

FERRARI FILMS
LOT 2, FILING NO. 1 MONUMENT MARKETPLACE NORTH
FINAL PD SITE PLAN

PARTS OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 23
AND THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 26
TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF MONUMENT, EL PASO COUNTY, COLORADO

OWNERSHIP CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS, THAT
BEING THE OWNER, OF THE FOLLOWING DESCRIBED TRACT OF LAND:

SEE LEGAL DESCRIPTION

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN
AS IN THE TOWN OF MONUMENT.

OWNER(S):

STATE OF COLORADO}
COUNTY OF EL PASO}

SIGNED THIS DAY OF , 20 ,

COUNTY , STATE

NOTARY SIGNATURE

MY COMMISSION EXPIRES

LIENHOLDER SUBORDINATION CERTIFICATE

NONE

TITLE CERTIFICATE:

I, AN AUTHORIZED REPRESENTATIVE OF
A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO,
HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS,
MORTGAGEES, AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF
OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

AUTHORIZED SIGNATURE NOTARIZED SIGNATURE

SIGNED THIS DAY OF , 20 .

STATE OF COLORADO}
COUNTY OF EL PASO}

SIGNED THIS DAY OF , 20 ,

COUNTY , STATE

NOTARY SIGNATURE

MY COMMISSION EXPIRES

SURVEYOR'S CERTIFICATE:

I, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO
HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE
FINAL PD SITE PLAN
WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN HEREON ACTUALLY EXIST
AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

PROFESSIONAL LAND SURVEYOR

DATE

PLANNING DEPARTMENT:

THE FINAL PD SITE PLAN AND ZONING REGULATIONS FOR
WERE REVIEWED BY THE TOWN
OF MONUMENT PLANNING DEPARTMENT THIS DAY OF , 20 .

PLANNING DIRECTOR

DATE

TOWN CERTIFICATION:

PLANNING COMMISSION RECOMMENDATION:

THE FINAL PD SITE PLAN FOR IS APPROVED
THIS DAY OF , 20 .

CHAIRMAN

DATE

PLANNING DIRECTOR

DATE

BOARD OF TRUSTEES APPROVAL:

THIS FINAL PD SITE PLAN FOR IS APPROVED BY THE BOARD OF TRUSTEES OF THE TOWN OF MONUMENT, COLORADO, ON
THIS DAY OF , 20 .

MAYOR

DATE

ATTEST:

TOWN CLERK

DATE

RECORDING:

STATE OF COLORADO}
COUNTY OF EL PASO}

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORDING IN MY OFFICE AT
O'CLOCK M, THIS DAY OF , A.D., 20
AND IS DULY RECORDED UNDER RECEPTION NUMBER: OF THE RECORDS
OF EL PASO COUNTY, COLORADO.

RECORDER

BY:
DEPUTY

FEE:

SURCHARGE:

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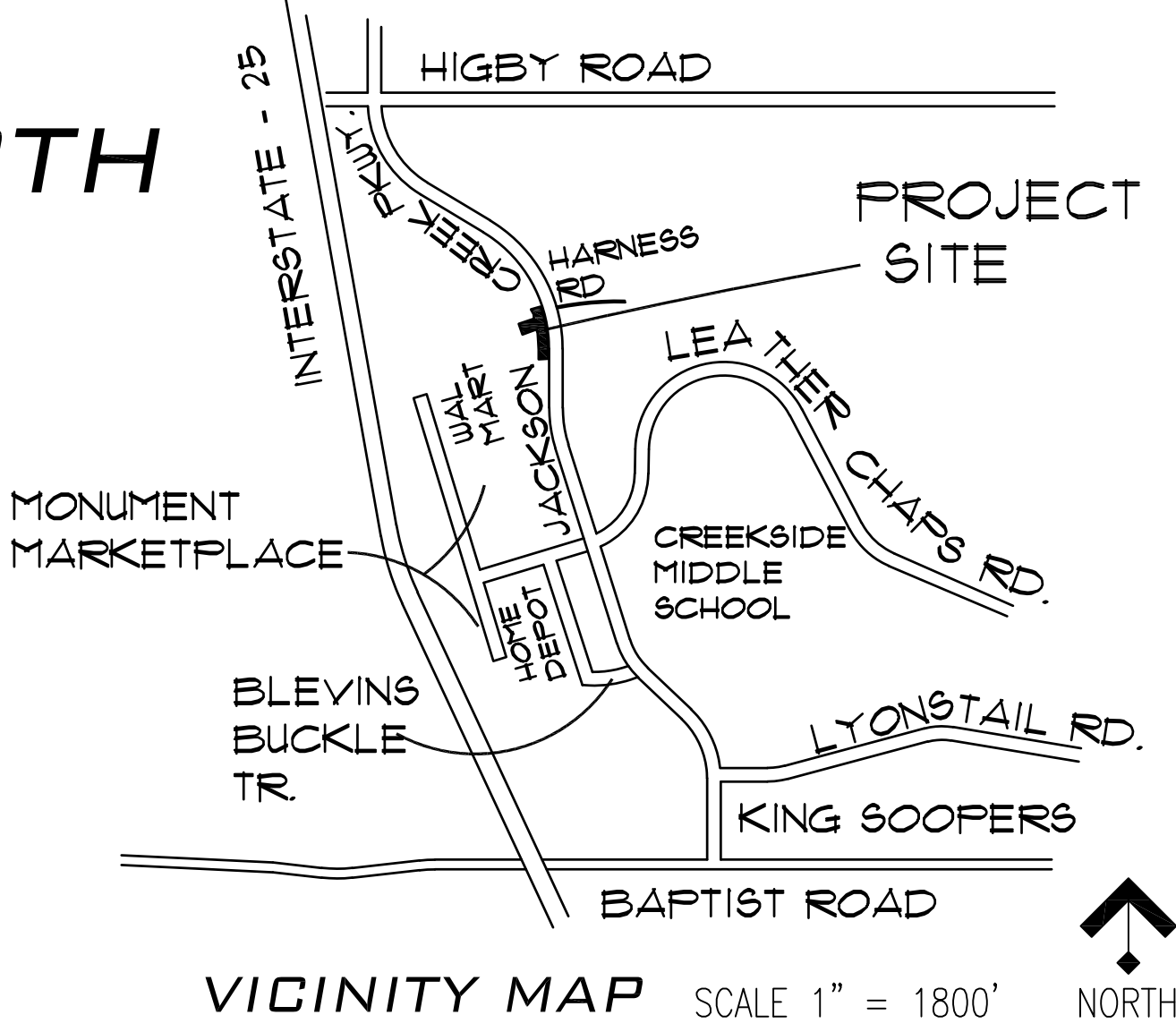
SITE DATE

EXISTING ZONING: PID
PLANNED INDUSTRIAL DEVELOPMENT

EXISTING USE: VACANT
PROPOSED ZONING: PD
DEVELOPMENT SCHEDULE: ON A LOT BY LOT BASIS
TOTAL ACRES: 2.03 ACRES

LEGAL DESCRIPTION

LOT 2, FILING NO. 1, MONUMENT MARKETPLACE NORTH



VICINITY MAP SCALE 1" = 1800' NORTH

CONTACTS

OWNER/DEVELOPER: CREEKSIDE DEVELOPERS, INC.
540 ELKTON DR. STE. 202
COLORADO SPRINGS, CO. 80907
(719) 522-0500
BRETT BEHNKE

LANDSCAPE ARCHITECT: HIGHER GROUND DESIGNS, INC.
5350 N. ACADEMY BLVD. STE. 207
COLORADO SPRINGS, CO 80918
(719) 477-1646
JOHN MACKAY

ARCHITECT/PLAN PREPARER: IRELAND DEAN DESIGNS
425 WILCOX STREET STE. 120
CASTLE ROCK, CO. 80104
(720) 878-6534
SHANNIN ALBERS

CIVIL ENGINEER: WESTWORKS ENGINEERING
1023 W. COLORADO AVENUE
COLORADO SPRINGS, CO. 80904
(719) 685-1670 X20
CHAD KUZBEK

TOWN OF MONUMENT
645 BEACON LITE RD.
MONUMENT, CO 80132

TRI VIEW METRO DISTRICT
16055 OLD FOREST POINT
STE. 300
MONUMENT, CO 80132

TRI LAKES MONUMENT
FIRE PROTECTION DIST.
16055 OLD FOREST POINT
STE. 103
MONUMENT, CO 80132

SURVEYOR: LWA LAND SURVEY, INC.
2906 BEACON STREET STE. B
COLORADO SPRINGS, CO 80907
KEVIN O'LEARY
(719) 636-5179

IRELAND DEAN
DESIGNS, LLC
ARCHITECTURE
LAND PLANNING
DEVELOPMENT SERVICES
425 WILCOX STREET
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P 720-878-6534

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LOT 2, FILING NO. 1, MONUMENT MARKETPLACE NORTH
MONUMENT, COLORADO

DA XX-2018

DATE	DESCRIPTION
01/07/19	OWNER REVIEW
02/12/19	INITIAL TOWN SUBMITTAL

PROJECT #: 18.001
DRAWN BY: KA
DESIGNED BY: KA
CHECKED BY: SDA

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TOWN OF MONUMENT, EL PASO COUNTY, COLORADO

GENERAL NOTES

- ALL PUBLIC STREETS AND ROADS WILL BE DEDICATED TO THE TOWN OF MONUMENT.
- ALL DETENTION AND DRAINAGE TRACTS WILL BE OWNED AND MAINTAINED BY CREEKSIDE DEVELOPERS, INC.
- NO USES SHALL BE PERMITTED THAT WOULD GENERATE TOXIC MATERIALS OR WASTE.
- WATER AND WASTE WATER WILL BE PROVIDED BY THE TRI-VIEW METROPOLITAN DISTRICT.
- THE PRIVATE PROPERTY OWNERS WILL MAINTAIN ALL GROUND SIGNS.
- ALL PUBLIC STREETS WILL BE CONSTRUCTED TO THE TOWN OF MONUMENTS STANDARDS.
- SIGNS REQUIRE SUBMITTAL OF SEPARATE SIGN PERMIT TO THE PLANNING DEPARTMENT FOR REVIEW AND APPROVAL.
- PHASING OF DEVELOPMENT WILL CONSIST OF THE PUBLIC ROADS, PRIVATE NORTH-SOUTH MAIN DRIVE AND UTILITIES IN SAID NORTH-SOUTH MAIN DRIVE IN THE FIRST PHASE AND THE FERRARI FILMS LOT.
- ALL PRIVATE ROADS WILL BE ASPHALT.
- ALL PARKING SPACES AND HANDICAPPED SPACES AND ISLES ARE TO BE STRIPED TO TOWN OF MONUMENT STANDARDS.
- HANDICAP RAMPS WILL BE PROVIDED FOR ACCESS FROM HANDICAP SPACES TO BUILDING ENTRANCES AND BE BUILT TO TOWN OF MONUMENT STANDARDS.
- THE SURFACE TREATMENT OF ALL PARKING AREAS WILL BE ASPHALT.
- THE BASIS OF BEARING FOR THIS IS NGS POINT "S 294 -1952" LOCATED ON THE SOUTH SIDE OF HIGBY RD. APPROXIMATELY 200 FEET EAST OF THE INTERSECTION WITH HARNESS RD. ELEVATION = 7112.78 FEET, NGVD 29 DATUM.
- EXISTING ZONING: PID, TO BE REZONED TO PD.
- EXISTING LAND USE; UNDEVELOPED.
- THIS PROPERTY IS SHOWN TO LIE IN ZONE X (AREA DETERMINED TO BE OUT OF THE 500 YEAR FLOODPLAIN) ON THE FLOOD INSURANCE RATE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT FLOOD INSURANCE, PANEL NUMBER 08041C0278G, DATED DECEMBER 7, 2018. BASED ON NAVD 88, ELEVATION 7116.72 FEET NAVD 88 DATUM.
- THIS FINAL PD WILL ESTABLISH PARKING STALLS FOR THIS PROJECT AT 9' WIDE BY 18' IN LENGTH.
- ALL ROOF-TOP MECHANICAL EQUIPMENT WITH THE EXCEPTION OF SOLAR ENERGY DEVICES SHALL BE SCREENED FROM VIEW BY THE USE OF COMPATIBLE AND APPROPRIATE MATERIALS. ROOF TOP SCREENING WILL ONLY BE REQUIRED TO SCREEN EQUIPMENT FROM VIEWS AT THE FINISH GRADE OF THE DEVELOPED BUILDING SITE, OR THE EQUIVALENT GRADE ON THE ADJACENT PORTION ON CONTIGUOUS BUILDINGS SITES. WHERE ROOF TOP MECHANICAL EQUIPMENT CANNOT BE ADEQUATELY SCREENED BECAUSE OF ELEVATION CHANGES OR HIGHER BUILDINGS IN THE VICINITY, THEN SCREENING ACCOMPANIED BY COMPATIBLE PAINTING OF EQUIPMENT IS PERMISSIBLE.

ZONING REGULATIONS

- ADOPTION/AUTHORIZATION. THE BOARD OF TRUSTEES HAS ADOPTED THIS FINAL PD SITE PLAN AND ZONING REGULATIONS PURSUANT TO CHAPTER 17 OF THE MONUMENT MUNICIPAL CODE AFTER APPROPRIATE PUBLIC NOTICE AND HEARING.
- APPLICABILITY. THE PROVISIONS OF THIS FINAL PD SITE PLAN AND ZONING REGULATIONS SHALL RUN WITH THE LAND AND BIND ALL LANDOWNERS OF RECORD, THEIR SUCCESSORS, HEIRS, OR ASSIGNS OF THE LAND AS APPROVED BY THE MONUMENT BOARD OF TRUSTEES.
- MAXIMUM LEVEL OF DEVELOPMENT. THE TOTAL NON-RESIDENTIAL FLOOR AREA APPROVED FOR DEVELOPMENT WITHIN THE ESTABLISHED USE AREA IS THE MAXIMUM ALLOWED FOR PLATTING DEVELOPMENT. THE ACTUAL FLOOR AREA APPROVED WILL BE DETERMINED WITH THIS FINAL PD SITE PLAN AND FINAL PLAT STAGE OF REVIEW BASED UPON ENVIRONMENTAL CONSTRAINTS, UTILITY AND STREET CAPACITY, COMPATIBILITY WITH SURROUNDING LAND USES, AND OTHER RELEVANT FACTORS.
- RELATIONSHIP TO TOWN REGULATIONS. THE PROVISIONS OF THIS FINAL PD SITE PLAN AND THESE ZONING REGULATIONS SHALL PREVAIL AND GOVERN THIS PLANNED DEVELOPMENT PROVIDED, HOWEVER, THAT WHERE THE PROVISIONS OF THIS FINAL PD SITE PLAN AND THESE ZONING REGULATIONS DO NOT ADDRESS A PARTICULAR SUBJECT, THE RELEVANT PROVISIONS OF THE MONUMENT MUNICIPAL CODE, AS AMENDED, OR ANY OTHER APPLICABLE RESOLUTIONS OR REGULATIONS OF THE TOWN OF MONUMENT, SHALL APPLY.
- DEFINITIONS. THE STANDARD DEFINITIONS FOUND IN THE MONUMENT MUNICIPAL CODE CHAPTER 17 SHALL APPLY TO THIS PLANNED DEVELOPMENT.
- OVERALL PROJECT STANDARDS. THE STANDARD ZONING REQUIREMENTS OF THE MONUMENT MUNICIPAL CODE CHAPTER 17, AS AMENDED, INCLUDING OFF-STREET PARKING, LANDSCAPING, SITE DEVELOPMENT, ACCESSORY AND TEMPORARY USES, AND USE BY SPECIAL REVIEW AND VARIANCE PROCESSING SHALL APPLY TO THIS FINAL PD SITE PLAN, EXCEPT AS MODIFIED BELOW.
- SEVERABILITY OF PROVISIONS. IN THE EVENT THAT ANY PROVISIONS HEREOF SHALL BE DETERMINED TO BE ILLEGAL OR VOID BY THE FINAL ORDER OF ANY COURT OF COMPETENT JURISDICTION, THE REMAINING PROVISIONS SHALL REMAIN IN FULL FORCE AND EFFECT.

DEVELOPMENT GUIDELINES

- PROJECT DESCRIPTION THE FERRARI FILMS IS A PD COMMERCIAL DEVELOPMENT ON 2.03 ACRES OF LAND LOCATED ON JACKSON CREEK PKWY, NORTH OF THE MONUMENT MARKET PLACE, EAST OF I-25.
- TEMPORARY USES TEMPORARY USES SHALL BE SUBJECT TO THE PROVISIONS OF SECTION 17.48.210 OF THE TOWN'S MUNICIPAL CODE, AS AMENDED.
- ACCESSORY STRUCTURES ACCESSORY STRUCTURES MUST COMPLY WITH DEVELOPMENT STANDARDS IN ITEM (G) OF THESE GUIDELINES, AND SHALL BE SUBJECT TO THE PROVISIONS OF SECTION 17.48.180 OF THE TOWN'S MUNICIPAL CODE, AS AMENDED.
- SIGNS SIGNS SHALL BE PERMITTED IN ACCORDANCE WITH THE REQUIREMENTS FOR THE SIGNS IN THE GENERAL COMMERCIAL ZONE (C1) AND FOR FREEWAY ORIENTED BUSINESSES AS STATED IN SECTION 17.56.170 OF THE TOWN'S MUNICIPAL CODE, AS AMENDED. SIGN DESIGN AND THE COMPUTATION OF THE SIGN AREA SHALL CONFORM TO THE STANDARDS IN SECTION 17.56.140 AND 17.56.220 OF THE TOWN'S MUNICIPAL CODE, AS AMENDED.
- DEVELOPMENT STANDARDS
 - MAXIMUM BUILDING HEIGHT: 50 FEET, PLUS A FOUR (4) FOOT PARAPET
 - LOT SETBACK MINIMUM
 - FRONT: TWENTY FIVE (25) FEET MINIMUM
 - SIDE: TEN (10) FEET MINIMUM
 - REAR: TWENTY FIVE (25) FEET MINIMUM
 - MAXIMUM LOT COVERAGE: FORTY (40) PERCENT OF LOT AREA
- DRIVE ISLES STREETS WITHIN FERRARI FILMS DEVELOPMENT SHALL BE PRIVATE AND MAINTAINED BY FERRARI FILMS.
- EXTERNAL EFFECTS ALL USES WITHIN THIS DEVELOPMENT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 17.43.100 OF THE TOWN'S MUNICIPAL CODE, AS AMENDED, IN ORDER TO LIMIT THE POTENTIAL EXTERNAL EFFECTS OF SOME OF THE PERMITTED USES.

