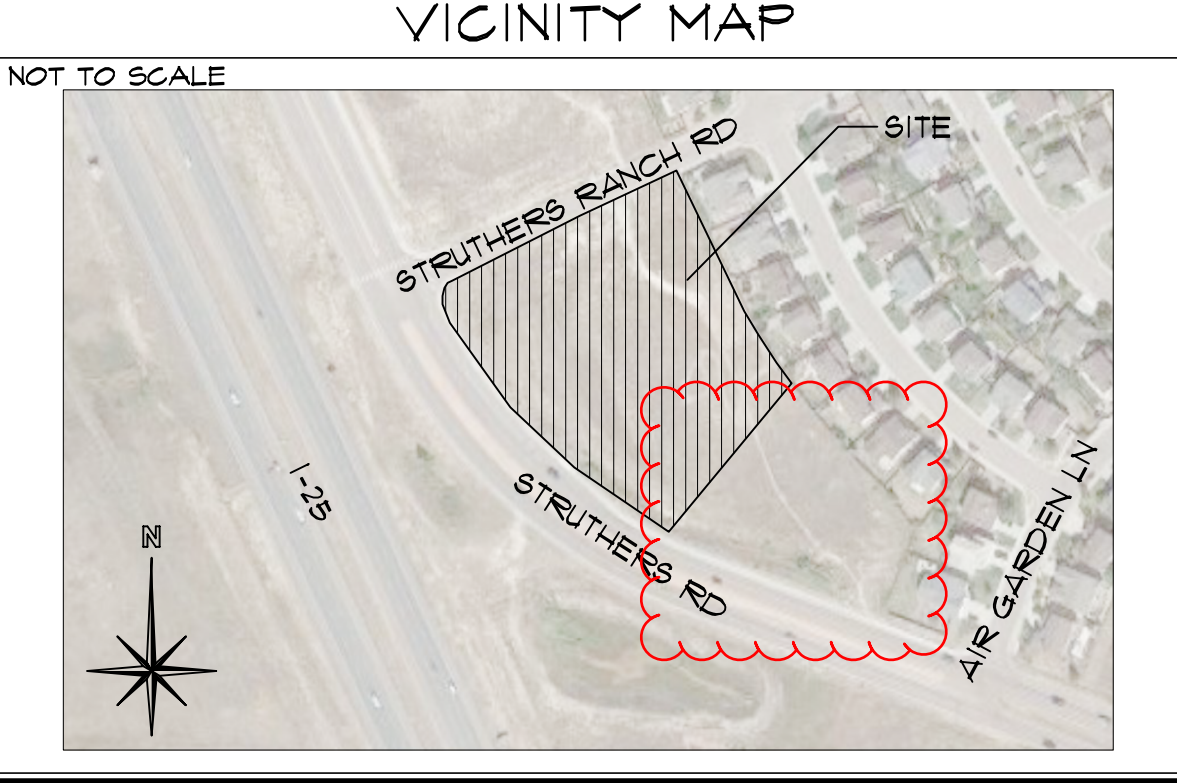


### ADA NOTES

- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS

### DRAWING INDEX

1 OF 7	- SITE PLAN
2 OF 7	- SITE DETAILS
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L1.2	4 OF 7 - LANDSCAPE PLAN - AREA 'B'
SPO.1	5 OF 7 - PLAN PHOTOMETRIC AND SCHEDULE
SPO.2	6 OF 7 - PLAN PHOTOMETRIC CUT SHEETS
7 OF 7	- PLAN ELEVATIONS



