


V2_Site Development Plan_COMMENTS.pdf Markup Summary

eschoenheit (8)


SITE DEVELOPMENT PLAN
SDP-01 COVER SHEET
SDP-02 SITE DEVELOPMENT & PARKING PL
SDP- CIVIL
C-1 PRELIMINARY GRADING PLAN -
C-2 PRELIMINARY GRADING PLAN - 2
C-3 PRELIMINARY UTILITY PLAN
SDP- LANDSCAPING
L-1 LANDSCAPING PLAN


Subject: Highlight
Page Label: 1
Author: eschoenheit
Date: 5/13/2026 3:44:56 PM
Status:
Color: 
Layer:
Space:

SDP-01 COVER SHEET
SDP-02 SITE DEVELOPMENT & PARKING PL
SDP- CIVIL
C-1 PRELIMINARY GRADING PLAN - 1
C-2 PRELIMINARY GRADING PLAN - 2
C-3 PRELIMINARY UTILITY PLAN
SDP- LANDSCAPING
L-1 LANDSCAPING PLAN

Subject: Highlight
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Author: eschoenheit
Date: 5/13/2026 3:44:58 PM
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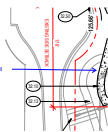
To be included with
GEC plan sheet set
and removed from
SDP set




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Author: eschoenheit
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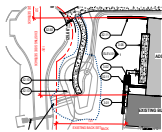
To be included with GEC plan sheet set and removed from SDP set


Please include
drainage easement
around the pond




Subject: Callout
Page Label: 2
Author: eschoenheit
Date: 5/13/2026 3:58:09 PM
Status:
Color: 
Layer:
Space:

Please include drainage easement around the pond




Subject: PolyLine
Page Label: 2
Author: eschoenheit
Date: 5/13/2026 4:01:58 PM
Status:
Color: 
Layer:
Space:




Subject: Callout
Page Label: 2
Author: eschoenheit
Date: 5/14/2026 1:13:20 PM
Status:
Color: 
Layer:
Space:

please indicate height of retaining wall. Details not provided

TED; SEE CIVIL

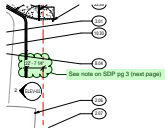
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Author: eschoenheit
Date: 5/14/2026 3:06:17 PM
Status:
Color: 
Layer:
Space:




Subject: Cloud+
Page Label: 4
Author: eschoenheit
Date: 5/14/2026 7:51:41 AM
Status:
Color: 
Layer:
Space:

15ft see comments in GEC Plan


MirandaBenson2 (4)



Subject: Planner
Page Label: 2
Author: MirandaBenson2
Date: 5/15/2026 12:05:38 PM
Status:
Color: 
Layer:
Space:


See note on SDP pg 3 (next page)



Subject: Planner
Page Label: 2
Author: MirandaBenson2
Date: 5/15/2026 1:19:33 PM
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Layer:
Space:

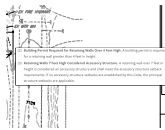
Provide details regarding the agreed upon improvements to be installed by the private contractor. (Ex: Preliminary design alongside agreement with contractor.) Redacting financial info is fine, but Planning needs to verify that parking lot islands, landscaping, and lighting will be brought into compliance.




Subject: Planner
Page Label: 3
Author: MirandaBenson2
Date: 5/15/2026 11:55:05 AM
Status:
Color: 
Layer:
Space:

NOTE: Walls over 4 ft require a building permit.

ACTION: Walls over 7 ft are considered an accessory structure and shall meet setbacks (25 ft).



Subject: Image
Page Label: 3
Author: MirandaBenson2
Date: 5/15/2026 11:54:56 AM
Status:
Color: 
Layer:
Space:

The Ascent Church Site Development Plan

Addition and Remodel

1750 Deer Creek Rd Monument, CO 80132

PROJECT INFORMATION

OWNER: THE ASCENT CHURCH

PROJECT ADDRESS: 1750 DEER CREEK RD
MONUMENT, CO 80132
EL PASO COUNTY

PROJECT DISCIPTION: EXISTING CHURCH ADDITION. THE CHURCH WILL BE INCREASING THEIR WORSHIP SPACE WITH A NEW AUDITORIUM. ADDITION ALSO INCLUDES ADDITIONAL CLASSROOM AND MULTIPURPOSE SPACE. EXISTING AUDITORIUM WILL BE REMODELED INTO MULTIPURPOSE AND MEETING SPACE.

PROJECT SQUARE FOOTAGE:

EXISTING SF:	BASEMENT	3,301 SF
	MAIN LEVEL	23,635 SF
	SECOND LEVEL	13,850 SF
	TOTAL = 40,786 SF	

REMODEL AREA: MAIN LEVEL 10,467 SF TO BE REMODELED

ADDITION:

	BASEMENT	16,367 SF
	MAIN LEVEL	21,530 SF
	TOTAL = 37,897 SF	
	TOTAL WITH ADDITION = 78,683 SF	

SCHEDULE NUMBER & LEGAL: 7111301010
LOT 1 TRI-LAKES SUB

LOT SIZE: 7.28 ACRES (317,117 SF)

