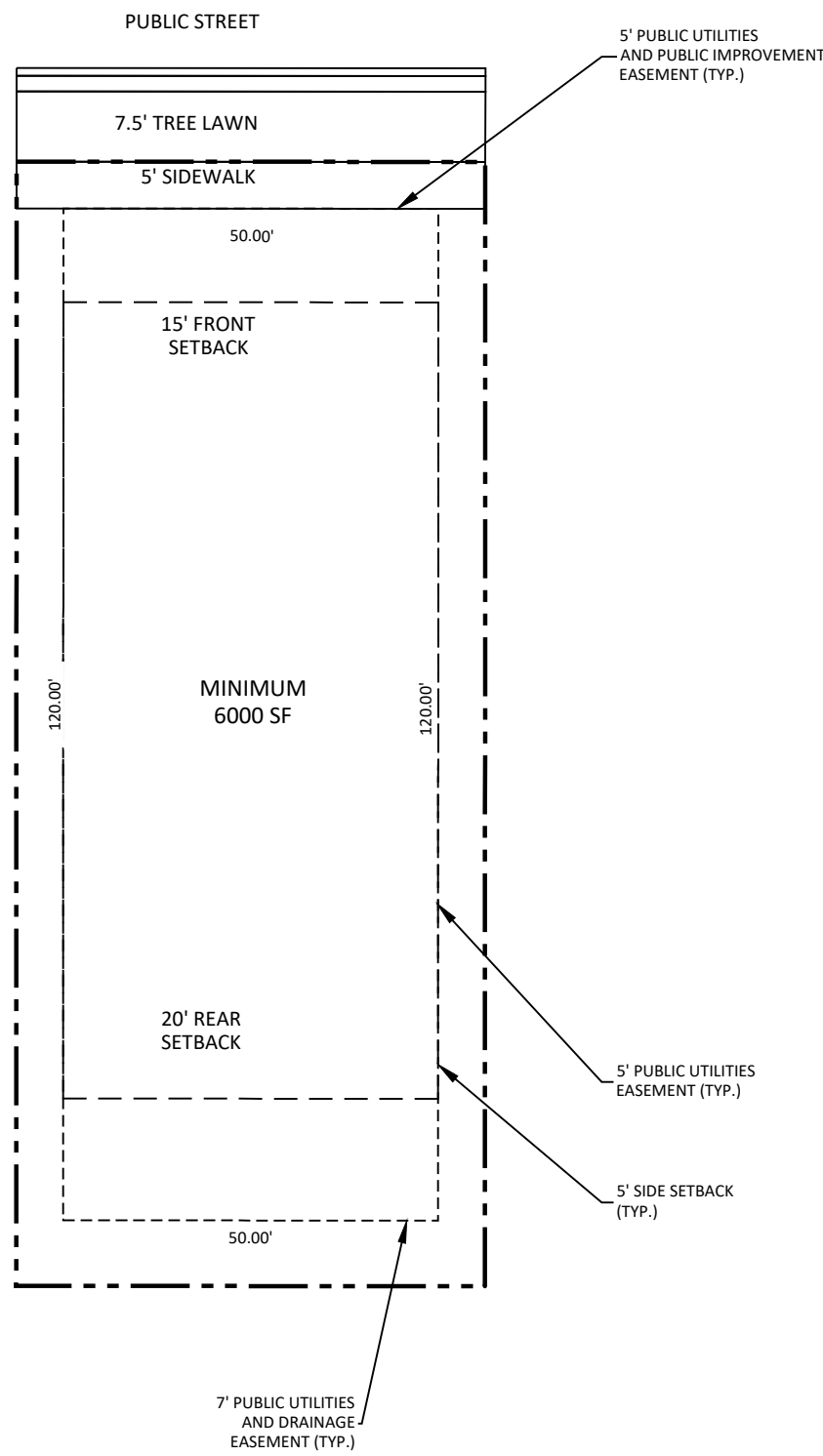
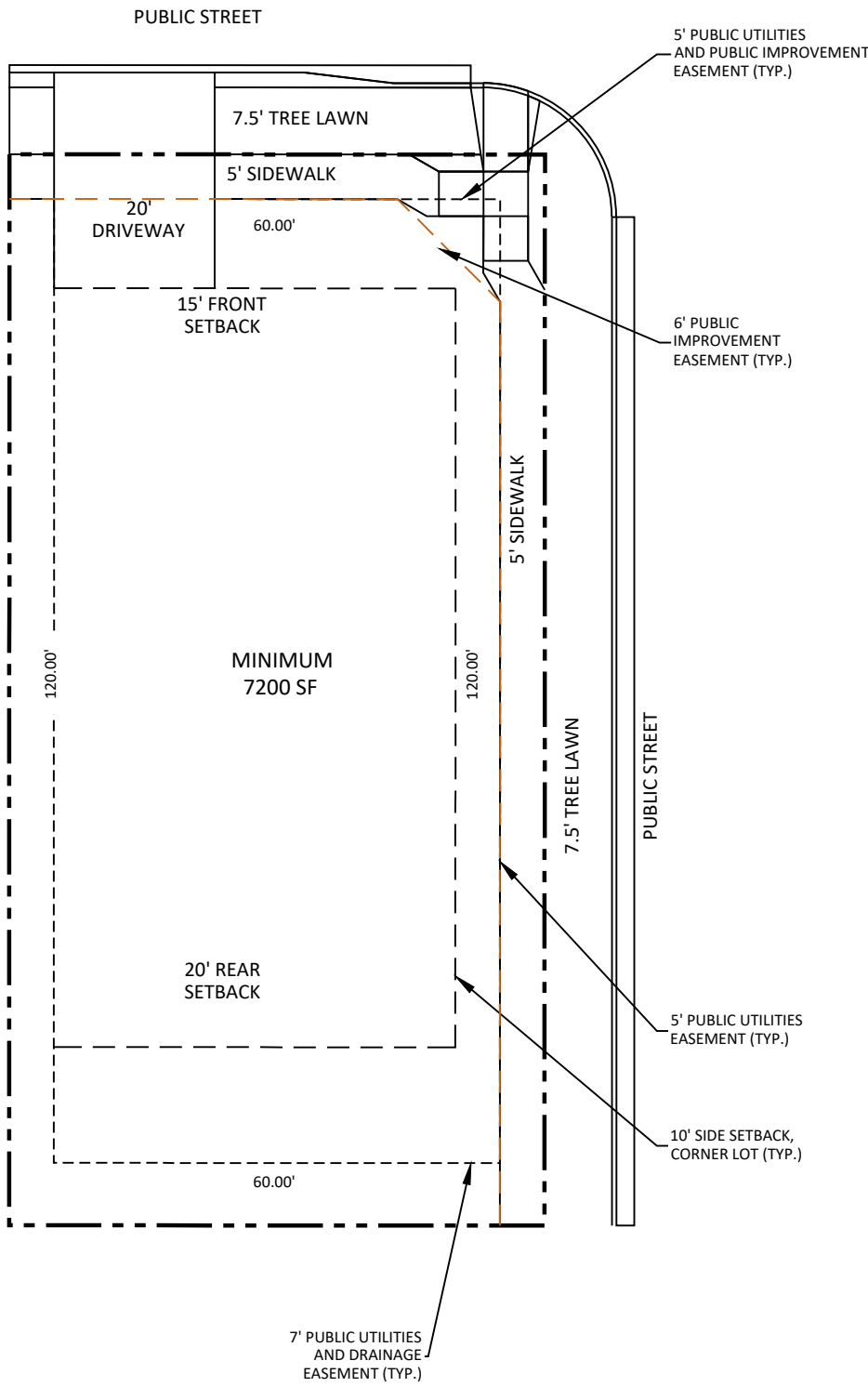


LOT TYPICAL- RL

TYPICAL LOT DIAGRAM



TYPICAL CORNER LOT DIAGRAM

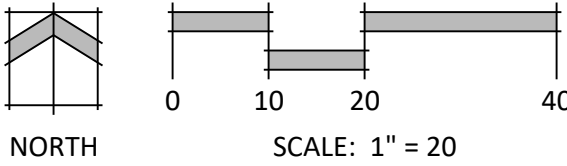


LOT STANDARDS (RL)

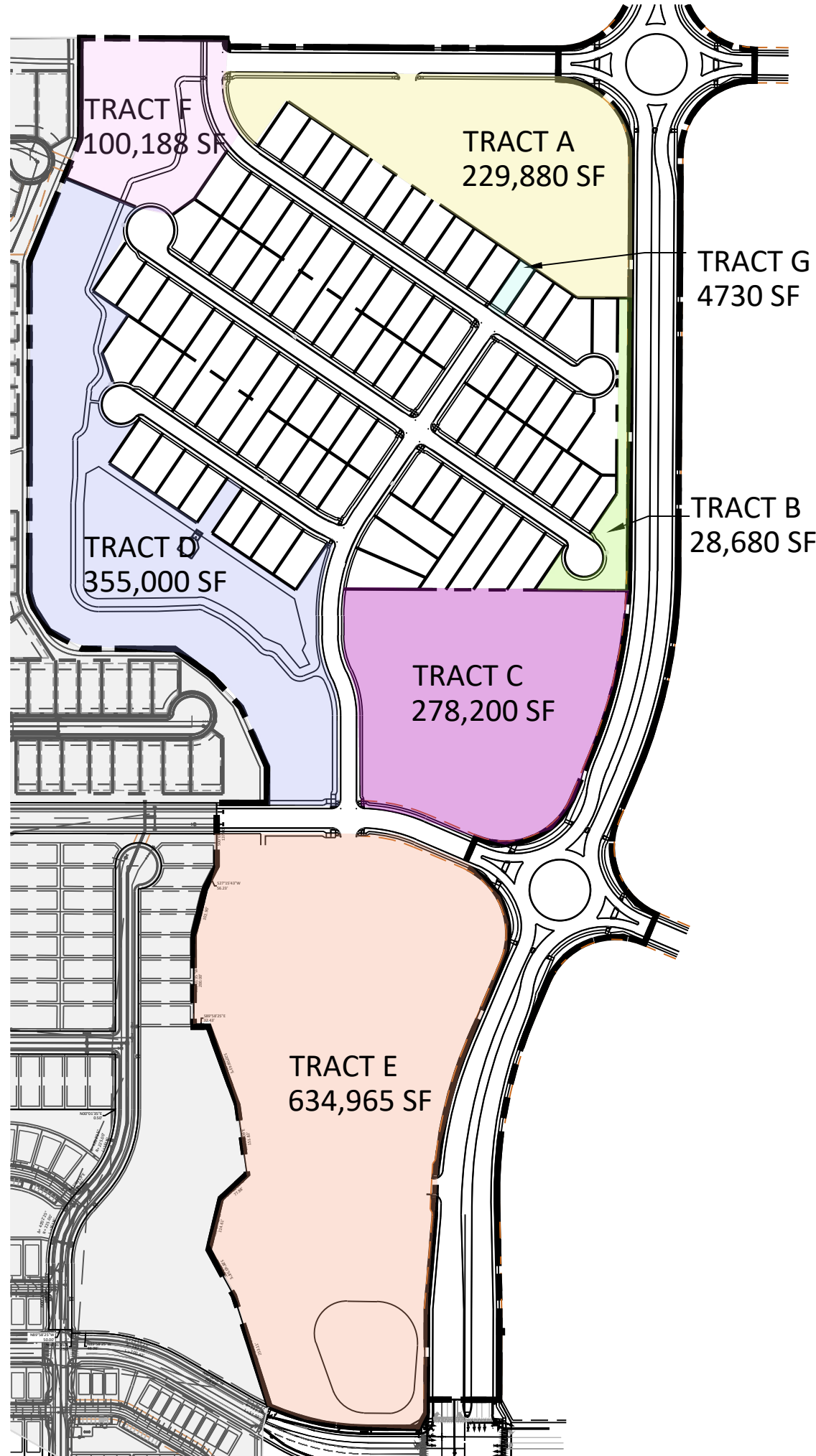
SETBACKS (SEE TYPICAL LOT DIAGRAM)

FRONT: 15' MINIMUM
SIDE: 5' MINIMUM
10' MINIMUM ADJACENT TO R.O.W.
REAR: 20' MINIMUM

MINIMUM LOT SIZE: 6,000 SF
MINIMUM LOT WIDTH: 40' (AT FRONT SETBACK)
MAXIMUM LOT COVERAGE: 45%
MAXIMUM BUILDING HEIGHT: 35'
SETBACK ENCROACHMENTS: UNCOVERED PATIOS, DECKS, PORCHES, STOOPS, AND ACCESSORY STRUCTURES, AND FIREPLACES SHALL NOT BE CLOSER THAN 10' FROM REAR PROPERTY LINE. COVERED OR ENCLOSED PATIOS, DECKS, PORCHES, STOOPS AND ACCESSORY STRUCTURES ARE NOT ALLOWED IN SETBACKS. ENCROACHMENTS DO NOT OVERRIDE EASEMENTS.
MINIMUM DRIVEWAY LENGTH: 20'