### PROJECT INFORMATION

<b>PROPERTY INFORMATION</b>	
OWNER NAME:	MARSHALLS FAMILY PROPERTY LLC 412 N CHELTON RD COLORADO SPRINGS, CO 80909 (719) 463-3659 johnm@clearstonesubway.com
LEGAL DESCRIPTION:	LOT 1, STRUTHERS RANCH SUB FIL. NO. 4A - <b>LOT 1A</b>
PARCEL NUMBER:	71363-03-014
ZONING:	PUD
LOT SIZE:	128,066 SF - 2.94 ACRES
CURRENT USE:	RETAIL/SHOPROOM/ATV REPAIR
FLOODPLAIN STATEMENT:	ZONE X (MAP NO. 08041COT296, EFFECTIVE DATE DEC. 7, 2018)
<b>BUILDING INFORMATION</b>	
EXISTING BUILDING AREA:	12,000 SF
NEW ADDITION AREA:	2,560 SF
BUILDING OCCUPANCY:	M-5-1
TYPE OF CONSTRUCTION:	I-1-B
FIRE SYSTEMS:	SPRINKLED
AREA SEPARATION WALLS:	NONE
<b>ZONING CODE STUDY</b>	
PROPOSED PRINCIPAL USE:	RETAIL/SHOPROOM
STRUCTURAL COVERAGE:	11% (SCOPE INCREASES 2%)
IMPERVIOUS COVERAGE:	36% (SCOPE DECREASES 2%)
LANDSCAPE COVERAGE:	33% (SCOPE INCREASES 0.4%)
OPEN SPACE COVERAGE:	0% (SCOPE HAS NO CHANGE)
BLDG. ADDITION HEIGHT:	24'-5 1/2" (45'-0" MAX)
OVERALL BLDG HEIGHT:	28'-5 1/2"
FRONT YARD SETBACK:	25'-0"
SIDE YARD SETBACK:	25'-0"
REAR YARD SETBACK:	25'-0"
<b>REQUIRED PARKING SPACES:</b>	
ATV SALES - 1 SPACE / 1,000 SF	8,160 SF / 1,000 SF
ATV SALES OFFICE	1 SPACE / 450 SF
REPAIR SHOP - 1 SPACE / PER BAY	4 BAYS / 1 SPACE
NEW SHOWROOM SALES - 1 / 1,000 SF	2,560 SF / 1,000 SF
TOTAL PARKING SPACES REQUIRED:	17
TOTAL PARKING PROVIDED:	27
STANDARD SPACES PROVIDED:	25
HANDICAP (NO NEW PARKING NEEDED)	2
<b>DEVELOPMENT SCHEDULE</b>	
CONSTRUCTION:	SPRING 2026
LANDSCAPING:	SUMMER 2026
<b>DEVELOPMENT APPLICANT</b>	
COMPANY:	HAMMERS CONSTRUCTION, INC. 1411 WOOLSEY HEIGHTS COLO. SPGS., CO 80915
PHONE NUMBER:	(719)-570-1549
FAX NUMBER:	(719)-570-7008
APPLICANT NAME:	LISA PETERSON
APPLICANT E-MAIL:	lpeterson@hammersconstruction.com

## HAMMERS CONSTRUCTION INC.

COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD

PRESIDENT: STEVE R. HAMMERS  
VICE PRES: DAVID J. HAMMERS  
1411 WOOLSEY HEIGHTS  
COLORADO SPRINGS, CO 80915  
(719) 570-1549 FAX (719) 570-7008  
www.hammersconstruction.com

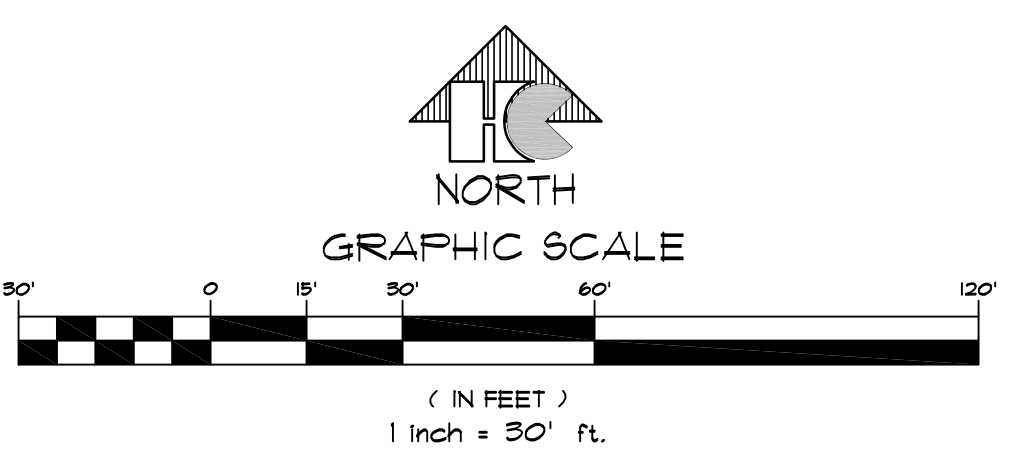
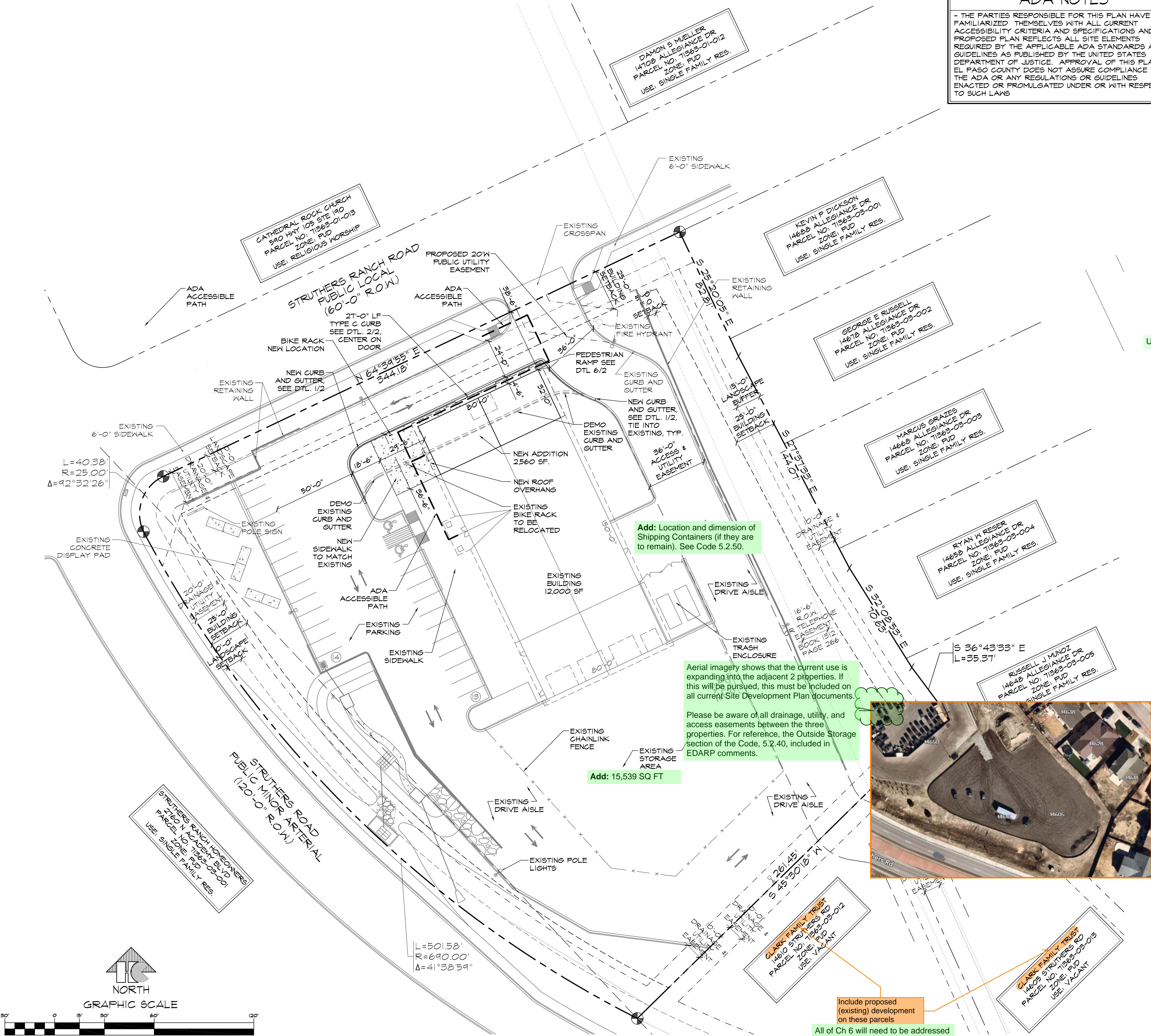
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## ROCKY MT. CYCLE PLAZA

