

LOT 1A, FALCON MARKETPLACE

7520 FALCON MARKET PLACE EL PASO COUNTY, COLORADO DEVELOPMENT PLAN

LEGAL DESCRIPTION:

LOT 1A, FALCON MARKETPLACE

FLOODPLAIN STATEMENT:

THE EFFECTIVE FLOODPLAIN ZONE A LIMITS ARE DEFINED ON THE FIRM FOR EL PASO COUNTY, COLORADO AND UNINCORPORATED AREAS, MAP NUMBER 08041C0553G, EFFECTIVE DATE DECEMBER 7, 2018.

A LOMR TO MODIFY THE FLOODPLAIN HAS BEEN APPROVED BY FEMA, CASE NO. 21-08-0534P (OCT 7, 2021) WITH AN EFFECTIVE DATE OF FEBRUARY 22, 2022.

ADA DESIGN PROFESSIONAL STANDARDS:

1. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARD AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE.
2. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
3. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

NOTES:

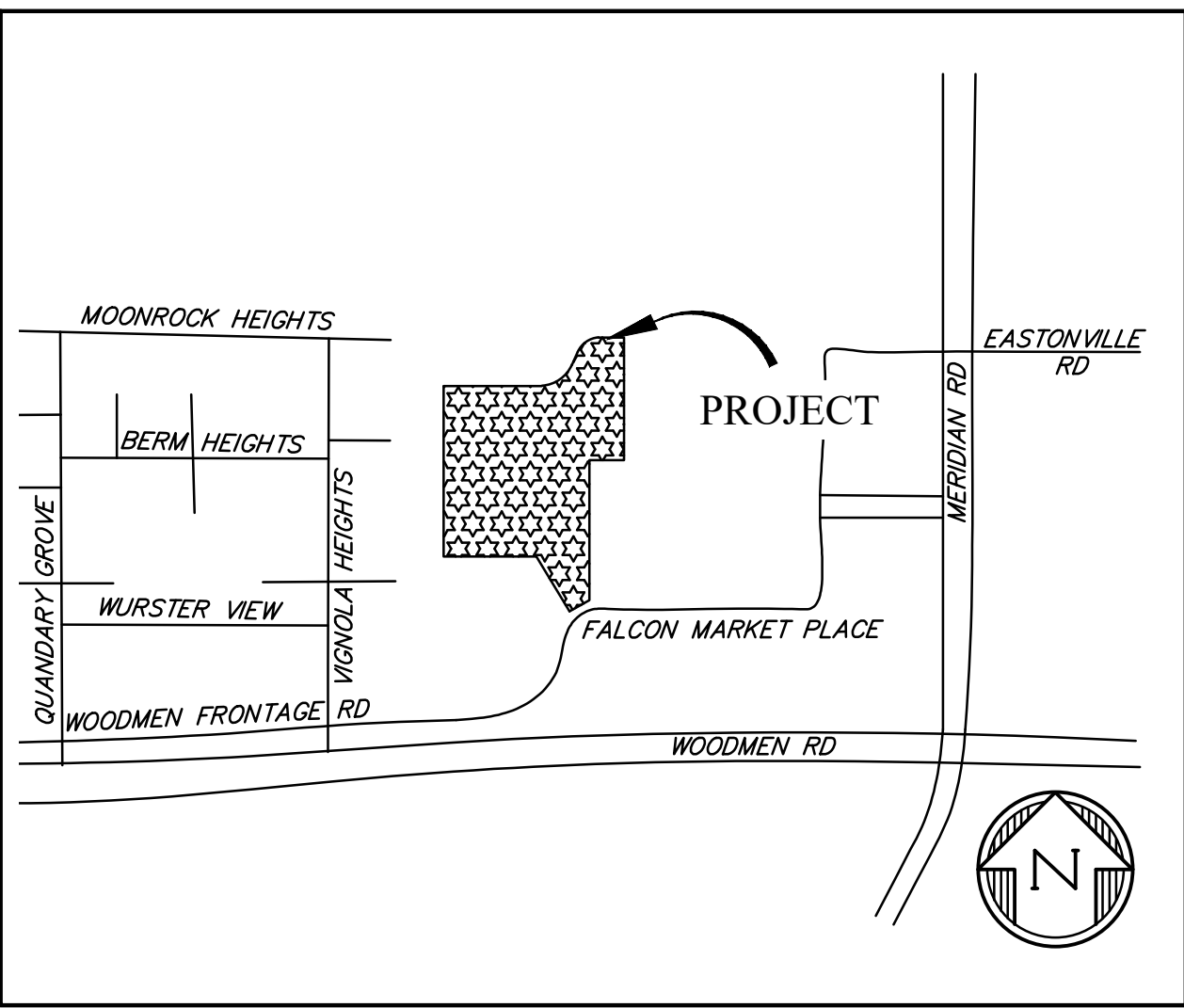
1. A SEPARATE SIGN PERMIT IS REQUIRED.
2. ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS.
3. THE ADA PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING ONE TO FIFTY (1:50) (2 PERCENT) IN ALL DIRECTIONS.