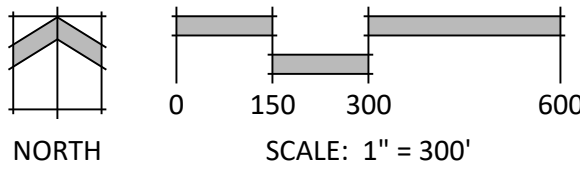


TRACT PLAN



TRACT TABLE

NAME	SIZE	PROPOSED USE	OWNED BY	MAINTAINED BY
A	5.3 AC (229,880 SF)	FUTURE DEVELOPMENT	NORTH MEADOWS METRO DISTRICT NO.3	NORTH MEADOWS METRO DISTRICT NO.3
B	.7 AC (28,680 SF)	DRAINAGE, OPEN SPACE, UTILITIES	NORTH MEADOWS METRO DISTRICT NO.3	NORTH MEADOWS METRO DISTRICT NO.3
C	6.4 AC (278,200 SF)	FUTURE DEVELOPMENT	NORTH MEADOWS METRO DISTRICT NO.3	NORTH MEADOWS METRO DISTRICT NO.3
D	8.2 AC (355,000 SF)	DRAINAGE, OPEN SPACE, UTILITIES	NORTH MEADOWS METRO DISTRICT NO.3	NORTH MEADOWS METRO DISTRICT NO.3
E	14.6 AC (634,965 SF)	FUTURE DEVELOPMENT, DRAINAGE	NORTH MEADOWS METRO DISTRICT NO.3	NORTH MEADOWS METRO DISTRICT NO.3
F	2.3 AC (100,188 SF)	FUTURE PUBLIC PARK	NORTH MEADOWS METRO DISTRICT NO.3	NORTH MEADOWS METRO DISTRICT NO.3
G	.1 AC (4730 SF)	DRAINAGE, UTILITIES	NORTH MEADOWS METRO DISTRICT NO.3	NORTH MEADOWS METRO DISTRICT NO.3



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

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PERCHERON
FIL. NO. 7

DEVELOPMENT PLAN

DATE: 7.1.2025
PROJECT MGR: A.BARLOW
PREPARED BY: C.HELMINGER

ENTITLEMENT

DATE: BY: DESCRIPTION:

LOT TYPICAL & TRACTS

DP 1.1

2 OF 16

CPC #

P:\Newwood\Banning Lewis Ranch North\Percheron Phase 1 North\Drawings\Planning\DP\Percheron 2B.DP.dwg [24x36] 7/1/2025 1:03:12 PM chaimlinger

ZONING: RR-5-CAD-O

OWNER: BLH NO 3 LLC
ZONING: PDZ AO

OWNER: BLH NO 1LLC
ZONING: PDZ AO
PARCEL: 5300000766

MARCH VIKING DRIVE
PUBLIC 67' R.O.W.
COLLECTOR

PIE, TYP.

20' LANDSCAPE SETBACK

TRACT A
229,880 SF

TRACT F
PUBLIC
PARK
2.3 AC

TRACT D
355,000 SF

PROPOSED 10'
CONCRETE TRAIL

5' DETACHED
CONCRETE SIDEWALK, TYP.

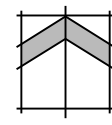
TRACT D
355,000 SF

PRIVATE FULL
SPECTRUM
DETENTION POND

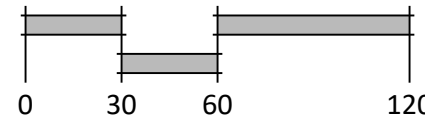
PROPOSED MAINTENANCE ROAD

MATCHLINE SHEET DP 2.0

MATCHLINE SHEET DP 2.1



NORTH



SCALE: 1" = 60'

LINETYPE LEGEND

	MATCHLINES
	EASEMENT
	LOT EASEMENT
	SETBACK
	SIDEWALK
	PROPERTY BOUNDARY
	LINE OF SIGHT



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Fax 719.471.0267

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IN ASSOCIATION WITH

PERCHERON FIL. NO. 7

DEVELOPMENT PLAN

DATE: 7.1.2025
PROJECT MGR: A.BARLOW
PREPARED BY: C.HELMLINGER

ENTITLEMENT

DATE: BY: DESCRIPTION:

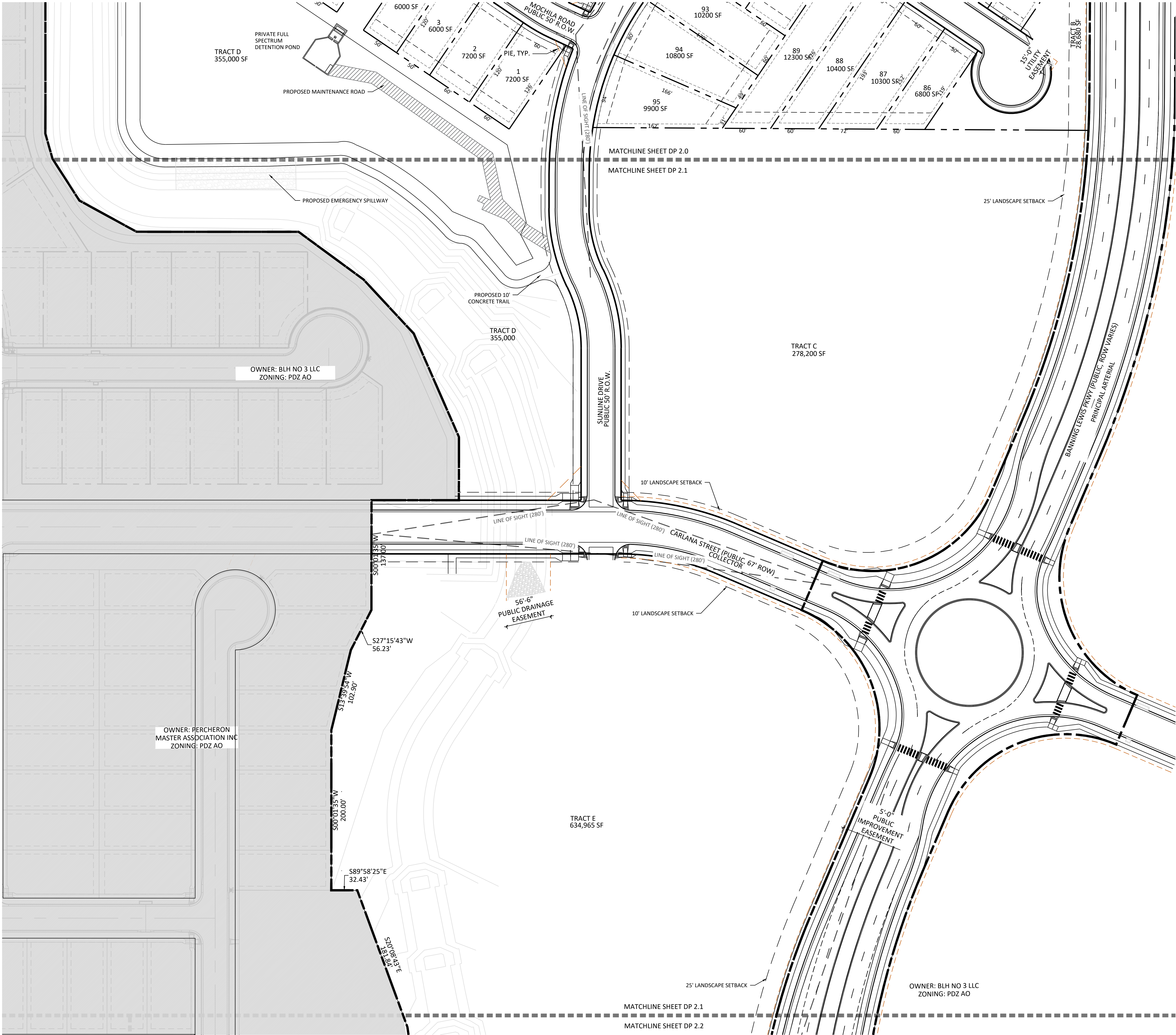
SITE PLAN

DP 2.0

3 OF 16

CPC #

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LINETYPE LEGEND	
	MATCHLINES
	EASEMENT
	LOT EASEMENT
	SETBACK
	SIDEWALK
	PROPERTY BOUNDARY
	LINE OF SIGHT



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PERCHERON FIL. NO. 7

DEVELOPMENT PLAN

DATE: 7.1.2025
PROJECT MGR: A.BARLOW
PREPARED BY: C.HELMINGER

ENTITLEMENT

DATE:	BY:	DESCRIPTION:

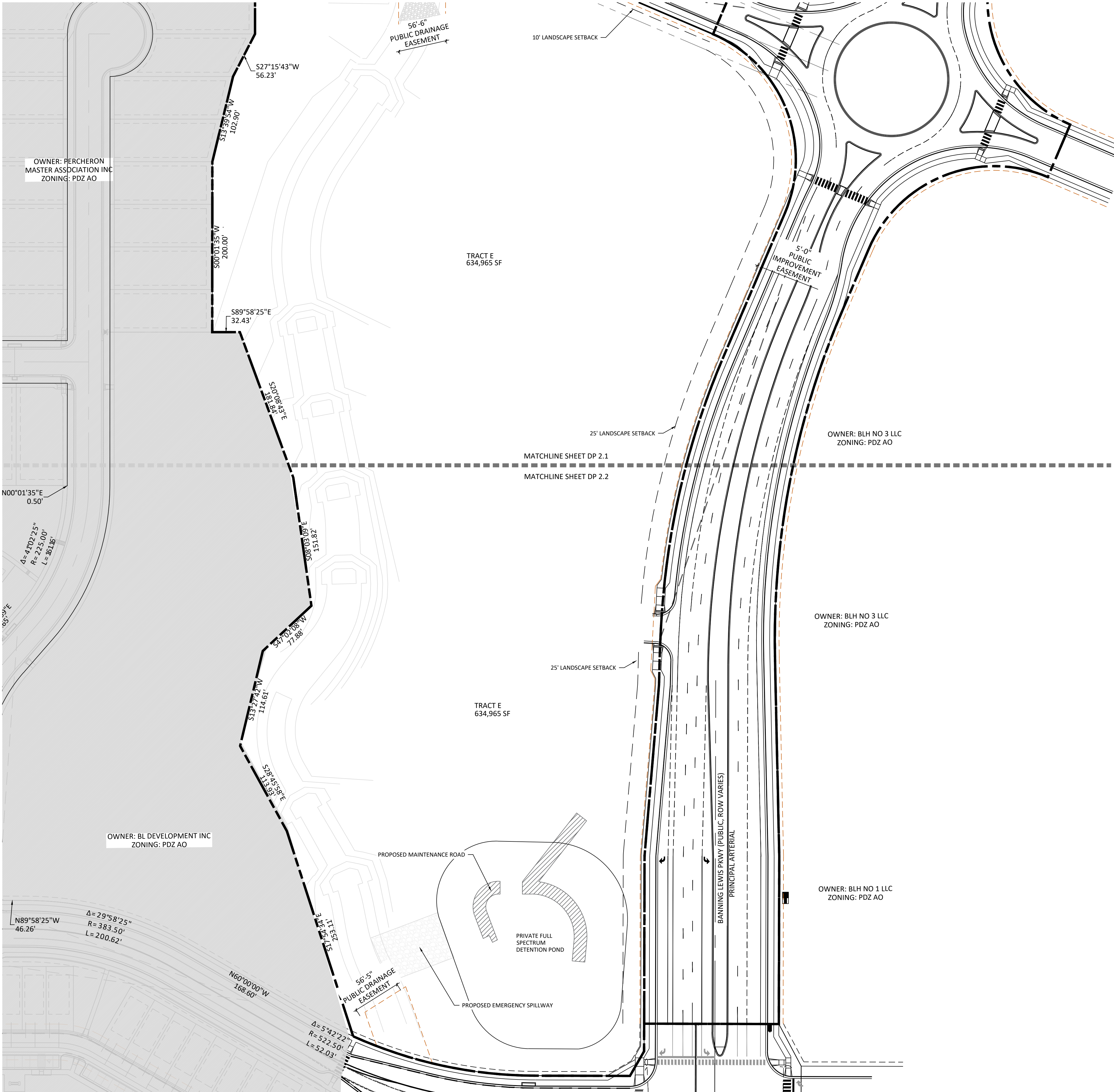
SITE PLAN

DP 2.1

4 OF 16

CPC #

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LINETYPE LEGEND

	MATCHLINES
	EASEMENT
	LOT EASEMENT
	SETBACK
	SIDEWALK
	PROPERTY BOUNDARY
	LINE OF SIGHT



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Colorado Springs, CO 80903

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PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

PERCHERON
FIL. NO. 7

DEVELOPMENT PLAN

PROJECT INFO

DATE: 7.1.2025
PROJECT MGR: A.BARLOW
PREPARED BY: C.HEIMLINGER

STAMP

ENTITLEMENT

ISSUE INFO

DATE: BY: DESCRIPTION:

ISSUE / REVISION

SITE PLAN

SHEET TITLE

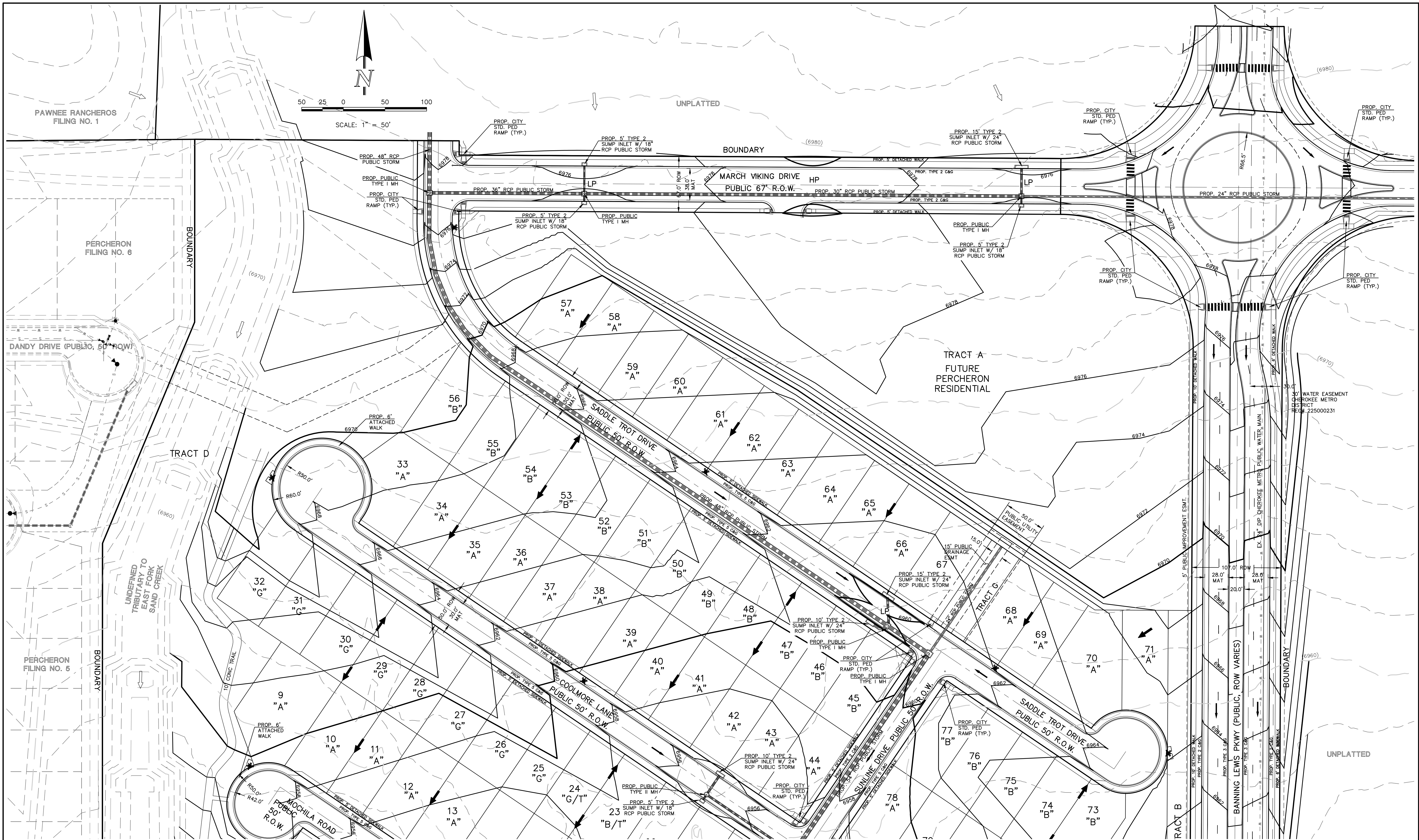
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DP 2.2

5 OF 16

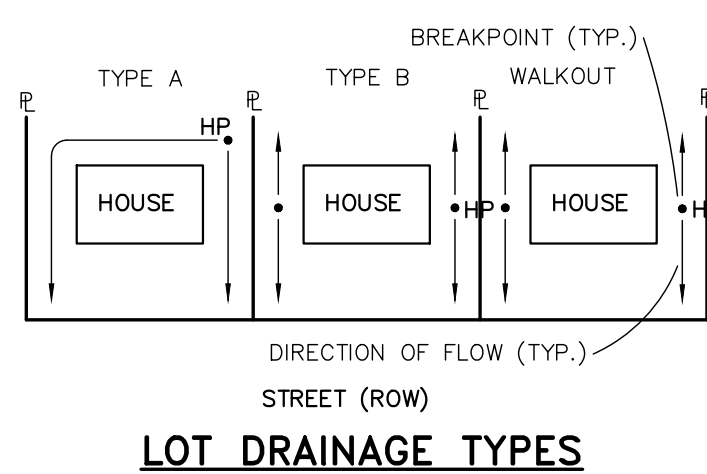
PLAN FILE #

CPC #



MATCHLINE SEE SHEET 7

PDZD 25-00



LEGEND

(6770)	EXISTING CONTOUR	PROPOSED INLET	"A"	A LOT
6770	PROPOSED CONTOUR	PROPOSED STORM PIPE	"B"	B LOT
---	BOUNDARY/FILING LINE	EXISTING STORM PIPE	"W/O"	WALKOUT LOT
→	EXISTING FLOW DIRECTION	HP	"G"	GARDEN LOT
→	PROPOSED FLOW DIRECTION	LP	"T"	TRANSITION LOT

NOTES:

1. ALL SIDEWALKS TO BE CONCRETE UNLESS OTHERWISE NOTED.
2. ALL PEDESTRIAN RAMPS TO BE PER CITY STANDARD D-8 DETAILS.
3. ALL CURBS AND GUTTER TO BE CITY STANDARD TYPE 2 OR TYPE 5 AS NOTED.
4. SEE LANDSCAPE PLANS BY OTHERS FOR EXISTING TREE & LANDSCAPING TO BE REMOVED & REPLACED.
5. ALL STORM SEWER TO BE PUBLIC UNLESS OTHERWISE NOTED.
6. ALL CROSS PANS TO BE CITY STANDARD D-7.

SWENT NOTES:

1. PROPOSED STORM SEWER INLETS, MANHOLES, AND PIPES ARE ALL PUBLIC UNLESS OTHERWISE INDICATED.
2. ALL STORM SEWER PIPE MATERIALS TO BE RCP AS ALLOWED BY THE CURRENT CITY OF COLORADO SPRINGS DCM.
3. ALL MANHOLES ARE TYPE 1 OR TYPE 1 AS ALLOWED BY THE CURRENT COLORADO SPRINGS DCM.
4. ALL INLETS TO BE TYPE 2 STANDARD DETAIL AS ALLOWED BY CURRENT COLORADO SPRINGS DCM.
5. ALL STORM SEWER BENDS SHOWN ARE PREFABRICATED 11.25', 22.50', OR 45' CONCRETE BENDS.
6. ALL CURBS ARE CITY STANDARD TYPE 2 (6" VERTICAL), TYPE 5 (6" RAMP) AS INDICATED PER PLAN.
7. ALL PED. RAMPS AND CROSSPANS ARE PER CITY STANDARD DETAILS.

CLASSIC CONSULTING

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Colorado Springs, Colorado 80903

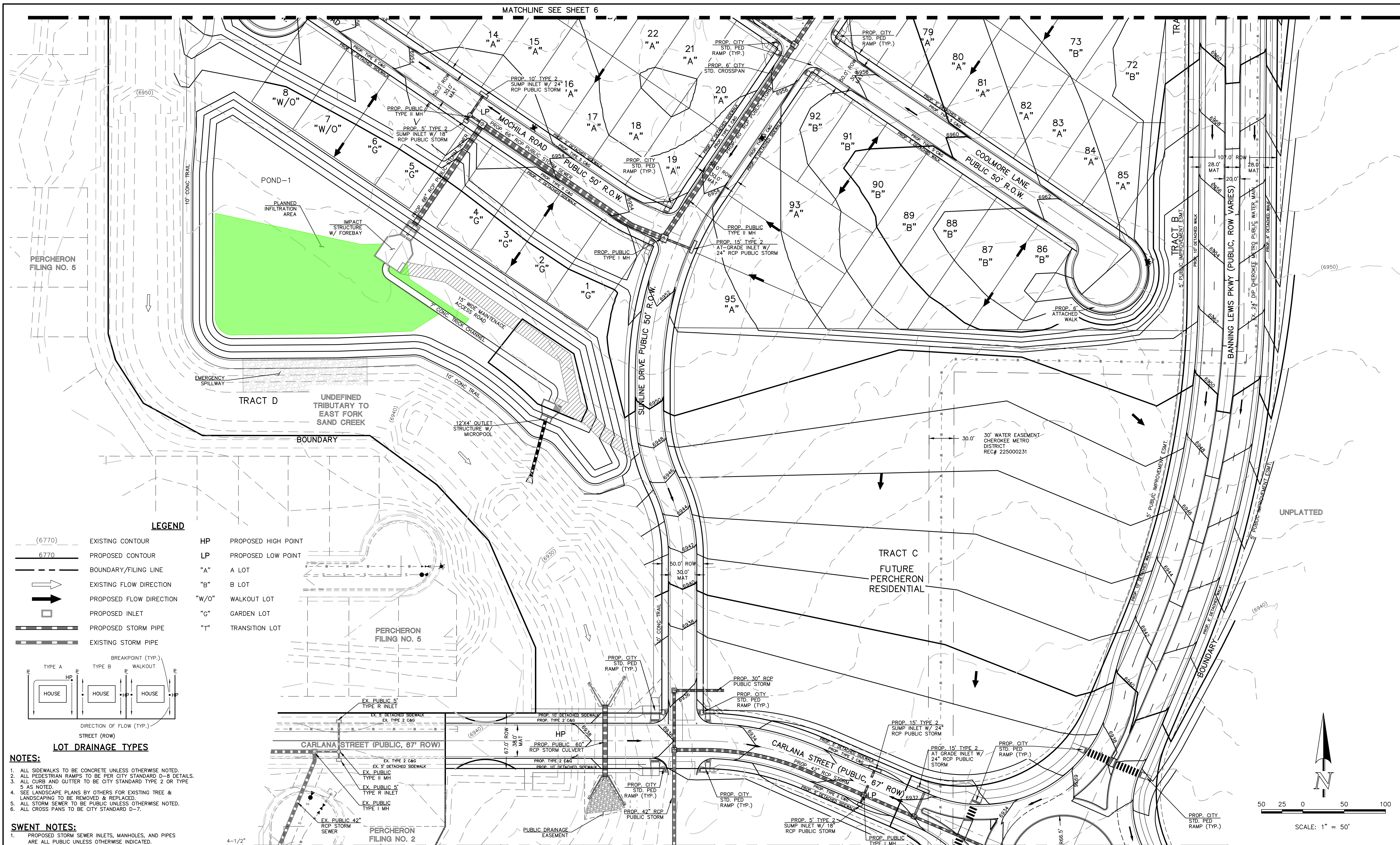
(719) 785-0790
(719) 785-0799 (Fax)

PERCHERON FILING NO. 7

PRELIMINARY GRADING PLAN

DESIGNED BY	DLG	SCALE	DATE	07-01-25
DRAWN BY	JRH	(H) 1"= 50'	SHEET	6 OF 16
CHECKED BY		(V) 1"= N/A	JOB NO.	2505.41

CLASSIC CONSULTING



LEGEND

(6770)	EXISTING CONTOUR	HP	PROPOSED HIGH POINT
6770	PROPOSED CONTOUR	LP	PROPOSED LOW POINT
---	BOUNDARY/FILING LINE	"A"	A LOT
→	EXISTING FLOW DIRECTION	"B"	B LOT
→	PROPOSED FLOW DIRECTION	"W/O"	WALKOUT LOT
□	PROPOSED INLET	"G"	GARDEN LOT
---	PROPOSED STORM PIPE	"T"	TRANSITION LOT
---	EXISTING STORM PIPE		