Ireland
DEAN
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ARCHITECTURE
LAND PLANNING
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P 720-878-6534

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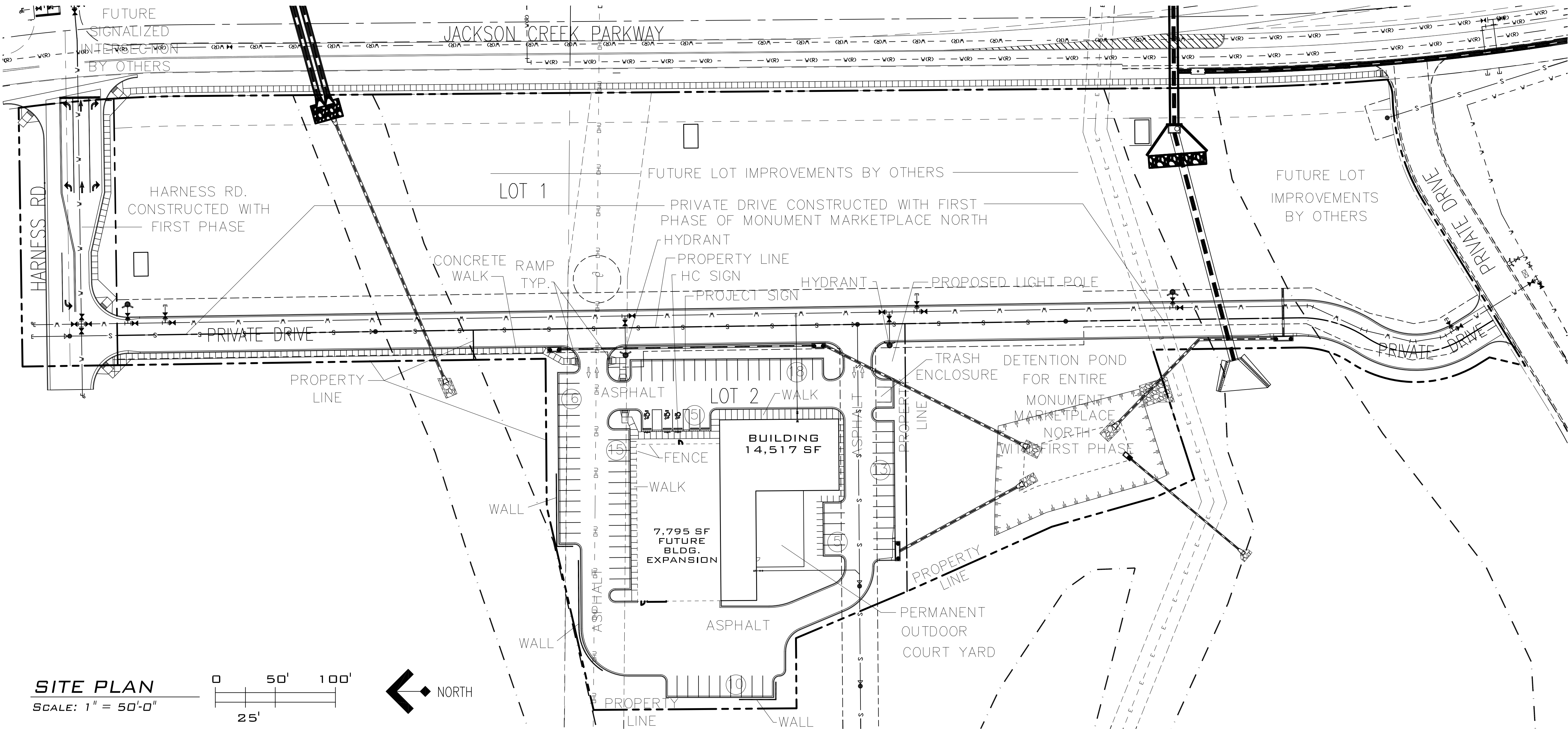
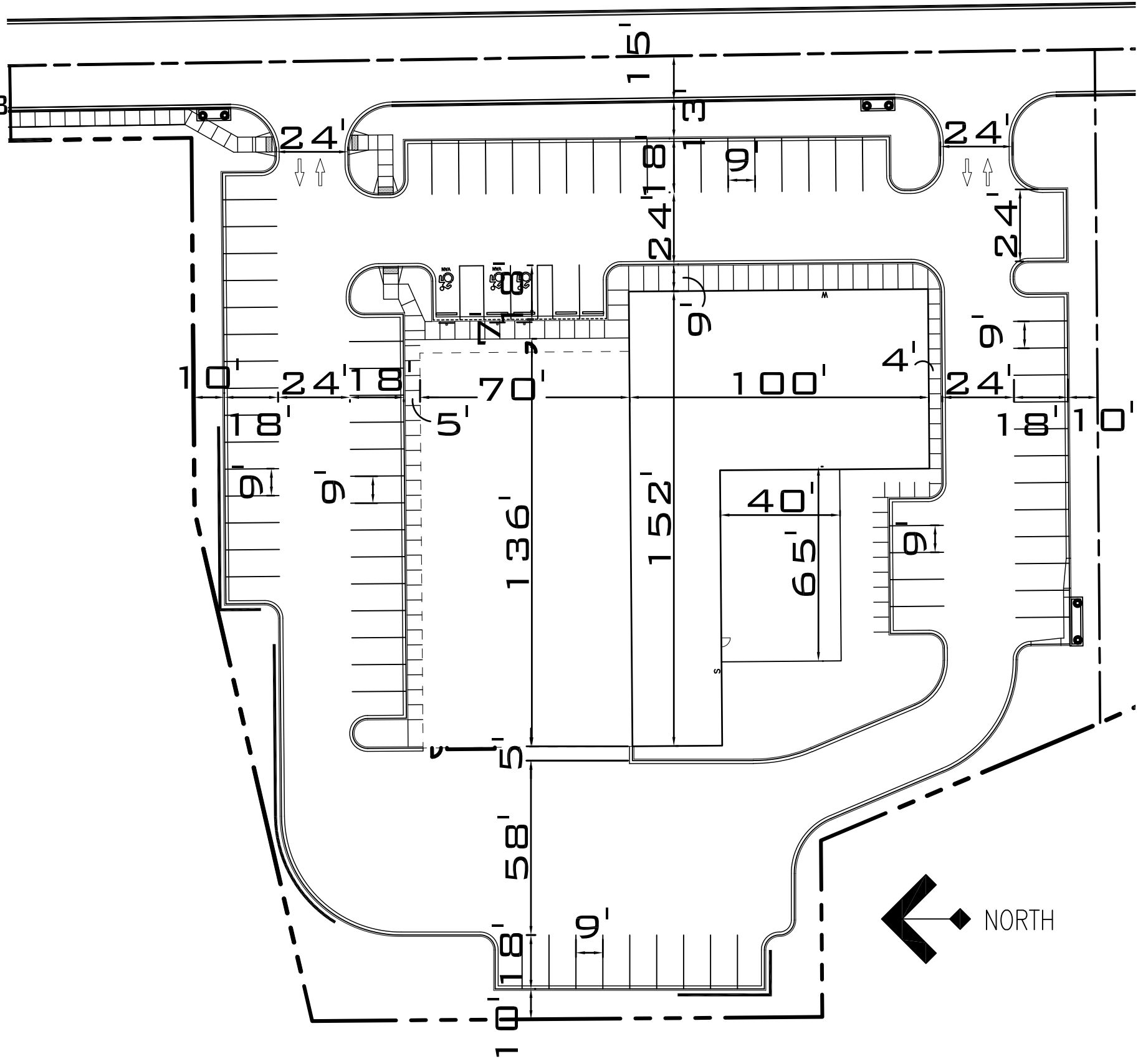
DEVELOPMENT PLAN NOTES

SITE ANALYSIS

LOT 2	88,423 SF - 2.03 AC
USE	FERRARI FILMS
FRONT BLDG SETBACK	25'-0"
INITIAL LANDSCAPE AREA	23,833 S.F. = 27%
FINAL LANDSCAPE AREA AFTER FUTURE BUILDING EXPANSION	16,038 S.F. = 18%
PAVING/HARDSCAPE AREA	50,073 S.F. = 57%
INITIAL BUILDING FLOOR PRINT	14,517 S.F. = 16%
FINAL BUILD OUT BUILDING FLOOR PRINT AFTER BUILDING EXPANSION	22,312 S.F. = 25%
BUILDING HEIGHT - PROPOSED	37'-0"
BUILDING HEIGHT - ALLOWED	50'-0"
PARKING REQUIRED	43
PARKING PROVIDED	79 STANDARD 3 HANDI CAPPED 82 TOTAL STALLS
ZONING:	PD

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LEGEND

- SIDEWALK
- CURB AND GUTTER
- MONUMENT SIGN
- PROPERTY LINE
- HANDI CAP RAMP
- PARKING COUNT
- FIRE HYDRANT
- BUILDING FOOTPRINT
- PROPOSED POLE SIGN
- SETBACKS
- HANDI CAP RAMPS
- PAINTED CROSS WALK
- LIGHT POLE
- DOOR

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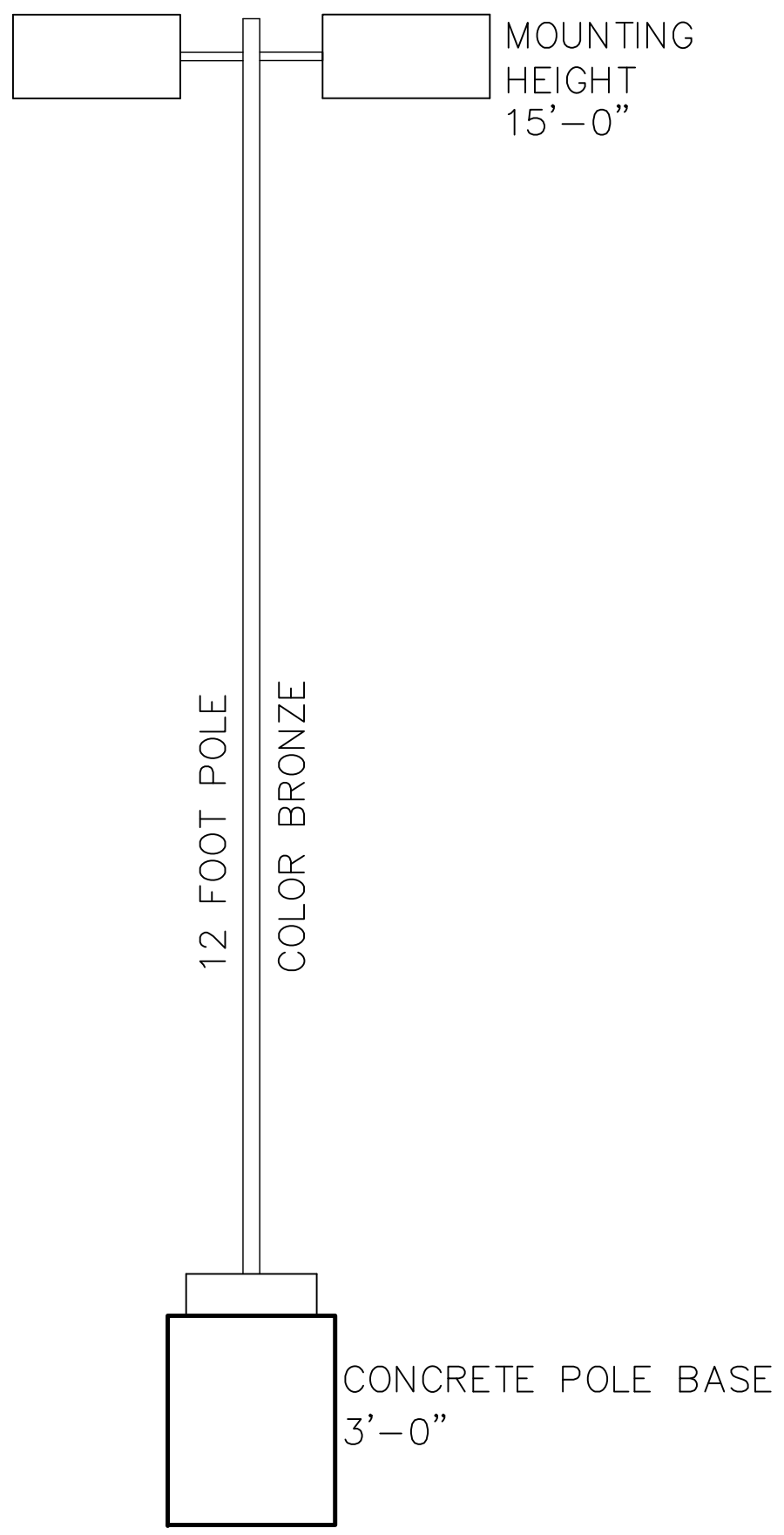
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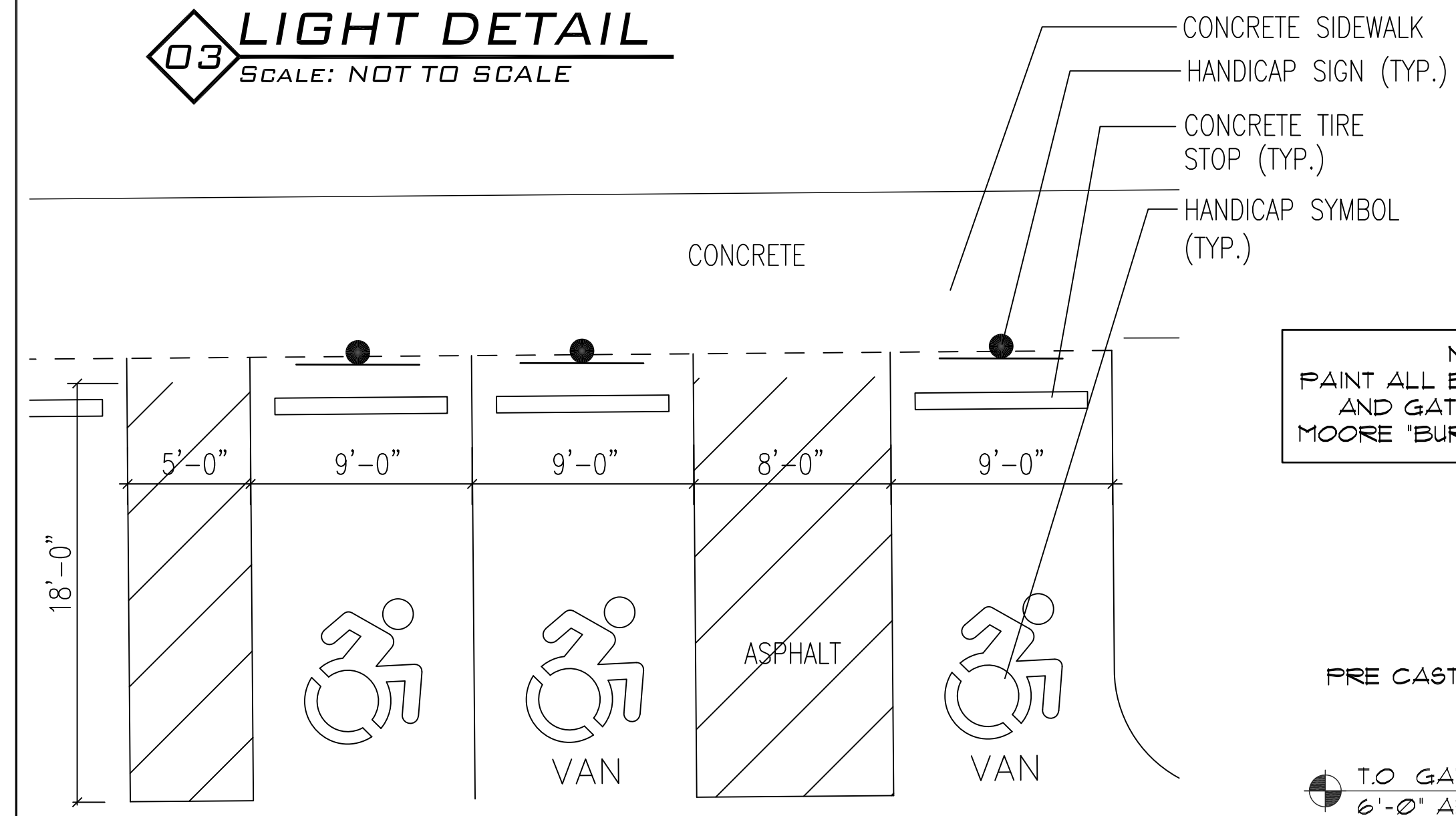
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03 LIGHT DETAIL
SCALE: NOT TO SCALE



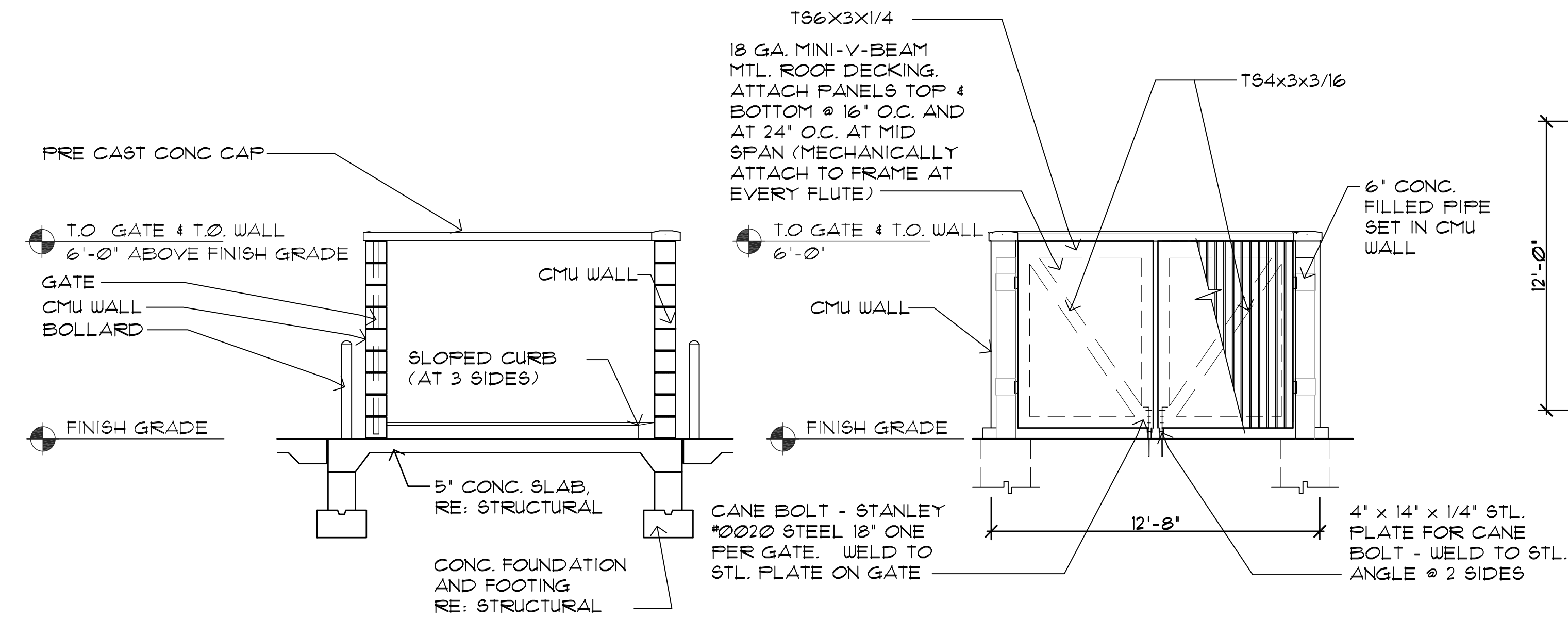
ACCESSIBILITY NOTES:
1. ALL ACCESSIBLE STALL PAVEMENT MARKINGS SHALL BE 4" WIDE WHITE STRIPES.
2. ACCESSIBLE AISLE SHALL BE A MINIMUM OF 5' WIDE AND 9' FOR VAN.
3. ACCESSIBLE STALL SHALL BE A MINIMUM OF 9' WIDE.
4. ACCESSIBLE PARKING AREA SURFACE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION
5. A SIGN MUST MARK ACCESSIBLE PARKING. THE SYMBOL ON THE PAVEMENT, ALONE IS NOT ADEQUATE.
6. ACCESSIBLE PARKING STALLS MUST MEET ALL APPLICABLE ADA STANDARDS.