BUILDING ADDITION  
847 STRUTHERS RANCH RD.  
COLORADO SPRINGS, CO 80921  
EL PASO COUNTY, COLORADO

The PUD Development Guidelines identify the maximum building height in the commercial/office areas to be **40'-0" MAX**. See below. The approved PUD Development Guideline document can be found in EDARP.

13. Maximum building heights within the commercial / office areas shall be forty (40) feet or the maximum building height allowed within the USAFA height limitation requirements, which ever is lower. See PUD Development Guidelines Exhibit "B" Part 77 Surfaces for Aardvark Auxiliary Airfield. As illustrated in Exhibit "B", portions of Tract A, Filing 2 will not be able to achieve the maximum height of forty (40), feet. All submitted site development plans within the commercial / office areas shall include Part 77 surfaces height limitation calculations.



**1 SITE PLAN**  
SCALE: 1"=30'-0"

### SITE LEGEND

---	PROPERTY LINE
---	BUILDING SETBACK
---	LANDSCAPE SETBACK/BUFFER
---	UTILITY/DRAINAGE EASEMENT
---	TELEPHONE EASEMENT
---	ACCESS EASEMENT
---	OPAQUE CHAINLINK FENCE
---	6' HIGH WROUGHT IRON FENCE
---	STORM SEWER LINE
---	RETAINING WALL
---	NEW SIDEWALK LOCATIONS
---	W CONTROL JOINTS @ 5'-0" OC.
●	PROPERTY CORNER
→	TRAFFIC FLOW
□	WALL PACK LIGHTING
+	SIGN
○	MANHOLE
⊕	ELECTRICAL TRANSFORMER
⊙	FIRE HYDRANT
⊙	PROPOSED FIRE HYDRANT

### RESUBMITTALS:

△	4-15-26/COMMENTS 2-4-26
△	
△	
△	
△	
△	

**FYI CODE REFERENCES FOR FUTURE SITE DEV PLAN SUBMITTAL: (Please review all Ch 6)**

**6.2.1. Fences, Walls, and Hedges**

**Height and Location Standards.** The following requirements are applicable to all fences and walls except agricultural fences:

- (1) **Building Permit Required for Fences and Walls Over 7 feet in Height.** A fence or wall over 7 feet in height requires a building permit from the Building Department.
- (2) **Fences and Walls 7 Feet in Height Considered Accessory Structure.** A fence or wall over 7 feet in height is considered an accessory structure and shall meet the accessory structure setback requirements of this Code. If no accessory structure setbacks are established by this Code, the principal structure setbacks are applicable.
- (3) **Fences and Walls Not to Disrupt Drainage.** The fence and wall shall not be established where it would impede the drainage established by an approved drainage plan.
- (4) **Fences and Walls Not to Disrupt Use of Easement.** The fence or wall shall not be established within an easement in a manner where the use of the easement is unnecessarily impeded.

