

LOT 1A, FALCON MARKETPLACE

7520 FALCON MARKET PLACE

EL PASO COUNTY, COLORADO

DEVELOPMENT PLAN

LEGAL DESCRIPTION:

LOT 1A, FALCON MARKETPLACE

FLOODPLAIN STATEMENT:

THE EFFECTIVE FLOODPLAIN ZONE A LIMITS ARE DEFINED ON THE FIRM FOR EL PASO COUNTY, COLORADO AND UNINCORPORATED AREAS, MAP NUMBER 08041C0553G, EFFECTIVE DATE DECEMBER 7, 2018.

A LOMR TO MODIFY THE FLOODPLAIN HAS BEEN APPROVED BY FEMA, CASE NO. 21-08-0534P (OCT 7, 2021) WITH AN EFFECTIVE DATE OF FEBRUARY 22, 2022.

ADA DESIGN PROFESSIONAL STANDARDS:

1. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARD AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE.
2. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
3. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

NOTES:

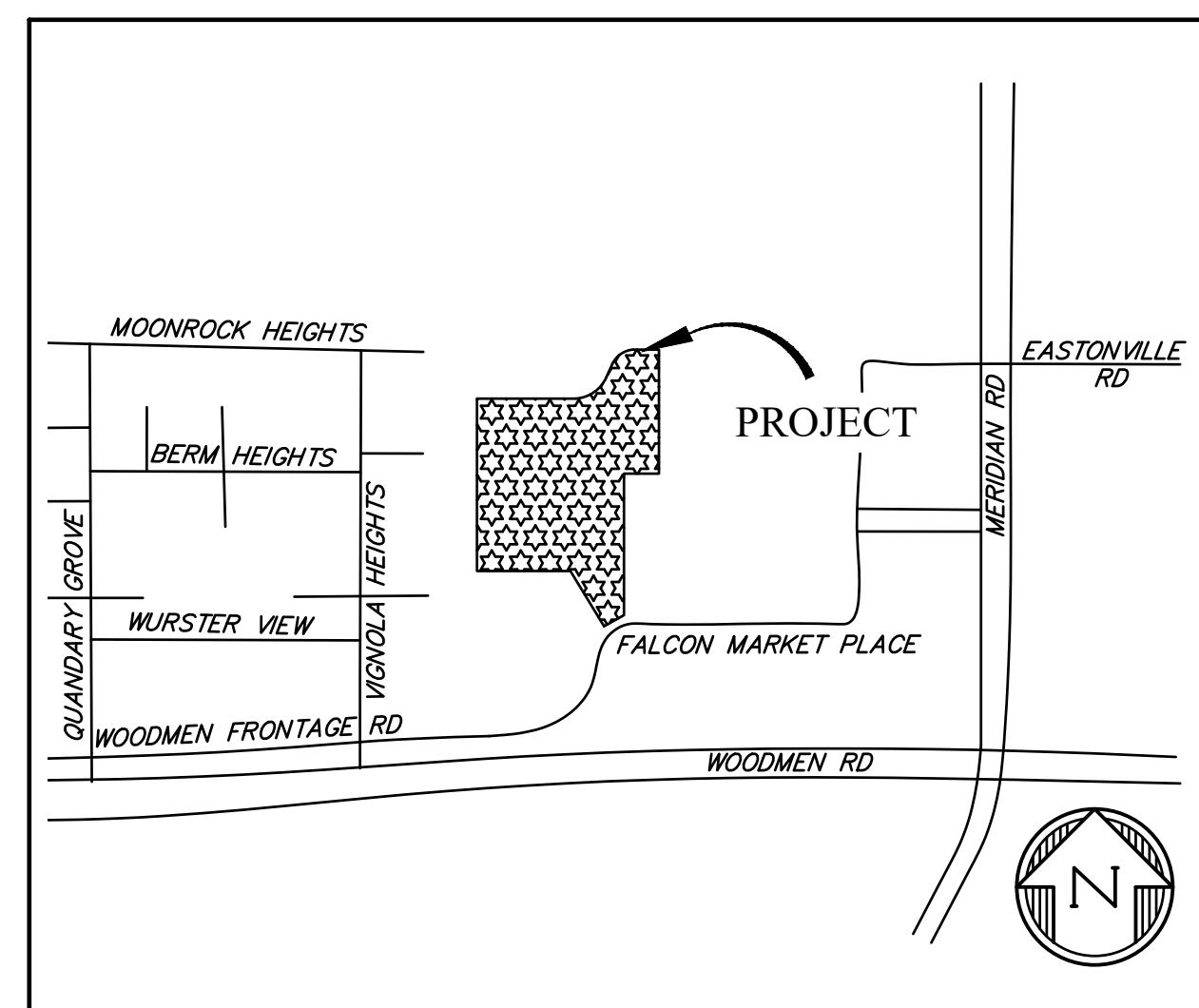
1. A SEPARATE SIGN PERMIT IS REQUIRED.
2. ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS.
3. THE ADA PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING ONE TO FIFTY (1:50) (2 PERCENT) IN ALL DIRECTIONS.