ZONING CLASSIFICATION: A-5

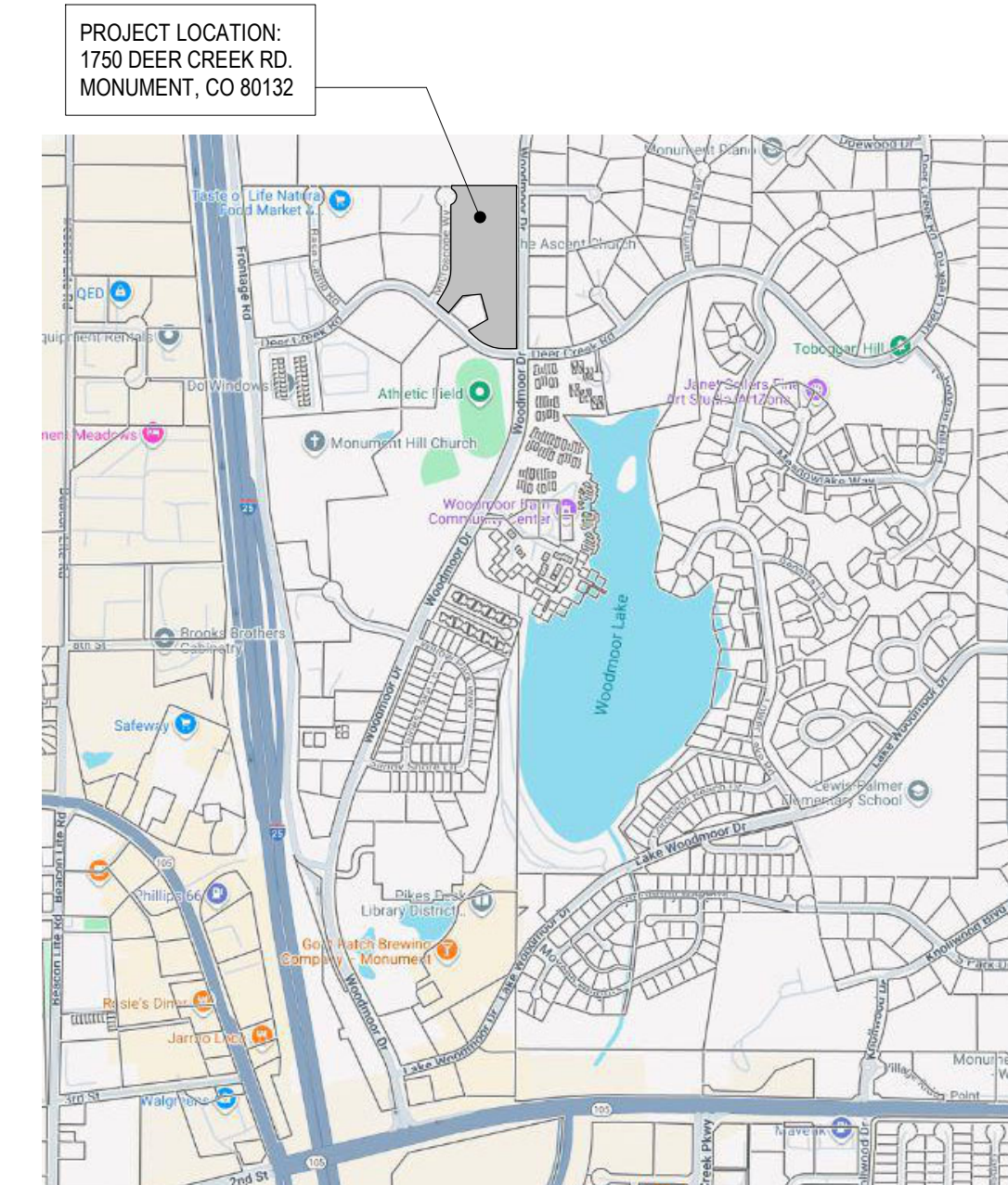
PROPOSED USE: RELIGIOUS INSTITUTION

DRAWING INDEX

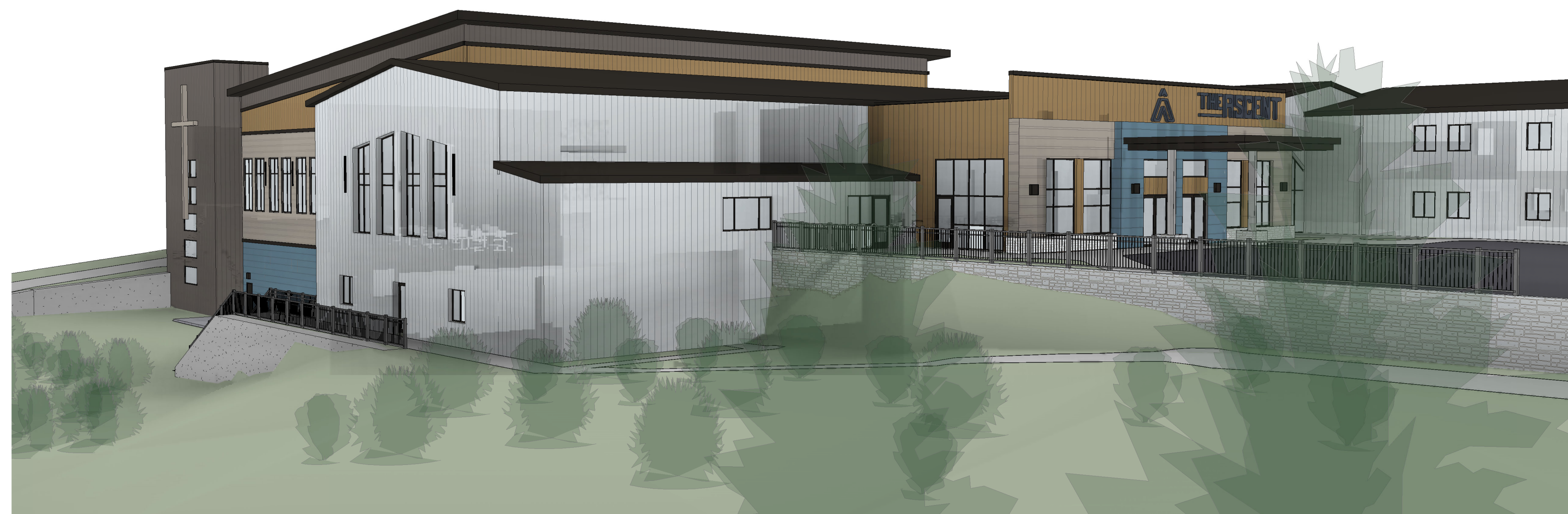
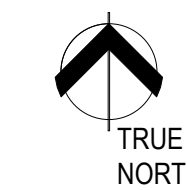
- SITE DEVELOPMENT PLAN
- SDP-01 COVER SHEET
- SDP-02 SITE DEVELOPMENT & PARKING PLAN
- SDP - CIVIL
- C-1 PRELIMINARY GRADING PLAN - 1**
- C-2 PRELIMINARY GRADING PLAN - 2**
- C-3 PRELIMINARY UTILITY PLAN
- SDP - LANDSCAPING
- L-1 LANDSCAPING PLAN
- SDP - FLOOR PLANS
- FP-01 FLOOR PLAN - OVERALL PLANS
- FP-02 FLOOR PLAN - BASEMENT - ADDITION
- FP-03 FLOOR PLAN - MAIN LEVEL - REMODEL
- FP-04 FLOOR PLAN - MAIN LEVEL - ADDITION
- SDP - ELEVATIONS
- ELEV-01 EXTERIOR ELEVATIONS
- ELEV-02 EXTERIOR ELEVATIONS
- SDP - LIGHTING
- EP-100 PHOTOMETRIC SITE PLAN
- EP-101 PHOTOMETRIC CUT SHEETS

To be included with
GEC plan sheet set
and removed from
SDP set

VICINITY MAP



SIGNATURE BLOCK



OWNER

THE ASCENT CHURCH
1750 DEER CREEK ROAD
MONUMENT, CO 80132
PHONE: (719) 481-3600
CONTACT: JASON SCHOTT

ARCHITECT

KEYS + LAUER ARCHITECTS
11681 VOYAGER PARKWAY, SUITE 200
COLORADO SPRINGS, CO 80921
PHONE: (719) 634-3751
CONTACT: VIC LAUER
LISA CARPENTER

CIVIL ENGINEER

ALL TERRAIN ENGINEERING
PHONE: (530) 391-7635
CONTACT: NICHOLAS JOKERST

APPLICANT

VERTEX CONSULTING
455 EAST PIKES PEAK AVE, SUITE 101
COLORADO SPRINGS, CO 80903
PHONE: (719) 733-8605
CONTACT: NINA RUIZ

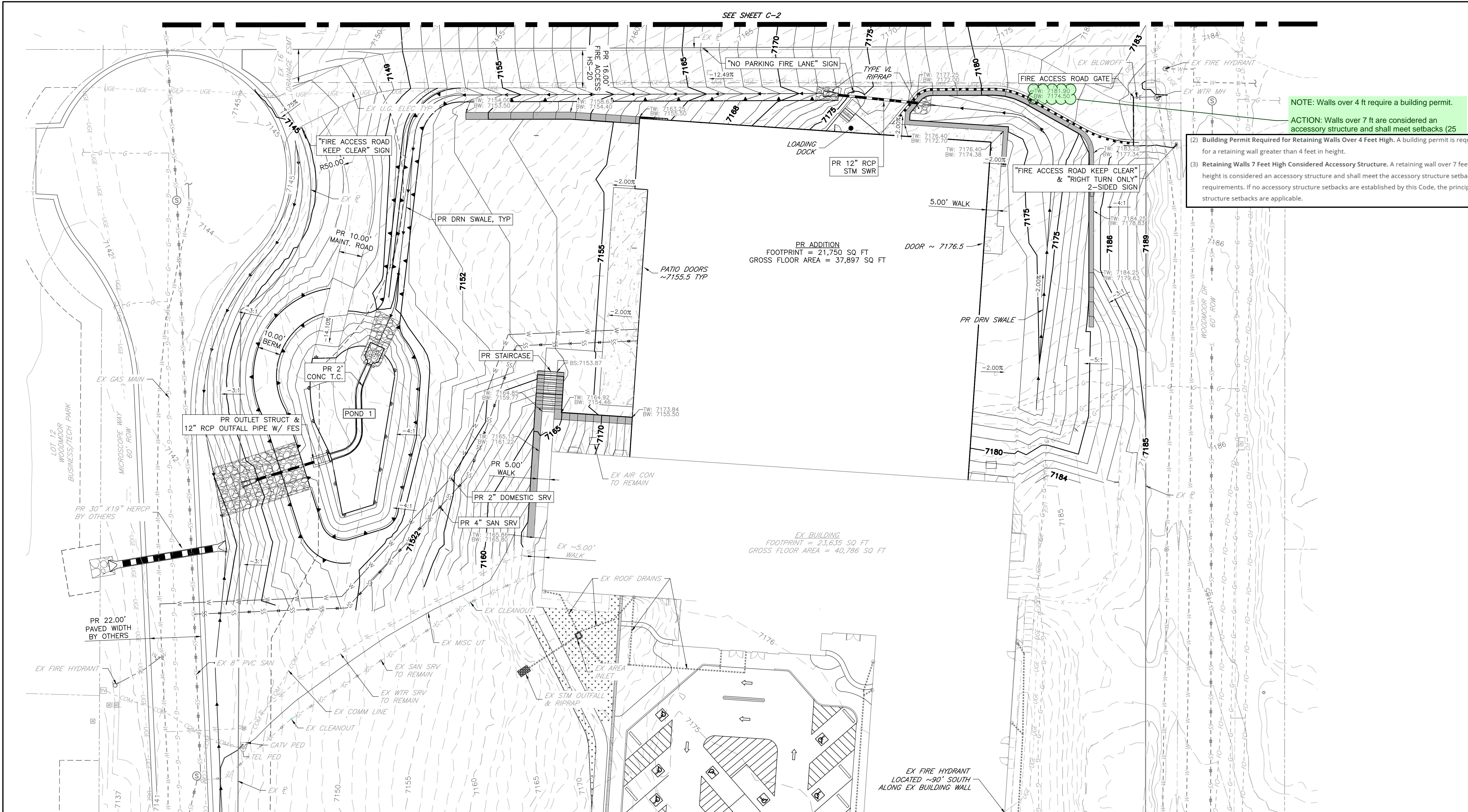
REVISIONS:	DATE	DESCRIPTION
#		

PROJECT #: 2505
DATE: 02/11/2026
ISSUED FOR: PLANNING
DRAWN BY: LC
CHECKED BY: VL
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SHEET TITLE:
COVER SHEET

SHEET #:

SDP-01



NOTE: Walls over 4 ft require a building permit.