GENERAL NOTES:

1. ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS.
2. THE GENERAL DRAINAGE PATTERNS ARE TO THE SOUTHERLY DIRECTION.
3. THIS DEVELOPMENT IS PROPOSED IN ONE PHASE.
4. LANDSCAPE MAINTENANCE OF THE PROPERTY IS THE OWNER'S RESPONSIBILITY.
5. ALL DRIVEWAYS AND PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.
6. ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS ARE TO BE CONSTRUCTED WITH TYPE 3 CURB AND GUTTER.

APPROXIMATE SCHEDULE OF DEVELOPMENT:

BEGIN SPRING 2024 COMPLETE SPRING 2025



VICINITY MAP
NTS

SITE/BUILDING DATA:

OWNER/CONTRACTOR: EVERGREEN-MERIDIAN & WOODMEN, LLC
 2390 E CAMELBACK RD. SUITE #295
 PHOENIX, AZ 85016

TAX SCHEDULE NUMBER: 5301401330

DEVELOPMENT PLAN/LOT AREA: 3.67 AC +/-
 LOT AREA COVERAGE: 94% (3.44 AC.)
 OPEN SPACE: 0.0%
 LANDSCAPING: 6.0%
 IMPERMEABLE SURFACE: 94%

ZONING: (EXISTING & PROPOSED) CR
 LAND USE: COMMERCIAL RETAIL STORE
 DRAINAGE BASIN: FALCON
 BUILDING CONSTRUCTION TYPE: II-B, SPRINKLED

BUILDING AREA:
 - BUILDING (1) 38,297 SF
 - BUILDING (2) 15,179 SF
 23,118 SF

BUILDING HEIGHT:
 ALLOWED 50'
 PROPOSED 27'

BUILDING SETBACKS: **Front Setback is 50' (Table 5.5 of the LDC)**
 FRONT EXISTING & PROPOSED 25'
 SIDE EXISTING & PROPOSED 25'
 REAR EXISTING & PROPOSED 25'

PARKING:

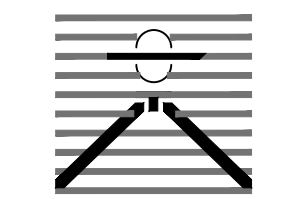
TOTAL REQUIRED COMMERCIAL BUILDING ADA STALLS	1 PER 250 SF = 153 = 6
TOTAL PROVIDED STANDARD STALLS	153
ADA STALLS PROVIDED	6
TOTAL PROVIDED	159

SHEET INDEX

SHT1	CV	DEVELOPMENT PLAN COVER SHEET
SHT2	USP	UTILITY & SITE PLAN

Add Signature Block for El Paso County Planning & Community Development Director (minimum 1 inch x 2 inches)

PREPARED BY:



DREXEL, BARRELL & CO.
 Engineers • Surveyors
 101 SAHWATCH ST., SUITE 100
 COLORADO SPGS, COLORADO 80903
 CONTACT: TIM D. MCCONNELL, P.E.
 (719)260-0887
 COLORADO SPRINGS • LAFAYETTE

CLIENT:

**EVERGREEN
 MERIDIAN &
 WOODMEN, LLC**
 2390 E CAMELBACK RD,
 SUITE #410
 PHOENIX, AZ 85016

**DEVELOPMENT PLANS FOR:
 LOT 1A, FALCON
 MARKETPLACE
 7520 FALCON MARKET PLACE
 EL PASO COUNTY, COLORADO**

ISSUE	DATE
INITIAL ISSUE	9/18/2023

DESIGNED BY: KGV
 DRAWN BY: CGH
 CHECKED BY: TDM
 FILE NAME: 20988-CV

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

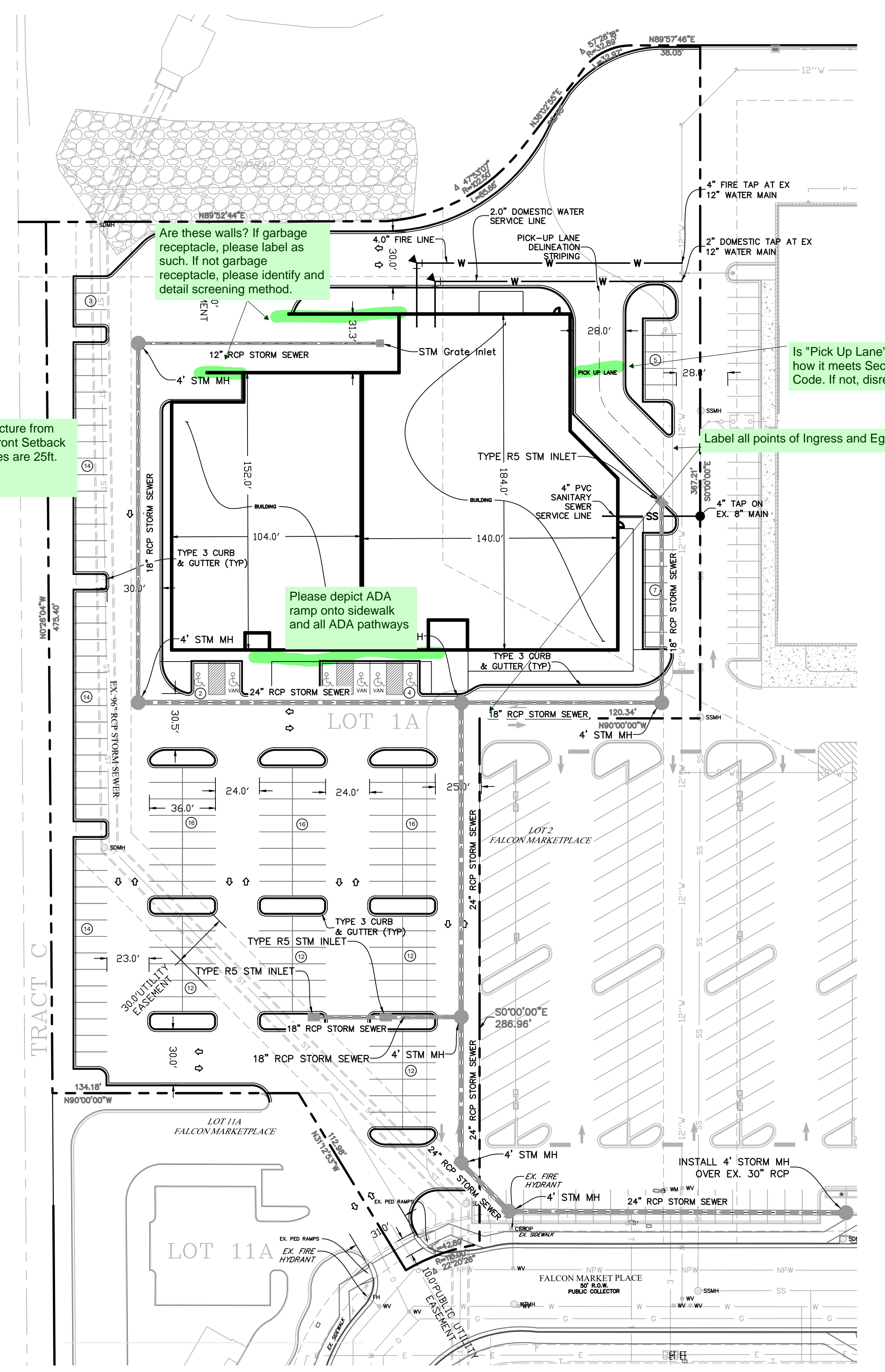
DRAWING SCALE:
 HORIZONTAL: N/A
 VERTICAL: N/A

COVER SHEET

PROJECT NO. 20988-13CSCV
 DRAWING NO.

