

The Ascent Church Site Development Plan

Addition and Remodel

1750 Deer Creek Rd Monument, CO 80132

PROJECT INFORMATION

OWNER: THE ASCENT CHURCH

PROJECT ADDRESS: 1750 DEER CREEK RD
MONUMENT, CO 80132
EL PASO COUNTY

PROJECT DISCIPTION: EXISTING CHURCH ADDITION. THE CHURCH WILL BE INCREASING THEIR WORSHIP SPACE WITH A NEW AUDITORIUM. ADDITION ALSO INCLUDES ADDITIONAL CLASSROOM AND MULTIPURPOSE SPACE. EXISTING AUDITORIUM WILL BE REMODELED INTO MULTIPURPOSE AND MEETING SPACE.

PROJECT SQUARE FOOTAGE:

EXISTING SF:	BASEMENT	3,301 SF
	MAIN LEVEL	23,635 SF
	SECOND LEVEL	13,850 SF
	TOTAL	40,786 SF

REMODEL AREA: MAIN LEVEL 10,467 SF TO BE REMODELED

ADDITION:

	BASEMENT	16,367 SF
	MAIN LEVEL	21,530 SF
	TOTAL	37,897 SF
	TOTAL WITH ADDITION	78,683 SF

SCHEDULE NUMBER & LEGAL: 7111301010
LOT 1 TRI-LAKES SUB

LOT SIZE: 7.28 ACRES (317,117 SF)

ZONING CLASSIFICATION: A-5

PROPOSED USE: RELIGIOUS INSTITUTION

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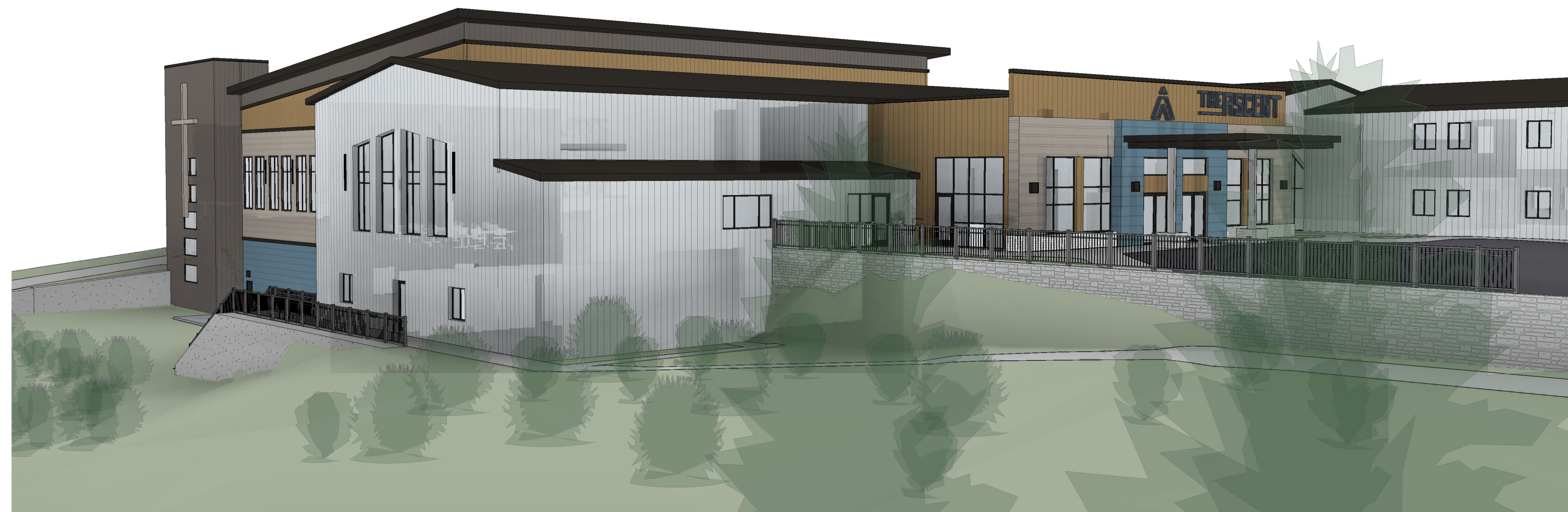
ELEV-01 EXTERIOR ELEVATIONS

ELEV-02 EXTERIOR ELEVATIONS

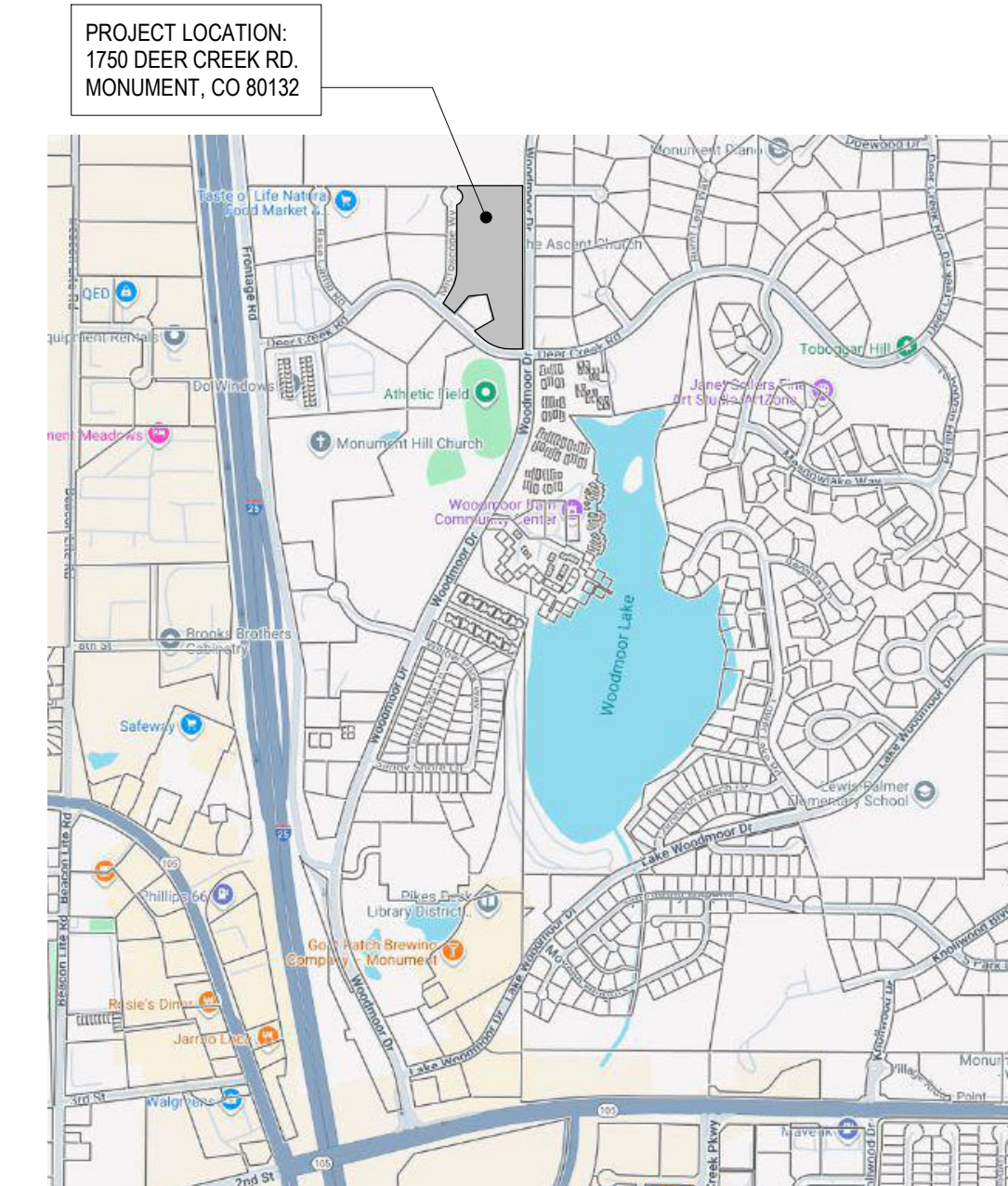
SDP - LIGHTING

EP-100 PHOTOMETRIC SITE PLAN

EP-101 PHOTOMETRIC CUT SHEETS



VICINITY MAP



SIGNATURE BLOCK



OWNER

THE ASCENT CHURCH
1750 DEER CREEK ROAD
MONUMENT, CO 80132
PHONE: (719) 481-3600
CONTACT: JASON SCHOTT

ARCHITECT

KEYS + LAUER ARCHITECTS
11681 VOYAGER PARKWAY, SUITE 200
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PHONE: (719) 634-3751
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LISA CARPENTER

CIVIL ENGINEER

ALL TERRAIN ENGINEERING
PHONE: (530) 391-7635
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APPLICANT

VERTEX CONSULTING
455 EAST PIKES PEAK AVE, SUITE 101
COLORADO SPRINGS, CO 80903
PHONE: (719) 733-8605
CONTACT: NINA RUIZ

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The Ascent Church
Addition and Remodel
1750 Deer Creek Rd
Monument, CO 80132

REVISIONS:	#	DESCRIPTION	DATE

PROJECT #: 2505
DATE: 02/11/2026
ISSUED FOR: PLANNING
DRAWN BY: LC
CHECKED BY: VL
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SHEET TITLE:
COVER SHEET

SHEET #:

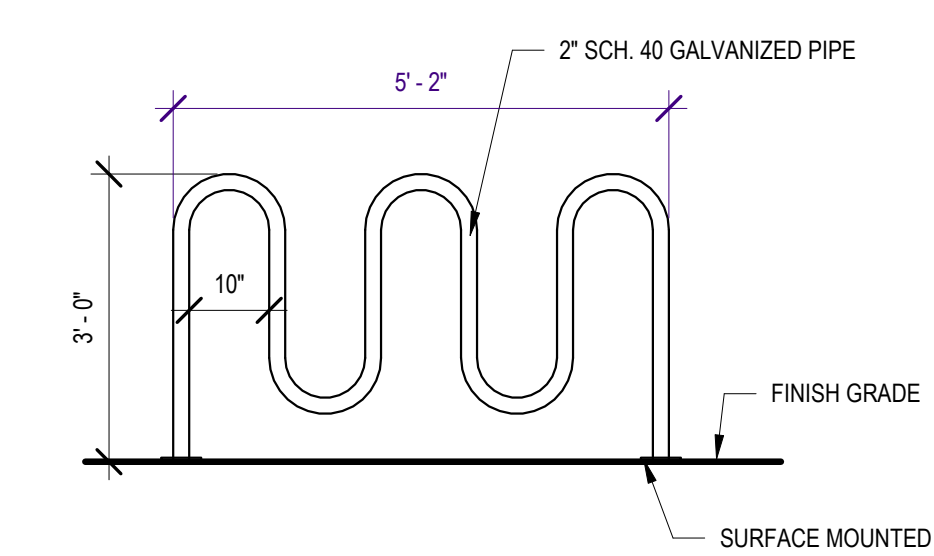
SDP-01

PCD FILE #PPR265

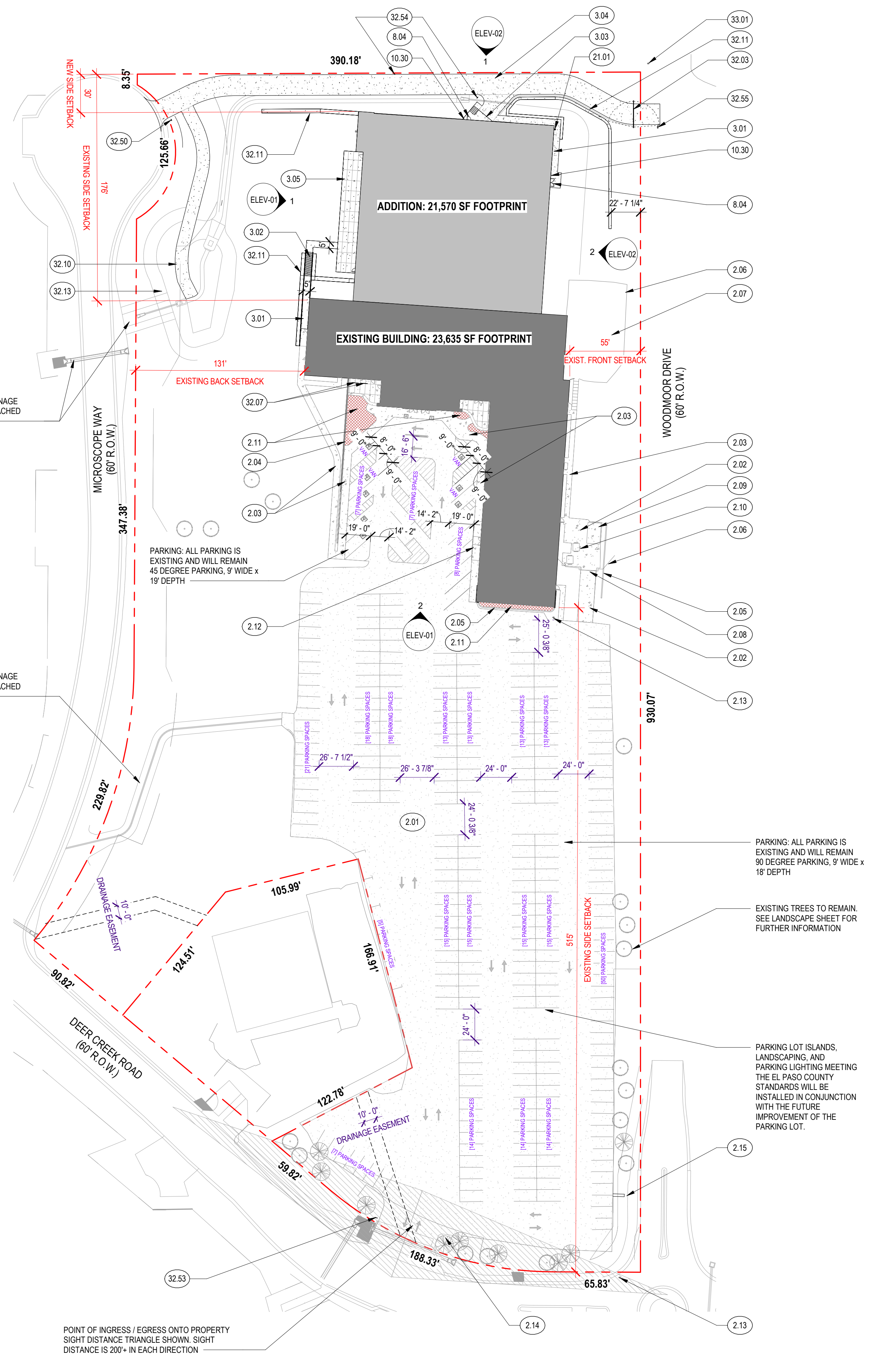
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F:\PROJECTS\Misc\2510 - Ascent Church - Addition & Remodel\ACAD - Dwg\Ascent Church Remodel and Addition.rvt

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2 BIKE RACK ELEVATION
1/2" = 1'-0"



1 SDP - SITE PLAN & PARKING PLAN
1" = 50'-0"

POINT OF INGRESS / EGRESS ONTO PROPERTY
SIGHT DISTANCE TRIANGLE SHOWN. SIGHT
DISTANCE IS 200+ IN EACH DIRECTION

SITE PLAN GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS, LOCATIONS, AND LAYOUTS SHOWN PRIOR TO THE START OF CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- PROTECT EXISTING CURB, GUTTER, AND WALKS; REPLACE ANY SITE ELEMENTS DAMAGED DURING CONSTRUCTION.

SITE DEVELOPMENT PLAN NOTES

- SEE PRELIMINARY UTILITY PLAN PROVIDED FOR INFORMATION ON EXISTING AND PROPOSED UTILITIES.
- SEE PROVIDED LANDSCAPE PLAN FOR LAYOUT AND LOCATION OF ALL LANDSCAPING.
- OTHER THAN EXISTING MONUMENT SIGN, NO OTHER EXISTING SITE SIGNAGE OCCURS.
- SEE PROVIDED CIVIL SHEET FOR EXISTING AND PROPOSED WATER AND WATERWATER INFRASTRUCTURE.
- SITE HAS NO NO-BUILD AREAS OR FLOODPLAIN AREAS.
- SIGNAGE IS SHOWN FOR REFERENCE ONLY. SIGNAGE IS NOT REVIEWED OR APPROVED IN SDP AND WILL REQUIRE SEPARATE REVIEW AND APPROVAL.

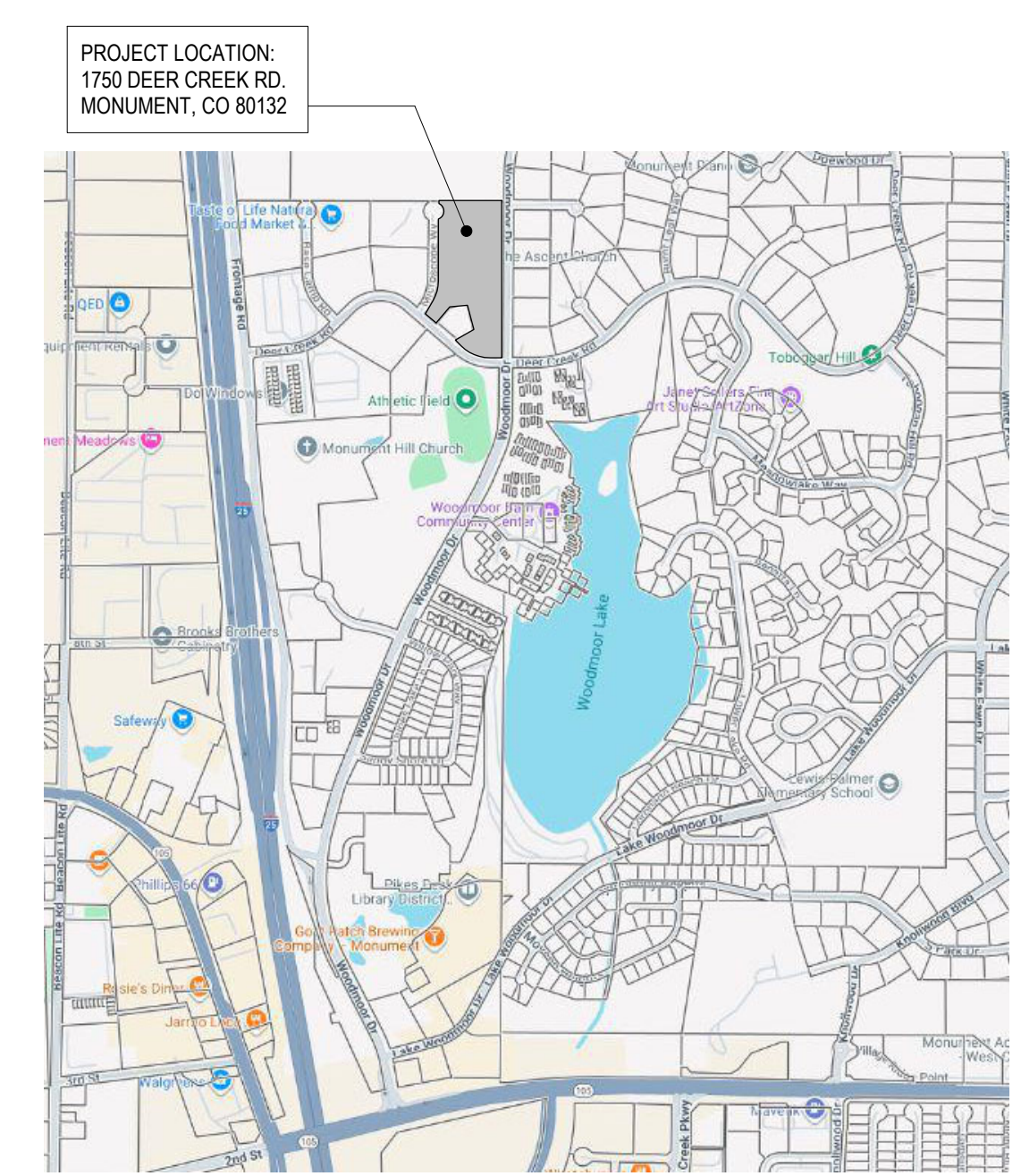
FIRE DEPARTMENT NOTES

- EMERGENCY ACCESS ROAD GATE SHALL BE SUBMITTED TO AND APPROVED BY THE FIRE AUTHORITY. GATE SHALL BE SECURED UTILIZING KNOXBOX PADLOCK.
- REAR ACCESS DOORS SHALL BE LABELED WITH THE ADDRESS AND NAME OF THE OCCUPANT. NUMBERS SHALL BE A MINIMUM OF 3" TALL AND 3/8" WIDE. NEW RECESSED KNOXBOX 3200 ADDED AT EACH REAR DOOR.
- EXTERIOR DOORS AND OPENINGS REQUIRED BY THE BUILDING CODE SHALL BE MAINTAINED ACCESSIBLE FOR EMERGENCY ACCESS. WALKWAYS FROM ACCESS ROADS TO EXTERIOR OPENINGS MAY BE REQUIRED.
- OBSTRUCTED DOORS OR OPENINGS, OR THOSE FOR AREAS NOT ACCESSIBLE FROM THE INTERIOR OF THE STRUCTURE SHALL BE LABELED AS SUCH.
- FIRE PROTECTION EQUIPMENT, UTILITIES AND ACCESS DOORS SHALL BE LABELED AND IDENTIFIED. ACCESS SHALL BE MAINTAINED AT ALL TIMES.