ACTION: Walls over 7 ft are considered an accessory structure and shall meet setbacks (25)

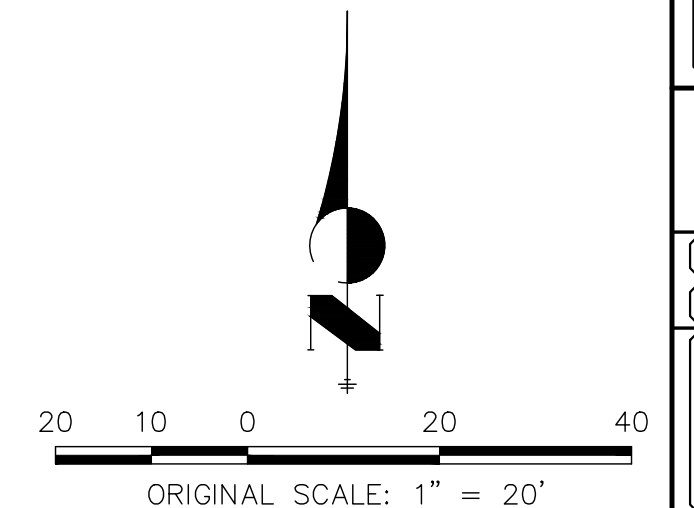
- (2) Building Permit Required for Retaining Walls Over 4 Feet High. A building permit is required for a retaining wall greater than 4 feet in height.
- (3) Retaining Walls 7 Feet High Considered Accessory Structure. A retaining wall over 7 feet in height is considered an accessory structure and shall meet the accessory structure setback requirements. If no accessory structure setbacks are established by this Code, the principal structure setbacks are applicable.

PRELIMINARY GRADING PLAN NOTES:

1. EXISTING UTILITIES TO BE RELOCATED FROM PRELIMINARY UTILITY PLAN HAVE BEEN MASKED.

LEGEND

EXISTING		PROPOSED	
RIGHT-OF-WAY	---	---	---
PARCEL LINE	---	---	---
EASEMENT LINE	---	---	---
BOUNDARY LINE	---	---	---
C&G	---	---	---
EDGE OF ASPHALT	---	---	---
CONCRETE	---	---	---
SIDE WALK	---	---	---
FENCE	-x-x-x-x-x-x-x-x-	-x-x-x-x-x-x-x-x-	-x-x-x-x-x-x-x-x-
DEMO	---	---	---
CONTOUR INTERMEDIATE	---	---	---
CONTOUR INDEX	---	---	---
TOP OF SLOPE	▽	▽	▽
TOE OF SLOPE	---	---	---
SANITARY SEWER	---SS---	---SS---	---SS---
SANITARY SEWER SERVICE	---SS---	---SS---	---SS---
POTABLE WATER MAIN	---W---	---W---	---W---
POTABLE WATER SERVICE	---M---	---M---	---M---
STORM PIPE	---	---	---
STORM INLET	□	□	□
AREA INLET - SQUARE	□	□	□
AREA INLET - ROUND	○	○	○
FLARED END SECTION	▷	▷	▷



ALL TERRAIN ENGINEERING

PREPARED FOR:
ASCENT CHURCH
1750 DEER CREEK ROAD
MONUMENT, CO 80132
ATTN: JASON SCHOTT
SCHOTT@THEASCENTCHURCH.COM

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, ALL TERRAIN ENGINEERING APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

REV	DESCRIPTION	DATE

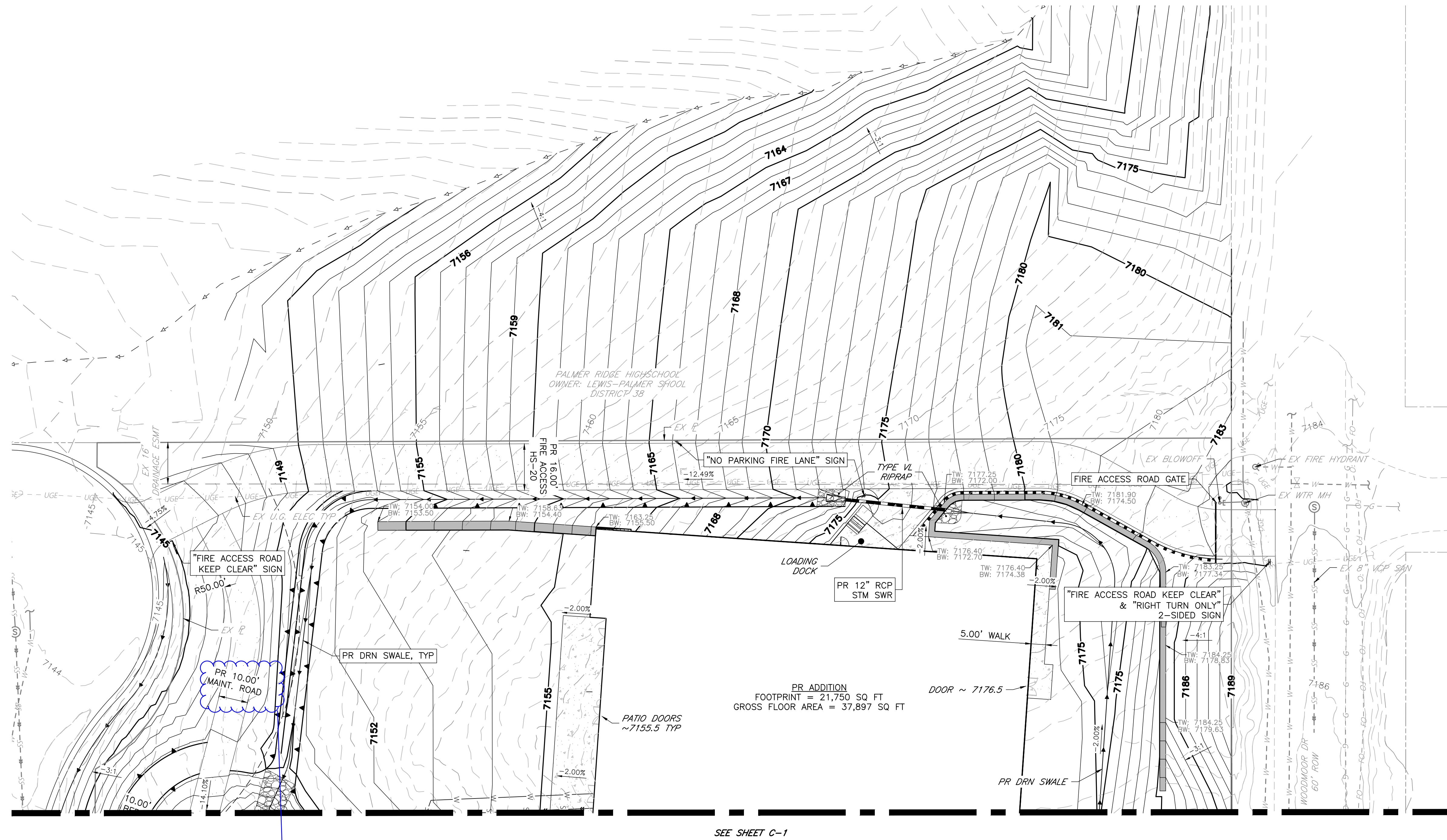
JOB NO: 25023 LOCATION: EPC

ASCENT CHURCH DEVELOPMENT PLAN	PRELIMINARY GRADING PLAN
--------------------------------	--------------------------

DESIGN: NQJ
REVIEW: REB
DATE: 02/09/2026
H-SCALE: 1" = 20'
V-SCALE: NA

SHEET

C-1 OF 12



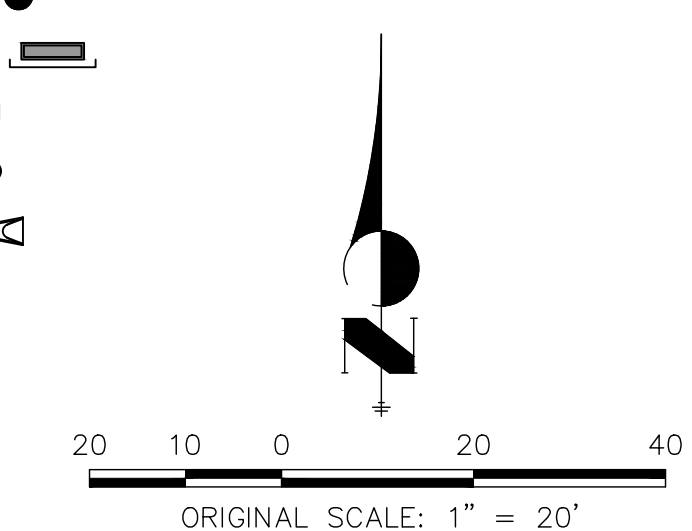
SEE SHEET C-1

PRELIMINARY GRADING PLAN NOTES:

- EXISTING UTILITIES TO BE RELOCATED FROM PRELIMINARY UTILITY PLAN HAVE BEEN MASKED.