CV

SHEET: 1 OF 2



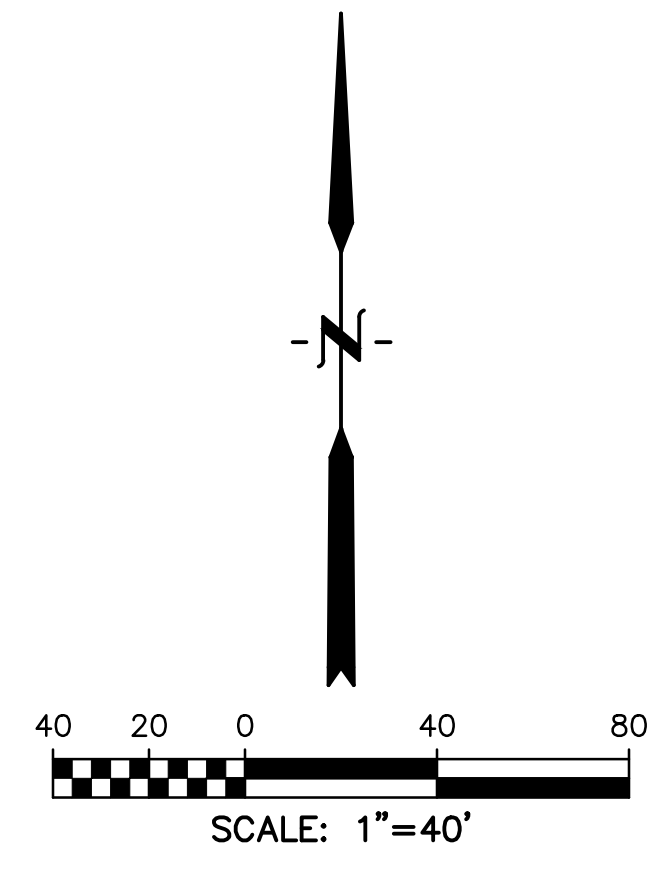
Show setback of structure from each property line. Front Setback is 50ft, Rear and Sides are 25ft.

Are these walls? If garbage receptacle, please label as such. If not garbage receptacle, please identify and detail screening method.

Is "Pick Up Lane" a drive-thru? If so, please show how it meets Section 6.2.5.G.1 of the Land Dev. Code. If not, disregard comment.

Label all points of Ingress and Egress

Please depict ADA ramp onto sidewalk and all ADA pathways



ABBREVIATION

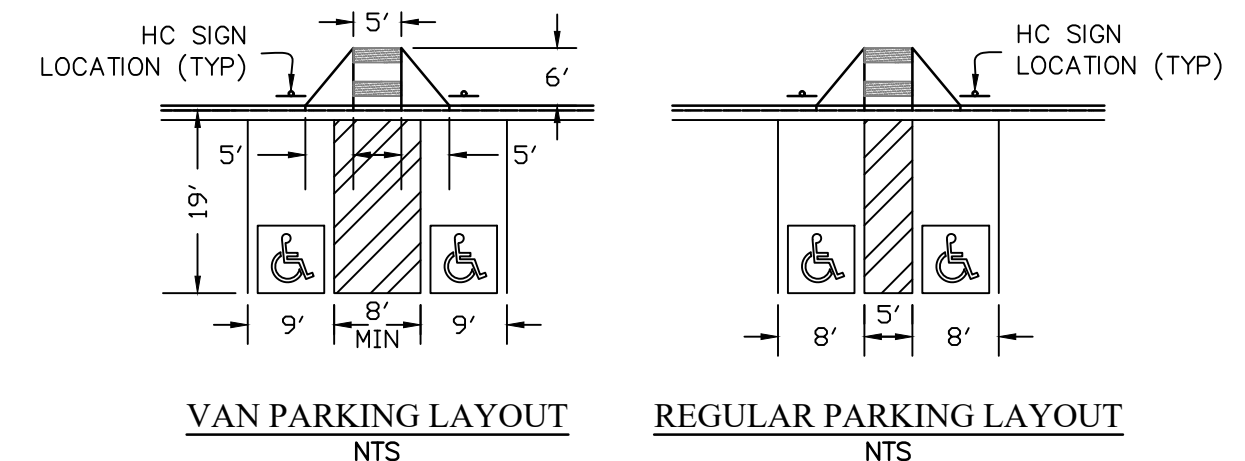
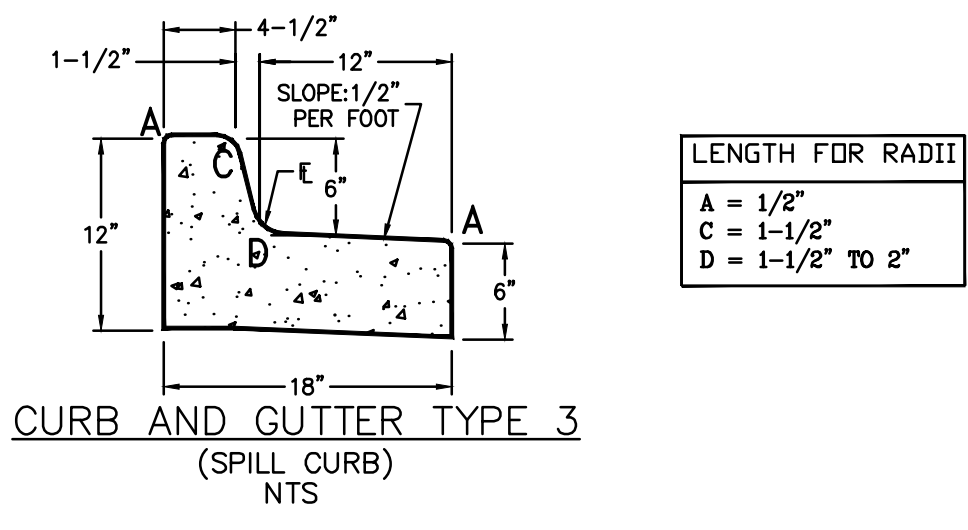
C&G	CURB AND GUTTER
EOA	EDGE OF ASPHALT
EX	EXISTING
MH	MANHOLE
PEP	PEDESTRIAN
PP	PROPOSED
STM	STORM
SW	SIDEWALK
TELE	TELEPHONE
TYP	TYPICAL