LOT DRAINAGE TYPES

TYPE A: HOUSE, HP, BREAKPOINT (TYP.), R

TYPE B: HOUSE, HP, BREAKPOINT (TYP.), R

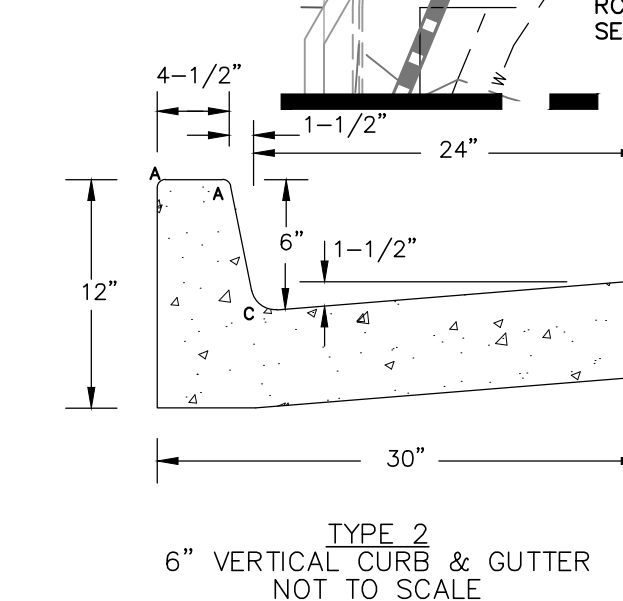
WALKOUT: HOUSE, HP, BREAKPOINT (TYP.), R

DIRECTION OF FLOW (TYP.): STREET (ROW)

- NOTES:**
1. ALL SIDEWALKS TO BE CONCRETE UNLESS OTHERWISE NOTED.
 2. ALL PEDESTRIAN RAMPS TO BE PER CITY STANDARD D-8 DETAILS.
 3. ALL CURB AND GUTTER TO BE CITY STANDARD TYPE 2 OR TYPE 5 AS NOTED.
 4. SEE LANDSCAPE PLANS BY OTHERS FOR EXISTING TREE & LANDSCAPING TO BE REMOVED & REPLACED.
 5. ALL STORM SEWER TO BE PUBLIC UNLESS OTHERWISE NOTED.
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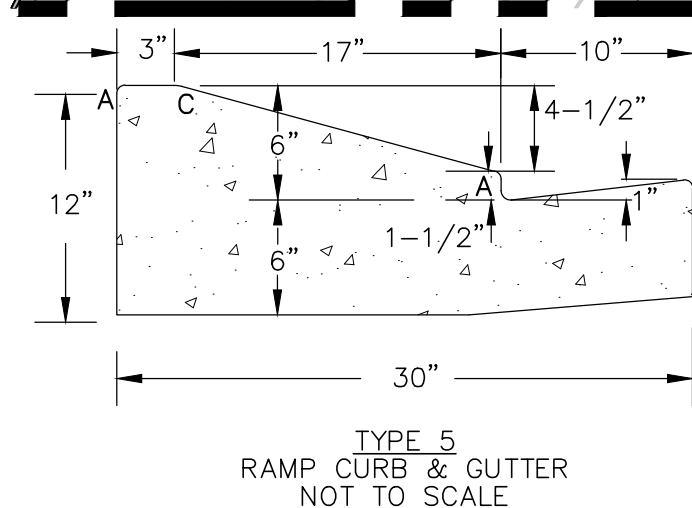
- SWENT NOTES:**
1. PROPOSED STORM SEWER INLETS, MANHOLES, AND PIPES ARE ALL PUBLIC UNLESS OTHERWISE INDICATED.
 2. ALL STORM SEWER PIPE MATERIALS TO BE RCP AS ALLOWED BY THE CURRENT CITY OF COLORADO SPRINGS DCM.
 3. ALL MANHOLES ARE TYPE I OR TYPE II AS ALLOWED BY THE CURRENT COLORADO SPRINGS DCM.
 4. ALL INLETS TO BE TYPE 2 STANDARD DETAIL AS ALLOWED BY CURRENT COLORADO SPRINGS DCM.
 5. ALL STORM SEWER BENDS SHOWN ARE PREFABRICATED 11.25', 22.50', OR 45' CONCRETE BENDS.
 6. ALL CURBS ARE CITY STANDARD TYPE 2 (6" VERTICAL), TYPE 5 (6" RAMP) AS INDICATED PER PLAN.
 7. ALL PED. RAMPS AND CROSSPANS ARE PER CITY STANDARD DETAILS.

NOTE:
SEE SHEET 11 FOR STANDARD STREET CROSS SECTIONS



LENGTH FOR RADII

A	= 1/2"
C	= 1-1/2"
D	= 1-1/2" TO 2"



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Colorado Springs, Colorado 80903

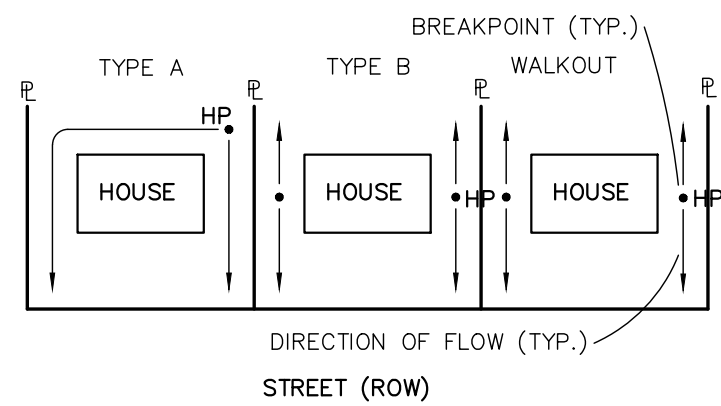
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(719) 785-0799 (Fax)

PERCHERON FILING NO. 7

PRELIMINARY GRADING PLAN

DESIGNED BY	DLG	SCALE	DATE	07-01-25
DRAWN BY	JRH	(H) 1" = 50'	SHEET	7 OF 16
CHECKED BY		(V) 1" = N/A	JOB NO.	2505.41

- LEGEND**
- | | | | |
|--------|-------------------------|-------|---------------------|
| (6770) | EXISTING CONTOUR | HP | PROPOSED HIGH POINT |
| 6770 | PROPOSED CONTOUR | LP | PROPOSED LOW POINT |
| --- | BOUNDARY/FILING LINE | "A" | A LOT |
| → | EXISTING FLOW DIRECTION | "B" | B LOT |
| → | PROPOSED FLOW DIRECTION | "W/O" | WALKOUT LOT |
| □ | PROPOSED INLET | "G" | GARDEN LOT |
| --- | PROPOSED STORM PIPE | "T" | TRANSITION LOT |
| --- | EXISTING STORM PIPE | | |



LOT DRAINAGE TYPES

- NOTES:**
1. ALL SIDEWALKS TO BE CONCRETE UNLESS OTHERWISE NOTED.
 2. ALL PEDESTRIAN RAMPS TO BE PER CITY STANDARD D-8 DETAILS.
 3. ALL CURB AND GUTTER TO BE CITY STANDARD TYPE 2 OR TYPE 5 AS NOTED.
 4. SEE LANDSCAPE PLANS BY OTHERS FOR EXISTING TREE & LANDSCAPING TO BE REMOVED & REPLACED.
 5. ALL STORM SEWER TO BE PUBLIC UNLESS OTHERWISE NOTED.
 6. ALL CROSS PANS TO BE CITY STANDARD D-7.

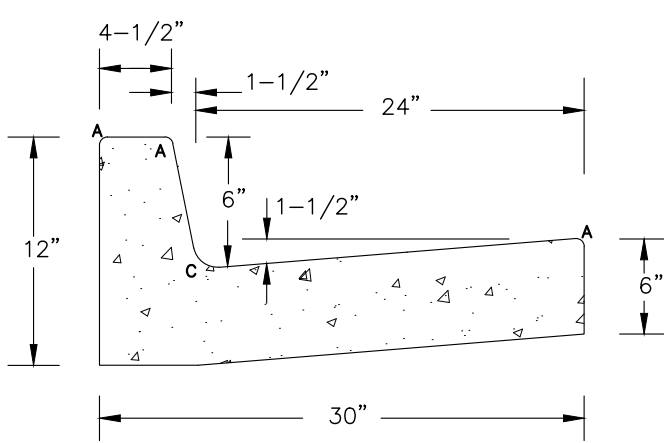
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4. ALL INLETS TO BE TYPE 2 STANDARD DETAIL AS ALLOWED BY CURRENT COLORADO SPRINGS DCM.
5. ALL STORM SEWER BENDS SHOWN ARE PREFABRICATED 11.25°, 22.50°, OR 45° CONCRETE BENDS.
6. ALL CURBS ARE CITY STANDARD TYPE 2 (6" VERTICAL), TYPE 5 (6" RAMP) AS INDICATED PER PLAN.
7. ALL PED. RAMPS AND CROSSPANS ARE PER CITY STANDARD DETAILS.

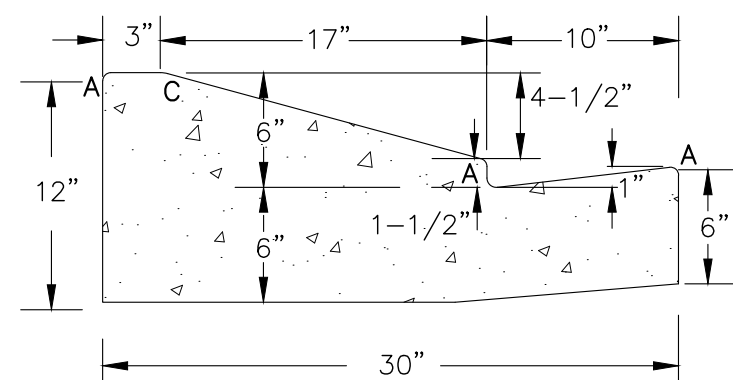
NOTE:

SEE SHEET 11 FOR STANDARD STREET CROSS SECTIONS

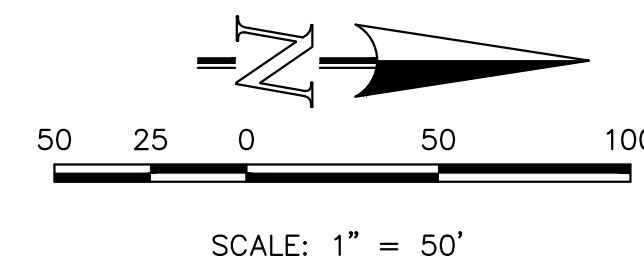
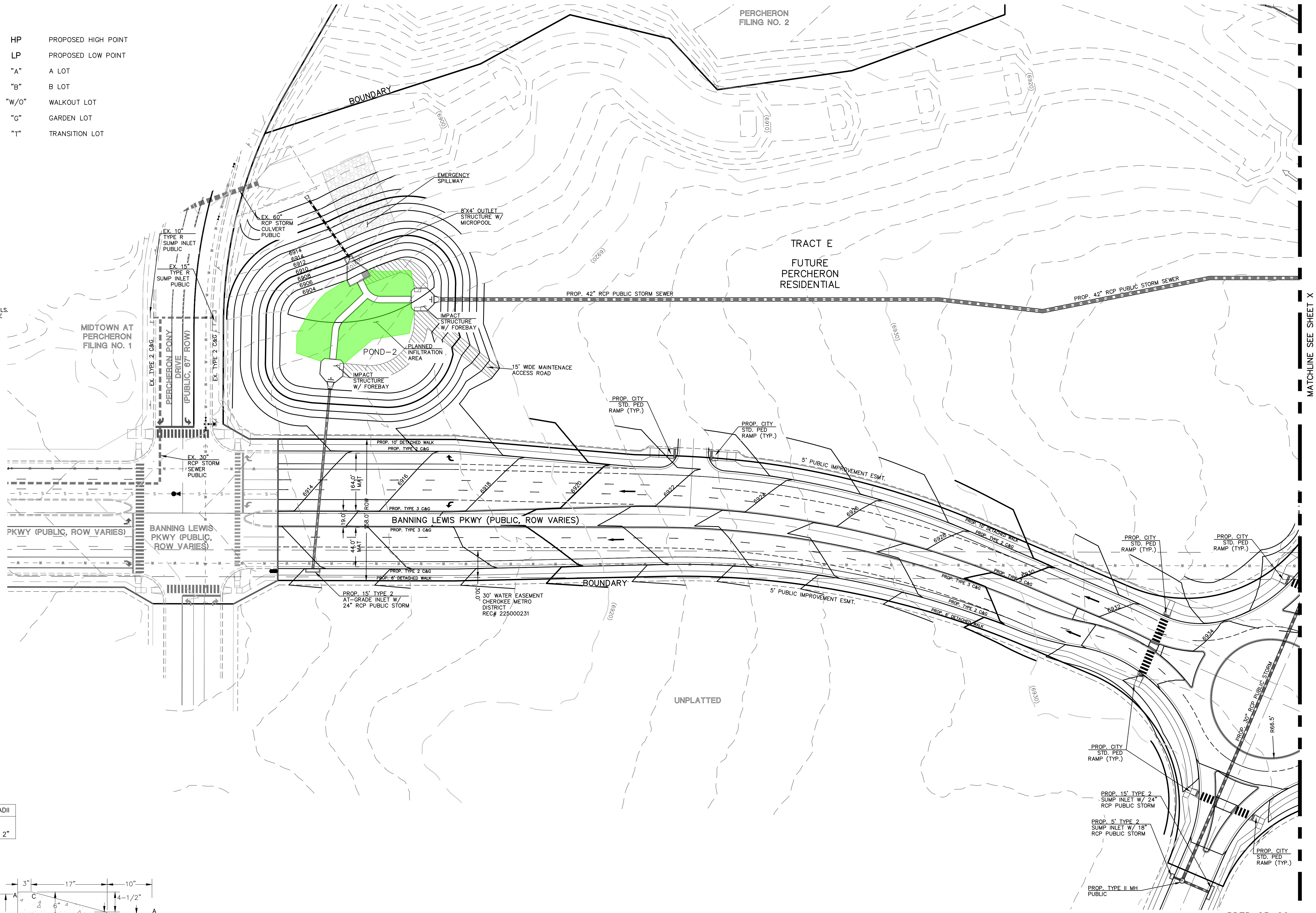
LENGTH FOR RADII	
A	= 1/2"
C	= 1-1/2"
D	= 1-1/2" TO 2"