**Specific Fence Standards for Non-Residential Zoning Districts.** The following requirements are applicable to fences within non-residential zoning districts:

- (1) **7 Feet High Fences Allowed.** Fences not exceeding 7 feet in height may be placed anywhere on the lot or parcel except no fence, wall or hedge shall exceed 30 inches in height when located within a sight distance triangle or as otherwise limited by Chapter 2 of the ECM.
- (2) **Security Fencing.** Security fencing may include 3 strands of wire on top of the fence. The wires are not included in the height measurement.
- (3) **Subject to Parking, Landscaping, and Screening Standards.** Walls and fences shall conform to the parking, landscaping, and screening standards of this Code.

**6.2.2. Landscape Requirements**

**1. Along Roadway**

Road Classification	Depth of Roadway Landscaping Area	Required Trees (Trees/Linear Foot of Frontage)
Non-Arterial <sup>1</sup>	10 feet	1 per 30 feet

**Location and Type of Trees in Roadway Landscaping Area.**

- (a) **Clustering Allowed.** The roadway landscaping trees may be clustered along a road frontage. The clustering of evergreens may not be advisable in areas where the winter shade will cause unsafe conditions on an adjacent road. Clustering shall not be permitted when shade from clustering would be detrimental to adjacent road due to potential winter conditions as determined by the PCD Director or designee.
- (b) **Type of Tree Limited.** The types of roadway landscaping trees utilized shall be commonly known to grow in the Colorado Springs area and listed in the Landscape/Water Efficiency Manual and Water Wise Planting List.
- (c) **Exceeding Minimum Depth of Roadway Landscaping.** The roadway landscaping trees shall be located within 50 feet of the road right-of-way, easement or tract boundary line and any building or use.

**2. Parking Lot**

**3. Buffer between Differing Uses**

**Buffer Between Non-Residential, Multifamily Residential and Single-Family/Duplex Uses.**

- (a) **Where Required.** A buffer is required in the following situations:
  - (i) Along the lot, parcel, or tract line on the non-residential use property between the non-residential use and a residential zoning district.
  - (ii) Along the lot, parcel, or tract line on the multifamily use property between the multifamily use and a single-family or duplex zoning district.
  - (iii) On the residential side of the project when use to use compatibility is a concern.
- (b) **Depth and Planting Standards.** The required buffer shall be a minimum of 15 feet deep. The minimum number of trees in the buffer shall be 1 tree for every 25 feet of common lot, parcel, or tract line. A minimum of 1/3 of the trees shall be evergreen trees.
- (c) **Opaque Fencing or Wall Required.** An opaque fence or wall with a minimum height of 6 feet is required along the lot, parcel, or tract line except where the adjacent single-family or duplex residential zoning district or use abuts a required roadway landscaping area.
- (d) **Minimum Ground Covering Required.** Bark, wood chips, rock, stone, or other natural/synthetic landscape material shall be used as a non-living ground cover. Areas of a required buffer not covered in approved non-living ground cover material shall be covered in a living plant material.

**4. Internal Landscaping**

**Requirements for Non-Residential Uses.** The following internal landscaping is required for non-residential uses:

- (a) **Minimum Required Internal Landscaped Area.** A minimum of 5% of the lot or parcel shall be landscaped.
- (b) **Minimum Number of Trees in Landscaped Area.** A minimum of 1 tree shall be provided for every 500 square feet of required internal landscape area.
- (c) **Trees Replaced by Shrubs.** A maximum of 1/2 of the required trees may be substituted with shrubs adjacent to retail store fronts where the view of wall signs may be obstructed. At least 10 shrubs with a minimum container size of 5 gallons shall be provided for each tree that is replaced.