LEGEND

EXISTING	PROPOSED		
RIGHT-OF-WAY	---	SANITARY SEWER	---SS---
PARCEL LINE	---	SANITARY SEWER SERVICE	---SSS---
EASEMENT LINE	---	POTABLE WATER MAIN	---W---
BOUNDARY LINE	---	POTABLE WATER SERVICE	---WS---
C&G	---	STORM PIPE	---S---
EDGE OF ASPHALT	---	STORM INLET	□
CONCRETE	---	AREA INLET - SQUARE	□
SIDE WALK	---	AREA INLET - ROUND	○
FENCE	-X-X-X-X-X-X-X-	FLARED END SECTION	▷
DEMO	---		
CONTOUR INTERMEDIATE	---		
CONTOUR INDEX	---		
TOP OF SLOPE	▽		
TOE OF SLOPE	▲		



PREPARED FOR:
ASCENT CHURCH
1750 DEER CREEK ROAD
MONUMENT, CO 80132
ATTN: JASON SCHOTT
SCHOTT@THEASCENTCHURCH.COM

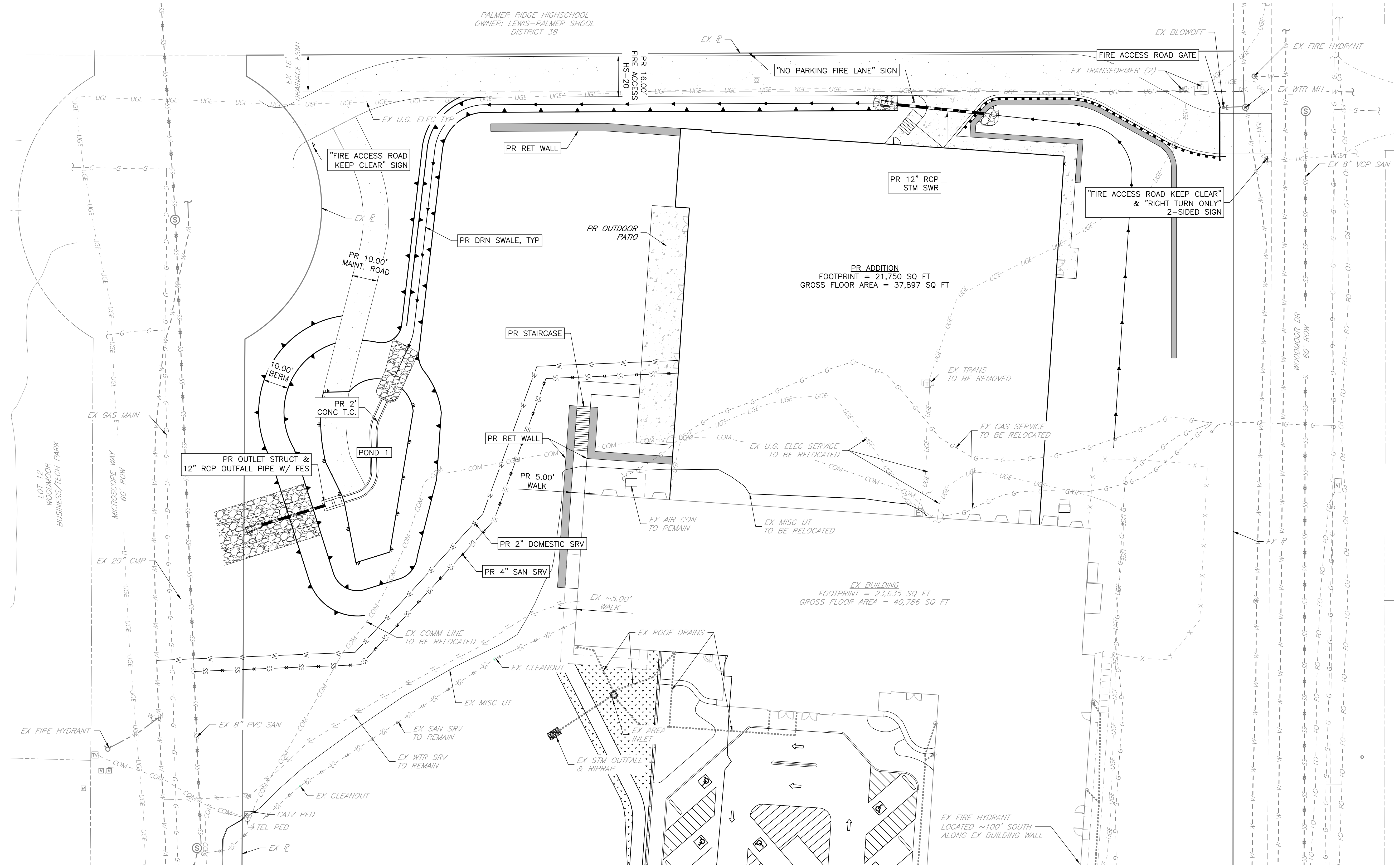
UNTIL SUCH TIME AS THESE
DRAWINGS ARE APPROVED BY THE
APPROPRIATE REVIEWING
AGENCIES, ALL TERRAIN
ENGINEERING APPROVES THEIR
USE ONLY FOR THE PURPOSES
DESIGNATED BY WRITTEN
AUTHORIZATION.

REV	DESCRIPTION	DATE

ASCENT CHURCH DEVELOPMENT PLAN
PRELIMINARY GRADING PLAN (2)

DESIGN: NQJ
REVIEW: REB
DATE: 02/09/2026
H-SCALE: 1" = 20'
V-SCALE: NA
SHEET
C-2 OF 12

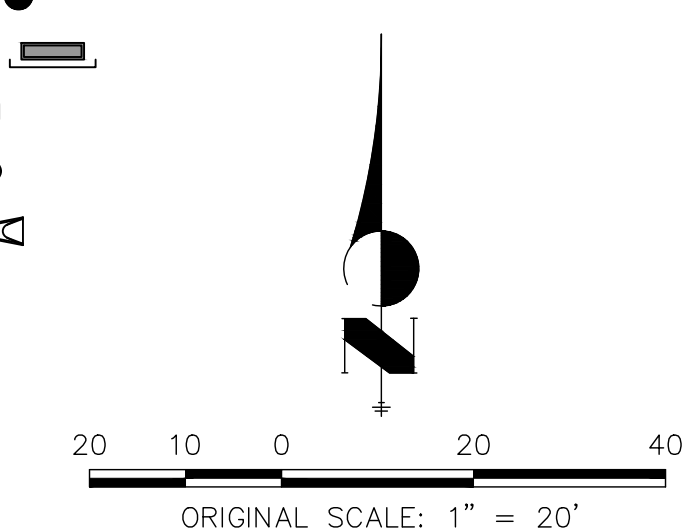




- PRELIMINARY UTILITY PLAN NOTES:**
1. AN EXISTING FIRE HYDRANT IS LOCATED AT THE EXISTING BUILDINGS SOUTHEAST CORNER (NOT SHOWN ON THIS SHEET).
 2. WATER & SANITARY SERVICES ARE APPROXIMATE SIZE. FINAL SIZING TO BE DETERMINED BY MEP & WILL BE FINALIZED WITH CONSTRUCTION DOCUMENTS.
 3. EXISTING BUILDING & PROPOSED ADDITION WILL HAVE AUTOMATIC FIRE SUPPRESSION SYSTEM. FINAL MEP CALCULATIONS REQUIRED TO DETERMINE NEED FOR DEDICATED FIRE SERVICE LINE TO PROPOSED ADDITION.

LEGEND

EXISTING	PROPOSED	
RIGHT-OF-WAY	---	SANITARY SEWER
PARCEL LINE	---	SANITARY SEWER SERVICE
EASEMENT LINE	---	POTABLE WATER MAIN
BOUNDARY LINE	---	POTABLE WATER SERVICE
C&G	---	STORM PIPE
EDGE OF ASPHALT	---	STORM INLET
CONCRETE	---	AREA INLET - SQUARE
SIDE WALK	---	AREA INLET - ROUND
FENCE	-X-X-X-X-X-X-	FLARED END SECTION
CONTOUR INTERMEDIATE	
CONTOUR INDEX	
TOP OF SLOPE	^	
TOE OF SLOPE	v	