TYPE 2
6" VERTICAL CURB & GUTTER
NOT TO SCALE



TYPE 5
RAMP CURB & GUTTER
NOT TO SCALE

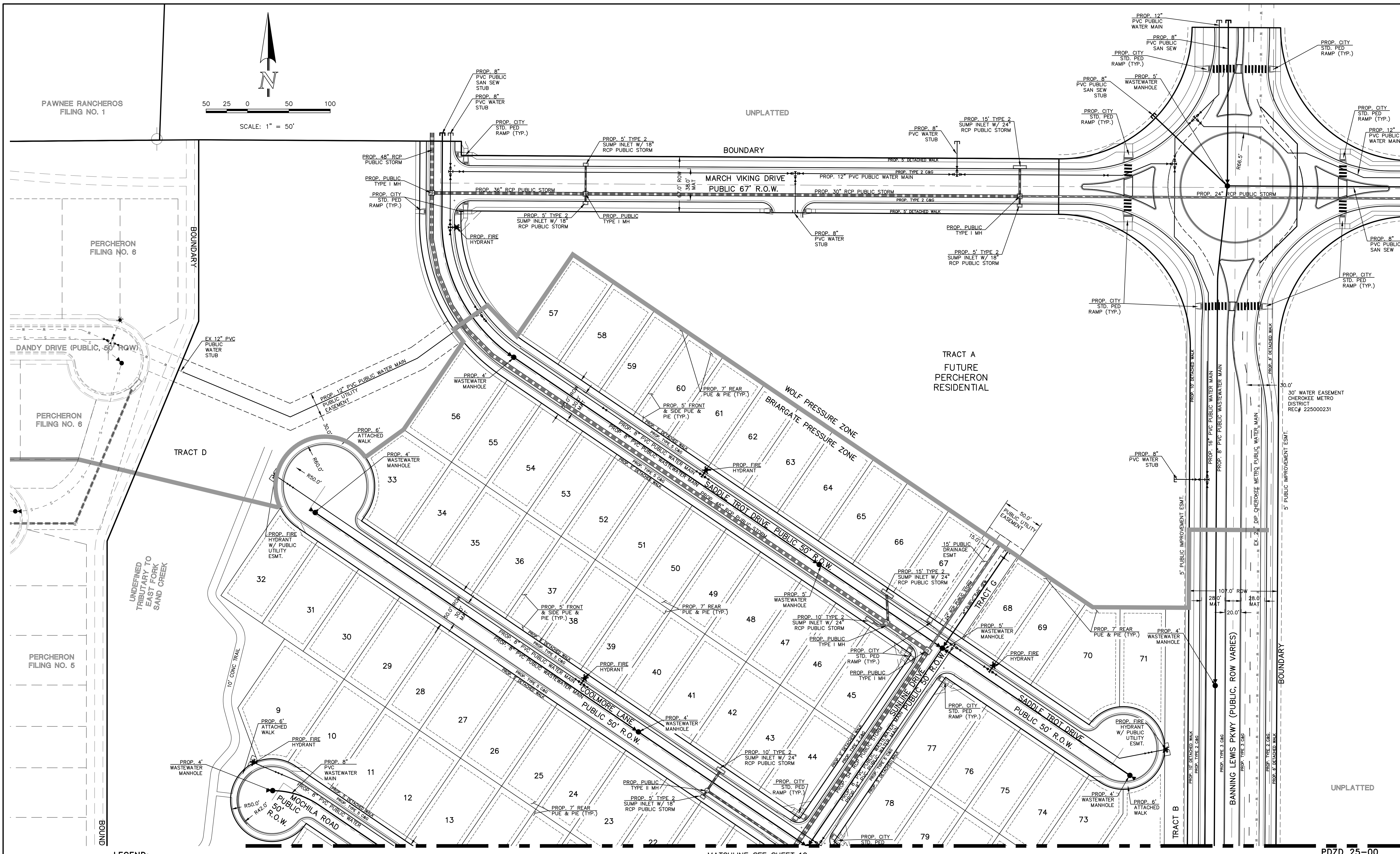


PERCHERON FILING NO. 7

PRELIMINARY GRADING PLAN

DESIGNED BY	DLG	SCALE	DATE	07-01-25
DRAWN BY	JRH	(H) 1"= 50'	SHEET	8 OF 16
CHECKED BY		(V) 1"= N/A	JOB NO.	2505.41

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719) 785-0790
(719) 785-0799 (Fax)



DESCRIPTION

PROPOSED FIRE HYDRANT

PROPOSED WATER MAIN

PROPOSED WATER SERVICES

PROPOSED SANITARY SEWER MAIN

PROPOSED SANITARY SEWER SERVICE

PROPOSED STORM SEWER

PROPOSED STORM INLET

LEGEND:

SYMBOL

EXISTING STORM SEWER

EXISTING STORM INLET

EXISTING FIRE HYDRANT

EXISTING WATER MAIN

EXISTING SANITARY SEWER MAIN W/ MANHOLE

EXISTING GAS MAIN

EXISTING ELECTRIC

BOUNDARY LINE

NOTES:

1. ALL SIDEWALKS TO BE CONCRETE UNLESS OTHERWISE NOTED.

2. ALL PEDESTRIAN RAMPS TO BE PER CITY STANDARD D-8 DETAILS.

3. ALL CURB AND GUTTER TO BE CITY STANDARD TYPE 2 OR TYPE 5 AS NOTED.

4. SEE LANDSCAPE PLANS BY OTHERS FOR EXISTING TREE & LANDSCAPING TO BE REMOVED & REPLACED.

5. ALL STORM SEWER TO BE PUBLIC UNLESS OTHERWISE NOTED.

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SWENT NOTES:

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4. ALL INLETS TO BE TYPE 2 STANDARD DETAIL AS ALLOWED BY CURRENT COLORADO SPRINGS DCM.

5. ALL STORM SEWER BENDS SHOWN ARE PREFABRICATED 11.25', 22.50', OR 45' CONCRETE BENDS.

6. ALL CURBS ARE CITY STANDARD TYPE 2 (6" VERTICAL), TYPE 5 (6" RAMP) AS INDICATED PER PLAN.

7. ALL PED. RAMPS AND CROSSPANS ARE PER CITY STANDARD DETAILS.

PERCHERON FILING NO. 7

PUBLIC FACILITY AND PRELIMINARY UTILITY PLAN

DESIGNED BY: DLG

DRAWN BY: JRH

CHECKED BY:

SCALE: (H) 1"= 50'

SCALE: (V) 1"= N/A

DATE: 07-01-25

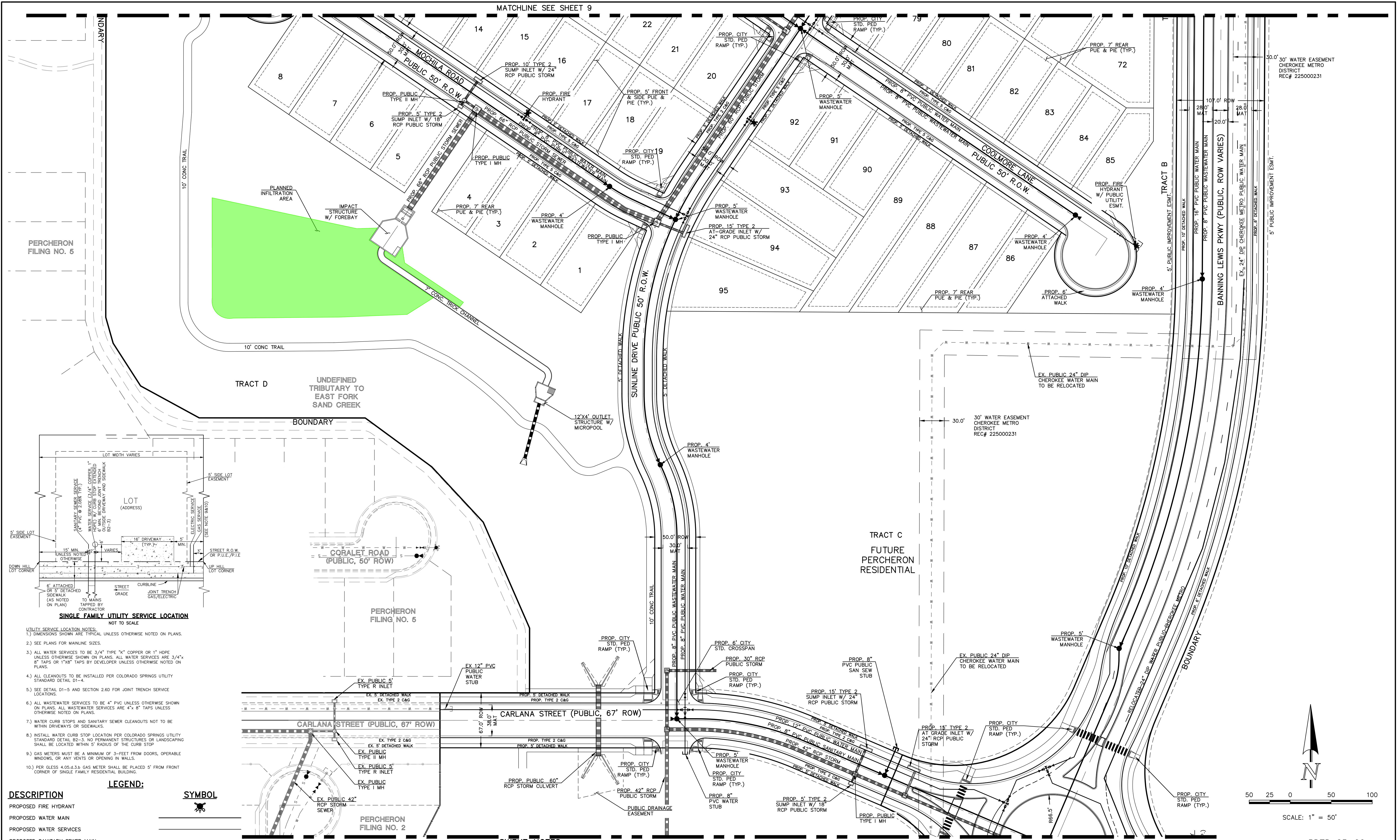
SHEET: 9 OF 16

JOB NO.: 2505.41

CLASSIC CONSULTING

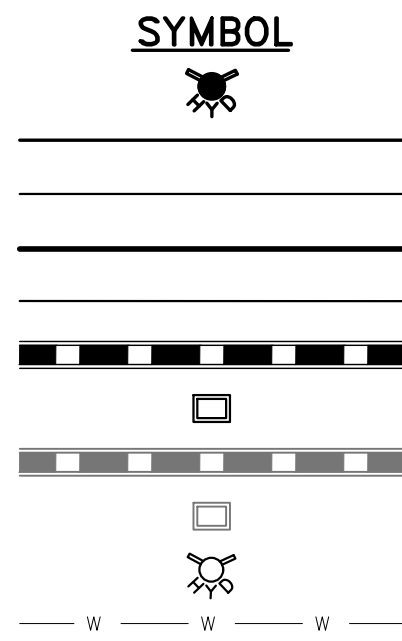
619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719)785-0790
(719)785-0799 (Fax)



- DESCRIPTION**
- PROPOSED FIRE HYDRANT
 - PROPOSED WATER MAIN
 - PROPOSED WATER SERVICES
 - PROPOSED SANITARY SEWER MAIN
 - PROPOSED SANITARY SEWER SERVICE
 - PROPOSED STORM SEWER
 - PROPOSED STORM INLET
 - EXISTING STORM SEWER
 - EXISTING STORM INLET
 - EXISTING FIRE HYDRANT
 - EXISTING WATER MAIN

LEGEND:



- EXISTING SANITARY SEWER MAIN W/ MANHOLE
- EXISTING GAS MAIN
- EXISTING ELECTRIC
- BOUNDARY LINE

SWENT NOTES:

- PROPOSED STORM SEWER INLETS, MANHOLES, AND PIPES ARE ALL PUBLIC UNLESS OTHERWISE INDICATED.
- ALL STORM SEWER PIPE MATERIALS TO BE RCP AS ALLOWED BY THE CURRENT CITY OF COLORADO SPRINGS DCM.
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- ALL CURB AND GUTTER TO BE CITY STANDARD TYPE 2 OR TYPE 5 AS NOTED.
- SEE LANDSCAPE PLANS BY OTHERS FOR EXISTING TREE & LANDSCAPING TO BE REMOVED & REPLACED.
- ALL STORM SEWER TO BE PUBLIC UNLESS OTHERWISE NOTED.
- ALL CROSS PANS TO BE CITY STANDARD D-7.