**Standards for Required Internal Landscape Area.**

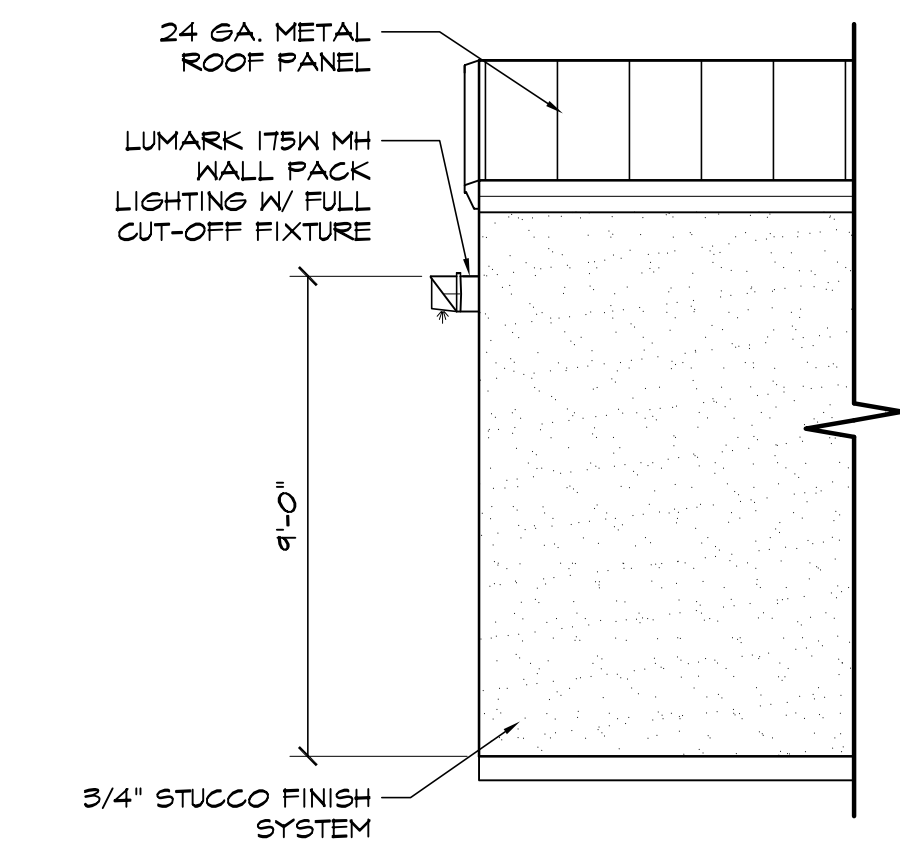
- (a) **Intent of Internal Landscaping.** The intent of the internal landscape area is to provide relief from structures and hard surfaces through the use of plantings.
- (b) **Location of Internal Landscape Areas.** The required internal landscape areas shall be located in accordance with the following standards:
  - (i) Adjacent to those building elevations which form the major public views of the building from adjacent roads and properties and to the users of the project; or
  - (ii) At all pedestrian entrances, except service-only entries; or
  - (iii) Within a plaza or courtyard between buildings or portions of buildings, (plaza/courtyard is to have at least 1 side open); or
  - (iv) In an area provided to separate building areas from parking areas; or
  - (v) In a similar location which substantially conforms to the purpose of the required internal landscape area.

**5. Other Areas**

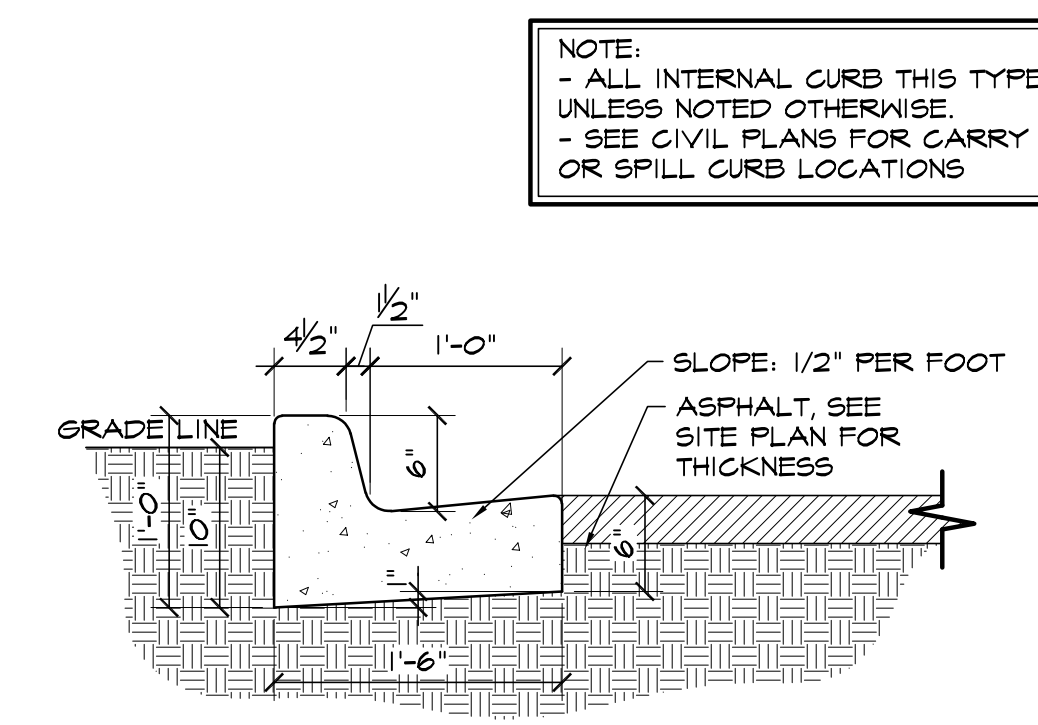
**Other Areas to be Landscaped or Screened.**