02 ACCESSIBLE PARKING DETAIL
SCALE: NOT TO SCALE

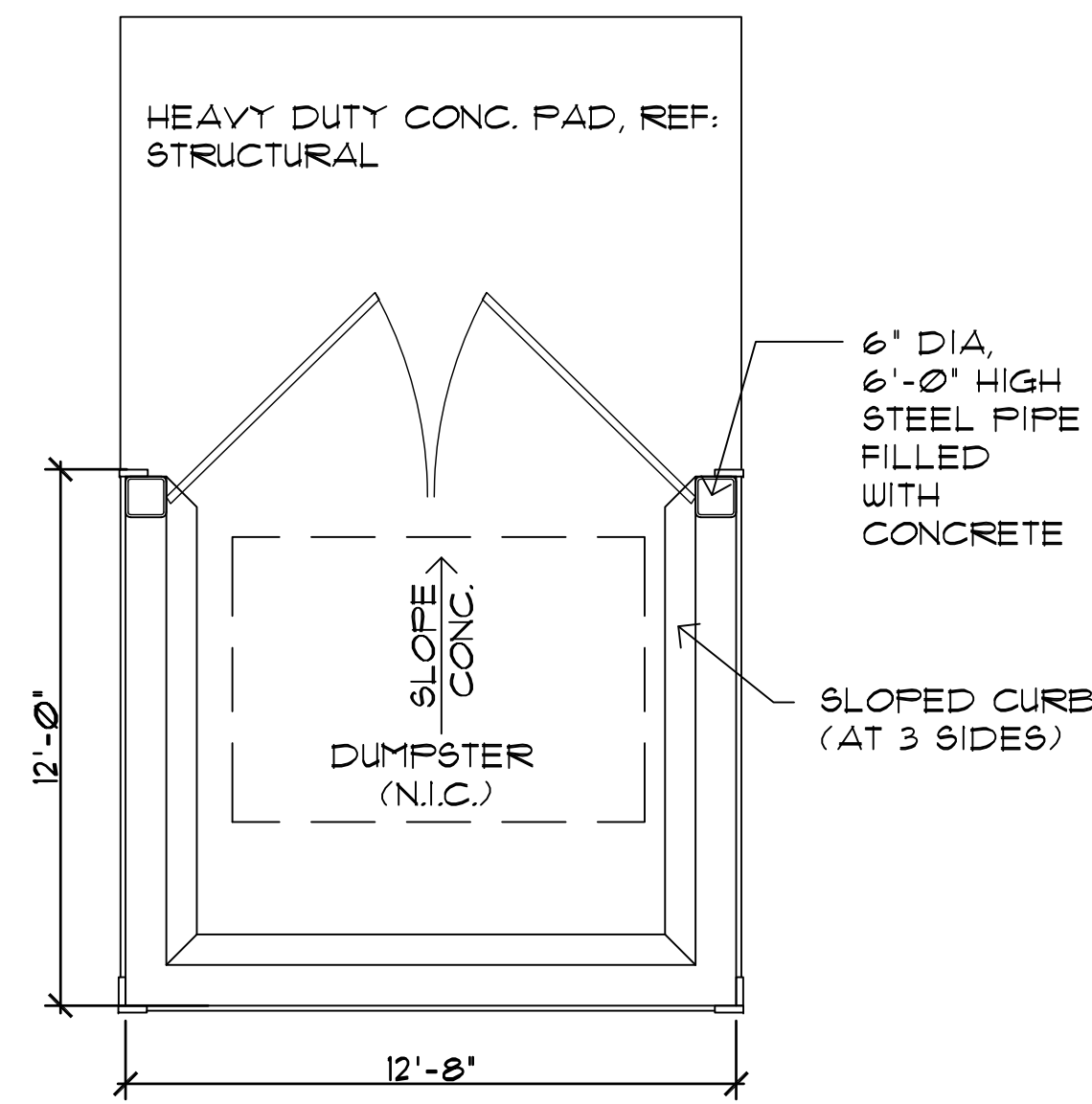
NOTE:
PAINT ALL BRACES, HINGES, AND GATES, BENJAMIN MOORE "BURNT SIENNA" #1196

NOTE:
CMU: BASALITE, SPLIT FACE COLOR #861

NOTE:
SINGLE GATE SHOWN, FOR DOUBLE DUMPSTER ENCLOSED, USE FOUR GATES AS SHOWN



01 TRASH ENCLOSURE DETAIL
SCALE: NOT TO SCALE



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SITE DETAILS

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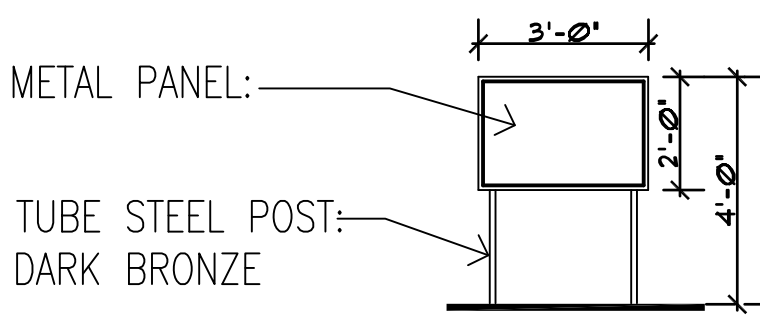
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KEY NOTES

- ① SINGLE TENANT MONUMENT SIGN, SEE DETAIL THIS SHEET.
② STOP SIGN, REFER TO CIVIL CONSTRUCTION DOCUMENTS. LOCATIONS AS NEEDED.
③ ACCESSIBLE PARKING SIGN, SEE DETAIL THIS SHEET. LOCATIONS AS NEEDED.

WRITTEN MASTER SIGN PLAN NOTES

1. ALL SIGNAGE SHALL BE IN ACCORDANCE WITH THE TOWN OF MONUMENT REGULATIONS AND ORDINANCES, WHERE APPLICABLE.
2. ALL SIGNS REQUIRE SUBMITTAL AND APPROVAL OF A SIGN PERMIT THROUGH THE TOWN OF MONUMENT PLANNING DEPARTMENT.
3. NO SIGN SHALL BE PLACED ON ANY ROOF OR CANOPY ROOF, UPON OR EXTEND ABOVE THE BUILDING ROOF OR PLACED SO AS TO PROJECT ABOVE THE PARAPET, EAVE OR TOP OF BUILDING WALL OR ROOFING.
4. SINGLE TENANT SIGN HEIGHTS, AREAS, LOCATIONS, SETBACKS, DIMENSIONS AND USE OF MATERIALS ARE ESTABLISHED PER THIS PD DOCUMENT.

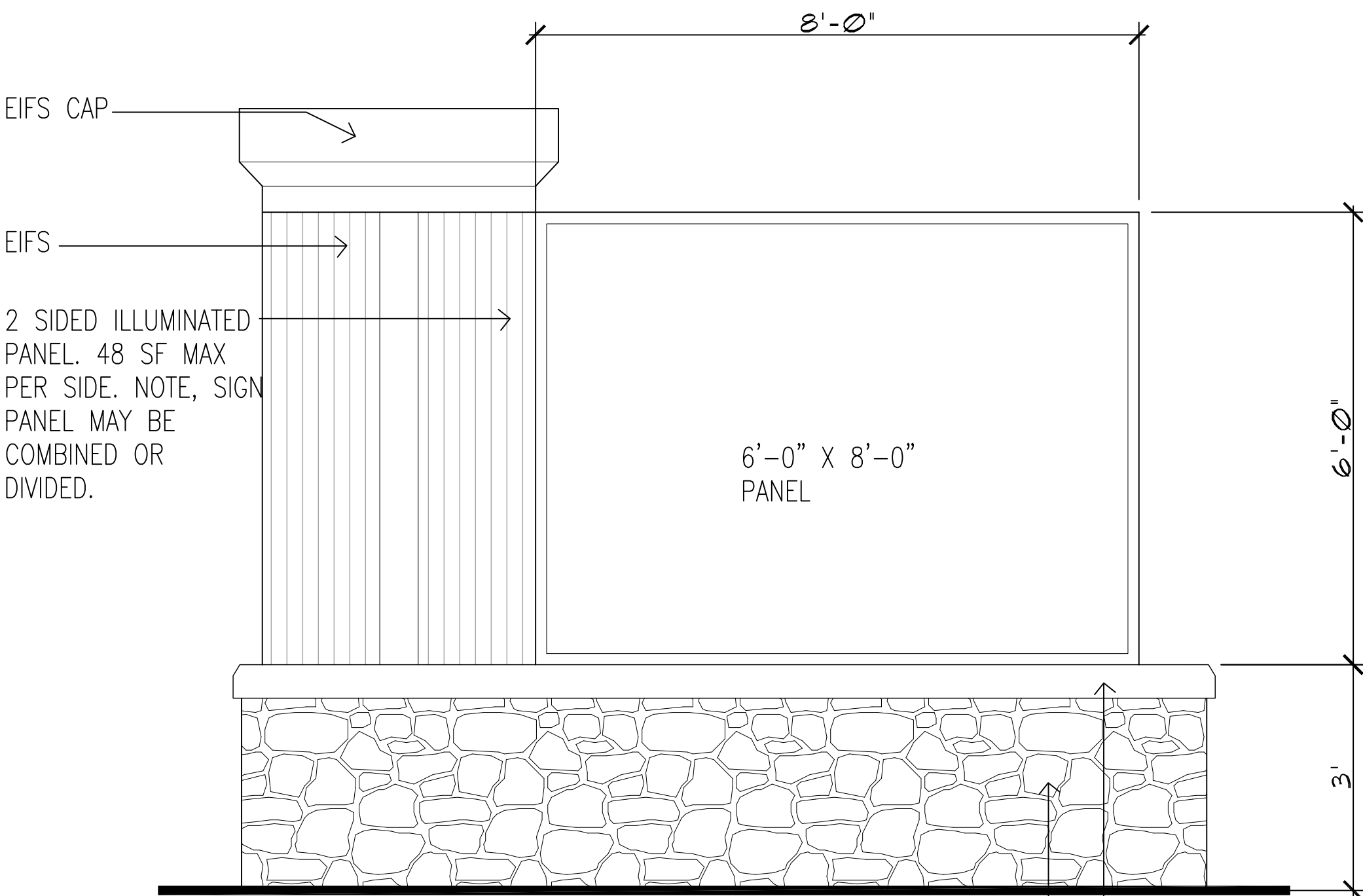


DIRECTIONAL SIGN
NOT TO SCALE

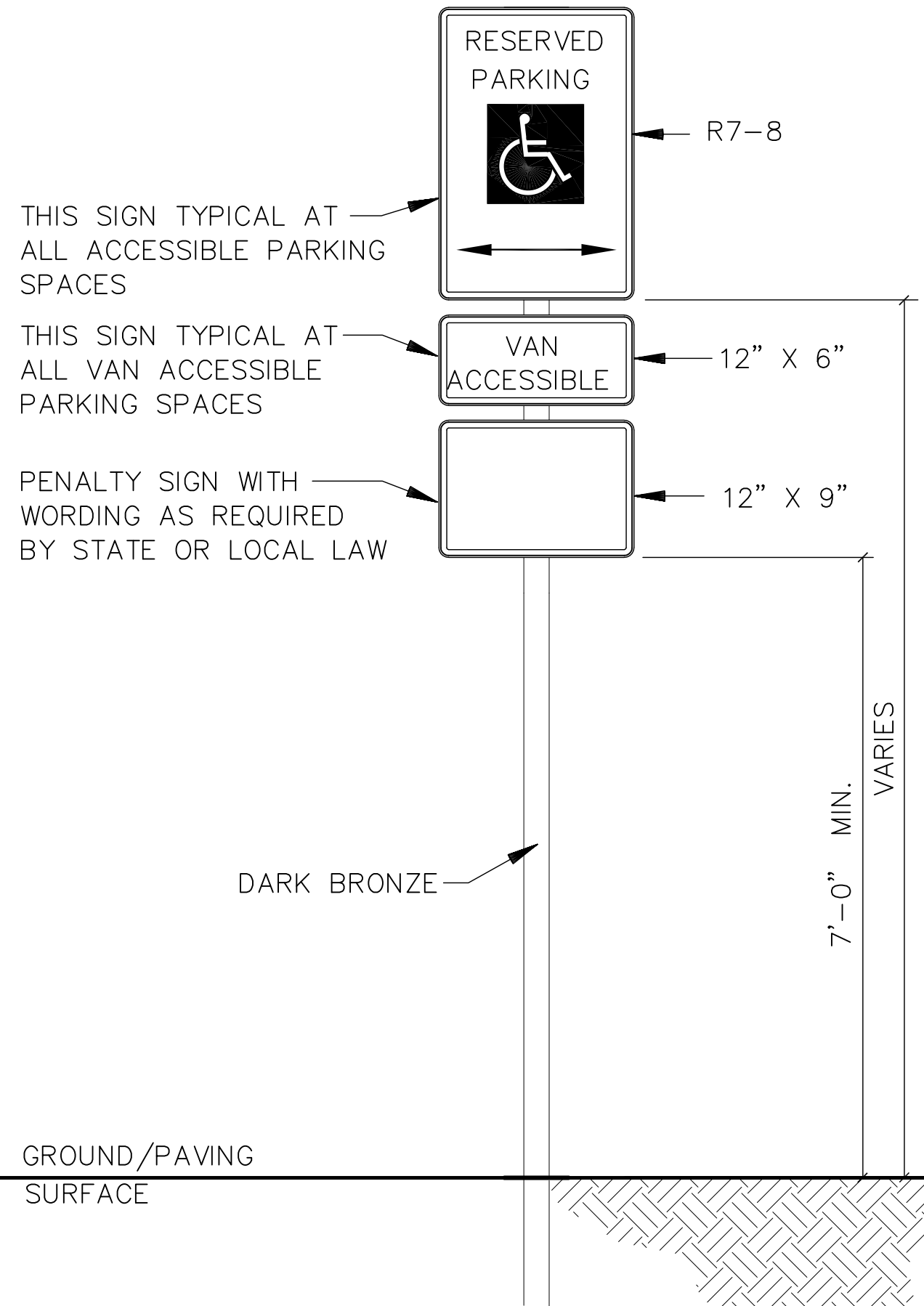
THIS SIGN TYPICAL AT
PERIMETER CMU WALLS
AT 50 FOOT INTERVALS
AND AT GATED ENTRANCES



SECURITY SIGN
NOT TO SCALE



SINGLE TENANT MONUMENT SIGN
NOT TO SCALE



ACCESSIBLE PARKING SIGN
NOT TO SCALE

LANDSCAPE REQUIREMENTS

Lot 1 Total site SF: 88,086 SF
(includes development for Ferrari Films only)

Streetscape (LS): One tree per 30 LF. Substitute 10 shrubs for one tree up to 50%.
193 LF/30=7 requiried/7provided

Buffer (LB): Adjacent to single-family residential: Not required

Parking lot (MV): 12 shrubs along south border required/provided. 82 spaces provided: 4 shade trees required/provided

Internal (IL): 15% of site dedicated to landscape. One tree per 2,000 sf of landscape area required. 2 shrubs per 300 sf required - 6 trees required/provided; 84 shrubs required/ 110 provided (not including courtyards)

Screen trash enclosures (MV): 4 Upright evergreen shrubs required/provided

DEVELOPMENT LANDSCAPE STANDARDS

- OVERALL DESIGN:** XERISCAPE PRINCIPLES SHALL BE FOLLOWED. DROUGHT TOLERANT PLANTS SHALL BE USED. REFER TO TOWN OF MONUMENT APPROVED PLANT LIST.
- HIGH WATER USE SOD/SEED GRASS IS NOT ALLOWED.**
- STREETSCAPE FOR EACH LOT:** 1 TREE PER 30 LF REQUIRED FOR ANY INTERNAL STREET FRONTAGE. SUBSTITUTE 10 SHRUBS FOR ONE TREE UP TO 50%.
- BUFFER:** LOTS ADJACENT TO SINGLE-FAMILY RESIDENTIAL REQUIRE 1 TREE PER 25 LF AND 50% SHALL BE EVERGREEN.
- PARKING LOT:** FOR PARKING SPACES SCREEN 2/3 TOTAL LENGTH WITH PLANTS AND/OR BERMS THAT FRONT STREETS AND ADJACENT PROPERTY. ONE SHADE TREE PER 20 PARKING SPACES. SHADE TREES SHALL BE LOCATED IN ISLANDS OR ADJACENT TO SPACES.
- INTERNAL:** 15% OF PROPERTY SITE SHALL DEDICATED TO LANDSCAPE. ONE TREE PER 2,000 SF OF LANDSCAPE AREA REQUIRED. 2 SHRUBS PER 300 SF REQUIRED.
- SCREEN TRASH ENCLOSURES WITH EVERGREEN PLANTS (MINIMUM 6' HEIGHT AT MATURITY)**
- REFER TO CITY OF MONUMENT MUNICIPAL CODE STANDARDS FOR ADDITIONAL GUIDELINES.**

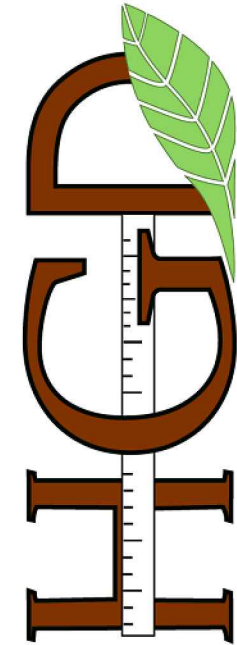
LANDSCAPE GUIDELINES

- NO TURF GRASS WILL BE ALLOWED. NATIVE GRASS SEED MAY BE IMPLEMENTED ON NO MORE THAN 25% OF EACH LOT'S LANDSCAPED AREA.
- ALL NATIVE SEED AREAS SHALL HAVE A TEMPORARY ABOVE-GROUND SPRAY IRRIGATION SYSTEM UTILIZED UNTIL SEED IS ESTABLISHED, AND ALL TREES AND SHRUBS WITHIN NATIVE SEED AREAS SHALL HAVE A PERMANENT DRIP IRRIGATION SYSTEM.
- CONTRACTOR TO APPLY EROSION CONTROL BLANKET TO ALL SEED GRASS AREAS 3:1 AND GREATER SLOPES.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. SOIL AMENDMENTS ARE TO BE APPLIED WITH A MINIMUM OF 2 CUBIC YARDS/1000 S.F. AREA OF ORGANIC COMPOST ADEQUATELY TILLED INTO THE SOIL.
- NO TREES AND NO PLANTS OVER 2 FEET TALL SHALL BE INSTALLED WITHIN 5 FEET OF ANY FIRE HYDRANTS OR UTILITY TRANSFORMERS.
- NO PLANTING OR STRUCTURES SHALL BE ALLOWED OVER THE HEIGHT OF 30 INCHES ABOVE THE LEVEL OF THE ROADWAYS WITHIN A 15' SIGHT DISTANCE TRIANGLE AT THE CORNERS OF INTERSECTIONS.
- ALL LANDSCAPE REQUIREMENTS SHALL BE INSTALLED TO MONUMENT MUNICIPAL CODE STANDARDS.

HIGHER GROUND DESIGNS, INC.

LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

5350 NORTH ACADEMY BLVD., STE. 207
COLORADO SPRINGS, CO 80918
Phone 719-477-1646
Fax 719-268-1122



HIGHER GROUND
DESIGNS

FERRARI FILMS
MONUMENT MARKETPLACE
MONUMENT, CO

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PREPARED FOR:
CSI DEVELOPMENT LLC

NOT FOR CONSTRUCTION (FOR APPROVAL ONLY)

JOB NUMBER
819-18

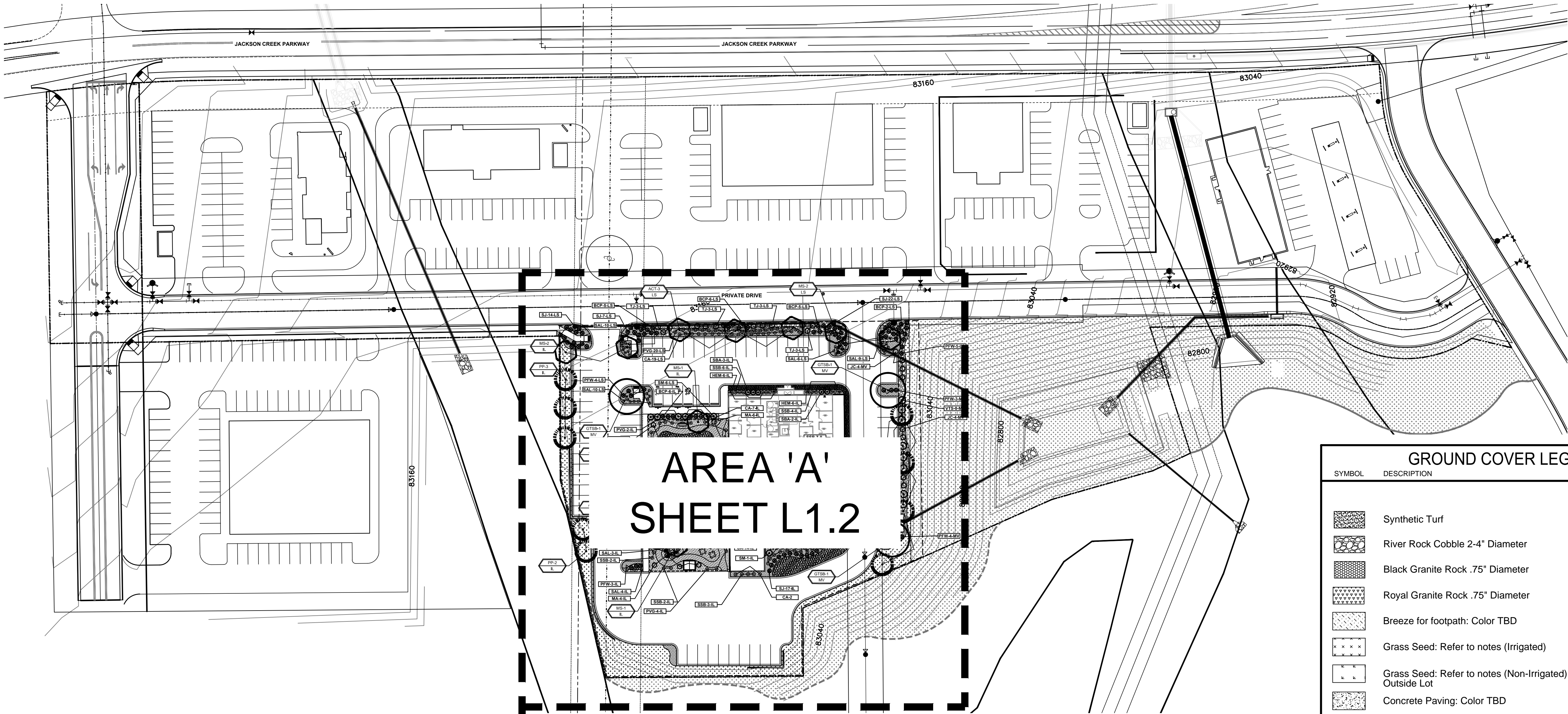
REVISIONS

ORIGINAL DATE
2-6-19

DRAWN BY
JIM

DESCRIPTION
LANDSCAPE
PLAN

SHEET NO.
L1.1



GROUND COVER LEGEND

SYMBOL	DESCRIPTION	APPROX. SF
	Synthetic Turf	3,389 SF
	River Rock Cobble 2-4" Diameter	4,936 SF
	Black Granite Rock .75" Diameter	10,134 SF
	Royal Granite Rock .75" Diameter	2,328 SF
	Breeze for footpath: Color TBD	3,407 SF
	Grass Seed: Refer to notes (Irrigated)	7,506 SF
	Grass Seed: Refer to notes (Non-Irrigated) Outside Lot	66,855 SF
	Concrete Paving: Color TBD	2,437 SF
	Accent Boulders: 36" Diameter, 18" Dia.	See plan

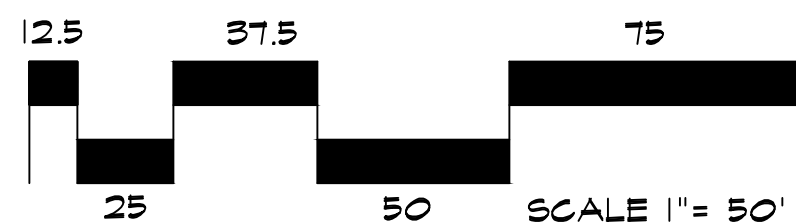
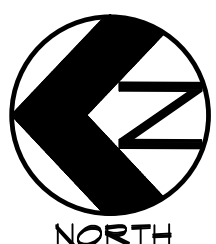
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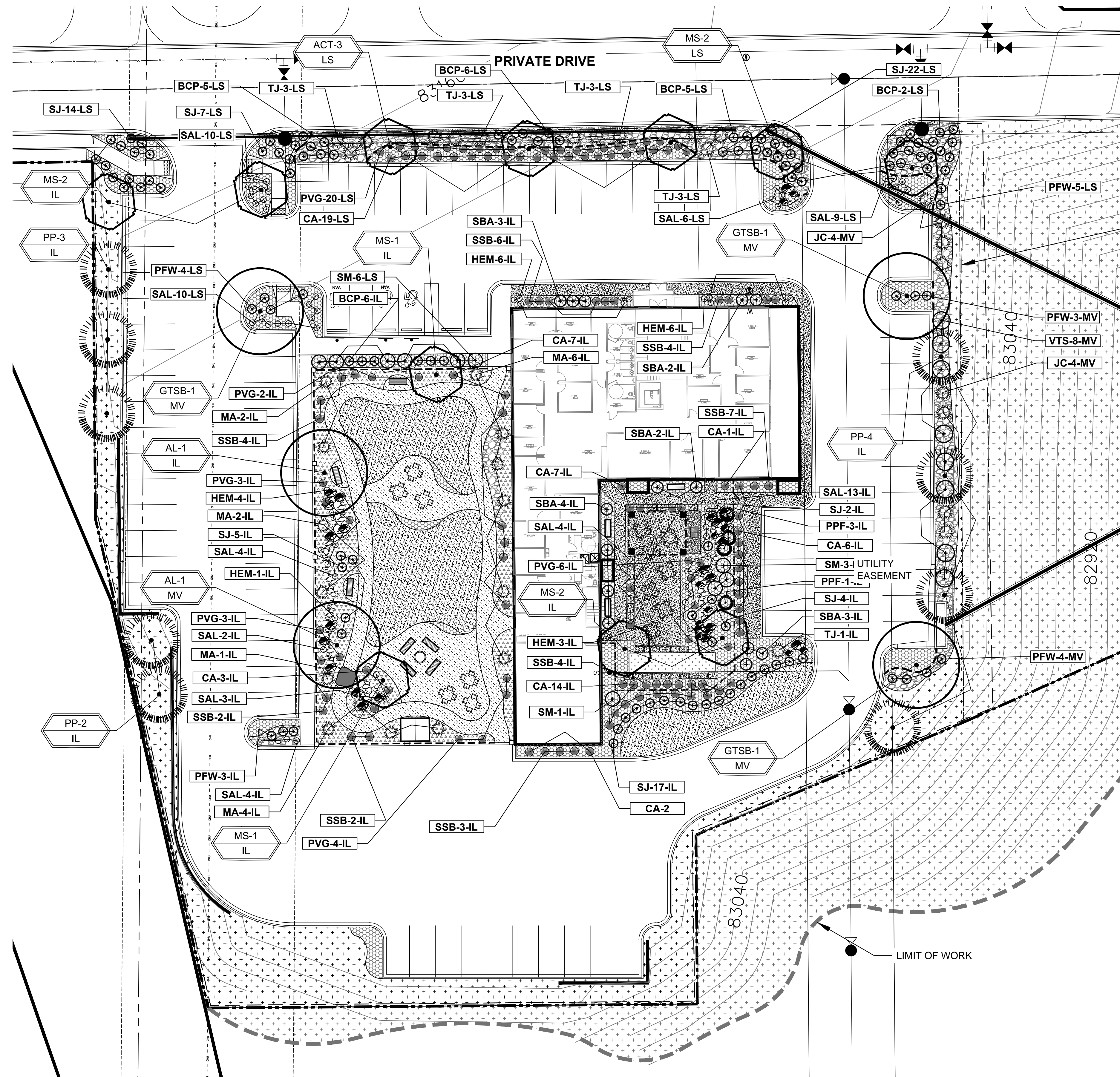
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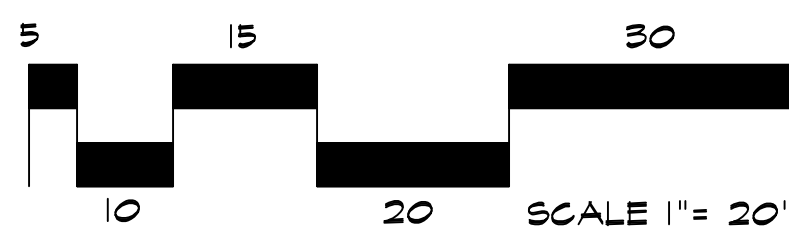
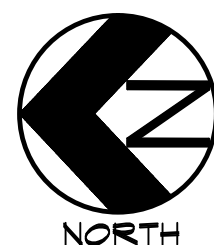
The undersigned owner/developer understands that all improved land must conform to the regulations set forth in Title 17 of the Monument Municipal Code. The owner/developer agrees to abide by these regulations and to improve and maintain the land as indicated on the approved landscaping plan.

OVERALL LANDSCAPE PLAN





PLANTING PLAN AREA 'A'



UTILITIES NOTE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6" MINIMUM DISTANCE FROM ANY UTILITY AND 10' FROM GAS MAINS. FOR SANITARY SEWER AND WATER MAIN LINES TREES SHALL BE PLACED A MINIMUM OF 15' FROM LINES. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED IN THE FIELD IN ACCORDANCE WITH LOCAL CODES. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER LOCAL CODES. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

PLANT SCHEDULE

Symbol	Abbr.	Quant	Botanical Name	Common Name	Water	Zone	Mature Wdth/Hght	Size
EVERGREEN TREES:								
PP	9	Pinus ponderosa	Ponderosa Pine	MED	5	20'	B&B	6' ht.
PPF	4	Pinus pungens Fastiglata Wells	Blue Totem	MED	5	4' x 12'	B&B	6' ht.
DECIDUOUS TREES:								
ACT	3	Acer tataricum 'Garann'	Tatarian Maple 'Hot Wings'	MED	4	20' x 25'	B&B	1-1/2" cal.
GTSB	3	Gleditsia triacanthos 'Sunburst'	Sunburst Honeylocust	MED	4	30' X25'	B&B	1-1/2" cal.
AL	2	Acer platanoides	Norway Maple (European)	MED	4	30' X25'	B&B	1-1/2" cal.
MS	8	Malus 'Spring Snow'	Spring Snow Crabapple	MED	4	15' X15'	B&B	1-1/2" cal.
EVERGREEN SHRUBS:								
TJ	13	Juniperus sabina Tamariscifolia	Tamarix Juniper	MED	4	6-8' x 4-6'	#5	Cont.
JC	8	Juniperus scopulorum 'Cologreen'	Cologreen Juniper	MED	4	6' x 15'	#15 CONT.	
MA	15	Mahonia aquifolium compacta	Compact Oregon Grape Holly	MED	4	3-4' x 2-3'	#5	
DECIDUOUS SHRUBS:								
BCP	25	Berberis thunbergii 'Crimson Pygmy'	Crimson Pygmy Barberry	MED	4	2' x 1-2'	#5	
SBA	14	Spiraea bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	MED	4	2-3' x 3-4'	#5	
SJ	71	Spiraea japonica 'Majic Carpet'	Majic Carpet, Spiraea	MED	4	1-2' x 1-2'	#5	
SM	10	Syringa meyeri palibin	Dwarf Korean Lilac	MED	4	4-5' x 3-5'	#5	
PFW	19	Potentilla fruticosa 'McKay's White'	McKay's White Potentilla	LOW	4	2-3' x 2-3'	#5	
VTS	8	Viburnum trilobum 'Spring Green'	Spring Green Compact Viburnum	MED	4	3-5' x 2-3'	#5	
ORNAMENTAL GRASSES:								
CA	59	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	LOW	4	1-3' x 2-3'	#1 cont.	
SSB	32	Schizachyrium scoparium 'Blaze'	Little bluestem grass	LOW	4	2-3' x 2-3'	#1 cont.	
PVG	38	Panicum virgatum 'Heavy Metal'	Heavy Metal Grass	LOW	4	2' x 3-4'	#1 cont.	
PERENNIALS:								
HEM	20	Hemerocallis 'Red Magic'	Red Magic Daylily	LOW	4	18" x 12"	#1 CONT	
SAL	65	Salvia nemorosa 'May Night'	May Night Salvia	LOW	4	24" x 24"	#1 CONT	

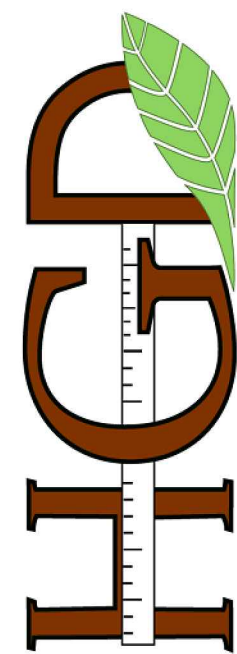
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HIGHER GROUND DESIGNS, INC.

LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

5350 NORTH ACADEMY BLVD., STE. 207
COLORADO SPRINGS, CO 80918
Phone 719-477-1646
Fax 719-468-1122



HIGHER GROUND
DESIGNS

FERRARI FILMS
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MONUMENT, CO

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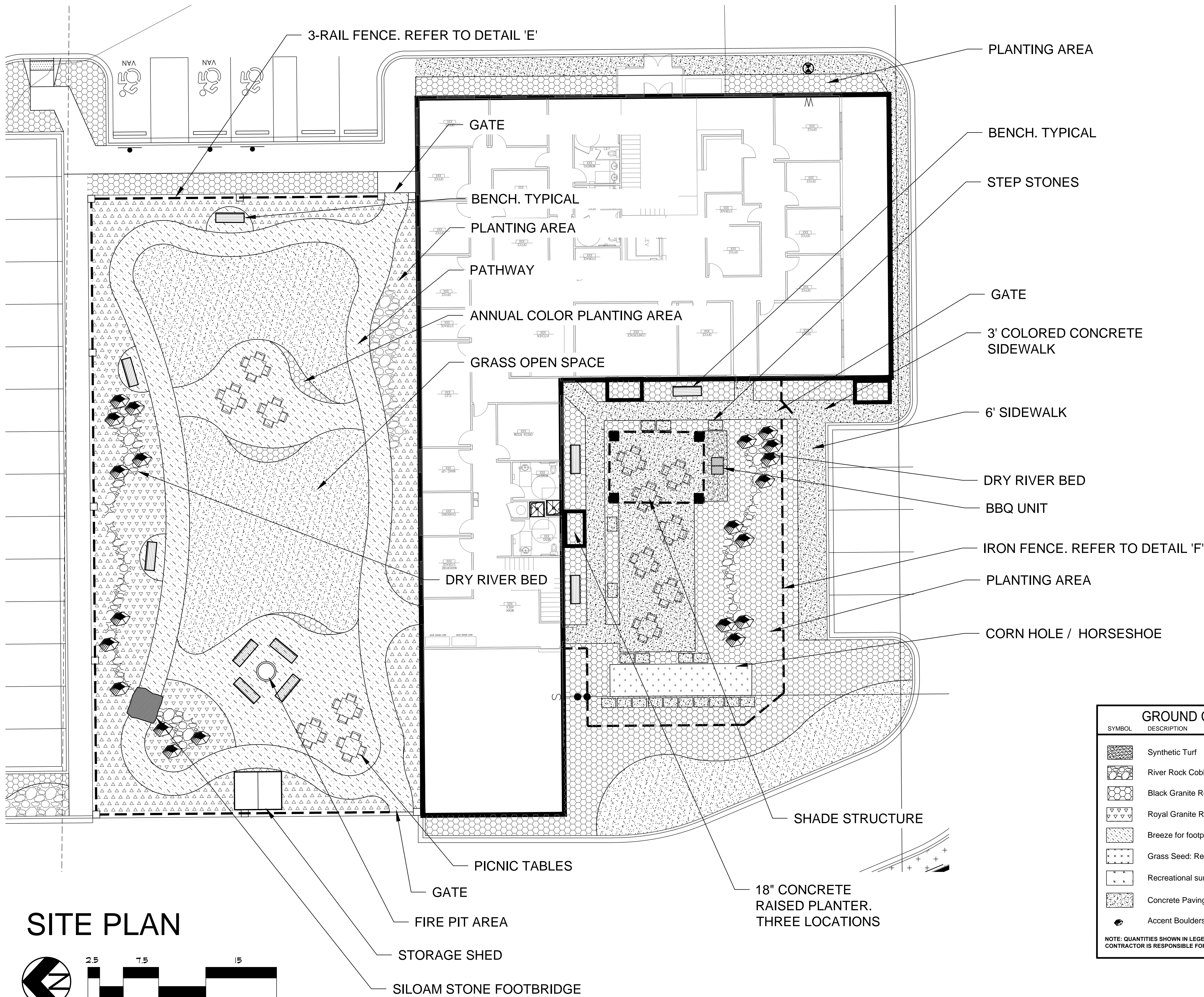
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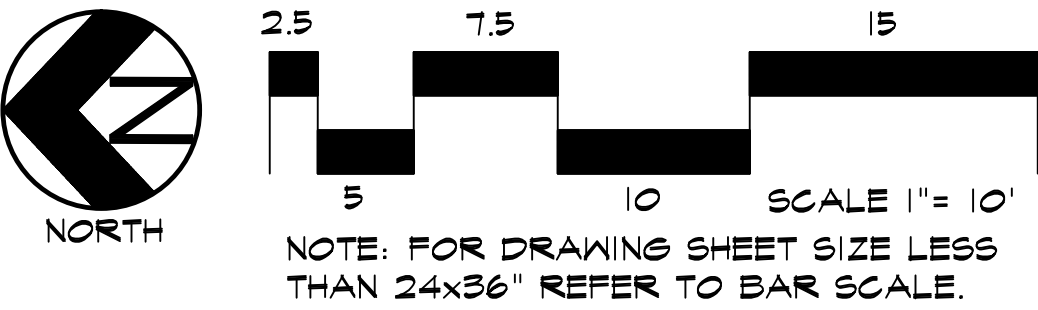
DESCRIPTION
LANDSCAPE
PLAN

SHEET NO.

L1.2



SITE PLAN



GROUND COVER LEGEND	
SYMBOL	DESCRIPTION
	Synthetic Turf
	River Rock Cobble 2-4" Diameter
	Black Granite Rock .75" Diameter
	Royal Granite Rock .75" Diameter
	Breeze for footpath: Color TBD
	Grass Seed: Refer to notes (Irrigated)
	Recreational surface TBD
	Concrete Paving: Color TBD
	Accent Boulders: 36" Diameter, 18" Dia.
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PREPARED FOR:
CSI DEVELOPMENT LLC

NOT FOR CONSTRUCTION (FOR APPROVAL ONLY)

JOB NUMBER	819-18
REVISIONS	
ORIGINAL DATE	2-6-19
DRAWN BY	JM
DESCRIPTION	LOT-1 SITE PLAN
SHEET NO.	L1.3

GENERAL SITE NOTES

- CONTRACTOR RESPONSIBLE FOR COORDINATING AND INSTALLING ALL SLEEVING REQUIRED FOR LANDSCAPE AND IRRIGATION CONSTRUCTION. COORDINATE WITH GENERAL CONTRACTOR. ALL PLANTING AREAS SHALL RECEIVE SLEEVING. REFER TO IRRIGATION PLAN FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES.
- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN LOCAL CITY STANDARDS AND SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE APPROPRIATE GOVERNING AGENCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED CONSTRUCTION DOCUMENTS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON-SITE AT ALL TIMES.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS TRACKED FROM THE SITE.

LAYOUT NOTE

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. DEVIATIONS FROM THE APPROVED PLAN WILL REQUIRE APPROVAL BY TOWN OF MONUMENT PLANNING DEPARTMENT.

INSTALLATION NOTES

REMOVE EXISTING TREES, DEBRIS AND WEEDS FROM SITE PRIOR TO CONSTRUCTION (AS SHOWN PER PLAN).