KEYNOTES

- EXISTING ASPHALT PAVING
- EXISTING CONCRETE PAVING
- EXISTING CONCRETE SIDEWALK, 5' WIDE; MEETS ADA REQUIREMENTS
- EXISTING RETAINING WALL
- EXISTING LANDSCAPE BLOCK WALL
- EXISTING WOOD FENCE
- EXISTING PLAYGROUND AND PICNIC AREA
- EXISTING WOOD GATE
- EXISTING SHED
- EXISTING TRASH RECEPTACLE LOCATION, SCREENED BY WOOD FENCE AND SLOPE OF SITE
- EXISTING LANDSCAPE AREA
- EXISTING ADA RAMP
- EXISTING HYDRANT
- EXISTING MAIL BOX
- EXISTING MONUMENT SIGN AND SIGN LIGHTING
- 4" CONCRETE WALK
- CONCRETE STAIRS; SEE CIVIL; PIPE RAILING EACH SIDE
- CONCRETE LOADING DOCK
- 16" WIDE CONCRETE FIRE ACCESS DRIVE
- CONCRETE PATIO, ENHANCED CONCRETE SCORING PATTERN, 4' x 8', WITH ADDED COLOR; MATCH FRONT ENTRANCE
- DOOR NEEDS TO BE LABELED WITH THE ADDRESS AND NAME OF OCCUPANT; NUMBERS SHALL BE A MINIMUM OF 3" TALL AND 3/8" WIDE TO MEET MONUMENT FIRE REQUIREMENTS
- KNOX BOX; RECESSED KEY BOX, MODEL SERIES 3200, ALUMINUM; FOLLOW MONUMENT FIRE REQUIREMENTS
- FDC
- SINGLE IN-GROUND MANUAL SWING BARRIER GATE WITH 20' ARM, GATE POST EACH SIDE; SUBMIT TO MONUMENT FIRE FOR REVIEW AND PROVIDE KNOXBOX PADLOCK
- 3 LOOP BIKE RACK, SEE DETAIL ON SITE PLAN SHEET
- MAINTENANCE ROAD TO POND
- RETAINING WALL, HEIGHT ABOVE GRADE AS INDICATED; SEE CIVIL
- DETENTION POND; SEE CIVIL
- SIGNAGE - "FIRE ACCESS ROAD KEEP CLEAR"
- SIGNAGE - STOP SIGN
- SIGNAGE - "NO PARKING FIRE LANE"
- SIGNAGE - "FIRE ACCESS ROAD KEEP CLEAR" & "RIGHT TURN ONLY"; 2-SIDED SIGN
- NEW FIRE HYDRANT LOCATION

VICINITY MAP



SUMMARY - SITE PLAN

OWNER INFO
NAME: THE ASCENT CHURCH, CONTACT - JASON SCHOTT
PHONE: 720-724-3435
EMAIL: JSCHOTT@THEASCENTCHURCH.COM

APPLICANT INFO
NAME: VERTEX, CONTACT - NINA RUIZ
PHONE: 719-733-8605
EMAIL: NINA.RUIZ@VERTEXCOS.COM

PROPERTY ADDRESS
1750 DEER CREEK RD,
MONUMENT, CO 80132

PROPERTY TAX SCHEDULE NUMBER: 7111301010

CURRENT ZONING: A-5

LEGAL DESCRIPTION: LOT 1 TRI-LAKES SUB

LOT / PARCEL SIZE: 7.28 ACRES (317,117 SF)

LOT AREA COVERAGE CALCULATION
EXISTING: BUILDING = 23,635 SF
TOTAL COVERAGE = 23,635 / 317,117 = 0.07
EXISTING COVERAGE IS 7%
PROPOSED: BUILDING = 23,635 + 21,570 ADDITION = 45,205 SF
TOTAL COVERAGE = 45,205 / 317,117 = 0.14
PROPOSED COVERAGE IS 14%

LAND USE AND ZONING
EXISTING: EXEMPT NON RESIDENTIAL LAND - RELIGIOUS
PROPOSED: RELIGIOUS INSTITUTION - A-5 ALLOWED

TOTAL GROSS BUILDING SQUARE FOOTAGE
EXISTING SF: BASEMENT 3,301 SF
MAIN LEVEL 23,635 SF
SECOND LEVEL 13,850 SF
TOTAL = 40,786 SF

REMODEL AREA: MAIN LEVEL 10,467 SF TO BE REMODELED

ADDITION: BASEMENT 16,367 SF
MAIN LEVEL 21,530 SF
TOTAL = 37,897 SF
TOTAL WITH ADDITION = 78,683 SF

OPEN SPACE, LANDSCAPING, AND IMPERMEABLE SURFACE PERCENTAGE
EXISTING: IMPERMEABLE: ASPHALT = 117,196 SF
CONCRETE = 6,358 SF
BUILDING = 23,635 SF
TOTAL = 147,189 SF IMPERMEABLE
EXISTING IMPERMEABLE PERCENTAGE = 46%
LANDSCAPED: 900 SF
OPEN SPACE: 317,117 - (147,189 + 900) = 169,028
EXISTING OPEN SPACE PERCENTAGE = 53%
PROPOSED: IMPERMEABLE: EXISTING = 147,189 SF
ADDED PAVING = 11,324 SF
ADDED BUILDING = 21,570 SF
TOTAL = 180,083 SF
IMPERMEABLE PERCENTAGE = 57%
LANDSCAPED: EXISTING = 900 SF
ADDED LANDSCAPE = 0 SF
LANDSCAPE PERCENTAGE = 0.28%
OPEN SPACE: 317,117 - (180,083 + 900) = 136,134
OPEN SPACE PERCENTAGE = 43%

PARKING INFORMATION
REQUIRED: 1 SPACE PER 4 SEATS
916 SEATS = 916 / 4 = 229 PARKING SPACES
REQUIRED ACCESSIBLE: 8 PARKING SPACES

SPACES PROVIDED: 309 TOTAL SPACES, INCLUDING 8 ACCESSIBLE (4 ARE VAN ACCESSIBLE) (NO COMPACT SPACES)

BIKE PARKING: REQUIRED 5% OF 229 = 12 SPACES
PROVIDED: 14 SPACES

SETBACK AND HEIGHT INFORMATION
TALLEST AVERAGE BUILDING HEIGHT = 36'
OVERALL AVERAGE BUILDING HEIGHT = 30'
MIN SETBACKS REQUIRED = 25' FRONT, SIDE, AND REAR
MIN SETBACKS PROVIDED:
FRONT = 55'-0"
SIDE = 29'-8"
REAR = 130'-9"

TRAFFIC IMPACT FEE NOTE: THE OWNER AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNEES SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 25-337), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.

ACCESSIBILITY NOTE: THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

SIGNATURE BLOCK

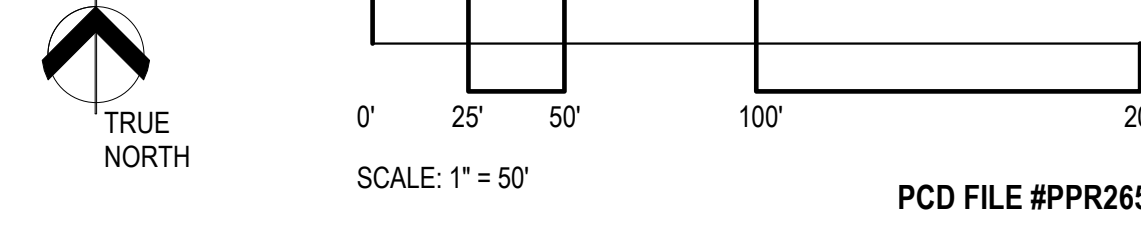
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REVISIONS: # _____

PROJECT #: 2505
ISSUE DATE: 02/11/2026
ISSUED FOR: PLANNING

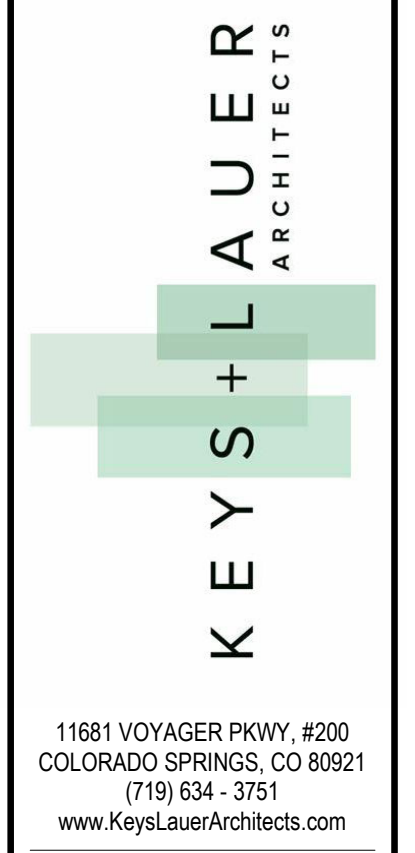
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SHEET TITLE:
SITE DEVELOPMENT & PARKING PLAN

SHEET #:



PCD FILE #PPR265



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Addition and Remodel
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Monument, CO 80132