- (a) **Zoning District Boundary Trees.** A minimum of 1 tree shall be provided for every 30 feet of lot, parcel, or tract line coincident with a zoning district boundary line except if otherwise required to meet the buffering requirements between a non-residential use or multifamily use and residential zoning district.
- (b) **Refuse Areas Screened.** Refuse collection areas, including trash bins, shall be screened from view from adjacent properties and roads by an opaque wall or fence, architectural elements, dense evergreen plantings with a minimum planting height of 6 feet, or berms with dense plantings creating an opaque appearance with a minimum height of 6 feet.
- (c) **Loading Docks and Other Vehicle Areas Screened.** Loading docks, vehicle repair bays, and vehicle fueling areas shall be screened from view from adjacent roads by the use of plantings, berms, walls, fences, or other architectural elements.
- (e) **Outside Storage Area Landscaping Requirements.**
  - (i) **Site-Specific Landscaping Required.** PCD Director approval of site-specific landscaping is required for establishing an outside storage area. Installation of approved site-specific landscaping is required prior to utilizing an outside storage area.
  - (ii) **Site-Specific Landscaping Standards.** The site-specific landscaping shall reflect a combination of berms, shrubs, trees, fences or walls which will provide, at maturity, a minimum 6 foot high, 100% opaque screening for the outside storage area.

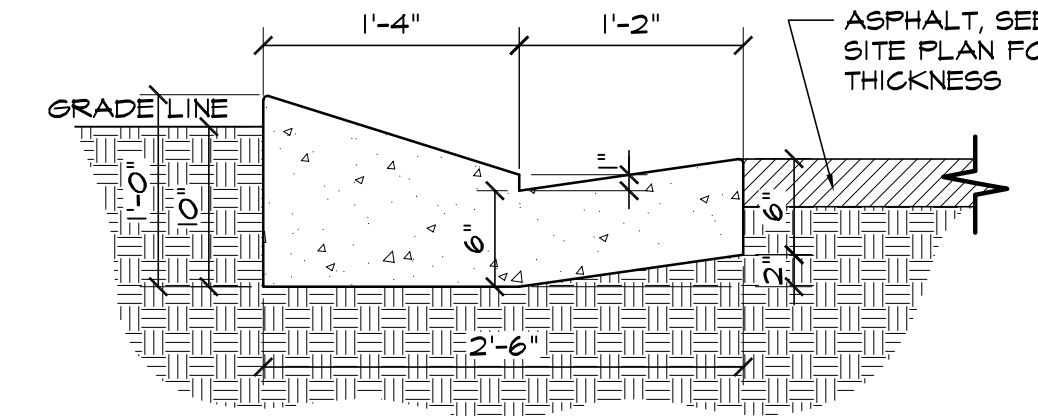
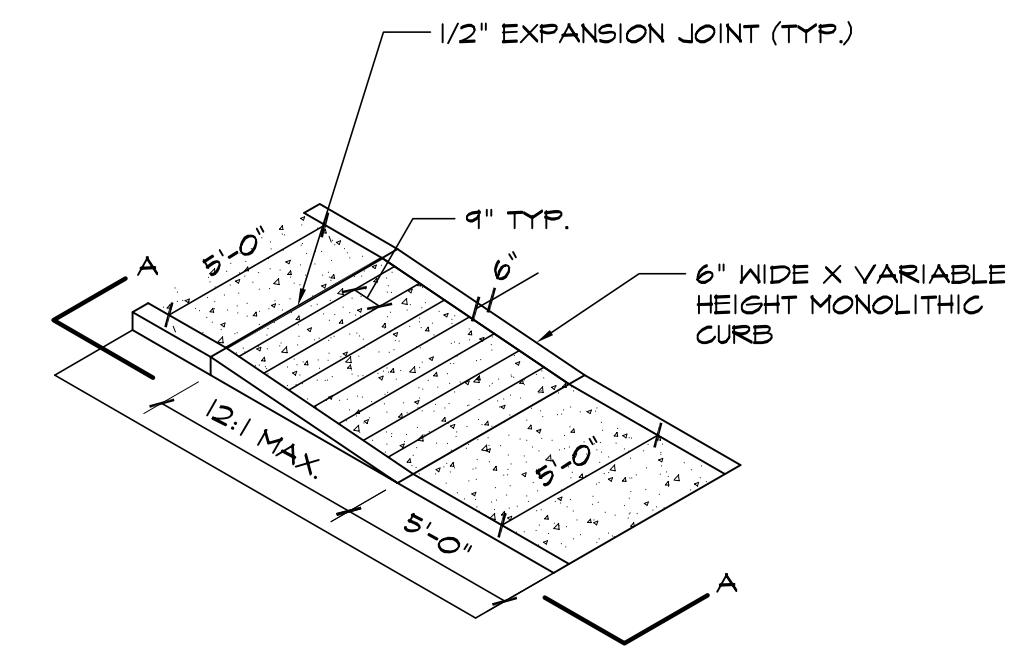
- 6.2.3. Lighting
- 6.2.5. Parking, Loading and Maneuvering Standards
- 6.2.7. Operational Standards