TREES SHALL MAINTAIN A 15-FOOT SEPARATION FROM WATER AND WASTEWATER MAINS AND A 6-FOOT MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES.



PERCHERON FILING NO. 7			
PUBLIC FACILITY AND PRELIMINARY UTILITY PLAN			
DESIGNED BY	DLG	SCALE	DATE 07-01-25
DRAWN BY	JRH	(H) 1"= 50'	SHEET 10 OF 16
CHECKED BY		(V) 1"= N/A	JOB NO. 2505.41

PDZD 25-00

GENERAL NOTES FOR ALL PRELIMINARY UTILITY PLANS
(REQUIRED FOR ALL DEVELOPMENT PLAN SUBMITTALS)

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING
UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

1. COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
2. PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PIKE'S PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
3. OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
4. SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
5. THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
6. OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
7. THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
8. OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
9. OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICES LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
10. IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENTS, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
11. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

PERCHERON
FILING NO. 2

NOTES:

1. ALL SIDEWALKS TO BE CONCRETE UNLESS OTHERWISE NOTED.
2. ALL PEDESTRIAN RAMPS TO BE PER CITY STANDARD D-8 DETAILS.
3. ALL CURB AND GUTTER TO BE CITY STANDARD TYPE 2 OR TYPE 5 AS NOTED.
4. SEE LANDSCAPE PLANS BY OTHERS FOR EXISTING TREE & LANDSCAPING TO BE REMOVED & REPLACED.
5. ALL STORM SEWER TO BE PUBLIC UNLESS OTHERWISE NOTED.
6. ALL CROSS PANS TO BE CITY STANDARD D-7.

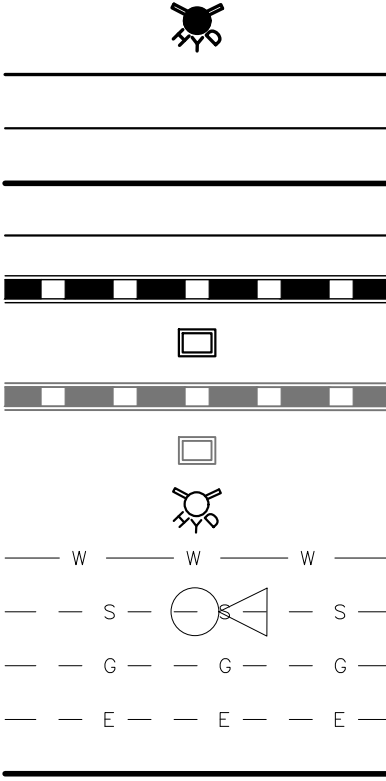
TRACT E
FUTURE
PERCHERON
RESIDENTIAL

DESCRIPTION

PROPOSED FIRE HYDRANT
PROPOSED WATER MAIN
PROPOSED WATER SERVICES
PROPOSED SANITARY SEWER MAIN
PROPOSED SANITARY SEWER SERVICE
PROPOSED STORM SEWER
PROPOSED STORM INLET
EXISTING STORM SEWER
EXISTING STORM INLET
EXISTING FIRE HYDRANT
EXISTING WATER MAIN
EXISTING SANITARY SEWER MAIN W/ MANHOLE
EXISTING GAS MAIN
EXISTING ELECTRIC
BOUNDARY LINE

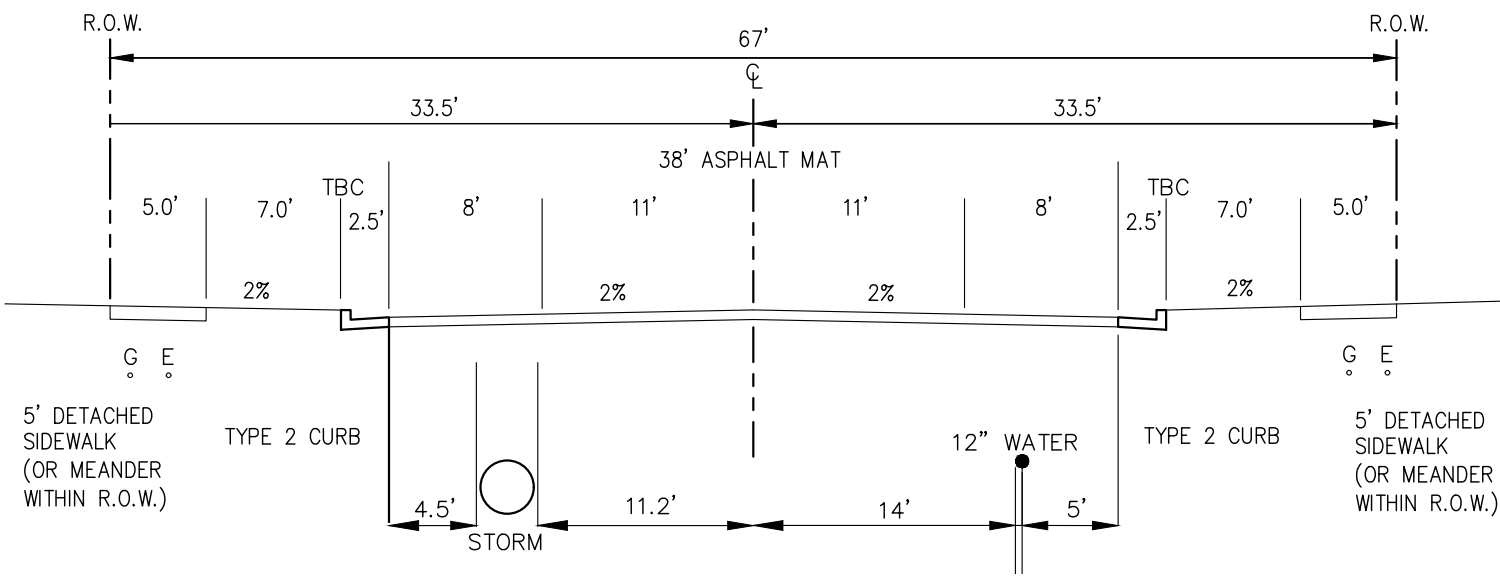
LEGEND:

SYMBOL



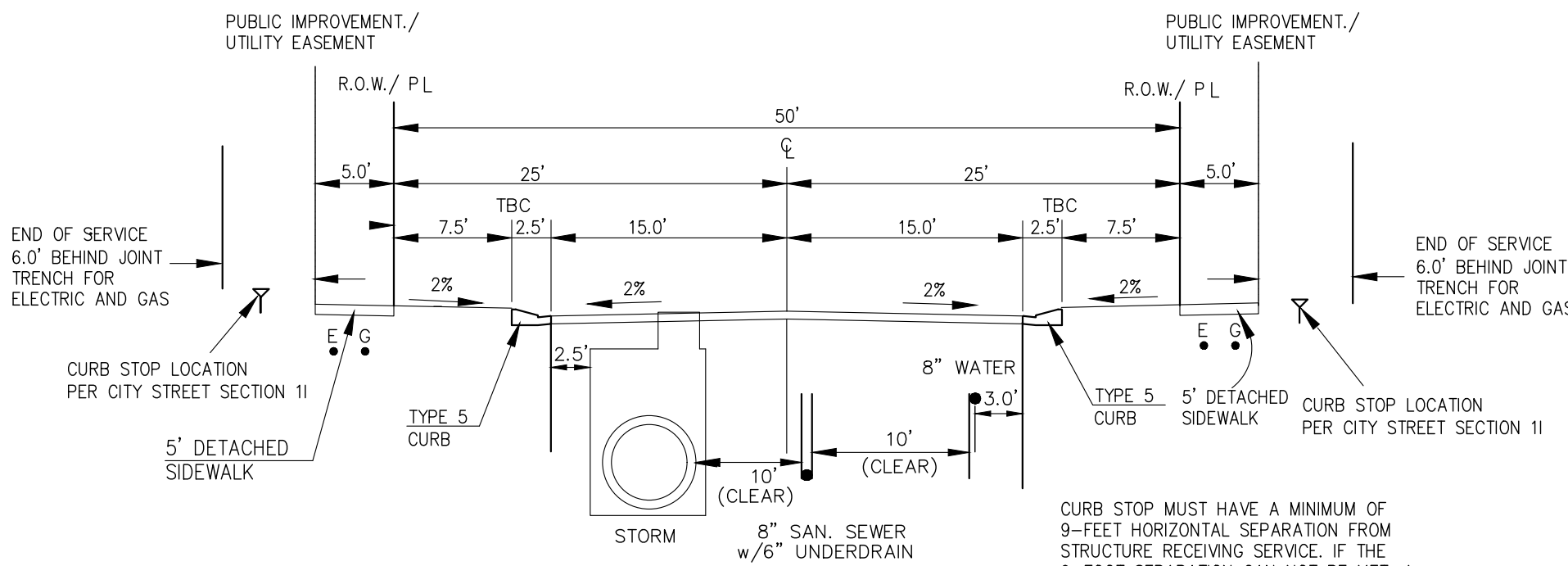
SWENT NOTES:

1. PROPOSED STORM SEWER INLETS, MANHOLES, AND PIPES ARE ALL PUBLIC UNLESS OTHERWISE INDICATED.
2. ALL STORM SEWER PIPE MATERIALS TO BE RCP AS ALLOWED BY THE CURRENT CITY OF COLORADO SPRINGS DOM.
3. ALL MANHOLES ARE TYPE I OR TYPE II AS ALLOWED BY THE CURRENT COLORADO SPRINGS DOM.
4. ALL INLETS TO BE TYPE 2 STANDARD DETAIL AS ALLOWED BY CURRENT COLORADO SPRINGS DOM.
5. ALL STORM SEWER BENDS SHOWN ARE PREFABRICATED 11.25', 22.50', OR 45' CONCRETE BENDS.
6. ALL CURBS ARE CITY STANDARD TYPE 2 (6" VERTICAL), TYPE 5 (6" RAMP) AS INDICATED PER PLAN.
7. ALL PED. RAMPS AND CROSSPANS ARE PER CITY STANDARD DETAILS.



67' ROW COLLECTOR - W/PARKING

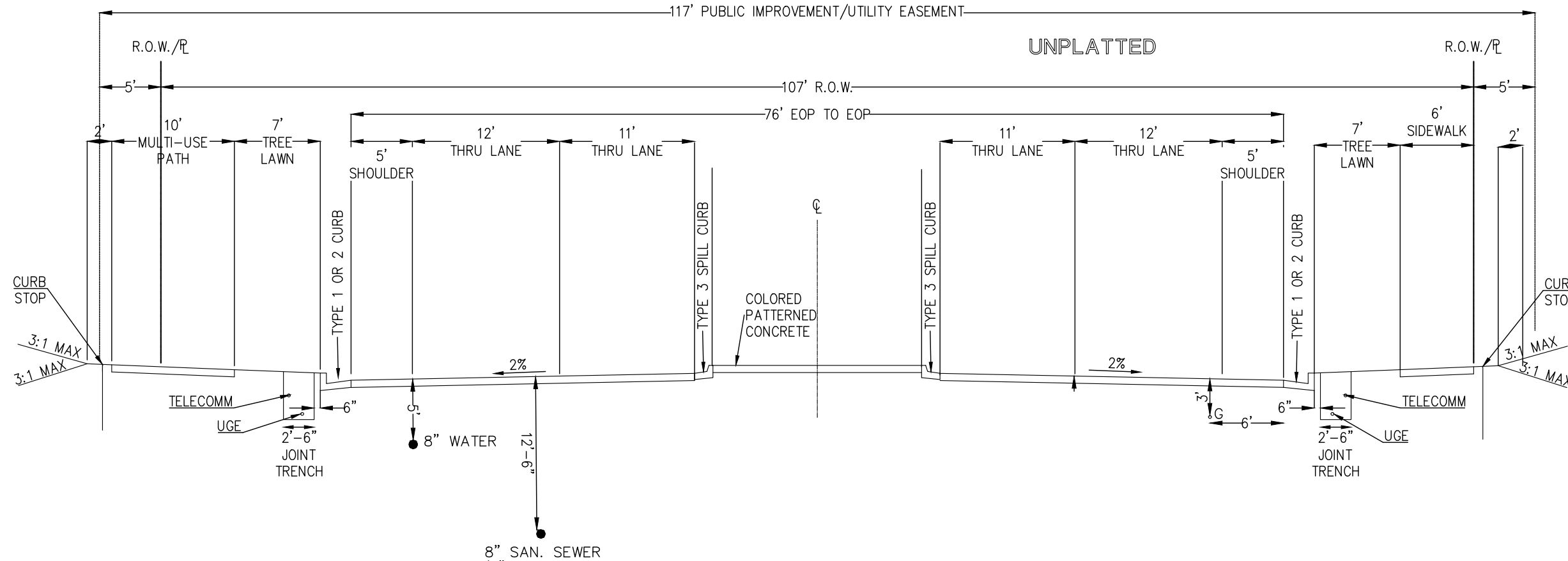
SCALE: 1" = 10'



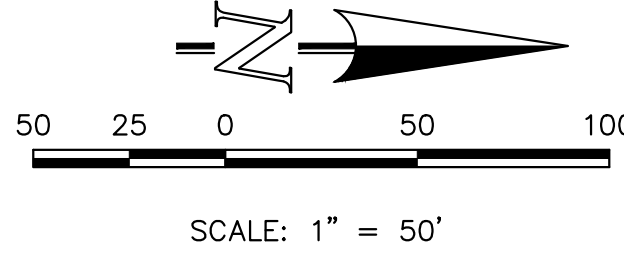
50' ROW RESIDENTIAL

SCALE: 1" = 10'

CURB STOP MUST HAVE A MINIMUM OF 9-FOOT HORIZONTAL SEPARATION FROM STRUCTURE RECEIVING SERVICE. IF THE 9-FOOT SEPARATION CAN NOT BE MET, A 6-FOOT MINIMUM IS ALLOWED IF THE STRUCTURE HAS A MINIMUM 3-FOOT BELOW FINISHED GRADE FOUNDATION WALL.



