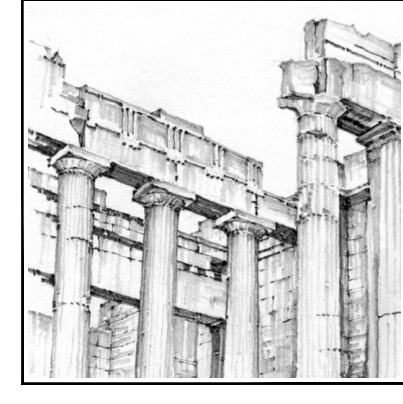


BINGLE RESIDENCE REMODEL & ADDITION

Copyright © 2024
All ideas, design, arrangements and plans included or incorporated by this drawing are the property of BUCHER DESIGN STUDIO and were created, revised and developed for use on, and in connection with, the specified project. None of such ideas, designs, arrangements or plans shall be used by, disclosed to any person, firm or corporation for any purpose whatsoever without the written permission of BUCHER DESIGN STUDIO.



BUCHER DESIGN STUDIO
Architecture & Planning
12325 Oracle Blvd, Suite 101
Colorado Springs, CO 80921
(719) 484-0480

Brian K. Bucher, AIA
Architect
CO license no. C-4889

A PROPOSED
REMODEL &
ADDTN.

BINGLE
RESIDENCE

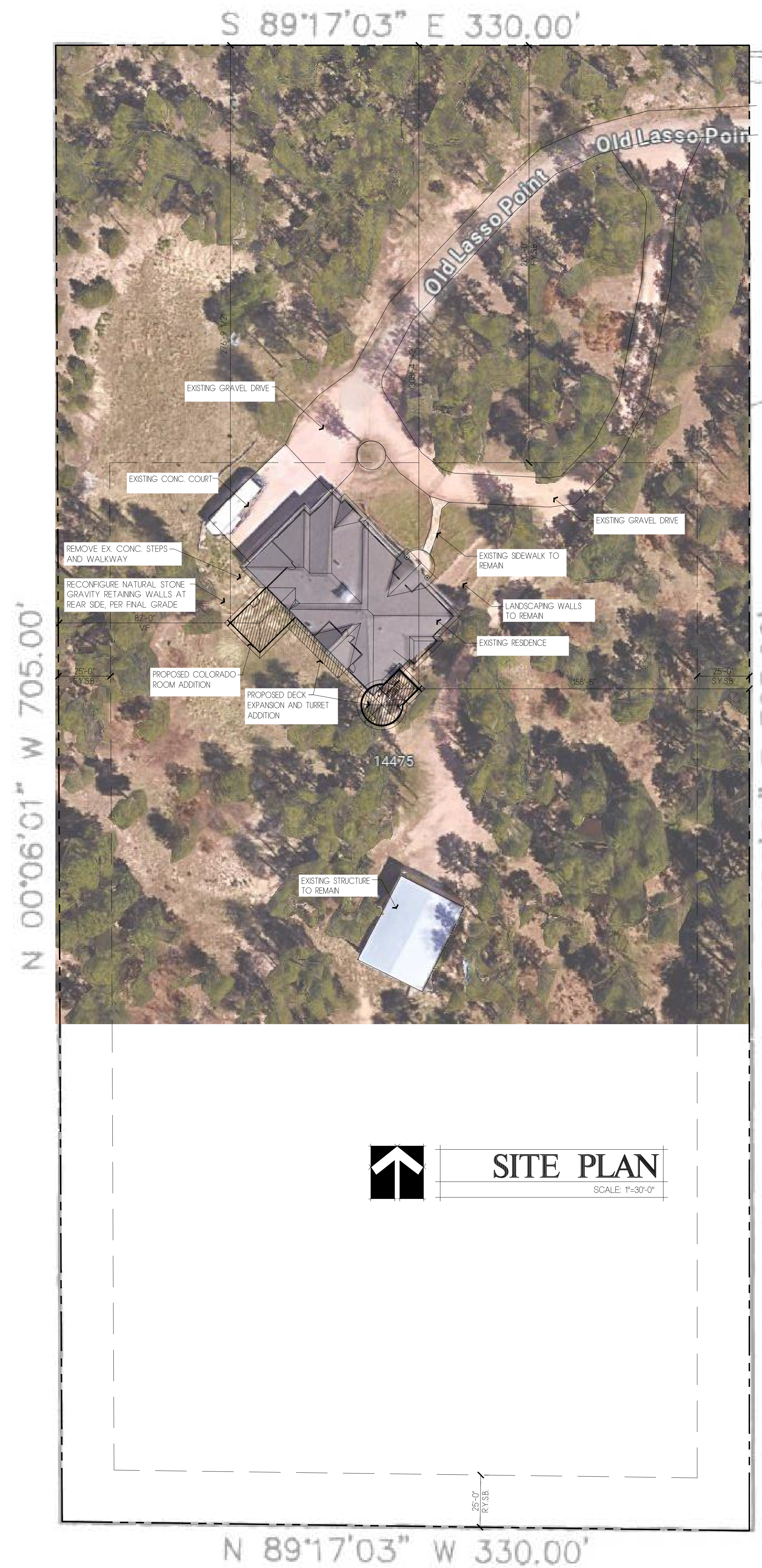
14475 OLD LASSO POINT
COLORADO SPRINGS, CO
Sheet Title:
COVER SHEET/
SITE PLAN