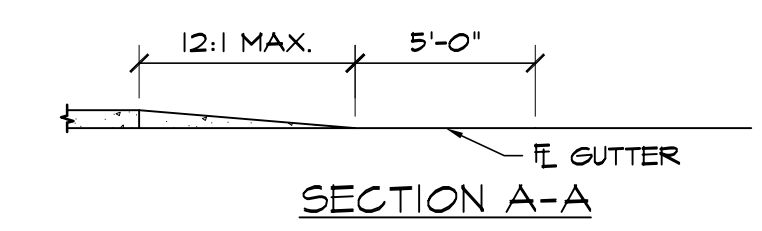
**5 WALL PACK LIGHT DETAIL**  
SCALE: 1/4"=1'-0"



**1 EPC TYPE B CURB**  
SCALE: 1"=1'-0"

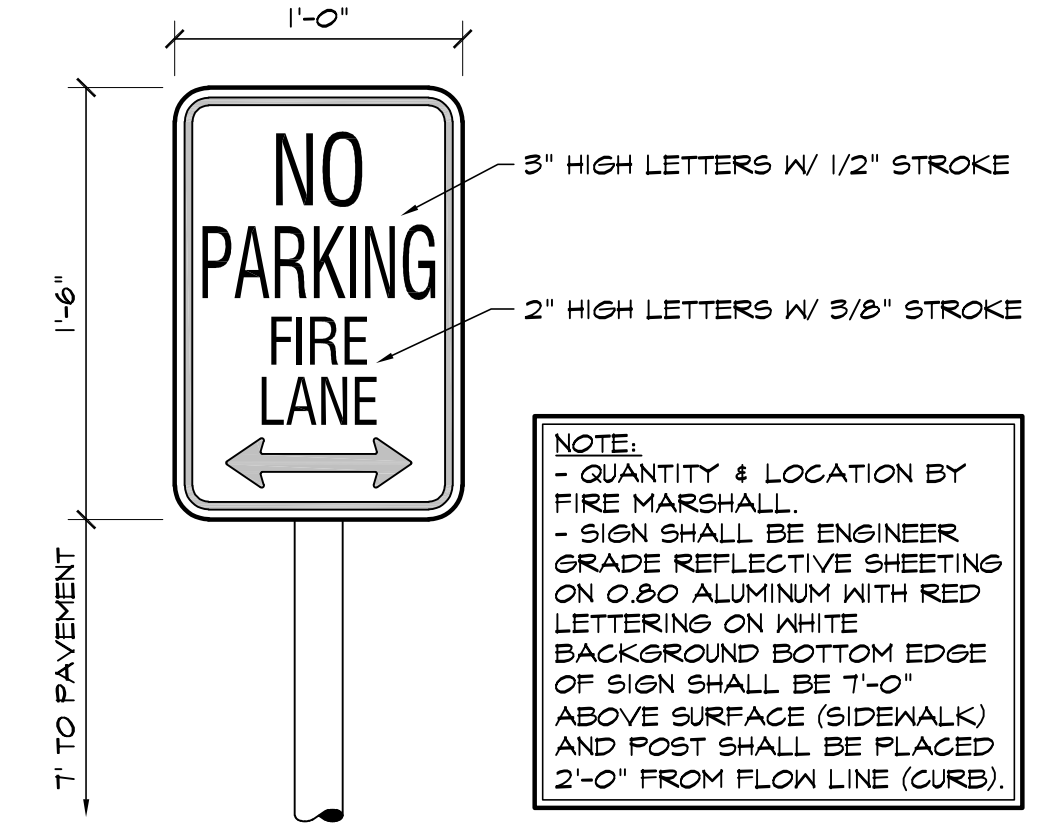


**2 EPC TYPE C CURB**  
SCALE: 1"=1'-0"

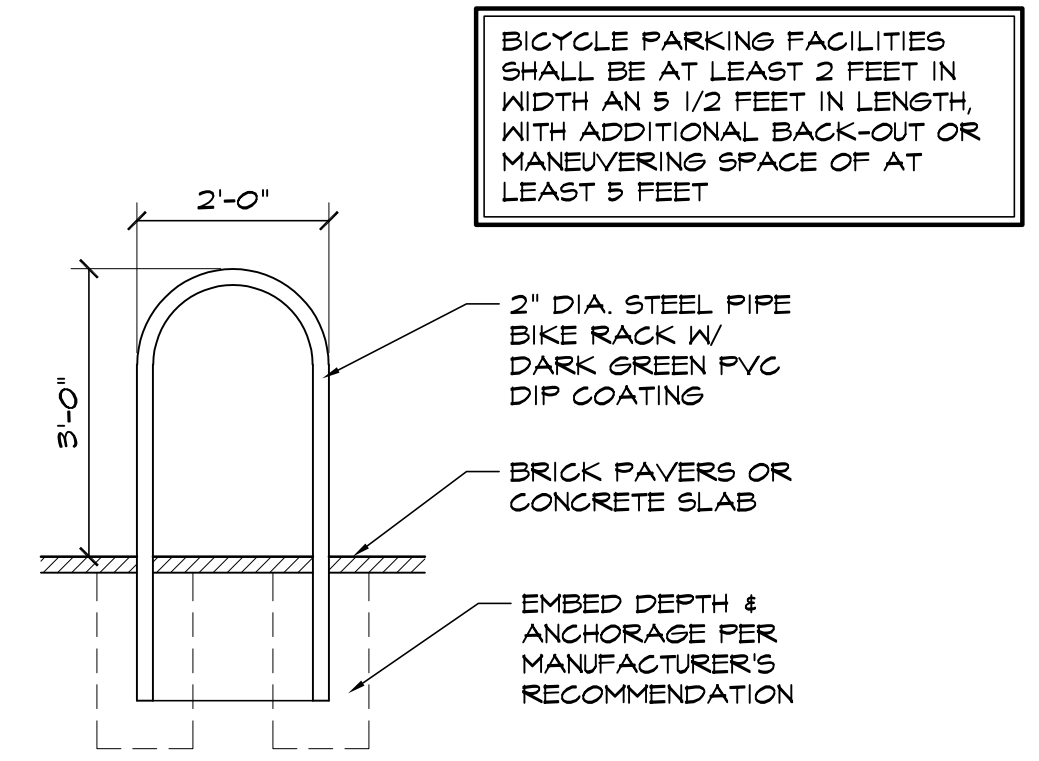


**6 PEDESTRIAN RAMP DETAIL**  
SCALE: 3/16"=1'-0"

**GENERAL NOTES:**  
 1. ALL WORK TO BE DONE IN ACCORDANCE WITH CURRENT (EL PASO COUNTY) ENGINEERING DIVISION STANDARD SPECIFICATIONS.  
 2. SIDEWALK CROSS-SLOPE: 1/4"/FT.  
 3. CONTRACTOR TO OBTAIN REQUIRED CONCRETE PERMIT AND RAMP PERMIT AT ENGINEERING DIVISION INSPECTION OFFICE PRIOR TO CONSTRUCTION.  
 4. CONTRACTOR TO NOTIFY ENGINEERING DIVISION INSPECTION OFFICE AT LEAST 24 HOURS PRIOR TO PLACEMENT OF ANY CONCRETE.  
 5. THE RAMP SURFACES SHALL BE FINISHED WITH A COARSE BROOM FINISH, PARALLEL WITH THE SCORING, IN ACCORDANCE WITH SECTION 504.02B OF THE STANDARD SPECIFICATIONS.  
