	FIBER CEMENT BD. & BATTEN COLOR #2: (NATURAL)	13	STANDING SEAM METAL	16	STEEL GATES COLOR: DARK BRONZE
2	CAST STONE PIER AND WALL CAPS COLOR: TBD	5	NOT USED	8	FIBER CEMENT. SCALLOPED SIDING COLOR #1: (BLUE)	11	FIBER CEMENT TRIM BOARD	14	PREFINISHED MTL. GUTTER & DOWNSPOUT COLOR: GALVANIZED	17	
3	PRE-CAST SILL B.O.D.: BORAL VERSETTA STONE SILL COLOR: SAND	6	NOT USED	9	FIBER CEMENT TRIM BOARD COLOR #1 (BLUE)	12	NOT USED	15		18	



**2 EAST ELEVATION**

SCALE: 3/16" = 1'-0"



**1 NORTH ELEVATION**

SCALE: 3/16" = 1'-0"

Land Planning  
Landscape  
Architecture  
Urban Design

N.E.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903

Tel. 719.471.0073  
Fax 719.471.0267

www.nescolorado.com

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**OWNER / DEVELOPER:**  
**JACKSON DEARBORN, LLC**  
404 S. WELLS STREET  
SUITE # 400  
CHICAGO, IL 60607  
CONTACT: DAINE OLIMSTEAD  
TEL: 734.216.2577

**ARCHITECT:**  
**LCM ARCHITECTS**  
819 SOUTH WABASH AVE  
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TEL: 312.786.4310

**SOLACE APARTMENTS**

SITE DEVELOPMENT PLAN

DATE: 11/18/2020  
PROJECT MGR: PROJECT MGR  
PREPARED BY: PREPARED BY

NOT FOR CONSTRUCTION

ISSUE TYPE

DATE	BY	DESCRIPTION

**CLUBHOUSE - OVERALL ELEVATIONS**

**AC3.00**  
27 OF 28

EXTERIOR FINISH KEY											
NO.	MATERIAL	NO.	MATERIAL	NO.	MATERIAL	NO.	MATERIAL	NO.	MATERIAL		
1	STONE SIDING B.O.D.: BORAL VERSETTA STONE COLOR: LEDGESTONE SAND	4	PREFINISHED HEAVY TIMBER/ENGINEERED TIMBER	7	FIBER CEMENT. LAP SIDING COLOR #1: (BLUE)	10	FIBER CEMENT BD. & BATTEN COLOR #2: (NATURAL)	13	STANDING SEAM METAL	16	STEEL GATES COLOR: DARK BRONZE
2	CAST STONE PIER AND WALL CAPS COLOR: TBD	5	NOT USED	8	FIBER CEMENT. SCALLOPED SIDING COLOR #1: (BLUE)	11	FIBER CEMENT TRIM BOARD	14	PREFINISHED MTL. GUTTER & DOWNSPOUT COLOR: GALVANIZED	17	
3	PRE-CAST SILL B.O.D.: BORAL VERSETTA STONE SILL COLOR: SAND	6	NOT USED	9	FIBER CEMENT TRIM BOARD COLOR #1 (BLUE)	12	NOT USED	15		18	



**2 WEST ELEVATION**

SCALE: 3/16" = 1'-0"



**1 SOUTH ELEVATION**

SCALE: 3/16" = 1'-0"

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**SOLACE APARTMENTS**

SITE DEVELOPMENT PLAN

DATE: 11/18/2020  
PROJECT MGR: PROJECT MGR  
PREPARED BY: PREPARED BY

NOT FOR CONSTRUCTION

ISSUE TYPE

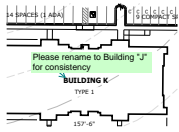
DATE	BY	DESCRIPTION

**CLUBHOUSE - OVERALL ELEVATIONS**

**AC3.01**  
28 OF 28

# Site Development Plan\_V1.pdf Markup Summary

Sophie Kiepe (11)



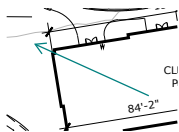
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**Page Label:** [1] Plan(2)  
**Author:** Sophie Kiepe  
**Date:** 1/11/2021 1:23:34 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Please rename to Building "J" for consistency



**Subject:** Architect  
**Page Label:** [1] Plan(2)  
**Author:** Sophie Kiepe  
**Date:** 1/11/2021 1:32:23 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Please show/callout bicycle parking spaces



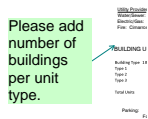
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**Page Label:** [1] Plan(2)  
**Author:** Sophie Kiepe  
**Date:** 1/11/2021 1:33:09 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Please provide a detail for the bicycle racks.