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#	DESCRIPTION

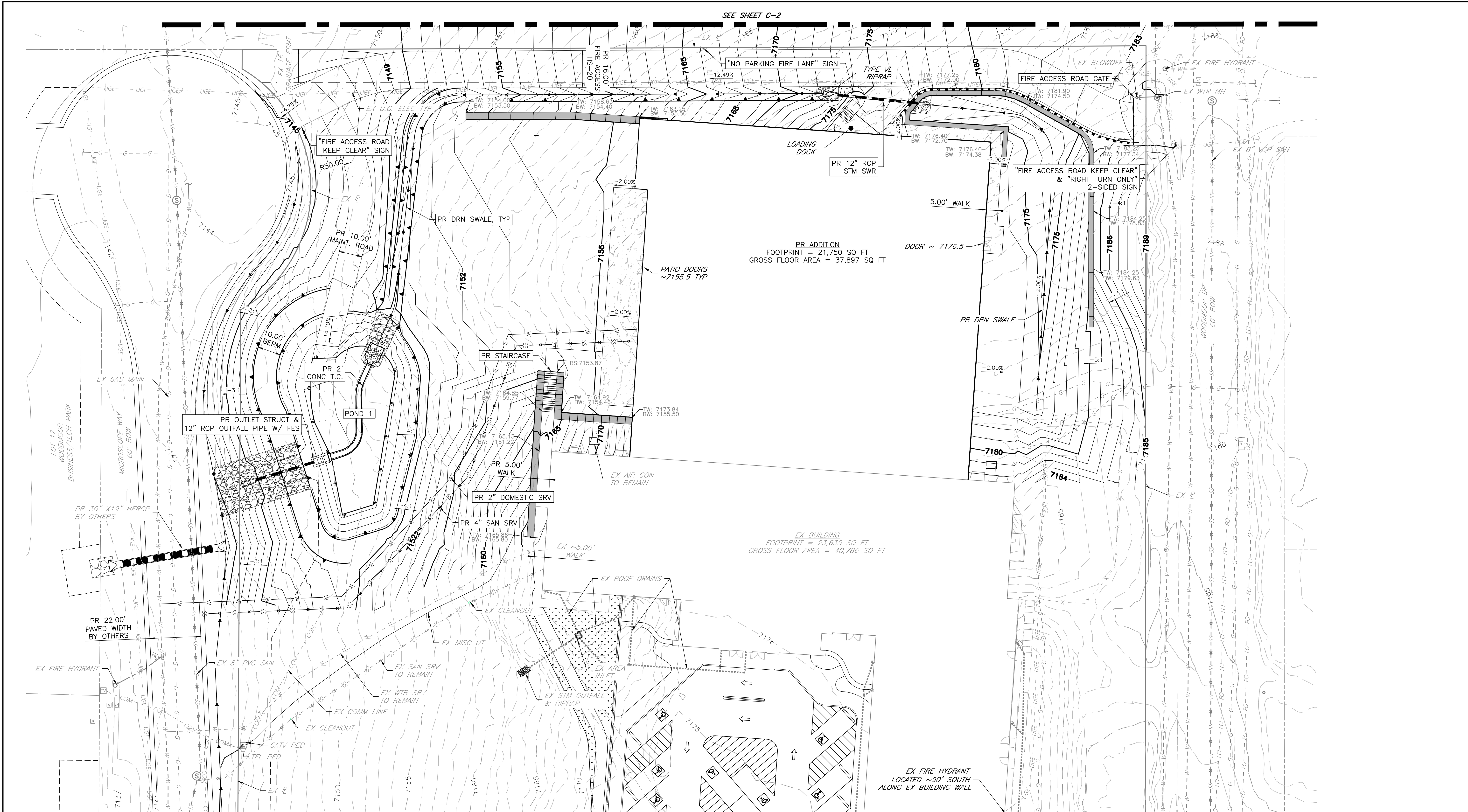
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ISSUE DATE: 02/11/2026
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SITE DEVELOPMENT & PARKING PLAN

SHEET #:

SDP-02

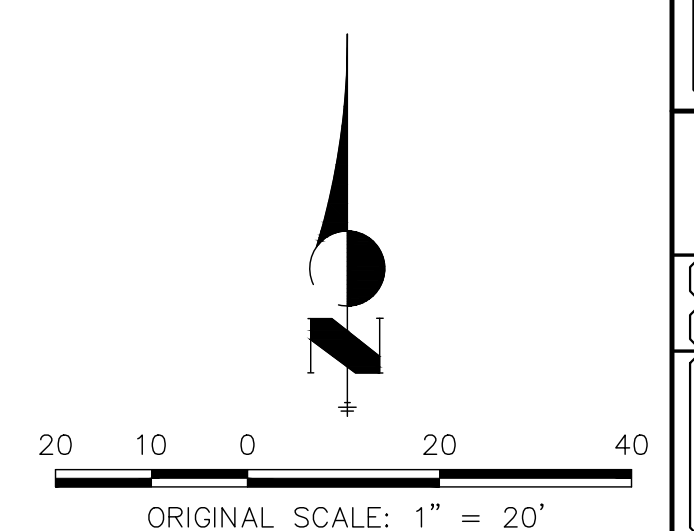



PRELIMINARY GRADING PLAN NOTES:

- EXISTING UTILITIES TO BE RELOCATED FROM PRELIMINARY UTILITY PLAN HAVE BEEN MASKED.

LEGEND

EXISTING		PROPOSED	
RIGHT-OF-WAY	---	---	---
PARCEL LINE	---	---	---
EASEMENT LINE	---	---	---
BOUNDARY LINE	---	---	---
C&G	---	---	---
EDGE OF ASPHALT	---	---	---
CONCRETE	---	---	---
SIDE WALK	---	---	---
FENCE	-x-x-x-x-x-x-x-x-	-x-x-x-x-x-x-x-x-	-x-x-x-x-x-x-x-x-
DEMO	---	---	---
CONTOUR INTERMEDIATE	---	---	---
CONTOUR INDEX	---	---	---
TOP OF SLOPE	▽	▽	▽
TOE OF SLOPE	---	---	---
SANITARY SEWER	---SS---	---SS---	---SS---
SANITARY SEWER SERVICE	---SS---	---SS---	---SS---
POTABLE WATER MAIN	---W---	---W---	---W---
POTABLE WATER SERVICE	---M---	---M---	---M---
STORM PIPE	---	---	---
STORM INLET	□	□	□
AREA INLET - SQUARE	□	□	□
AREA INLET - ROUND	○	○	○
FLARED END SECTION	▷	▷	▷





ALL TERRAIN ENGINEERING

PREPARED FOR:
 ASCENT CHURCH
 1750 DEER CREEK ROAD
 MONUMENT, CO 80132
 ATTN: JASON SCHOTT
 JSCHOTT@THEASCENTCHURCH.COM

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REV	DESCRIPTION	DATE

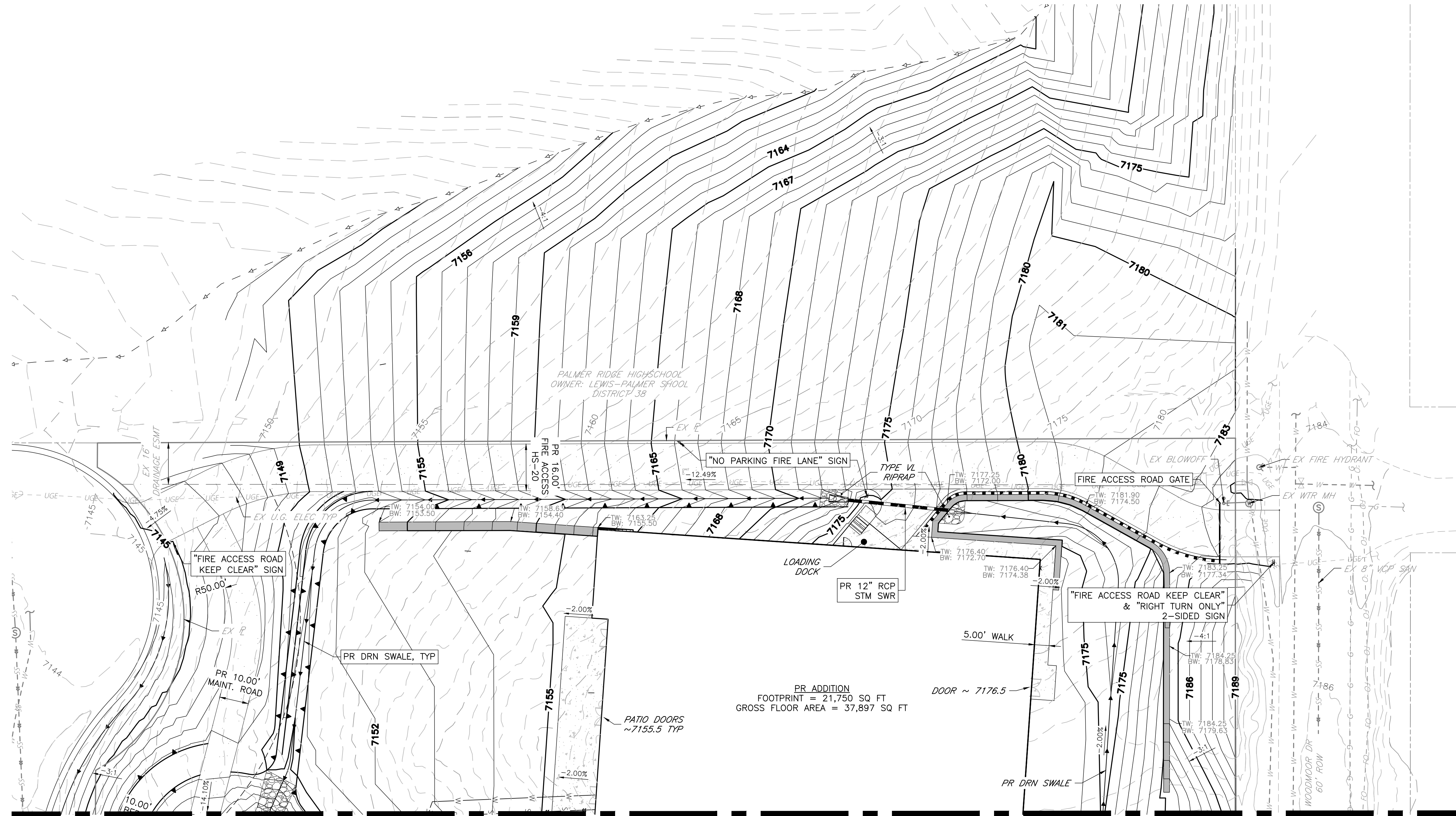
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ASCENT CHURCH DEVELOPMENT PLAN	PRELIMINARY GRADING PLAN
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DESIGN: NQJ
 REVIEW: REB
 DATE: 02/09/2026
 H-SCALE: 1" = 20'
 V-SCALE: NA

SHEET

C-1 OF 12



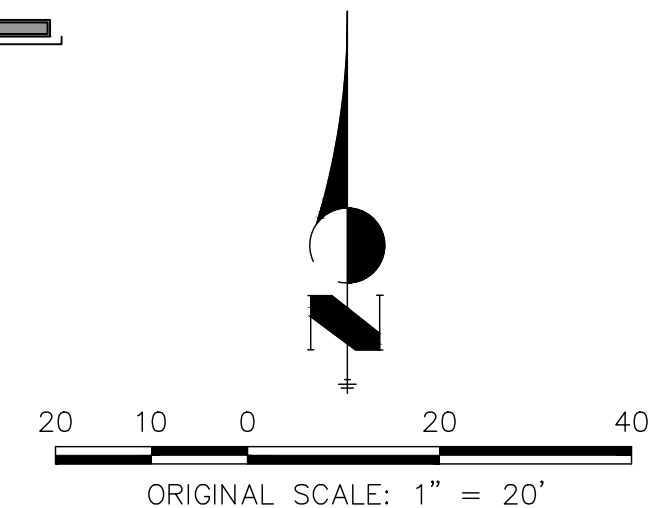
SEE SHEET C-1

PRELIMINARY GRADING PLAN NOTES:

- EXISTING UTILITIES TO BE RELOCATED FROM PRELIMINARY UTILITY PLAN HAVE BEEN MASKED.