 6. CONTRACTOR SHALL STAMP THE COMPANY NAME AND CONSTRUCTION DATE WITHIN THE PEDESTRIAN RAMP AREA.  
 7. PEDESTRIAN TRAVELWAY AND/OR LOCATION OF EXISTING OR FUTURE PEDESTRIAN RAMPS ON OPPOSITE CORNERS SHALL BE REVIEWED BEFORE CONSTRUCTING NEW RAMPS. NEW RAMPS SHALL ALIGN WITH EXISTING RAMPS AND PEDESTRIAN TRAVELWAY.



**3 FIRE LANE SIGN**  
SCALE: 1 1/2"=1'-0"



**4 BIKE RACK DETAIL**  
SCALE: 1/2"=1'-0"

COUNTY FILE NO. PPR-263

**HAMMERS CONSTRUCTION INC.**  
 COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD  
 PRESIDENT: STEVE R. HAMMERS  
 VICE PRES: DAVID J. HAMMERS  
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**ROCKY MT. CYCLE PLAZA**  
 BUILDING ADDITION  
 847 STRUTHERS RANCH RD.  
 COLORADO SPRINGS, CO 80921  
 EL PASO COUNTY, COLORADO

DATE: DEC. 29, 2025  
 DRAWN BY: W. VENEROS  
 PROJ. MGR: J. BUTLER  
 SCALE: SEE PLAN  
 APPROVED BY:  
 JOB NO: 1425

- RESUBMITTALS:**
- ▲ 4-5-26/COMMENTS 2-4-26
  - ▲
  - ▲
  - ▲
  - ▲