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE DURING CONSTRUCTION. WEEDS AND TRASH SHALL BE REMOVED DAILY AS REQUIRED.

EXISTING TOPSOIL TO BE STOCKPILED ON-SITE AND USED DURING CONSTRUCTION TO ESTABLISH GRADES WITHIN LANDSCAPE AREAS AS SHOWN PER PLAN.

CONTRACTOR SHALL REFER TO ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO HANDBOOK (ALCO), 2007 REVISED EDITION FOR ALL CONSTRUCTION FOR THIS SITE. CONTACT OWNER/LANDSCAPE ARCHITECT FOR QUESTIONS.

QUANTITIES SHOWN IN PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL PER PLAN.

LANDSCAPE ARCHITECT SHALL HAVE OPPORTUNITY TO INSPECT AND APPROVE ALL TREES AND ALL 1-15 GALLON MATERIAL AT JOB SITE PRIOR TO PLANTING, INCLUDING PLACEMENT INSPECTION.

ALL EDGING SEPARATING TURF, PLANTER, DECORATIVE ROCK, OR MULCH AREAS TO BE GREEN PRO-STEEL (1/8" x 4" x 10") WITH STAKES OR APPROVED EQUAL. EDGING TO BE EXPOSED 1/2" +/- ABOVE FINISHED GRADES. INSTALL PER MANUFACTURE RECOMMENDATIONS.

ALL ROCK COVER AREAS ONLY TO BE PREPARED WITH LANDSCAPE FABRIC WITH STAPLES AT 5' O.C. FABRIC SEAMS TO BE OVERLAPPED 6" MIN. AND SECURED WITH STAPLES.

GROUND COVER SHALL BE CONTINUOUS UNDER ALL SHRUBS THROUGHOUT PROJECT SITE.

TREES AND SHRUBS TO RECEIVE ORGANIC MULCH PER DETAILS, INCLUDING ROCK AREAS-SEE DETAILS. ORGANIC MULCH TO BE SHREDDED CEDAR 'GORILLA HAIR' WITH NO LANDSCAPE FABRIC 3" DEPTH.

DO NOT PLANT SHRUBS OR TREES OF INCOMPATIBLE WATER REQUIREMENTS IMMEDIATELY ADJACENT TO ONE ANOTHER.

PLANT BACKFILL SHALL BE 70% NATIVE ON-SITE SOIL, AND 30% BREW-GRO BIOCOMP CLASS 1 (OR CITY APPROVED EQUAL)

A REPRESENTATIVE SAMPLE OF THE BOTANICAL NAME TAGS, FURNISHED BY THE NURSERY STOCK PROVIDER, SHALL REMAIN ATTACHED TO THE PLANTS UNTIL FINAL INSPECTION.

LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF STORM DRAINAGE FROM ADJACENT LANDSCAPE AREAS OR BUILDING DOWNSPOUTS WILL ADVERSELY AFFECT LANDSCAPED AREAS PER THE PLAN.

DECORATIVE BOULDERS SHALL BE BURIED 1/3 BELOW GRADE AND SHALL NOT OBSTRUCT VEHICULAR SIGHTLINES IF APPLICABLE.

PRIOR TO INSTALLING PLANTS OR GROUND COVER BROADCAST PREEN PLANT SAFE WEED PRE-EMERGENT IN ALL PLANTING AREAS PER MANUFACTURE RECOMMENDATIONS. WWW.PREEN.COM

FIRE MITIGATION NOTE

ALL PLANT MATERIAL SHALL BE LOCATED TO PREVENT ANY FUTURE OBSTRUCTION OF ALL FIRE LANE SIGNAGE. NO EVERGREEN TREES OR SHRUBS SHALL BE PLANTED WITHIN 10' FROM STRUCTURE. MAXIMUM HEIGHT FOR EXISTING GRASS SHALL BE 4'. REFER TO LOCAL FIRE CODES FOR ADDITIONAL INFORMATION.

SOIL PREP NOTES

SOIL PREPARATION FOR UNDISTURBED PLANTING AREAS:

IF COMPACTED AND/OR UNDISTURBED RIP EXISTING SOIL TO A DEPTH OF NINE (9) INCHES MINIMUM IN ONE DIRECTION USING AN AGRICULTURAL RIPPER WITH TINES SPACED NO FURTHER THAN EIGHTEEN (18) INCHES APART OR TILL TO 6" DEPTH. AREAS ADJACENT TO WALKS, STRUCTURES, CURBS, ETC., WHERE THE USE OF LARGE MECHANICAL EQUIPMENT IS DIFFICULT SHALL BE WORKED WITH SMALLER EQUIPMENT OR BY HAND.

REMOVE ALL RUBBLE, STONES AND EXTRANEOUS MATERIAL OVER TWO (2) INCHES IN DIAMETER FROM THE SITE.

SEEDING NOTES

SEED MIX 'A': NATIVE SEED TO BE ARKANSAS VALLEY SEED COMPANY - "FOOTHILLS MIX". SEED TO BE APPLIED AT 8 LBS/1,000 SF DRILL, SEEDED AND MULCHED. HYDRO-SEED AREAS NOT ACCESSIBLE BY DRILL EQUIPMENT. SOIL SHALL BE AMENDED WITH BREW-GRO BIOCOMP CLASS 1 (OR CITY APPROVED EQUAL) AT 2 C.Y./1000 SF FILLED INTO TOP 4-6" OF SOIL PRIOR TO SEEDING.

DEPENDING ON WEATHER, SEED SHALL BE INSTALLED WITHIN THE FOLLOWING TIME FRAMES: SEPTEMBER 1 UNTIL CONSISTENT GROUND FREEZE FOR SPRING ESTABLISHMENT (DORMANT SEEDING); SPRING THAW UNTIL JUNE 1 FOR SPRING AND SUMMER ESTABLISHMENT (ACTIVE SEEDING).

FOR HYDRO-SEEDING ALL SEEDED AREAS SHALL RECEIVE NOT LESS THAN 1 TON PER ACRE (2000 LBS) OF VIRGIN WOOD CELLULOSE HYDRO-MULCH AND 100 LBS PER ACRE OF ORGANIC TACKIFIER.

SEEDED LANDSCAPE AREAS SHALL HAVE NO BARE AREAS LARGER THAN SIX (6) SQUARE INCHES AFTER GERMINATION.

DRILL SEEDING: SEEDING EQUIPMENT USED FOR APPLYING SEED MIXTURES SHALL BE DESIGNED, MODIFIED OR EQUIPPED TO REGULATE THE APPLICATION RATE AND PLANTING DEPTH OF THE SEED MIXTURE. SEED SHALL BE UNIFORMLY DISTRIBUTED IN THE DRILL HOPPER DURING THE DRILLING OPERATION; A RANGELAND DRILL, CAPABLE OF MIXING DIFFERENT SIZES AND WEIGHTS OF SEEDS SHALL BE USED. THE DRILL SHALL BE EQUIPPED WITH DOUBLE DISK FURROW OPENERS, DEPTH BANDS, PRESS WHEELS OR DRAG CHAINS.

THE SEED SHALL BE DRILLED APPROXIMATELY 1/2" INCH BELOW THE SOIL SURFACE. HALF OF THE TOTAL RATE OF SEED APPLICATION SHALL BE DRILLED IN 1 DIRECTION, WITH THE REMAINDER OF THE SEED RATE DRILLED AT 90 DEGREES FROM THE FIRST DIRECTION. DO NOT DRILL OR SOW SEED DURING HIGH WINDS OR WHEN THE GROUND IS FROZEN OR OTHERWISE UNABLE TO BE WORKED.

ALL SEEDED AREAS WITH SLOPES LESS THAN 3:1 SHALL RECEIVE NO LESS THAN 2 TONS PER ACRE (400 LBS) OF CERTIFIED WEED FREE STRAW MULCH. STRAW MULCH SHALL BE APPLIED IN A UNIFORM MANNER BY MULCH SPREADER OR BY HAND. STRAW MULCH SHALL BE CRIMPED OR ANCHORED INTO THE SEEDBED IMMEDIATELY FOLLOWING SPREADING BY USING A MULCH TILLER (CRIMPER). MULCH TILLERS SHALL HAVE ROUND, NOTCHED-BLADES SPACED 8-INCHES APART (MIN.) AND SHALL HAVE SUFFICIENT WEIGHT TO FORCE THE VEGETATIVE MULCH A MINIMUM DEPTH OF 3-INCHES INTO THE SOIL. ALL MULCH TILLING SHALL BE DONE PERPENDICULAR TO THE FLOW-LINE OF THE SLOPE (ALONG CONTOURS). HAND CRIMPING SHALL BE PERFORMED ON AREAS WHERE MECHANICAL METHODS CANNOT BE USED.

MULCH SHALL BE APPLIED TO SEEDED AREAS (INCLUDING DAMP GROUND) WITHIN 24 HOURS FOLLOWING THE COMPLETION OF SEEDING OPERATIONS FOR THE AREA. MULCHING SHALL NOT BE PERFORMED DURING ADVERSE WEATHER CONDITIONS OR WHEN WIND PREVENTS UNIFORM DISTRIBUTION. APPLICATION SHALL BE IN A MANNER TO NOT SERIOUSLY DISTURB THE SEEDBED SURFACE.

NATIVE GRASS MANAGEMENT NOTE

ON-GOING MAINTENANCE RECOMMENDATIONS FOR NATIVE GRASS

WELL ESTABLISHED SEEDED LAWN SHALL BE A HEALTHY, WELL-ROOTED, EVEN-COLORED, AND FREE OF WEEDS, BARE AREAS, AND SURFACE IRREGULARITIES.

THE MATURE HEIGHT OF NATIVE GRASS IS EXPECTED TO BE MAINTAINED AT ABOUT 6-10" HIGH AND MOWED TO 3" ONCE ANNUALLY IN THE LATE WINTER OR EARLY SPRING, AND IRRIGATED ON REDUCED WATER SCHEDULE.

THE SUCCESS OF PERMANENT NATIVE GRASS SEEDING CAN RARELY BE EVALUATED ACCURATELY PRIOR TO THE END OF ITS SECOND FULL GROWING SEASON. SEEDING SUCCESS DEPENDS UPON CONTROL OF WEED COMPETITION DURING THE FIRST TWO GROWING SEASONS. IN ADDITION, THE SITE SHOULD BE MONITORED ANNUALLY FOR UNDESIRABLE PLANT SPECIES.

THE SITE SHOULD BE MONITORED FOR UNDESIRABLE PLANT SPECIES. IF WEED CONTROL NEEDS TO BE PERFORMED DURING THE FIRST YEAR OF PLANT GROWTH, UTILIZE ONE OF TWO METHODS. REGARDLESS OF WHICH METHOD OF WEED CONTROL IS USED, COMPLETE BEFORE FLOWERING OF WEED SEED HEADS. SINCE WEED SPECIES MAY DEVELOP MATURE SEED HEADS AT DIFFERENT TIME OF THE GROWING SEASON, WEED CONTROL EFFORTS WILL BE REQUIRED.

- HAND PULL NOXIOUS WEEDS, REMOVING AS MUCH OF THE ROOT SYSTEM AS POSSIBLE.
- USE WEED EATERS TO SELECTIVELY CUT OFF THE SEED HEADS OF NOXIOUS WEEDS. USE SELECTIVE BROADLEAF HERBICIDE SUCH AS 2-4-D WITH A BACKPACK SPRAYER OR WICK APPLICATOR. BE CAREFUL NOT TO APPLY HERBICIDE ON MORE THAN ONE SQUARE FOOT IN ANY GIVEN AREA. CONTRACTOR TO NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE OF ANY SUSPECTED SOIL PROBLEMS AT THE END OF THE FIRST GROWING SEASON. BROADBAND APPLICATIONS OF HERBICIDE CAN BE COMPLETED AFTER NATIVE GRASS SPECIES REACH MATURE HEIGHT.

IRRIGATION SYSTEM DESCRIPTION

FULLY AUTOMATED, UNDERGROUND, IRRIGATION SYSTEM SHALL BE PROVIDED CONSISTING OF DRIP IN PLANTING BEDS AND TEMPORARY SPRAY/ROTOR FOR IRRIGATED NATIVE SEED AREAS, NOT INCLUDING FUTURE CONSTRUCTION AREAS. REFER TO GRADING PLAN BY OTHERS FOR ADDITIONAL INFORMATION.

TEMPORARY IRRIGATION

ALL AREAS NOTED AS "NON-IRRIGATED NATIVE SEED" (SEE IRRIGATION PLAN) SHALL BE TEMPORARILY IRRIGATED FOR THE FIRST GROWING SEASON FOR ESTABLISHMENT. REFER TO IRRIGATION PLAN.



Foothills Mix

A mixture developed for elevations of 3,000 to 8,000 feet to provide natural cover under dryland conditions. Contains both cool and warm season grasses adapted to the Western Great Plains and Southwest region. Has excellent cold and drought tolerance. Good for soil stabilization on poor soils.



Characteristics:

- Grows 36-60 inches with average rainfall . Excellent natural cover for dryland areas

Seeding Rate:

New Seeding	
Broadcast:	20-25 lbs/acre
Drilled:	15-20 lbs/acre
Overseeding	
Broadcast:	10-15 lbs/acre
Drilled:	5-10 lbs/acre

Mix contains:

- 20% **Annual Ryegrass**
Cool Season bunchgrass with germination in 5-10 days
Noted for quick germination. Provides fast green up and root structure to stabilize soil.
- 15% **Slender Wheatgrass**
Cool season bunchgrass with germination in 21-28 days.
A native species to the mountain and intermountain areas of the western United States and the northern Great Plains.
- 12% **Crested Wheatgrass**
Cool season bunchgrass with germination in 14-21 days.
Drought tolerant, and winter hardy grass with deep rooted system making an excellent soil binder.
- 10% **Mountain Brome**
A cool-season bunchgrass with germination in 10-14 days.
Survives on thin, dry or coarse soils, and displays strong winter hardiness. Will produce best in moist deep fertile soils.
- 10% **Hard Fescue**
Cool season bunchgrass with germination in 7-10 days.
Well adapted to many soil types and often used for erosion control.
- 10% **Canada Bluegrass**
Cool season bunchgrass with germination in 14-21 days.
Often used for soil stabilization.
- 6% **Sideoats Grama**
Warm season bunch/sod forming grass will germination in 14-21 days.
A medium-sized perennial 15 - 30" tall, it is adapted to moist soil conditions.
- 6% **Big Bluestem**
Warm season sod-former with germination in 14-21 days.
It is tall grass, reaching a height of 6 to 8 feet on most sites when left un-grazed.
- 5% **Blue Grama (Coated)**
Warm season bunchgrass with germination in 7-10 days.
This grass demonstrates good drought, fair salinity, and moderate alkalinity tolerances.
- 5% **Switchgrass**
Warm season bunchgrass with germination in 21-28 days
Very tolerant of poor soils, flooding and drought. Often used in reclamation of sand dunes and dikes.
- 1% **Sand Dropseed**
Warm Season bunchgrass with germination 14-21 days
Commonly grows on sandy soils but is adapted to medium textured soils also.

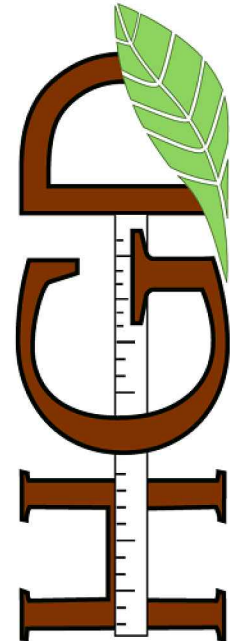
Formulations & varieties are subject to change without notice!

4300 Monaco Street
Denver, CO 80216
P. (303) 320-7500 F. (303) 320-7516
www.avseeds.com

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HIGHER GROUND
DESIGNS

FERRARI FILMS
MONUMENT MARKETPLACE
MONUMENT, CO

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PREPARED FOR:
CSI DEVELOPMENT LLC

NOT FOR CONSTRUCTION (FOR APPROVAL ONLY)

JOB NUMBER
819-18

REVISIONS

ORIGINAL DATE
2-6-19

DRAWN BY
JM

DESCRIPTION
DETAILS AND NOTES

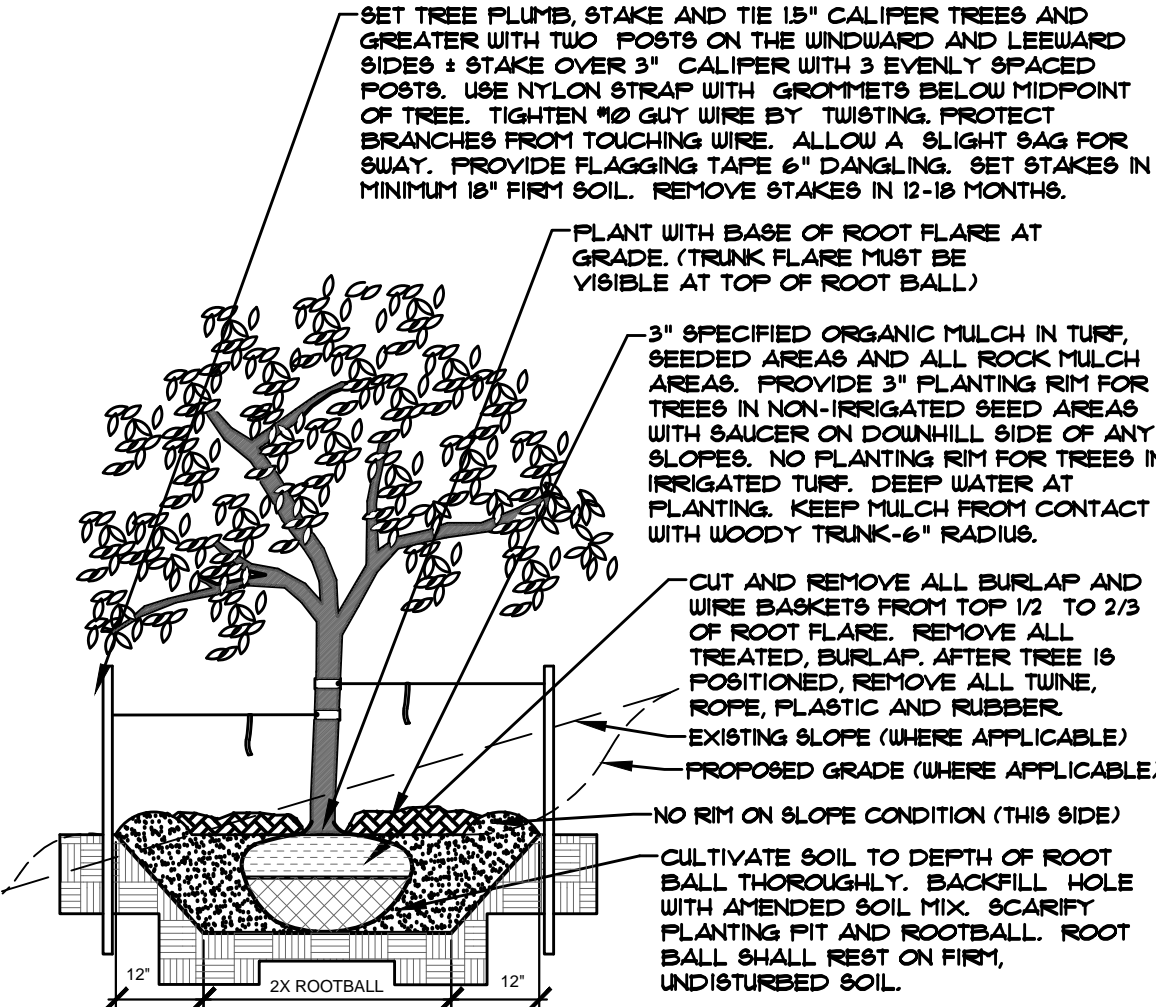
SHEET NO.