ALL TERRAIN
ENGINEERING

PREPARED FOR:
ASCENT CHURCH
1750 DEER CREEK ROAD
MONUMENT, CO 80132
ATTN: JASON SCHOTT
SCHOTT@THEASCENTCHURCH.COM

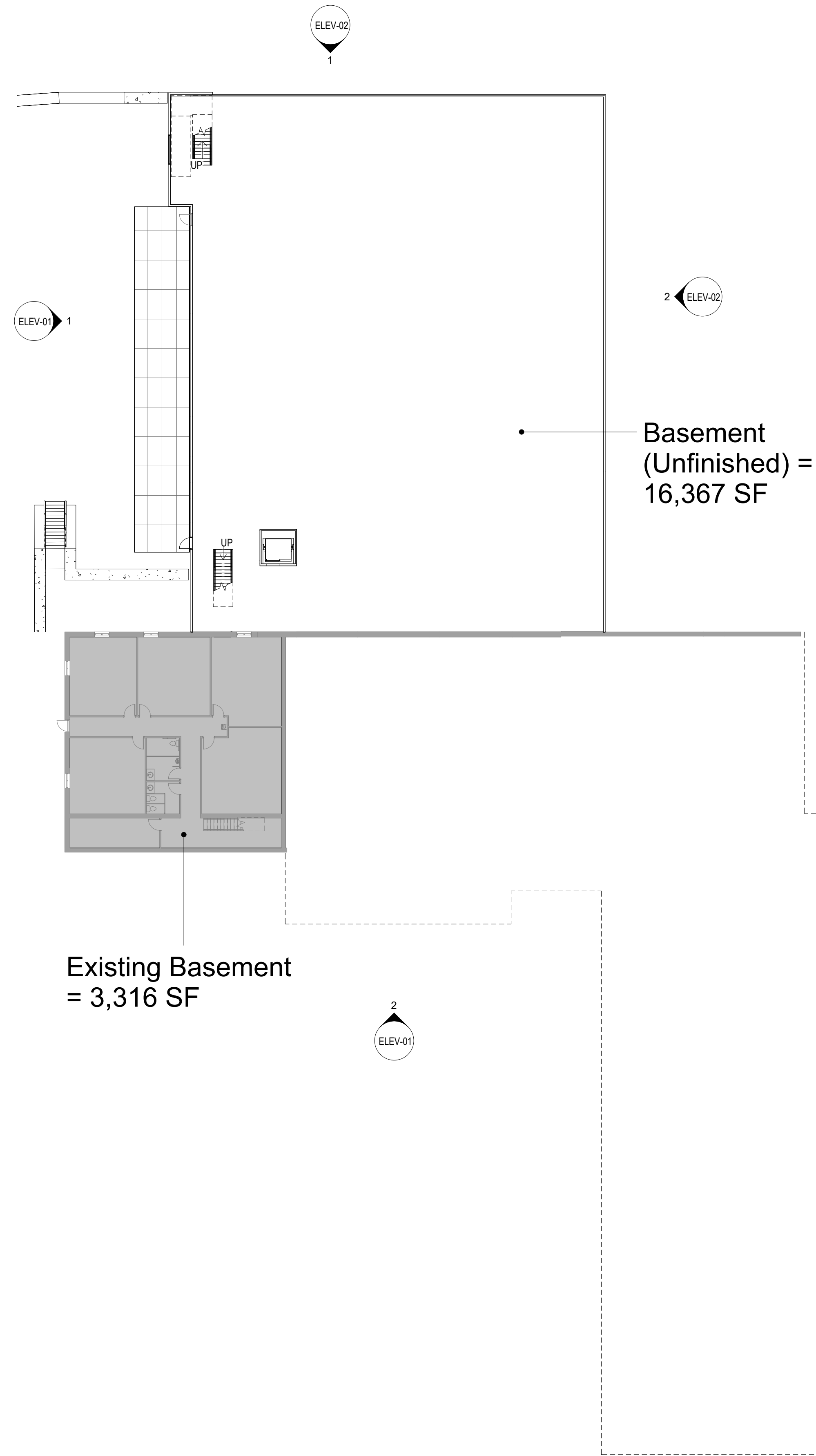
UNTIL SUCH TIME AS THESE
DRAWINGS ARE APPROVED BY THE
APPROPRIATE REVIEWING
AGENCIES, ALL TERRAIN
ENGINEERING APPROVES THEIR
USE ONLY FOR THE PURPOSES
DESIGNATED BY WRITTEN
AUTHORIZATION.

DATE	DESCRIPTION

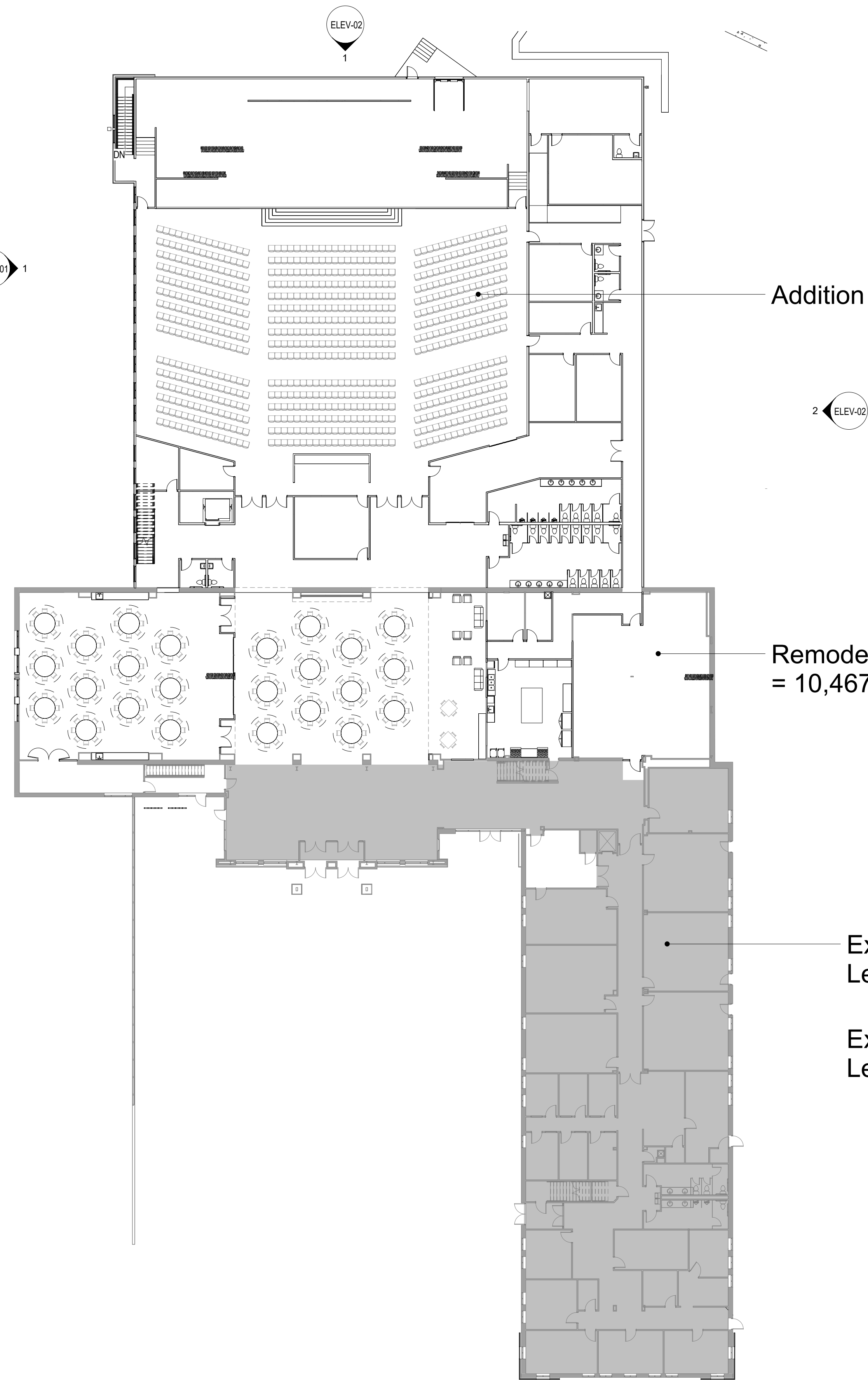
ASCENT CHURCH DEVELOPMENT PLAN
PRELIMINARY UTILITY PLAN

DESIGN: NQJ
REVIEW: REB
DATE: 02/09/2026
H-SCALE: 1" = 20'
V-SCALE: NA
SHEET
C-3 OF 12

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2 OVERALL - FLOOR PLAN - BASEMENT
3/64" = 1'-0"



1 OVERALL - FLOOR PLAN - MAIN LEVEL
3/64" = 1'-0"

SUMMARY - FLOOR PLAN

EXISTING SF:	BASEMENT	3,301 SF
	MAIN LEVEL	23,635 SF
	SECOND LEVEL	13,850 SF
	TOTAL = 40,786 SF	
REMODEL AREA:	MAIN LEVEL	10,467 SF TO BE REMODELED
ADDITION:	BASEMENT	16,367 SF
	MAIN LEVEL	21,530 SF
	TOTAL = 37,897 SF	
	TOTAL WITH ADDITION = 78,683 SF	
CONSTRUCTION TYPE:	III-B	
OCCUPANCY:	A-3 (PLACES OF RELIGIOUS WORSHIP)	
FIRE SPRINKLER:	YES, FULLY SPRINKLERED	

SCOPE OF WORK

SHADED AREAS ARE NOT IN SCOPE OF WORK

Addition = 21,530 SF

Remodel Area = 10,467 SF

Existing Main Level = 23,635 SF

Existing Second Level = 13,850 SF

SIGNATURE BLOCK

PROJECT NORTH

SCALE: 3/64" = 1'-0"

PCD FILE #PPR265

REVISIONS:

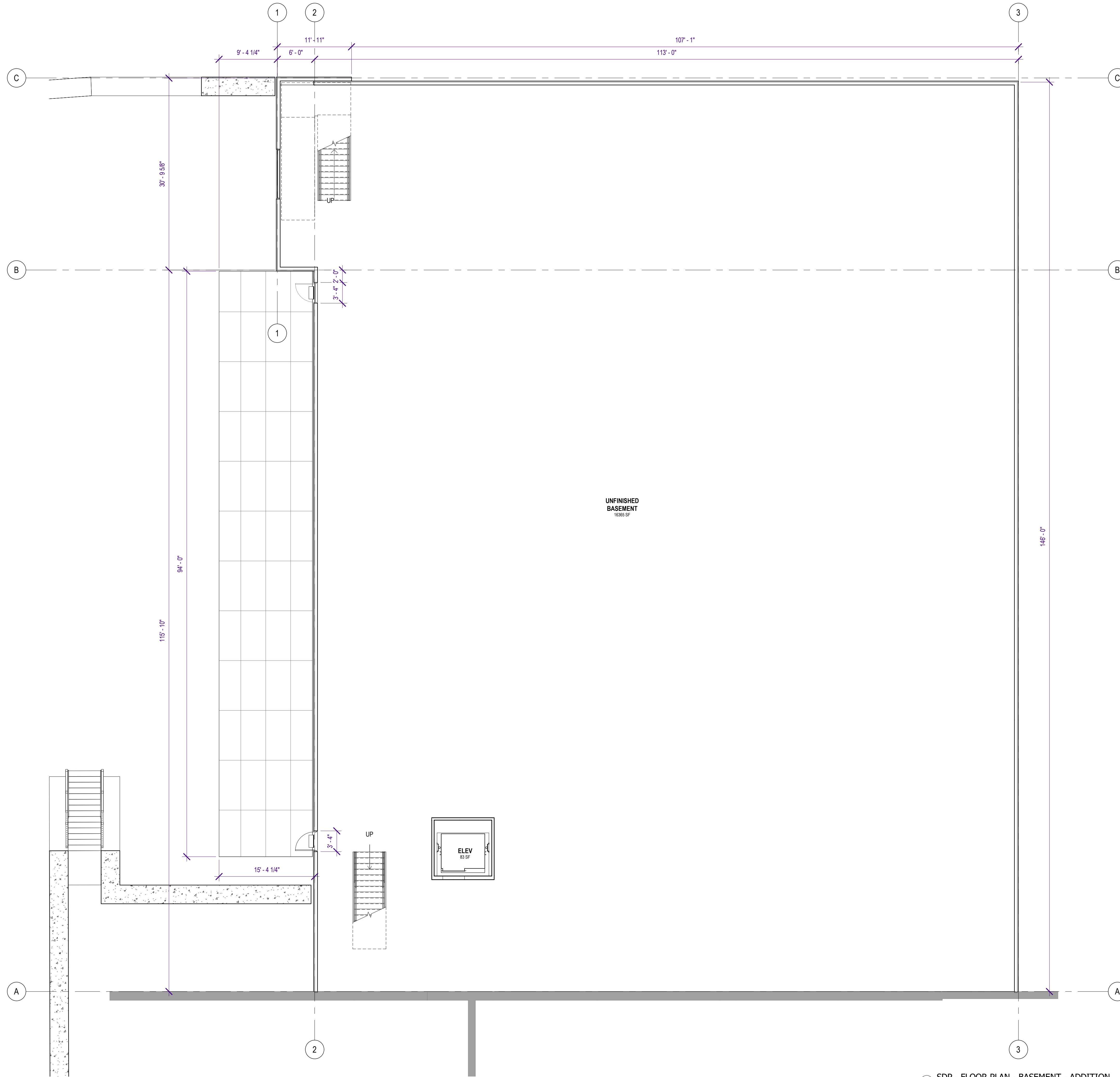
#	DESCRIPTION	DATE

PROJECT #: 2505
ISSUE DATE: 02/11/2026
ISSUED FOR: PLANNING
DRAWN BY: LC
CHECKED BY: VL
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SHEET TITLE:
FLOOR PLAN - OVERALL PLANS

SHEET #:
FP-01

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OCCUPANCY:	A-3 (PLACES OF RELIGIOUS WORSHIP)	
FIRE SPRINKLER:	YES, FULLY SPRINKLERED	

SCOPE OF WORK

SHADED AREAS ARE NOT IN SCOPE OF WORK

KEYS + LAUER
ARCHITECTS

11681 VOYAGER PKWY, #200
COLORADO SPRINGS, CO 80921
(719) 634 - 3751
www.KeysLauerArchitects.com

**The Ascent Church
Addition and Remodel**
1750 Deer Creek Rd
Monument, CO 80132

REVISIONS:

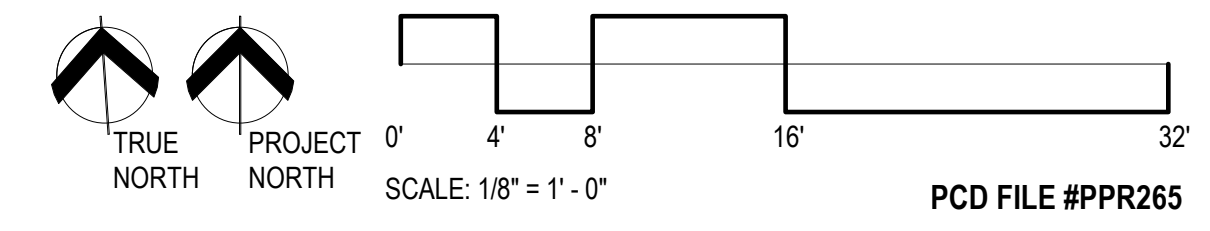
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PROJECT #: 2505
ISSUE DATE: 02/11/2026
ISSUED FOR: PLANNING
DRAWN BY: LC
CHECKED BY: VL
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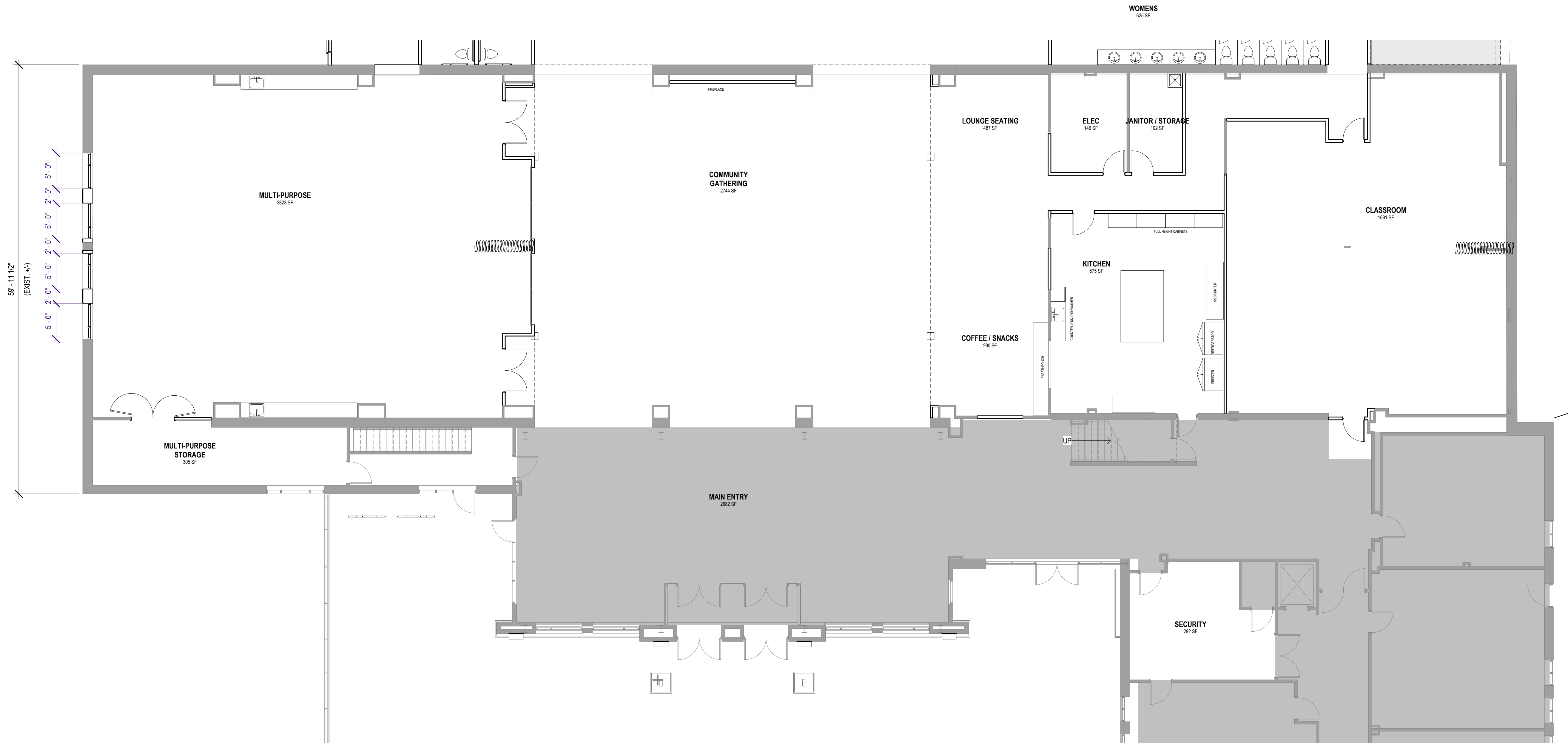
SHEET TITLE:
**FLOOR PLAN -
BASEMENT - ADDITION**

SHEET #:
FP-02

① SDP - FLOOR PLAN - BASEMENT - ADDITION
1/8" = 1'-0"



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SUMMARY - FLOOR PLAN

EXISTING SF:	BASEMENT	3,301 SF
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OCCUPANCY:	A-3 (PLACES OF RELIGIOUS WORSHIP)	
FIRE SPRINKLER:	YES, FULLY SPRINKLERED	

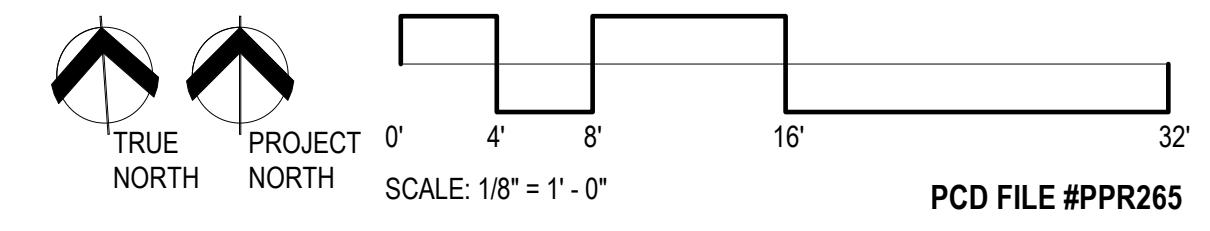
SCOPE OF WORK

SHADED AREAS ARE NOT IN SCOPE OF WORK

58'-11 1/2"
(EXIST. +/-)