LEGEND

EXISTING	PROPOSED		
RIGHT-OF-WAY	-----	SANITARY SEWER	---SS---
PARCEL LINE	-----	SANITARY SEWER SERVICE	---SSS---
EASEMENT LINE	-----	POTABLE WATER MAIN	---W---
BOUNDARY LINE	-----	POTABLE WATER SERVICE	---WW---
C&G	-----	STORM PIPE	---S---
EDGE OF ASPHALT	=====	STORM INLET	□
CONCRETE	=====	AREA INLET - SQUARE	□
SIDE WALK	=====	AREA INLET - ROUND	○
FENCE	-X-X-X-X-X-X-X-	FLARED END SECTION	▷
FENCE DEMO	-X-X-X-X-X-X-X-		
CONTOUR INTERMEDIATE	-----		
CONTOUR INDEX	-----		
TOP OF SLOPE	▽		
TOE OF SLOPE	▽		



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MONUMENT, CO 80132
ATTN: JASON SCHOTT
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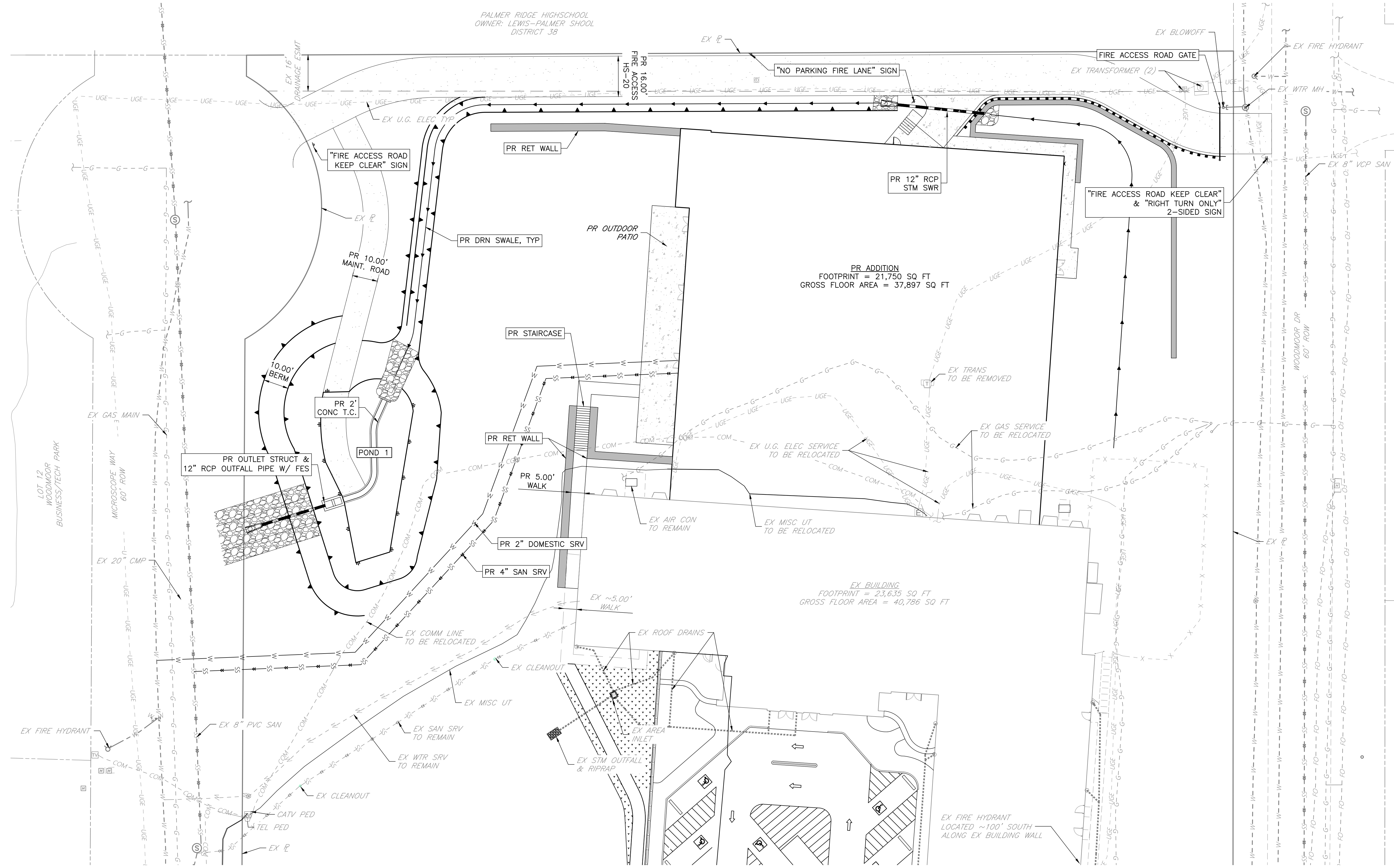
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ASCENT CHURCH DEVELOPMENT PLAN
PRELIMINARY GRADING PLAN (2)

DESIGN: NQJ
REVIEW: REB
DATE: 02/09/2026
H-SCALE: 1" = 20'
V-SCALE: NA
SHEET
C-2 OF 12



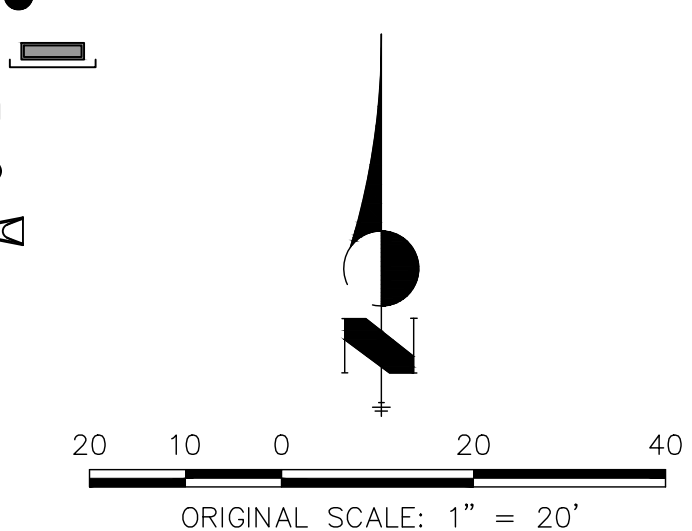
ALL TERRAIN ENGINEERING
1001 E. BARKER, PE
201.577.8888 - 800.426.1234
info@allterraineng.com



- PRELIMINARY UTILITY PLAN NOTES:**
1. AN EXISTING FIRE HYDRANT IS LOCATED AT THE EXISTING BUILDINGS SOUTHEAST CORNER (NOT SHOWN ON THIS SHEET).
 2. WATER & SANITARY SERVICES ARE APPROXIMATE SIZE. FINAL SIZING TO BE DETERMINED BY MEP & WILL BE FINALIZED WITH CONSTRUCTION DOCUMENTS.
 3. EXISTING BUILDING & PROPOSED ADDITION WILL HAVE AUTOMATIC FIRE SUPPRESSION SYSTEM. FINAL MEP CALCULATIONS REQUIRED TO DETERMINE NEED FOR DEDICATED FIRE SERVICE LINE TO PROPOSED ADDITION.

LEGEND

EXISTING	PROPOSED	
RIGHT-OF-WAY	---	SANITARY SEWER
PARCEL LINE	---	SANITARY SEWER SERVICE
EASEMENT LINE	---	POTABLE WATER MAIN
BOUNDARY LINE	---	POTABLE WATER SERVICE
C&G	---	STORM PIPE
EDGE OF ASPHALT	---	STORM INLET
CONCRETE	---	AREA INLET - SQUARE
SIDE WALK	---	AREA INLET - ROUND
FENCE	-X-X-X-X-X-X-	FLARED END SECTION
CONTOUR INTERMEDIATE	
CONTOUR INDEX	
TOP OF SLOPE	^	
TOE OF SLOPE	v	