L1.4

DOCUMENT NOTE

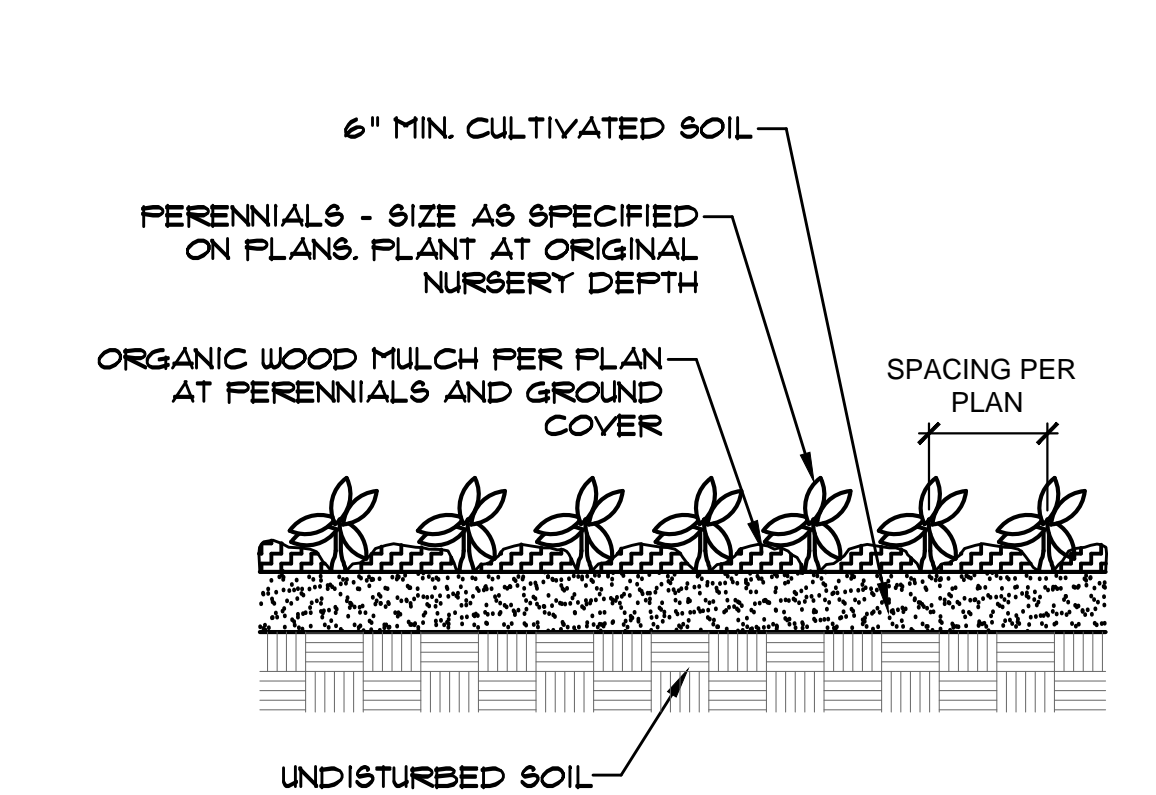
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- NOTES:
- MARK NORTH SIDE OF TREE AT NURSERY AND ALIGN TREE TO NORTH WHEN PLANTING.
 - DO NOT REMOVE OR CUT LEADER.
 - PRUNE ONLY DEAD, BROKEN, CROSSING, OR WEAK BRANCHES (OR NARROW CROTCHES) IMMEDIATELY PRIOR TO PLANTING. DO NOT REMOVE TERMINAL BUDS THAT EXTEND TO TREE CROWN.
 - NO STRUCTURAL PRUNING OF TREE UNTIL AFTER ESTABLISHMENT PERIOD (2 GROWING SEASONS).
 - REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING. AVOID FALL PLANTING IF POSSIBLE.
 - AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
 - WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK. USE ELECTRICAL TAPE, NOT TURNE. WRAP OCTOBER 15 AND REMOVE BY MARCH 31.
 - DO NOT FERTILIZE TREE DURING THE FIRST GROWING SEASON.
 - COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT & DISEASE RECOMMENDATIONS PRIOR TO PLANTING.



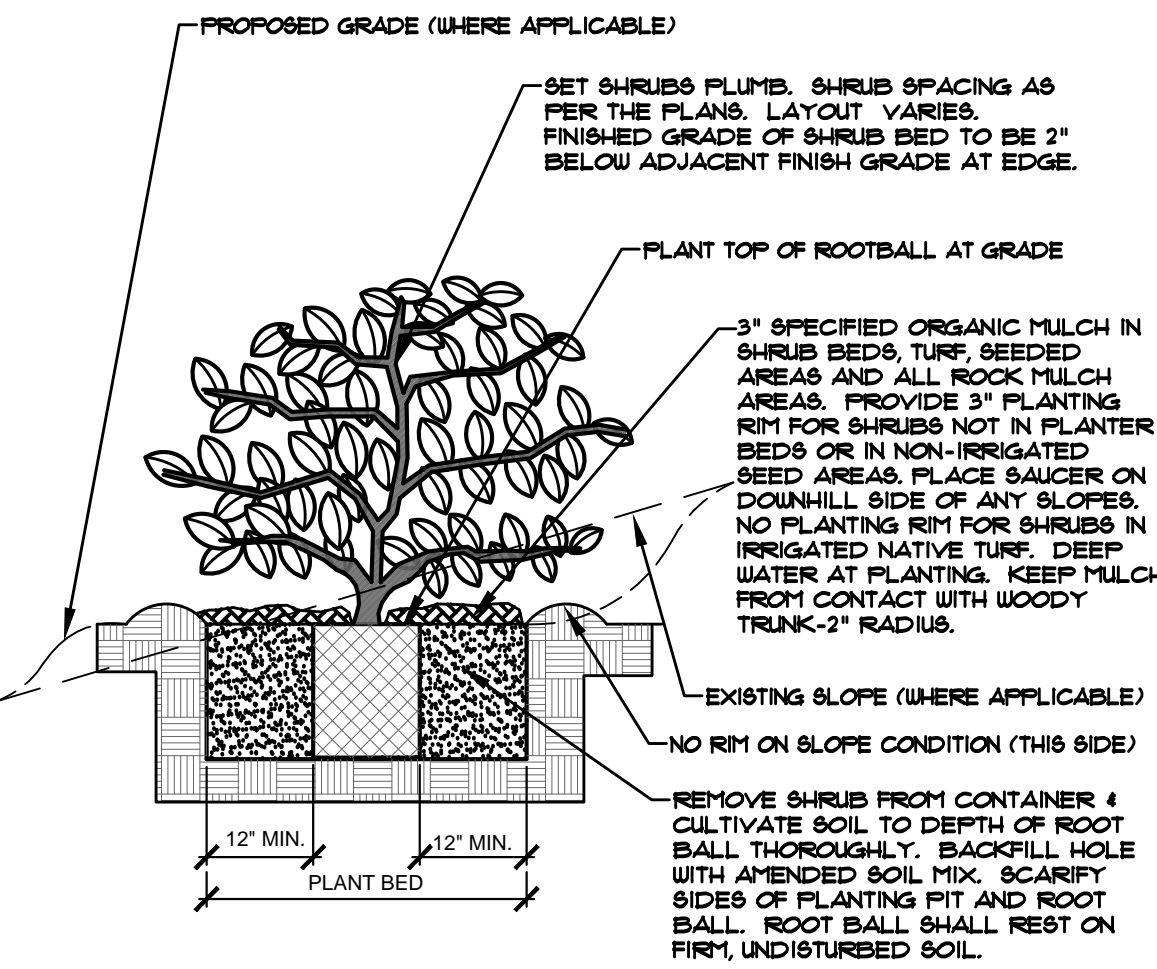
A DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

- NOTES:
- PLANT GROUND COVER AND PERENNIALS LEVEL AT GRADE.
 - SOIL TO BE WELL CULTIVATED TO A MINIMUM DEPTH OF 6".
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTED.
 - AMENDED BACKFILL SHALL BE 30% COMPOST AND 10% NATIVE SOIL.
 - PRUNE ALL DEAD OR BROKEN PARTS PRIOR TO PLANTING.



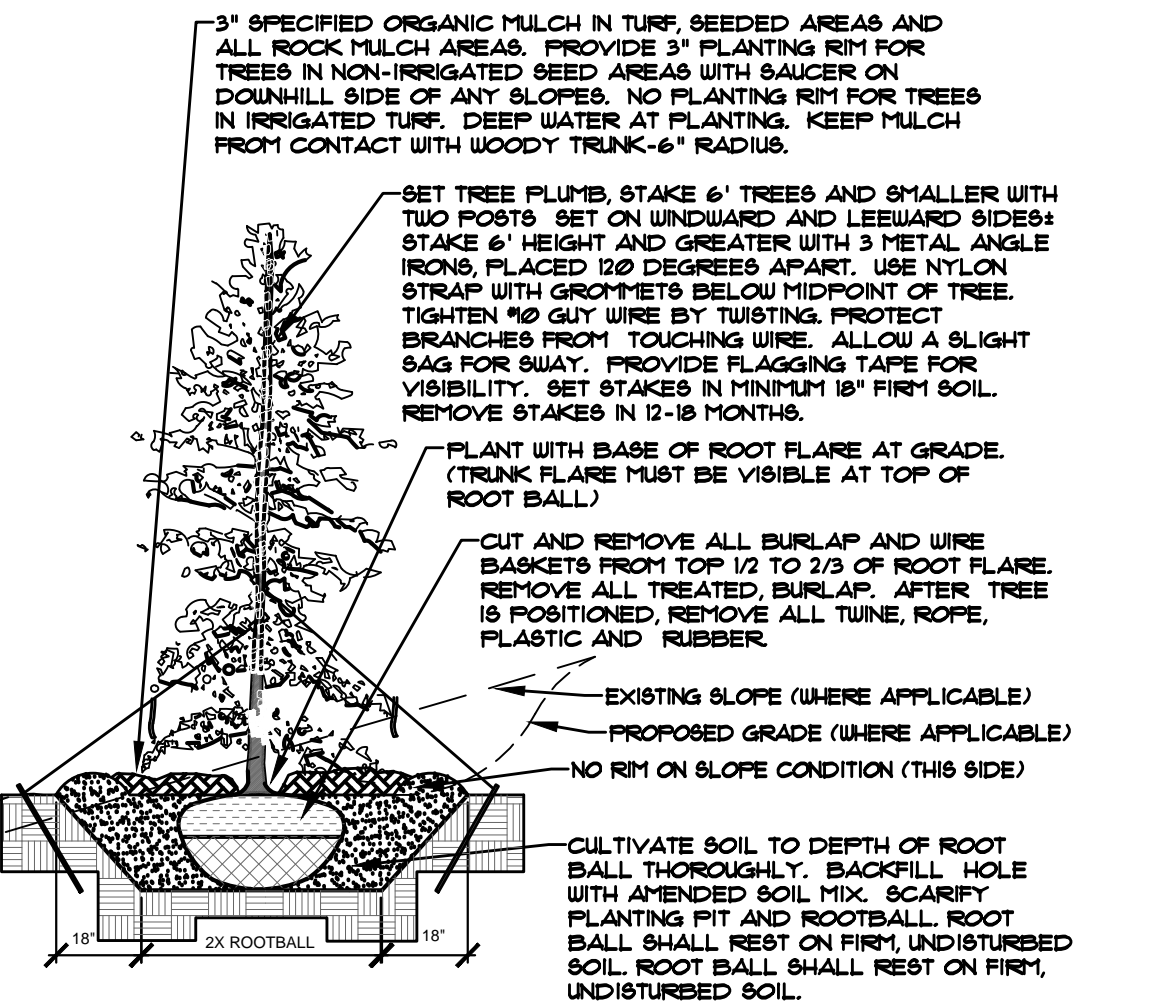
C PERENNIAL PLANTING DETAIL
NOT TO SCALE

- NOTES:
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 - AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
 - FOR ROOT BIND AT BOTTOM OF BALL, SPLIT ROOT BALL VERTICALLY FROM BOTTOM HALFWAY TO TOP, SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN PLANTING PIT.
 - FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOT BALL 1" DEEP. PLANT IMMEDIATELY.

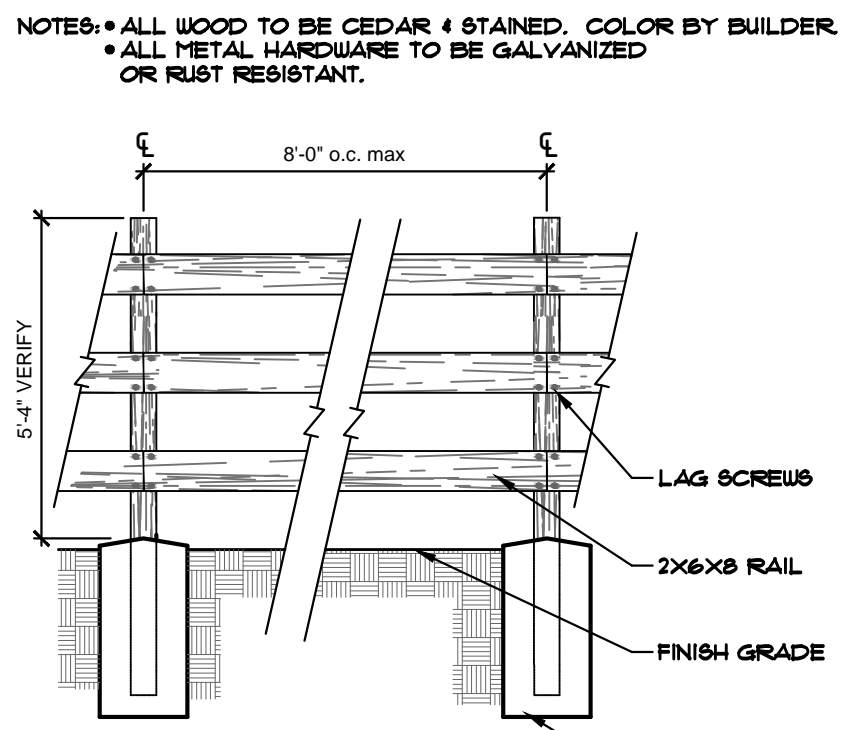


B SHRUB PLANTING DETAIL
NOT TO SCALE

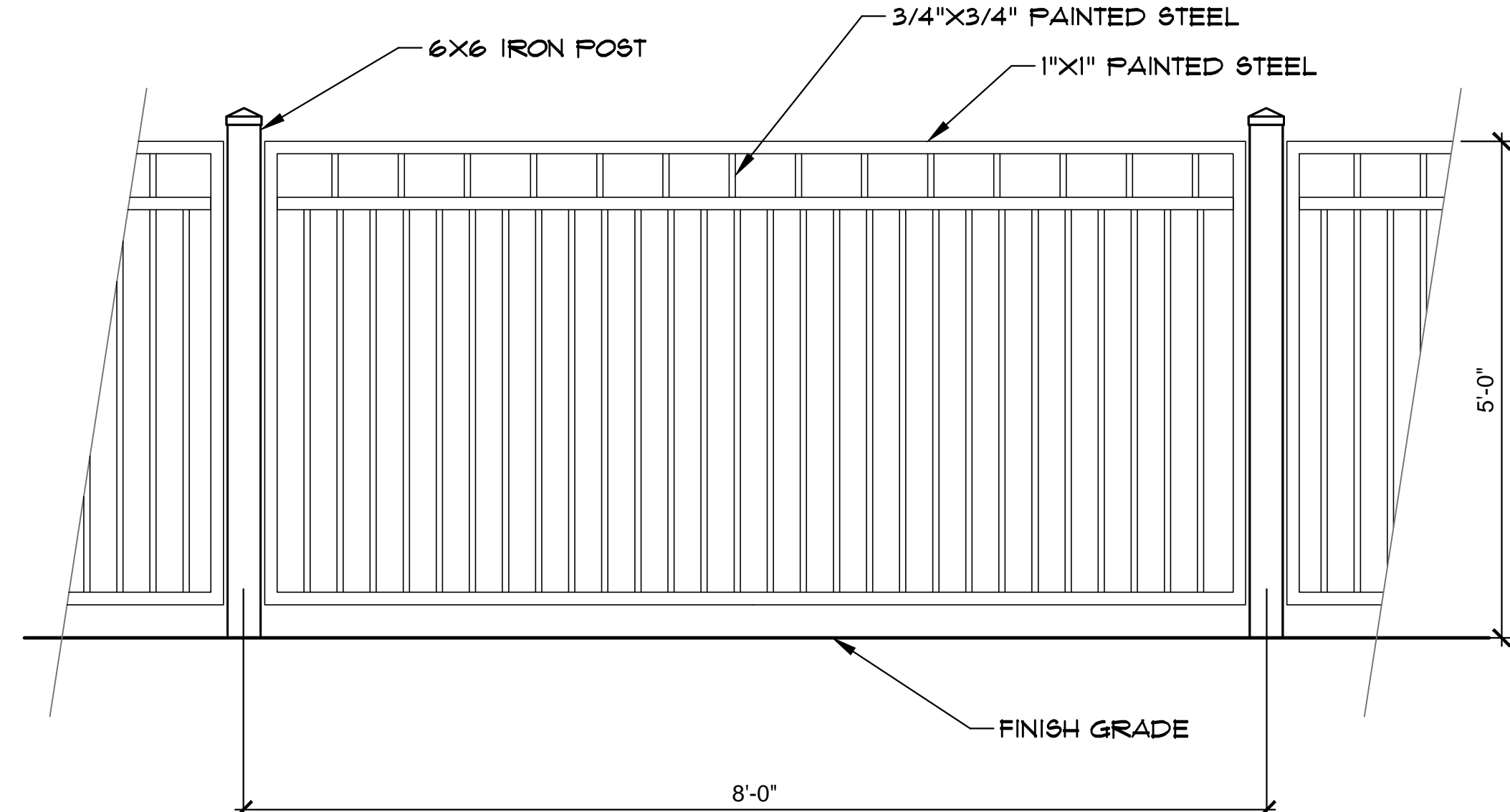
- NOTES:
- MARK NORTH SIDE OF TREE AT NURSERY AND ALIGN TREE TO NORTH WHEN PLANTING.
 - DO NOT REMOVE OR CUT LEADER.
 - PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 - REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - AVOID FALL PLANTING IF POSSIBLE.
 - AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
 - PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING (SEE CONIFEROUS TREE NOTE ON PLANTING NOTES SHEET).



D EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



E 3-RAIL FENCE
NOT TO SCALE



F IRON FENCE
NOT TO SCALE

HIGHER GROUND DESIGNS, INC.
LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

5350 NORTH ACADEMY BLVD., STE. 207
COLORADO SPRINGS, CO 80918
Phone 719-477-1646
Fax 719-268-1122



FERRARI FILMS
MONUMENT MARKETPLACE
MONUMENT, CO

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PREPARED FOR:
CSI DEVELOPMENT LLC

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JOB NUMBER
819-18

REVISIONS

ORIGINAL DATE
2-6-19

DRAWN BY
JM

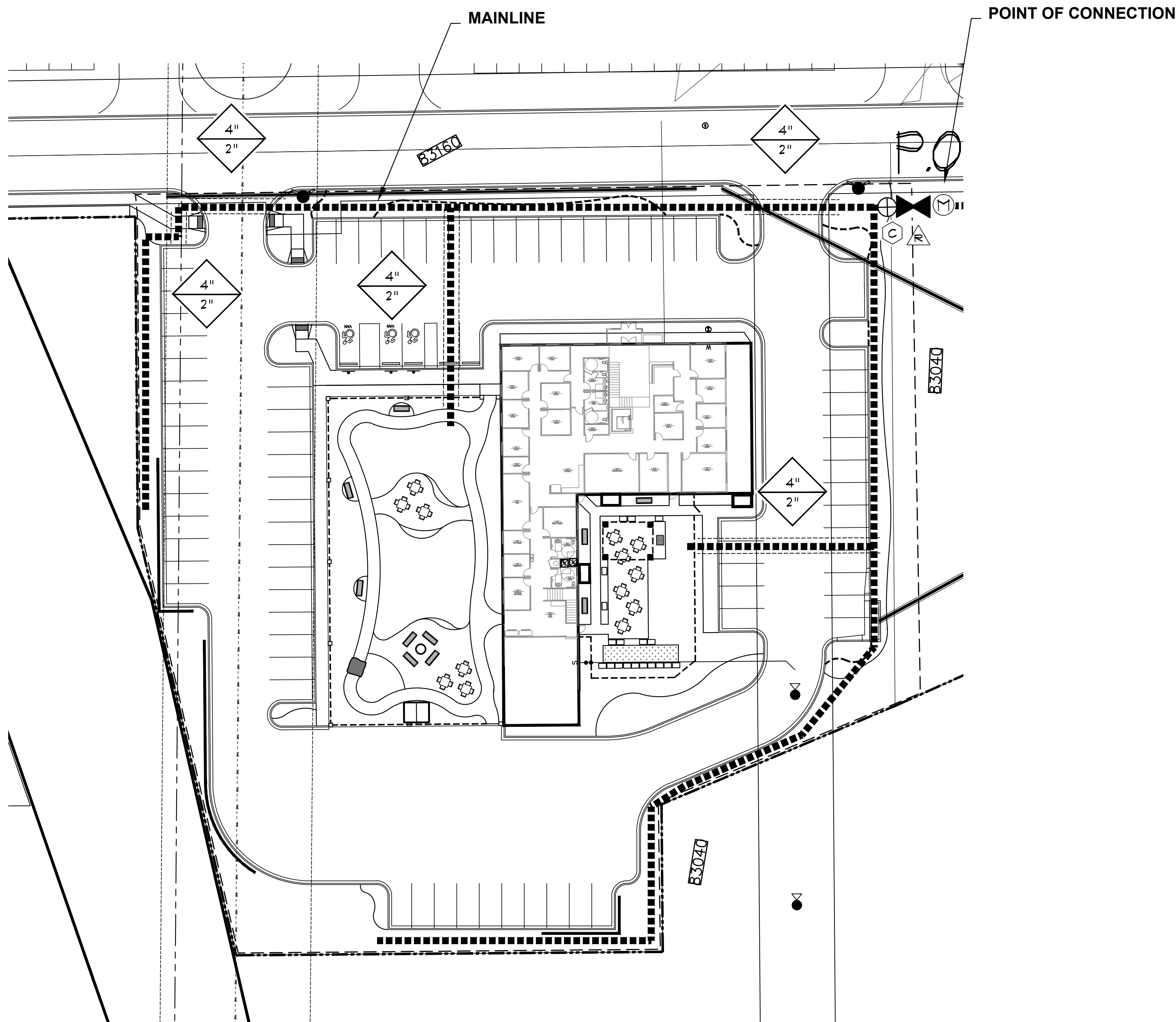
DESCRIPTION
DETAILS AND NOTES

SHEET NO.

L1.5

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SCHEMATIC IRRIGATION PLAN

FOR MAINLINE AND SLEEVE ONLY



IRRIGATION SYSTEM DESCRIPTION

SITE IRRIGATION SYSTEM PROVIDED BY A FULLY AUTOMATED UNDERGROUND SPRINKLER SYSTEM CONSISTING OF DRIP IN PLANTING BEDS AND TEMPORARY SPRAY/ROTOR FOR IRRIGATED GRASS AREAS. ALL ZONES FOR OPEN SPACE TO BE OPERATED FROM A SINGLE CONTROLLER. COORDINATE INSTALLATION OF ALL IRRIGATION COMPONENTS WITH OWNERS REPRESENTATIVE AND OTHER TRADES. POTABLE WATER SHALL BE USED FOR ALL SITE IRRIGATION.

METER NOTE

THE IRRIGATION SYSTEM IS TO RUN OFF A 1" SUB-METERED TAP AT THE LOCATION INDICATED. COORDINATE WITH OWNER'S REPRESENTATIVE AND OTHER TRADES TO GET WATER TAP AT LOCATION SHOWN. COORDINATE WITH CITY WATER TO INSURE PROPER INSTALLATION. A MINIMUM STATIC WATER PRESSURE OF TBD PSI IS REQUIRED. VERIFY PRESSURE AND DISCHARGE RATE ON SITE PRIOR TO CONSTRUCTION OF IRRIGATION SYSTEM BEYOND THE METER AND BACKFLOW. COORDINATE WITH OWNER.

IRRIGATION LEGEND

- P.O.C.** 1" POINT OF CONNECTION: CONTRACTOR TO VERIFY IN FIELD PRIOR TO IRRIGATION COMPONENT INSTALLATION. COORDINATE WITH LOCAL UTILITIES AND GENERAL CONTRACTOR FOR LOCATION.
- WATER METER FIT ASSEMBLY
INSTALL AS REQUIRED BY CITY WATER STANDARDS AND SPECIFICATIONS.
- BACKFLOW PREVENTION DEVICE FEBCO 1" 825YA
INSTALL PER LOCAL CODE FOR METER FIT APPLICATION.
INSTALL WITH STRONG BOX BACKFLOW ENCLOSURE MODEL 88BC-15CR (DARK GREEN COLOR) OR APPROVED EQUAL. STRONG BOX AVAILABLE THROUGH V.I.T. PRODUCTS CALL (800) 723-1314 FAX (888) 310-3946 WWW.VITPRODUCTS.COM
- 1" QUICK COUPLING VALVE RAINBIRD: 5-LRC (PROVIDE KEY FOR OWNER: 55-K-1)
- IRRIGATION CONTROLLER:
INSTALL PER MANUFACTURE RECOMMENDATIONS
- RAIN SENSOR: WIRELESS WR2
(INSTALL PER MANUFACTURE RECOMMENDATIONS)
- MAINLINE PIPE - CLASS 300 PVC PIPE, DIAMETER TBD
- LATERAL PIPE - CLASS 200 PVC PIPE (1" DIA. UNLESS OTHERWISE NOTED)
- CLASS 200 PVC PIPE FOR SLEEVING
- * LAST VALVE
ZONE #
GPM DISCHARGE
REMOTE CONTROL VALVE SIZE
- 4" PIPE SLEEVE SIZE (SEE PLAN)
2" WIRE SLEEVE SIZE (SEE PLAN)

DOCUMENT NOTE

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FERRARI FILMS
MONUMENT MARKETPLACE
MONUMENT, CO

PREPARED FOR:
CSI DEVELOPMENT LLC

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JOB NUMBER
819-18

REVISIONS

ORIGINAL DATE 2-6-19

DRAWN BY JIM

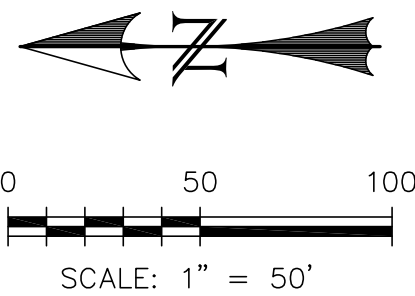
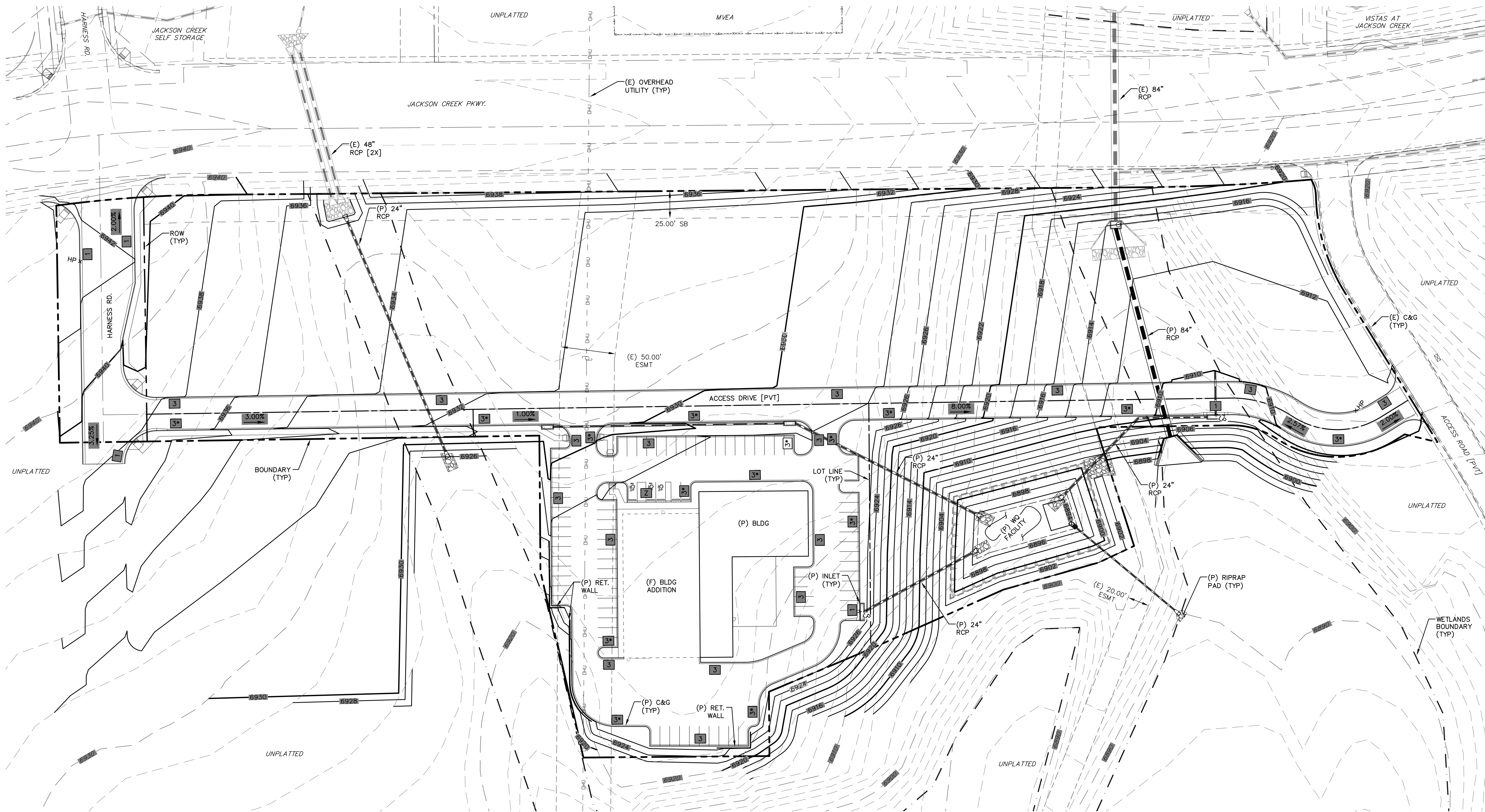
DESCRIPTION
IRRIGATION MAINLINE
PLAN

SHEET NO.
L1.6

HIGHER GROUND DESIGNS, INC.
LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

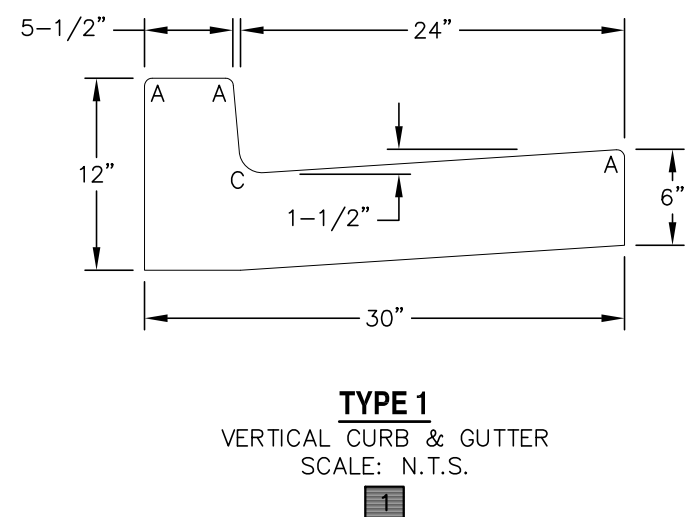
5350 NORTH ACADEMY BLVD. STE. 207
COLORADO SPRINGS, CO 80918
Phone 719-477-1646
Fax 719-468-1122





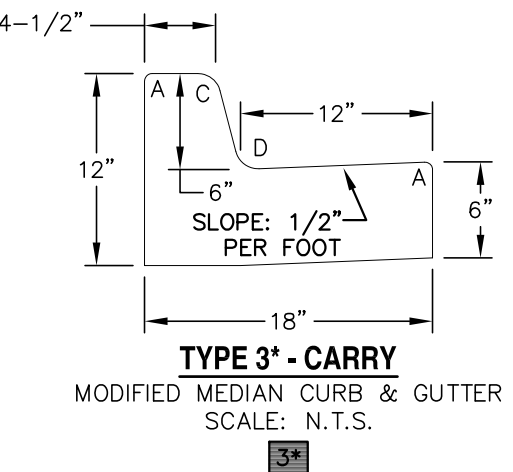
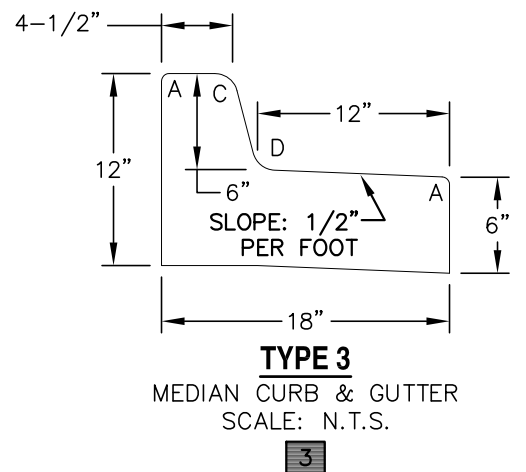
LEGEND

- PROPOSED (P)
EXISTING (E)
FUTURE (F)
CURB AND GUTTER C&G
RIGHT-OF-WAY ROW
HIGH POINT HP
LOW POINT LP
BOUNDARY
RIGHT-OF-WAY
LOT LINE
WETLANDS BOUNDARY
(E) OVERHEAD UTILITY
(E) STORM SEWER, INLET, MH
(P) STORM SEWER, INLET, MH
CURB TYPE CALL-OUT
DIRECTION OF FLOW



RADI LEGEND:

- A = 1/2"
C = 1-1/2"
D = 1-1/2" TO 2"



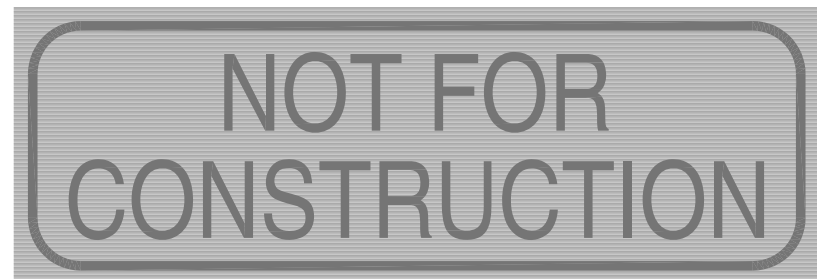
GRADING NOTES:

1. AN APPROVED GRADING & EROSION CONTROL PLAN IS REQUIRED PRIOR TO COMMENCING GRADING OPERATIONS.
2. A STORMWATER MANAGEMENT PLAN AND STATE PERMIT IS REQUIRED PRIOR TO COMMENCING GRADING OPERATIONS.
3. APPROVED EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO, DURING, AND AFTER GRADING OPERATIONS. THE PRIMARY GOAL OF THESE MEASURES IS TO PREVENT EROSION INTO ANY PUBLIC WATERS OR ADJACENT PROPERTIES. DETAILS OF BMP'S, MEASURES, LOCATIONS, AND MAINTENANCE RECOMMENDATIONS WILL BE INCLUDED IN THE APPROVED GRADING & EROSION CONTROL PLAN. EROSION CONTROL BMP MEASURES MAY INCLUDE (BUT NOT LIMITED TO):
 - A. VEHICLE TRACKING CONTROL
 - B. SILT FENCE BARRIERS
 - C. STRAW BALE BARRIERS
 - D. SLOPE PROTECTION BLANKETS
 - E. STORM DRAIN INLET PROTECTION
 - F. TEMPORARY DIVERSION SWALES
 - G. TEMPORARY SEDIMENTATION FACILITIES
 - H. PERMANENT WATER QUALITY FACILITIES
4. ALL SLOPES, WALL ELEVATIONS, FINISHED FLOOR ELEVATIONS, AND STORM SEWER ELEVATIONS ARE BASED ON PRELIMINARY DESIGN INFORMATION. THIS INFORMATION MAY NEED TO BE ADJUSTED DURING FINAL DESIGN CONSTRUCTION DRAWING PREPARATION.

REV.	DESCRIPTION	DATE

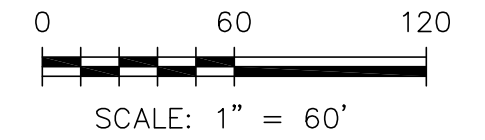
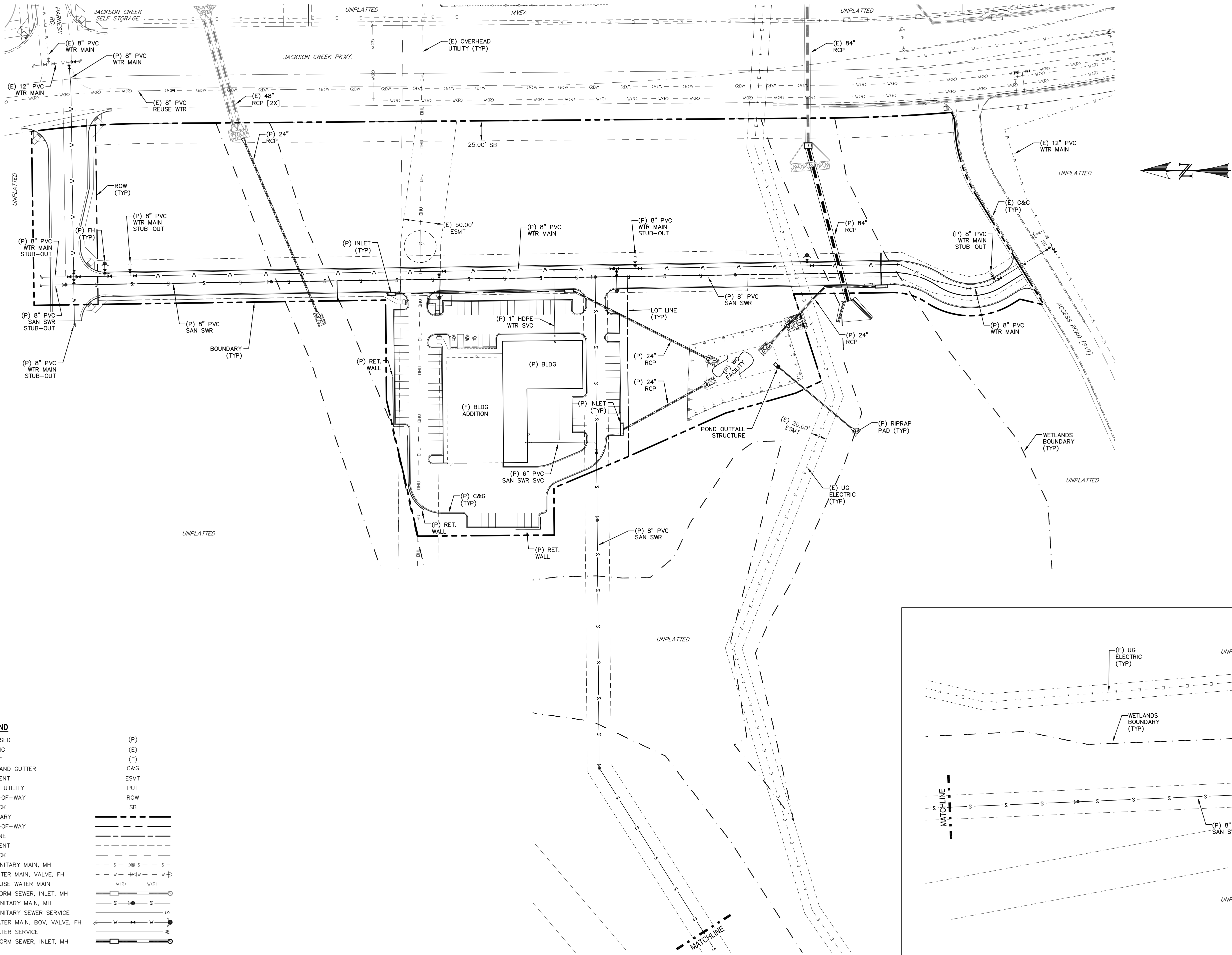
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PREPARED FOR:
CREEKSIDE DEVELOPERS, INC.
540 ELKTON DRIVE
SUITE 202
COLORADO SPRINGS, CO 80907
(719) 385-0555