GENERAL NOTES:

1. ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS.
2. THE GENERAL DRAINAGE PATTERNS ARE TO THE SOUTHERLY DIRECTION.
3. THIS DEVELOPMENT IS PROPOSED IN ONE PHASE.
4. LANDSCAPE MAINTENANCE OF THE PROPERTY IS THE OWNER'S RESPONSIBILITY.
5. ALL DRIVEWAYS AND PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.
6. ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS ARE TO BE CONSTRUCTED WITH TYPE 3 CURB AND GUTTER.

APPROXIMATE SCHEDULE OF DEVELOPMENT:

BEGIN SPRING 2024 COMPLETE SPRING 2025



VICINITY MAP
NTS

SITE/BUILDING DATA:

OWNER/CONTRACTOR: EVERGREEN-MERIDIAN & WOODMEN, LLC
2390 E CAMELBACK RD. SUITE #295
PHOENIX, AZ 85016

TAX SCHEDULE NUMBER: 5301401330

DEVELOPMENT PLAN/LOT AREA: 3.67 AC +/-
LOT AREA COVERAGE: 94% (3.44 AC.)
OPEN SPACE: 0.0%
LANDSCAPING: 6.0%
IMPERMEABLE SURFACE: 94%

ZONING: (EXISTING & PROPOSED) CR
LAND USE: COMMERCIAL RETAIL STORE

DRAINAGE BASIN: FALCON

BUILDING CONSTRUCTION TYPE: II-B, SPRINKLED

BUILDING AREA:
- BUILDING (1) 38,321 SF
- BUILDING (2) 15,576 SF
22,745 SF

BUILDING HEIGHT:
ALLOWED 50'
PROPOSED 27'

BUILDING SETBACKS:
FRONT EXISTING & PROPOSED 50'
SIDE EXISTING & PROPOSED 25'
REAR EXISTING & PROPOSED 25'

PARKING:

TOTAL REQUIRED COMMERCIAL BUILDING ADA STALLS: 1 PER 250 SF = 153 = 6

TOTAL PROVIDED STANDARD STALLS: 153
ADA STALLS PROVIDED: 6
TOTAL PROVIDED: 159

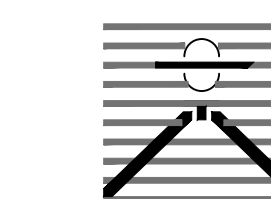
SHEET INDEX

SHT1 CV DEVELOPMENT PLAN COVER SHEET
SHT2 USP UTILITY & SITE PLAN

EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT DIRECTOR

MEGGAN HERINGTON DATE
EXECUTIVE DIRECTOR

PREPARED BY:



DREXEL, BARRELL & CO.
Engineers • Surveyors
101 SAWATCH ST., SUITE 100
COLORADO SPGS, COLORADO 80903
CONTACT: TIM D. McCONNELL, P.E.
(719)260-0887
COLORADO SPRINGS • LAFAYETTE

CLIENT:

EVERGREEN
MERIDIAN &
WOODMEN, LLC
2390 E CAMELBACK RD.
SUITE #410
PHOENIX, AZ 85016

DEVELOPMENT PLANS FOR:
**LOT 1A, FALCON
MARKETPLACE**
7520 FALCON MARKET PLACE
EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	9/18/2023
2nd SUBMITTAL	11/16/2023

DESIGNED BY: KGV
DRAWN BY: CGH
CHECKED BY: TDM
FILE NAME: 20988-CV

PREPARED UNDER MY DIRECT
SUPERVISION FOR AND ON BEHALF
OF DREXEL, BARRELL & CO.

DRAWING SCALE:
HORIZONTAL: N/A
VERTICAL: N/A

COVER SHEET

PROJECT NO. 20988-13CSCV
DRAWING NO.

CV

SHEET: 1 OF 2