5'-0" 2'-0" 5'-0" 2'-0" 9'-0" 2'-0" 5'-0"

1 SDP - FLOOR PLAN - MAIN LEVEL - REMODEL
1/8" = 1'-0"



SIGNATURE BLOCK

**The Ascent Church
Addition and Remodel**

1750 Deer Creek Rd
Monument, CO 80132

REVISIONS:	DATE
#	DESCRIPTION

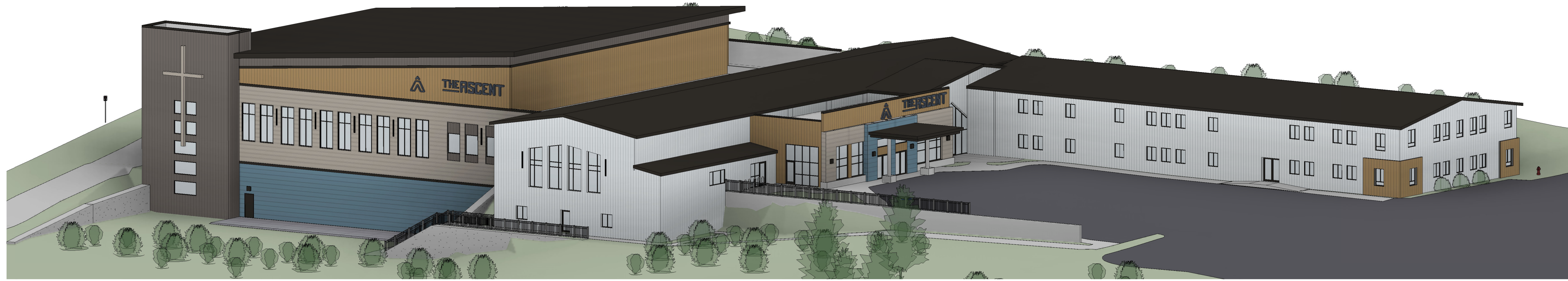
PROJECT #: 2505
 ISSUE DATE: 02/11/2026
 ISSUED FOR: PLANNING
 DRAWN BY: LC
 CHECKED BY: VL
 COPYRIGHT © 2026
 SHEET TITLE:
FLOOR PLAN - MAIN LEVEL - REMODEL

SHEET #:
FP-03

KEYS + LAUER
ARCHITECTS

11681 VOYAGER PKWY, #200
 COLORADO SPRINGS, CO 80921
 (719) 634 - 3751
 www.KeysLauerArchitects.com

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3 3D VIEW - SOUTH WEST CORNER

SUMMARY - EXTERIOR ELEVATION

MAXIMUM BUILDING HEIGHT: 56' HEIGHT
 MINIMUM BUILDING HEIGHT: 12' HEIGHT
 AVERAGE BUILDING HEIGHT:
 SOUTH ELEVATION = 32' AVE HEIGHT FOR 205' OF ELEVATION
 WEST ELEVATION = 36' AVE HEIGHT FOR 374' OF ELEVATION
 NORTH ELEVATION = 30' AVE HEIGHT FOR 205' OF ELEVATION
 EAST ELEVATION = 24' AVE HEIGHT FOR 374' OF ELEVATION
 TALLEST AVERAGE HEIGHT = 36' AVE HEIGHT
 OVERALL AVERAGE BUILDING HEIGHT = 30' AVE HEIGHT FOR 1158' OF ELEVATION
 SIGNAGE IS SHOWN FOR REFERENCE ONLY. SIGNAGE IS NOT REVIEWED OR APPROVED IN SDP AND WILL REQUIRE SEPARATE REVIEW AND APPROVAL.

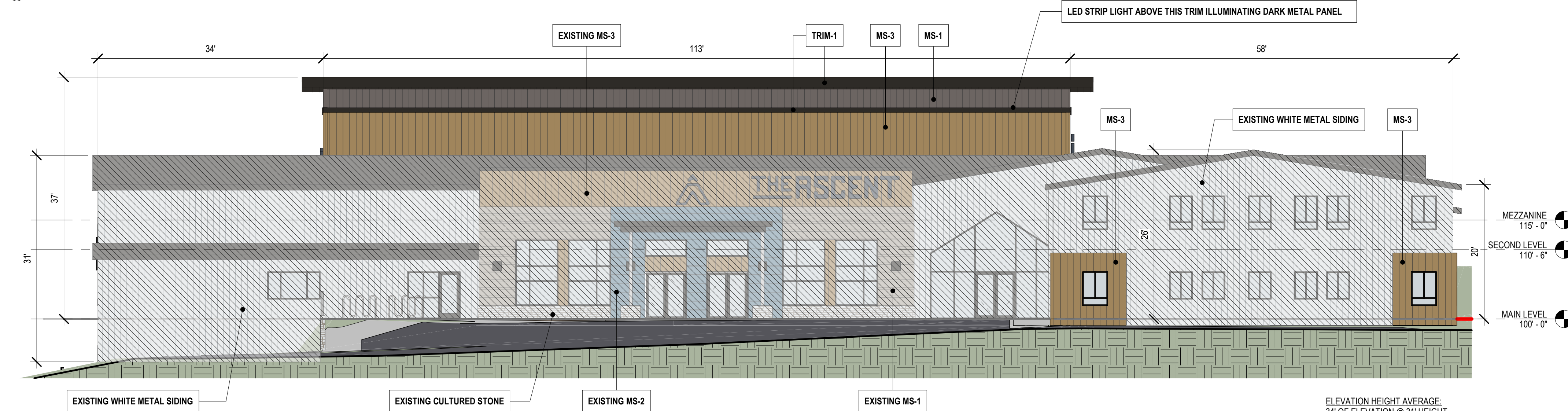
SCOPE OF WORK

HATCHED ARE NOT IN SCOPE OF WORK. NO CHANGES TO THESE FACADES.

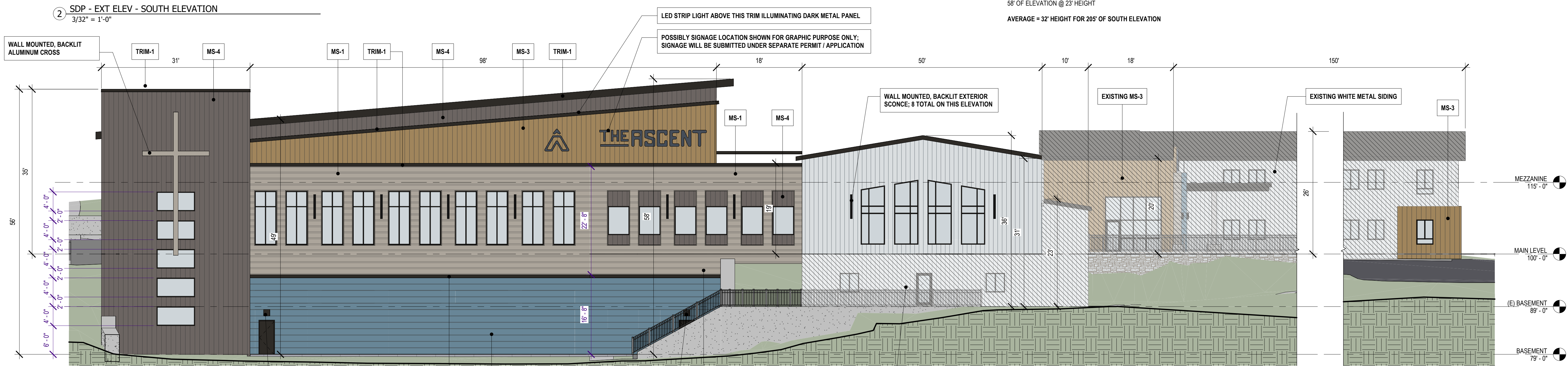
EXTERIOR MATERIAL LEGEND

- MS-1: METAL LAP SIDING** [MATCH EXISTING]
 CMG METAL, 12" PANEL WITH 3" REVEAL, HORIZONTAL
 COLOR: ASH GRAY
 - MS-2: METAL LAP SIDING** [MATCH EXISTING]
 CMG METAL, 15" PANEL WITH 1" REVEAL, HORIZONTAL
 COLOR: SLATE BLUE
 - MS-3: METAL LAP SIDING** [MATCH EXISTING]
 CMG METAL, 12" PANEL NO REVEAL, VERTICAL
 COLOR: WHITE OAK WOOD GRAIN, PROVIDE INTERMEDIATE STRIATION IN PANEL
 - MS-4: METAL LAP SIDING**
 CMG METAL, 12" PANEL WITH 1" REVEAL, HORIZONTAL
 COLOR: SLATE BLUE
 - ROOF-1: STANDING SEAM METAL ROOF** [MATCH EXISTING]
 COLOR: DEEP BLACK
 - TRIM-1: METAL TRIM AND FASCIA** [MATCH EXISTING]
 COLOR: DEEP BLACK
- STOREFRONT COLOR: MATCH EXISTING
 GLASS: CLEAR LOW-E

KEYS + LAUER
 ARCHITECTS
 11681 VOYAGER PKWY, #200
 COLORADO SPRINGS, CO 80921
 (719) 634 - 3751
 www.KeysLauerArchitects.com