ALL TERRAIN
ENGINEERING

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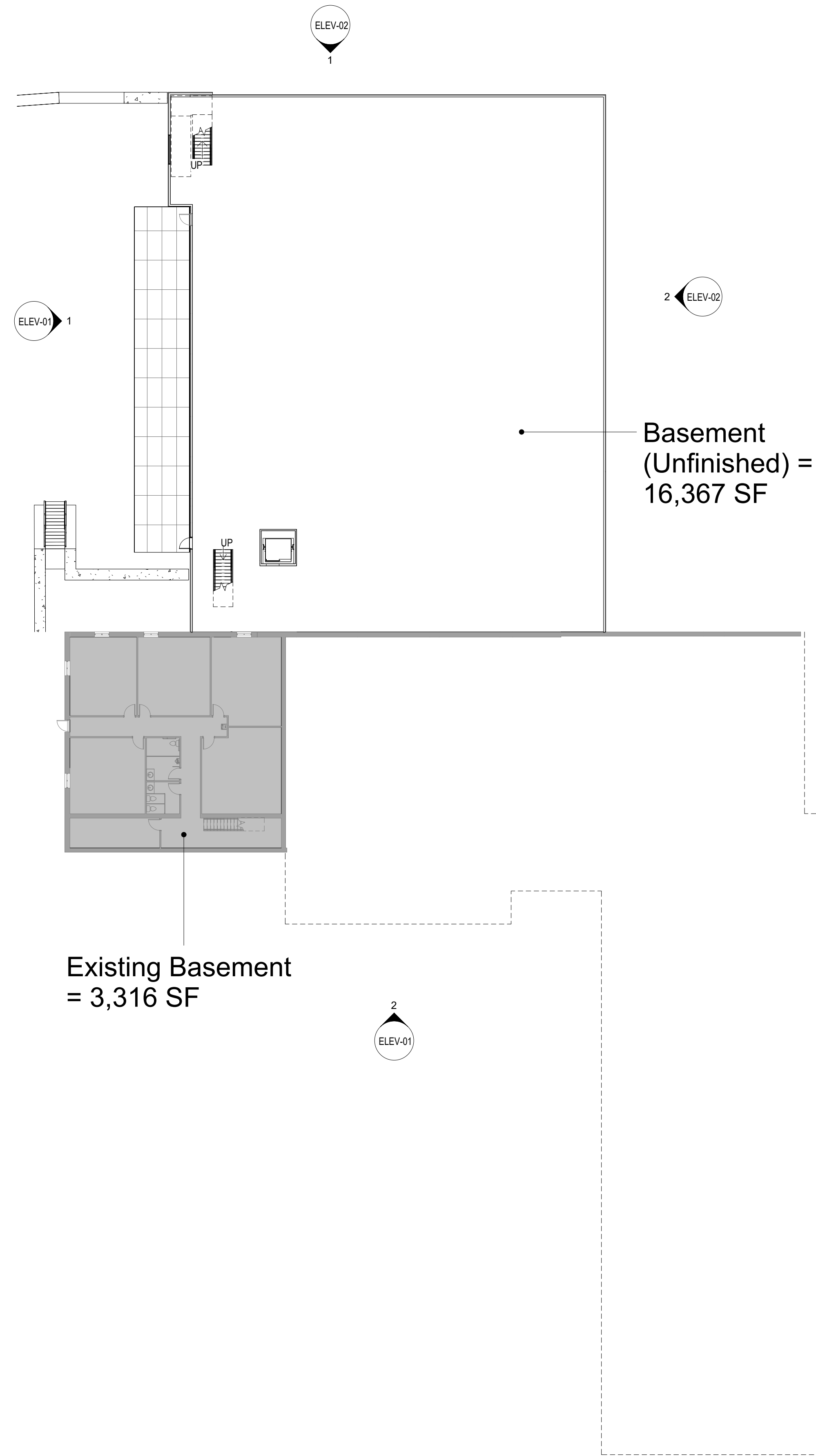
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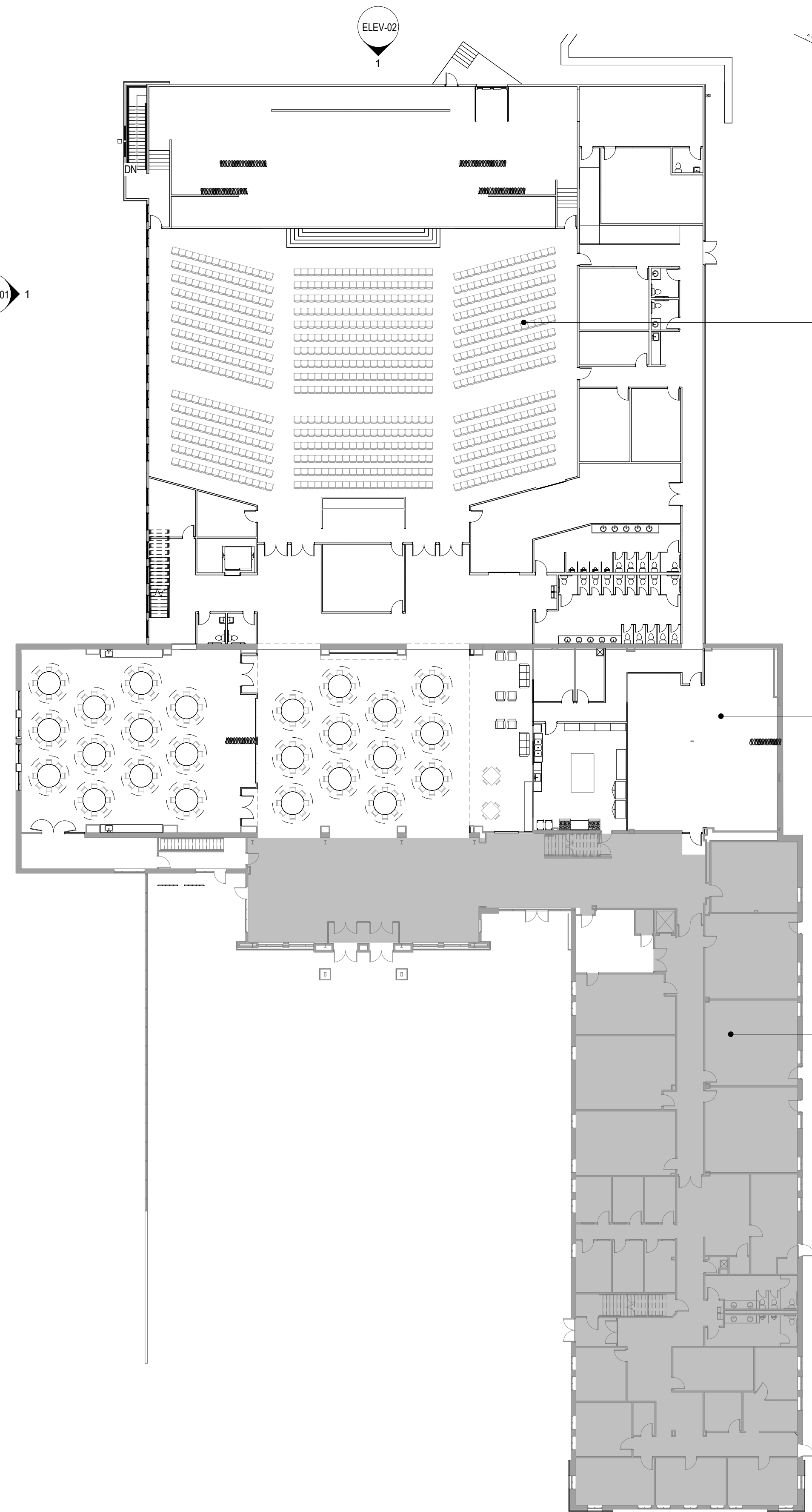
ASCENT CHURCH DEVELOPMENT PLAN
PRELIMINARY UTILITY PLAN

DESIGN: NQJ
REVIEW: REB
DATE: 02/09/2026
H-SCALE: 1" = 20'
V-SCALE: NA
SHEET
C-3 OF 12

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2 OVERALL - FLOOR PLAN - BASEMENT
3/64" = 1'-0"



1 OVERALL - FLOOR PLAN - MAIN LEVEL
3/64" = 1'-0"

SUMMARY - FLOOR PLAN		
EXISTING SF:	BASEMENT	3,301 SF
	MAIN LEVEL	23,635 SF
	SECOND LEVEL	13,850 SF
		TOTAL = 40,786 SF
REMODEL AREA:	MAIN LEVEL	10,467 SF TO BE REMODELED
ADDITION:	BASEMENT	16,367 SF
	MAIN LEVEL	21,530 SF
		TOTAL = 37,897 SF
		TOTAL WITH ADDITION = 78,683 SF
CONSTRUCTION TYPE:	III-B	
OCCUPANCY:	A-3 (PLACES OF RELIGIOUS WORSHIP)	
FIRE SPRINKLER:	YES, FULLY SPRINKLERED	

SCOPE OF WORK

SHADED AREAS ARE NOT IN SCOPE OF WORK

SIGNATURE BLOCK

PROJECT NORTH

SCALE: 3/64" = 1'-0"

PCD FILE #PPR265

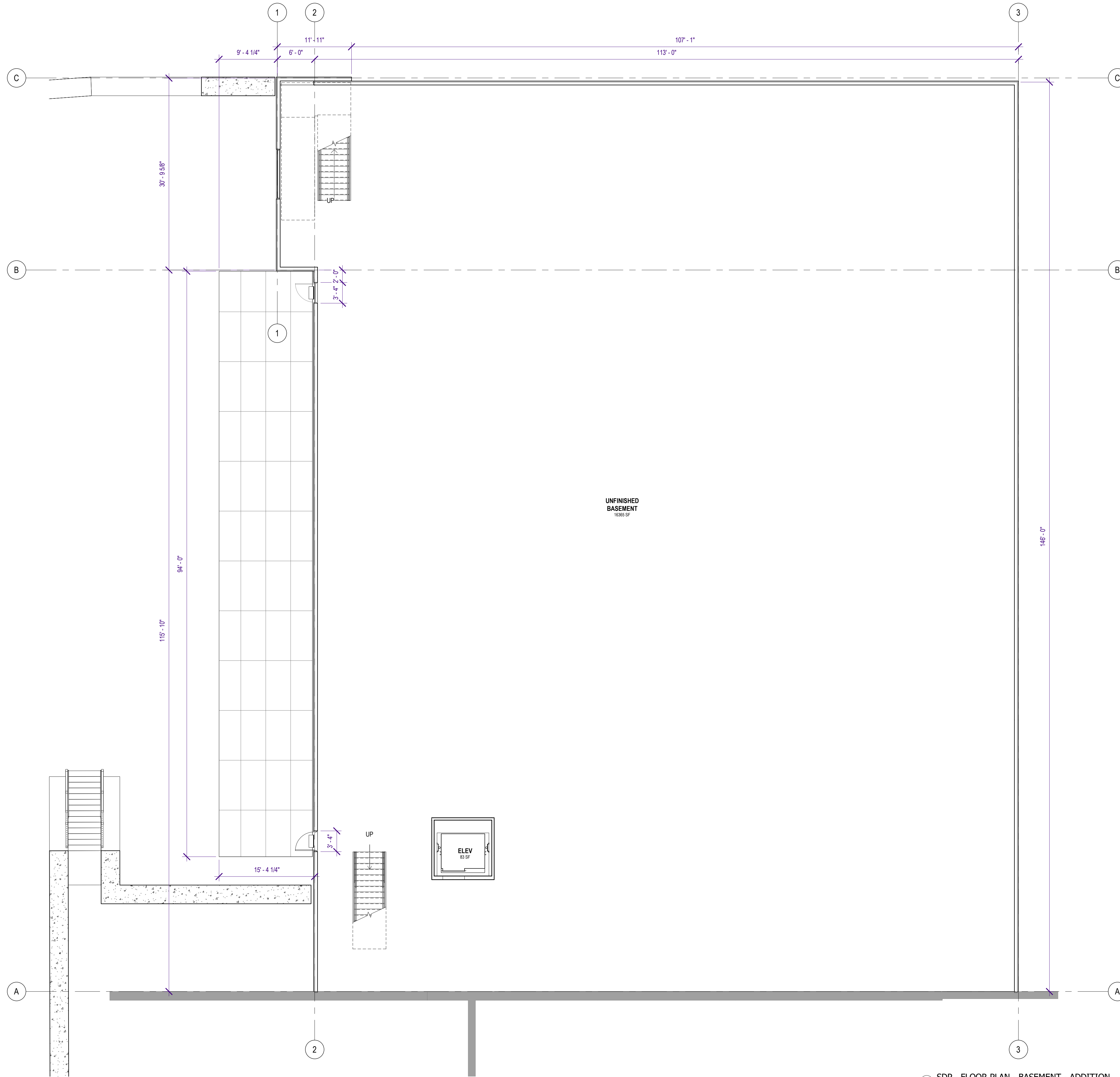
REVISIONS:	DATE
#	DESCRIPTION

PROJECT #: 2505
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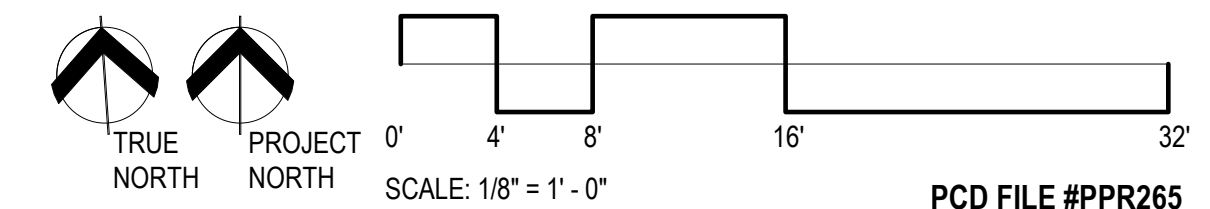
SHEET TITLE:
FLOOR PLAN -
OVERALL PLANS

SHEET #:
FP-01

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① SDP - FLOOR PLAN - BASEMENT - ADDITION
1/8" = 1'-0"