107' ROW PRINCIPAL ARTERIAL
TYPE 1 (4 LANES)
TYPICAL CROSS SECTION
SCALE: 1" = 10'



619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719)785-0790
(719)785-0799 (Fax)

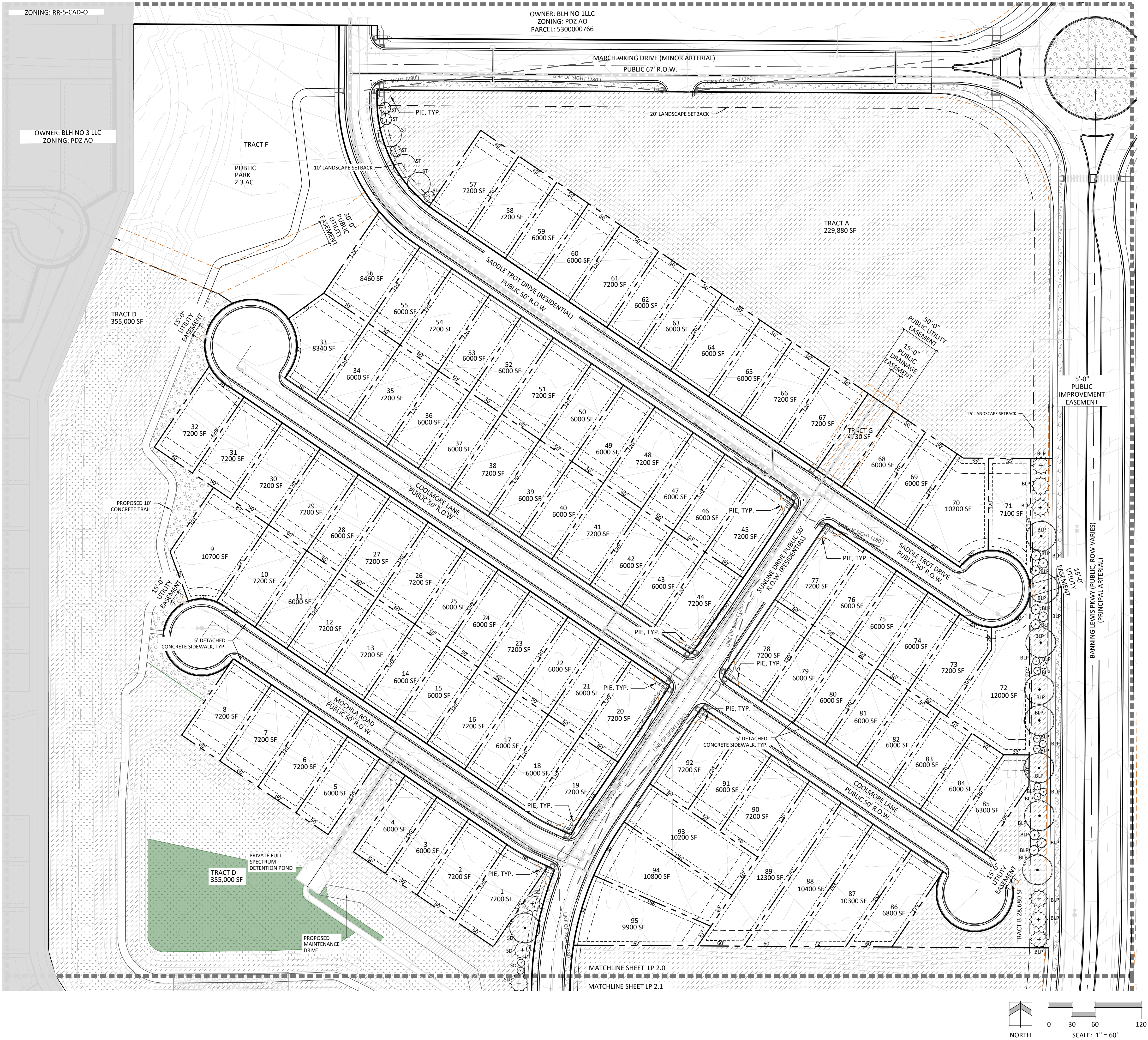
PERCHERON FILING NO. 7

PUBLIC FACILITY AND PRELIMINARY UTILITY PLAN

DESIGNED BY	DLG	SCALE	DATE	07-01-25
DRAWN BY	JRH	(H) 1"= 50'	SHEET	11 OF 16
CHECKED BY		(V) 1"= N/A	JOB NO.	2505.41

MATCHLINE SEE SHEET 10

P:\Newwood\Banning Lewis Ranch North\Percheron Phase 1 North\Drawings\LP 2.0\Percheron_LP 2.0.dwg (LP 2.0 P&P) 7/1/2023 1:23:36 PM anetier



GROUND COVER LEGEND

- 2025-07-01 13:05
- DETENTION SEED MIX 212,412 SF
 - EL PASO COUNTY CONSERVATION
 - DISTRICT ALL PURPOSE MIX
 - BIG BLUESTEM - 20%
 - BLUE GRAMA - 10%
 - GREEN NEEDLEGRASS - 10%
 - WESTERN WHEATGRASS - 20%
 - SIDEOTS GRAMA - 10%
 - SWITCHGRASS - 10%
 - PRAIRIE SANDREED - 10%
 - YELLOW INDIANGRASS - 10%
 - SEEDING WILL BE IN COMPLIANCE WITH SCM CH. 5
 - HYDROSEED @ 19.3 PLS/ACRE
 - PERCHERON CUSTOM LOW GROW MIX 1,265,529 SF
 - 40% BLUE GRAMA
 - 20% SIDEOTS GRAMA
 - 20% WESTERN WHEATGRASS
 - 10% BUFFALOGRASS
 - ROCK MULCH 80,130 SF
 - 1 1/2" SADDLEBACK SWIRL BY C&C
 - SAND AND STONE
 - SHRUB PLANTING BED
 - ROCK COBBLE 3,964 SF
 - 2 - 4" RIVER ROCK BY C&C SAND AND STONE
 - PLANNED INFILTRATION AREA

LINETYPE LEGEND

- MATCHLINES
- EASEMENT
- LOT EASEMENT
- SETBACK
- SIDEWALK
- PROPERTY BOUNDARY
- LINE OF SIGHT



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Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com
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PERCHERON
FIL. NO. 7

DEVELOPMENT PLAN

DATE: 7.1.2025
PROJECT MGR: A.BARLOW
PREPARED BY: C.HELMINGER

ENTITLEMENT

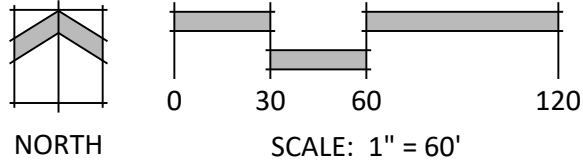
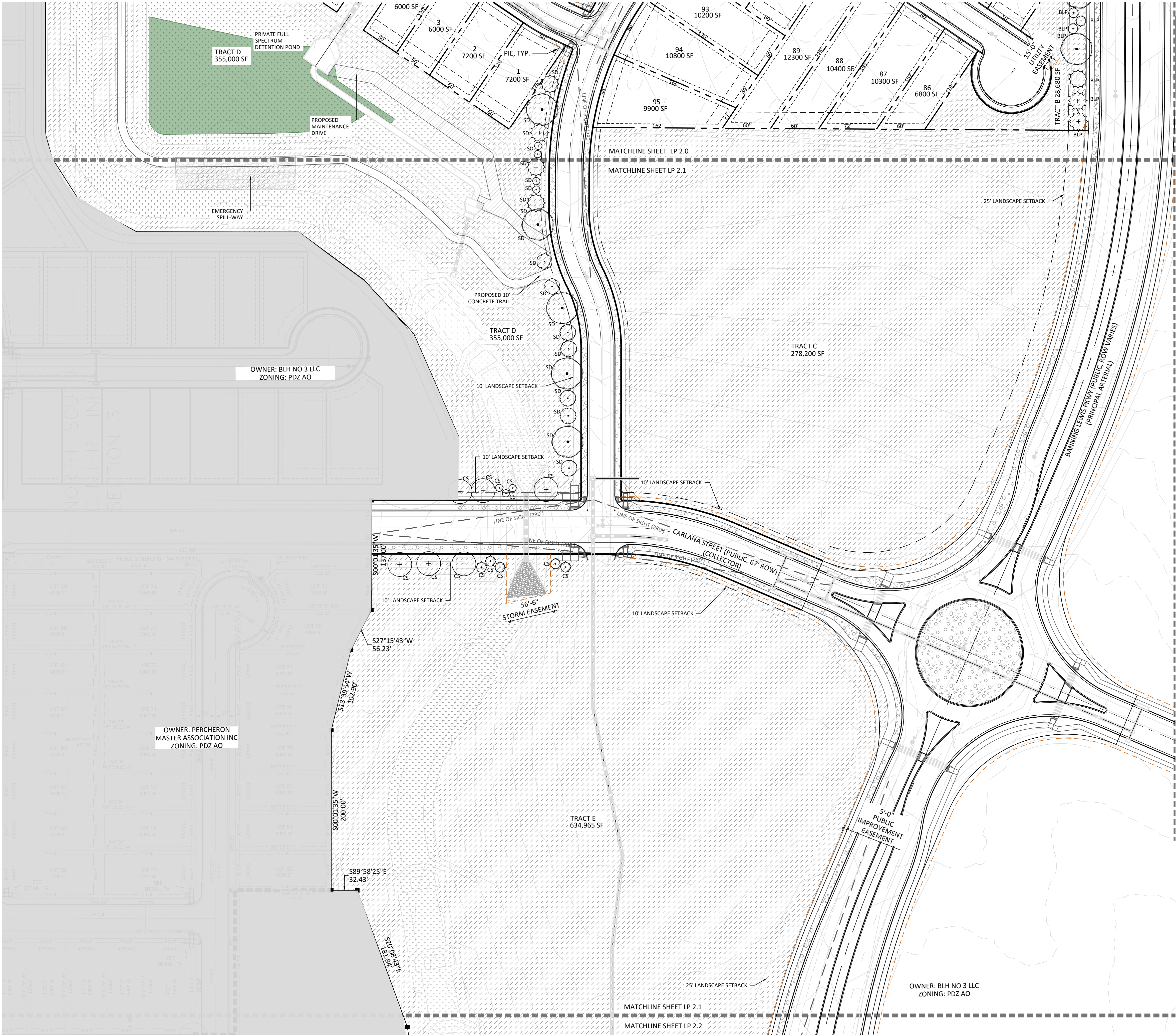
DATE: BY: DESCRIPTION:

PRELIMINARY
LANDSCAPE PLAN

LP 2.0

13 OF 16

CPC #



GROUND COVER LEGEND

DETENTION SEED MIX 212,412 SF
EL PASO COUNTY CONSERVATION
DISTRICT ALL PURPOSE MIX
BIG BLUESTEM - 20%
BLUE GRAMA - 10%
GREEN NEEDLEGRASS - 10%
WESTERN WHEATGRASS - 20%
SIDEATS GRAMA - 10%
SWITCHGRASS - 10%
PRAIRIE SANDREED - 10%
YELLOW INDIANGRASS - 10%
SEEDING WILL BE IN COMPLIANCE WITH
SCM CH. 5
HYDROSEED @ 19.3 PLS/ACRE