2 SDP - EXT ELEV - SOUTH ELEVATION
 3/32" = 1'-0"



1 SDP - EXT ELEV - WEST ELEVATION
 3/32" = 1'-0"

SIGNATURE BLOCK

DATE: _____

DESCRIPTION: _____

REVISIONS:

#	DATE	DESCRIPTION

PROJECT #: 2505
 ISSUE DATE: 02/11/2026
 ISSUED FOR: PLANNING
 DRAWN BY: LC
 CHECKED BY: VL
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SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET #:
ELEV-01

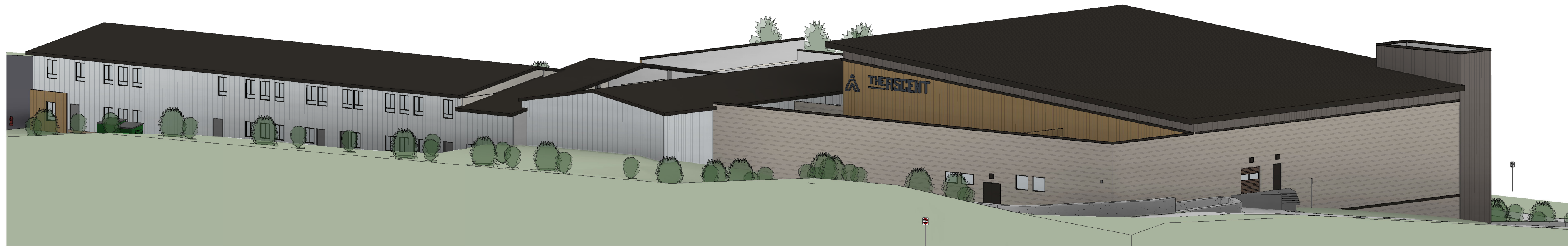
SCALE: 3/32" = 1'-0"

PCD FILE #PPR265

The Ascent Church
Addition and Remodel
 1750 Deer Creek Rd
 Monument, CO 80132

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3 3D VIEW - NORTH EAST CORNER



SUMMARY - EXTERIOR ELEVATION

MAXIMUM BUILDING HEIGHT: 56' HEIGHT
 MINIMUM BUILDING HEIGHT: 12' HEIGHT
 AVERAGE BUILDING HEIGHT:
 SOUTH ELEVATION = 32' AVE HEIGHT FOR 205' OF ELEVATION
 WEST ELEVATION = 36' AVE HEIGHT FOR 374' OF ELEVATION
 NORTH ELEVATION = 30' AVE HEIGHT FOR 205' OF ELEVATION
 EAST ELEVATION = 24' AVE HEIGHT FOR 374' OF ELEVATION
 TALLEST AVERAGE HEIGHT = 36' AVE HEIGHT
 OVERALL AVERAGE BUILDING HEIGHT = 30' AVE HEIGHT FOR 1158' OF ELEVATION
 SIGNAGE IS SHOWN FOR REFERENCE ONLY. SIGNAGE IS NOT REVIEWED OR APPROVED IN SDP AND WILL REQUIRE SEPARATE REVIEW AND APPROVAL.

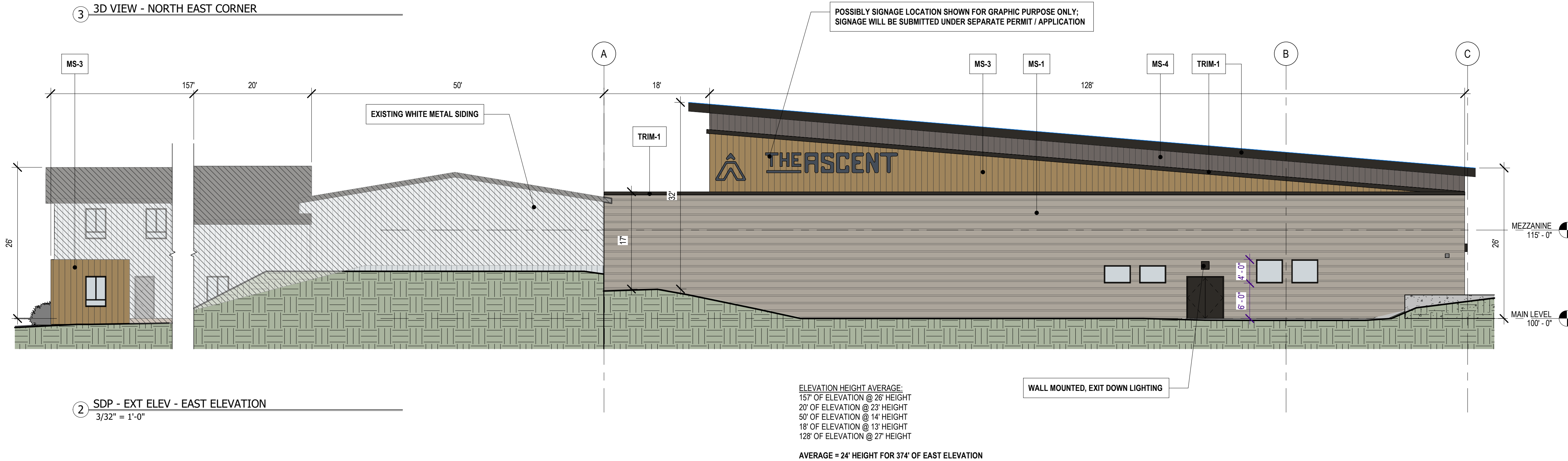
SCOPE OF WORK

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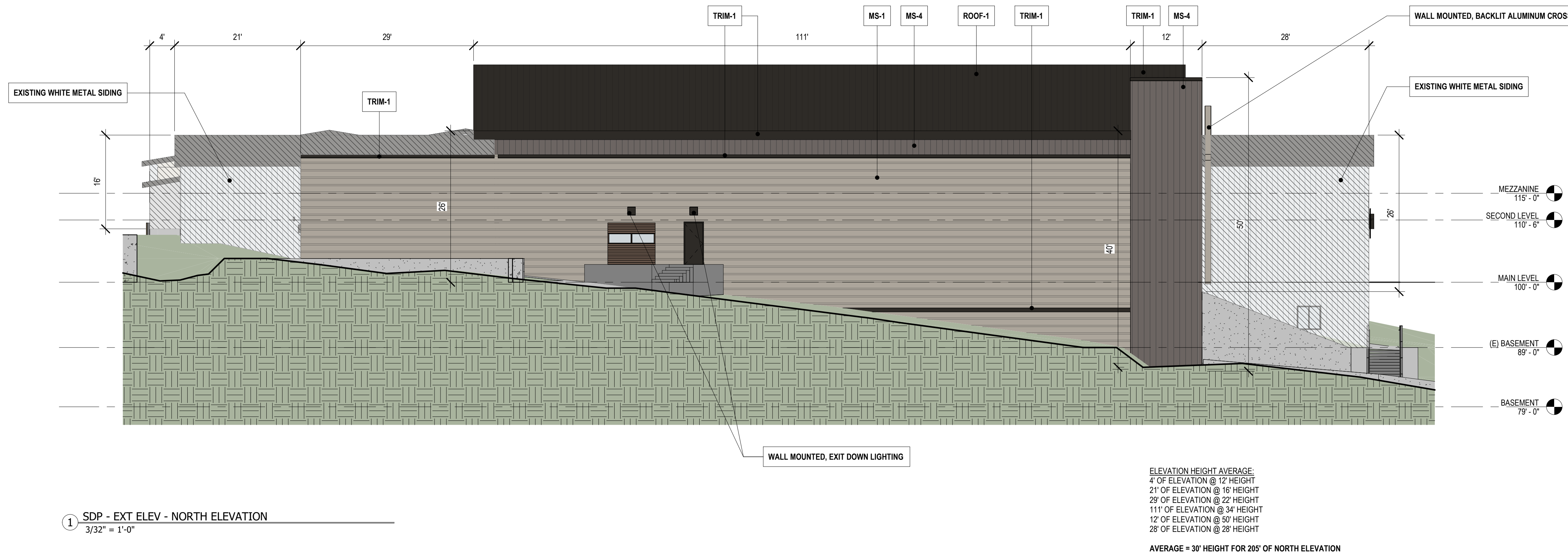
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2 SDP - EXT ELEV - EAST ELEVATION
 3/32" = 1'-0"

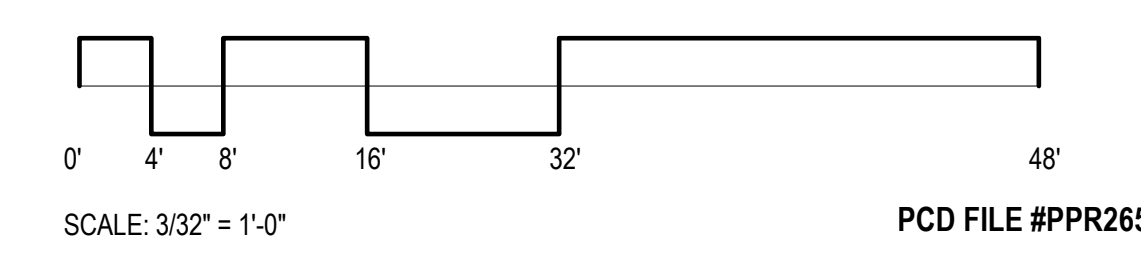


1 SDP - EXT ELEV - NORTH ELEVATION
 3/32" = 1'-0"



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