Drawing Status:
CD SET

Revisions:
No. Description By Date

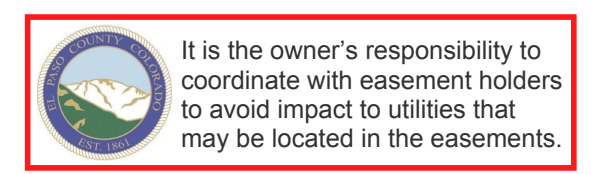
Date: 10/2/24
Drawn by:
Checked by:
Scale: AS NOTED
Job No.:

Sheet No.:
AO
Of



ADD24647

**Not Required
BESQCP**
10/22/2024 10:22:01 AM
dsdyounger
EPC Planning & Community
Development Department



**APPROVED
Plan Review**
10/22/2024 10:22:08 AM
dsdyounger
EPC Planning & Community
Development Department

ANY APPROVAL GIVEN BY EL PASO COUNTY DOES NOT DEVIATE THE NEED TO COMPLY WITH APPLICABLE FEDERAL, STATE, OR LOCAL LAWS AND/OR REGULATION
Planning & Community Development Department approval is contingent upon compliance with all applicable notes on the recorded plat.
An access permit must be granted by the Planning & Community Development Department prior to the establishment of any driveway onto a County road.
Division of blockage of any drainage way is not permitted without approval of the Planning & Community Development Department.

GENERAL NOTES

- Applicable Codes:
 - 2023 Pikes Peak Regional Bldg. Code (PPRBC)
 - 2021 International Residential Code (IRC)
 - 2021 International Mechanical Code (IMC)
 - 2021 International Plumbing Code (IPC)
 - 2021 International Energy Conservation Code (IECC)
 - 2023 National Electrical Code (NEC)
 - 2021 International Fuel Gas Code (IFGC)
 - 2021 International Fire Code (IFC)
- Reference, discrepancies and omissions: These notes shall apply to all drawings unless otherwise shown or noted. Features of construction shown are typical and they shall apply generally throughout similar conditions. In the event of omissions, their construction shall be similar to conditions shown and detailed.
- All work and materials shall be in full accordance with the rules and regulations of the applicable codes and all local codes and ordinances. Nothing in these plans is to be construed to permit work not conforming to these codes.
- Dimensions:
 - a. Do not scale these drawings.
 - b. Contractor to verify overall building layout dimensions prior to construction.
 - c. Unless otherwise indicated, dimensions shown are to face of concrete, face masonry, face of stud lines; or, in case of steel construction, to the center line of member.
- Upon completion of each sub-contractor's work, remove all waste, debris, excess materials, tools and equipment from the premises. Leave entire structure and involved portions of the site in a neat, clean and acceptable condition.
- All roofing and flashing materials shall be installed to form a waterproof system.
- Insulate to conform with current energy standards.
- Lathing, plastering and drywall construction, shall be in full accordance with the HANDBOOK OF RECOMMENDED SPECIFICATIONS FOR LATHING, FURRING AND PLASTERING of the National Foundation for Lathing and Plastering, Inc.