SIGNATURE BLOCK

SUMMARY - FLOOR PLAN

EXISTING SF:	BASEMENT	3,301 SF
	MAIN LEVEL	23,636 SF
	SECOND LEVEL	13,850 SF
		TOTAL = 40,786 SF
REMODEL AREA:	MAIN LEVEL	10,467 SF TO BE REMODELED
	BASEMENT	16,367 SF
ADDITION:	BASEMENT	21,530 SF
	MAIN LEVEL	TOTAL = 37,897 SF
		TOTAL WITH ADDITION = 78,683 SF
CONSTRUCTION TYPE:	III-B	
OCCUPANCY:	A-3 (PLACES OF RELIGIOUS WORSHIP)	
FIRE SPRINKLER:	YES, FULLY SPRINKLERED	

SCOPE OF WORK

SHADED AREAS ARE NOT IN SCOPE OF WORK

**The Ascent Church
Addition and Remodel**
 1750 Deer Creek Rd
 Monument, CO 80132

REVISIONS:

#	DESCRIPTION	DATE

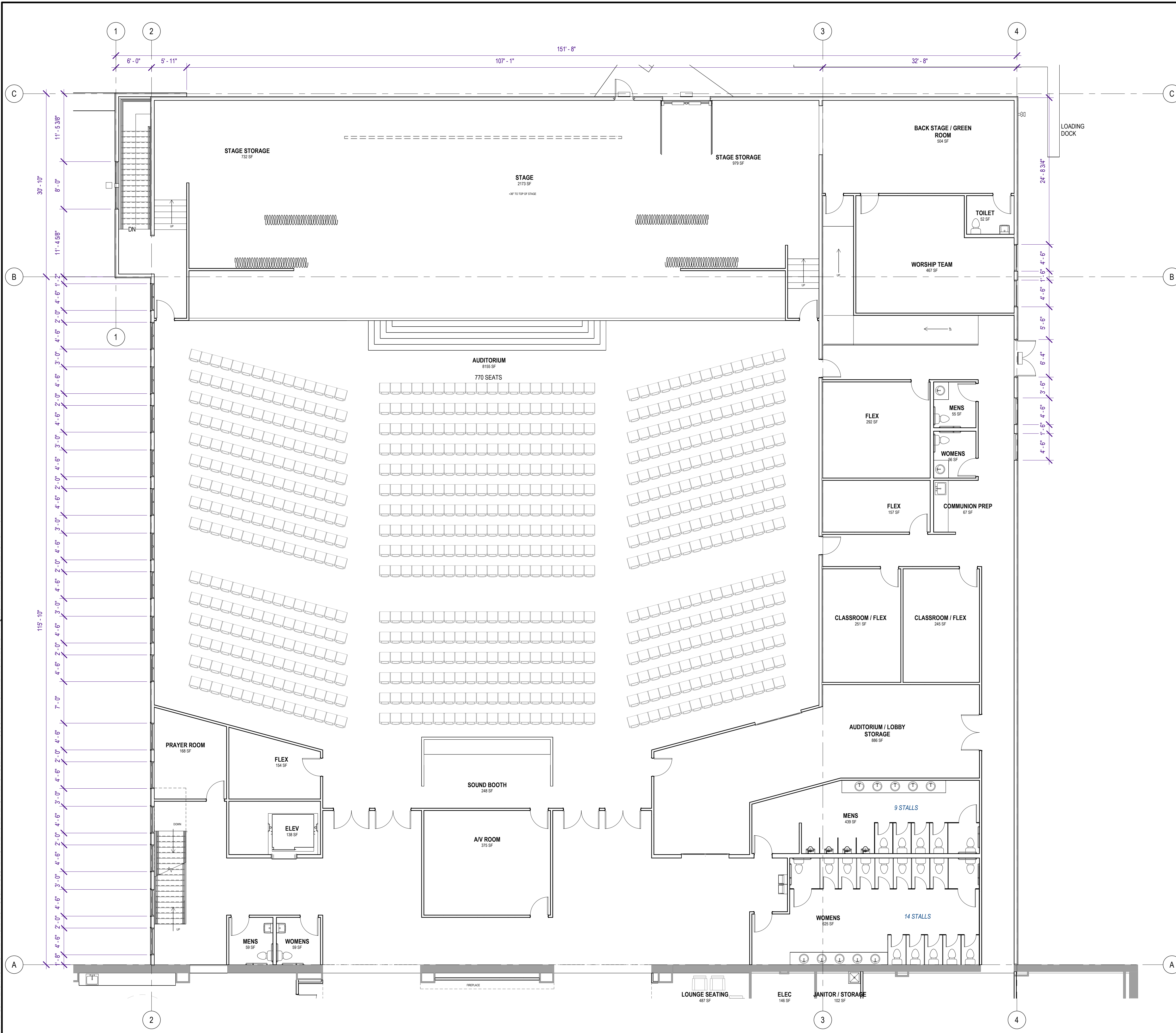
PROJECT #: 2505
 ISSUE DATE: 02/11/2026
 ISSUED FOR: PLANNING
 DRAWN BY: LC
 CHECKED BY: VL
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 SHEET TITLE:
**FLOOR PLAN -
BASEMENT - ADDITION**

SHEET #:
FP-02

KEYS + LAUER
 ARCHITECTS

11681 VOYAGER PKWY, #200
 COLORADO SPRINGS, CO 80921
 (719) 634 - 3751
 www.KeysLauerArchitects.com

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SHEET TITLE:
FLOOR PLAN - MAIN LEVEL - ADDITION
SHEET #:

SIGNATURE BLOCK

DATE: _____

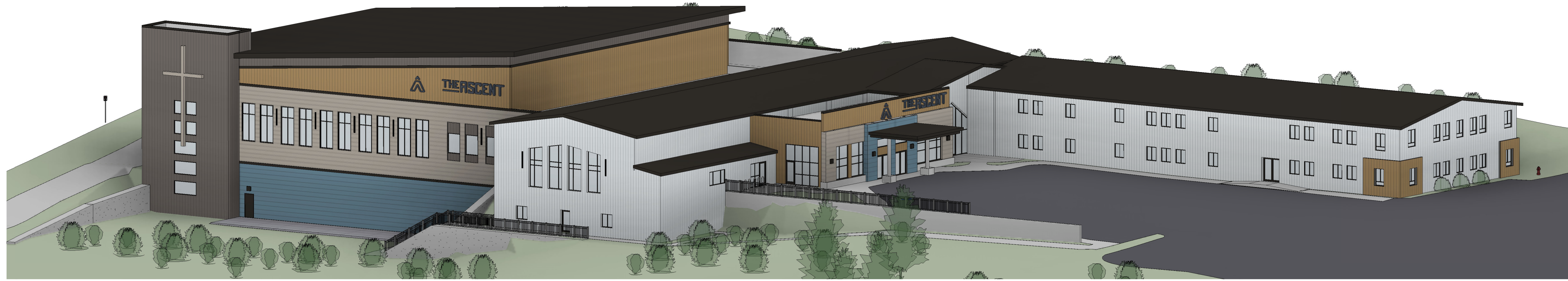
TRUE NORTH PROJECT NORTH

SCALE: 1/8" = 1'-0"

PCD FILE #PPR265

1 SDP - FLOOR PLAN - MAIN LEVEL - ADDITION
1/8" = 1'-0"

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3 3D VIEW - SOUTH WEST CORNER

SUMMARY - EXTERIOR ELEVATION

MAXIMUM BUILDING HEIGHT: 56' HEIGHT
 MINIMUM BUILDING HEIGHT: 12' HEIGHT
 AVERAGE BUILDING HEIGHT:
 SOUTH ELEVATION = 32' AVE HEIGHT FOR 205' OF ELEVATION
 WEST ELEVATION = 36' AVE HEIGHT FOR 374' OF ELEVATION
 NORTH ELEVATION = 30' AVE HEIGHT FOR 205' OF ELEVATION
 EAST ELEVATION = 24' AVE HEIGHT FOR 374' OF ELEVATION
 TALLEST AVERAGE HEIGHT = 36' AVE HEIGHT
 OVERALL AVERAGE BUILDING HEIGHT = 30' AVE HEIGHT FOR 1158' OF ELEVATION
 SIGNAGE IS SHOWN FOR REFERENCE ONLY. SIGNAGE IS NOT REVIEWED OR APPROVED IN SDP AND WILL REQUIRE SEPARATE REVIEW AND APPROVAL.

SCOPE OF WORK

HATCHED ARE NOT IN SCOPE OF WORK. NO CHANGES TO THESE FACADES.

EXTERIOR MATERIAL LEGEND

- MS-1: METAL LAP SIDING** [MATCH EXISTING]
 CMG METAL, 12" PANEL WITH 3" REVEAL, HORIZONTAL
 COLOR: ASH GRAY
 - MS-2: METAL LAP SIDING** [MATCH EXISTING]
 CMG METAL, 15" PANEL WITH 1" REVEAL, HORIZONTAL
 COLOR: SLATE BLUE
 - MS-3: METAL LAP SIDING** [MATCH EXISTING]
 CMG METAL, 12" PANEL NO REVEAL, VERTICAL
 COLOR: WHITE OAK WOOD GRAIN, PROVIDE INTERMEDIATE STRIATION IN PANEL
 - MS-4: METAL LAP SIDING**
 CMG METAL, 12" PANEL WITH 1" REVEAL, HORIZONTAL
 COLOR: SLATE BLUE
 - ROOF-1: STANDING SEAM METAL ROOF** [MATCH EXISTING]
 COLOR: DEEP BLACK
 - TRIM-1: METAL TRIM AND FASCIA** [MATCH EXISTING]
 COLOR: DEEP BLACK
- STOREFRONT COLOR: MATCH EXISTING
 GLASS: CLEAR LOW-E