PERCHERON CUSTOM LOW GROW MIX 1,265,529 SF
40% BLUE GRAMA
20% SIDEATS GRAMA
20% WESTERN WHEATGRASS
10% BUFFALOGRASS

ROCK MULCH 80,130 SF
1 1/2" SADDLEBACK SWIRL BY C&C
SAND AND STONE
SHRUB PLANTING BED

ROCK COBBLE 3,964 SF
2 - 4" RIVER ROCK BY C&C SAND AND
STONE

PLANNED INFILTRATION AREA

LINETYPE LEGEND

MATCHLINES
EASEMENT
LOT EASEMENT
SETBACK
SIDEWALK
PROPERTY BOUNDARY
LINE OF SIGHT

2025-07-01 13:05



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PERCHERON
FIL. NO. 7

DEVELOPMENT PLAN

DATE: 7.1.2025
PROJECT MGR: A.BARLOW
PREPARED BY: C.HELMLINGER

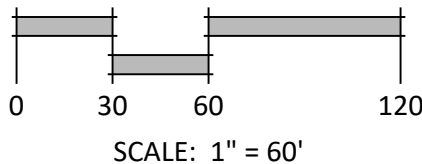
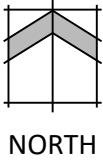
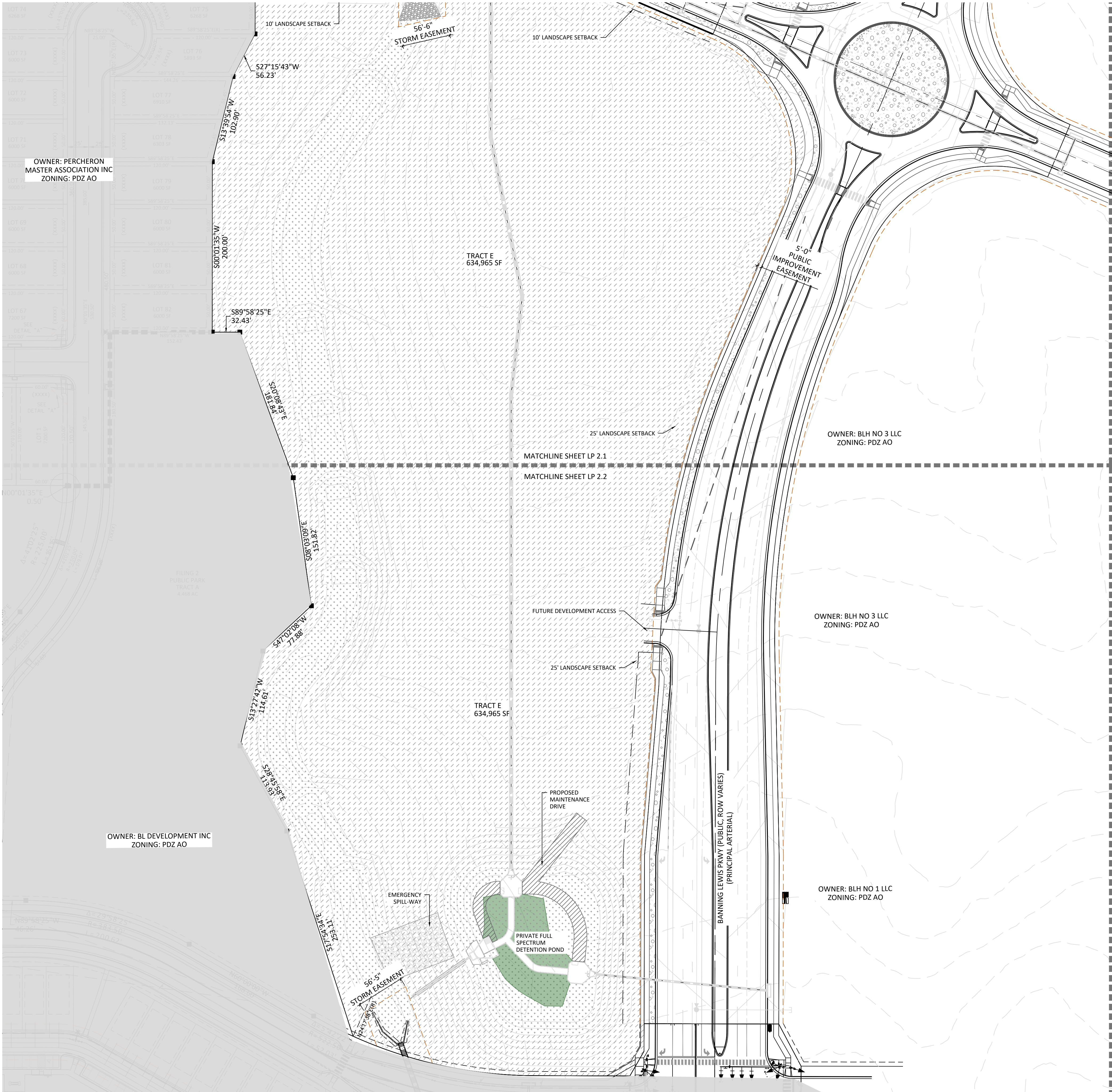
ENTITLEMENT

PRELIMINARY
LANDSCAPE PLAN

LP 2.1

14 OF 16

CPC #



GROUND COVER LEGEND

DETENTION SEED MIX
EL PASO COUNTY CONSERVATION
DISTRICT ALL PURPOSE MIX
BIG BLUESTEM - 20%
BLUE GRAMA - 10%
GREEN NEEDLEGRASS - 10%
WESTERN WHEATGRASS - 20%
SIDEOATS GRAMA - 10%
SWITCHGRASS - 10%
PRAIRIE SANDREED - 10%
YELLOW INDIANGRASS - 10%
SEEDING WILL BE IN COMPLIANCE WITH
SCM CH. 5
HYDROSEED @ 19.3 PLS/ACRE

212,412 SF

PERCHERON CUSTOM LOW GROW MIX
40% BLUE GRAMA
20% SIDEOATS GRAMA
20% WESTERN WHEATGRASS
10% BUFFALOGRASS

1,265,529 SF

ROCK MULCH
1 1/2" SADDLEBACK SWIRL BY C&C
SAND AND STONE
SHRUB PLANTING BED

80,130 SF

ROCK COBBLE
2 - 4" RIVER ROCK BY C&C SAND AND
STONE

3,964 SF

PLANNED INFILTRATION AREA

LINETYPE LEGEND

-----	MATCHLINES
- - - - -	EASEMENT
- - - - -	LOT EASEMENT
- - - - -	SETBACK
- - - - -	SIDEWALK
- - - - -	PROPERTY BOUNDARY
- - - - -	LINE OF SIGHT

2025-07-01 13:05



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PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

PERCHERON
FIL. NO. 7

DEVELOPMENT PLAN

PROJECT INFO

DATE:	7.1.2025
PROJECT MGR:	A.BARLOW
PREPARED BY:	C.HELMLINGER

STAMP

ENTITLEMENT

ISSUE INFO

DATE:	BY:	DESCRIPTION:
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ISSUE / REVISION

PRELIMINARY
LANDSCAPE PLAN

SHEET TITLE

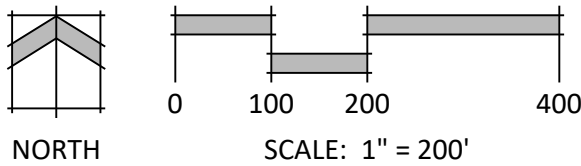
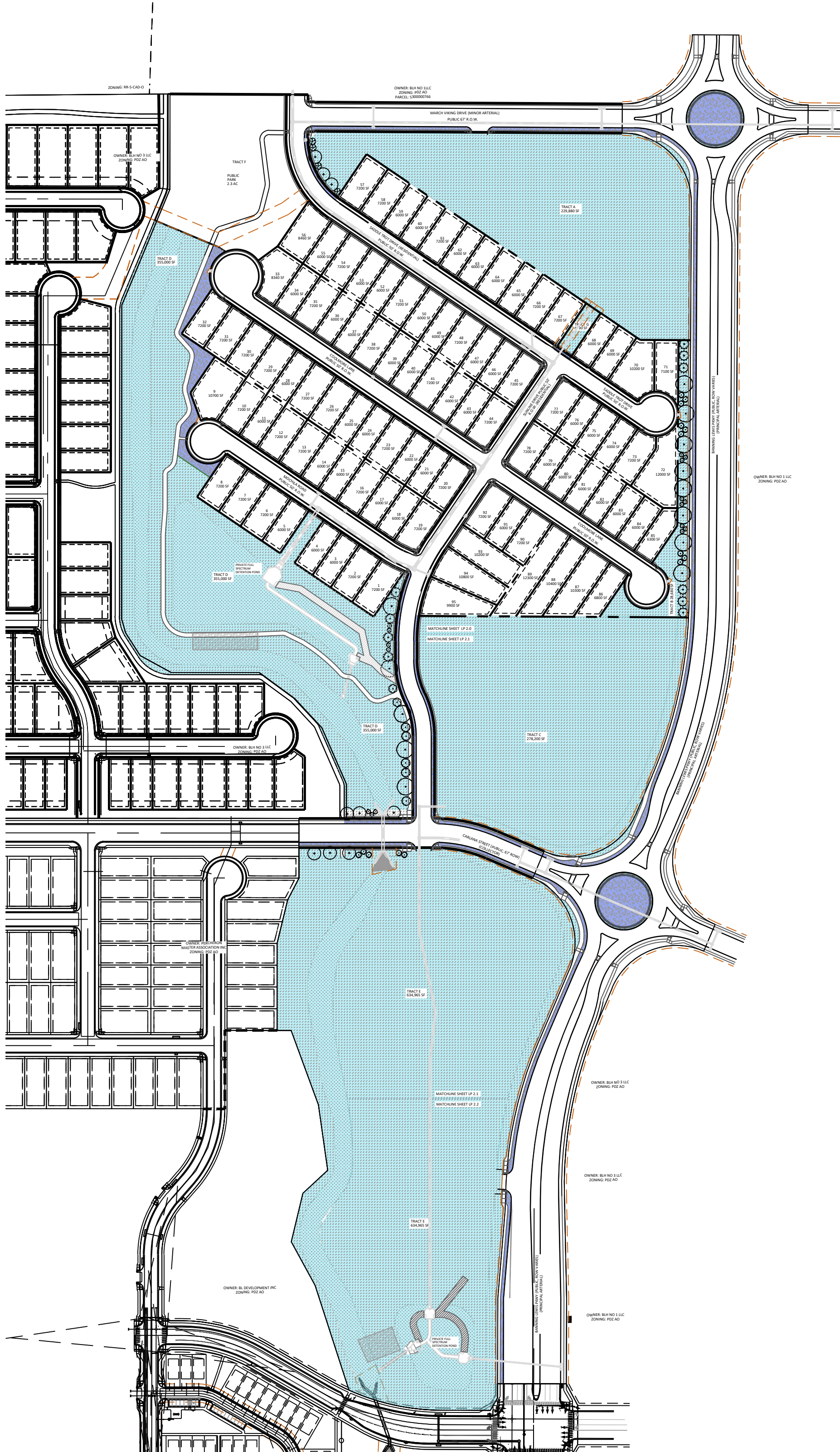
SHEET NUMBER

15 OF 16

PLAN FILE #

CPC #

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GROUND COVER LEGEND

DETENTION SEED MIX EL PASO COUNTY CONSERVATION DISTRICT ALL PURPOSE MIX BIG BLUESTEM - 20% BLUE GRAMA - 10% GREEN NEEDLEGRASS - 10% WESTERN WHEATGRASS - 20% SIDOATS GRAMA - 10% SWITCHGRASS - 10% PRAIRIE SANDREED - 10% YELLOW INDIANGRASS - 10% SEEDING WILL BE IN COMPLIANCE WITH SCM CH. 5 HYDROSEED @ 19.3 PLS/ACRE	212,412 SF
PERCHERON CUSTOM LOW GROW MIX 40% BLUE GRAMA 20% SIDOATS GRAMA 20% WESTERN WHEATGRASS 10% BUFFALOGRASS	1,265,529 SF
ROCK MULCH 1 1/2" SADDLEBACK SWIRL BY C&C SAND AND STONE SHRUB PLANTING BED	80,130 SF
ROCK COBBLE 2 - 4" RIVER ROCK BY C&C SAND AND STONE	3,964 SF

HYDRO DIAGRAM

LOW (SEED MIXES)	94.87% / 1,481,905 SF
MODERATE (ROCK MULCH)	5.13% / 80,130 SF
TOTAL LANDSCAPE AREA	1,562,035 SF



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PERCHERON FIL. NO. 7

DEVELOPMENT PLAN

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PROJECT MGR: A.BARLOW
PREPARED BY: C.HELMLINGER

ENTITLEMENT

DATE:	BY:	DESCRIPTION:

HYDROLOGY DIAGRAM

LP 3.0

16 OF 16

CPC #