**Subject:** Architect  
**Page Label:** [1] Cover  
**Author:** Sophie Kiepe  
**Date:** 1/11/2021 1:36:04 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Please add number of buildings per unit type.

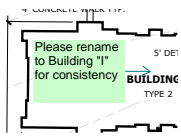


**Subject:** Architect  
**Page Label:** [1] Cover  
**Author:** Sophie Kiepe  
**Date:** 1/11/2021 1:36:04 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

The Letter of Intent indicates that no floodplain development permit will be requested for this project. Please revise.

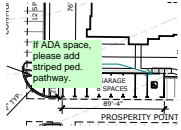


**Subject:** Architect  
**Page Label:** [1] Cover  
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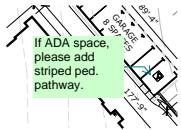
**Subject:** Architect  
**Page Label:** [1] Plan(2)  
**Author:** Sophie Kiepe  
**Date:** 1/11/2021 10:52:52 AM  
**Status:**  
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**Layer:**  
**Space:**

Please rename to Building "I" for consistency



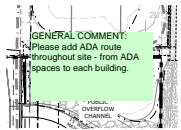
**Subject:** Architect  
**Page Label:** [1] Plan(2)  
**Author:** Sophie Kiepe  
**Date:** 1/11/2021 11:32:06 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

If ADA space, please add striped ped. pathway.



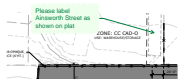
**Subject:** Architect  
**Page Label:** [1] Plan(2)  
**Author:** Sophie Kiepe  
**Date:** 1/11/2021 11:32:41 AM  
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**Layer:**  
**Space:**

If ADA space, please add striped ped. pathway.



**Subject:** Architect  
**Page Label:** [1] Plan(2)  
**Author:** Sophie Kiepe  
**Date:** 1/11/2021 2:58:51 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

GENERAL COMMENT: Please add ADA route throughout site - from ADA spaces to each building.



**Subject:** Callout  
**Page Label:** [1] Plan(2)  
**Author:** Sophie Kiepe  
**Date:** 1/25/2021 10:55:35 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Please label Ainsworth Street as shown on plat

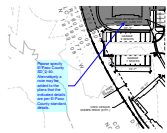
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## Daniel Torres (5)



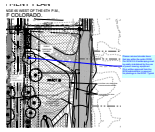
**Subject:** Callout  
**Page Label:** [1] Cover  
**Author:** Daniel Torres  
**Date:** 1/28/2021 1:20:28 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

The letter of intent also indicates that it is subject to the FEMA CLOMR/LOMR process. Revise the note and/or the letter of intent accordingly so that they are consistent and correct.



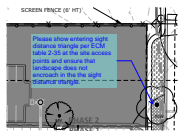
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**Page Label:** [1] Plan(2)  
**Author:** Daniel Torres  
**Date:** 1/28/2021 1:37:18 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Please specify El Paso County SD\_2-40.  
Alternatively a note may be added to the plans that the indicated details are per El Paso County standard details.



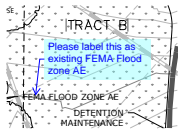
**Subject:** Callout  
**Page Label:** [1] LS PLAN (7)  
**Author:** Daniel Torres  
**Date:** 1/31/2021 4:26:24 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Please remove/relocate trees that are within the public ROW. Per ECM 2.5.8 landscaping must be easily maintained by the use of power mowing equipment. Prior written approval from the ECM administrator is required for plantings in the ROW. Typical



**Subject:** Callout  
**Page Label:** [1] LS PLAN (7)  
**Author:** Daniel Torres  
**Date:** 1/31/2021 4:44:44 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Please show entering sight distance triangle per ECM table 2-35 at the site access points and ensure that landscape does not encroach in the the sight distance triangle.



**Subject:** Callout  
**Page Label:** [1] LS PLAN (7)  
**Author:** Daniel Torres  
**Date:** 1/31/2021 4:46:07 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Please label this as existing FEMA Flood zone AE