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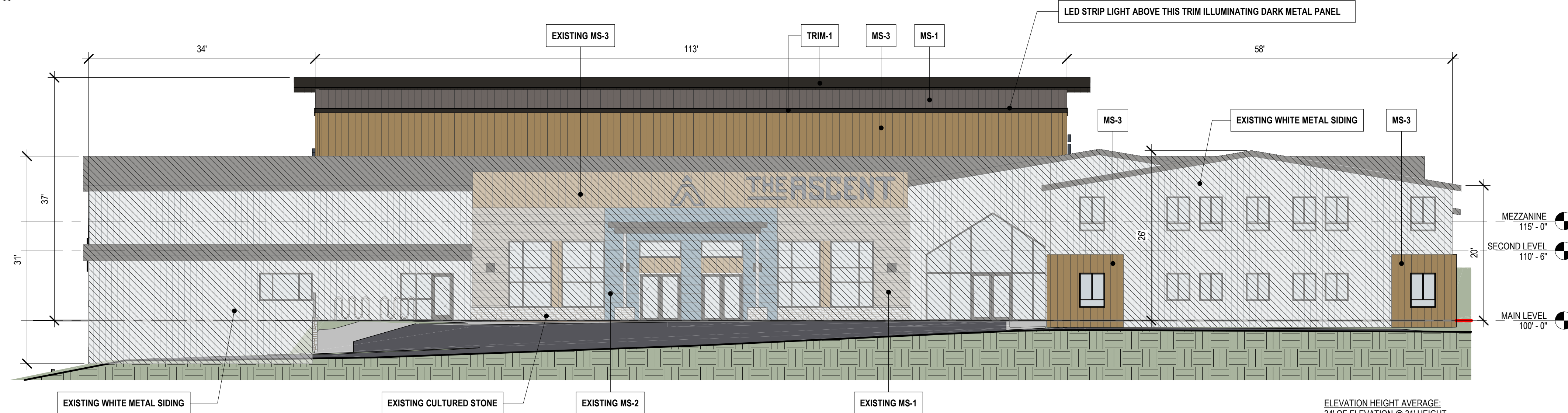
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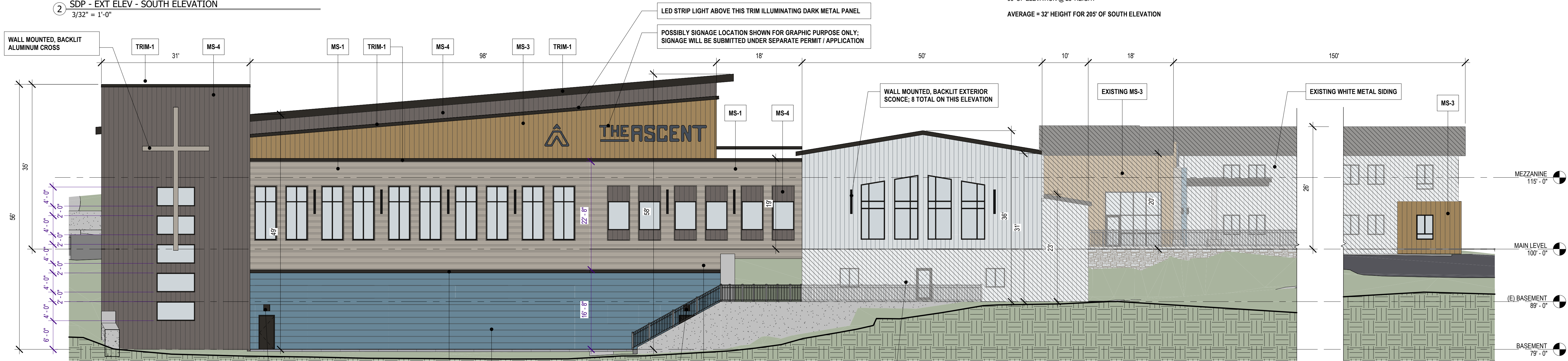
SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET #:
ELEV-01

F:\PROJECTS\Misc\2510 - Ascent Church - Addition & Remodel\ACAD - Dwg\Ascent Church Remodel and Addition.rvt



2 SDP - EXT ELEV - SOUTH ELEVATION
 3/32" = 1'-0"



1 SDP - EXT ELEV - WEST ELEVATION
 3/32" = 1'-0"

SIGNATURE BLOCK

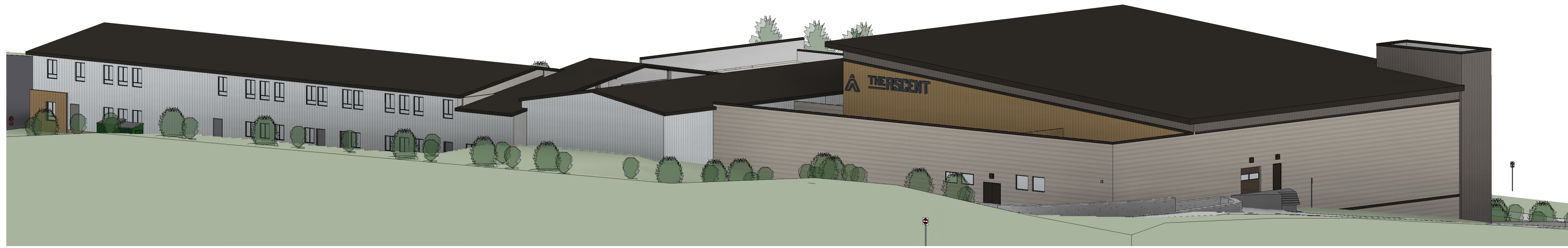
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SCALE: 3/32" = 1'-0"

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3 3D VIEW - NORTH EAST CORNER



SUMMARY - EXTERIOR ELEVATION

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 MINIMUM BUILDING HEIGHT: 12' HEIGHT
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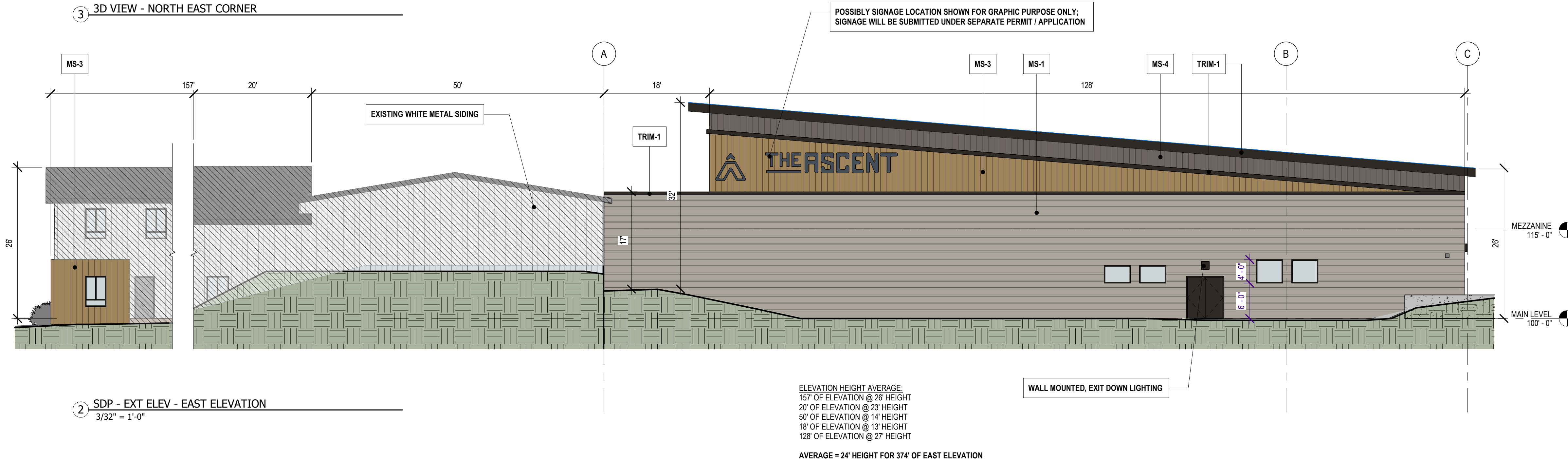
SCOPE OF WORK

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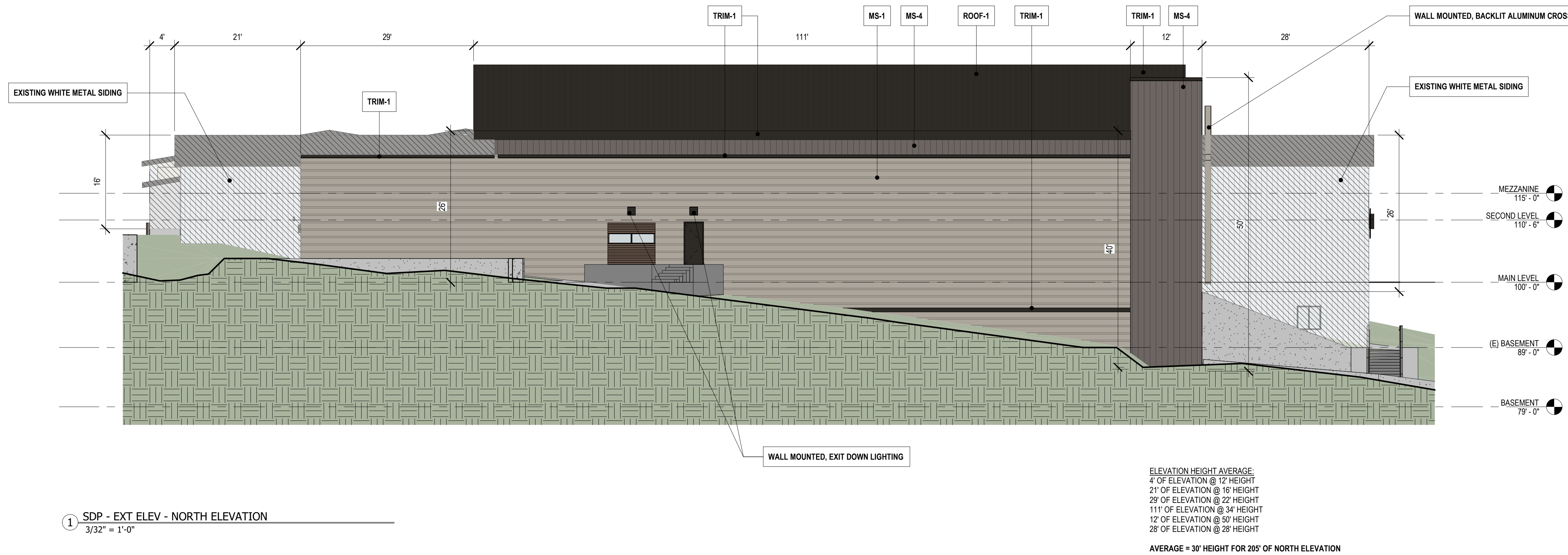
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 GLASS: CLEAR LOW-E

2 SDP - EXT ELEV - EAST ELEVATION
 3/32" = 1'-0"

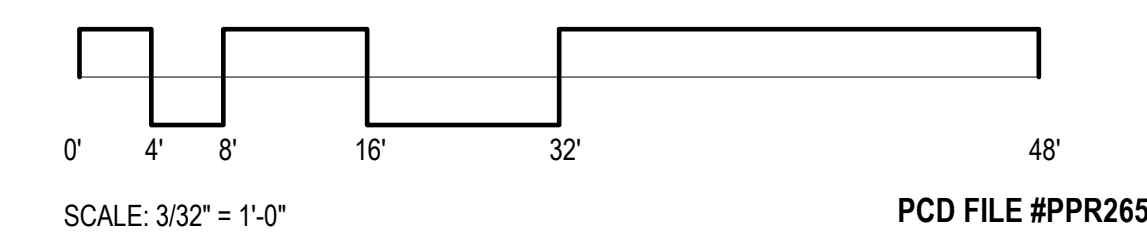


1 SDP - EXT ELEV - NORTH ELEVATION
 3/32" = 1'-0"



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 DATE: _____
 DESCRIPTION: _____



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SHEET TITLE:
 EXTERIOR ELEVATIONS

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 ELEV-02