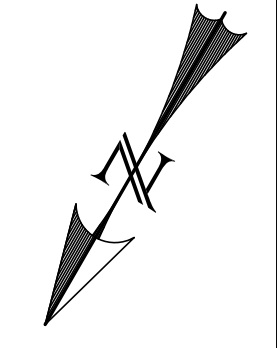
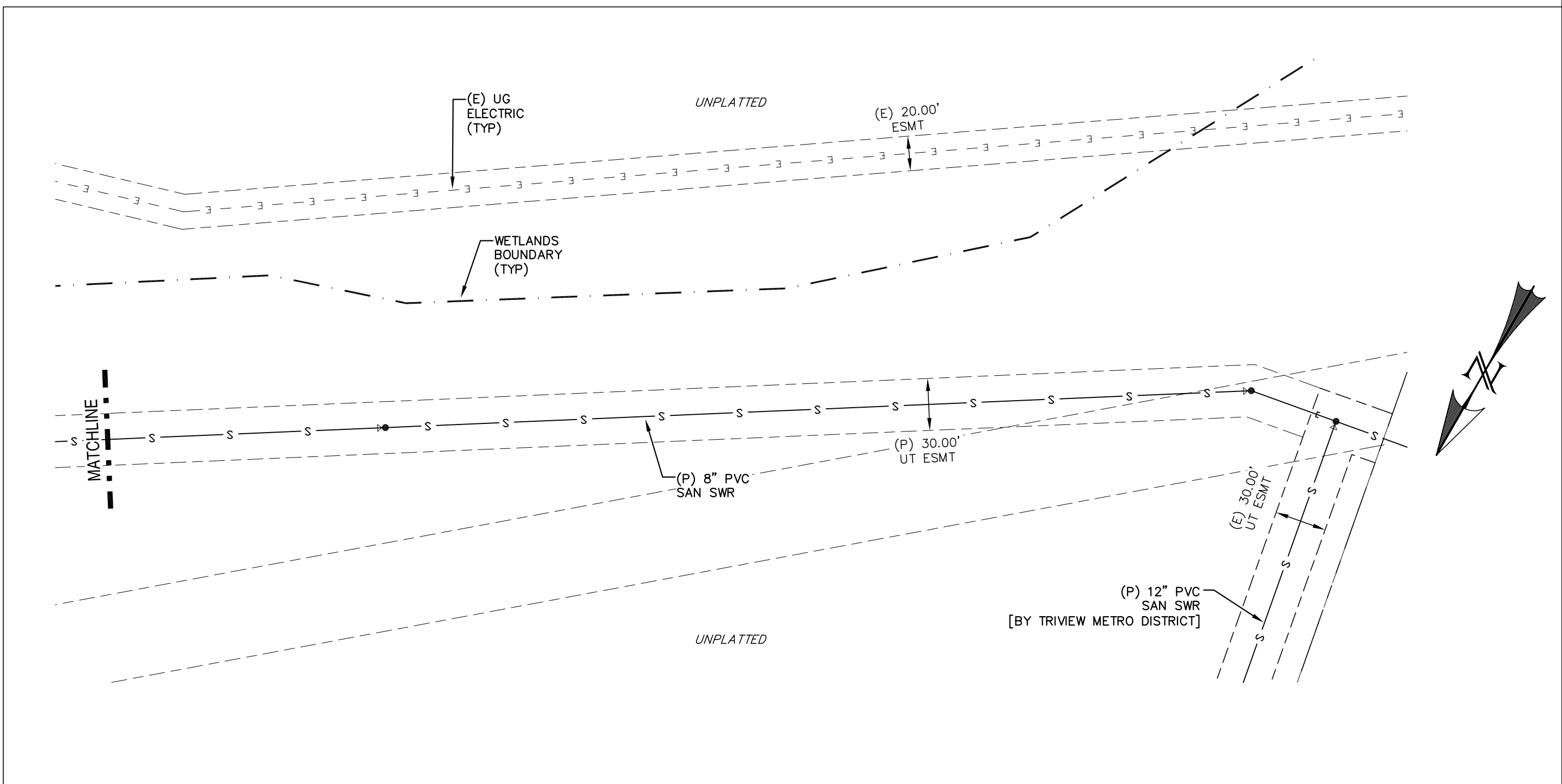
WESTWORKS
ENGINEERING
1023 W. COLORADO COLORADO SPRINGS, CO 80904 (719) 685-1670

MONUMENT MARKETPLACE NORTH		DESIGNED BY: MGP	DRAWN BY: MGP
FINAL PD SITE PLAN - GRADING PLAN -		SCALE: 1"=50'	DATE: 02/08/19
		JOB NUMBER 91801	SHEET PD-C1



LEGEND

- | | |
|--------------------------------|------|
| PROPOSED | (P) |
| EXISTING | (E) |
| FUTURE | (F) |
| CURB AND GUTTER | C&G |
| EASEMENT | ESMT |
| PUBLIC UTILITY | PUT |
| RIGHT-OF-WAY | ROW |
| SETBACK | SB |
| BOUNDARY | |
| RIGHT-OF-WAY | |
| LOT LINE | |
| EASEMENT | |
| SETBACK | |
| (E) SANITARY MAIN, MH | --- |
| (E) WATER MAIN, VALVE, FH | --- |
| (E) REUSE WATER MAIN | --- |
| (E) STORM SEWER, INLET, MH | --- |
| (P) SANITARY MAIN, MH | --- |
| (P) SANITARY SEWER SERVICE | --- |
| (P) WATER MAIN, BOV, VALVE, FH | --- |
| (P) WATER SERVICE | --- |
| (P) STORM SEWER, INLET, MH | --- |



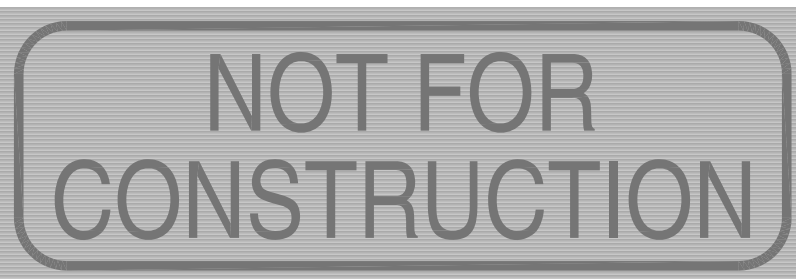
REV.	DESCRIPTION	DATE



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PREPARED FOR:
CREEKSIDE DEVELOPERS, INC.

540 ELKTON DRIVE
SUITE 202
COLORADO SPRINGS, CO 80907
(719) 385-0555





WESTWORKS
ENGINEERING
1023 W. COLORADO COLORADO SPRINGS, CO 80904 (719) 685-1670

MONUMENT MARKETPLACE NORTH	DESIGNED BY: MGP	DRAWN BY: MGP
	SCALE: 1"=60'	DATE: 02/08/19
	JOB NUMBER	SHEET
	91801	PD-C2

ILLUMINATION SYSTEMS
5 SOUTH KALAMATH STREET
DENVER, CO 80223
PHONE: 303.295.2900
FAX: 303.295.8374
WWW.ILLUMSYS.COM

MONUMENT
MARKETPLACE
NORTH
EXTERIOR LIGHTING
ENTIRE PROPERTY
MONUMENT, CO

DATE:1/2/2019

PHOTOMETRICS ARE NOT TO SCALE
DRAWINGS ARE FOR ESTIMATING
PURPOSES ONLY.
FOOT-CANDLE VALUES ARE
PREDICTED AT HORIZONTAL
CALCULATIONS UNLESS SPECIFIED
OTHERWISE. ACTUAL
FOOT-CANDLES MAY VARY.
FINAL CONSTRUCTION DRAWINGS
& CALCULATIONS ARE THE
RESPONSIBILITY OF A LICENSED
ARCHITECT OR ENGINEER.

REFLECTANCES:
N/A - DIR CALC ONLY
MOUNTING HEIGHT:
PARKING LOT
15'-0" A.F.G.
WALL PACKS
11'-0" A.F.G.
CALCULATION SPACING:
10'-0" x 10'-0"

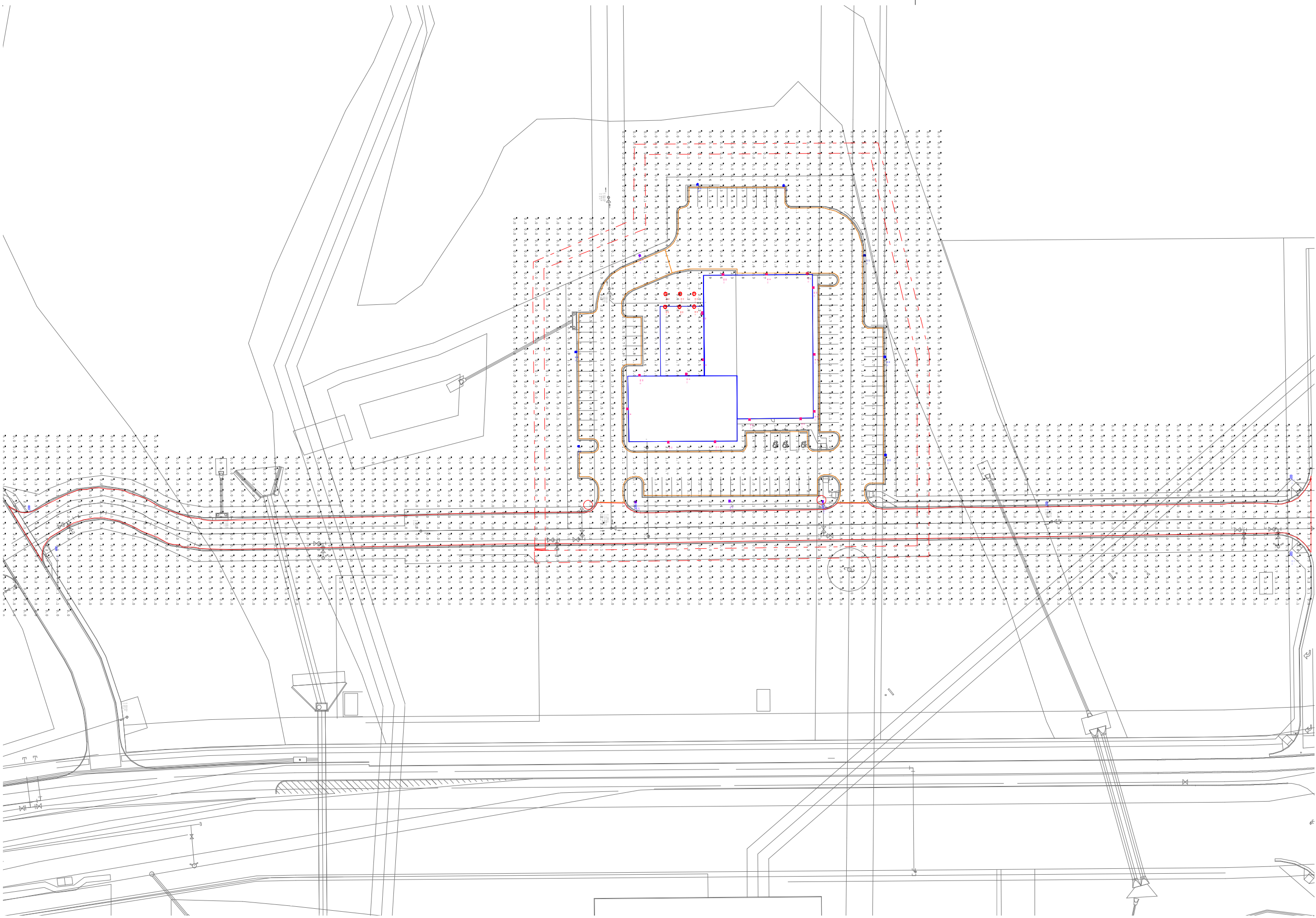
FOOTCANDLE CALC HEIGHT:
0'-0" A.F.G.

ADDITIONAL NOTES:

CREATED BY:
RICK WILSON

FOR PRICING AND
AVAILABILITY, CONTACT
ILLUMINATION SYSTEMS
AT 303.295.2900

DSC DESIGN, SUPPORT
& CONTROLS



FERRARI FILMS
LOT 2, FILING NO. 1 MONUMENT MARKETPLACE NORTH
FINAL PD SITE PLAN

PARTS OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 23
AND THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 26
TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF MONUMENT, EL PASO COUNTY, COLORADO

WALL SIGNAGE IS APPROVED
BY SEPERATE PERMIT

IRELAND
DEAN
DESIGNS, LLC
ARCHITECTURE
LAND PLANNING
DEVELOPMENT SERVICES
425 WILCOX STREET
SUITE 120
CASTLE ROCK, COLORADO
80104
P 720-878-6534

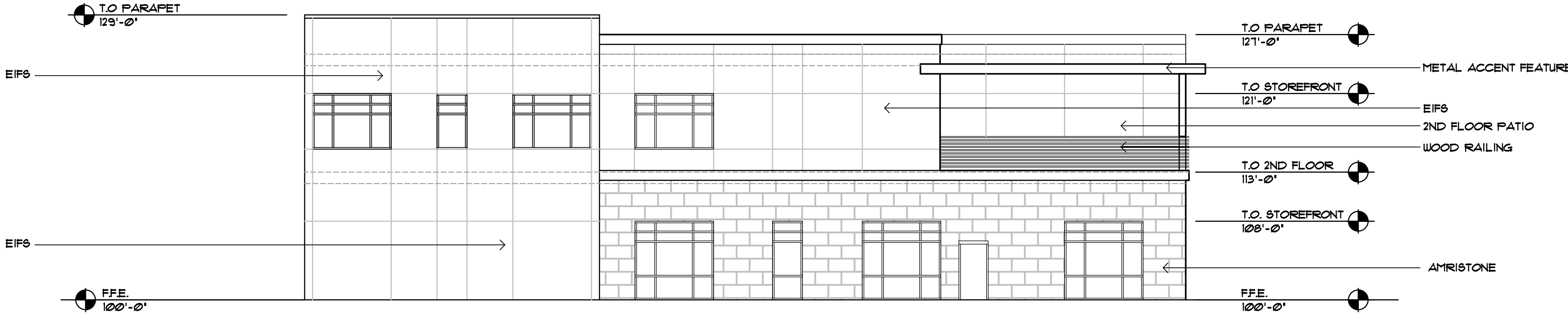
FINAL PD SITE PLAN
FERRARI FILMS
LOT 2, FILING NO. 1, MONUMENT MARKETPLACE NORTH
MONUMENT, COLORADO

DA XX-2018

BUILDING ELEVATIONS

DATE 01/07/19
02/12/19
DESCRIPTION
OWNER REVIEW
INITIAL TOWN SUBMITTAL

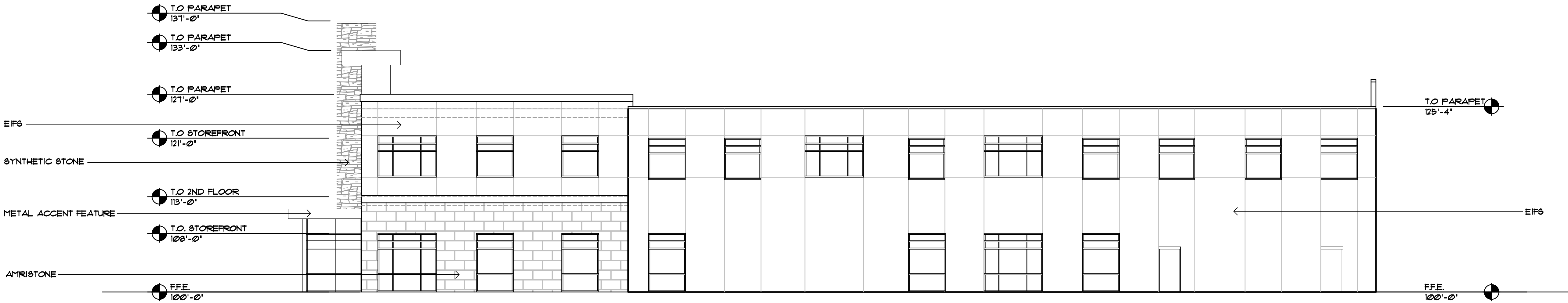
PROJECT #: 18.001
DRAWN BY: KA
DESIGNED BY: KA
CHECKED BY: SDA



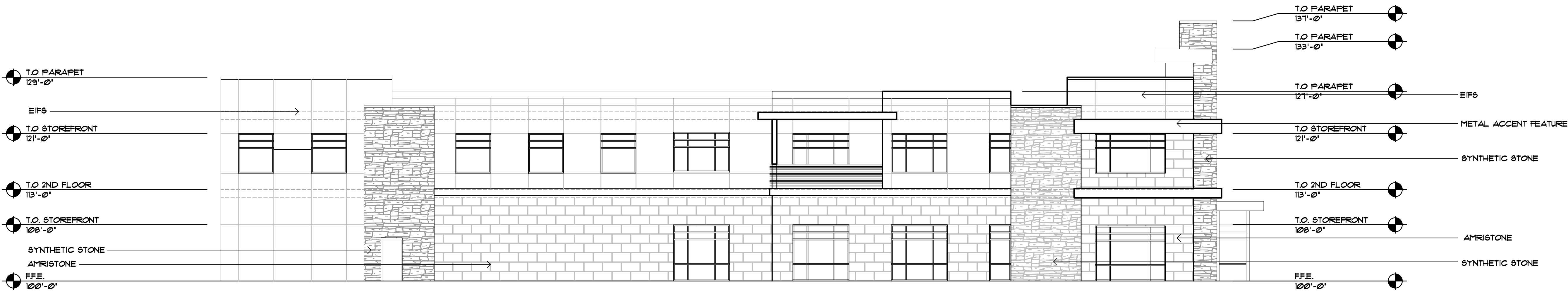
FERRARI FILMS
LOT 2, FILING NO. 1 MONUMENT MARKETPLACE NORTH
FINAL PD SITE PLAN

PARTS OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 23
AND THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 26
TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF MONUMENT, EL PASO COUNTY, COLORADO

WALL SIGNAGE IS APPROVED
BY SEPERATE PERMIT



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

IRELAND
DEAN
DESIGNS, LLC
ARCHITECTURE
LAND PLANNING
DEVELOPMENT SERVICES
425 WILCOX STREET
SUITE 120
CASTLE ROCK, COLORADO
80104
P 720-878-6534

FINAL PD SITE PLAN
FERRARI FILMS
LOT 2, FILING NO. 1, MONUMENT MARKETPLACE NORTH
MONUMENT, COLORADO

DA XX-2018

DATE DESCRIPTION
01/07/19 OWNER REVIEW
02/12/19 INITIAL TOWN SUBMITTAL

PROJECT #: 18.001
DRAWN BY: KA
DESIGNED BY: KA
CHECKED BY: SDA

F PD-17