GENERAL SITE NOTES

- VERIFY EXACT LOCATION & FINISH FLOOR HEIGHT OF RESIDENCE WITH CONTRACTOR AND ARCHITECT PRIOR TO CONSTRUCTION.
- PROVIDE 4" THK. CONCRETE PAD FOR GROUND MOUNTED H.V.A.C. EQUIPMENT. VERIFY SIZE & LOCATION WITH MECH. CONTRACTOR.
- SLOPE GRADE MINIMUM 10% AWAY FROM RESIDENCE TO DRAIN. OVER FIRST 10', VERIFY WITH SITE GRADING PLAN.
- PROVIDE UNDERGROUND UTILITIES TO RESIDENCE PER SERVICING AGENCY REQUIREMENTS.
- ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH NATIVE GRASSES AS SOON AS POSSIBLE.
- FIELD VERIFY ALL DIMENSIONS.
- CONTRACTOR SHALL FIELD VERIFY AND CONFIRM STAKE OUT OF BUILDING CORNERS PRIOR TO EXCAVATION AND CONSTRUCTION.
- LOCATION OF NEW AND EXISTING UTILITIES TO BE FIELD VERIFIED.
- ALL EASEMENTS, SETBACKS, GRADES AND HEIGHTS SHALL BE FIELD VERIFIED BY TITLE SEARCH AND CONTRACTOR.
- USE EROSION CONTROL FENCE DURING EXCAVATION TO STABILIZE AND PREVENT THE EROSION OF SOILS.

PROJECT TEAM

OWNER
BRUCE & YULIN BINGLE
(410) 874-7901 HOME
7031 282-0746 CELL
BBINGLE67@AOL.COM
YULIN@AOL.COM

CONTRACTOR
PAR 5 LUXURY HOMES LLC
2646 PINE KNOLL VIEW
COLORADO SPRINGS, CO 80920
DEAN HEISLER
(719) 492-1268 MOBIL
DEAN@FOXBS.COM

ARCHITECT
BUCHER DESIGN STUDIO, INC.
BRIAN K. BUCHER, AIA, NCARB
12325 ORACLE BLVD. SUITE 101
COLORADO SPRINGS, CO
(719) 484-0480

HVAC DESIGN
TBD

STRUCTURAL / FOUNDATION ENGINEERS

MIBAR ENGINEERING LTD.
MOLLY TOLLE
6825 SILVER POND HEIGHTS,
SUITE 101
COLORADO SPRINGS, CO 80908
(719) 487-0812
MSTOLLE@MIBARLTD.COM

SHEET INDEX

SHT. #	DESCRIPTION
A0	COVER SHEET/ SITE PLAN
A11	MAIN FLOOR PLAN
A12	UPPER FLOOR PLAN
A13	BSMT. FLOOR PLAN
A21	ROOF PLAN
A31	EXTERIOR ELEVATIONS
A32	EXTERIOR ELEVATIONS
A41	BUILDING SECTIONS
E11	MAIN ELECTRICAL PLAN
E12	UPPER ELECTRICAL PLAN
E13	BASEMENT ELECTRICAL PLAN
S11	MAIN FRAMING PLAN
S12	UPPER FRAMING PLAN
S21	ROOF FRAMING PLAN

PROJECT DATA

PROJECT ADDRESS: 14475 OLD LASSO POINT
COLORADO SPRINGS, CO
TAX PARCEL NO.: 620400022
LEGAL DESCRIPTION: ELY 330 FT OF N 705 FT OF E2W2E2 OF LOT 1 SEC 4-12-66
JURISDICTION: PIKES PEAK REGIONAL BUILDING DEPARTMENT
ZONE: RR-5
PROJECT DESCRIPTION: PROPOSED ADDITION TO EXISTING RESIDENCE
AREA CALCULATIONS:
SITE AREA: 232,610 SF. 5.34 AC
EXISTING RESIDENCE AREA: +- 6,366 SF.
PROPOSED PROJECT AREA: BSMT. FLOOR: 775 SF.
BSMT. PATIO: 212 SF.
MAIN FLR: 415 SF.
TERRACE AND OUTDOOR LIVING: 693 SF.
UPPER FLOOR: 335 SF.
TOTAL BLDG. AREA: 2,430 SF.
BUILDING HEIGHT: 28'-6" 30' MAX
LOT COVERAGE: 8,796 SF. (EX 6,366 SF. + P 2,430 SF.) / 232,610 SF. 3.8%

VICINITY MAP

NOT TO SCALE



RESIDENTIAL



2023 PPRBC
2021 IECC Amended

Parcel: 6204000022

Address: 14475 OLD LASSO PT, COLORADO SPRINGS

Plan Track #: 195267  Received: 17-Oct-2024 (QUINTONW)

Description:

ADDITION

Contractor: PAR 5 LUXURY HOMES, LLC

Type of Unit:

Required PPRBD Departments (5)

Floodplain (N/A) RBD GIS	Construction
Electrical	Mechanical
Plumbing	

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.

Required Outside Departments (2)

County Zoning

APPROVED
Plan Review

10/22/2024 10:22:53 AM
dsdyounger

**EPC Planning & Community
Development Department**

EPC Health Dept