LEGEND

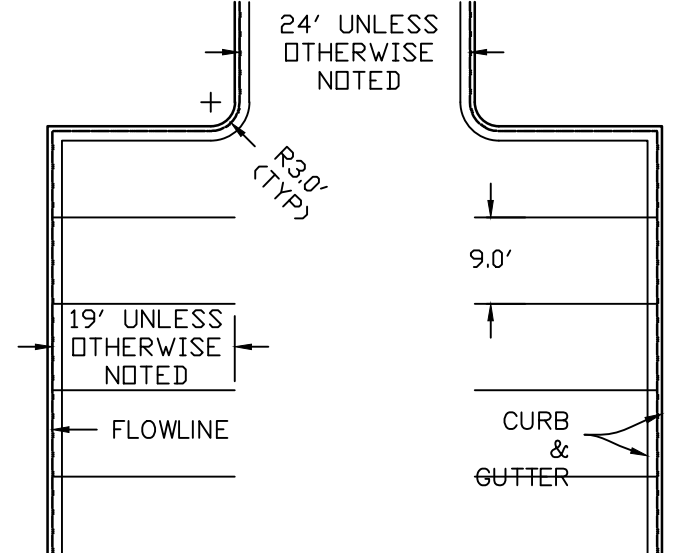
PROPERTY LINE	---
ROW	---
EASEMENT	---
STOP SIGN	⊥
SANITARY SERVICE LINE	SS
WATER SERVICE LINE	W
ELECTRIC SERVICE LINE	E
TELE SERVICE LINE	T
NUMBER OF PARKING STALLS	(2)
HANDICAP PARKING	♿
TRAFFIC FLOW DIRECTION	⇨

NOTES

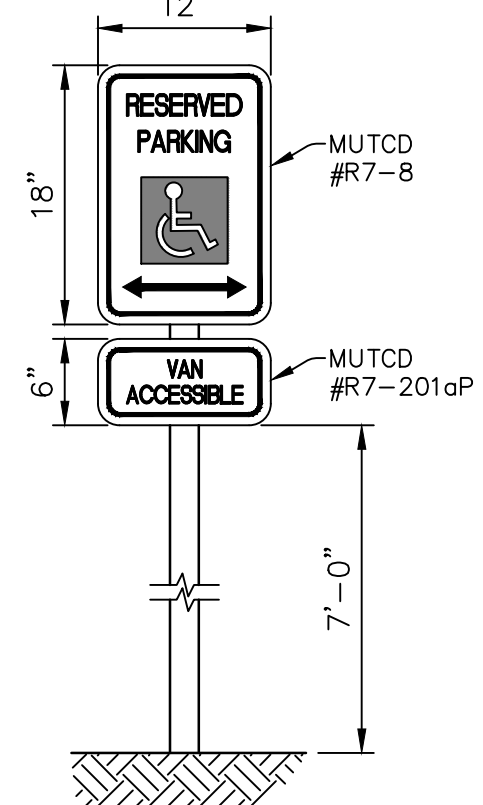
1. NO FLOODPLAIN, NO-BUILD AREAS, OR DRAINAGE WAY AREAS ARE LOCATED ON THE SITE.
2. NO LOADING OR OTHER VEHICULAR USE AREAS ARE LOCATED ON THE SITE.
3. REFERENCE SITE SIGN PLAN FOR LOCATIONS & SIZING



TYPICAL HANDICAP PARKING LAYOUT NTS



TYPICAL PARKING LAYOUT NTS



HC SIGN DETAIL NTS

PREPARED BY:

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 DRAWING SCALE:
 HORIZONTAL: 1"=40'
 VERTICAL: N/A
 UTILITY
 &
 SITE PLAN
 PROJECT NO. 20988-13CSCV
 DRAWING NO.

USP
 SHEET: 2 OF 2